

PROPOSED SITE DEVELOPMENT LOGAL, LLC

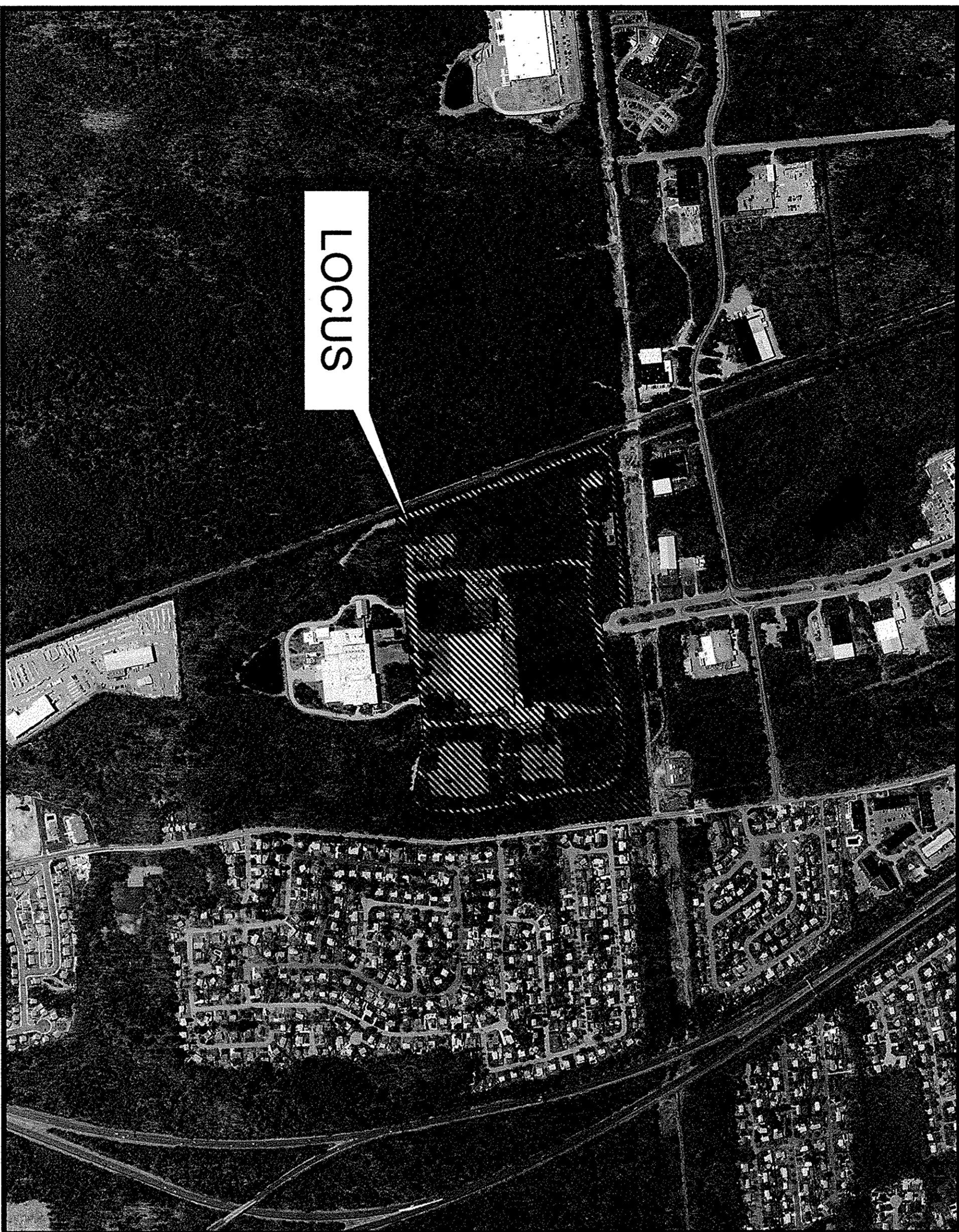
SITE DRAWINGS

ISSUED FOR: PERMITTING
DATE ISSUED: MAY 7, 2014
LATEST ISSUE: JUNE 6, 2014

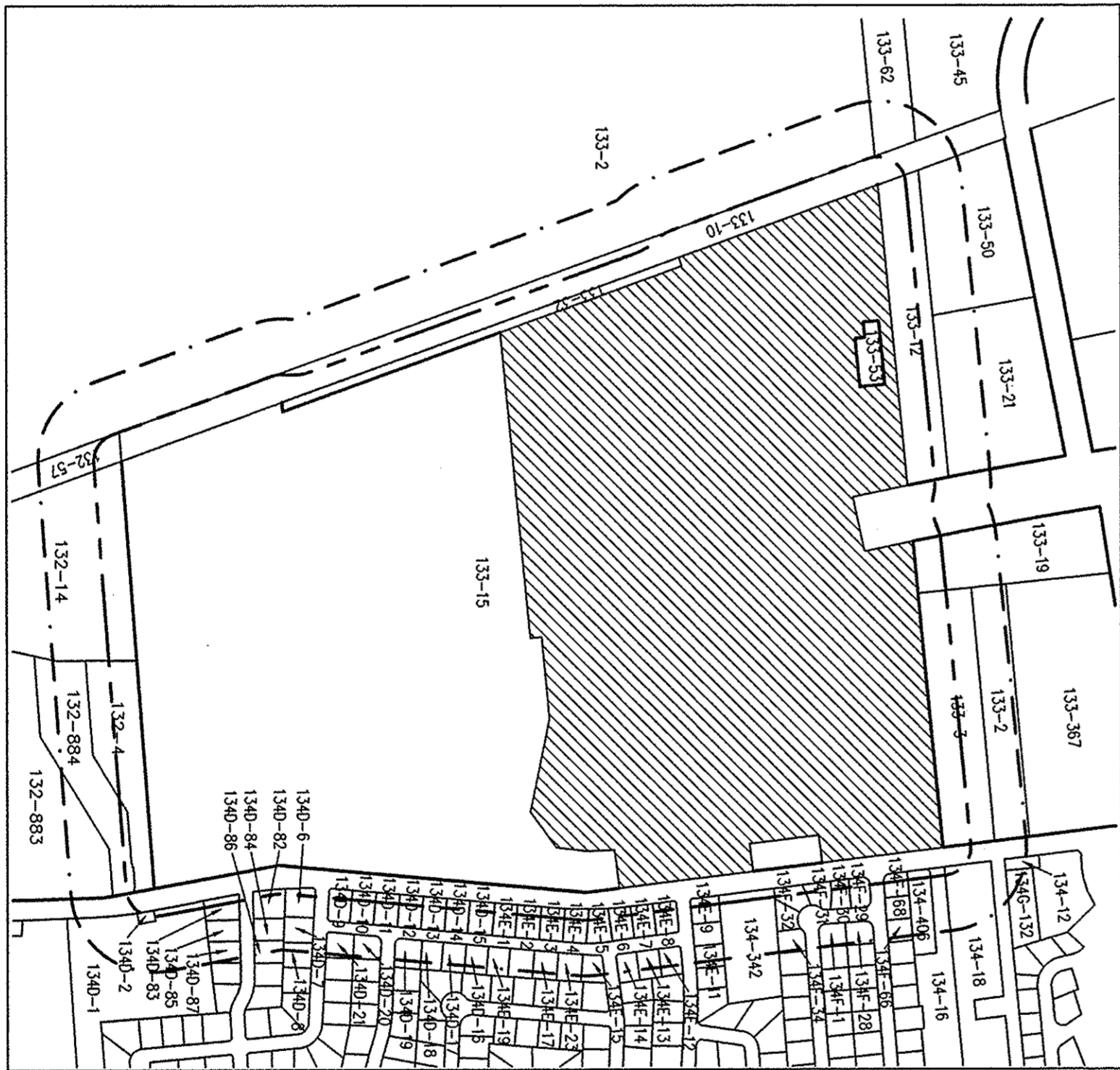
100 DUCHAINE BOULEVARD NEW BEDFORD, MASSACHUSETTS

INDEX TO DRAWINGS

SHEET	DRAWING TITLE
N-1	TITLE SHEET
EC-1	NOTES & LEGEND
OSL-1	EXISTING CONDITIONS
SL-1	OVERALL SITE LAYOUT
SGD-1	SITE LAYOUT
D-1	SITE GRADING & DRAINAGE
D-2	DETAIL SHEET 1
LAND-1	DETAIL SHEET 2
	BIORETENTION AREA LANDSCAPING



SCALE: 1"=600'



SCALE: 1"=500'

ENGINEER:

FIELD ENGINEERING CO., INC.
11D INDUSTRIAL DRIVE
P.O. BOX 1178
MATTAPOSETT, MA 02739

APPLICANT/OWNER:

LOGAL, LLC.
89 BLACKMER STREET
NEW BEDFORD, MA 02744

PROJECT LOCATION:

