



CITY OF NEW BEDFORD

Jonathan F. Mitchell, Mayor

Department of Public Infrastructure

Jamie Ponte
Commissioner

Water
Wastewater
Highways
Engineering
Cemeteries
Park Maintenance
Forestry

May 6, 2022

New Bedford Conservation Commission
New Bedford City Hall
133 William Street
New Bedford, Massachusetts 02746

Subject: Amended Notice of Intent – Pier 3 – Utility Improvements (Amendment)
Sewer Service Relocation – Wharfinger Building Improvements
City of New Bedford - Applicant

Dear Commission Members:

The Department of Public Infrastructure (DPI) is pleased to submit this request to modify Notice of Intent (NOI) and Order of Conditions (OOC) SE49-0850 for the above referenced project. The City of New Bedford (City) is continuing work to further develop the economy within the Pier 3 area by providing a new sewer service to the Wharfinger Building.

Scope of Work

The Wharfinger Building built around 1935 is currently owned by the City and is proposed to be redeveloped into a café. The DPI is proposing a 6-inch sewer service, approximately 17-ft in length, connecting to the existing 10-inch sewer main that services the pier. The new sewer service will provide sanitary sewer service to the west side of the existing building. Once complete, the excavated area will be paved and restored to existing conditions. The proposed work is shown on the plans included in Attachment 1 - Pier 3 -Utility Improvements, as amended.

The work to provide a new sewer service for the Wharfinger Building is located approximately 100-ft west of the recently completed improvements that supported the opening of the Whale's Tail Clam Bar (Clam Shack). This project was submitted under a NOI and received approval under OOC SE49-0850. The type of work to be completed under the new project, including construction approach, is identical to that completed under OOC SE49-0850.

Photographs of the location of the proposed work are included as Attachment 2.

Alternation to Resource Areas

Approximately 100 square feet of additional Land Subject to Coastal Storm Flowage will be temporarily altered for the construction of the Wharfinger Building utility improvements – in total 1,200 square feet of temporary alternation is required under both the Clam Shack and Wharfinger Building improvements. No permanent impacts to wetland resource areas are anticipated from this project. The interests of the Wetlands Protection Act or the City of New Bedford's Wetlands Protection Ordinance amended in

Chapter 15 Article VII, specifically the flood control and storm damage prevention interests will not be impaired as a result of this project. Similar to the work completed at the Clam Shack, all appropriate erosion and sedimentation control measures will be implemented throughout the course of construction to prevent the transport of sediment to adjacent wetland resource areas. The as previously submitted Construction Period Operations and Maintenance Plan will be adhered to under this project. DPI construction crews will be installing the proposed services and a DPI resident engineer will be on site to witness the work ensuring compliance with the as-designed construction drawings and the approved OOC. This work will not restrict or impair access to water-dependent uses.

Location of Work

This work is taking place just north of the Wharfinger Building on Pier 3. Copies of the deeds are included in Attachment 3 as well as the certified abutters list received from the City's Planning and Assessors Departments.

Chapter 91 Waterways

This project is located in an area of filled tidelands and will require a minor modification to the existing Chapter 91 waterways license agreement No. 1742 at Pier 3. A similar process was used for the Clam Shack improvements with the minor modification being granted. The DPI is currently working with the MassDEP Waterways Division to acquire the minor modification.

Closing

The DPI appreciates the opportunity to submit this request for a modification to existing OOC SE49-0850. Due to the proximity of work previously completed at the Clam Shack to the new work and the type of work to be completed matching the proposed work at the Wharfinger Building, we are respectfully requesting that the Commission modify the OOC to include the work proposed for the Wharfinger Building in lieu of filing a completely new NOI.

Included in Attachment 4 is the previously submitted NOI titled Pier 3 Improvements, dated May 18, 2020 by City of New Bedford including the required Stormwater Report and Checklist.

Should you have any questions about this project or if you would like to schedule a site visit, please do not hesitate to contact me at (508)-979-1550.

Sincerely,



Shawn T. Syde, P.E.
City Engineer

Cc: Jamie Ponte, Justin Chicca, Dennis Souza: Department of Public Infrastructure

Attachments:

Attachment 1 – Design Drawings titled “City of New Bedford, Massachusetts Pier 3 – Utility Improvements” dated May 8, 2020, revised May 6, 2022, by City of New Bedford DPI

Attachment 2 – Site Photographs

Attachment 3 – Deeds

Attachment 4 – Notice of Intent, Pier 3 Improvements, dated May 18, 2020 by City of New Bedford

Attachment 1

“City of New Bedford, Massachusetts Pier 3 – Utility Improvements”



CITY OF NEW BEDFORD, MASSACHUSETTS PIER 3 - UTILITY IMPROVEMENTS

INDEX

SHEET NO.	DESCRIPTION
1	TITLE SHEET & INDEX
2	GENERAL NOTES & LEGEND
3	EXISTING CONDITIONS
4	CONSTRUCTION PLAN
5	EROSION CONTROL PLAN
6	DETAIL SHEET



N.T.S.

THE CITY OF NEW BEDFORD DEPARTMENT OF PUBLIC INFRASTRUCTURE CONSTRUCTION STANDARDS AND SPECIFICATIONS DATED 2022, MASSACHUSETTS HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES DATED 2022, THE 2017 CONSTRUCTION STANDARDS DETAILS, THE LATEST MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS WITH MASSACHUSETTS AMENDMENTS, THE 1990 STANDARD DRAWINGS FOR SIGNS AND SUPPORTS, THE 1968 STANDARDS DRAWINGS FOR TRAFFIC SIGNALS AND HIGHWAY LIGHTING, AND THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, WILL GOVERN.

**100% SUBMITTAL
MAY 8, 2020
REVISED MAY 6, 2022**



CITY OF NEW BEDFORD DEPARTMENT OF PUBLIC INFRASTRUCTURE

WATER • WASTEWATER • HIGHWAYS • ENGINEERING • CEMETERIES • PARK MAINTENANCE • FORESTRY



GENERAL LEGEND

	BUILDING
	CONCRETE
	DRAIN LINE
	FENCE - CHAINLINK
	FENCE 2 - STOCKADE
	GAS LINE
	GRASS
	LOT LINE
	OVERHEAD WIRES
	PROPERTY LINE
	SEWER LINE
	TRAIN TRACKS
	VEGETATION LINE
	WATERLINE
	PROPOSED GAS LINE
	PROPOSED SEWER LINE
	PROPOSED WATER LINE

GENERAL LEGEND (CONT.)

	BRADLY HEAD
	CATCH BASIN
	BOUND
	CURB STOP
	DRAIN MANHOLE
	ELECTRIC MANHOLE
	FIRE HYDRANT
	GAS GATE
	HEDGE(S)/SHRUB(S)
	LIGHT POLE
	MAILBOX
	PROPOSED GAS MAIN
	PROPOSED SEWER CLEAN OUT
	PROPOSED SEWER LATERAL
	PROPOSED WATER LATERAL
	ROCK/BOULDER
	SEWER MANHOLE
	SIGN
	STUMP
	TELEPHONE MANHOLE
	TREE
	UTILITY POLE
	WATER GATE

GENERAL ABBREVIATIONS

2MM	2' BRASS MONUMENT MARKER
ADJ	ADJUST
ABD	ABANDONED
BC	BUILDING CORNER
BH	BRADLEY HEAD
BLDG	BUILDING
BND	STONE BOUND
BND/2'	STONE BOUND-2' OFFSET
BND/DH	STONE BOUND-DRILLHOLE
BOS	BOTTOM OF SLOPE
CB	CATCH BASIN
CEM.CONC.	CEMENT CONCRETE
CHH	CABLE HANDHOLE
CL	CENTERLINE
CS	CURB STOP
D.#	DECIDUOUS TREE AND DIAMETER (INCHES)
DH	DRILL HOLE
DI	DUCTILE IRON PIPE
DMH	DRAIN MANHOLE
DW	DRIVEWAY
EHH	ELECTRIC HANDHOLE
ELEV	ELEVATION
EMH	ELECTRIC MANHOLE
EOP	EDGE OF PAVMENT
FDC	FULL DEPTH CONSTRUCTION
FNCL	CHAINLINK FENCE
FNPK	PICKET FENCE
FNPR	POST AND RAIL FENCE
FNRI	IRON ROD FENCE
FNST	STOCKADE FENCE
FP	FLAGPOLE
GDRL	GUARDRAIL
GG	GAS GATE
GL	GUTTERLINE
GRAN. CURB	GRANITE CURB
GUY	GUY WIRE
HDPE	HIGH DENSITY POLYETHYLENE
HH	HANDHOLE
HMA	HOT MIX ASPHALT
HYD	FIRE HYDRANT
INV	INVERT
LP	LIGHT POLE
MA	MAST ARM
MH	MANHOLE
M&O	MILL AND OVERLAY
NTS	NOT TO SCALE
OHW	OVERHEAD WIRES
P.#	PINE TREE AND DIAMETER (INCHES)
PED-X	PEDESTRIAN CROSSING POST
PK	PK NAIL
POC	POINT ON CURVE
PROP	PROPOSED WORK
PT	POINT OF TANGENCY
R&D	REMOVE AND DISPOSE
R&P	REMOVE AND PROTECT
R&R	REMOVE AND RESET
R&REL	REMOVE AND RELOCATE
R&S	REMOVE AND STACK
SW	SIDEWALK
TC	TOP OF CURB
TL	TRAFFIC LIGHT
TMH	TELEPHONE MANHOLE
TOS	TOP OF SLOPE
TYP	TYPICAL
UP	UTILITY POLE
VEG.	VEGETATION
WCR	WHEELCHAIR RAMP
WF	WETLAND FLAG
WG	WATER GATE
WLBB	BRICK WALL-BOTTOM
WLBT	BRICK WALL-TOP
WLCB	CONCRETE WALL-BOTTOM
WLCT	CONCRETE WALL-TOP
WLSB	STONE WALL-BOTTOM
WLST	STONE WALL-TOP
WG	WATER GATE
WHH	WATER HANDHOLE
WW	WALKWAY

