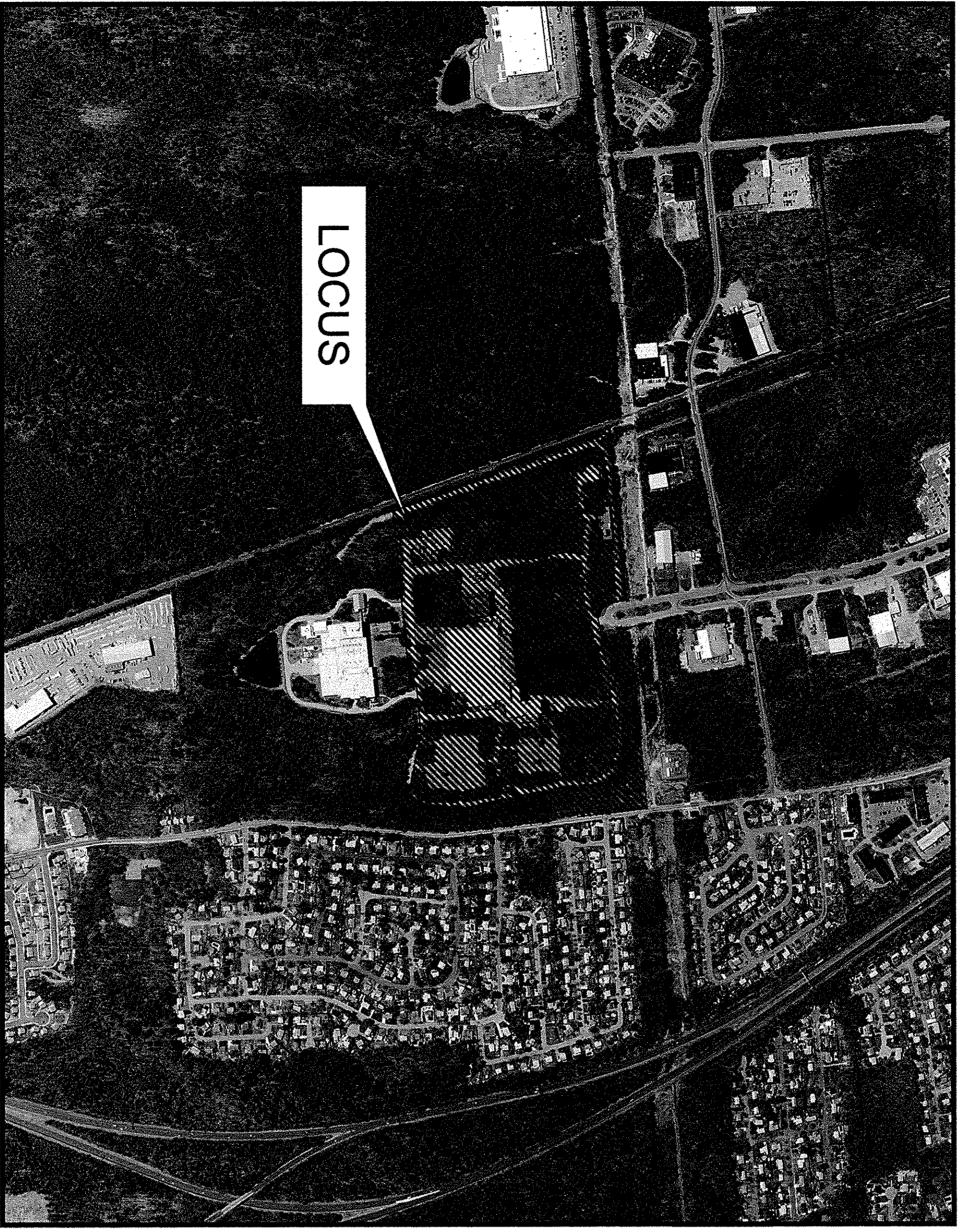
# YELOPMENT

# **JRAWINGS**

ISSUED FOR: PERMITTING DATE ISSUED: MAY 7, 2014 LATEST ISSUE: JUNE 6, 2014

# 100 DUCHAINE BOULEVARD NEW BEDFORD, MASSACHU JSET





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100' NOTIFICATION LINE 300' NOTIFICATION LINE PROJECT SITE

## 132-14 132-883

## PROJECT LOCATION:

ASSESSORS MAP 133 LOT 15 NEW BEDFORD, MASSACHUSETTS

FIELD ENGINEERING CO., INC. 11D INDUSTRIAL DRIVE P.O. BOX 1178 MATTAPOISETT, MA 02739

LOGAL, LLC. 89 BLACKMER STREET NEW BEDFORD, MA 02744

APPLICANT/OWNER:

ENGINEER:

G. JR. & CHERY	134F68
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CANTA OF RECORD	

100 DUCHAINE BOULEVARD MAP 133 LOT 15 NEW BEDFORD, MA

PROPOSED SITE DEVELOPMENT

Project No. 1998	THE CROCKER BUILDING 4 COURT STREET SUITE 104 TAUNTON, MA 02780 TEL: (508) 824-9279 FAX: (508) 824-9276	11D INDUSTRIAL DRIVE P.O. BOX 1178 P.O. BOX 1178 MATTAPOISETT, MA 02739 TEL: (508) 758-2749 FAX: (508) 758-2849	- NELD - NGINEERING CO., INC. CONSULTING ENGINEERS	