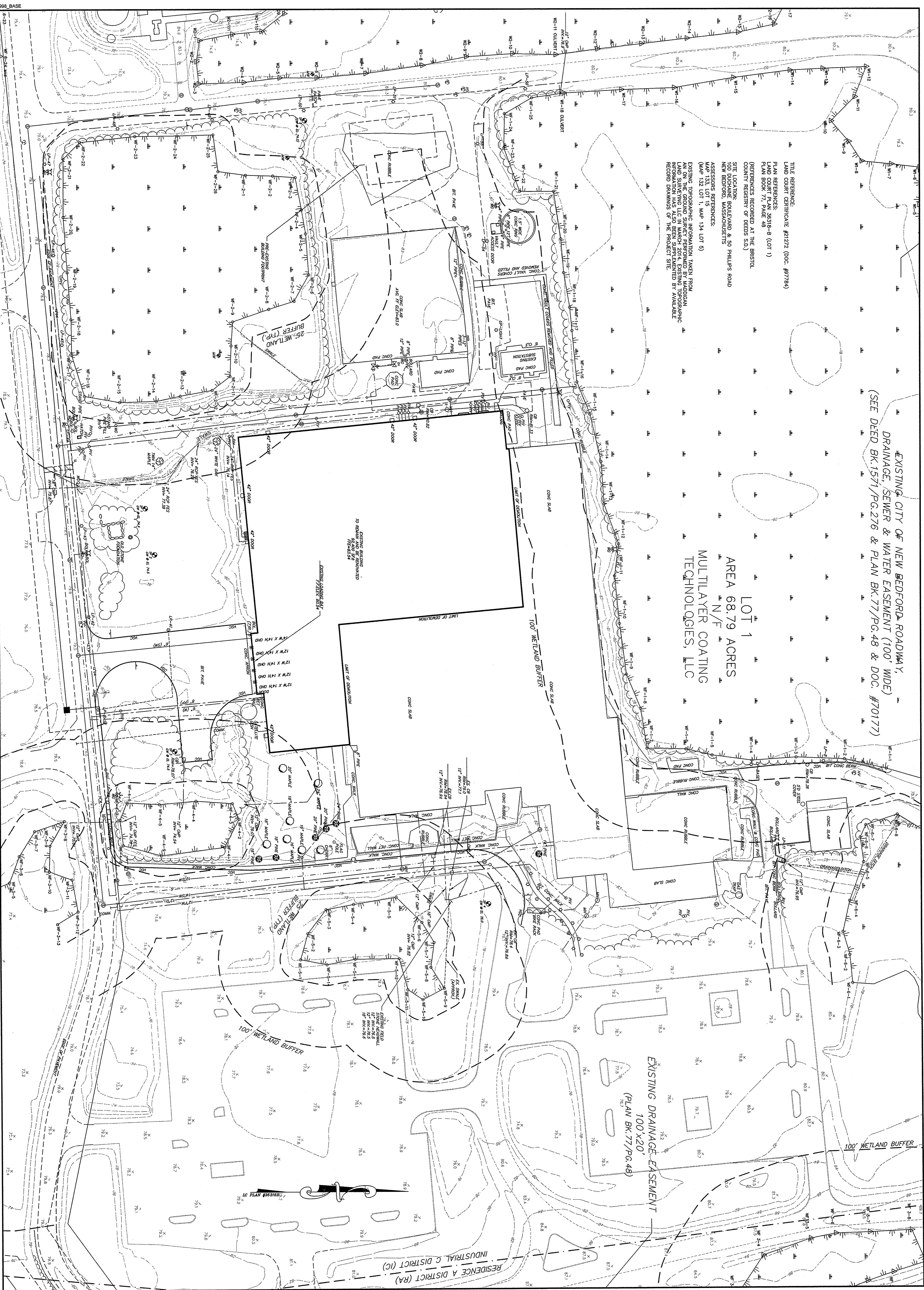
ASSESSORS MAP 133 LOT 15
NEW BEDFORD, MASSACHUSETTS

LOT NO.	OWNER OF RECORD
132-4	WALTER C. & LENA PIRES
132-14	WEBBY ROAD LLC
132-57	PEPIN CENTRAL CO. CONSOLIDATED RAIL CORP.
132-883	JOAO & MARIA A. BARBOSA
132-884	JAMES M III & NICOLE R. MONTAGUE
133-2	COMMONWEALTH OF MASSACHUSETTS
133-10	PEPIN CENTRAL CO. CONSOLIDATED RAIL CORP.
133-12	GREATER NEW BEDFORD INDUSTRIAL FOUNDATION
133-15	MULTILAYER COATING TECHNOLOGIES LLC
133-16	JOSEPH L. ABREU
133-19	N E PLASTICS CORP.
133-21	ARTHUR L. WILBENCH TRUSTEE
133-45	THE WILBENCH 2001 NOMINEE TRUST
133-53	GP BOWLING INC.
133-62	CITY OF NEW BEDFORD PUMP STATION
134-2	SHREY POLAROID LLC. C/O CORPORATE REAL ESTATE
134-3	COMMONWEALTH ELECTRIC CO.
134-3	C/O PROPERTY TAX DEPARTMENT
134-3	COMMONWEALTH ELECTRIC CO.
134-12	C/O PROPERTY TAX DEPARTMENT
134-318	PATRICK THOMAS JR. & RACHEL L. O'BRIEN
134-318	COMMONWEALTH ELECTRIC CO.
134-406	C/O PROPERTY TAX DEPARTMENT
134-342	VICTORIA J. & DENNIS S. CRAPO
134-342	ROBERT & JESSIE D. HATHAWAY
1340-1	C/O ROBERT J. HATHAWAY
1340-1	CITY OF NEW BEDFORD
1340-2	CITY OF NEW BEDFORD, INTERCEPTING SEWER
1340-6	BARRY A. BRYANT TRUSTEE, BRYANT FAMILY
1340-6	IRREVOCABLE SPECIAL NEEDS TRUST
1340-9	ANTHONETE CHERETIA
1340-10	DANIEL R. JR. & KRISTAL A. TREMBLAY
1340-10	DOINA FERNADES TRUSTEE
1340-11	RAYMOND & FLORENCE STYLIA IRREVOCABLE TRUST
1340-12	USA & JEFFREY SWANN
1340-12	BERNARD G. & DONNA M. ROYANT
1340-13	EDNA SCHABO
1340-14	DANIEL & RACHEL DACOSTA
1340-82	MARIA BARBOSA & STACEY BARBOSA
1340-83	GILHERME E. & LAURELINA MEDINA
1340-83	LORRANE TRAVERS
1340-83	1340-84
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1340-454	

EXISTING CITY OF NEW BEDFORD ROADWAY,
DRAINAGE, SEWER & WATER EASEMENT (100' WIDE)
(SEE DEED BK.15/71/PG.276 & PLAN BK.77/PG.48 & DOC. #70177)

TITLE REFERENCE:
LAND COURT CERTIFICATE #21272 (DOC. #97784)
PLAN REFERENCES:
LAND COURT PLAN 36318-B (LOT 1)
PLAN BOOK 77, PAGE 48
(REFERENCES RECORDED AT THE BRISTOL
COUNTY REGISTRY OF DEEDS S.D.)
SITE LOCATION:
100 DUCHAINE BOULEVARD & 50 PHILLIPS ROAD
NEW BEDFORD, MASSACHUSETTS
ASSESSORS' REFERENCES:
MAP 132, LOT 15
MAP 132, LOT 1, MAP 134, LOT 5
EXISTING TOPOGRAPHIC INFORMATION TAKEN FROM
AN ON THE GROUND SURVEY PERFORMED BY MADDOGAN
ENGINEERING, INC. IN 2008. THE TOPOGRAPHIC
INFORMATION HAS ALSO BEEN SUPPLEMENTED BY AVAILABLE
RECORD DRAWINGS OF THE PROJECT SITE.

LOT 1
AREA 68.79 ACRES
N/F
MULTILAYER COATING
TECHNOLOGIES, LLC



FIELD
ENGINEERING
CO., INC.
CONSULTING ENGINEERS

110 INDUSTRIAL DRIVE
P.O. BOX 1178
MATTAPANSETT, MA 02729
TEL: (508) 756-2248
FAX: (508) 756-2848

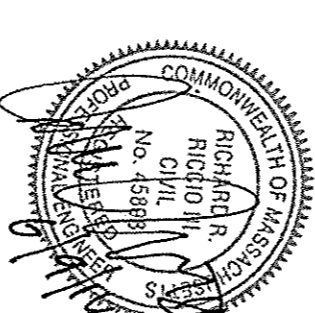
THE CROCKER BUILDING
1 COURT STREET, SUITE 104
NEW BEDFORD, MA 01905
TEL: (508) 824-9275
FAX: (508) 824-9276

Revisions

No.	Description	Date	App'd
1	REV FOR SITE PLAN REVIEW	5/20/14	RRR
2	REV FOR LOADING DOCK AREA	5/20/14	RRR
3	REV FOR PERCON CON	6/04/14	RRR
4	REV FOR PERCON CON	6/04/14	RRR

Scale 1"=100'

Drawn By DTB
Designed By RRR
Checked By RRR
Issue For PERMITTING



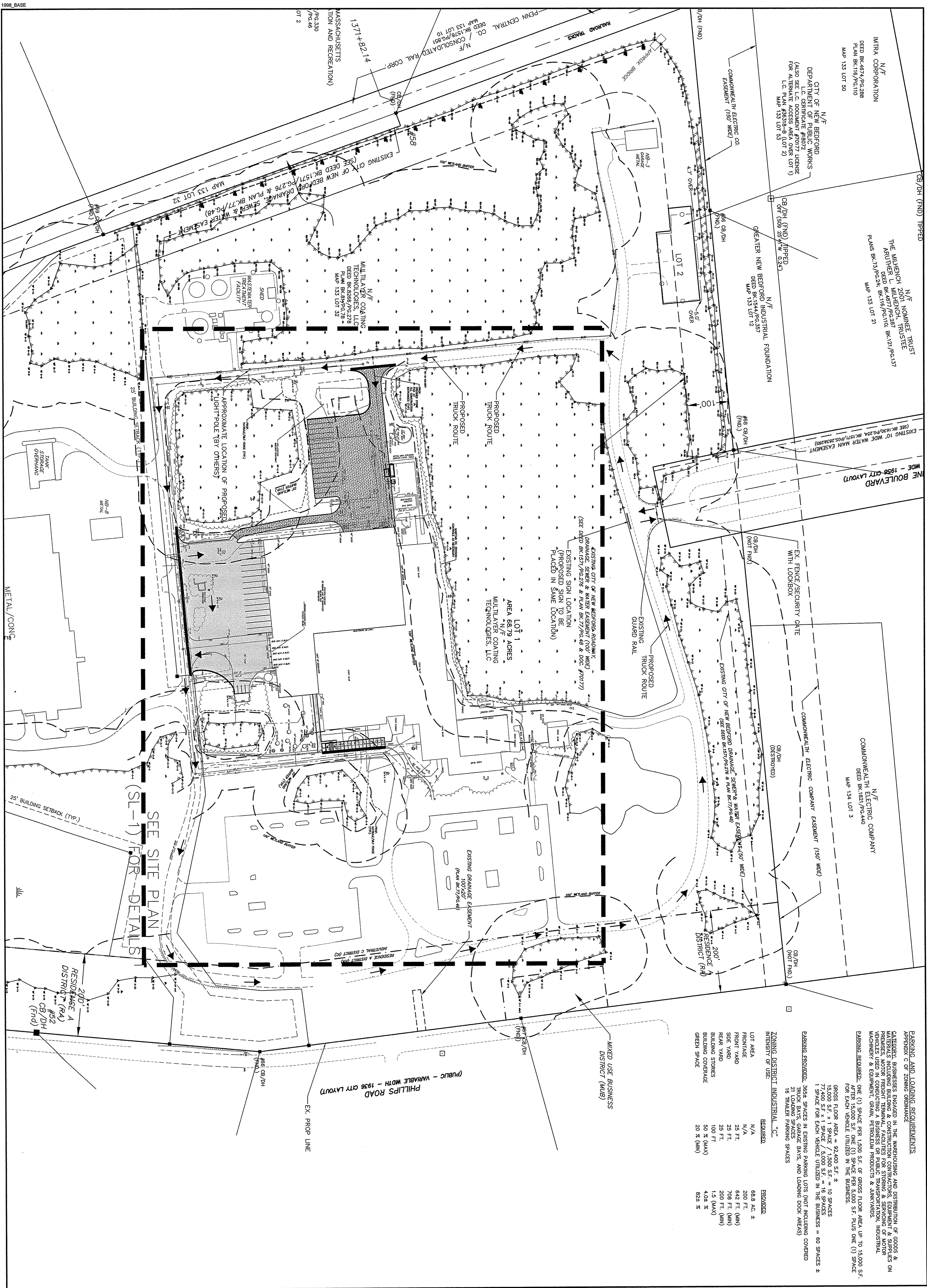
PROPOSED SITE DEVELOPMENT
LOGAL, LLC

100 DUCHAINE BOULEVARD
NEW BEDFORD, MASSACHUSETTS

Drawing Title
EXISTING
CONDITIONS

Project No. 1998
Sheet 3 OF 9

EC-1



**FIELD
ENGINEERING
CO., INC.**
CONSULTING ENGINEERS

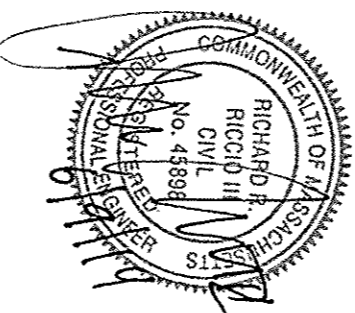
110 INDUSTRIAL DRIVE
P.O. BOX 4172
WATTAPOSSITT, MA 02739
TEL: (603) 756-2749
FAX: (603) 756-2849

THE PROCKER BUILDING
4 COLAR STREET SUITE 104
TAINTON, MA 02780
TEL: (603) 824-8279
FAX: (603) 824-9276

[illegible]