GENERAL NOTES

- BASE MAPPING PROVIDED BY THE CITY OF NEW BEDFORD DEPARTMENT OF PUBLIC INFRASTRUCTURE FEBRUARY, 2020.
- THE CONTRACTOR SHALL SAWCUT TO THE FULL PAVEMENT DEPTH AT LOCATIONS WHERE NEW FULL DEPTH PAVEMENT OR NEW SIDEWALK MEETS EXISTING PAVEMENT OR SIDEWALK, AT THE LOCATIONS SHOWN ON THE PLANS OR AS REQUIRED BY THE ENGINEER.
- ALL AREAS OUTSIDE OF THE LIMIT OF WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION BY THE CONTRACTOR.
- ALL MATERIAL TO BE REMOVED AND STACKED SHALL BE CAREFULLY REMOVED, DELIVERED, AND NEATLY STACKED AT THE CITY OF NEW BEDFORD DEPARTMENT OF PUBLIC INFRASTRUCTURE YARD.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- THE CONTRACTOR SHALL RESTORE THE EXISTING SURFACE PAVEMENTS, MULCH, AND TURF DISTURBED BY THE PROPOSED WORK AND SHALL PATCH ALL HOLES RESULTING FROM THE REMOVAL OF FOUNDATIONS WITH MATERIALS SIMILAR TO EXISTING MATERIALS.
- ALL EXISTING MUNICIPAL UTILITY CASTINGS, WHICH ARE TO REMAIN, IN AREAS TO BE RE-PAVED SHALL BE ADJUSTED TO THE LINE AND GRADE BY THE CONTRACTOR, UNLESS OTHERWISE NOTED.
- A MINIMUM 36" PATH OF TRAVEL (EXCLUDING CURB) SHALL BE MAINTAINED BY ALL OBSTRUCTIONS (EXISTING, RELOCATED, AND PROPOSED) ON THE SIDEWALK INCLUDING, BUT NOT LIMITED TO, STREET LIGHTS, UTILITY POLES, HYDRANTS, SIGNS, SIGNALS, TREES, PARKING METERS, AND MAILBOXES. IF THERE IS A CONFLICT, THE INFORMATION SHALL BE FURNISHED TO THE ENGINEER FOR RESOLUTION PRIOR TO SIDEWALK RECONSTRUCTION.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN AT APPROXIMATE LOCATIONS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE EXACTLY AND TO PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL CALL "DIG-SAFE" 1-888-DIGSAFE (344-7233) AT LEAST 72 HOURS BEFORE COMMENCING CONSTRUCTION.
- EXISTING COBBLESTONES OR TROLLEY TRACKS EXCAVATED DURING CONSTRUCTION SHALL BE REMOVED AND STACKED AT THE CITY OF NEW BEDFORD DEPARTMENT OF PUBLIC INFRASTRUCTURE YARD.
- CONTRACTOR SHALL TAKE CARE TO AVOID DAMAGING EXISTING TREES WITHIN THE LIMITS OF WORK. ANY DAMAGE TO EXISTING TREES NOTED TO BE PROTECTED AND/OR RETAINED SHALL BE IMMEDIATELY REPLACED PER CITY ARBORISTS DIRECTION AT NO COST TO THE OWNER.
- DRAINAGE ELEVATIONS ARE PROVIDED FOR DESIGN PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY BY TEST PIT THE LOCATIONS OF EXISTING UTILITIES WHICH MAY CONFLICT WITH THE PROPOSED DRAINAGE DESIGN. ANY FIELD ADJUSTMENTS REQUIRED WILL BE MADE AS APPROVED OR REQUIRED BY THE ENGINEER. ONLY AFTER THE CONTRACTOR VERIFIES THE ELEVATIONS FOR THE CONTRACTIBILITY OF THE DRAINAGE SYSTEM SHALL ANY STRUCTURES BE ORDERED.
- ELEVATIONS SHOWN ON THE SURVEY ARE BASED UPON NAVD83. HORIZONTAL COORDINATE SYSTEM USED IS NAD83.
- CONTRACTOR SHALL BE ADVISED THAT EXISTING STEEL TIE BACKS SUPPORTING THE PIER BULKHEAD EXIST IN THE PROJECT AREA. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR WILL EXCAVATE TEST PIT TO VERIFY LOCATION OF EXISTING STEEL TIE BACKS.

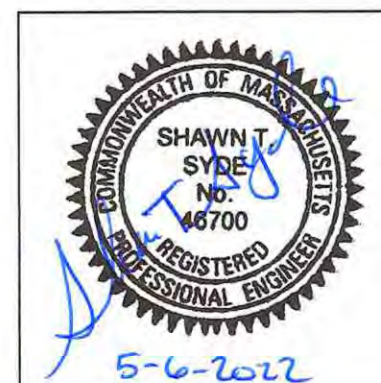
WATER MAIN, SEWER MAIN & SERVICE NOTES

- THE CONTRACTOR SHALL MAINTAIN A MINIMUM CLEARANCE OF AT LEAST 12 INCHES BETWEEN THE NEW WATER MAIN AND ALL OTHER EXISTING UTILITIES.
- ALL EXISTING VALVES AND OTHER WATER MAIN APPURTENANCES REMOVED SHALL BECOME THE PROPERTY OF THE OWNER.
- THE OWNER AND ENGINEER SHALL OBTAIN ALL PERMITS AND APPROVALS REQUIRED TO PERFORM THE WORK.
- TO THE EXTENT POSSIBLE, THE CONTRACTOR SHALL MAINTAIN A MINIMUM 10 FT. LATERAL SEPARATION BETWEEN NEW WATER MAINS AND ANY EXISTING SANITARY SEWER, EXCEPT WHEN IT IS NECESSARY TO CROSS AN EXISTING SEWER, OR UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL MAINTAIN AN 18 INCH CLEARANCE BETWEEN BOTTOM OF WATER MAIN AND CROWN OF ANY SANITARY SEWER PIPE WHEN THE WATER MAIN IS LAID WITHIN 10 FT. EDGE TO EDGE OF THE SEWER PIPE.
- ALL VALVES SHALL BE FURNISHED, INSTALLED AND RESTRAINED BY THE CONTRACTOR.
- THE CITY WILL BE RESPONSIBLE FOR THE OPERATION OF ALL VALVES.
- THIS WORK OCCURS IN THE CITY STREETS AND AN AREA WITH PEDESTRIAN TRAFFIC. THE WORK WILL REQUIRE PROPER TRAFFIC CONTROL TO MINIMIZE CONFUSION. THE CONTRACTOR SHALL COORDINATE TRAFFIC WITH THE CITY OF NEW BEDFORD POLICE DEPARTMENT PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS ADVISED THAT IT MAY BE NECESSARY TO WORK DURING PERIODS OTHER THAN NORMAL WORKING HOURS FOR THE PURPOSE OF OBTAINING SHUT DOWNS AND/OR TO FACILITATE THE INSTALLATION OF NEW WORK. ALL WORK TO BE PERFORMED OUTSIDE NORMAL WORKING HOURS WILL BE COORDINATED WITH THE CITY OF NEW BEDFORD WATER DEPARTMENT.
- ALL WATER MAIN FITTINGS AND ALL HYDRANT CONNECTIONS SHALL BE RESTRAINED.
- NOTES PERTAINING TO NEW WORK ARE SHOWN THUS:
- CONTRACTOR SHALL FURNISH, AND INSTALL WYE BRANCHES, Y SADDLES, 6" PVC SERVICE CONNECTION PIPE, ADAPTORS AS REQUIRED AND SEWER CLEANOUTS AND CONNECT NEW SEWERS TO EXISTING BUILDING SERVICES.
- COORDINATE WITH BUILDING DEVELOPERS PLUMBER PRIOR TO THE START OF CONSTRUCTION TO VERIFY TIE IN LOCATION OF NEW WATER, SEWER GAS SERVICES.
- DEPTH OF EXISTING UTILITIES IS APPROXIMATE.
 - WATER -ASSUMED 4' COVER
 - GAS - ASSUMED 3' COVER
 - TELEPHONE, ELECTRICAL, AND CATV - ASSUMED 2' COVER

BENCH DATA

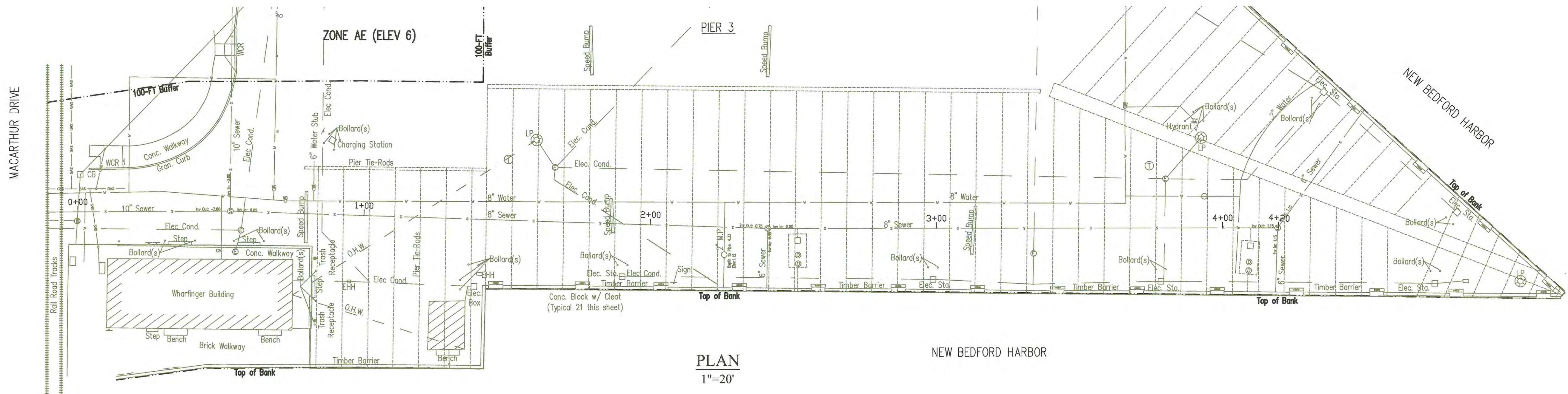
EASTING	NORTHING	ELEVATION	DESCRIPTION
814356.9190	2692865.9880	5.402	STONE BOUND WITH DRILL HOLE LOCATED AT THE MAIN ENTRANCE OF PIER 3 ON THE NORTHERN SIDE
814443.2150	2692875.1290	6.269	PK- NAIL SET AT THE SOUTH SIDE OF THE ELECTRIC CAR CHARGING STATION

