



**CITY OF NEW BEDFORD
MASSACHUSETTS**

**CONSERVATION COMMISSION
2018 FILING FEE CALCULATION WORKSHEET***

PROJECT LOCATION:

_____ MAP _____ LOT(S) _____

APPLICANT: _____

CONSERVATION COMMISSION FEES (check all that apply):

- ☐ REQUEST FOR DETERMINATION OF APPLICABILITY
- ☐ NOTICE OF INTENT
- ☐ AMENDED ORDER OF CONDITIONS
- ☐ EXTENSION PERMIT
- ☐ CERTIFICATE OF COMPLIANCE
- ☐ AFTER THE FACT FILING

(A.) ALTERATION FEES:

Application and field review of a project proposed in a Wetland Resource Area or its Buffer Zone is \$200.00 plus the applicable alteration fee as follows

	<u>AMOUNT DUE</u>
• Application and Field Review Fee (\$200.00)	<u>\$200.00</u>
• \$0.50 X _____ SF Wetland Resource Area Fee shall not exceed \$2,000.00 per project	/ \$ _____
• \$0.05 X _____ SF Land Subject Coastal Flooding Fee shall not exceed \$500.00	\$ _____
• \$0.50 X _____ SF Developed Riverfront Area Fee shall not exceed \$1,500.00	\$ _____
• \$1.00 X _____ SF Undeveloped Riverfront Area Fee shall not exceed \$2,000.00	\$ _____
• \$5.00 X _____ LF Coastal or Inland Bank Fee shall not exceed \$750.00	\$ _____
• \$0.10 X _____ SF Buffer Zone Fee shall not exceed \$6,500.00	\$ _____

(B.) EXTENSION of an Order of Conditions:

- Single Family Dwelling or minor project (house addition, in ground pool etc)
\$300.00 \$_____
- Subdivision/Commercial 600.00 \$_____

(C.) AMENDING AN ORDER OF CONDITIONS:

- Single family dwelling or minor project (house, in ground pool etc)
\$300.00 plus new alteration fee – refer to (A) above \$_____
- Subdivision/Commercial \$1,000.00 plus new alteration fee – refer to (A) above
\$_____

(D.) WETLAND DELINEATION VERIFICATION (WITH OR WITHOUT A PROPOSED ALTERTATION)

- ½ acre or less \$250.00 \$_____
- ½ acre to 2 acres \$500.00 (\$100.00/acre thereafter)
not to exceed \$3,500.00 \$_____

(E.) DOCKS:

- \$100.00 + \$10.00 X _____ LF of dock \$_____

(F.) CERTIFICATES OF COMPLIANCE

- One new house \$250.00 \$_____
- One activity at an existing house \$200.00 \$_____
- Commercial & Industrial Facilities \$1,500.00 \$_____
- New Roadways 1,500.00 \$_____

Partial Certificates of Compliance are the same fee as a Certificate of Compliance

(G.) AFTER THE FACT FILING FEE

- \$500.00 for a Notice of Intent or Amended Order of Conditions \$_____
- \$250.00 for a Request for Determination of Applicability \$_____

TOTAL AMOUNT DUE (including after-the-fact fee if applicable): \$_____

Notes:

* Please refer to the Conservation Commission Fee Schedule – dated 8/2018

Please make check or Money Order payable to: THE CITY OF NEW BEDFORD.
Cash is not accepted.



ENGINEERING A BETTER TOMORROW

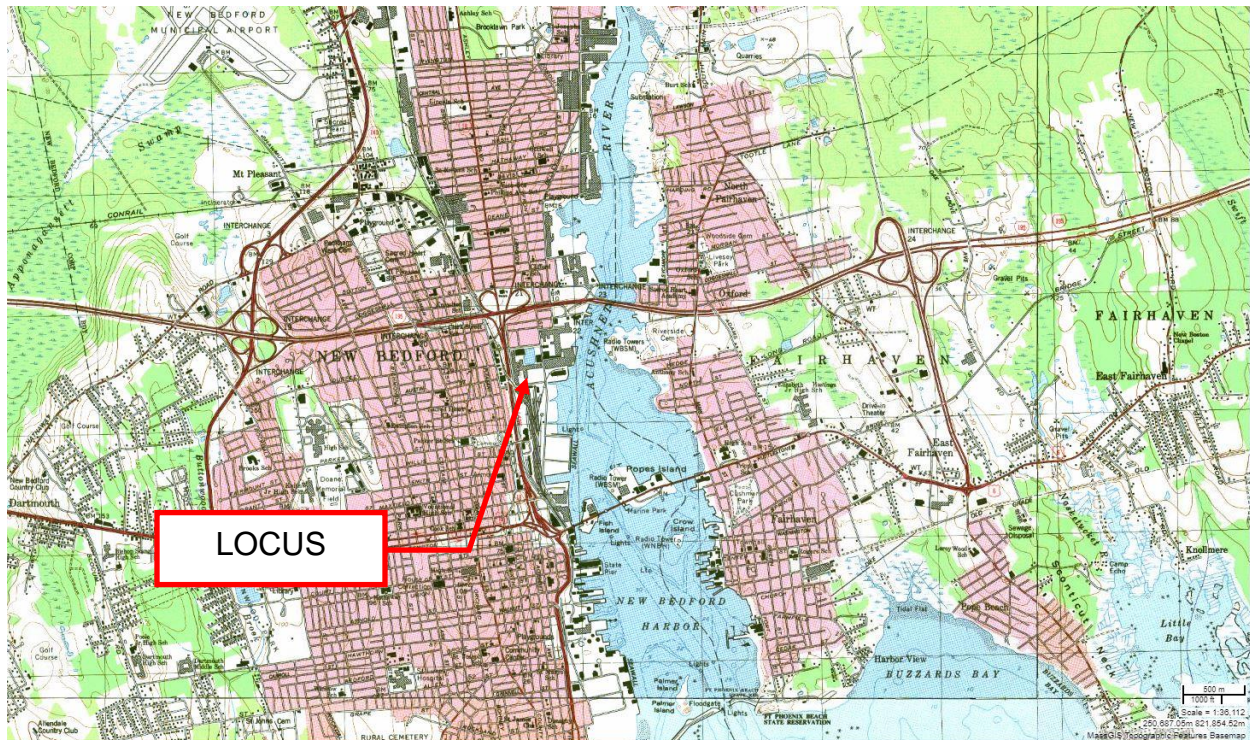
ENGINEERING | SITE WORK | LAND SURVEYING

NOTICE OF INTENT

June 5, 2019

SITE PLAN

ASSESSORS MAP 78 LOT 125
61 Wamsutta Street
New Bedford, MA 02740



PREPARED FOR:

Acorn Management Co., Inc.
218 Willard Street
Quincy, MA 02169

TABLE OF CONTENTS

1. PROJECT NARRATIVE
2. NOTICE OF INTENT (WPA FORM 3)
3. NOI WETLAND FEE TRANSMITTAL FORM
4. CERTIFIED ABUTTERS LIST
5. ABUTTER NOTIFICATION
6. AFFADAVIT OF SERVICE
7. SITE PLAN

EXHIBITS:

EXHIBIT "A" – USGS MAP (TOPO! VERSION 2.1.0)

EXHIBIT "B" – FIRM MAP

EXHIBIT "C" – NHESP PRIORITY & ESTIMATED HABITAT MAP

EXHIBIT "D" – LONG TERM POLLUTION PREVENTION PLAN

EXHIBIT "E" – OPERATION & MAINTENANCE PLAN

EXHIBIT "F" – ILLICIT DISCHARGE STATEMENT



NOTICE OF INTENT NARRATIVE

Site Description

The subject property encompasses approximately 1.30 acres of industrial land located on the northerly side of Kiana Way in Taunton, Massachusetts. The site is currently an existing mill complex that was part of a larger cluster of mill buildings in the past. At present time, it is being used as a commercial antique business, and the parking area and surrounding features have been maintained since its original construction. It is bounded to the west by a larger mill building that houses a multi-unit residential living complex. It is further bounded to the north, south and east by other mill buildings still being used for commercial purposes. The topography is sloping from the rear, northern half of the lot towards the right of way of Wamsutta Street with minimal pitch. The Soils underlying the entire site are made up of urban fill and have been removed and replaced several times over the years during small projects and is considered very poor for hydrologic suitability.

Project Description

The Applicants seek approval for the conversion of the existing mill building into a large multi-unit residential living complex. Most of the work will be confined to the interior of the building to complete the build-out of the residential units. The remainder of the work will consist of minor exterior improvements to the parking area such as re-striping the spaces, additional landscaping plantings and two utility trenches that will bring water, sewer and electrical services to the building. Lastly, the building will be connected via a roof drain system to the existing drainage system on site, which eventually discharges to the storm drain system within Wamsutta Street. This drain main is within the buffer zone to a Bordering Vegetated Wetland as well as being Land Subject to Flooding. With the Acushnet River being located just a short distance down grade from the site, it is imperative to ensure that the quality of stormwater runoff does not degrade, and in proposed conditions will be treated to a higher standard than previously existing on site.

The construction has been designed to comply in all respects with the requirements of the Zoning By-Laws. Specifically the lot is in compliance with the parking and setback requirements as set forth by this district. In addition, the use, and potential project, was previously approved through the Zoning Board of Appeals as required by the Zoning By-Laws due to the existence of the Wamsutta Mill Overlay District.



Environmental Impact Assessment

Potential Impacts

The design of the project includes all reasonable and appropriate engineering procedures for the mitigation of any impact from the changes to the site. The development of the site will be done as sensitive as possible to the interests of the abutting wetland and waterways.

During the construction phase, there will be disturbance of the area within the confines of the property and existing improved areas. However, no activity will be allowed outside of this control. The proposed work that falls within the bufferzone will be limited to the sawcut limits necessary for the installation of the underground utilities as shown on the plan. These areas will be returned to its previous state, whether that be paved roadway/parking area, concrete sidewalk or loamed & seeded landscaped area to re-establish pre-development grades and runoff conditions.

Sewerage Disposal

The building will propose a new sewer service to be tied into an existing main that lies within a utility easement as shared by this property and the abutting mill property. The expected flow for the proposed use has been taken into consideration when designing this portion of the project.

Underground Utilities

There will be water, electric and communication utilities installed during construction, which are located predominantly outside of any buffer zone to the BVW, except for approximately 20 L.F. each of water service trench and underground electric trench. These utilities as previously stated will be installed in a developed area and will return to its current state when complete.

Stormwater Drainage

The existing stormwater drainage system on site will remain as is, and no additional impervious area has been added to the required capacity of this system. As the site exists much of it is impervious and all stormwater runoff from parking areas, roof downspouts and stormwater that does not infiltrate the soils, discharge to this system and then finally to Wamsutta Street prior to any treatment. The roof is to be tied into the existing drain manhole near the front of the property to reduce any pollutant wash from existing downspouts, and a water quality structure is being proposed at the final point of the existing drainage system before it reached Wamsutta Street to further treat any runoff generated from the site.