Drawn By	Designed By	Checked By
DTB	RRR/DTB	RRR

PERMITTING



PROPOSED SITE DEVELOPMENT
LOGAL, LLC

100 DUCHAINE BOULEVARD
NEW BEDFORD, MASSACHUSETTS

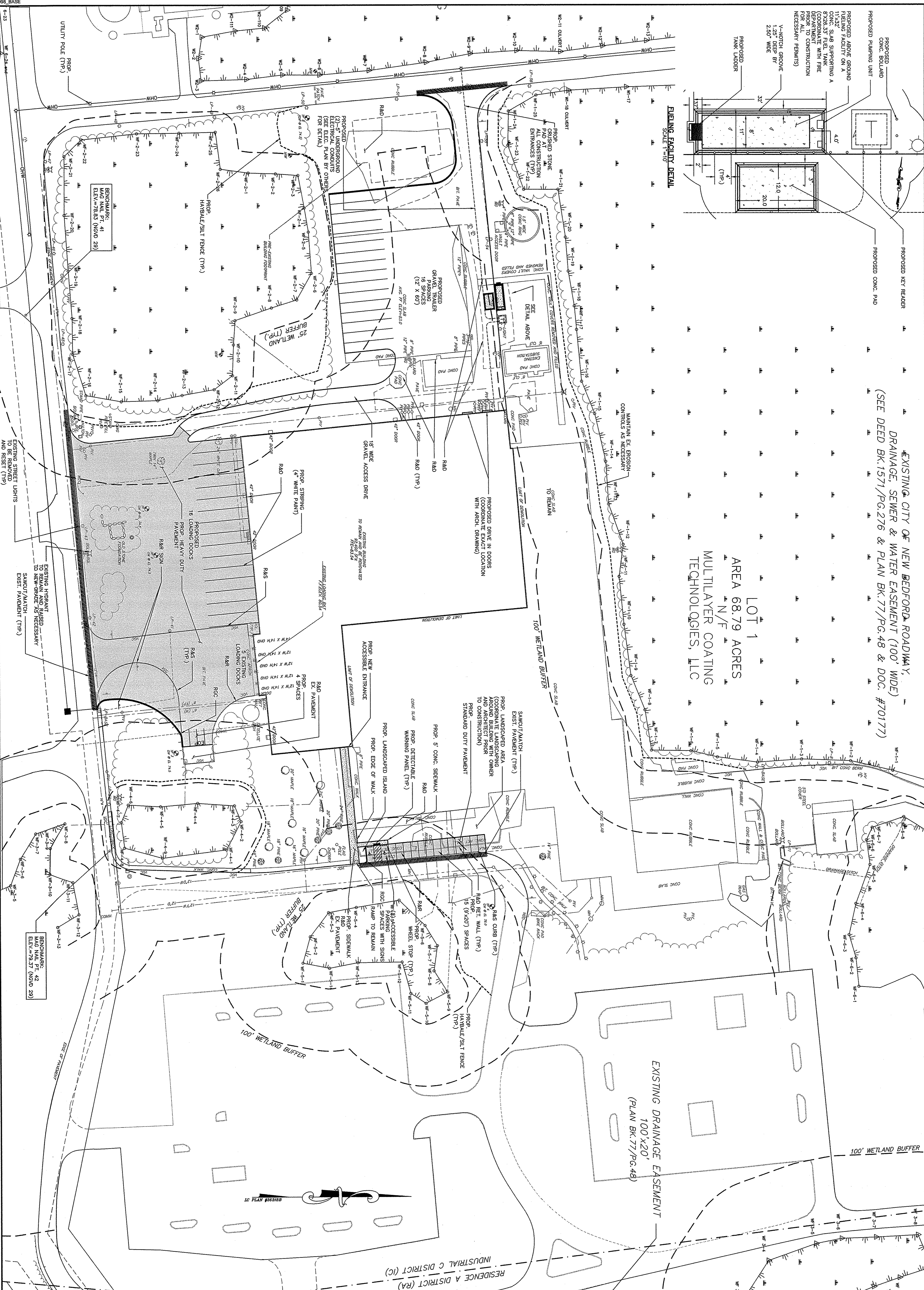
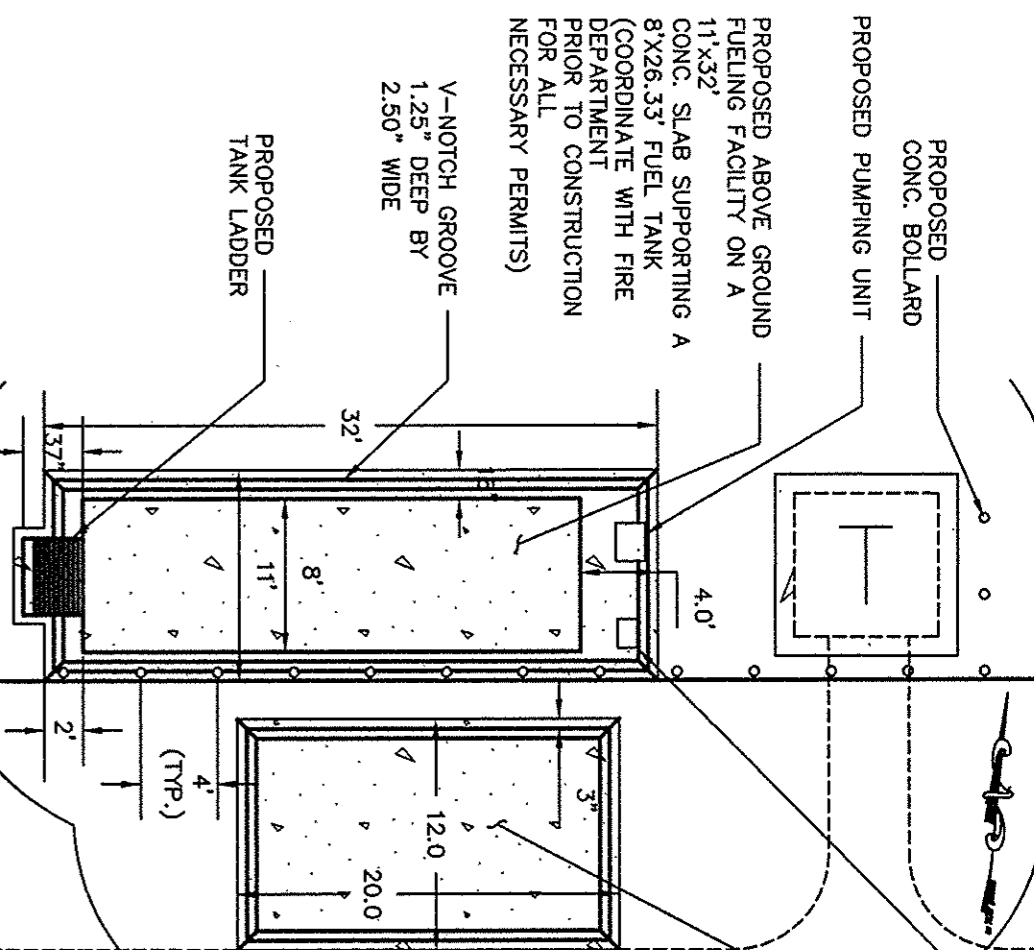
Drawing Title	
OVERALL SITE LAYOUT	
Project No.	Sheet
1998	4 OF 9

OSL-1

EXISTING CITY OF NEW BEDFORD ROADWAY,
DRAINAGE, SEWER & WATER EASEMENT (100' WIDE)
(SEE DEED BK.1571/PG.276 & PLAN BK.77/PG.48 & DOC. #70177)

LOT 1
AREA 68.79 ACRES
N/F
MULTILAYER COATING
TECHNOLOGIES, LLC

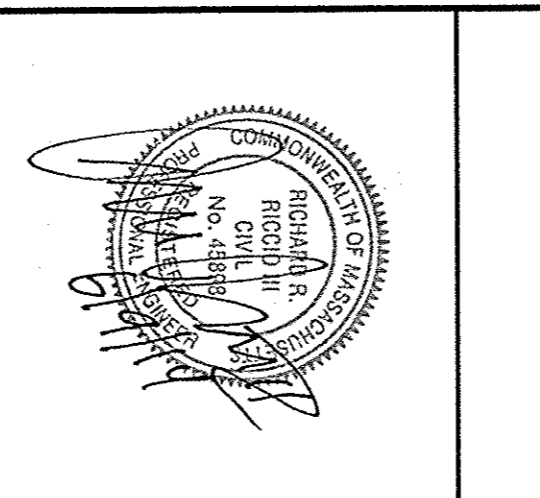
FLYING FACILITY DETAIL
SCALE 1"=10'



**FIELD
ENGINEERING
CO., INC.**
CONSULTING ENGINEERS
110 INDUSTRIAL DRIVE
MANTON, MASSACHUSETTS 02739
TEL: (608) 759-2749
FAX: (608) 759-2849
THE CROCKER BUILDING
4 COURT STREET SUITE 104
TALANTON, MA 02780
TEL: (608) 824-9279
FAX: (608) 824-9276

Revisions			
No.	Description	Date	App'd
1	REV FOR SITE PLAN REVIEW	5/8/14	RRR
2	REV FOR LOADING DOCK AREA	5/20/14	RRR
3	REV FOR CONC. COM.	6/6/14	RRR
4	CONSULTANT REVIEW	6/6/14	RRR

Scale 1"=50'
Drawn By DTB
Designed By RRR
Checked By RRR
Issued For PERMITTING



**PROPOSED SITE DEVELOPMENT
LOGAL, LLC**
100 DUCHAINE BOULEVARD
NEW BEDFORD, MASSACHUSETTS

Drawing Title
**SITE
LAYOUT**
Project No. 1998
Sheet 5 OF 9

SL-1

Revisions					
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No.	Description	Date	App'd
1	REV FOR CON. COM.	08/14	RRR
2	ADD TEST PIT LOCATIONS	02/14	RRR
3	REV LOADING DOCK AREA	02/14	RRR
4	REV FOR SITE PLAN REVIEW	08/14	RRR

Date: 5/7/14

Scale: 1"=50'