HORIZONTAL DATUM - MASSACHUSETTS STATE PLANE-COORDINATION SYSTEM (NAD83)
 VERTICAL DATUM - NAVD83

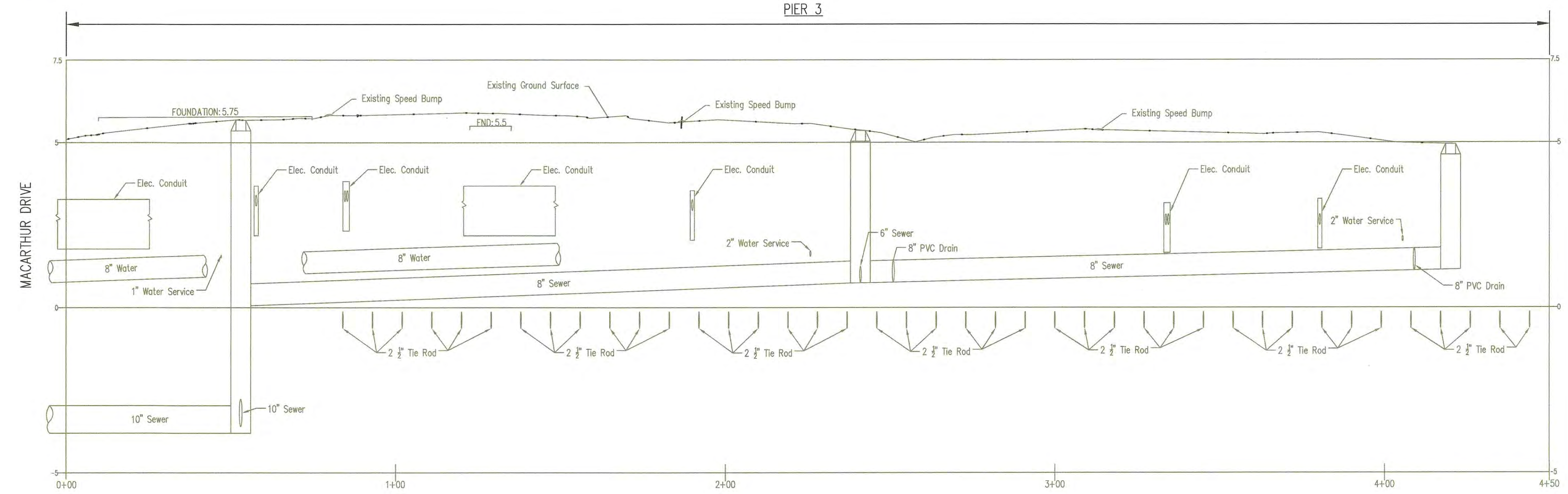


CITY OF NEW BEDFORD MASSACHUSETTS DEPARTMENT OF PUBLIC INFRASTRUCTURE

Revision: _____ Date: _____
 Graphic Scale _____
 Owner: City of New Bedford
 Locus: Map 53 Lots 120 & 253
 N.T.S.
 Design: AMH & DRS
 Check: SC
 Approved: STS
 Scale: N.T.S.
 Date: MAY 8, 2020
 SHEET 2 of 6



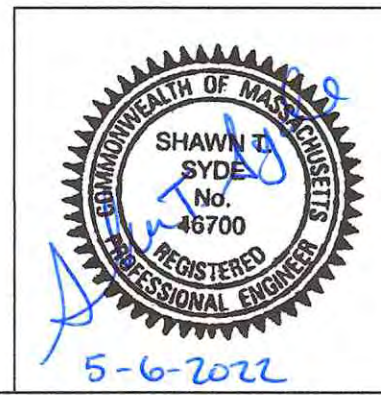
PLAN
1"=20'



PROFILE
HOR: 1"=20'
VER: 1"=2'

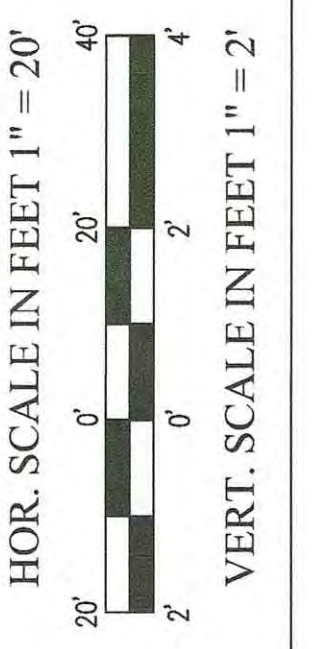
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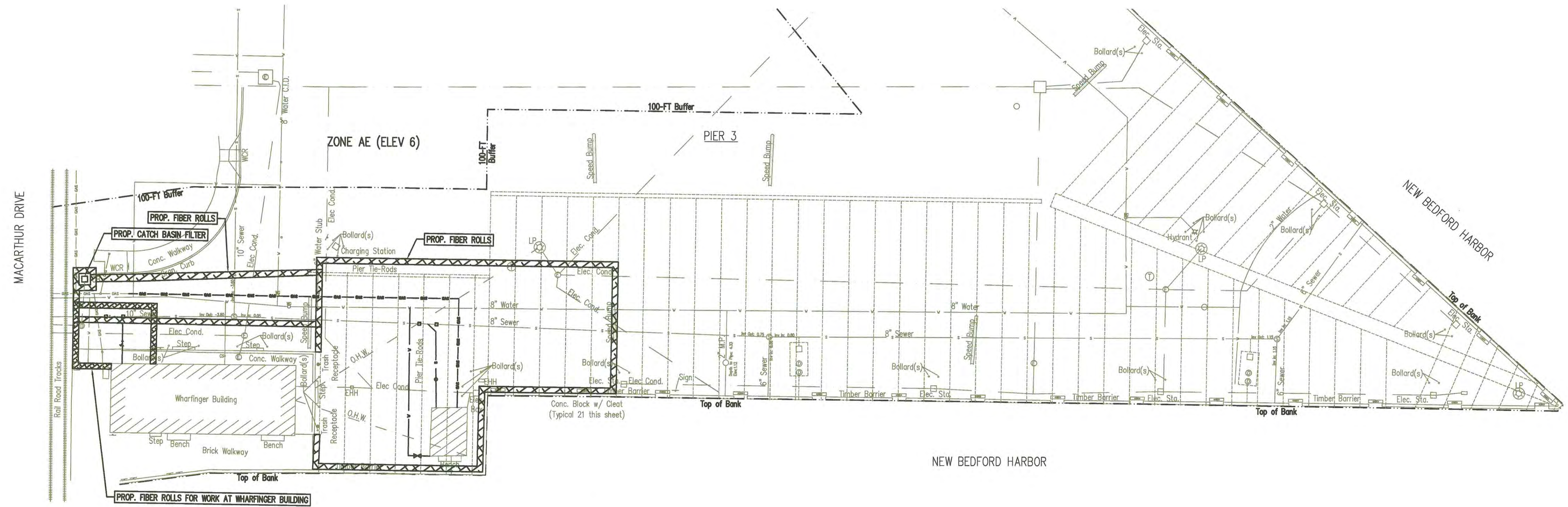
1. HORIZONTAL DATUM - MASSACHUSETTS STATE PLANE-COORDINATION SYSTEM (NAD83)
2. VERTICAL DATUM - NAVD88
3. THE ENTIRE PROJECT IS WITHIN ZONE AE (ELEV 6)
4. MEAN HIGH WATER (MHW): 2.06
5. MEAN LOW WATER (MLW): -1.50
6. TOP OF COASTAL BANK (---) IS DENOTED AS THE TOP OF THE PIER TIMBER BARRIER ELEV: 6.3
7. COORDINATE PLACEMENT OF EROSION AND SEDIMENTATION CONTROLS WITH WORK SEQUENCE AND TRAFFIC CONTROL REQUIREMENTS. NOT ALL EROSION AND SEDIMENTATION CONTROLS MAY BE ABLE TO BE IN PLACE AT THE SAME TIME. ALL WORK AREAS SHALL BE CONTAINED WITHIN AN AREA PROTECTED BY THE EROSION AND SEDIMENTATION CONTROLS. REFER TO SHEET 5 FOR EROSION & SEDIMENTATION CONTROL REQUIREMENTS.



CITY OF NEW BEDFORD MASSACHUSETTS DEPARTMENT OF PUBLIC INFRASTRUCTURE

Owner: City of New Bedford	Revision: _____	Date: _____	DESIGN: AMH & DRS	Scale: 1" = 20'	Date: MAY 8, 2020	SHEET 3 of 6
Locus: Map 53 Lots 120 & 253	Wharfinger Building Sewer Service	5/6/2022	CHECK: SC	APPROVED: STS		



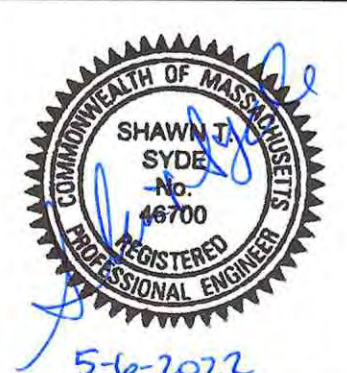


LEGEND:

- FIBER ROLLS FOR CLAM SHACK UTILITY CONSTRUCTION
- FIBER ROLLS FOR WHARFINGER BUILDING UTILITY CONSTRUCTION

NOTES

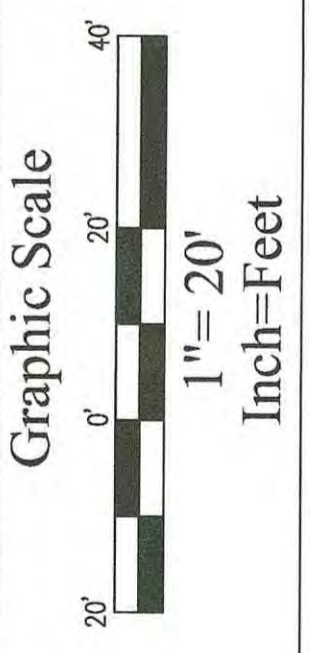
1. HORIZONTAL DATUM - MASSACHUSETTS STATE PLANE-COORDINATION SYSTEM (NAD83)
2. VERTICAL DATUM - NAVD88
3. THE ENTIRE PROJECT IS WITHIN ZONE AE (ELEV 6)
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7. COORDINATE PLACEMENT OF EROSION AND SEDIMENTATION CONTROLS WITH WORK SEQUENCE AND TRAFFIC CONTROL REQUIREMENTS. NOT ALL EROSION AND SEDIMENTATION CONTROLS MAY BE ABLE TO BE IN PLACE AT THE SAME TIME. ALL WORK AREAS SHALL BE CONTAINED WITHIN AN AREA PROTECTED BY THE EROSION AND SEDIMENTATION CONTROLS. REFER TO SHEET 5 FOR EROSION & SEDIMENTATION CONTROL REQUIREMENTS.
8. SEE SHEET 4 FOR PROPOSED UTILITY WORK.