GEORGE G. JR. & CHERYL LORANTOS
HERITAGE GREEN CORP., C/O ERIC MONTAGUE
CLAREMONT MG BATTERY MARCH PARK II

2. ALL CONSTRUCTION MATERIALS, AS WELL AS ALL MATERIAL SHOP DRAWINGS AND MANUFACTURERS DATA SHALL RECEIVE THE WRITTEN APPROVAL OF THE LOCAL D.P.W., AND THE PROJECT ENGINEER PRIOR TO FABRICATION AND INSTALLATION. 1. THE MATERIALS AND CONSTRUCTION OF ALL THE PROPOSED WATER, SEWER AND STORM DRAINAGE UTILITIES SHALL CONFORM TO THE LOCAL D.P.W. STANDARDS AND SPECIFICATIONS AS WELL AS ALL APPLICABLE MASSDOT STANDARDS AND SPECIFICATIONS, LATEST EDITION. THE MATERIALS AND CONSTRUCTION OF ALL ELECTRIC, TELEPHONE & CATY UTILITIES SHALL CONFORM TO THE SPECIFICATIONS OF EACH RESPECTIVE PUBLIC UTILITY PROVIDER. 3. EROSION CONTROL MEASURES SHALL REMAIN IN PLACE AND MAINTAINED IN GOOD CONDITION UNTIL SURFACE RESTORATION IS COMPLETE AND ALL AREAS DISTURBED BY THE CONTRACTORS OPERATIONS ARE STABILIZED. 5. WHENEVER EXISTING STRUCTURES ARE ENCOUNTERED, THE CONTRACTOR SHALL REPAIR ANY DAMAGED STRUCTURES OR REPLACE ANY REMOVED STRUCTURES, AND MAKE ANY IMPROVEMENTS ABOVE OR BELOW GRADE TO A CONDITION BETTER THAN OR EQUAL TO PRE—EXISTING CONDITIONS. B. ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION SHOWN ON THE PPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR O THE WORK BEING PERFORMED. 7. IN THE EVENT OF AN INCONSISTENCY BETWEEN THESE SPECIFICATIONS AND THE LOCAL D.P.W., THE LOCAL D.P.W. PECIFICATIONS SHALL GOVERN. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE SPECIFICATIONS FROM THE LOCAL EPARTMENT OF PUBLIC WORKS. 6. THESE PLANS HAVE BEEN PREPARED SPECIFICALLY AS SUPPLEMENTAL INFORMATION TO ACCOMPANY APPLICABLE ERMIT APPLICATIONS AND ARE NOT INTENDED FOR ACTUAL CONSTRUCTION WITHOUT THE EXPRESSED WRITTEN PPROVAL OF FIELD ENGINEERING CO., INC. 1. THE OWNER AND THE PROJECT ENGINEER SHALL APPROVE ALL FIELD CHANGES IN THE WORK PRIOR TO MPLEMENTATION. NO FIELD CHANGES SHALL BE MADE IN ANY SPECIFIED SITE WORK OR ANY MATERIALS FOR WHICH HOP DRAWINGS HAVE BEEN SUBMITTED AND APPROVED WITHOUT PRIOR CONSULTATION OF THE OWNER AND THE PROJECT ENGINEER SHALL, DEEMED UNACCEPTABLE BY EITHER PARTY, BE PROMPTLY REMOVED FROM THE WORK AT NO EXPENSE TO THE OWNER OF THE PROJECT. O. DRAINAGE GENERATED AS A RESULT OF TRENCH DEWATERING SHALL BE DISCHARGED TO EXISTING DRAINAGE COURSES WITH PROPER EROSION CONTROL AND DEWATERING MEASURES MEASURES SUBJECT TO APPROVAL BY THE ROJECT ENGINEER. DIRECT DISCHARGE ONTO PAVEMENT, WETLANDS OR PRIVATE PROPERTY SHALL NOT BE ALLOWED ATHOUT CONSENT OF THE PROJECT ENGINEER AND THE OWNER. 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE PREPARATION, THE COORDINATION AND INSTALLATION OF LUTILITY CONNECTIONS, AND RELATED WORK INCLUDING BUT NOT LIMITED TO ALL NECESSARY SHORING, BRACING AND RENOTED TO THE PROJECT FACILITIES DURING CONSTRUCTION. ALL EXCAVATED MATERIAL DESIGNATED FOR REUSE SHALL BE STOCKPILED ON SITE NO HIGHER THAN 8 FEET AND HALL BE ENCLOSED BY TEMPORARY SILT FENCES TO PREVENT TRAVEL OF SEDIMENT TO ADJACENT PROPERTIES OR RAINAGE WAYS. STOCKPILES SHALL NOT BE ALLOWED WITHIN THE 100' WETLAND BUFFER ZONE. THE CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES FROM ON SITE CONSTRUCTION ACTIVITIES AND REMOVE ANY DIMENT OR DEBRIS DEPOSITED THEREON IMMEDIATELY. . ANY WORK OR MATERIALS NOT MEETING THE APPROVED STANDARDS AND SPECIFICATIONS OF THE LOCAL DEPT. OF BLIC WORKS SHALL BE IMMEDIATELY REMOVED AND REPLACED AT THE FULL RESPONSIBILITY AND COST/EXPENSE TO E CONTRACTOR. THE CONTRACTOR SHALL CONTACT "DIG SAFE" AT 1-800-322-4844, 72 HOURS PRIOR TO ANY EXCAVATION AND/OR IBSURFACE TESTING TO INFORM THE UTILITY COMPANIES OF ANY EXCAVATION. THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE RIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION. UNDERGROUND UTILITIES SHOWN ARE FROM FIELD ISERVATION AND THE BEST AVAILABLE RECORD INFORMATION AND ARE NOT WARRANTED TO BE EXACT, NOR IS IT WARRANTED THAT ALL UNDERGROUND PIPES OR STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL CONTACT THE SPECTIVE UTILITY COMPANIES RELATIVE TO THE LOCATION AND ELEVATION OF ALL EXISTING LINES. ALL OPEN EXCAVATIONS SHALL BE ADEQUATELY SAFEGUARDED IN STRICT ACCORDANCE WITH OSHA GUIDELINES AND THE SATISFACTION OF THE LOCAL POLICE DEPARTMENT. PROVISIONS FOR TEMPORARY BARRICADES, CAUTION SIGNS, HIS AND OTHER MEANS TO PREVENT ACCIDENTS AND DAMAGE TO PROPERTY ARE THE RESPONSIBILITY OF THE NITRACTOR. THE CONTRACTOR SHALL PROVIDE SUITABLE AND SAFE BRIDGES AND OTHER CROSSINGS FOR COMMODATING TRAVEL BY PEDESTRIANS AND WORKMEN. NO EXCAVATIONS SHALL REMAIN OPEN OVERNIGHT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF ALL RIAL OF WASTE MATERIAL ON SITE WILL NOT PERMITTED. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS. ALL HANDICAP PARKING, RAMPS, AND ACCESS SHALL CONFORM TO AAB & MAAB REQUIREMENTS. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL TROM TO THE CITY OF NEW BEDFORD CONSERVATION COMMISSION REQUIREMENTS AS STATED IN THE ORDER OF MITTONS (REFER TO SITE GRADING AND LAYOUT PLAN FOR EROSION CONTROL LOCATIONS) EFER TO CONSTRUCTION DETAIL SHEETS FOR ADDITIONAL UTILITY REQUIREMENTS AND SPECIFICATIONS INTERMEDIATE CONTOUR
INDEX CONTOUR
SPOT ELEVATION
SEWER MANHOLE
DRAIN MANHOLE
ROOF DRAIN
CATCH BASIN
FLARED END
RIP-RAP POST & RAIL FENCE UNDERGROUND WATER
WATER FIRE SERVICE
WATER DOMESTIC SERVICE UNDERGROUND ELECTRIC,
CABLE & TELEPHONE
LIGHT POLE
UTILITY POLE HYDRANT WATER GATE (APPING SLEEVE & / ONCRETE CONCRETE Y WIRE ERHEAD WIRE NDICAP RAMP 88 C × 123.4 WASTE MATERIAL AT AN APPROVED LOCATION MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% , FOR SLOPES EXPOSED TO DIRECT WINDS, AND FOR ALL OTHER SLOPES GREATER THAN 8%. CONSTRUCTION ACTIVITY EXECUTED DURING THE SHALL BE SUBJECT TO THE FOLLOWING ADDITIO ALL EROSION MITIGATION SHALL BE IN PLACE PRIOR TO ANY SOIL DISTURBANCE ACTIVITIES ON THE SITE