Drawn By: DTB
Designed By: RRR/DTB
Checked By: RRR

Issued For: PERMITTING



PROPOSED SITE DEVELOPMENT
LOGAL, LLC

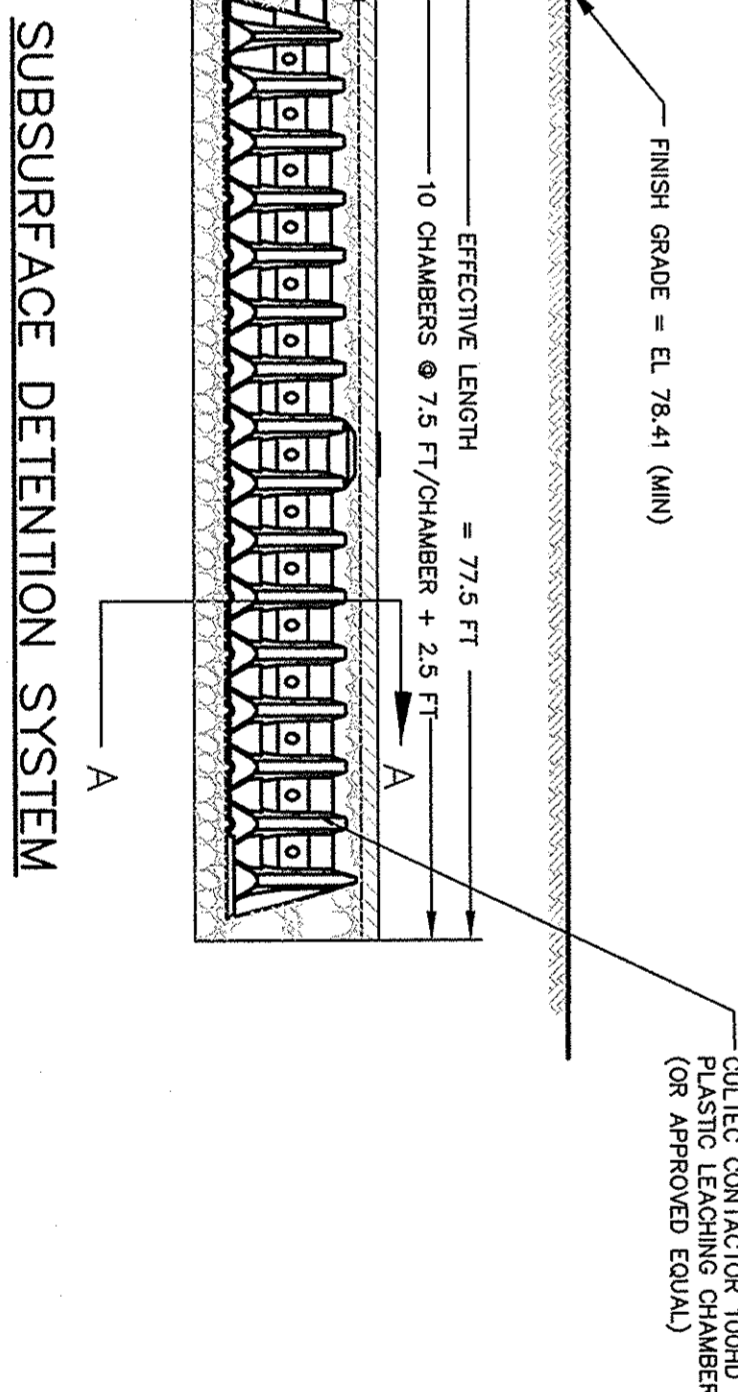
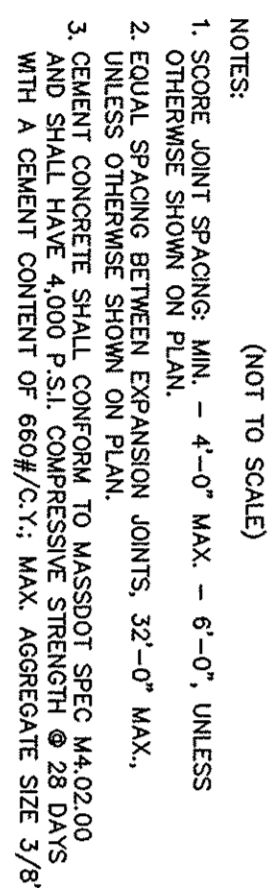
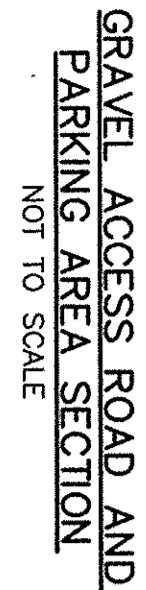
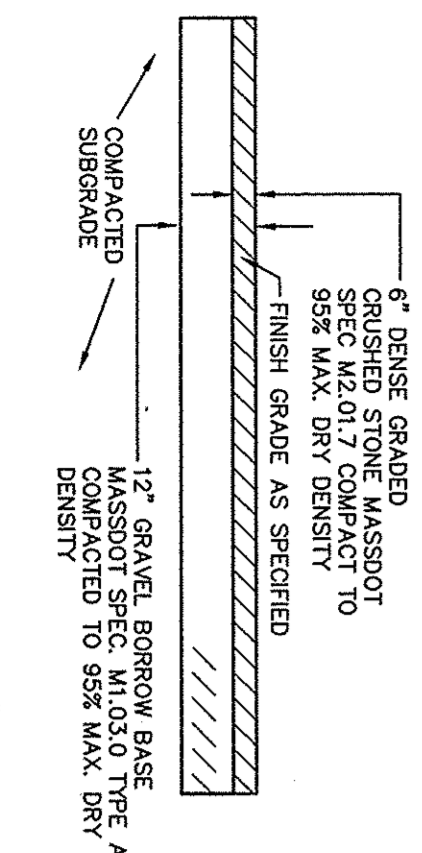
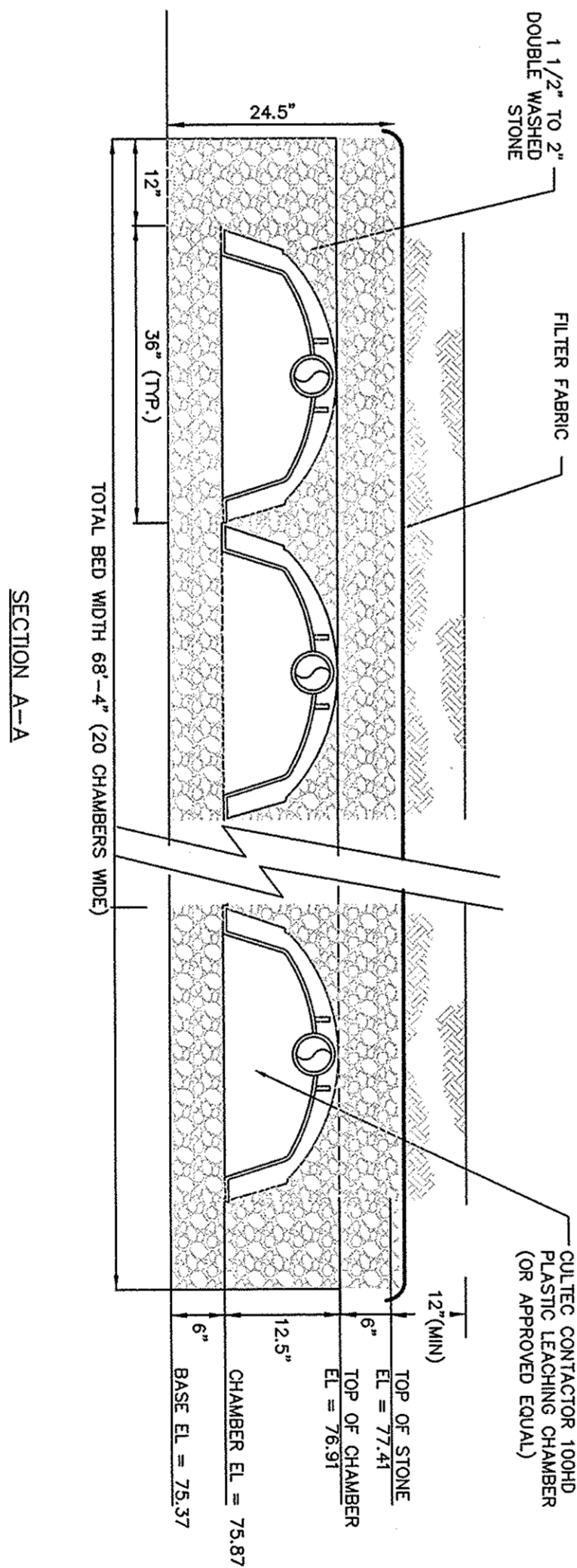
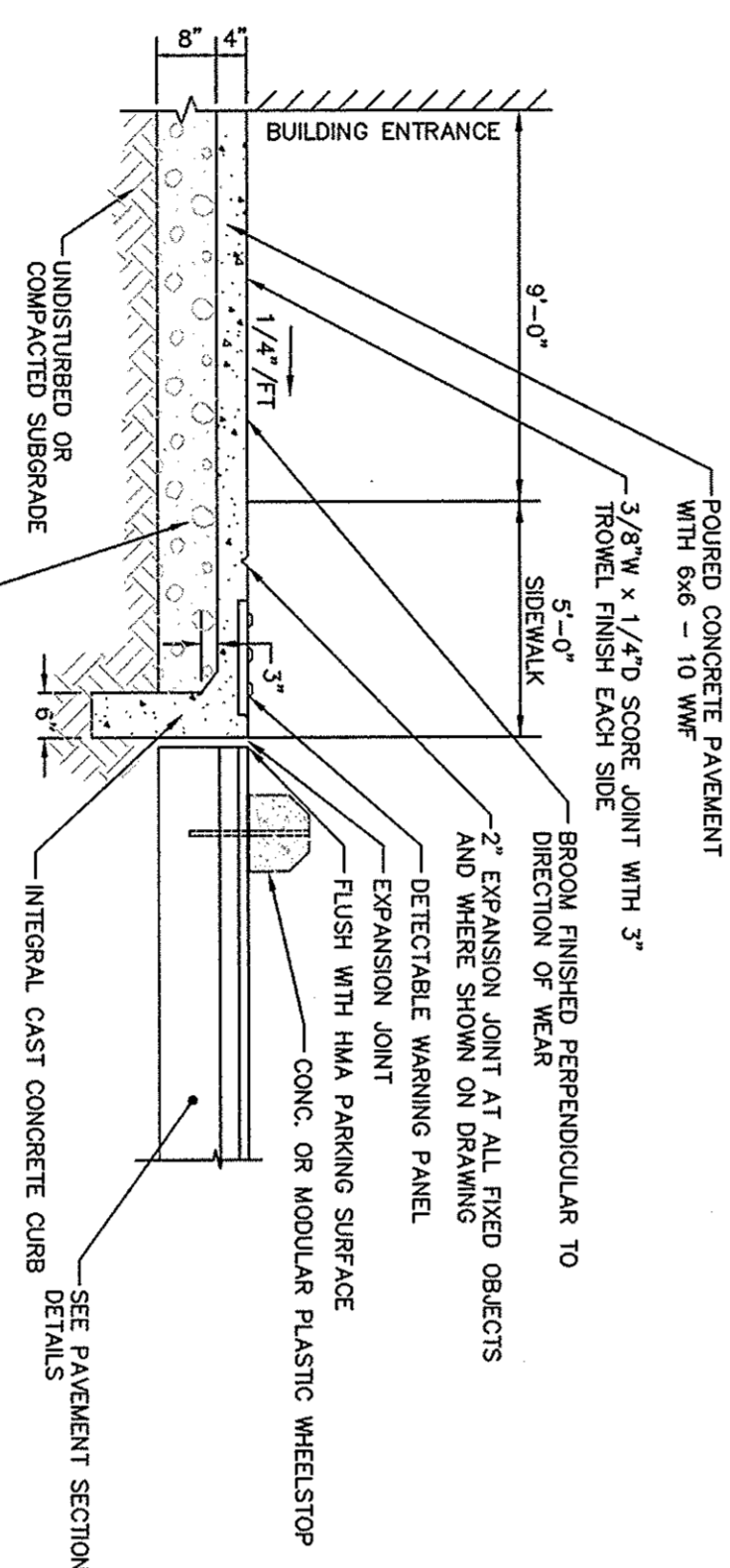
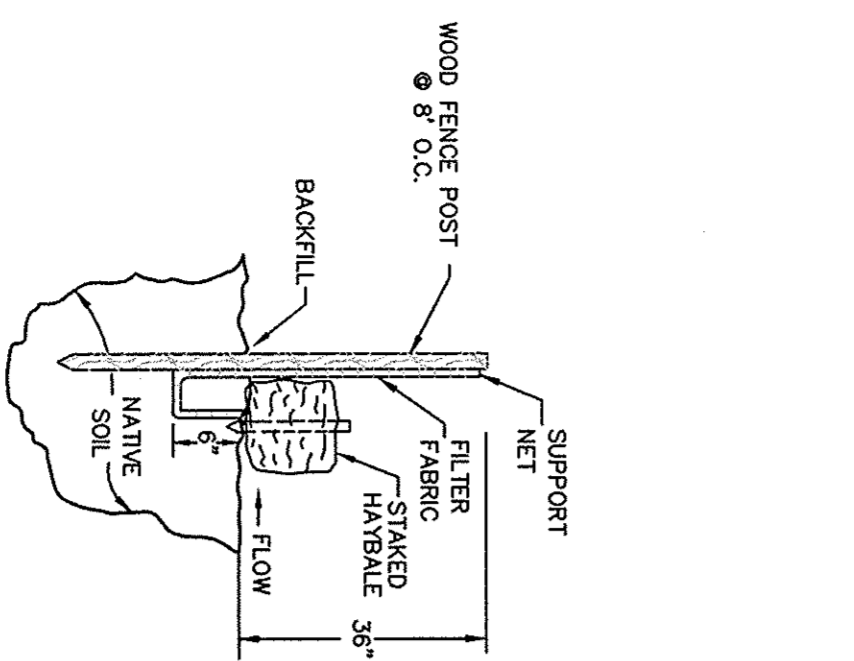