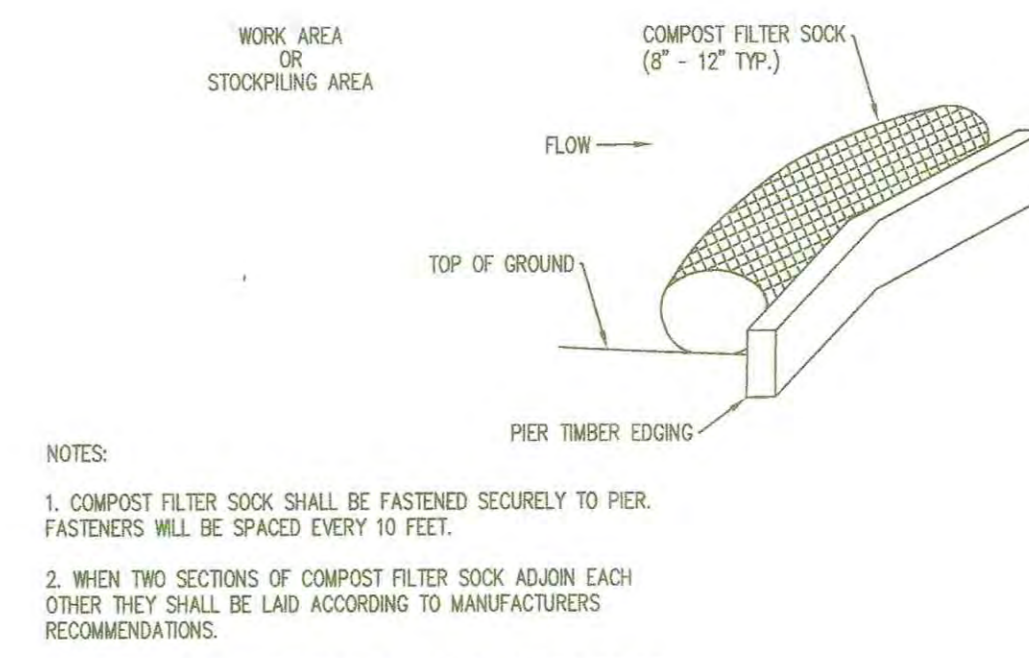
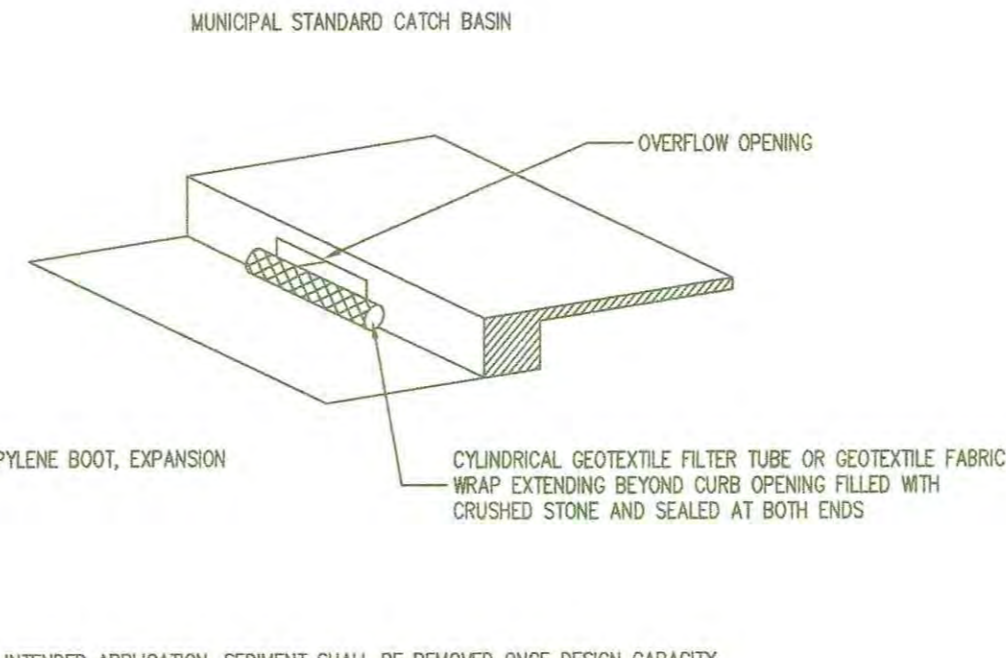
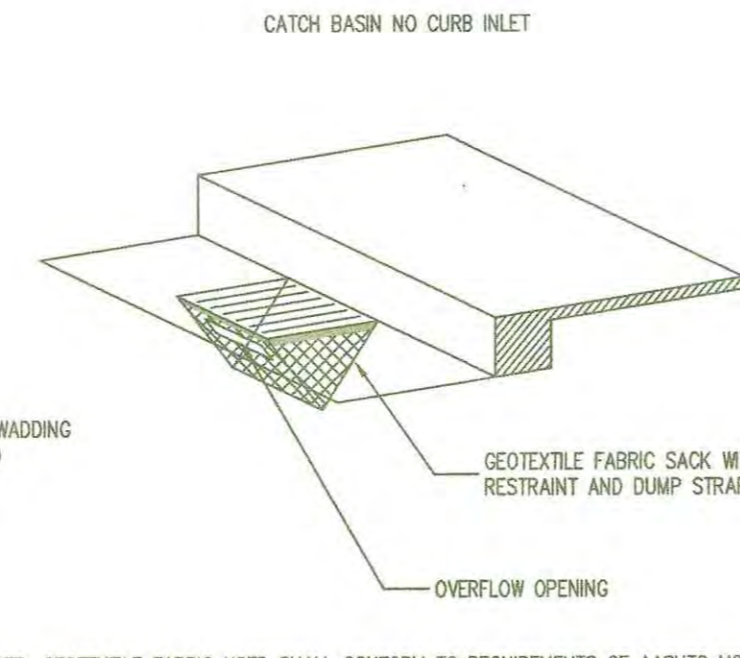
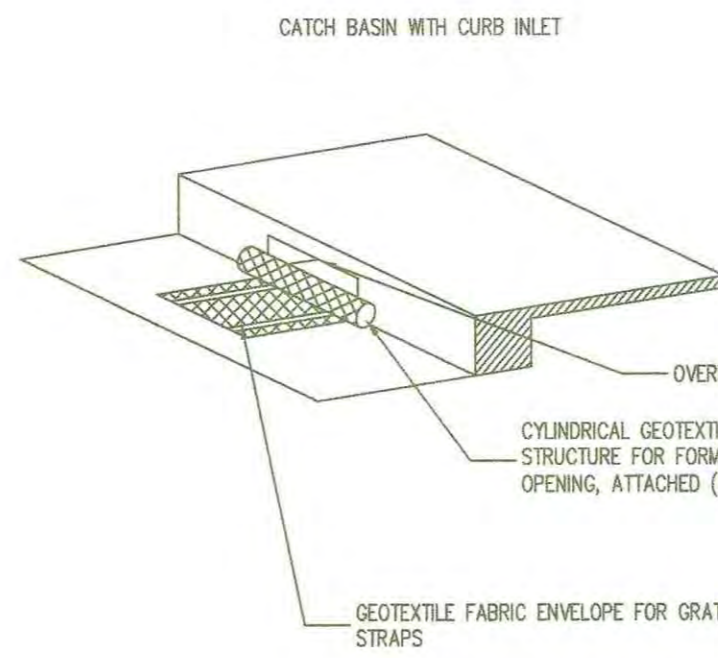
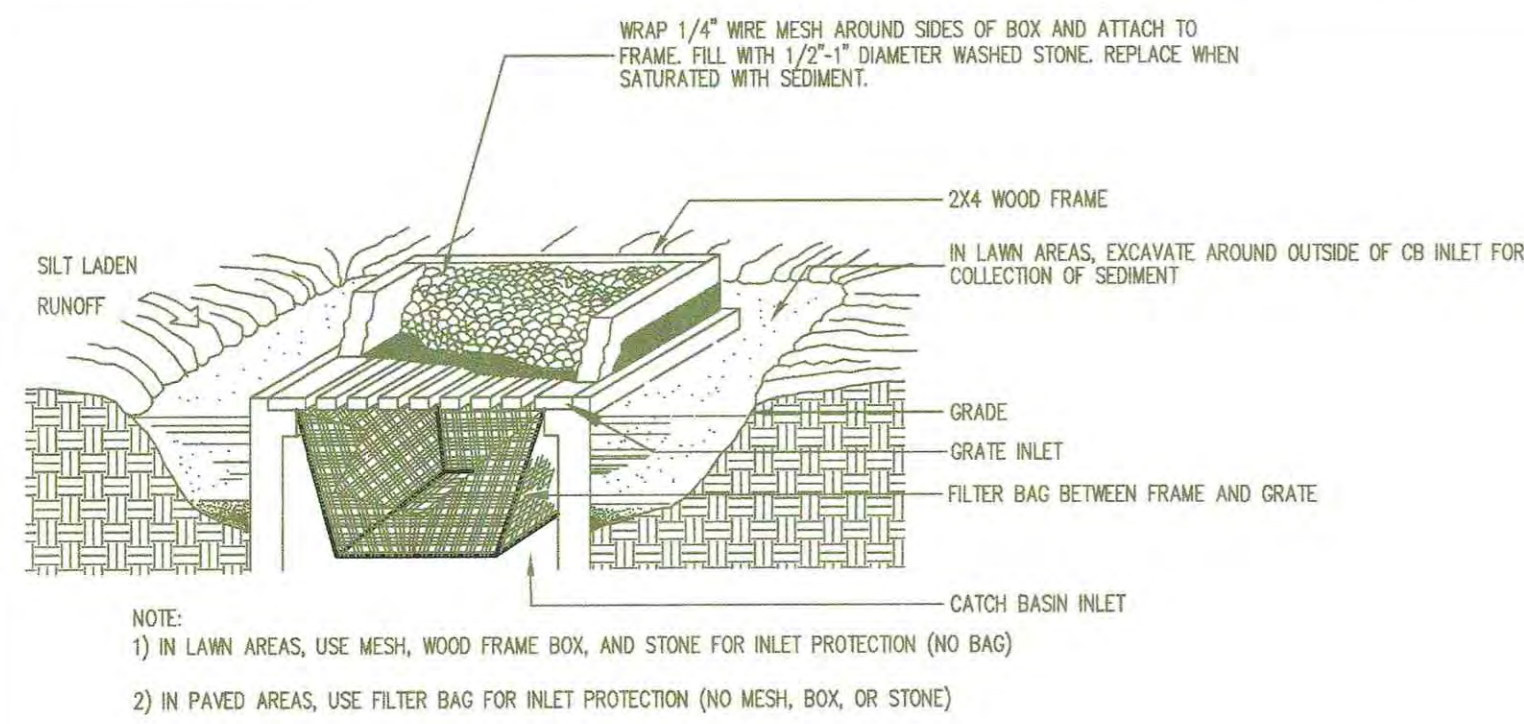