11. ALL TEMPORARY EROSION CONTROL MEASURES THE PROJECT ENGINEER AND/OR THE CONSERV 15. THE NORMAL ACCEPTABLE SEASONAL SEEDING SEPTEMBER 30TH. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE EXECUTED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS AND THE NPDES STORMWATER POLLUTION PREVENTION PLAN (SWPPP). IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH OR DORMANT SEEDING TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD. NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2 TO 1) UNLESS NOTED OTHERWISE. INSTALL SILT FENCE AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILT FENCE DETAIL FOR PROPER INSTALLATION. SILT FENCE WILL REMAIN IN PLACE PER NOTE #5. SEDIMENT BARRIERS (SILT FENCE, HAY BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE UPGRADIENT CONTRIBUTING DRAINAGE AREA. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 8.0% AFTER OCTOBER 1ST. THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL IF THE DISTURBANCE IS WITHIN 100 FEET OF A WETLAND RESOURCE AREA. THE DISTURBED AREAS SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY FORECASTED STORM EVENT. REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS: TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS. ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL, SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION DECOMPOSURE. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT AND WHEN THE DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER, SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF. TYPE
RED FESCUE
RED FESCUE
KENTUCKY 31
DOMESTIC RYE
RED TOP
LADINO CLOVER
APPLICATION RATE C) THE DESIGN MIX FOR SEEDING SHALL BE IN ACCORDANCE WITH THE FOLLOWING TABLE. THE SEED MIX SHALL BE INOCULATED WITHIN TWENTY-FOUR (24) HOURS, BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY. A) THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS, AND SHALL BE PLACED TO A DEPTH OF FOUR (4) INCHES ON ALL LOAM AND SEED AREAS OR AS SPECIFIED ON THE DRAWINGS. B) APPLY FERTILIZER AT A RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF. APPLY GROUND LIMESTONE EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE OR 138 LB PER 1,000 S.F. % BY WEI 50 30 10 5 5 4.0 LBS./ SPEC\_M6.03.0 HOH

14. THE CONTRACTOR MUST REPAIR OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR AND SHALL DO SO AT NO ADDITIONAL EXPENSE TO THE OWNER. 12. ADJACENT PROPERTIES WILL BE PROTECTED WITH HAY BALES AND/OR SILT FENCING INSTALLED AS SHOWN ON THE DRAWINGS. ADDITIONAL HAY BALES OR SAND BAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE PROJECT ENGINEER AND/OR THE CONSERVATION COMMISSION. . TEMPORARY HAY BALE EROSION CHECKS OR FILTER FABRIC GRATE INSERTS SHALL BE PROVIDED AT ALL DRAINAGE STRUCTURE INLETS DURING CONSTRUCTION. UPON COMPLETION OF CONSTRUCTION AND SATISFACTORY STABILIZATION OF DISTURBED AREAS, THE CONTRACTOR SHALL CLEAN ALL CATCH BASIN SUMPS AND DRAIN INVERTS. . HAY OR STRAW MULCH SHALL BE LOOSELY SPREAD TO A UNIFORM DEPTH AT THE RATE OF 4.5 TONS PER ACRE EXCEPT OVER CERTAIN SELECTED SEEDED AREAS WHERE 2 TONS PER ACRE SHALL BE USED AS DIRECTED BY THE ENGINEER AND/OR THE PLANNING BOARD. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS WILL BE USED ON HAY MULCH FOR WIND CONTROL STOCKPILES OF TOP SOIL SHALL NOT BE LOCATED NEAR WATERWAYS. 1:1. (1) A HYDRO-APPLICATION OF WOOD OR SUCH AS CURASOL OR RMB PLUS SHALI MULCH AND MULCH ANCHORING MODERATE TO HIGH VWLOCITY AREAS STEEP SLOPES GREATER THAN 3:1 WULCH ANCHORING MAY BE ACCOMPLISHED WITH PEG AND TWINE (1 SQ. YD/BLOCK); MULCH NETTING (PER WANUFACTURERS SPECIFICATIONS); WOOD CELLULOSE FIBER (750 LBS/ACRE); OR CHEMICAL TACK (PER WANUFACTURERS SPECIFICATIONS). MULCH LOCATION WILD SLOPES LESS THAN 3:1 HIGH WIND VELOCITY AREAS IL BE USED ON HAY MULCH FOR WIND CONTROL. SHALL BE REMOVED ONCE THE SITE IS STABILIZED TO THE SATISFACTION OF ATION COMMISSION. DATES ARE APRIL 1ST THROUGH JUNE 15TH AND AUGUST 15TH THROUGH MULCH
STRAW OR HAY
SHREDDED OR CHOPPED CORNSTALKS
SHREDDED OR CHOPPED CORNSTALKS
ANCHORED STRAW OR HAY (1)
JUTE MESH OR EXCELSIOR MAT
JUTE MESH OR EXCELSIOR MAT THEY SHALL HAVE SIDE SLOPES NO GREATER THAN RATE (1.000 S.E.)
200 POUNDS
200-275 POUNDS
200-275 POUNDS
AS REQUIRED
AS REQUIRED

14. THE STORM WATER BMP'S WILL BE INSPECTED ANNUALLY DURING REGULARLY SCHEDULED MID-SUMMER LANDSCAPING AND WEEDING OPERATIONS FOR INVASIVE OR UNWANTED PLANTS. IF INVASIVE SPECIES ARE FOUND, THEY WILL BE PHYSICALLY UPROOTED AND REMOVED FROM THE AREA.

THE OWNER WILL MONITOR THE BIORETENTION AREAS/SEDIMENT FOREBAYS PURSUANT TO THE RECOMMENDATIONS OUTLINED IN THE USACE DOCUMENT TITLED 'NEW\_ENGLAND\_DISTRICI\_COMPENSATORY\_MITIGATION\_GUIDANCE DOCUMENT, PAGES 24-26 SECTION 4.F. INVASIVE SPECIES. DUE TO THE PROXIMITY OF THE WET BASIN AND GRASSED CHANNEL TO THE EXITING BORDERING VEGETATED WETLAND, THE APPLICANT HAS CHOSEN A MECHANICAL CONTROL METHOD OF REMOVAL. INVASIVE SPECIES WILL BE REMOVED BY HAND (PULLING, MOWING OR EXCAVATING ON-SITE). NO CHEMICAL CONTROL WILL BE UTILIZED.

SPECIAL ATTENTION WILL BE GIVEN TO ASSURE THAT NONE OF THE FOLLOWING INVASIVE SPECIES POPULATE THE STORM WATER BMP'S: COMMON REED (PHRAGMITES AUSTRALIS), PURPLE LOOSESTRIFE (LYTHRUM SALICARIA), SMOOTH AND COMMON BUCKTHORN (FRANGULA ALNUS, RHAMNUS CARTHARTICA), RUSSIAN AND AUTUMN OLIVES (ELAEAGNUS ANGUSTIFOLIA AND LABANESE KNOTWEED (FALLOPIA JAPONICA).

13. THE OWNER SHALL CONTRACT WITH A MAINTENANCE COMPANY ON AN ANNUAL BASIS THAT WILL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM. THE CONTACT INFORMATION FOR THIS COMPANY SHALL BE PROVIDED TO THE CONSERVATION COMMISSION FOR THEIR FILES.

12. AN OPERATION AND MAINTENANCE INSPECTION FORM SHALL BE DEVELOPED AND COPIES OF THE COMPLETED FORMS SHALL BE COMPILED BY THE OWNER. THESE FORMS SHALL BE AVAILABLE FOR REVIEW BY THE CONSERVATION COMMISSION UPON REQUEST.

DTB

Designed By RRR/DTB

RRR

5/7/14

N.T.S.