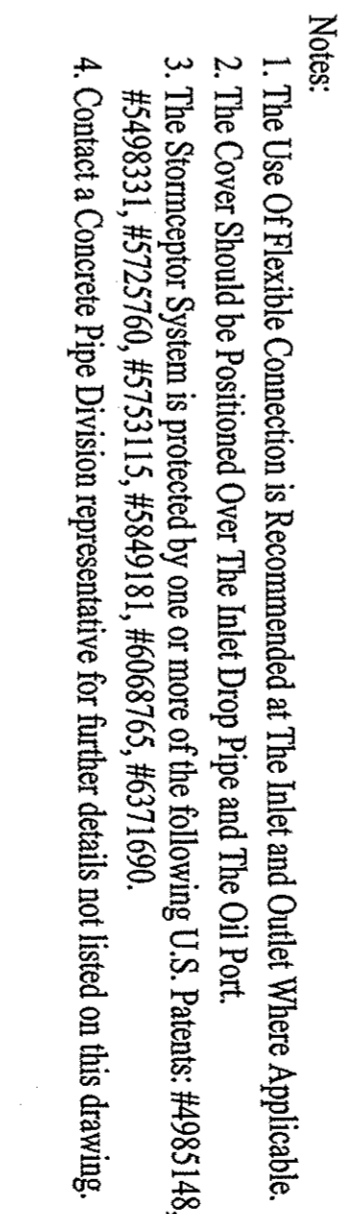
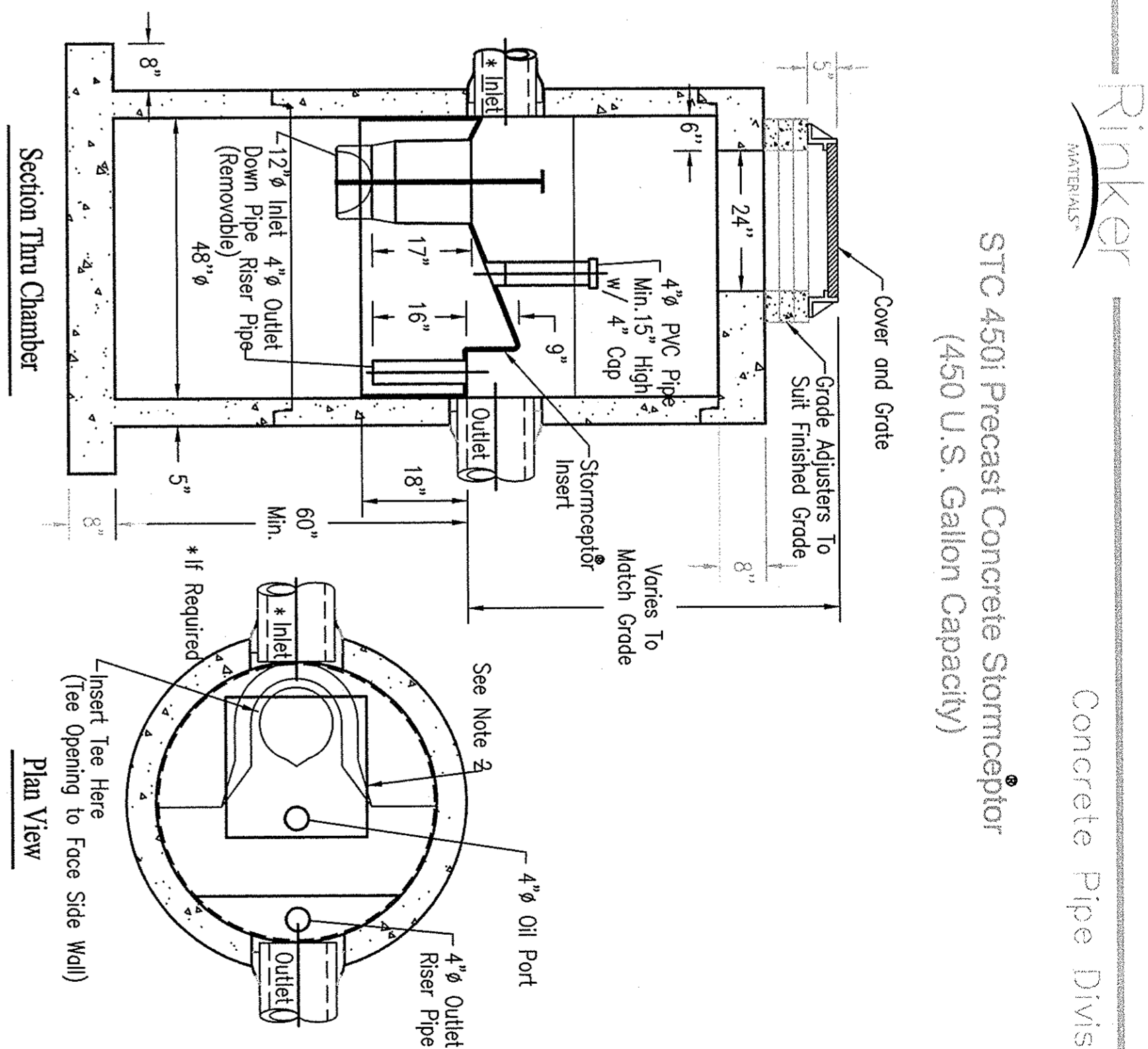
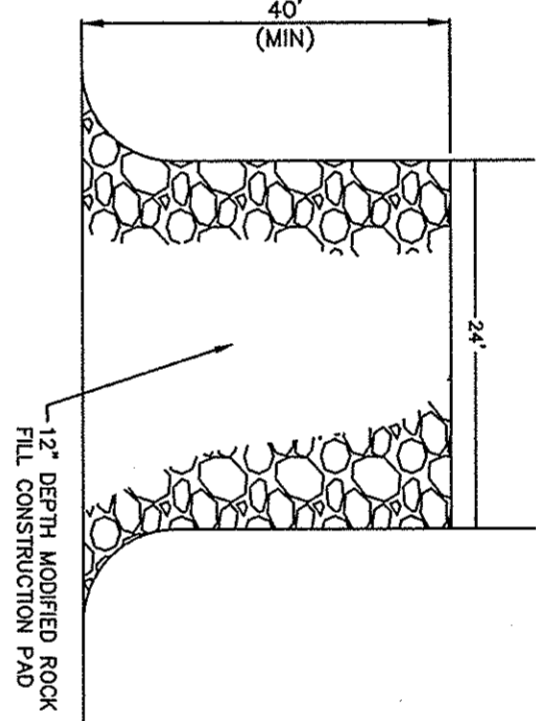
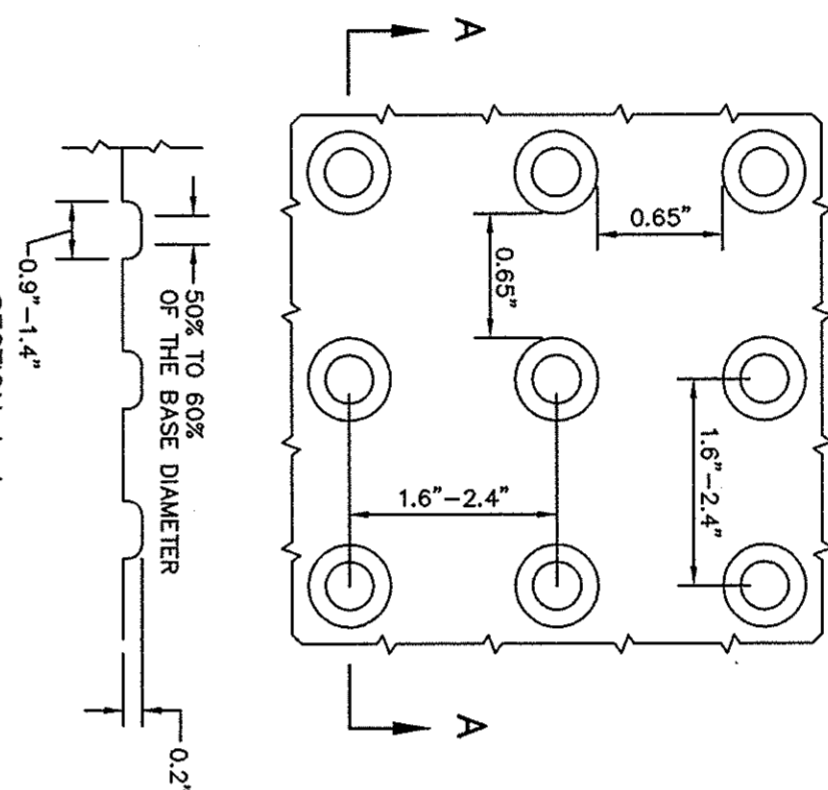
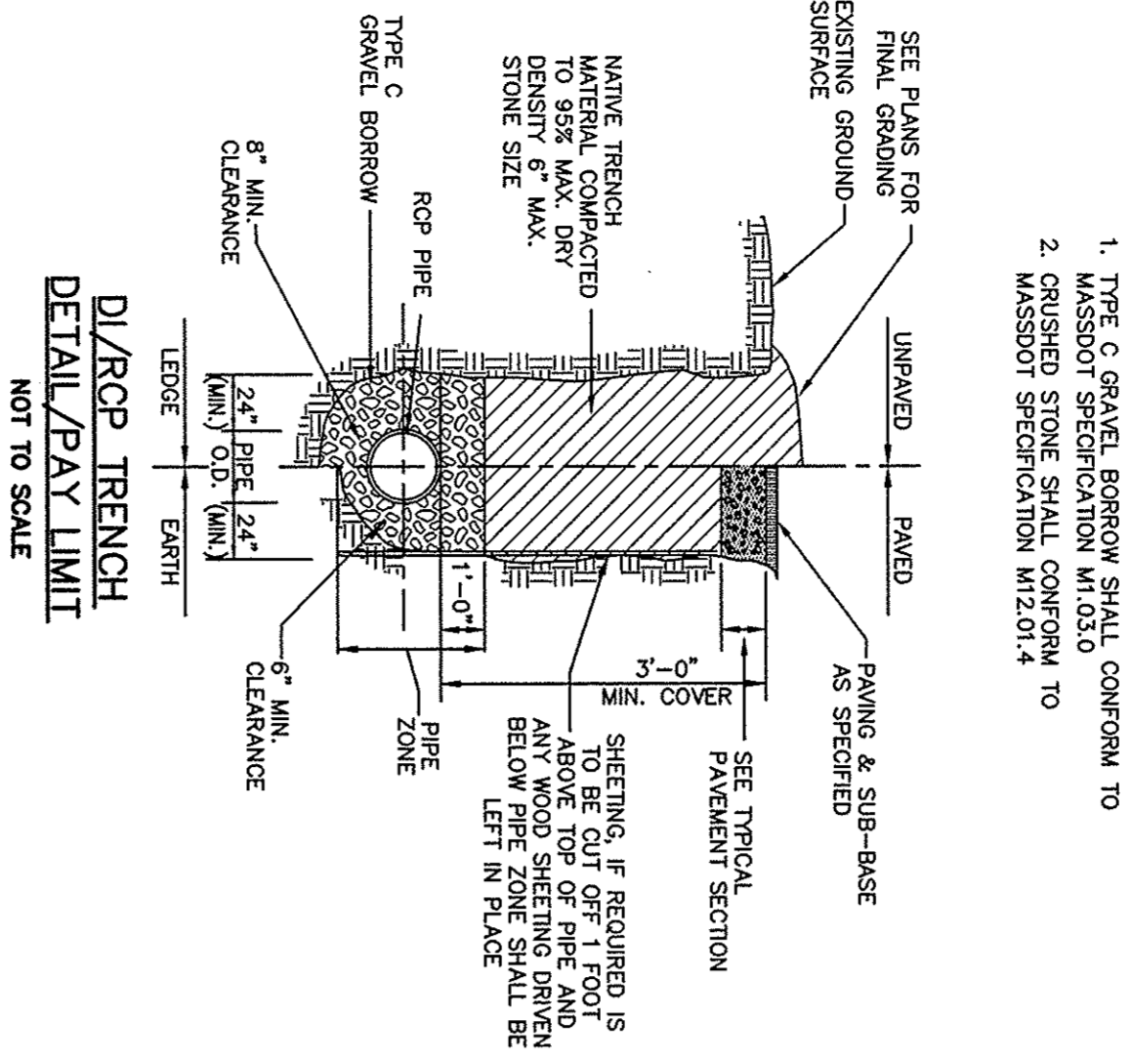
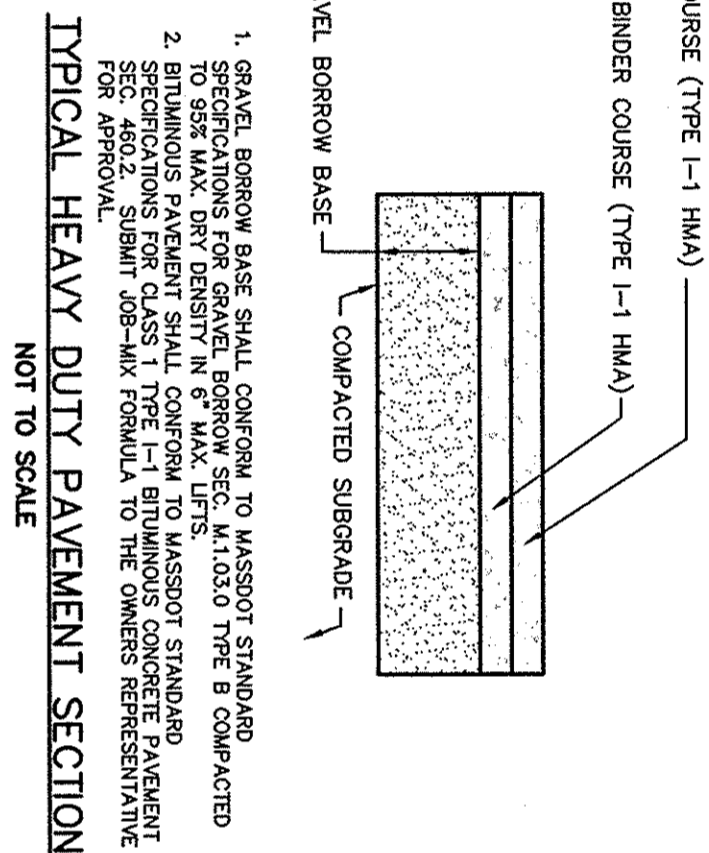
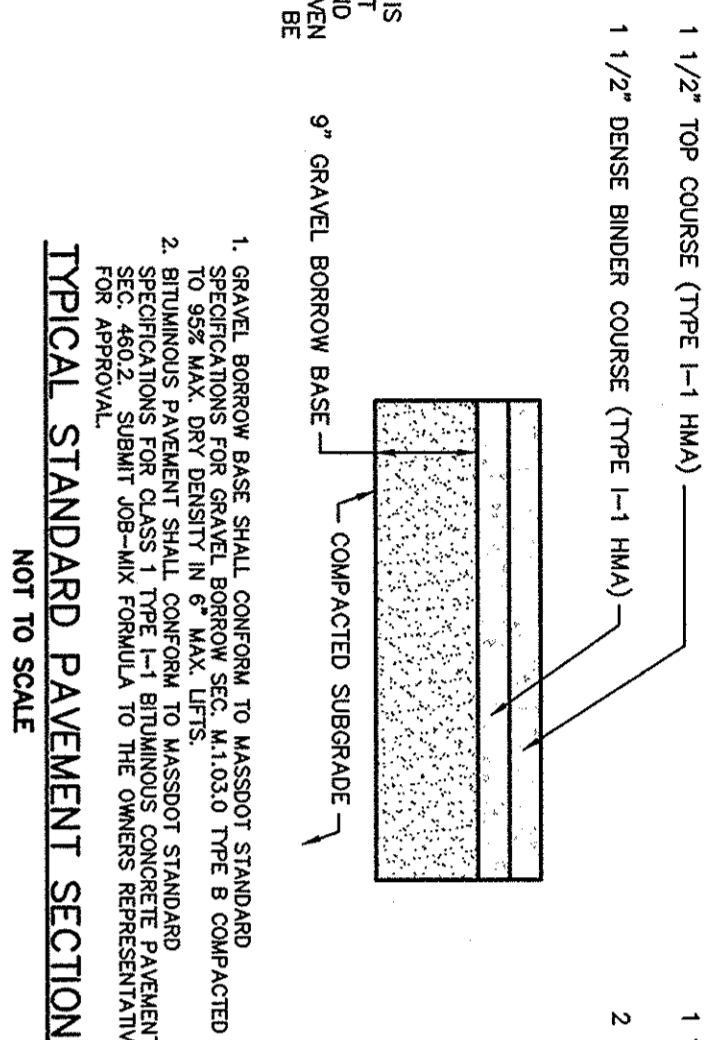
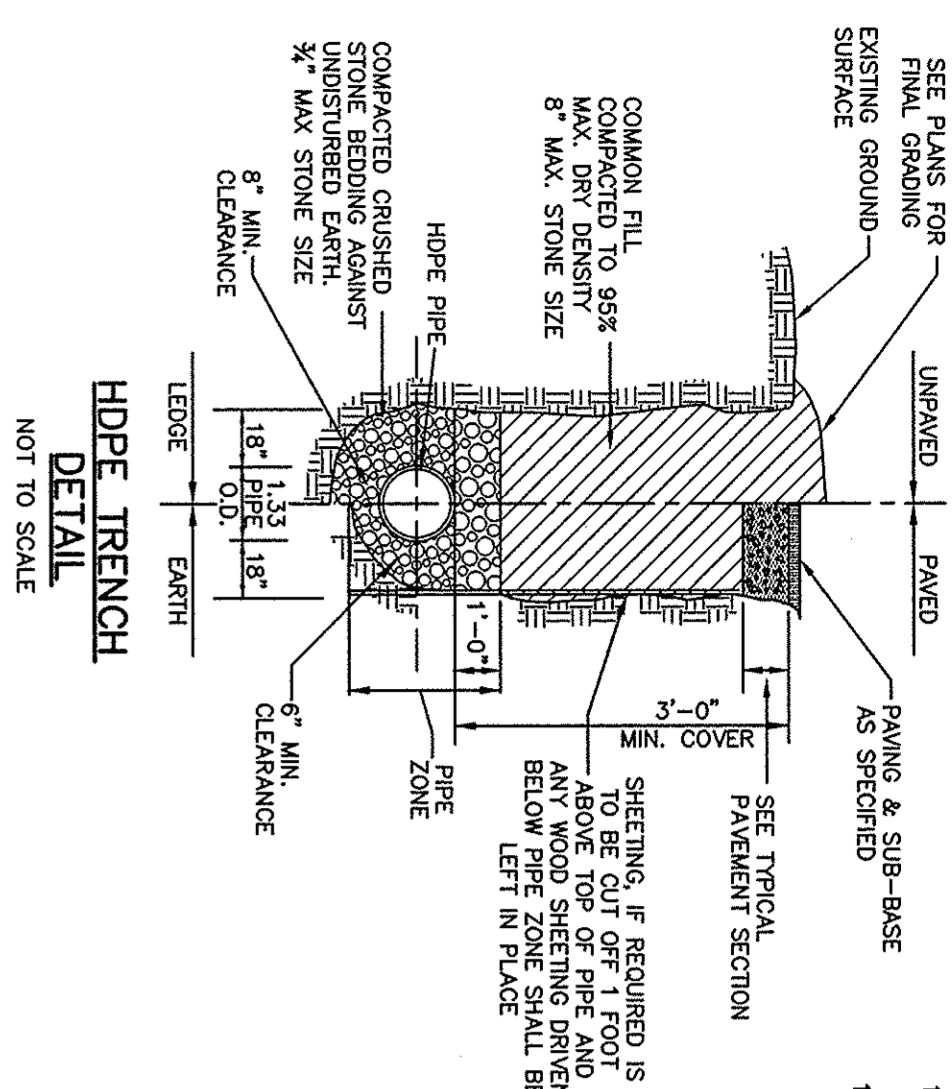
100 DUCHAINE BOULEVARD
NEW BEDFORD, MASSACHUSETTS