NOTICE OF INTENT (WPA FORM 3)



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

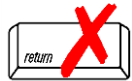
Document Transaction Number

New Bedford

City/Town

Important:

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

61 Wamsutta Street

a. Street Address

New Bedford

b. City/Town

02740

c. Zip Code

Latitude and Longitude:

41.3857.94

d. Latitude

-70.5533.69

e. Longitude

78

f. Assessors Map/Plat Number

125

g. Parcel /Lot Number

2. Applicant:

a. First Name

b. Last Name

Acorn Management Co., Inc.

c. Organization

218 Willard Street

d. Street Address

Quincy

e. City/Town

MA

f. State

02169

g. Zip Code

h. Phone Number

i. Fax Number

j. Email Address

3. Property owner (required if different from applicant): ☐ Check if more than one owner

a. First Name

b. Last Name

c. Organization

d. Street Address

e. City/Town

f. State

g. Zip Code

h. Phone Number

i. Fax Number

j. Email address

4. Representative (if any):

Matthew

a. First Name

White

b. Last Name

Farland Corp.

c. Company

401 County Street

d. Street Address

New Bedford

e. City/Town

MA

f. State

02740

g. Zip Code

h. Phone Number

i. Fax Number

mwhite@farlandcorp.com

j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

\$500.00

a. Total Fee Paid

\$237.50

b. State Fee Paid

\$262.50

c. City/Town Fee Paid



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Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

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New Bedford

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A. General Information (continued)

6. General Project Description:

Utility trench work within the buffer zone. New fire & domestic water service and underground electric to service existing building.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- | | |
|---|---|
| 1. <input type="checkbox"/> Single Family Home | 2. <input type="checkbox"/> Residential Subdivision |
| 3. <input checked="" type="checkbox"/> Commercial/Industrial | 4. <input type="checkbox"/> Dock/Pier |
| 5. <input checked="" type="checkbox"/> Utilities | 6. <input type="checkbox"/> Coastal engineering Structure |
| 7. <input type="checkbox"/> Agriculture (e.g., cranberries, forestry) | 8. <input type="checkbox"/> Transportation |
| 9. <input type="checkbox"/> Other | |

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1. ☐ Yes ☒ No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR 10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Bristol (S.D.)

a. County

7535

c. Book

b. Certificate # (if registered land)

99

d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- ☒ Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- ☐ Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

New Bedford

City/Town

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet 3. cubic yards dredged	2. square feet

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet 3. cubic feet of flood storage lost	2. square feet 4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet 2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input type="checkbox"/> Riverfront Area	1. Name of Waterway (if available) - specify coastal or inland	

2. Width of Riverfront Area (check one):

- ☐ 25 ft. - Designated Densely Developed Areas only
- ☐ 100 ft. - New agricultural projects only
- ☐ 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: _____ square feet

4. Proposed alteration of the Riverfront Area:

a. total square feet _____ b. square feet within 100 ft. _____ c. square feet between 100 ft. and 200 ft. _____

5. Has an alternatives analysis been done and is it attached to this NOI? ☐ Yes ☐ No

6. Was the lot where the activity is proposed created prior to August 1, 1996? ☐ Yes ☐ No

3. ☐ Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



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Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

New Bedford

City/Town

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	<div>1. square feet</div> <div>2. cubic yards dredged</div>	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	1. square feet	2. cubic yards dune nourishment
	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	1. square feet	
h. <input type="checkbox"/> Salt Marshes	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	1. square feet	
	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	
	1. cubic yards dredged	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	1. square feet	
4. <input type="checkbox"/> Restoration/Enhancement	If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.	
	a. square feet of BVW	b. square feet of Salt Marsh
5. <input type="checkbox"/> Project Involves Stream Crossings		
	a. number of new stream crossings	b. number of replacement stream crossings



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Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

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MassDEP File Number

Document Transaction Number

New Bedford

City/Town

C. Other Applicable Standards and Requirements

- ☐ This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

- a. ☐ Yes ☒ No **If yes, include proof of mailing or hand delivery of NOI to:**

Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581

August 2018

b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review*

1. ☐ Percentage/acreage of property to be altered:

(a) within wetland Resource Area

percentage/acreage

(b) outside Resource Area

percentage/acreage

2. ☐ Assessor's Map or right-of-way plan of site

2. ☒ Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **

(a) ☒ Project description (including description of impacts outside of wetland resource area & buffer zone)

(b) ☐ Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/>). Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

New Bedford

City/Town

C. Other Applicable Standards and Requirements (cont'd)

- (c) ☐ MESA filing fee (fee information available at http://www.mass.gov/dfwele/dfw/nhosp/regulatory_review/ mesa/ mesa_fee_schedule.htm).
Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

- (d) ☐ Vegetation cover type map of site
- (e) ☐ Project plans showing Priority & Estimated Habitat boundaries
- (f) OR Check One of the Following
1. ☐ Project is exempt from MESA review.
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, http://www.mass.gov/dfwele/dfw/nhosp/regulatory_review/ mesa/ mesa_exemptions.htm; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)
 2. ☐ Separate MESA review ongoing. a. NHESP Tracking # _____ b. Date submitted to NHESP _____
 3. ☐ Separate MESA review completed.
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.
3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?
- a. ☒ Not applicable – project is in inland resource area only b. ☐ Yes ☐ No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

Division of Marine Fisheries -
Southeast Marine Fisheries Station
Attn: Environmental Reviewer
836 South Rodney French Blvd.
New Bedford, MA 02744
Email: DMF.EnvReview-South@state.ma.us

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -
North Shore Office
Attn: Environmental Reviewer
30 Emerson Avenue
Gloucester, MA 01930
Email: DMF.EnvReview-North@state.ma.us

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

New Bedford

City/Town

C. Other Applicable Standards and Requirements (cont'd)

Online Users:

Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
- a. ☐ Yes ☒ No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
- b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
- a. ☐ Yes ☒ No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
- a. ☐ Yes ☒ No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
- a. ☐ Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
1. ☐ Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 2. ☐ A portion of the site constitutes redevelopment
 3. ☐ Proprietary BMPs are included in the Stormwater Management System.
- b. ☒ No. Check why the project is exempt:
1. ☐ Single-family house
 2. ☐ Emergency road repair
 3. ☐ Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

- ☐ This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1. ☒ USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. ☒ Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

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Document Transaction Number

New Bedford

City/Town

D. Additional Information (cont'd)

3. ☒ Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. ☒ List the titles and dates for all plans and other materials submitted with this NOI.

Site Plan - 61 Wamsutta Street

a. Plan Title

Farland Corp.

Christian A. Farland, P.E.

b. Prepared By

c. Signed and Stamped by

5/29/19

1"=20'

d. Final Revision Date

e. Scale

f. Additional Plan or Document Title

g. Date

5. ☐ If there is more than one property owner, please attach a list of these property owners not listed on this form.
6. ☐ Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.
7. ☐ Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.
8. ☒ Attach NOI Wetland Fee Transmittal Form
9. ☐ Attach Stormwater Report, if needed.

E. Fees

1. ☐ Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

674

06/04/2019

2. Municipal Check Number

3. Check date

675

06/04/2019

4. State Check Number

5. Check date

Wamsutta II, LLC

6. Payor name on check: First Name

7. Payor name on check: Last Name



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Bureau of Resource Protection - Wetlands

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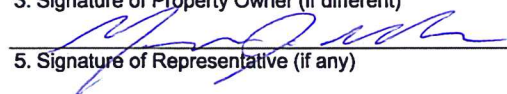
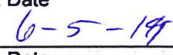
New Bedford

City/Town

F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

 1. Signature of Applicant	 2. Date
3. Signature of Property Owner (if different)	4. Date
 5. Signature of Representative (if any)	 6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.

NOI FEE TRANSMITTAL FORM



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:

61 Wamsutta Street

a. Street Address

675

c. Check number

New Bedford

b. City/Town

\$237.50

d. Fee amount

2. Applicant Mailing Address:

a. First Name

Acorn Management Co., Inc.

c. Organization

218 Willard Street

d. Mailing Address

Quincy

e. City/Town

MA

f. State

02169

g. Zip Code

h. Phone Number

i. Fax Number

j. Email Address

3. Property Owner (if different):

a. First Name

b. Last Name

c. Organization

d. Mailing Address

e. City/Town

f. State

g. Zip Code

h. Phone Number

i. Fax Number

j. Email Address

B. Fees

Fee should be calculated using the following process & worksheet. ***Please see Instructions before filling out worksheet.***

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

B. Fees (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
Category 2j.) Other - Utility Trench	1	\$500.00	\$500.00

Step 5/Total Project Fee:

Step 6/Fee Payments:

Total Project Fee:	\$500.00
	a. Total Fee from Step 5
State share of filing Fee:	\$237.50
	b. 1/2 Total Fee less \$12.50
City/Town share of filing Fee:	\$262.50
	c. 1/2 Total Fee plus \$12.50

C. Submittal Requirements

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection
Box 4062
Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)

CERTIFIED ABUTTERS LIST



City of New Bedford REQUEST for a CERTIFIED ABUTTERS LIST

This information is needed so that an official abutters list as required by MA General Law may be created and used in notifying abutters. You, as applicant, are responsible for picking up and paying for the certified abutters list from the assessor's office (city hall, room #109).

JAN 29 2019

SUBJECT PROPERTY			
MAP #	78	LOT(S)#	125
ADDRESS: 61 Wamsutta Street - New Bedford, MA 02740			
OWNER INFORMATION			
NAME: Wamsutta II, LLC (C/O Acorn Management Co., Inc.)			
MAILING ADDRESS: 218 Willard Street - Quincy, MA 02169			
APPLICANT/CONTACT PERSON INFORMATION			
NAME (IF DIFFERENT): Matthew White - Farland Corp.			
MAILING ADDRESS (IF DIFFERENT): 401 County Street - New Bedford, MA 02740			
TELEPHONE #	(508) 717-3479		
EMAIL ADDRESS:	mwhite@farlandcorp.com		
REASON FOR THIS REQUEST: Check appropriate			
<input type="checkbox"/>	ZONING BOARD OF APPEALS APPLICATION		
<input checked="" type="checkbox"/>	PLANNING BOARD APPLICATION 300' BUFFER		
<input checked="" type="checkbox"/>	CONSERVATION COMMISSION APPLICATION 100' BUFFER		
<input type="checkbox"/>	LICENSING BOARD APPLICATION		
<input type="checkbox"/>	OTHER (Please explain):		

Once obtained, the Certified List of Abutters must be attached to this Certification Letter.

Submit this form to the Planning Division Room 303 in City Hall, 133 William Street. You, as applicant, are responsible for picking up and paying for the certified abutters list from the assessor's office (city hall, room #109).

Official Use Only:

As Administrative Assistant to the City of New Bedford's Board of Assessors, I do hereby certify that the names and addresses as identified on the attached "abutters list" are duly recorded and appear on the most recent tax.

Carlos Amado

Printed Name

Signature

1/30/2019
Date

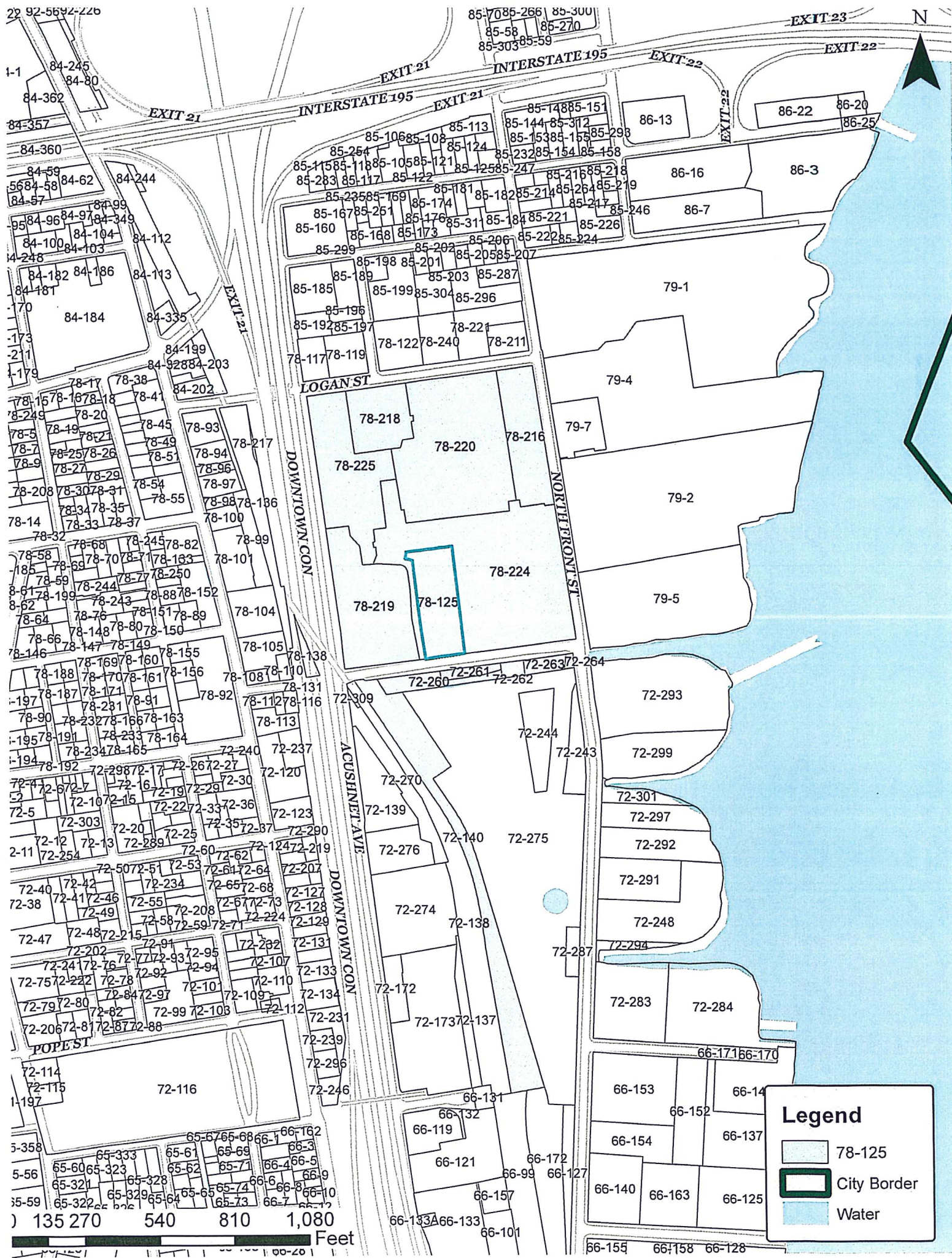
January 29, 2019

Dear Applicant,

Please find below the List of Abutters within 300 feet of the property known as 61 Wamsutta Street (Map: 78, Lot: 125). The current ownership listed herein must be checked and verified by the City of New Bedford Assessor's Office. Following said verification, the list shall be considered a Certified List of Abutters.