PERMITTING

11. THE EMBANKMENTS, SIDE SLOPES, AND BOTTOM AREAS OF THE SEDIMENT FOREBAYS, AND BIORETENTION AREAS SHALL BE MOWED AT LEAST TWICE ANNUALLY TO FACILITATE MAINTENANCE OF THE BASINS.

10. NO DISPOSAL OF MATERIALS WILL BE PERMITTED WITHIN THE ANY OF THE STORMWATER MANAGEMENT SYSTEM BMP'S. THIS PROHIBITION APPLIES TO TRASH, FILL MATERIAL, CONSTRUCTION DEBRIS, GRASS CLIPPINGS, COLLECTED LEAVES, AND CUT BRANCHES.

SNOW WILL BE STOCKPILED WITHIN AND AROUND AREAS WHICH DRAIN INTO THE STORMWATER MANAGEMENT SYSTEM WHEREVER PRACTICABLE AS DEPICTED ON THE SNOW STORAGE PLAN IN THE SITE DEVELOPMENT PLANS. CATCH BASIN GRATES WILL BE CLEANED OF SNOW AND ICE AFTER ALL SNOWFALL EVENTS. IN ADDITION, NO SALT SHALL BE USED ON THE SITE FOR SNOW MANAGEMENT. DISCHARGE OF SNOW DIRECTLY INTO THE SEDIEMENT FOREBAYS OR BIORETENTION AREAS SHALL BE PROHIBITED.

THE BIORETENTION AREAS, SEDIMENT FOREBAYS AND ALL LANDSCAPED AREAS SHOULD BE INSPECTED FOR TRASH ON A MONTHLY BASIS. ANY ACCUMULATED TRASH, LITTER AND DISCARDED MATERIALS SHALL BE REMOVED.

UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF HAY BALE/SAND BAG CHECK DAMS. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR HAY AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE. WINTER EXCAVATION AND EARTHWORK SHALL BE STABILIZATION AT ANY ONE TIME. CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO AREA IN EXCESS OF ONE ACRE IS WITHOUT EROSION CONTROL PROTECTION. BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING, ASPHALT EMULSION CHEMICAL, TRACK OR WOOD CELLULOSE FIBER. BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1ST, LOAM OR SEED WILL NOT BE PERMITTED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES, THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. EXPOSED AREA SHOULD BE LIMITED TO THAT WHICH CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED AND IS SMOOTH, THEN IE AREA MAY BE DORMANT SEEDED AT A RATE OF 200 TO 300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN JICHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED FORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES TALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED THE ABOVE MANNER.

WINTER CONSTRUCTION PERIOD BETWEEN NOVEMBER 1 THROUGH APRIL VAL REQUIREMENTS.

DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT

2. SPECIAL CONSIDERATION FOR DUST CONTROL SHALL BE GIVEN AT ALL SITE ACCESS DRIVEWAYS TO MINIMIZE THE AMOUNT OF DUST IN THE STREETS. ALTERNATIVE METHODS FOR DUST CONTROL SUCH AS THE USE OF MULCH OR SPRAY ON ADHESIVES WITH THE PROJECT ENGINEER PRIOR TO THEIR IMPLEMENTATION. DUST SHALL BE CONTROLLED BY THE CONTRACTOR THE FOLLOWING TWO METHODS: B) <u>CALCIUM CHLORIDE</u> CALCIUM CHLORIDE SHOULD BE EITHER LOOSE DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH A SPREADER AT A RATE THAT WILL KEEP THE SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. CONTRACTOR SHALL NOT USE CALCIUM CHLORIDE ON STEEPER SLOPES (GREATER THAN 3:1) OR IN AREAS THAT WILL DRAIN DIRECTLY TOWARDS THE WETLANDS. A) WATER THE CONTRACTOR SHALL SPRAY WATER OVER EXPOSED SOIL SURFACES UNTIL MOISTENED AS NEEDED TO CONTROL DUST. NOTES FOR AS NEEDED, OR AS DIRECTED BY THE TOWN OR OWNER

BORDERING VEGETATED WETLAND & FLAG NO.
WETLAND PROTECTION ZONE

7. THE DRIVEWAY AND PARKING AREAS SHALL BE SWEPT AT LEAST TWICE PER YEAR. LOGAL LLC 89 BLACKMER STREET NEW BEDFORD, MASSACHUSETTS 02744 ALL REMOVED SEDIMENTS ARE TO BE PROPERLY DISPOSED OF AT A LOCATION TO BE APPROVED BY THE BOARD OF HEALTH. TRANSPORTATION AND DISPOSAL OF SEDIMENTS SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS. ACCUMULATED SILT AND SEDIMENT SHOULD BE REMOVED FOUR TIMES A YEAR FOR SEDIMENT FOREBAYS OR MORE FREQUENTLY IF ACCUMULATED DEPTH OF SEDIMENT EXCEEDS SIX INCHES AT THE PROPOSED STONE CHECK DAMS. ACCUMULATED SILT AND SEDIMENT SHOULD BE REMOVED AT LEAST ONCE A YEAR FOR DEEP SUMP CATCH BASINS OR MORE FREQUENTLY IF ACCUMULATED DEPTH OF SEDIMENT EXCEEDS SIX INCHES. THE OWNER SHALL MAINTAIN AND SUBMIT TO THE CONSERVATION COMMISSION UPON REQUEST A BMP INSPECTION REPORT FOLLOWING EACH SITE INSPECTION AS RECOMMENDED ABOVE. THE BMP INSPECTION REPORT SHALL IDENTIFY THE DATE OF INSPECTION, THE NAME AND CONTACT NUMBER OF THE RESPONSIBLE PARTY, SPECIFIC STRUCTURES INSPECTED, SPECIFIC MAINTENANCE REQUIRED AND OBSERVATIONS AT A MINIMUM, INSPECTION REPORTS SHOULD ADDRESS THE FOLLOWING CONDITIONS WHERE APPLICABLE: ALL STRUCTURAL BEST MANAGEMENT PRACTICES (BMP'S) INCLUDING SHOULD BE INSPECTED AFTER EVERY MAJOR RAINFALL EVENT EXCEEDING 1.0—INCH FOR THE FIRST 6 MONTHS AFTER CONSTRUCTION TO ENSURE PROPER STABILIZATION AND CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSPECTION AND MAINTENANCE OF ALL STORMWATER MANAGEMENT FACILITIES UNTIL SUCH TIME AS THE STORMWATER MANAGEMENT SYSTEM IS ACCEPTED BY THE OWNER. THEREAFTER THE OWNER SHALL BE RESPONSIBLE FOR THE PROPER INSPECTION AND MAINTENANCE OF THE STORMWATER FACILITIES IN ACCORDANCE WITH THIS OPERATION AND MAINTENANCE PLAN AS WELL AS THE CONTINUING CONDITIONS OF THE CERTIFICATE OF COMPLIANCE ON THE PROPERTY. 1. EMBANKMENT SUBSIDENCE
2. EROSION
3. CRACKING OF CONTAINMENT BERM
4. INLET/OUTLET CONDITIONS
5. SEDIMENT ACCUMULATIONS
6. SLOPE STABILITY BMP STRUCTURE
DEEP SUMP CATCH BASINS
RAIN GARDEN/BIORETENTION AREA
SUBSURFACE DETENTION SYSTEM
WATER QUALITY INLET INSPECTIONS SHOULD BE CONDUCTED ACCORDING TO THE FOLLOWING SCHEDULE: INSPECTIONS PER YEAR