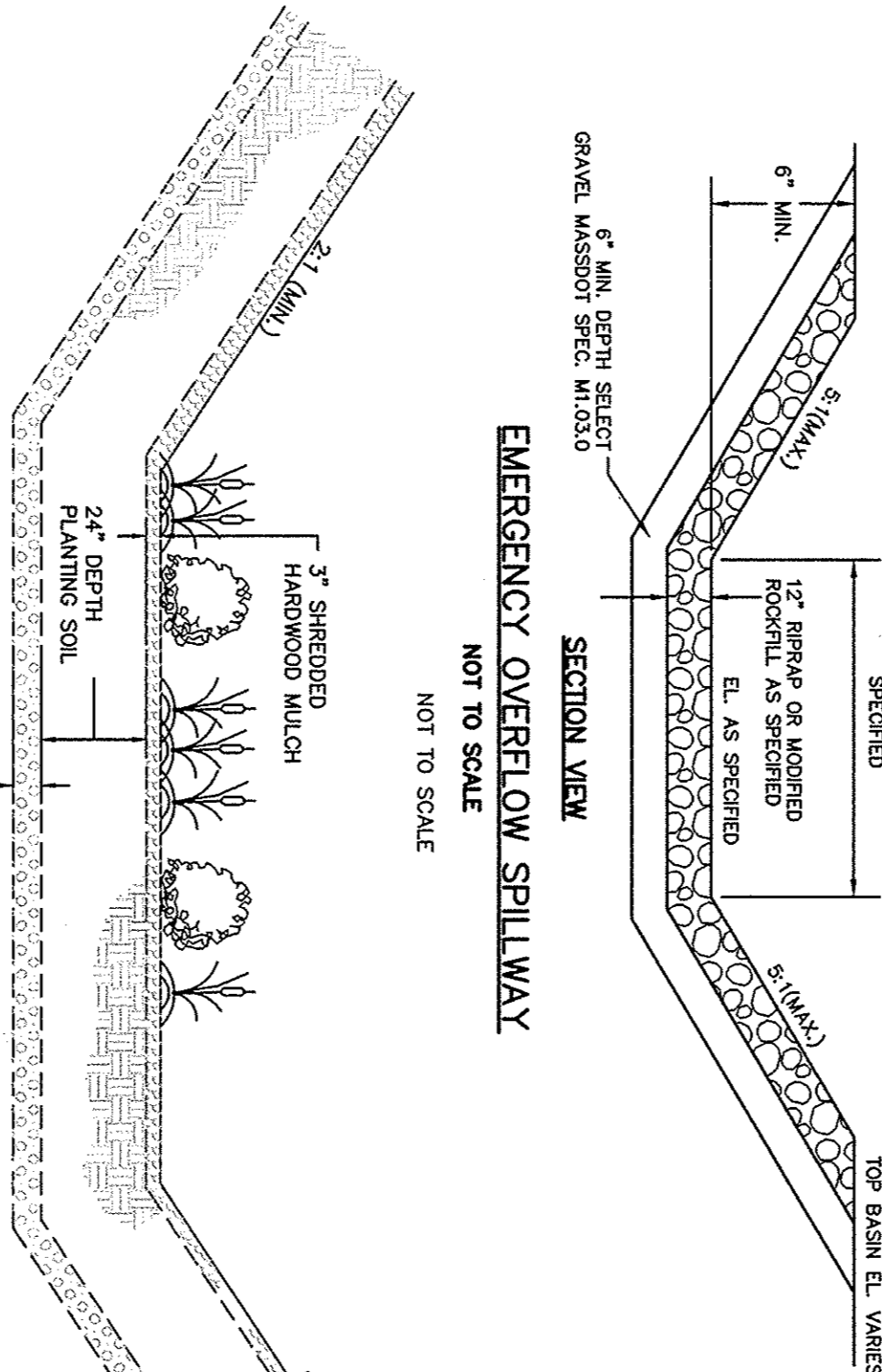
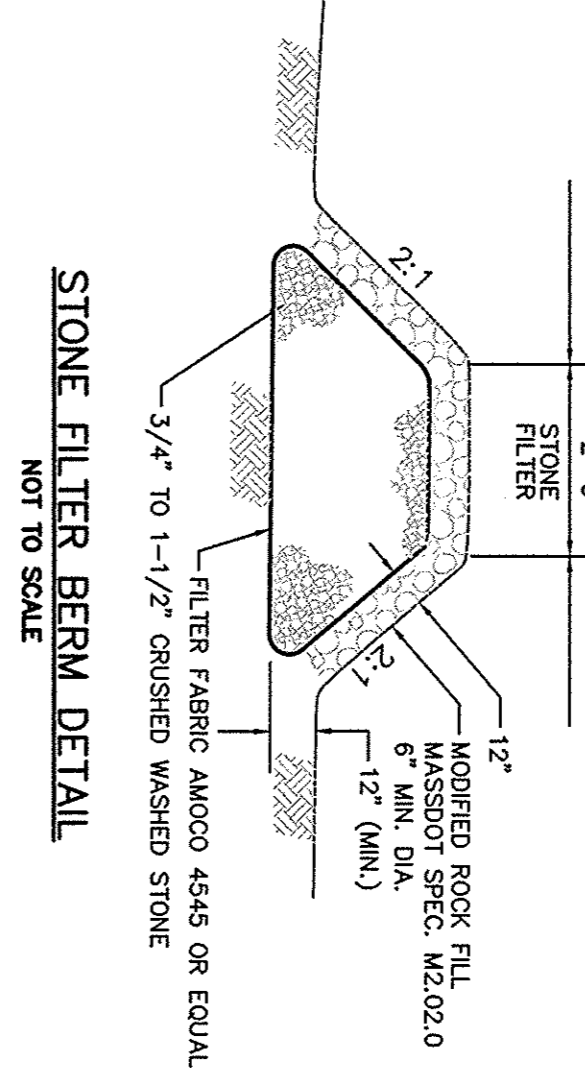
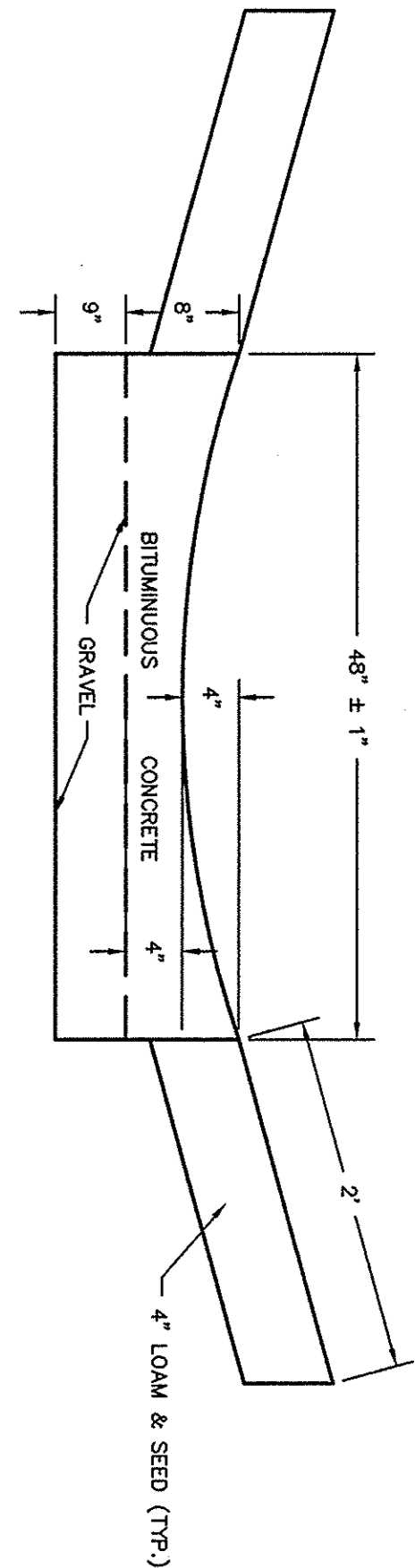
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**SITE GRADING
AND DRAINAGE**