Please note that multiple listed properties with identical owner name and mailing address shall be considered duplicates and shall require only 1 mailing. Additionally, City of New Bedford-Owned properties shall not require mailed notice.

Parcel	Location	Owner and Mailing Address
72-263 SS	WAMSUTTA ST	WAMSUTTA WAREHOUSE CO INC, 92 KILBURN STREET NEW BEDFORD, MA 02740
72-264 SS	WAMSUTTA ST	CITY OF NEW BEDFORD, HARBOR DEVELOPMENT 131 WILLIAM ST NEW BEDFORD, MA 02740
72-262	38 WAMSUTTA ST	CITY OF NEW BEDFORD, INTERCEPTING SEWER 131 WILLIAM ST NEW BEDFORD, MA 02740
78-125 Locus	61 WAMSUTTA ST	WAMSUTTA II LLC, C/O ACORN MANAGEMENT CO INC 218 WILLARD STREET QUINCY, MA 02169
72-140	RIGHT OF WAY	PENN CENTRAL CO., C/O CSX TRANSPORTATION (J910) 500 WATER STREET JACKSONVILLE, FL 32202
72-260 SS	WAMSUTTA ST	WAMSUTTA WAREHOUSE CO INC, 92 KILBURN STREET NEW BEDFORD, MA 02740
72-261	48 WAMSUTTA ST	RHEAUME ROBERT, RHEAUME GEORGE 48 WAMSUTTA STREET NEW BEDFORD, MA 02740
78-219	75 WAMSUTTA ST	WAMSUTTA LLC, C/O ACORN MANAGEMENT CO INC 218 WILLARD STREET QUINCY, MA 02169
78-224	1 WAMSUTTA ST	WAMSUTTA WAREHOUSE CO INC, 92 KILBURN STREET NEW BEDFORD, MA 02740
78-216 WS	N FRONT ST	WAMSUTTA WAREHOUSE CO INC, 92 KILBURN STREET NEW BEDFORD, MA 02740
78-225	24 LOGAN ST	WAMSUTTA LLC, C/O ACORN MANAGEMENT CO INC 218 WILLARD STREET QUINCY, MA 02169
78-218	22 LOGAN ST	COGGESHALL INVESTMENTS LTD, P O BOX 61008 NEW BEDFORD, MA 02746
78-220 SS	LOGAN ST	WAMSUTTA POND CORP, 800 ACUSHNET AVE NEW BEDFORD, MA 02740



Legend

- 78-125
- City Border
- Water

ABUTTER NOTIFICATION

Notification to Abutters Under the Massachusetts Wetlands Protection Act

In accordance with the second paragraph of Massachusetts General Laws Chapter 131, Section 40, you are hereby notified of the following:

- A. The name of the applicant is Acorn Management Co., Inc.
- B. The applicant has filed a Notice of Intent with the Conservation Commission for the municipality of New Bedford seeking permission to remove, fill, dredge or alter an Area Subject to Protection under the Wetlands Protection Act (General Laws Chapter 131, Section 40).
- C. The address of the lot where the activity is proposed is 61 Wamsutta Street (Assessor's Map 78 Lot 125).
- D. Copies of the Notice of Intent may be examined at the New Bedford Conservation Commission office at 133 William Street, Room 304 (Office of Environmental Stewardship) – New Bedford, MA 02740 between the hours of 8:30 a.m. and 3:30 p.m. on Monday through Friday.
- E. Copies of the Notice of Intent may also be obtained from the applicant's representative FOR A REASONABLE FEE by calling: Farland Corp. at (508) 717-3479 between the hours of 8:00 am and 4:00 pm on Monday – Friday.
- F. Information regarding the date, time and place of the public hearing may be obtained from the NEW BEDFORD CONSERVATION COMMISSION by calling: (508)991-6188.

NOTE: Notice of the public hearing, including its date, time, and place, will be published at least five (5) days in advance in a publication with general circulation in the Community.

NOTE: Notice of the public hearing, including its date, time, and place, will be posted in the City or Town Hall not less than forty-eight (48) hours in advance.

NOTE: You also may contact the nearest Department of Environmental Protection Regional Office for more information about this application or the Wetlands Protection Act. To contact DEP, call: (508) 946-2700

AFFADAVIT OF SERVICE

Under the Massachusetts Wetlands Protection Act

(to be submitted to the Massachusetts Department of
Environmental Protection and the Conservation Commission
when filing a Notice of Intent)

I, Matthew White hereby certify under the pains and penalties of perjury that
on June 6, 2019, I gave notification to abutters in compliance with the
second paragraph of Massachusetts General Laws Chapter 131, Section 40,
and the DEP Guide to Abutter Notification dated April 8, 1994, in
connection with the following matter:

A Notice of Intent filed under the Massachusetts Wetlands
Protection Act by Acorn Management Co., Inc. with the New
Bedford Conservation Commission on June 6, 2019 for
property located at 61 Wamsutta Street (Map 78 Lot 125).

The form of the notification, and a list of the abutters to whom it was given
and their addresses, are attached to this Affidavit of Service.