ED END
ED AND COVER
IE AND GRATE
IDATION

ATION
OF PAVEMENT
OF TRAVELED WAY

WCGR TO STALL SECOND SE

AND DISPOSE
AND RESET
AND STACK
EX. GRANITE CURB

THE CROCKER BUILDING
4 COURT STREET SUITE 104
TAUNTON, MA 02780
TEL: (508) 824-9279
FAX: (508) 824-9276

GRADE LINE

11D INDUSTRIAL DRIVE P.O. BOX 1178 P.O. BOX 1178 MATTAPOISETT, MA 02739 TEL: (508) 758-2749 FAX: (508) 758-2849

BOUND / DRILL HOLE DER CURB

RARY BENCH MARK
OF CURB
F SLOPE
NG SLEEVE, VALVE AND BOX

WALL
CONSTRUCTION
OLOGICAL SURVEY
CLAY PIPE

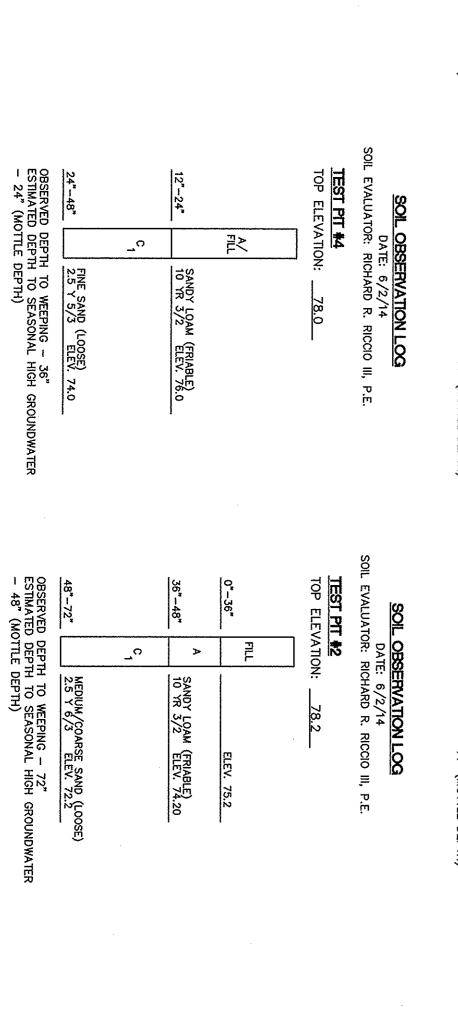
GENERAL ABBREVIATIONS

CONSULTING ENGINEERS

TOP ELEVATION: OBSERVED DEPTH TO WEEPING — 64".
ESTIMATED DEPTH TO SEASONAL HIGH GROUNDWATER
— 48" (MOTTLE DEPTH) 0"-24" 48"--72" EVALUATOR: SOIL OBSERVATION LOG FINE TO MEDIUM SAND (LOOSE) 2.5 Y 5/4 ELEV. 72.4 LOAMY SAND (FRIABLE) 2.5 Y 6/3 ELEV. 74.4 SANDY LOAM (FRIABLE) 10 YR 3/2 ELEV. 76.4 SANDY LOAM (FRIABLE) 10 YR 5/6 ELEV. 75.4 78.4 R. RICCIO III, P.E. TOP ELEVATION: OBSERVED DEPTH TO WEEPING — 60"
ESTIMATED DEPTH TO SEASONAL HIGH GROU
— 44" (MOTTLE DEPTH) 0"-24" EVALUATOR SOIL OBSERVATION LOG SANDY LOAM (FRIABLE) 10 YR 5/6 ELEV. 74.4 SANDY LOAM (FRIABLE) 10 YR 3/2 ELEV. 76.2 MEDIUM/COARSE SAND (LOOSE) 78.2 R. RICCIO III, P.E. TEST PIT #3
TOP ELEVATION: OBSERVED DEPTH TO WEEPING — 60"
ESTIMATED DEPTH TO SEASONAL HIGH GROUNDWATER
— 44" (MOTTLE DEPTH) SOIL OBSERVATION LOG

DATE: 6/2/14

EVALUATOR: RICHARD R. RICCIO III, P.E. 8 MEDIUM/COARSE SAND (LOOSE) SANDY LOAM (FRIABLE) 10 YR 5/6 ELEV. 75.7 SANDY LOAM (FRIABLE) 10 YR 3/2 ELEV. 77.2