Project No.: 1998
Sheet: 6 OF 9

SGD-1

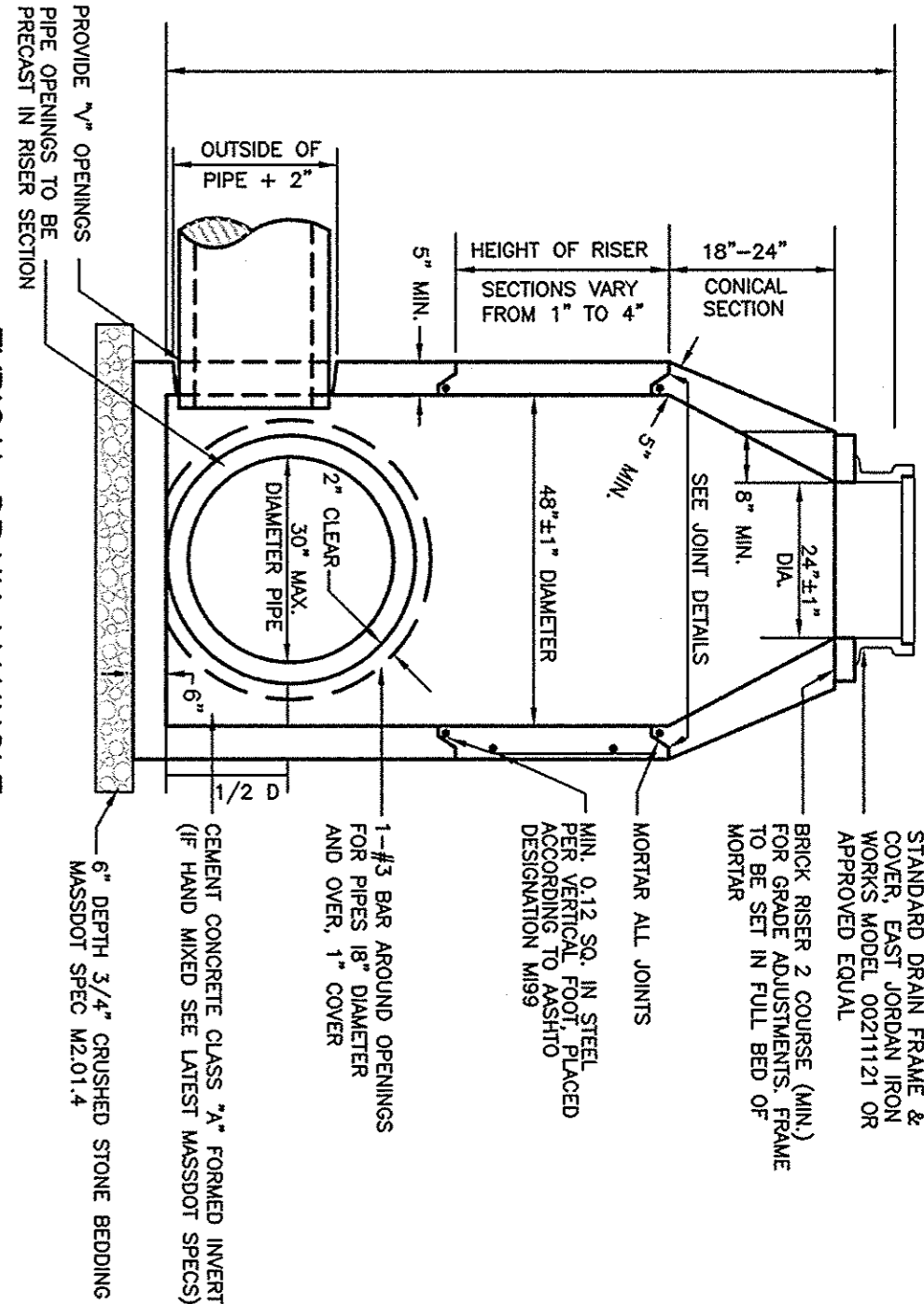




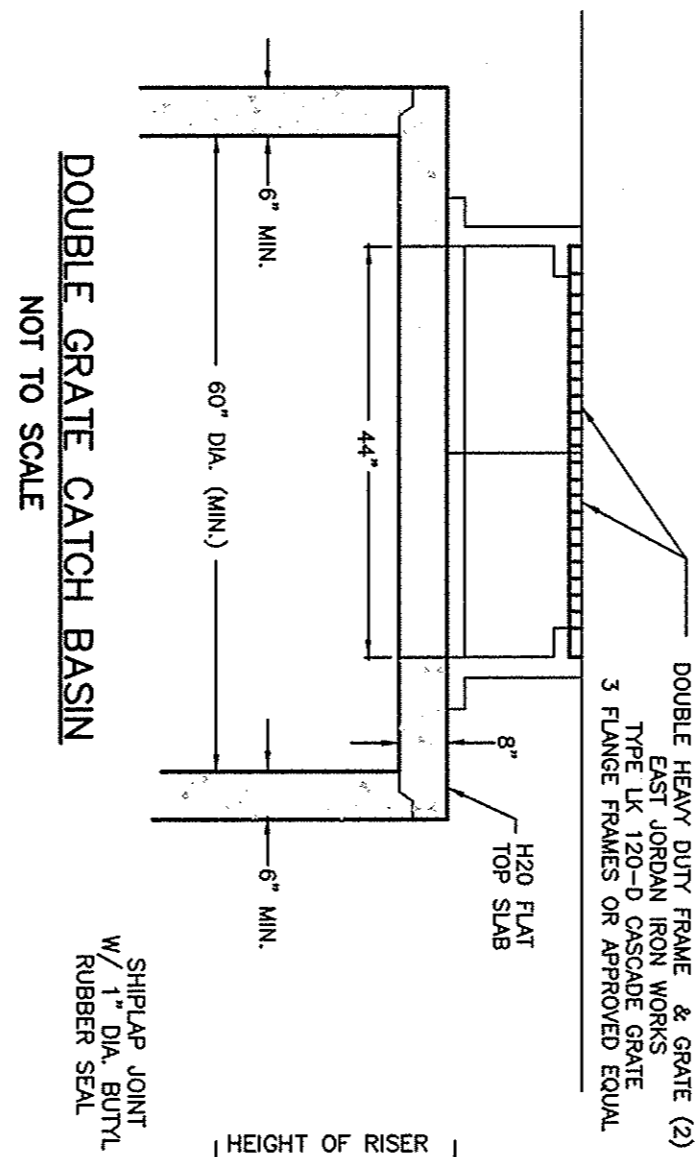


BIORETENTION AREA SECTION

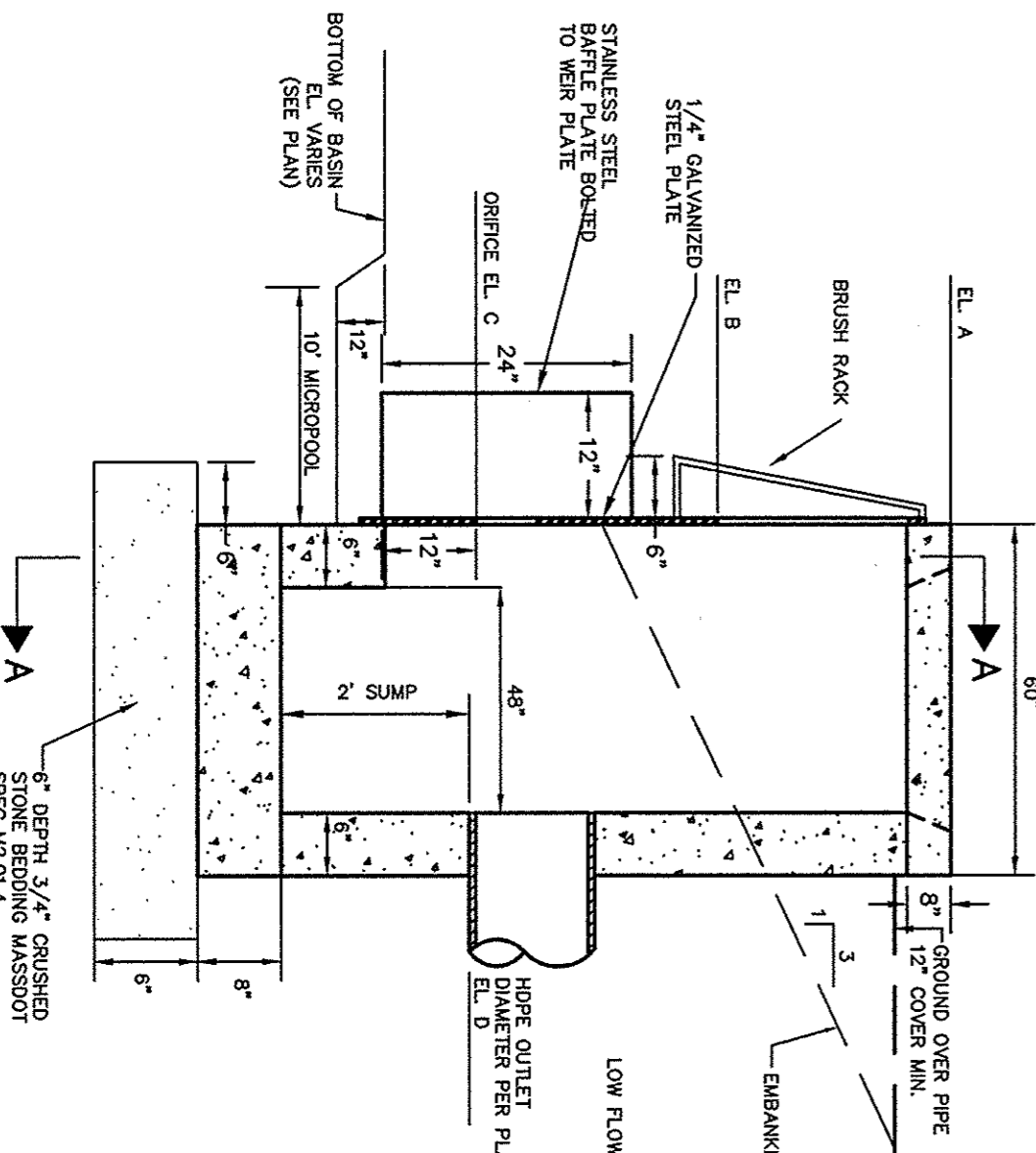
- NOT TO SCALE
- 1.) PLANTING SOIL MIX SHALL BE A MIXTURE OF SAND COMPOST AND SOIL COMPOSED OF THE FOLLOWING:
40% SAND
30% COMPOST
30-40% COMPOST
CLAY CONTENT <5%
PH 5.5-6.5
SOLUBLE SALT < 500 PPM
 - 2.) SAND BED SHALL CONFORM TO ASTM D422 MAX. STONE SIZE - 3/4 INCH AND NO GREATER THAN 3.0% PASSING NO. 200 SIEVE.
 - 3.) BOTTOM AREA TO BE PLANTED WITH A MIX OF 2" PLUGS OF SWITCH GRASS, BROOK SEDGE, AND FOX SEDGE TO BE SPACED APPROXIMATELY 24" O.C
 - 4.) BIORETENTION AREA TO BE SEEDED WITH NEW ENGLAND WETLAND PLANTS, INC. (OR APPROVED EQUAL)



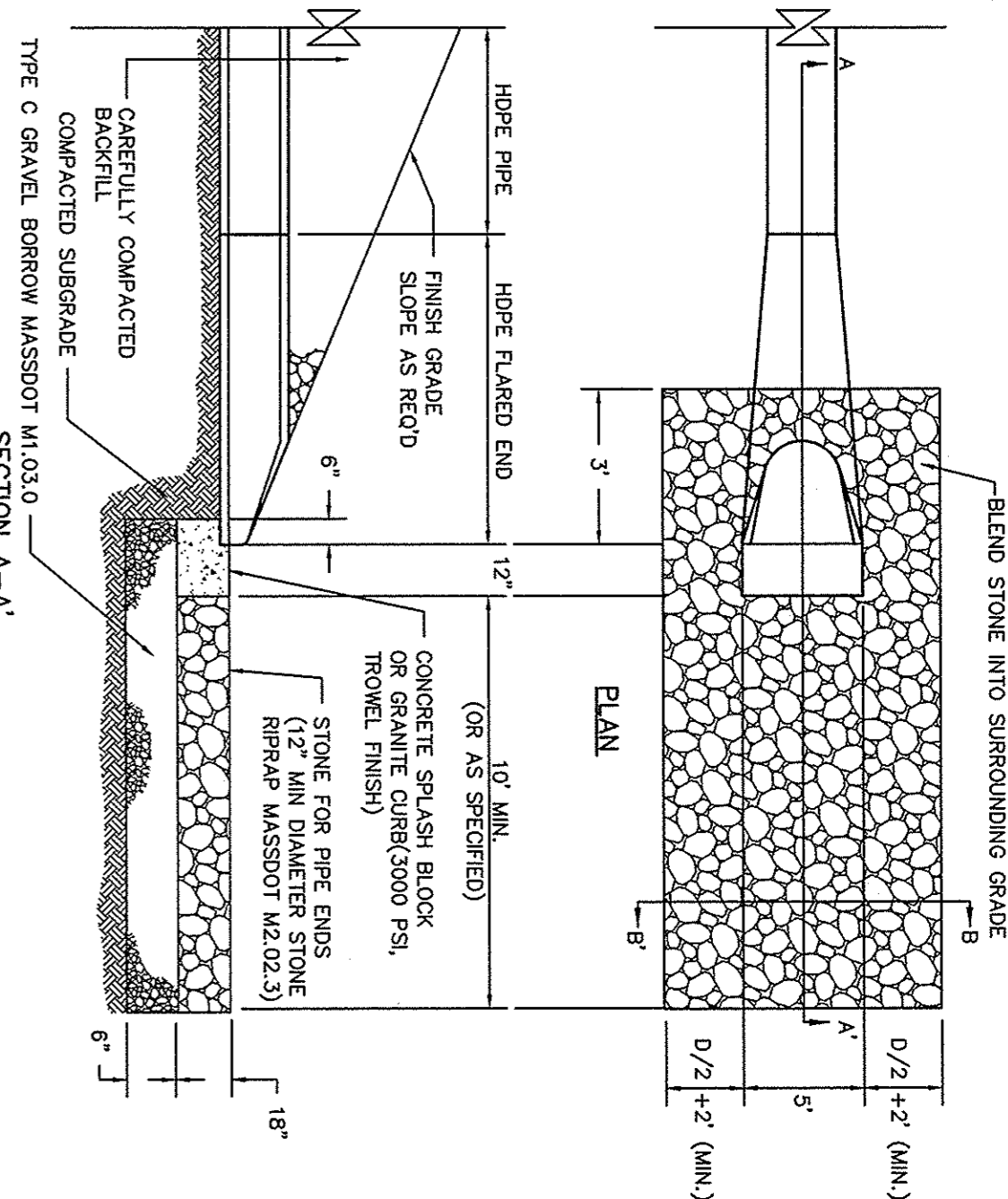
- NOTES:
1. MANHOLE DESIGN TO CONFORM TO ASTM C478 LATEST REVISION.
 2. CONCRETE SHALL BE WET CAST 4000 P.S.I. @ 28 DAYS.
 3. USE FLAT TOP SLAB WHERE FINISHED GRADE ELEVATIONS PROHIBIT THE USE OF A RISING RAMP.
 4. FILL OUTSIDE FACE OF ALL MANHOLE JOINTS WITH NON-SHRINK MORTAR.
 5. WHERE DRAIN MANHOLES OF GREATER DIAMETER ARE SPECIFIED ON THE SPECIFICATIONS.