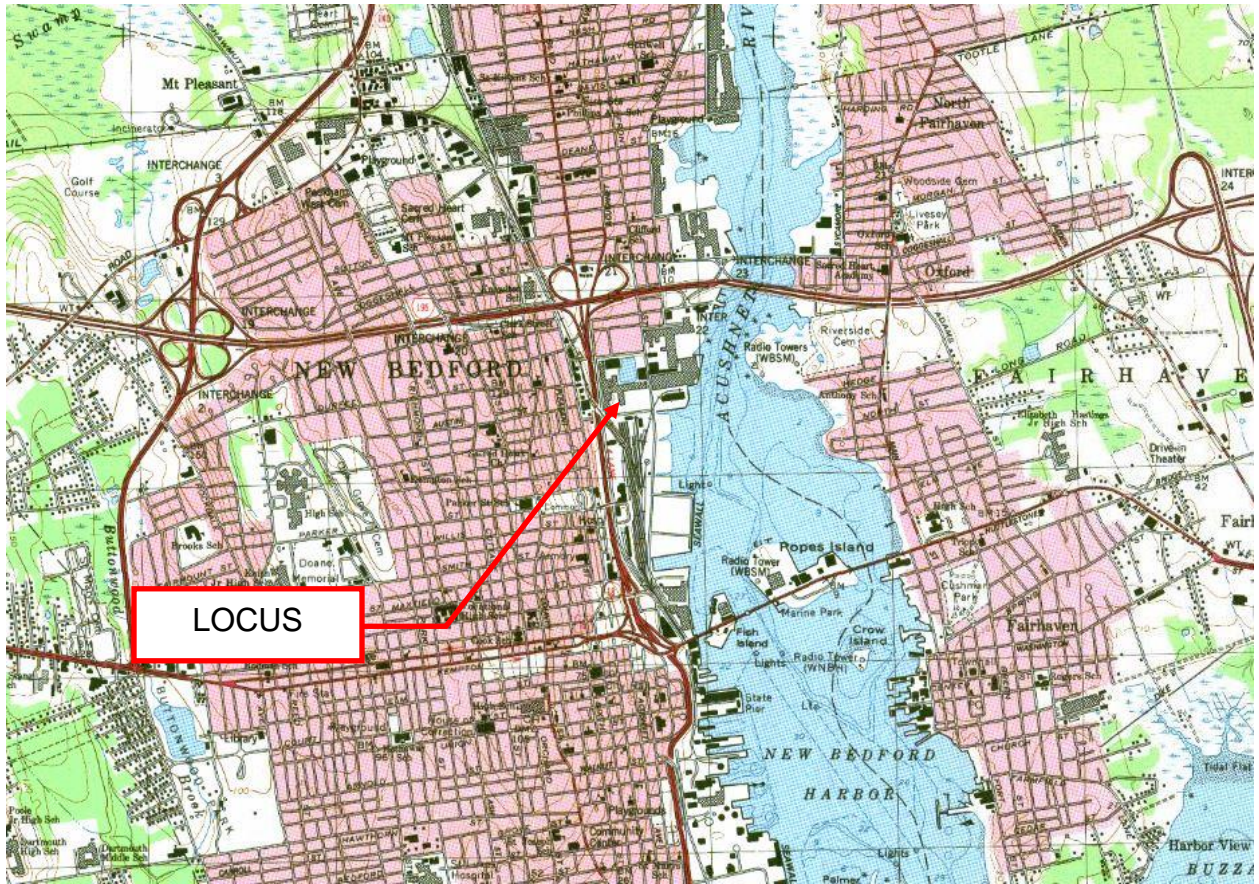


Name

6-5-19

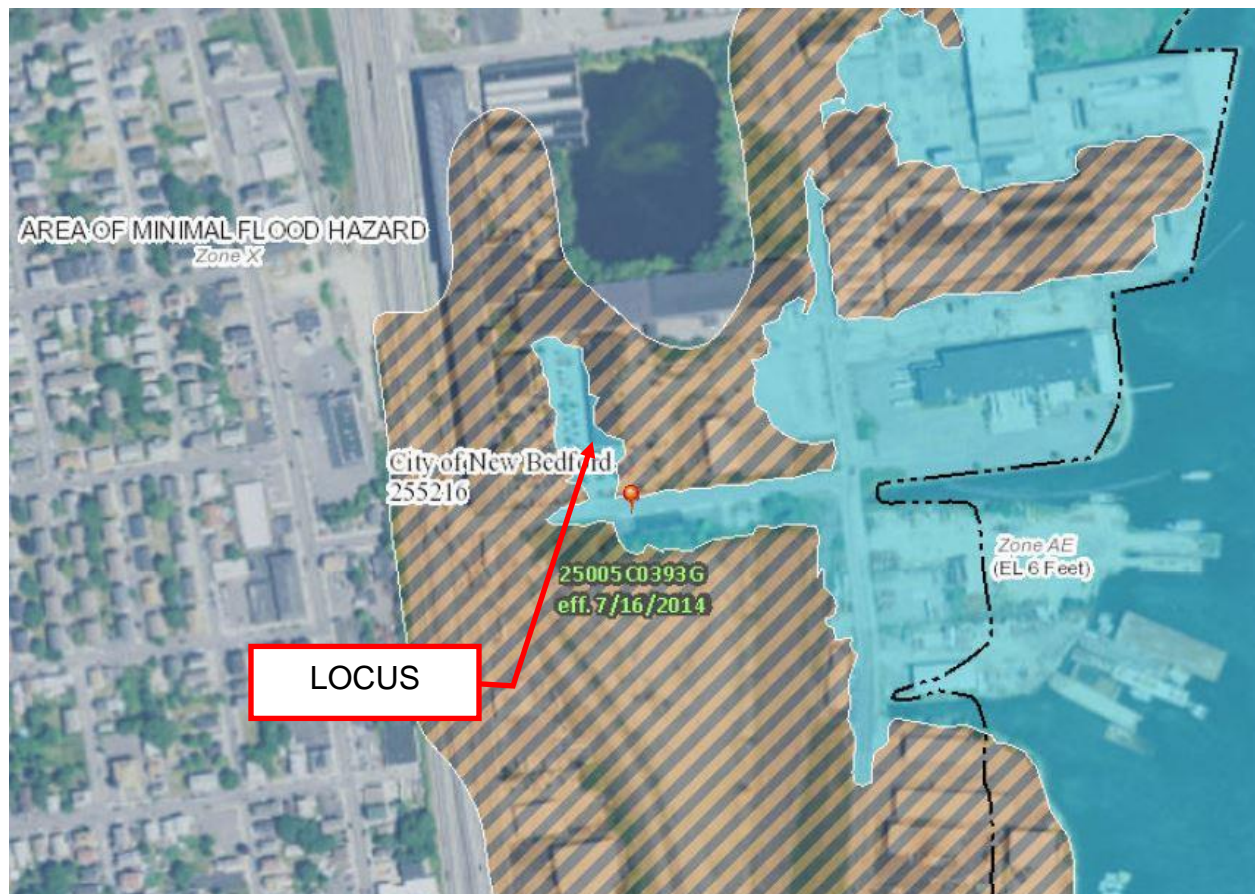
Date

USGS MAP
TOPO! VERSION 2.1.0

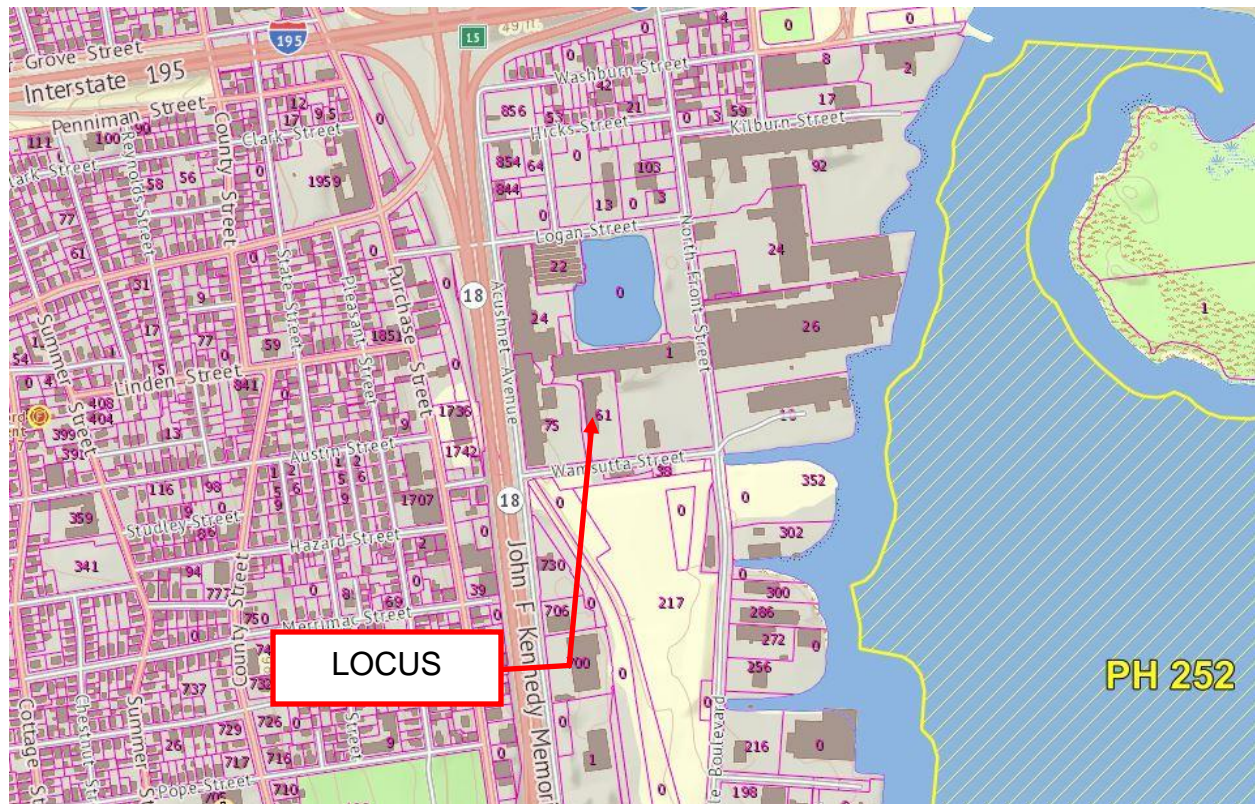


FIRM MAP

PANELS #25005C0393G



NHESP PRIORITY & ESTIMATED HABITAT MAP, 2017





ENGINEERING A BETTER TOMORROW
ENGINEERING | SITE WORK | LAND SURVEYING

Long Term Pollution Prevention Plan

Site Plan 61 Wamsutta Street New Bedford, MA 02740

June 5, 2019

Owner:

Wamsutta II, LLC
C/O Acorn Management Co., Inc.
218 Willard Street
Quincy, MA 02169

Prepared For:

Acorn Management Co., Inc.
218 Willard Street
Quincy, MA 02169

Prepared By:

Farland Corp.
401 County Street
New Bedford, MA 02740
(508) 717-3479

Long Term Pollution Prevention Plan

This Long Term Pollution Prevention Plan serves to outline good housekeeping practices in order to prevent pollution of the wetland resource areas and surrounding environment. The Long Term Operation & Maintenance Plan shall be taken as part of this document as it is a critical part of this plan and shall be adhered to. Proper operation and maintenance records shall be kept on file at all times.

Snow disposal shall be carried out by the owner. The owner should follow DEP guideline #BWR G2015-01 for all snow removal requirements. For this site, it is anticipated that snow will be plowed from the impervious parking and driveway areas and piled along the shoulders of the driveway and parking areas. Snow along the building is anticipated to be removed by shovel or snow blower.

Snow disposal in the following areas are prohibited:

- Dumping snow in the bordering vegetated wetlands is prohibited.
- Dumping of snow on top of storm drain catch basins, grassed swale, or in stormwater drainage basin is prohibited. Snow combined with sand and debris may block a storm drainage system, causing localized flooding. A high volume of sand, sediment, and litter released from melting snow also may be quickly transported through the system into surface water.

Illicit discharges to the stormwater management system are prohibited. Illicit discharges are those that are not entirely comprised of stormwater. Notwithstanding the foregoing, an illicit discharge does not include discharges from the following activities or facilities; firefighting, water line flushing, landscape irrigation, uncontaminated groundwater, potable water sources, foundation drains, air conditioning condensation, footing drains, individual residence car washing, flows from riparian habitats and wetlands, de-chlorinated water from swimming pools, water used for street washing, and water used to clean residential buildings without detergents. Measures are provided below to prevent illicit discharges to the stormwater management system.

In order to prevent or minimize the potential for a spill of hazardous substances or oils to contaminate stormwater, a spill control and containment kit, including spill berm, absorbent materials, rags, gloves, and trash containers, shall be readily available. All product manufacturers recommended spill cleanup methods shall be known by maintenance personnel, who shall be trained regarding these procedures and the location of the cleanup procedure information and supplies. In the event of oil, gasoline or other hazardous waste spill on-site, the New Bedford Fire Department, DEP and the Conservation Agent shall be notified immediately. For spills of less than ¼ gallon, clean-up with absorbent materials or other appropriate means, unless circumstances dictate that the spill should be treated by a professional emergency response contractor. Spills which exceed the reportable quantities of substances mentioned in 40 CFR 110, 40 CFR 117, or 40 CFR 302 must be immediately reported to the EPA National Response Center (800) 242-8802. Any drainage inlet that may be affected by the spill shall be

covered immediately with a spill protector drain cover or similar product, or a spill berm placed around the perimeter of the opening to prevent any contamination into the drainage system. Proper cleanup and disposal of hazardous wastes must follow all applicable local and state regulations and must be carried out by a qualified contractor.

The maintenance of all lawns, gardens and landscaped areas shall be performed by the owner. Good housekeeping practices should include proper storage and minimal use of cleaning products and fertilizers. Facility owner should consult with a professional landscaper for proper maintenance of lawns and landscaped areas.



ENGINEERING A BETTER TOMORROW
ENGINEERING | SITE WORK | LAND SURVEYING

Long Term Operation and Maintenance Plan

Site Plan 61 Wamsutta Street New Bedford, MA 02740

June 5, 2019

Owner:

Wamsutta II, LLC
C/O Acorn Management Co., Inc.
218 Willard Street
Quincy, MA 02169

Prepared For:

Acorn Management Co., Inc.
218 Willard Street
Quincy, MA 02169

Prepared By:

Farland Corp.
401 County Street
New Bedford, MA 02740
(508) 717-3479

Street Sweeping

It shall be the responsibility of the owner to:

Inspections:

Inspect sediment deposit accumulations on the parking lots quarterly.

Maintenance:

Sweep parking lots at least annually.

Dispose of the accumulated sediment and hydrocarbons in accordance with local, state, and federal guidelines and regulations.

Deep Sump Catch Basins

The catch basins and manholes are to be inspected and maintained by the owner.
It shall be the responsibility of the owner to:

Inspections:

Inspect the catch basins and manholes quarterly.

Maintenance:

Remove accumulated sediment, trash, leaves and debris when the depth of deposits is greater than or equal to one half the depth from the bottom invert of the lowest pipe in the basin and/or manhole to the bottom elevation of the basin or manhole.

Dispose of the accumulated sediment and hydrocarbons in accordance with local, state, and federal guidelines and regulations.

Grease Trap & Water Quality Units

The units are to be inspected and maintained by the owner.

It shall be the responsibility of the owner to:

Inspections:

Inspect the units quarterly.

Prepare inspection reports as part of each inspection and include the following information:

1. Date of inspection
2. Maintenance personnel
3. Location of unit (GPS coordinates if possible)
4. Time since last rainfall
5. Installation deficiencies (missing parts, incorrect installation of parts)
6. Structural Deficiencies (concrete cracks, broken parts)

7. Operational deficiencies (leaks, blockages)
8. Presence of oil sheen or depth of oil layer
9. Estimate of depth/ volume of floatables (trash, leaves) captured
10. Sediment depth measured
11. Recommendations for any repairs and/ or maintenance for the units
12. Estimation of time before maintenance is required if not required at time of inspection.

Maintenance:

Typically, the unit is maintained using a vacuum truck or clam shell bucket.

The Stormceptor Unit shall be cleaned once the sediment depth reaches 15% of the storage capacity.

To remove oil and other hydrocarbons that accumulate, it may be preferable to use adsorbent pads.

Dispose of the accumulated sediment and hydrocarbons in accordance with local, state, and federal guidelines and regulations.

Drain Lines

After construction, the drain lines shall be inspected after every major storm for the first few months to ensure proper functions. Presence of accumulated sand and silt would indicate more frequent maintenance of the pre-treatment devices is required. Thereafter, the drain lines shall be inspected at least once per year. Accumulated silt shall be removed by a vacuum truck or other method preferred.

ILLICIT DISCHARGE STATEMENT



June 5, 2019

**RE: Site Plan – 61 Wamsutta Street
Illicit Discharge Compliance Statement (IDCS)**

To Whom it Concerns,

As required, we are submitting this Illicit Discharge Compliance Statement verifying that no illicit discharges exist on the site or are proposed. We have included in the pollution prevention plan measures to prevent illicit discharges to the stormwater management system, including wastewater discharges and discharges of stormwater contaminated by contact with process wastes, raw materials, toxic pollutants, hazardous substances, oil, or grease.

The site plan identifies the location of any systems for conveying wastewater and/or groundwater on the site and show that there are no connections between the stormwater and wastewater management systems and the location of any measures taken to prevent the entry of illicit discharges into the stormwater management system.

Please feel free to contact us if you should need any further information.

Very Truly Yours,

FARLAND CORP., INC.