1998

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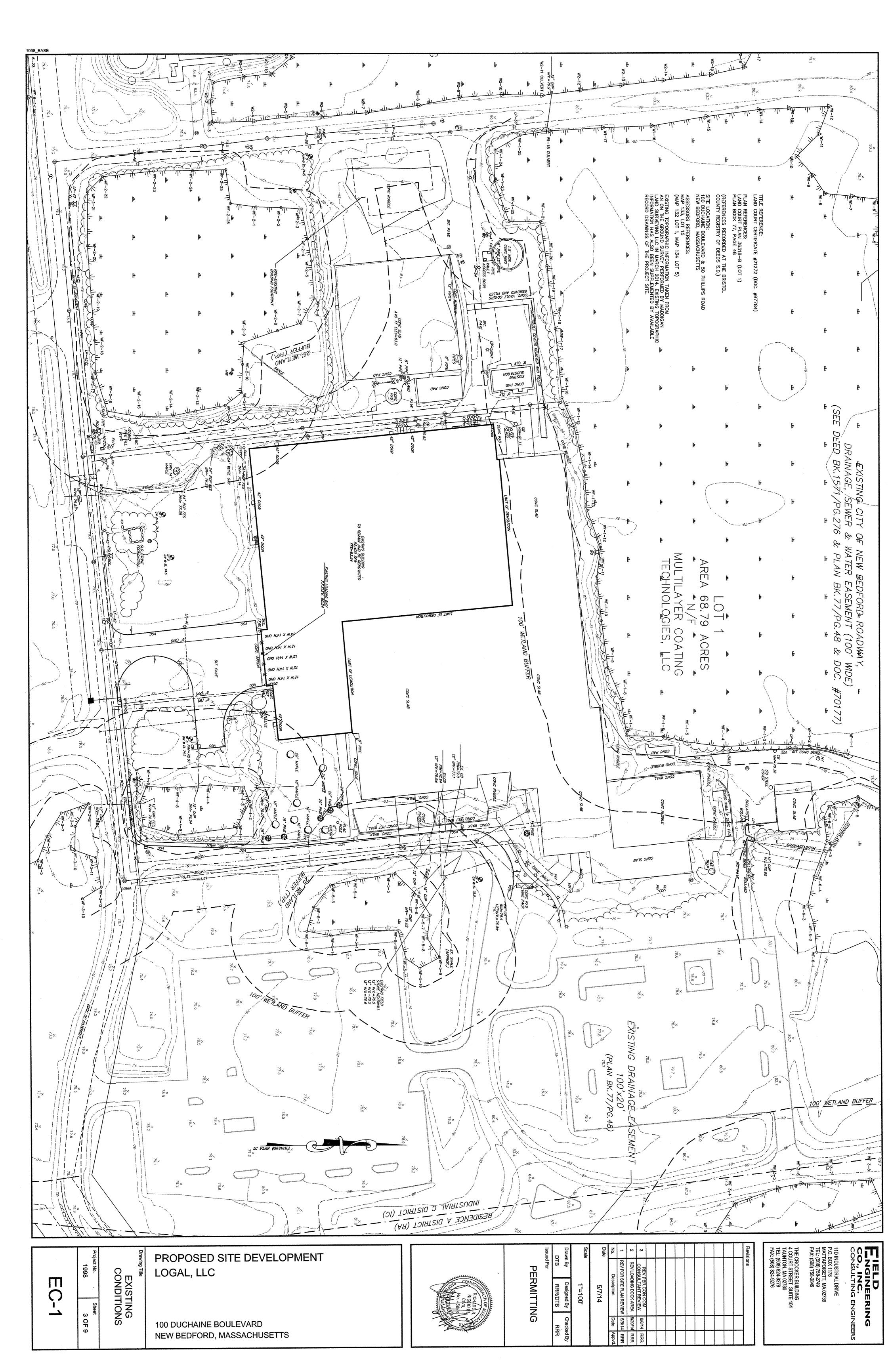
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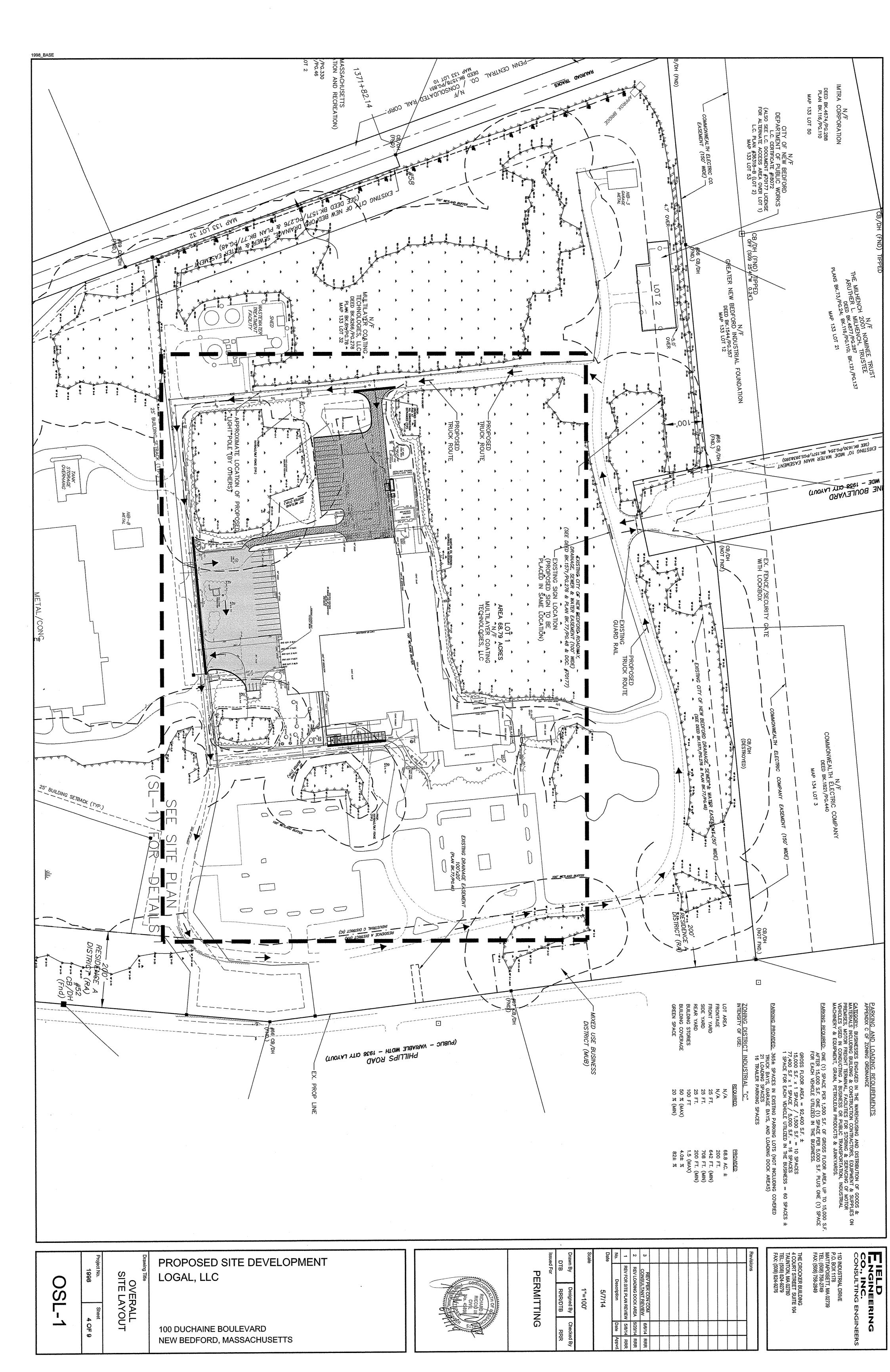
NOTES & LEGEND