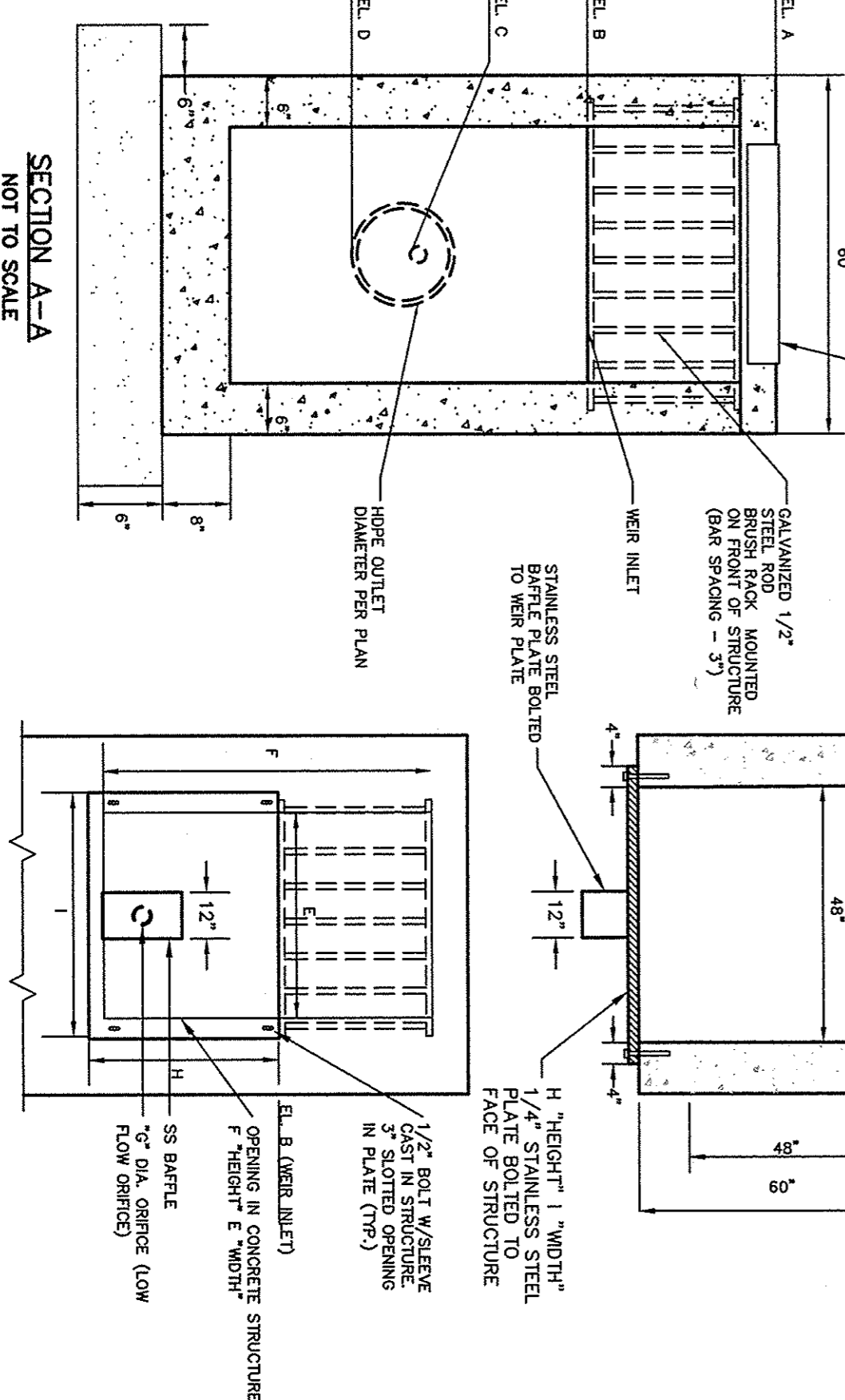
- NOTES:
1. CATCH BASIN DESIGN TO CONFORM TO ASTM C478 LATEST REVISION.
 2. CONCRETE SHALL BE WET CAST 4000 P.S.I. @ 28 DAYS.
 3. OUTSIDE FACE OF ALL MANHOLE JOINTS WITH NON-SHRINK MORTAR.
 4. REFER TO TYPICAL CATCH BASIN DETAIL ON THIS SHEET FOR ADDITIONAL INFORMATION.



- NOTES:
1. CATCH BASIN DESIGN TO CONFORM TO ASTM C478 LATEST REVISION.
 2. CONCRETE SHALL BE WET CAST 4000 P.S.I. @ 28 DAYS.
 3. FILL OUTSIDE FACE OF ALL MANHOLE JOINTS WITH NON-SHRINK MORTAR.
 4. REFER TO TYPICAL CATCH BASIN DETAIL ON THIS SHEET FOR ADDITIONAL INFORMATION.



- NOTES:
1. STONE FOR PIPE ENDS SHALL CONFORM TO MASSDOT SPECIFICATIONS M2.02.3



STRUCTURE:	A	B	C	D	E	F	G	H	I
BIORETENTION AREA 3	78.50'	76.70'	76.00'	75.00'	48"	33"	4"	24"	54"

110 INDUSTRIAL DRIVE
P.O. BOX 1178
MATTAPAN, MA 02729
TEL: (608) 768-2749
FAX: (608) 768-2849

THE CROCKER BUILDING
4 COURT STREET SUITE 104
TAUNTON, MA 02780
TEL: (608) 824-8279
FAX: (608) 824-8278

PERMITTING

Scale: N.T.S.

Drawn By: DTB
Designed By: RRR/DTB
Checked By: RRR

Issued For: [Signature]

Revisions:

No.	Description	Date	App'd
1	REV FOR SITE PLAN REVIEW	5/8/14	RRR
2	REV FOR LANDING DOCK AREA	5/20/14	RRR
3	REV FOR CONCRETE WORK	6/8/14	RRR
4	REV FOR CONCRETE WORK	6/8/14	RRR

PROPOSED SITE DEVELOPMENT
LOGAL, LLC

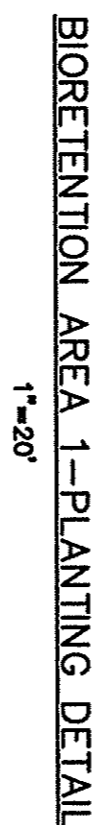
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NEW BEDFORD, MASSACHUSETTS

Drawing Title: **DETAIL SHEET 2**

Project No: 1998

Sheet: 8 OF 9

D-2

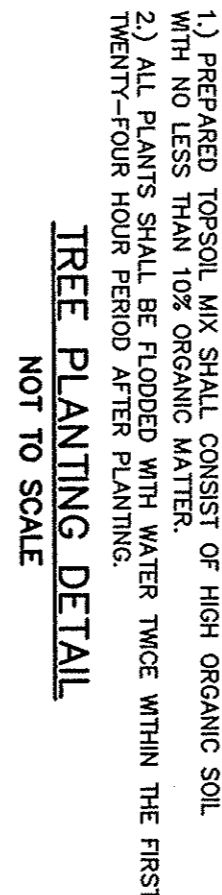


BIORETENTION AREA PLANTING NOTES

1. BOTTOM AREAS OF THE FOUR BIORETENTION AREAS TO BE PLANTED WITH A MIX OF 2" PLUGS OF SWITCH GRASS, BROOM SEDGE, AND FOX SEDGE TO BE SPACED APPROXIMATELY 24" O.C.

2. BIORETENTION AREA BOTTOM AREA AND SLOPE SLOPES TO BE SEEDS WITH NEW ENGLAND CONSERVATION/WILDLIFE MIX AS SUPPLIED BY NEW ENGLAND WETLAND PLANTS, INC. (OR APPROVED EQUAL)

1. PLANT MATERIALS SHALL BE FURNISHED AND INSTALLED AS INDICATED, INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INDEPENDENTS, AND CLEAN-UP.
2. PLANTS SHALL BE TREED, OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
3. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISIONS SHALL BE MADE FOR A GROWTH TREES AND SHRUBS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
4. INSURE AS IT IS PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD WILL BE REJECTED.
5. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI 260 (REV. 1980) "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEMEN INC.
6. ALL PLANTS SHALL BE PLANTED IN TRANSPORTED TOP SOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MAY TO BE AS SHOWN ON PLANNING DRAWINGS. PLANTS SHALL BE PLANTED WITH A PLANT WHICH SETTLERS MORE THAN 2" AFTER PLANTING AND WATERING.
7. FERTILIZER FOR WOODY PLANTS SHALL BE SLOW RELEASE, FERTILIZED AND SUITABLE FOR PLANTING. FERTILIZER FOR PLANTS SHALL BE CONSUME 18-5-11, 12-41 MONTH RELEASE OR COAL.
8. PLANTS SHALL NOT BE GROUND WITH, NIPS OR GORE AT ANY THE SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
9. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON. PLANTS AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. ALL PLANT MATERIAL SHALL BE STRATED WITH "MULCH-PRO" OR COAL AS PER MANUFACTURER'S INSTRUCTIONS.
10. NO PLANT, EXCEPT GROUND COVERS AND SEMIPLANS, FROM EXISTING STRUCTURES AND SIDEWALKS.
11. SET ALL PLANTS PLUMB AND STRAIGHT, LOCATE PLANT IN THE CENTER OF THE PIT.
12. ALL DEDOMED, SLICED AND BROKEN OR BARKY BRUISED BRANCHES SHALL BE REMOVED. CONTAINER GROWN PLANTS SHALL NOT BE THINNED.
13. TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING. TREES SHALL BE STAKED AND GUYING AT THE END OF THE ONE YEAR MAINTENANCE AND GUARANTEE PERIOD.
14. NEW PLANTING AREAS SHALL BE ADOQUATELY IRRIGATED OR WATERED TO ESTABLISH THE PROPOSED PLANTS AND SEED AREAS.
15. PRIOR TO THE ACCEPTANCE BY THE OWNER, THE PROPOSED LANDSCAPE AS SHOWN ON THE APPROVED LANDSCAPE PLAN MUST BE INSTALLED, INSPECTED AND IN CONFLICT WITH THESE REQUIREMENTS MUST RECEIVE THE WRITTEN APPROVAL OF THE PRIOR TO PLANTING. FAILURE TO COMPLY WITH THESE REQUIREMENTS WILL REQUIRE THE CONTRACTOR TO RE-DO THE PLANTING AT HIS OWNERS RISK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SOIL STABILIZATION TO REMOVED OR STANDING OF PLANTS SPECIFICALLY FOR SOIL STABILIZATION.
16. THE CONTRACTOR SHALL SUBMIT A MATERIALS LIST INCLUDING THE SPECIES, SIZE, QUANTITY, AND PLANTING PERIOD FOR EACH PLANTING PERIOD. THE OPENING OF MATERIALS, EXACT LOCATIONS OF ALL PLANNINGS MUST BE COORDINATED WITH THE OWNER PRIOR TO INSTALLATION.

[illegible]