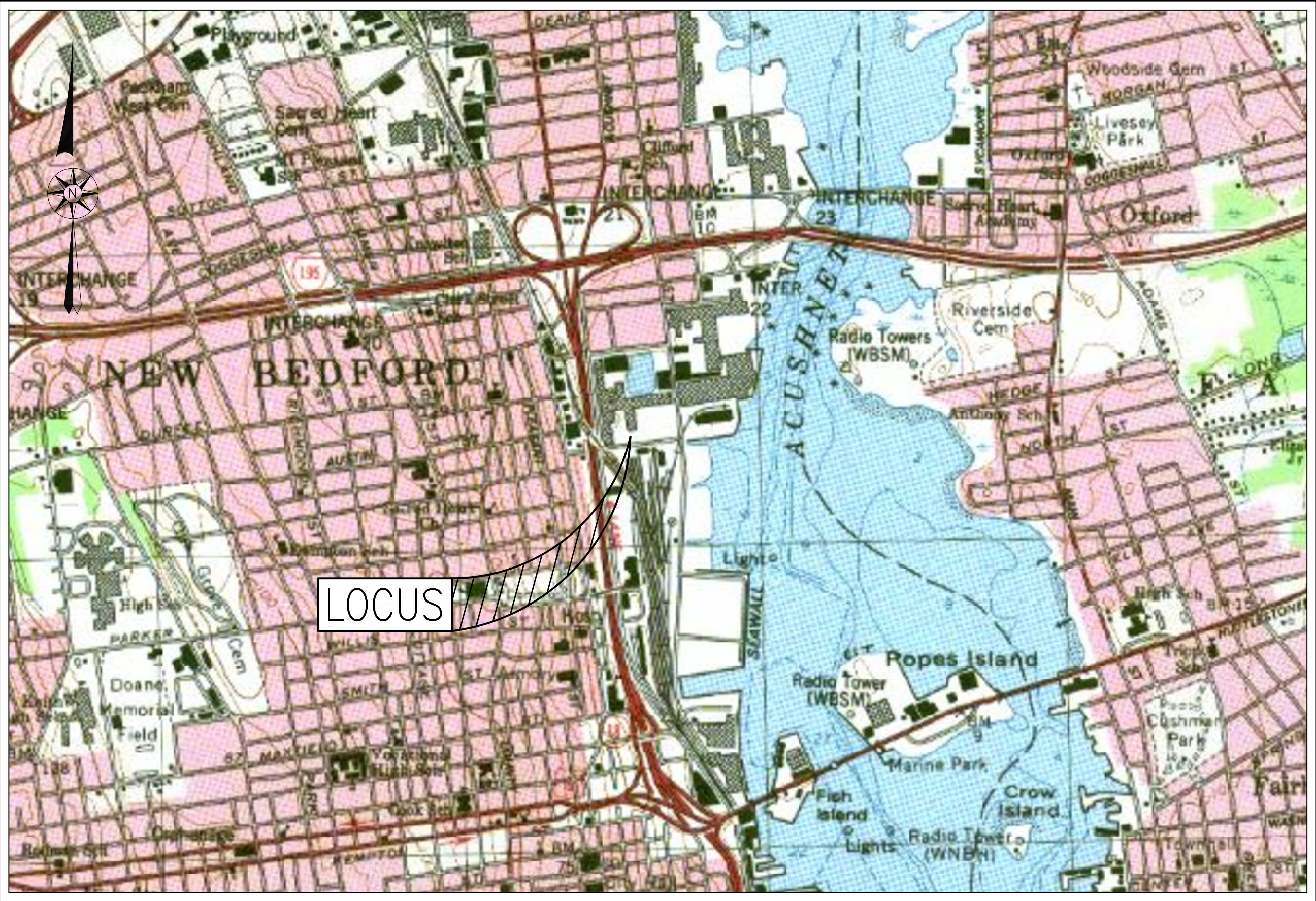
Christian A. Farland

Christian A. Farland, P.E., LEED AP
Principal Engineer and President

SITE PLAN

S I T E P L A N
61 WAMSUTTA STREET
ASSESSORS MAP 78 LOT 125
NEW BEDFORD, MA 02740

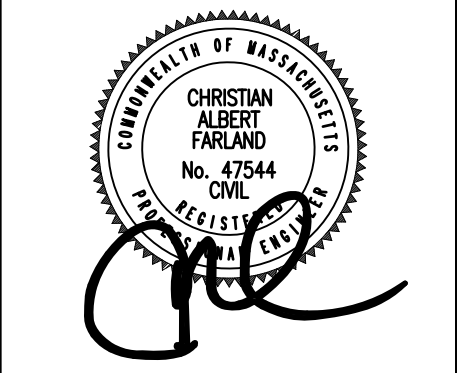
— ZONING DATA —			
DISTRICT: INDUSTRIAL B (IB)			
OVERLAY DISTRICT: HICKS-LOGAN-SAWYER INTERIM PLANNING (HLS IPOD)			
DESCRIPTION	REQUIRED	EXISTING	PROVIDED
LOT AREA	40,000 S.F.	56,600± S.F.	56,600± S.F.
UPLAND AREA	30,000 S.F.	56,600± S.F.	56,600± S.F.
LOT FRONTAGE	100.00 FT	137.51 FT	137.51 FT
FRONT SETBACK	35 FT	118.5± FT	118.5± FT
SIDE SETBACK	20 FT	41± FT	4.1± FT
REAR SETBACK	20 FT	19.3± FT	19.3± FT
BUILDING HEIGHT (MAXIMUM)	50 FT	26.3± FT	26.3± FT
LOT COVERAGE (MAXIMUM)	50 %	27.6± %	27.6± %
— PARKING REQUIREMENT —			
PRINCIPAL USE: MULTI-UNIT RESIDENTIAL			
REQUIREMENT	REQUIRED	PROVIDED	
TWO (2) SPACES PER UNIT	66 SPACES	81 SPACES	



— AREA MAP —
SCALE: 1"=1,000'±

— INDEX —	
SHEET	DESCRIPTION
C1.0	COVER
C2.0	EXISTING CONDITIONS
C3.0	LAYOUT
C4.0	GRADING AND DRAINAGE
C5.0	LANDSCAPING
C6.0	NOTES & LEGEND
C7.0	DETAILS

REVISIONS		
1	6/5/19	CONSERVATION COMMENTS



www.FarlandCorp.com
401 COUNTY STREET
NEW BEDFORD, MA 02740
P.508.717.3479
OFFICES IN:
• TAUNTON
• MARLBOROUGH
• WARWICK, RI

DRAWN BY: MJW
DESIGNED BY: MJW
CHECKED BY: CAF

SITE PLAN
61 WAMSUTTA STREET
ASSESSORS MAP 78 LOT 125
NEW BEDFORD, MASSACHUSETTS
PREPARED FOR:
ACORN MANAGEMENT CO., INC.
218 WILLARD STREET
QUINCY, MA 02169

APRIL 8, 2019
SCALE: AS NOTED
JOB NO. 18-1084
LATEST REVISION:
JUNE 5, 2019

COVER
C1.0

RECORD OWNER:
ASSESSORS MAP 78 LOT 125
WAMSUTTA II, LLC
C/O ACORN MANAGEMENT CO., INC.
218 WILLARD STREET
QUINCY, MA 02169
DEED BOOK 7535 PAGE 99



- TAUNTON
- MARLBOROUGH
- WARWICK, RI

CHECKED BY: CAF

— 61 WAMISUTTA STREET —
ASSESSORS MAP 78 LOT 125
NEW BEDFORD, MASSACHUSETTS

PREPARED BY: ACORN MANAGEMENT CO., INC.
FOR: 218 WILLARD STREET
QUINCY, MA 02169

EXISTING CONDITIONS

A graphic scale bar with alternating black and white segments. It is marked with 0', 20', 40', and 60'. Below the bar, it indicates 1" = 20'.



MAP 78 LOT 224
N/F
/ WAMSUTTA
WAREHOUSE CO., INC

ASSESSORS
MAP 78 LOT 125
(AREA=1.30± ACRES)

MAP 78 LOT 224
N/F
WAMSUTTA
WAREHOUSE CO., INC.

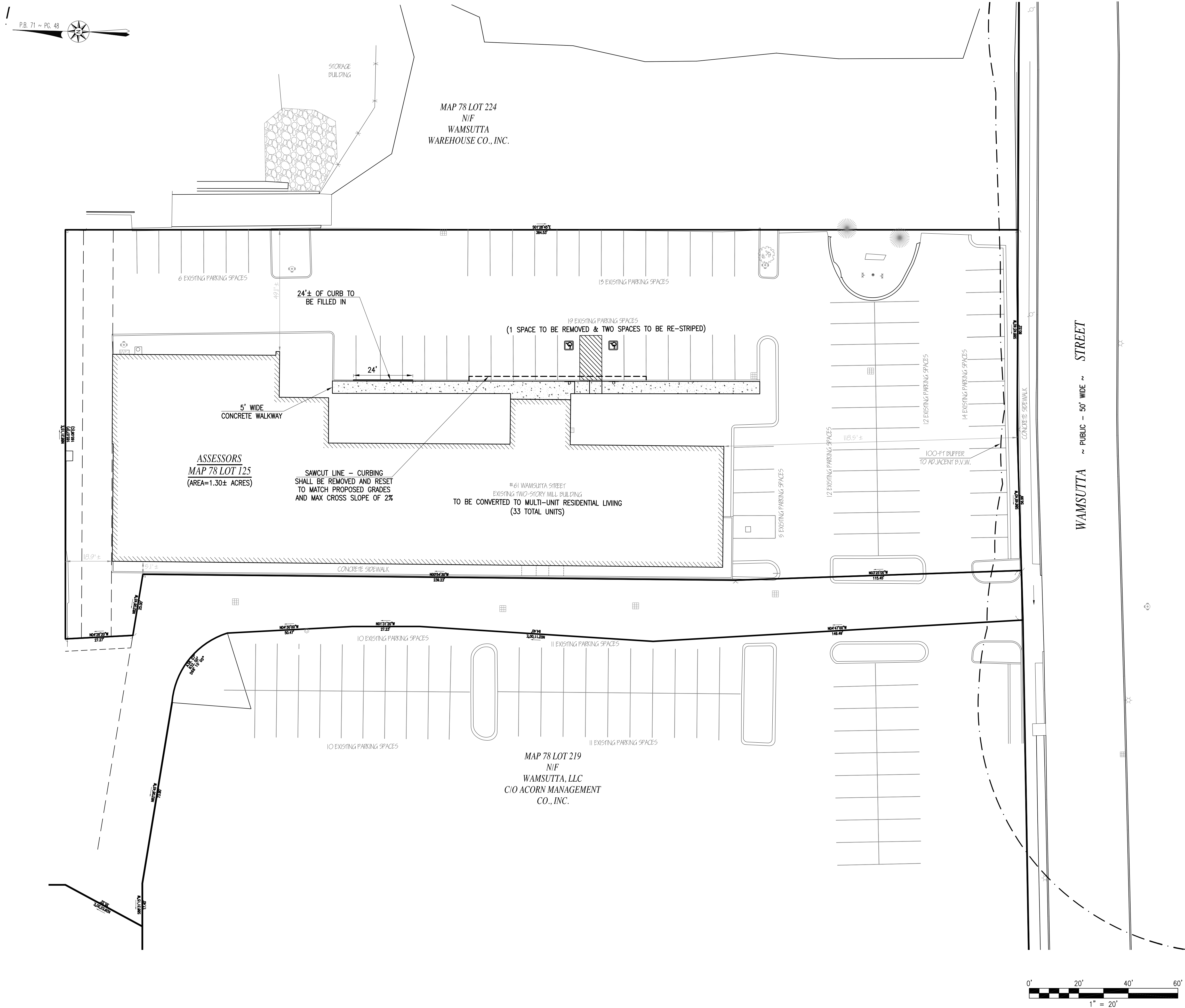
MAP 78 LOT 219
N/F
WAMSUTTA, LLC
C/O ACORN MANAGEMENT
CO., INC.

WAMSUTTA STREET
PUBLIC - 50' WIDE

2
PUB

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REVISIONS		
1	6/5/19	CONSERVATION COMMENTS



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401 COUNTY STREET
NEW BEDFORD, MA 02740
P.508.717.3479
OFFICES IN:
•TAUNTON
•MARLBOROUGH
•WARWICK, RI