CITY OF NEW BEDFORD MASSACHUSETTS DEPARTMENT OF PUBLIC INFRASTRUCTURE

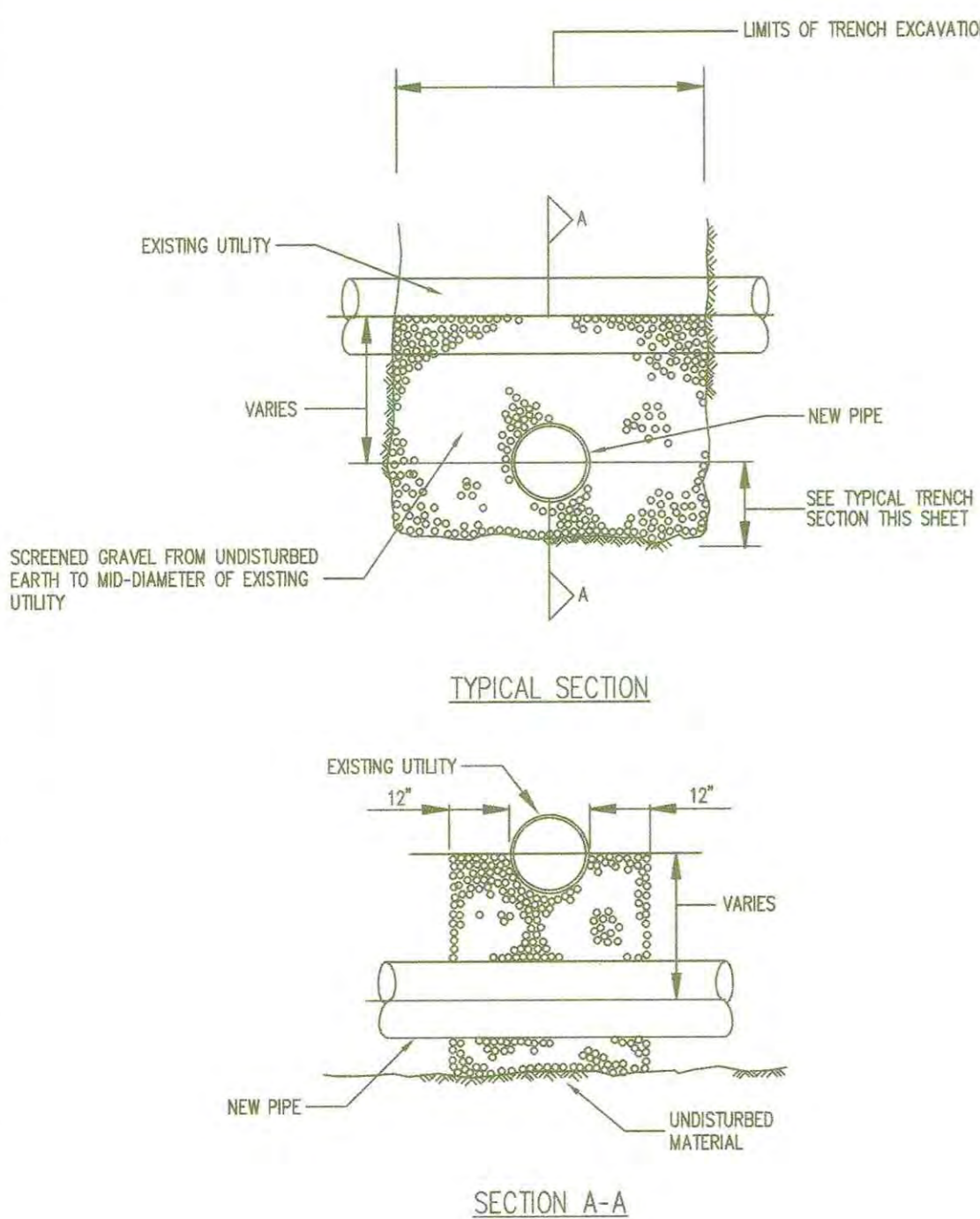
**PIER 3 - UTILITY IMPROVEMENTS
EROSION CONTROL PLAN**

Owner: City of New Bedford
 Locus: Map 53 Lots 120 & 253
 Wharfinger Building Sewer Service
 Date: 5/6/2022
 Scale: 1" = 20'
 Date: MAY 8, 2020
 SHEET 5 of 6

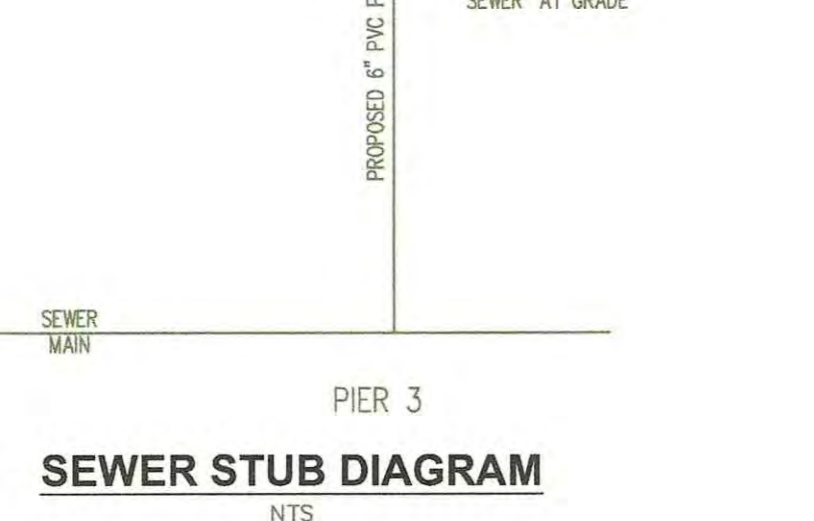
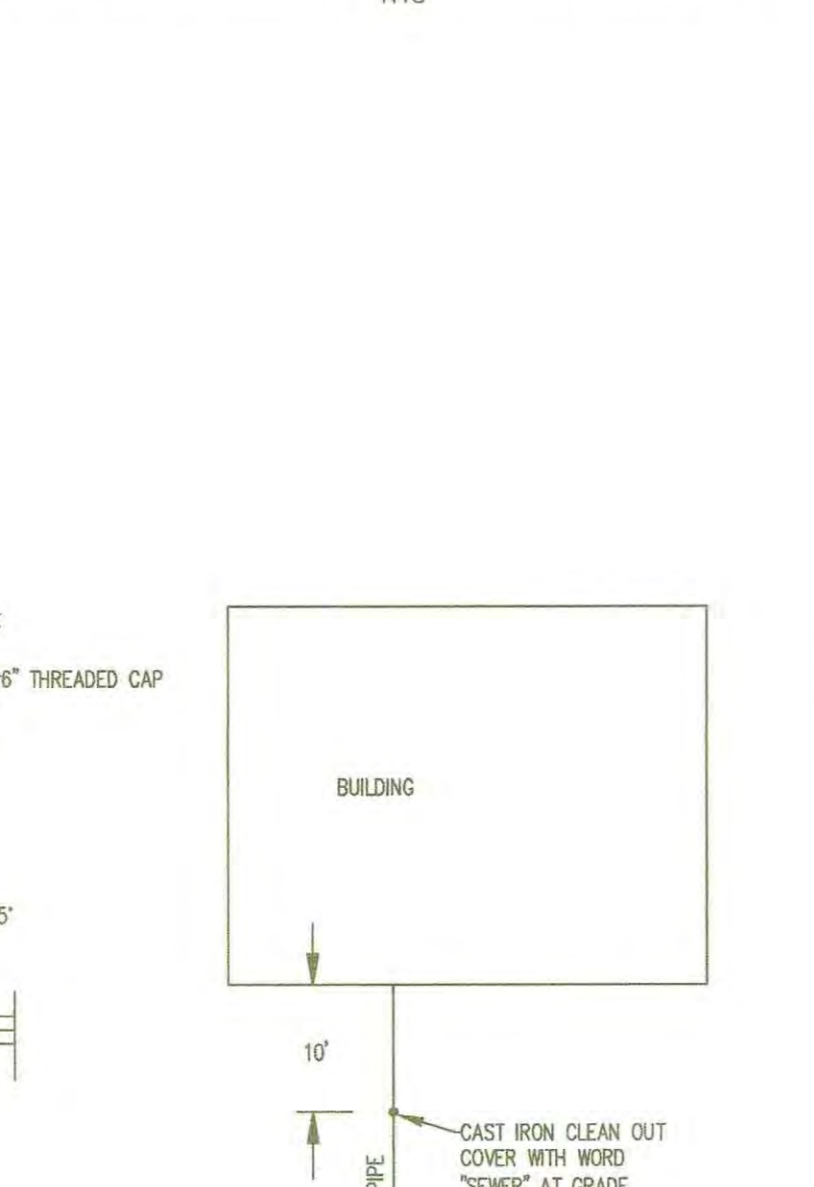