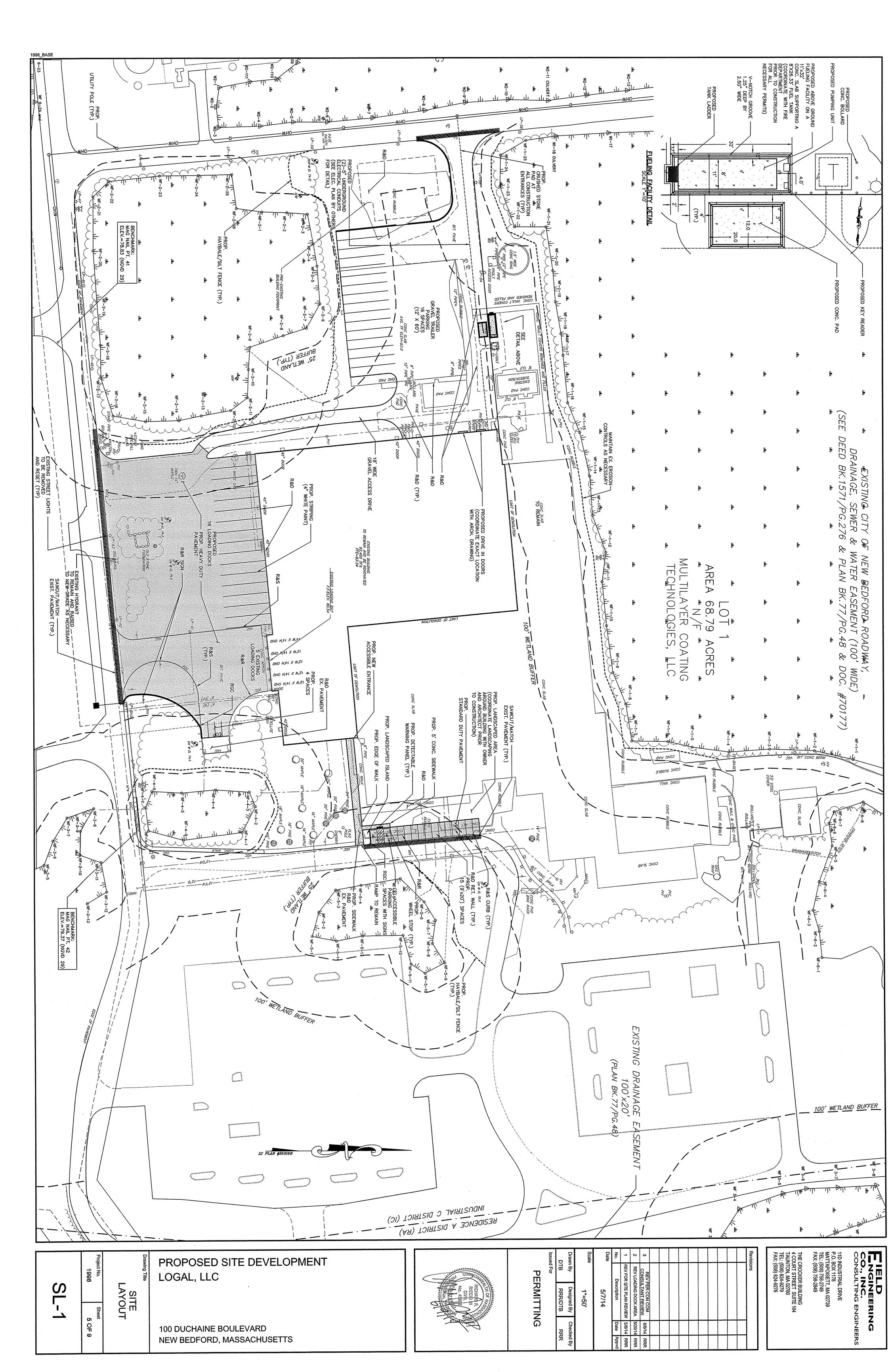
PROPOSED SITE DEVELOPMENT LOGAL, LLC

100 DUCHAINE BOULEVARD

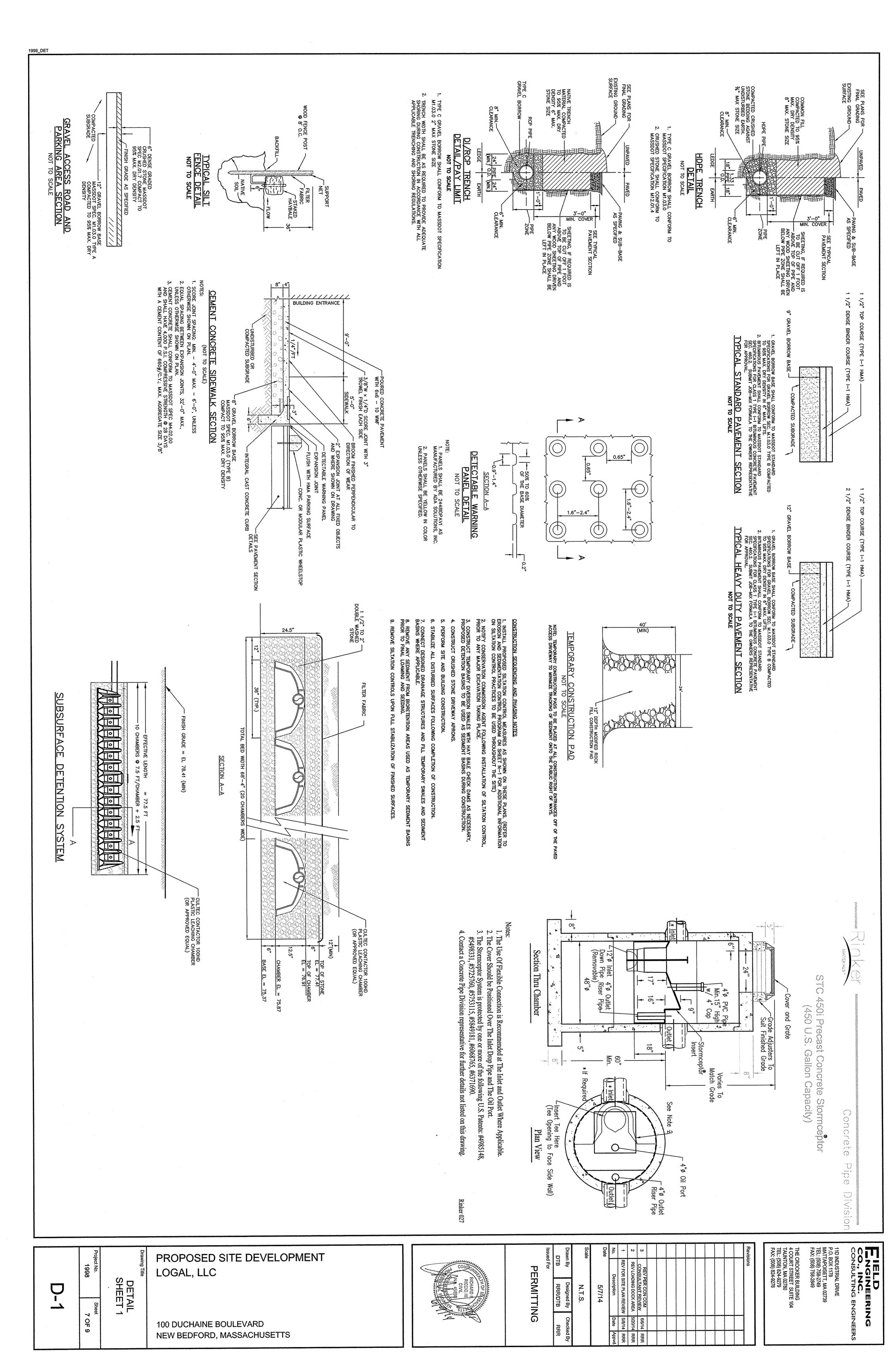
NEW BEDFORD, MASSACHUSETTS

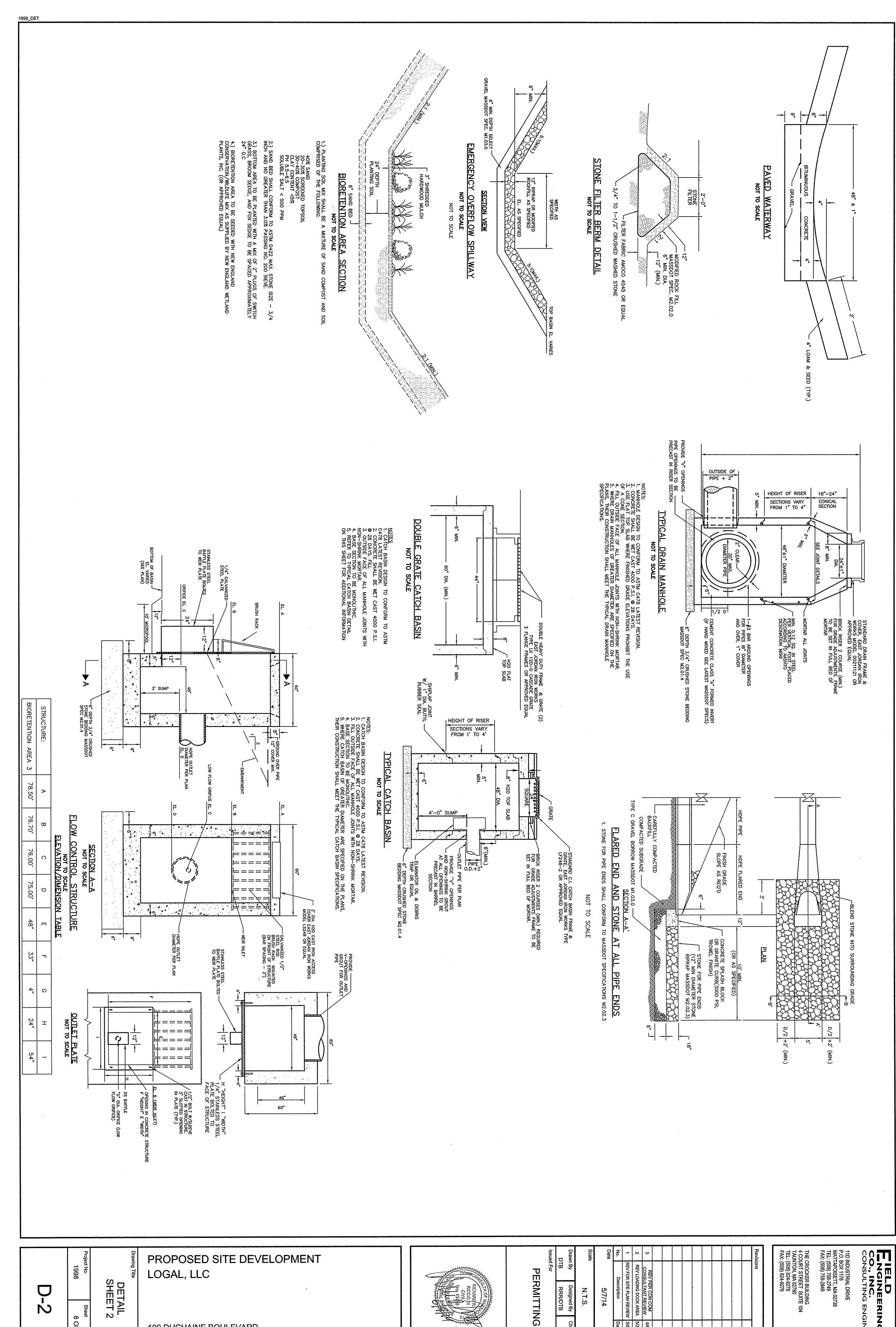






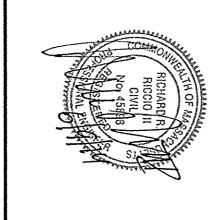




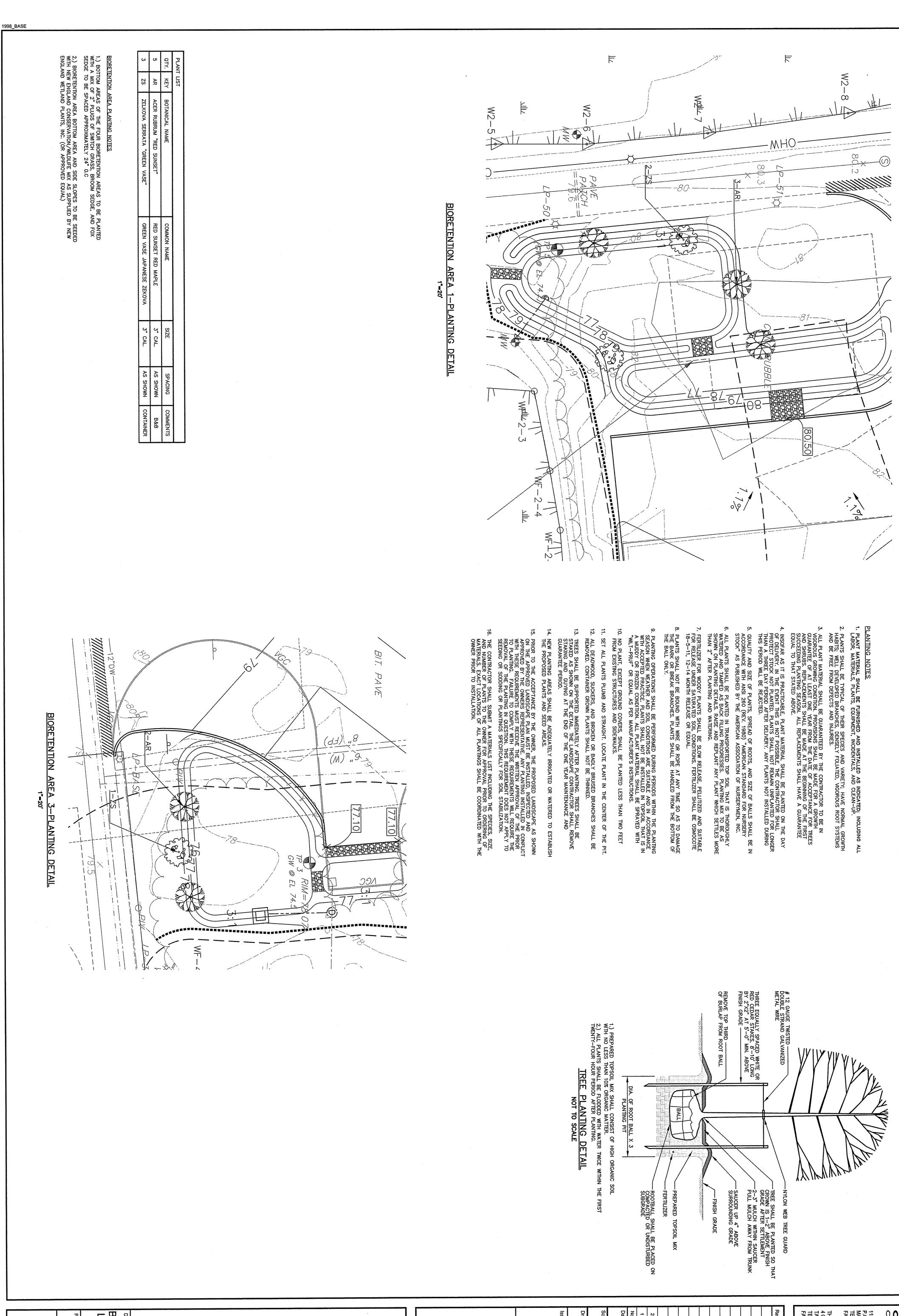


100 DUCHAINE BOULEVARD NEW BEDFORD, MASSACHUSETTS

8 OF 9



RRR



AND-1

BIORETENTION AREA LANDSCAPING PLAN

1998

9 OF 9

PROPOSED SITE DEVELOPMENT LOGAL, LLC

100 DUCHAINE BOULEVARD NEW BEDFORD, MASSACHUSETTS



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		ed For
RRR	RRR/DTB	DTB
Checked	Designed By	wn By
	1"=20'	e
	5/8/14	W
Date	Description	

2 CONSULTANT REVIEW 6/6/14 RRF

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