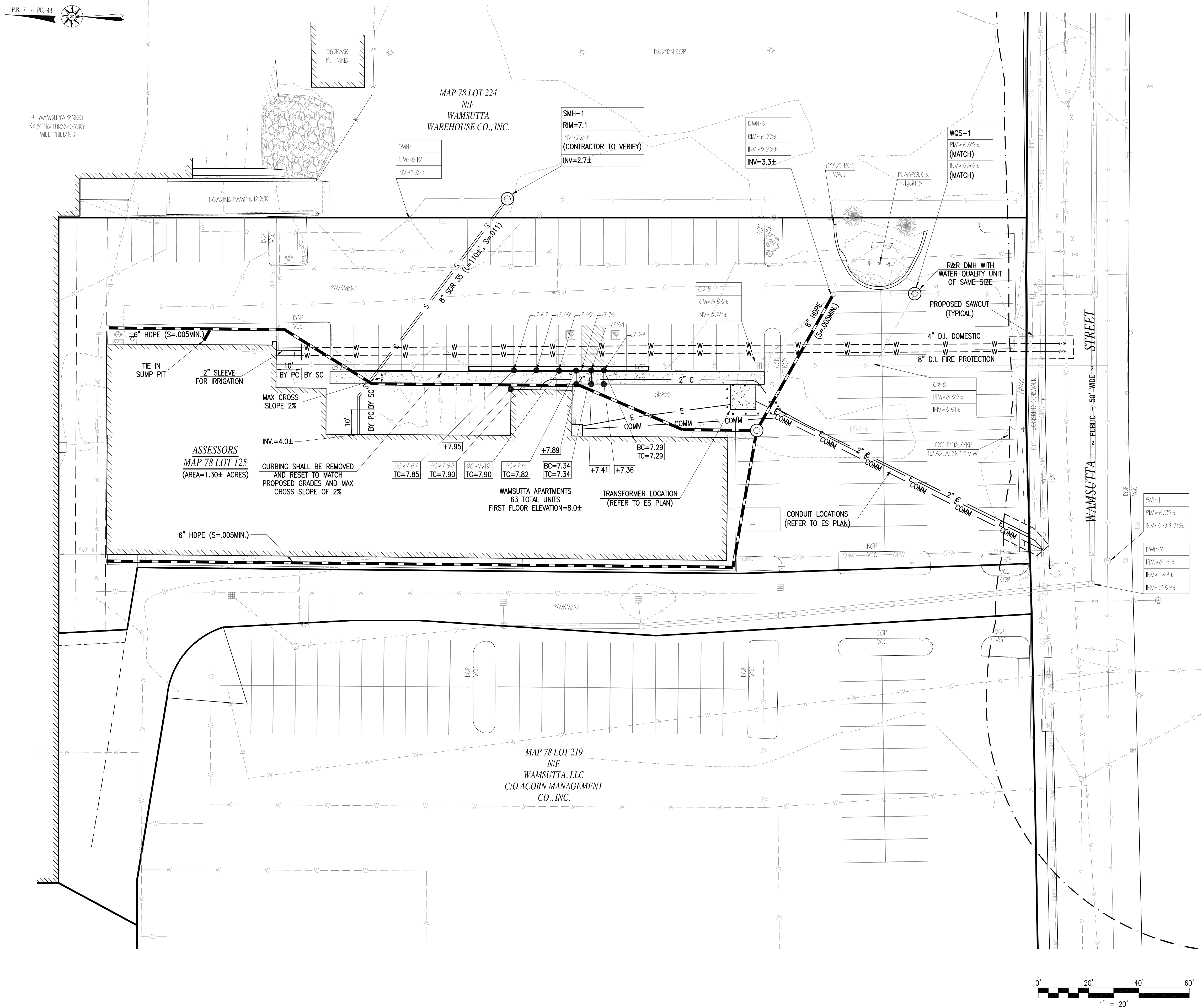
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DESIGNED BY: MJW
CHECKED BY: CAF

SITE PLAN
61 WAMSUTTA STREET
ASSESSORS MAP 78 LOT 125
NEW BEDFORD, MASSACHUSETTS
PREPARED FOR:
ACORN MANAGEMENT CO., INC.
218 WILLARD STREET
QUINCY, MA 02169

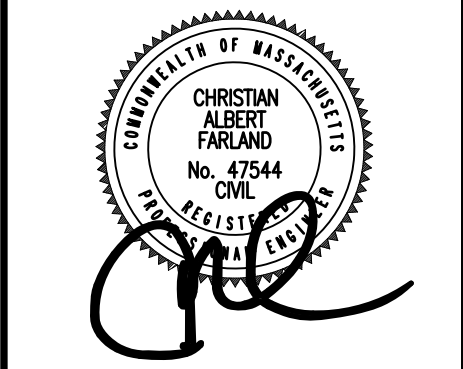
APRIL 8, 2019
SCALE: 1"=20'
JOB NO. 18-1084
LATEST REVISION:
JUNE 5, 2019

LAYOUT
C3.0

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REVISIONS		
1	6/5/19	CONSERVATION COMMENTS



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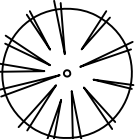

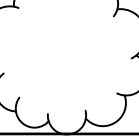


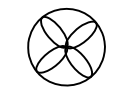


401 COUNTY STREET
NEW BEDFORD, MA 02740
P.508.717.3479
OFFICES IN:
• TAUNTON
• MARLBOROUGH
• WARWICK, RI

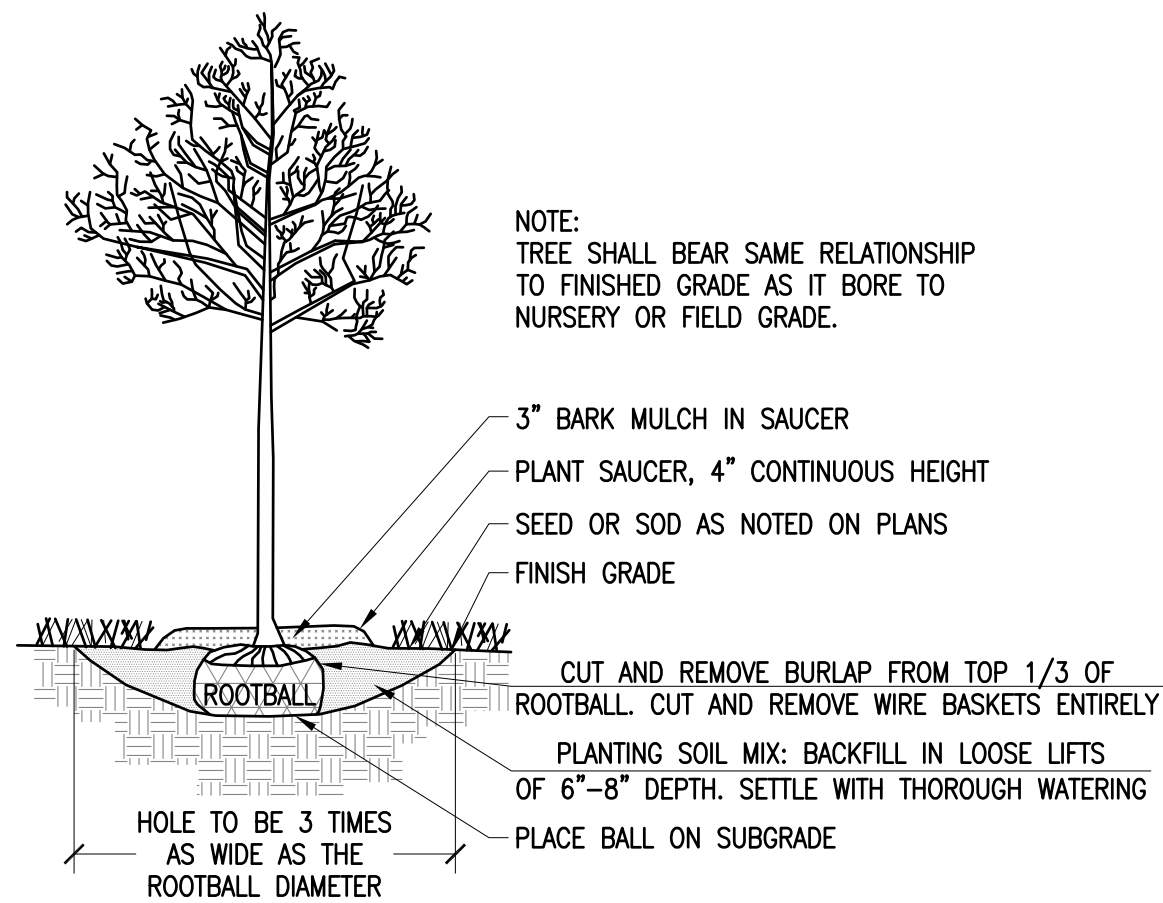
DRAWN BY: MJW
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SITE PLAN
61 WAMSUTTA STREET
ASSESSORS MAP 78 LOT 125
NEW BEDFORD, MASSACHUSETTS
PREPARED FOR:
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218 WILLARD STREET
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APRIL 8, 2019
SCALE: 1"=20'
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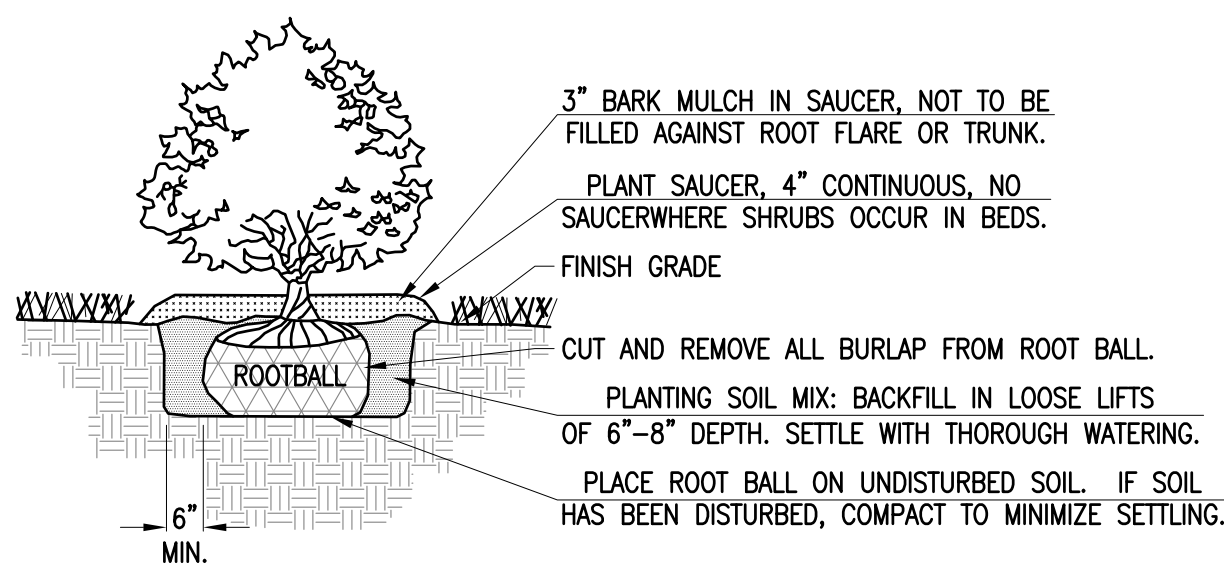
UTILITIES & GRADING
C4.0

LANDSCAPE TABLE				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
TREES				
	CUPRESSOCYPARIS LEYLANDIL	LEYLAND CYPRESS	5'-6' HT	5
	CORNUS FLORIDA	WHITE DOGWOOD	5'-6' HT	1
	SYRINGA RETICULATA	JAPANESE LILAC	5'-6' HT	2
SHRUBS				
	ILEX GLABRA 'SHAMROCK'	INKBERRY	2 GAL.	10
	JUNIPERUS SQUAMATA	BLUE STAR	2 GAL.	18
	HYDRANGEA MACROPHYLLA 'NIKKO BLUE'	NIKKO BLUE HYDRANGEA	2 GAL.	33
	ILEX OPACA	AMERICAN HOLLY	2 GAL.	17
	MISCANTHUS SINENSIS	AUTUMN ANTHEM	2 GAL.	34