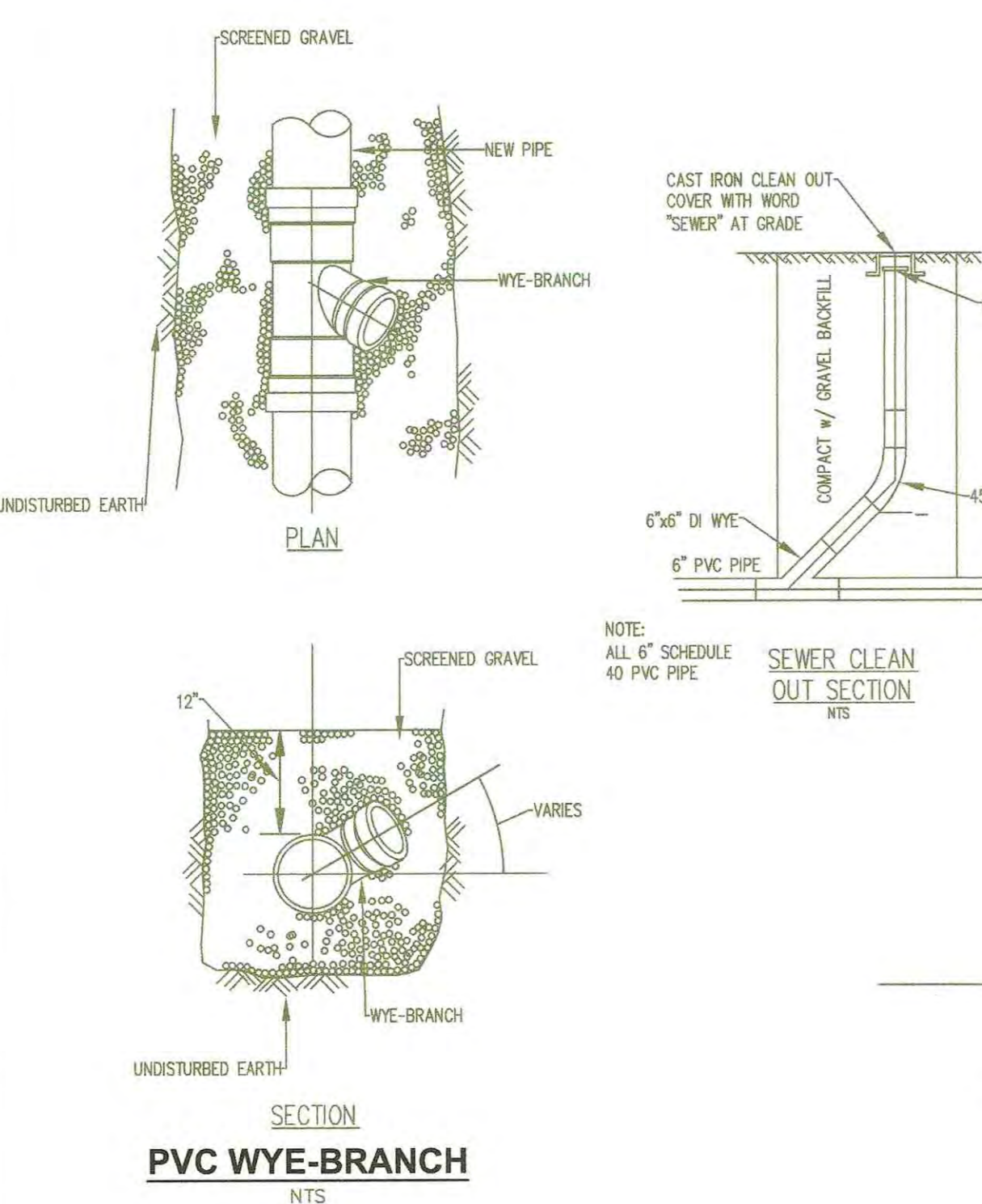
CATCH BASIN FILTER
NTS



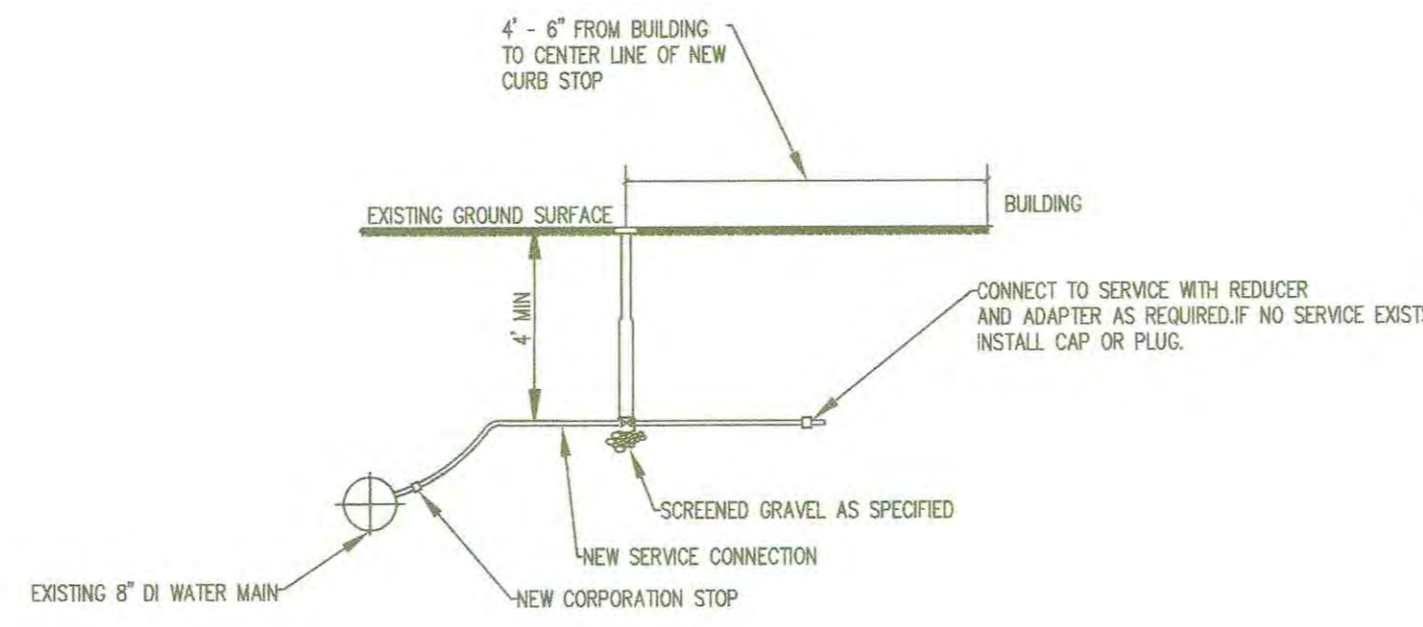
CONCRETE PIPE ENCASEMENT DETAIL
NTS



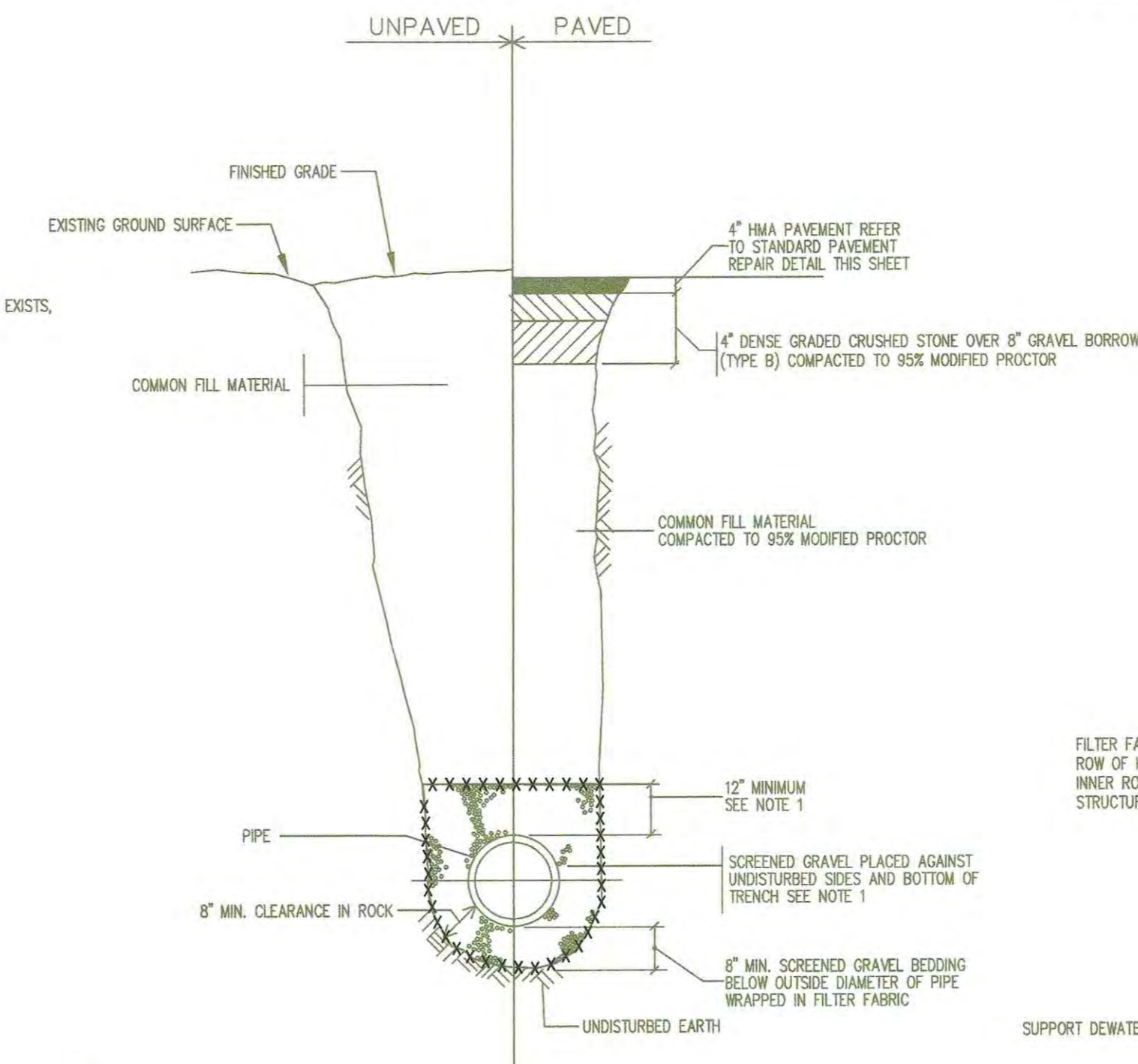
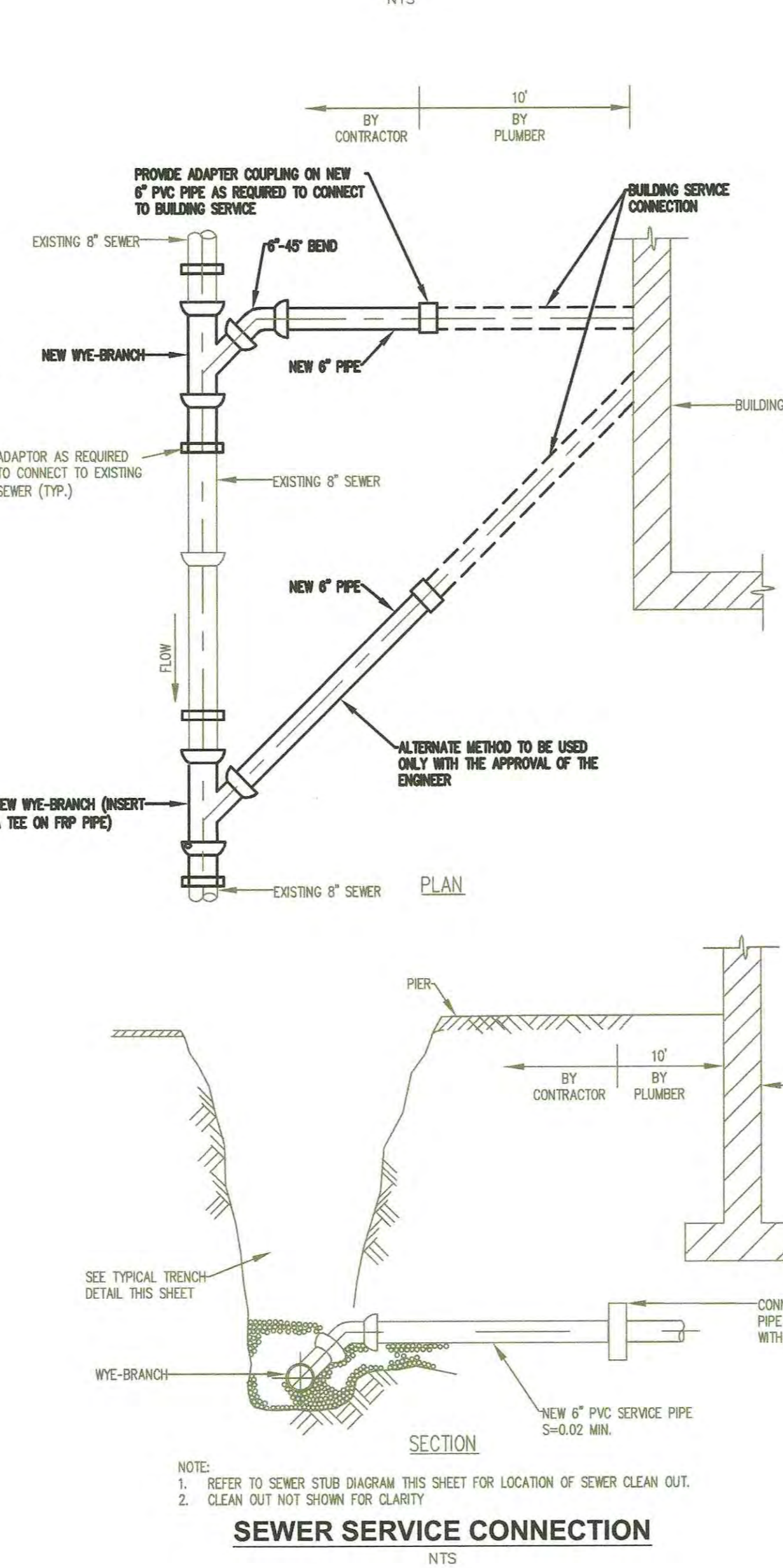
UTILITY CROSSING DETAIL
NTS