TREE PLANTING

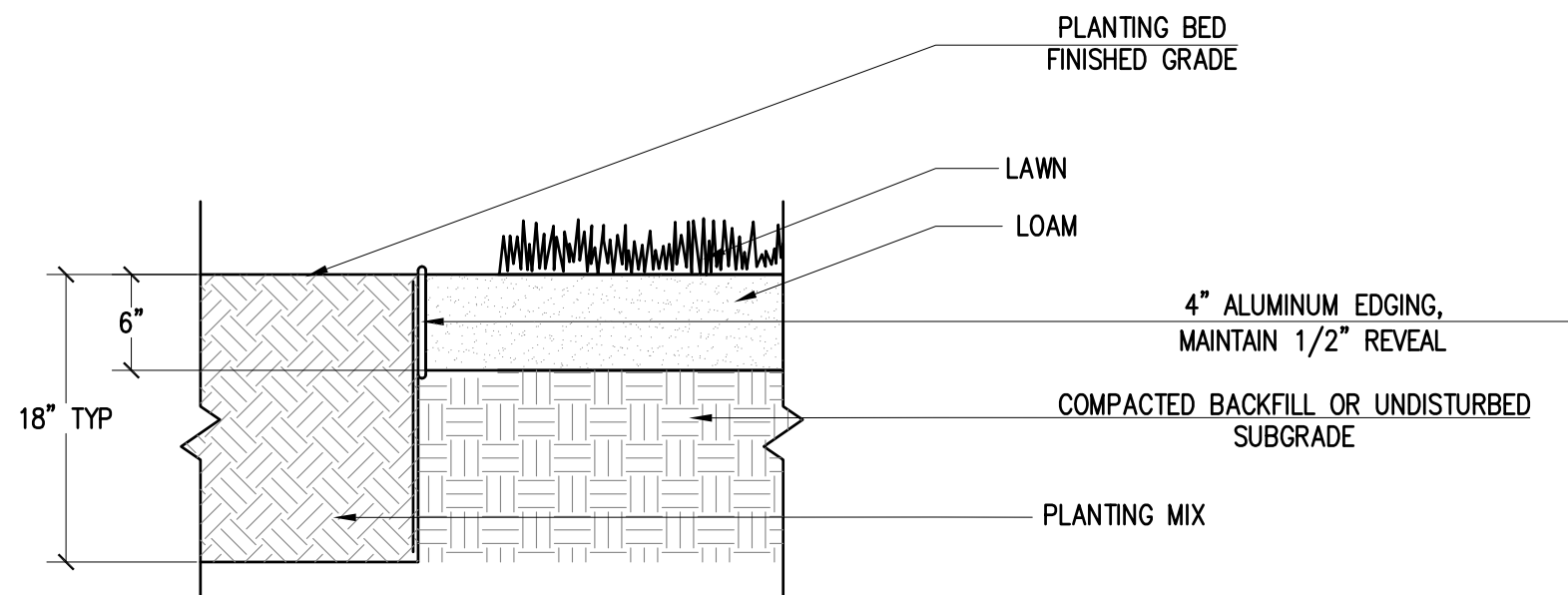
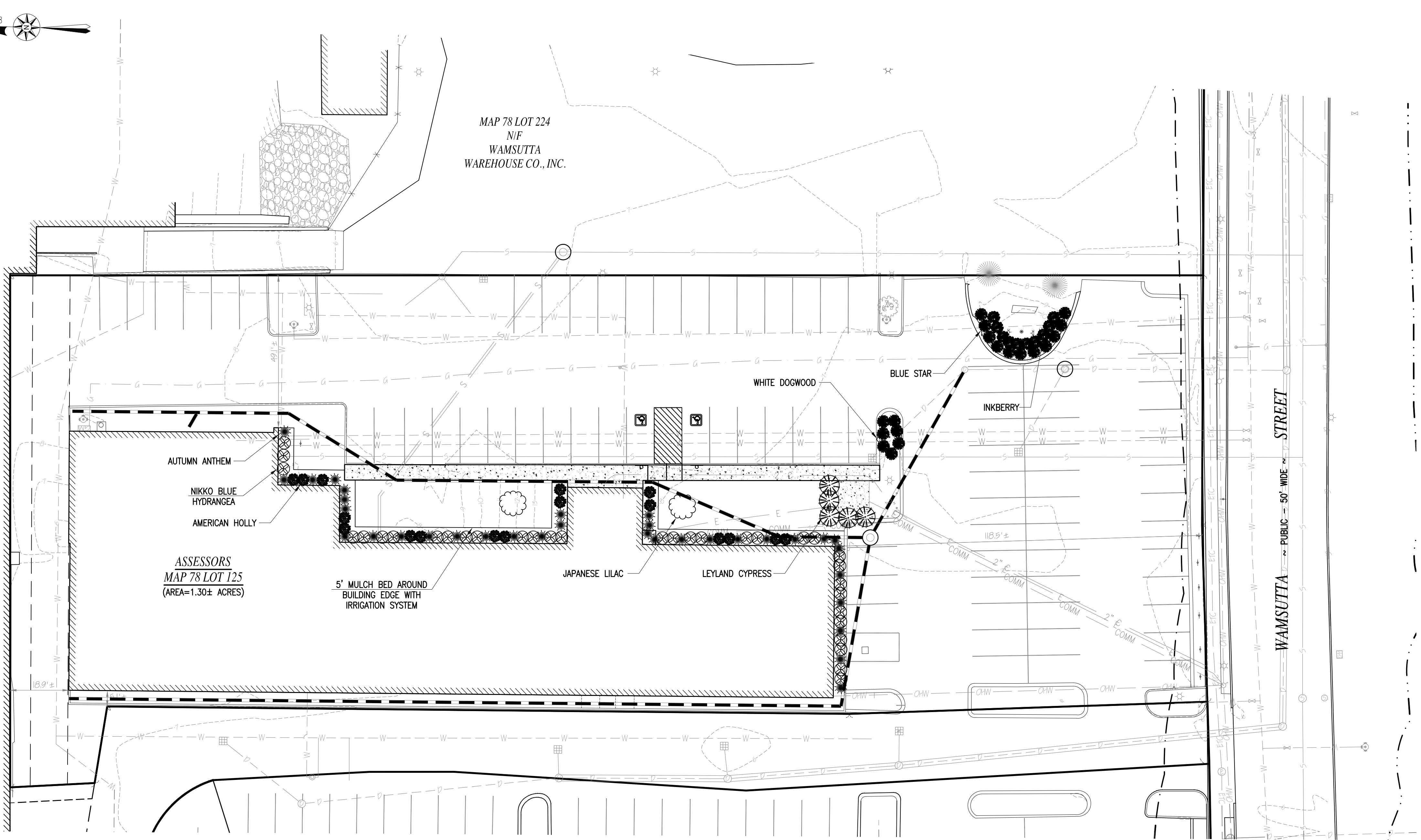
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- NOTES:
- SHRUB SHALL BEAR SAME RELATIONSHIP TO FINISHED GRADE AS IT BORE TO NURSERY OR FIELD GRADE.
 - WHERE SHRUBS OCCUR IN GROUPINGS IN PLANT BEDS, PROVIDE 2" DEEP CONTINUOUS LOAM BED.

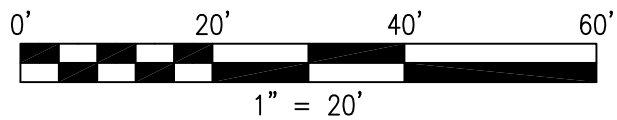
SHRUB PLANTING

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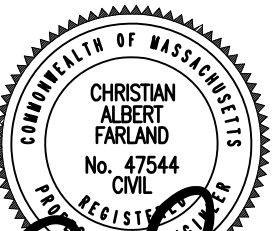

ALUMINUM PLANT BED EDGE

NOT TO SCALE



REVISIONS

1	6/5/19	CONSERVATION	COMMENTS



www.FarlandCorp.com
401 COUNTY STREET
NEW BEDFORD, MA 02740
P.508.717.3479
OFFICES IN:
• TAUNTON
• MARLBOROUGH
• WARWICK, RI

DRAWN BY: MJW
DESIGNED BY: MJW
CHECKED BY: CAF

SITE PLAN

61 WAMSUTTA STREET
ASSESSORS MAP 78 LOT 125
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:
ACORN MANAGEMENT CO., INC.
218 WILLARD STREET
QUINCY, MA 02169

APRIL 8, 2019

SCALE: 1"=20'

JOB NO. 18-1084

LATEST REVISION:
JUNE 5, 2019

LANDSCAPING
C5.0

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
2. TOPOGRAPHIC AND PROPERTY LINE SURVEY PERFORMED BY FARLAND CORP. IN 2019.
3. VERTICAL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988 AND HORIZONTAL LOCATIONS REFER TO THE NORTH AMERICAN DATUM (NAD) OF 1983.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL STANDARDS AND REGULATIONS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.
6. ALL BENCHMARKS SHOWN ON THIS PLAN ARE TO BE CHECKED FOR CONSISTENCY BY THE CONTRACTOR. ANY DISCREPANCIES MUST BE RESOLVED BY THIS OFFICE PRIOR TO CONSTRUCTION.
7. WHERE PROPOSED PAVEMENT AND WALKS ARE TO MEET EXISTING, THE CONTRACTOR SHALL SAWCUT A NEAT LINE AND MATCH GRADE. SEAL ALL JOINTS WITH HOT BITUMINOUS ASPHALT JOINT SEALER.
8. CURBING TO BE AS INDICATED ON THE PLANS.
9. ALL EXISTING TREES, SHRUBS AND GROUND COVER WHERE NATURAL GRADE IS TO BE RETAINED SHALL BE KEPT IN THE EXISTING STATE UNTIL REMOVAL IS REQUIRED FOR CONSTRUCTION PURPOSES.
10. ALL AREAS DISTURBED BY CONSTRUCTION AND NOT TO BE PAVED OR OTHERWISE TREATED AS NOTED ON PLAN SHALL BE TREATED WITH 4" OF LOAM, SEEDED AND HAY MULCHED FOR EROSION CONTROL.
11. SITE IMPROVEMENTS SHALL CONFORM TO A.D.A. SPECIFICATIONS.
12. THE CONTRACTOR SHALL PROTECT AND/OR CAP OFF ALL EXISTING ON-SITE UTILITY SERVICES ACCORDING TO THE LOCAL AUTHORITY'S SPECIFICATIONS. SERVICES SHALL BE CAPPED OFF WHERE SAME ENTER THE PERIMETER OF THE PROPERTY LINE.
13. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
14. ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.

1. WITHIN THE LIMIT OF WORK LINE AS NOTED ON THE SITE PLANS, REMOVE AND DISCARD ALL CONCRETE PAVEMENT, BITUMINOUS CONCRETE PAVEMENT, BRICK PAVEMENT, TOP SOIL, MULCH, TRASH, DEAD TREES AND STUMPS, SHRUBBERY, CHAIN LINK FENCE POSTS, RAILS, FABRIC, GATES, FOOTINGS AND ALL APPURTENANCES, BOLLARDS, POSTS, CONCRETE FOOTINGS AND FOUNDATIONS, WALLS AND CURBS UNLESS OTHERWISE NOTED.
2. THE OWNER'S REPRESENTATIVE SHALL BE CONSULTED AND WILL REVIEW THE WORK ON SITE WITH THE CONTRACTOR BEFORE ANY WORK SHALL COMMENCE.
3. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO STARTING WORK.
4. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS TO REMAIN THAT ARE DUE TO CONTRACTOR OPERATIONS.
5. ALL ITEMS TO BE REMOVED THAT ARE NOT STOCKPILED FOR LATER REUSE ON THE PROJECT OR DELIVERED TO THE OWNER SHALL BE LEGALLY DISPOSED OF OFF SITE BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS EFFORTS OF THE DEMOLITION WITH ALL TRADES.
7. THE CONTRACTOR SHALL COORDINATE ALL ADJUSTMENT OR ABANDONMENT OF UTILITIES WITH THE RESPECTIVE UTILITY COMPANY.
8. THE CONTRACTOR SHALL MAINTAIN OR ADJUST TO NEW FINISH GRADES AS NECESSARY ALL UTILITY AND SITE STRUCTURES SUCH AS LIGHT POLES, SIGN POLES, MANHOLES, CATCH BASINS, HAND HOLES, WATER AND GAS GATES, HYDRANTS, ETC., FROM MAINTAINED UTILITY AND SITE SYSTEMS UNLESS OTHERWISE NOTED OR DIRECTED BY THE OWNER'S REPRESENTATIVE.