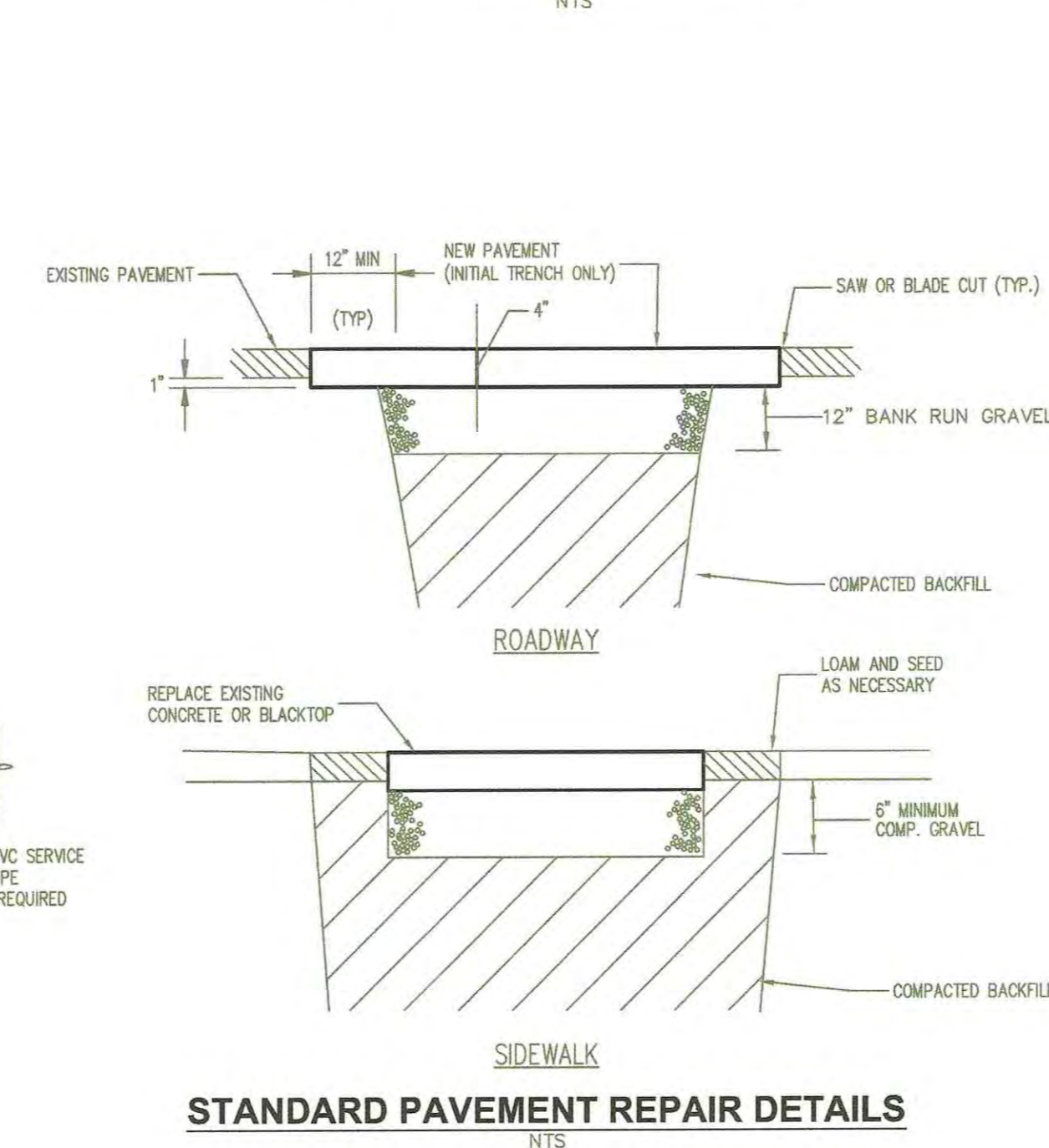
STORM DRAIN INLET PROTECTION
NTS



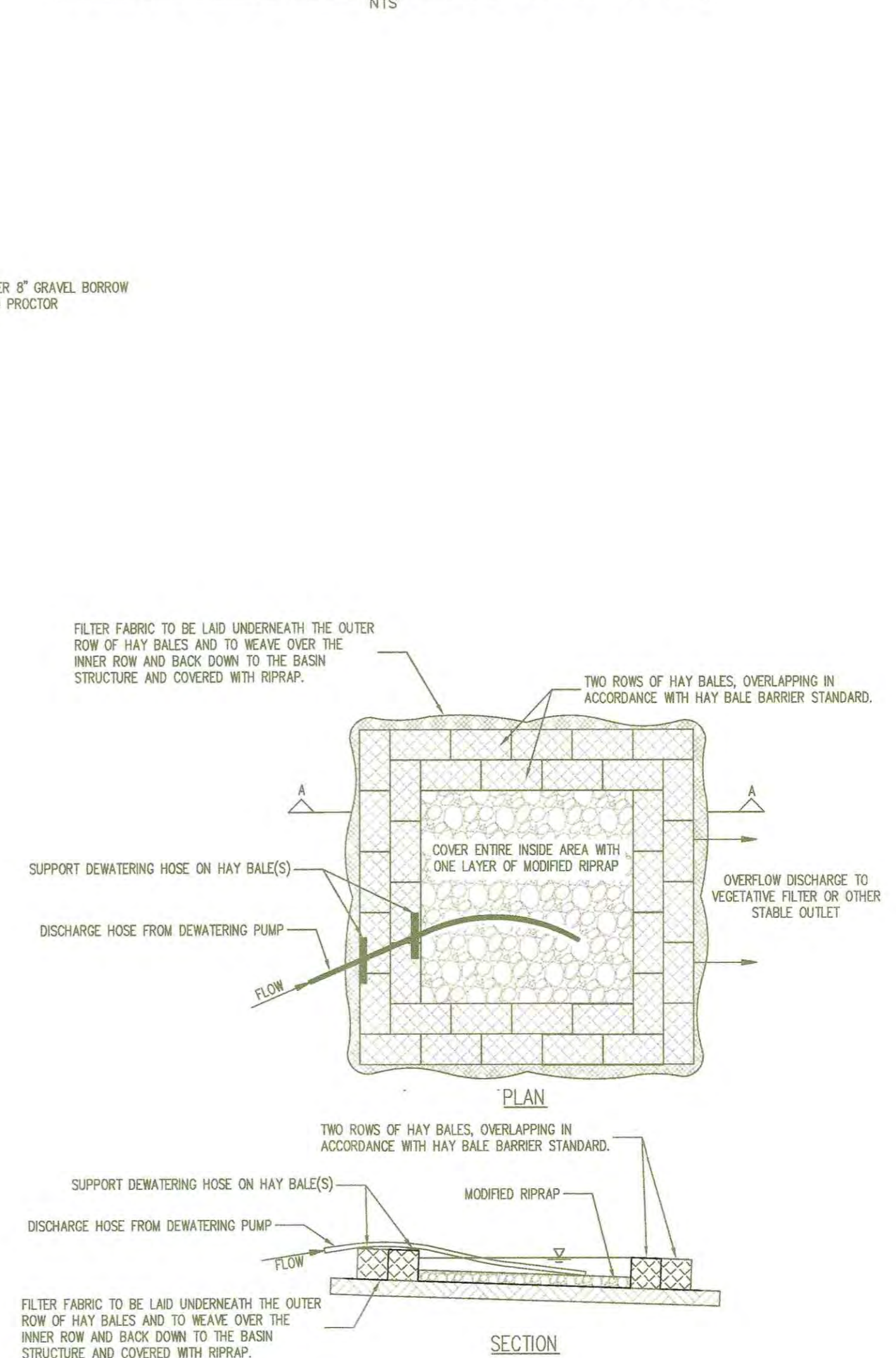
WATER SERVICE RELOCATION DETAIL
NTS



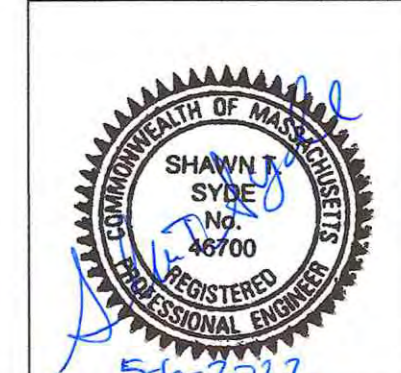
TYPICAL TRENCH DETAIL
NTS



COMPOST FILTER SOCK FOR EROSION CONTROL
NTS



TYPE 1 PUMPING SETTLING BASIN
NTS



Attachment 2

Site Photographs





















Attachment 3

Deeds



The CITY OF NEW BEDFORD, a municipal corporation duly established under the laws of the Commonwealth of Massachusetts, and located in the County of Bristol in said Commonwealth,
~~and duly established under the laws of~~

~~and duly established under the laws of~~

in consideration of the crediting to it of Three Hundred Thousand
~~Three Hundred Thousand Dollars~~

Dollars (\$300,000)

grants to the NEW BEDFORD REDEVELOPMENT AUTHORITY, a public body politic and corporate, duly established under the laws of the Commonwealth of Massachusetts, and located in the City of New Bedford, Bristol County, in said Commonwealth, of 21 South Sixth Street

mk

with quitclaim covenants

the land in said New Bedford, with all buildings and improvements thereon, known as Piers No. 3 and No. 4, and bounded and described as follows:

[Description and encumbrances, if any]

Westerly, by the location now or formerly of the Old Colony Railroad Company four hundred feet (400) more or less;

Northerly, by land now or formerly of John S. Dunn Marine Service & Supply, Inc., one hundred eighty-five feet (185) more or less;

Easterly, by the channel of the Acushnet River;

Southerly, westerly and southerly, by land of the Commonwealth of Massachusetts, six hundred feet (600) more or less, fifty feet (50) more or less, and one hundred seventy-five feet (175) more or less, respectively;

being the same premises shown as Lot 120 on Plat 53 of the New Bedford Assessors' Plans.

For title of the City of New Bedford, see deed of Rotch's Wharf Company dated February 25, 1896, and recorded in Bristol County (S.D.) Registry of Deeds, Book 176, Page 220. See also Book 775, Page 186, in said Registry.

Compliance with the provisions of Chapter 44, Section 63A of the Massachusetts General Laws is not required by virtue of the provisions of Section 26R of Chapter 121 of said General Laws and a Cooperation Agreement between the parties hereto dated July 20, 1965 and amended October 14, 1965.

No Documentary Stamps Required

In witness whereof, the said City of New Bedford
has caused its corporate seal to be hereto affixed and these presents to be signed, acknowledged and
delivered in its name and behalf by Edward F. Harrington
its Mayor hereto duly authorized, this tenth
day of July in the year one thousand nine hundred and sixty-nine.
Signed and sealed in presence of

Mickelle T. Payant

CITY OF NEW BEDFORD
by *Edward F. Harrington*
Edward F. Harrington, Mayor



The Commonwealth of Massachusetts

ss. New Bedford, July 10, 1969

Then personally appeared the above named Edward F. Harrington

and acknowledged the foregoing instrument to be the free act and deed of the City of New Bedford, before me

Marilyn J. Lopez
Notary Public - Massachusetts

My commission expires

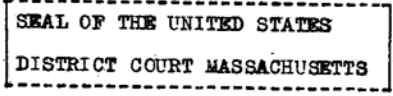
Jan. 6, 1972



A.D. nineteen hundred and 28, at 3:45 o'clock P. M., Isaac Slavitsky of Fall River in said district, filed a petition in said Court praying that he be adjudged bankrupt in pursuance of the Act of Congress, entitled "An Act to establish a Uniform System of Bankruptcy throughout the United States," approved July 1, 1898, and acts amendatory thereof.

And I further certify that it appears from said records that on the 15th day of June, A.D. nineteen hundred and twenty-eight said Isaac Slavitsky was duly adjudged bankrupt.

In testimony whereof, I have hereunto set my hand, and affixed the seal of said Court at Boston, in said District this 15th day of January, A.D. 1930.



Mary E. Prendergast
Deputy Clerk of said Court.

Jan. 21, 1930 at 9:00 A.M. Received and entered with Fall River District Registry of Deeds, Book 382, Page 60. Attest: Patrick E. Mannion Register
Received and recorded Feb. 21, 1930 at 9 hrs and 34 min. A. M.