1. ALL ON-SITE STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) OR RCP, UNLESS NOTED OTHERWISE.
2. HDPE PIPE SHALL CONFORM WITH AASHTO DESIGNATIONS M294 AND M252. SHALL BE MANUFACTURED WITH HIGH DENSITY POLYETHYLENE PLASTIC AND SHALL BE ADS N-12 PIPE AS MANUFACTURED BY ADVANCE DRAINAGE SYSTEM, INC. OR HANCOR HI Q PIPE AS MANUFACTURED BY HANCOR, INC. OR APPROVED EQUAL UNLESS OTHERWISE NOTED OR DETAIL.
3. A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES.
4. ALL SERVICE CONNECTIONS SHALL BE INSTALLED TO A POINT OF 10 FEET FROM THE BUILDING WALL UNLESS OTHERWISE NOTED OR DETAIL.
5. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 5 FEET OF COVER AND A MAXIMUM OF 6 FEET OF COVER EXCEPT AS NOTED OR DETAILLED OTHERWISE. GREATER DEPTHS ARE PERMITTED WHERE REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES.
6. GENERALLY, WATER MAIN FITTINGS IDENTIFIED ON THIS DRAWING ARE SHOWN FOR INSTALLATION LOCATION AND PURPOSE. THE CONTRACTOR SHALL NOTE THAT NOT ALL FITTINGS ARE NOTED, SHOWN OR INDICATED.
7. ALL WATER MAIN FITTINGS, TEES, BENDS, HYDRANTS, ETC. SHALL BE RESTRAINED WITH CONCRETE THRUST BLOCKS.
8. DOMESTIC WATER SERVICES 2.5" AND SMALLER SHALL BE TYPE K COPPER TUBING AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED CORPORATION STOP AND APPROVED SADDLE CURB STOP, AND BOX, USING MATERIALS SPECIFIED BY THE MUNICIPAL WATER DEPARTMENT OR COMPANY.
9. ALL WATER MAINS 3" AND LARGER SHALL BE CEMENT LINED DUCTILE IRON - CLASS 52, AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED FITTINGS AND GATE VALVES.
10. ALL WATER MAIN APPEARANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS SHALL MEET OR EXCEED ALL LOCAL MUNICIPAL REQUIREMENTS.
11. PRESSURE AND LEAKAGE TEST, DISINFECTION AND FLUSHING SHALL BE IN ACCORDANCE WITH ALL LOCAL MUNICIPAL STANDARDS AND REQUIREMENTS. CONTRACTORS SHALL BE RESPONSIBLE FOR ALL COSTS IN CONNECTION WITH UTILITY TESTS, FLUSHING AND INSPECTIONS AS REQUIRED BY THE LOCAL MUNICIPALITY.
12. PRIMARY WATER METER AND BACKFLOW PREVENTER SHALL BE LOCATED AT THE POINT WHERE THE WATER LINE ENTERS THE BUILDING UNLESS OTHERWISE NOTED OR DETAILLED ON THE DRAWINGS.
13. ALL GRAVITY SEWER PIPE SHALL BE PVC PER ASTM D3034, SDR-35 AND ASTM D1784 WITH RUBBER GASKET JOINTS.
14. WHERE SANITARY SEWERS CROSS WATER LINES, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST EIGHTEEN INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL JOINT PIPE FOR A DISTANCE OF TEN FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR AS THE SEWER AS POSSIBLE. IF MECHANICAL JOINT PIPE IS NOT USED THAN BOTH THE WATER MAIN AND SANITARY SEWER SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
15. DUE TO THE SMALL SCALE OF THE SITE WORK DRAWINGS, EXACT LOCATION OF UTILITY STUDS FOR BUILDING CONNECTIONS SHALL BE VERIFIED WITH THE BUILDING DRAWINGS. SERVICE STUDS TO THE BUILDING SHALL BE INSTALLED TO A POINT 10 FEET FROM THE BUILDING WALL UNLESS OTHERWISE NOTED OR DETAILLED.
16. WHERE PROPOSED GRADES MEET EXISTING GRADES, CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. PONDING AT TRANSITION AREAS WILL NOT BE ALLOWED.
17. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS AND STRUCTURES.
18. MAXIMUM SLOPE IN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
19. CONTRACTOR SHALL VERIFY EXISTING GRADES AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
20. CONTRACTOR SHALL VERIFY EXISTING UTILITY ELEMENTS TO BE DELETED TO MATCH WITH GRADE THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
21. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE OWNER'S REPRESENTATIVE FOR RESOLUTION OF THE CONFLICT.
22. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ALL GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
23. ELECTRICAL DUCT BANK LOCATION IS SHOWN FOR COORDINATION PURPOSES, REFER TO ELECTRICAL PLANS FOR SECTIONS AND DETAILS OF THE UTILITY DUCT BANK.
24. THE LOCATION, SIZE AND DEPTH OF THE UTILITY SHALL BE VERIFIED FOR CONSTRUCTION OF PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY AND APPROVED BY THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE AND ELECTRICAL). FINAL DESIGN AND LOCATIONS AT THE BUILDING WILL BE PROVIDED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE UTILITY CONNECTIONS WITH THE RESPECTIVE COMPANIES PRIOR TO ANY UTILITY CONSTRUCTION.

1. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
2. ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
3. SEE ARCHITECTURAL DRAWINGS FOR EXISTING BUILDING DIMENSIONS AND ALL DETAILS CONFORM TO THE BUILDING INCLUDING SIDEWALKS, RAMPS, UTILITY ENTRANCE LOCATIONS, WALL PACKS, CONCRETE DOOR PADS, ROOF DRAINS, ETC.
4. ACCESSIBLE CURB RAMPS SHALL BE PER THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD AND THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES, WHICH IS MORE STRINGENT.
5. THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN:
 ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING
 ALL DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE
 ALL DIMENSIONS ARE TO CENTER OF PAVEMENT MARKINGS.
 ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.

1. ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN OR THE PLANT MATERIAL WILL BE UNACCEPTABLE. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY, SIZE AND BE CERTIFIED DISEASE AND INSECT FREE. THE OWNER AND/OR THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO APPROVE ALL PLANT MATERIAL ON SITE PRIOR TO INSTALLATION.
2. ALL PLANT MATERIAL SHALL BE PROPERLY GUYED, STAKED, WRAPPED, AND PLANTED IN CONFORMANCE WITH THE TYPICAL PLANTING DETAILS. GUY WIRES SHALL BE ATTACHED TO THE TREE AT A HEIGHT OF TWO-THIRDS THE HEIGHT OF THE TREE AND SHOULD BE LOCATED AT POINTS SO AS NOT TO SPLIT THE TRUNK OF MULTI-STEMMED TREES. PROVIDE THREE STAKES PER TREE UNLESS NOTED OTHERWISE. INSTALL ALL PLANT MATERIAL ON UNDISTURBED GRADE. PROVIDE BURLAP WRAPPING WITH A 50% OVERLAP. CUT AND REMOVE BURLAP FROM TOP ONE-THIRD OF THE ROOT BALL.
3. PRIOR TO PLANTING, PITS INDICATED ON PLANTING DETAILS, BACKFILL PLANTING PITS WITH ONE PART EACH OF TOP SOIL, PEAT MOSS AND PARENT MATERIAL. IF WET SOIL CONDITIONS EXIST THEN PLANTING PITS SHALL BE EXCAVATED AN ADDITIONAL 12" AND FILLED WITH SAND.
4. NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF INSTALLATION AND SHALL BE SUBSEQUENTLY FLOODED TWICE WITHIN TWENTY-FOUR (24) HOURS OF PLANTING. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT, GROWTH AND SURVIVAL OF ALL PLANTS.
5. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER THE DATE OF FINAL ACCEPTANCE. ANY PLANT MATERIAL THAT DIES WITHIN THAT TIME PERIOD SHALL BE REMOVED, INCLUDING THE STUMP, AND REPLACED WITH MATERIAL OF SIMILAR SIZE AND SPECIES AT THE EXPENSE OF THE DEVELOPER. THE REPLACED PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER THE REPLACEMENT DATE.
6. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM 4" LAYER OF TOPSOIL IN ALL LAWN AREAS AND A MINIMUM OF 6" OF TOPSOIL IN ALL PLANTING AREAS. A FULL SOIL ANALYSIS SHALL BE CONDUCTED AFTER CONSTRUCTION AND PRIOR TO PLANTING TO DETERMINE THE EXTENT OF SOIL AMENDMENT REQUIRED.
7. ALL DISTURBED LAWN AREAS SHALL BE STABILIZED WITH EITHER SOD OR SEED AS INDICATED ON THE LANDSCAPE PLANS. SEED SHALL CONSIST OF THE MIXTURE LISTED IN THE GENERAL SEEDING NOTES. ALL DISTURBED LAWN AREAS SHALL BE TOP SOILED, LIMED, FERTILIZED, AND FINE GRADED PRIOR TO LAWN INSTALLATION.
8. ALL PLANTING BEDS SHALL RECEIVE 3" OF SHREDDED PINE, CEDAR OR HEMLOCK BARK.
9. ALL SHRUB MASSES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS.
10. ALL TREES ARE TO BE GUYED, 3 EACH, UNLESS OTHERWISE NOTED ON PLAN.
11. ALL QUOIN TREES ARE TO BE WRAPPED, WITH TREE WRAP, UP TO THE FIRST BRANCHING AND SECURED.
12. THE LANDSCAPE CONTRACTOR IS TO PERFORM ALL CONTRACTED WORK IN A REASONABLE PERIOD OF CONTINUOUS WORK.
13. THE LANDSCAPE CONTRACTOR IS TO MAINTAIN PLANT MATERIAL WHILE THE PROJECT IS UNDERWAY AND FOR A PERIOD OF TWO WEEKS AFTER THE COMPLETION OF THE PROJECT UNLESS OTHERWISE SPECIFIED.
14. THE CONTRACTOR IS TO CLEAN UP AND REMOVE ANY DEBRIS FROM THE SITE, CAUSED BY THE LANDSCAPE CONTRACTOR.

EXISTING		PROPOSED
	CONTOUR LINE	
	SPOT GRADE	
	EDGE OF PAVEMENT	
	VERTICAL GRANITE CURB	
	SLOPED GRANITE CURB	
	VERTICAL CONCRETE CURB	
	BITUMINOUS CONCRETE CURB	
	CAPE COD BERM	
	STONE WALL	
	CHAIN LINK FENCE	
	IRON FENCE	
	POST & RAIL FENCE	
	STOCKADE FENCE	
	GUARD RAIL	
	HAY BALES	
	WATER LINE	
	FIRE HYDRANT	
	POST INDICATOR VALVE	
	WATER GATE	
	WATER METER PIT	
	IRRIGATION HAND HOLE	
	WELL	
	SEWER LINE	
	SEWER MANHOLE	
	GAS LINE	
	GAS METER	
	GAS GATE	
	DRAIN LINE	
	DRAIN MANHOLE	
	CATCH BASIN	
	OVERHEAD WIRES	
	ELECTRIC, TELEPHONE & CABLE	
	UTILITY POLE	
	GUY WIRE	

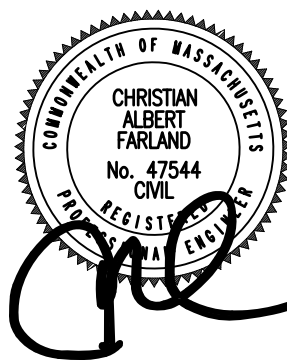
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SAMPLE DETAIL

NOT TO SCALE

NUMBER REFERENCES
WHAT SHEET THE DETAIL
IS ON

1	6/5/19	CONSERVATION COMMENTS



401 COUNTY STREET
NEW BEDFORD, MA 02740
P.508.717.3479
OFFICES IN:
● TAUNTON
● MARLBOROUGH
● WARWICK, RI

DESIGNED BY: MJW

CHECKED BY: CAF

— 61 WAMU TTA STREET —
ASSESSORS MAP 78 LOT 125
NEW BEDFORD, MASSACHUSETTS

PREPARED BY: ACORN MANAGEMENT CO., INC.
FOR: 218 WILLARD STREET
QUINCY, MA 02169

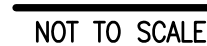
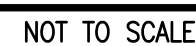
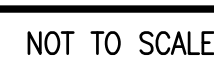
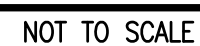
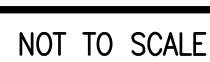
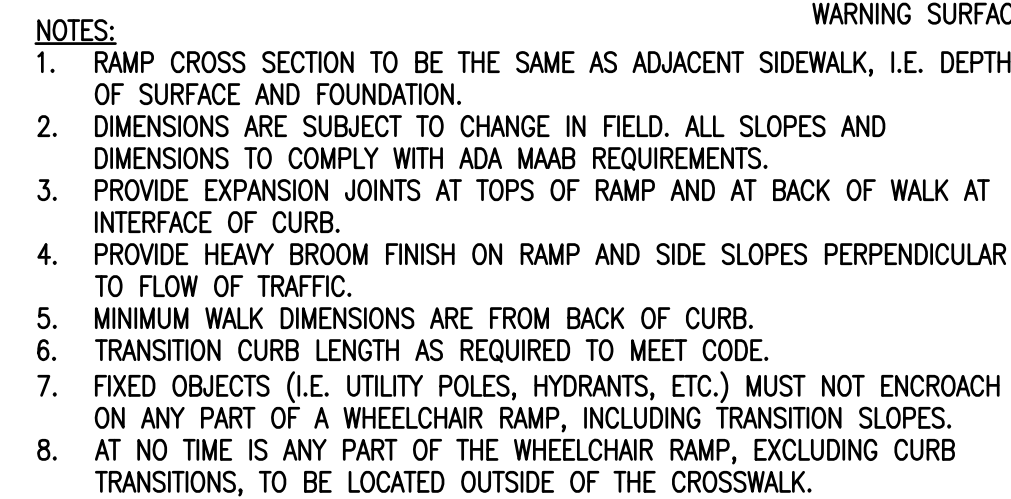
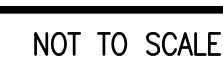
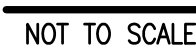
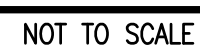
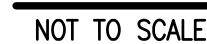
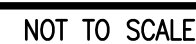
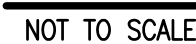
SCALE: AS NOTED

JOB NO. 18-1084

LATEST REVISION
JUNE 5, 2019

DETAILS

C6.0



C7.0