Attest: *James P. McClellan*
Register

The Commonwealth of Massachusetts

(State Seal)

Whereas, the City of New Bedford, in the County of Bristol and Commonwealth aforesaid, has applied to the Department of Public Works for license to make repairs to the wharf at the head of the dock north of Pier No. 4 in Acushnet River in the city of New Bedford, and has submitted plans of the same; and whereas due notice of said application, and of the time and place fixed for a hearing thereon, has been given, as required by law, to the Mayor and Aldermen of the city of New Bedford;

Now, said Department, having heard all parties desiring to be heard, and having fully considered said application, hereby, subject to the approval of the Governor and Council, authorizes and licenses the said City of New Bedford, subject to the provisions of the ninety-first chapter of the General Laws, and of all laws which are or may be in force applicable thereto, to make repairs to the wharf at the head of the dock north of Pier No. 4 in Acushnet River in the city of New Bedford, in conformity with the accompanying plan No. 1109.

A timber bulkhead 28 feet 6 inches long may be built across the opening in the wall at the head of said dock, as shown on said plan. Anchor piles and double tie rods may be used and stone riprap may be placed as backfilling against the bulkhead, as shown on said plan.

A timber platform 69 feet 8 inches long may be extended from the existing wall and the proposed bulkhead a distance of 4 feet 6 inches, as indicated on said plan.

A concrete coping may be placed along the existing wall, as shown on said plan.

The plan of said work, numbered 1109, is on file in the office of said Department, and duplicate of said plan accompanies this License, and is to

Facsimile of Court Seal, as in original,

Attest:

James P. McClellan
Register

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Comm. of Mass. No. 1109.
Dept. of Pub. Works
to
City of N. B.

be referred to as a part hereof.

Nothing in this License shall be so construed as to impair the legal rights of any person.

This License shall be void unless the same and the accompanying plan are recorded within one year from the date hereof, in the Registry of Deeds for the Southern District of the County of Bristol.

In Witness Whereof, said Department of Public Works have hereunto set their hands this fourteenth day of January, in the year nineteen hundred and thirty.

F. E. Lyman }
Richard K. Hale } Department of
H. A. MacDonald } Public Works

THE COMMONWEALTH OF MASSACHUSETTS

BOSTON, January 15, 1930

Approved by the Governor and Council

William L. Reed

Executive Secretary.

Received and recorded Feb. 14, 1930 at 1 hr and 50 min. P. M.

Attest:

James P. McCohan
Register

KNOW ALL MEN BY THESE PRESENTS that I, Louis

695

E. Kruger of New Bedford, County of Bristol, Commonwealth of Massachusetts the present holder by assignment of a mortgage from William H. Martin and Louisa Martin to Benjamin F. Howe dated July 8, 1911 recorded with Bristol County (S.D.) Registry of Deeds, Book 360, pages 482-483 assign said mortgage and the note and claim secured thereby to Frederick Kruger.

Kruger

to

Kruger

See B. 350 P. 482

WITNESS my hand and seal this fourteenth day of February, 1930.

Louis E. Kruger (L.S.)

Commonwealth of Massachusetts

Bristol, ss. February 14, 1930 Then personally appeared the above named Louis E. Kruger and acknowledged the foregoing instrument to be his free act and deed, before me George B. Goodman Notary Public My commission expires May 31st, 1935.

Received and recorded Feb. 15, 1930 at 11 hrs and 7 min. A. M.

Attest:

James P. McCohan
Register

We, Jose Luiz and Margarida Luiz, husband and

693

wife, of Westport, Bristol County, Massachusetts, for consideration paid, grant to Manuel Martin, 68 Webster Street, of Fall River with mortgage covenants, to secure the payment of Twenty-five Hundred Dollars as provided in our note of even date, the land with the buildings thereon, situate on the westerly side of Sanford Road in the Town of Westport, in the County of Bristol, bounded and described as follows:-

Luiz et ux

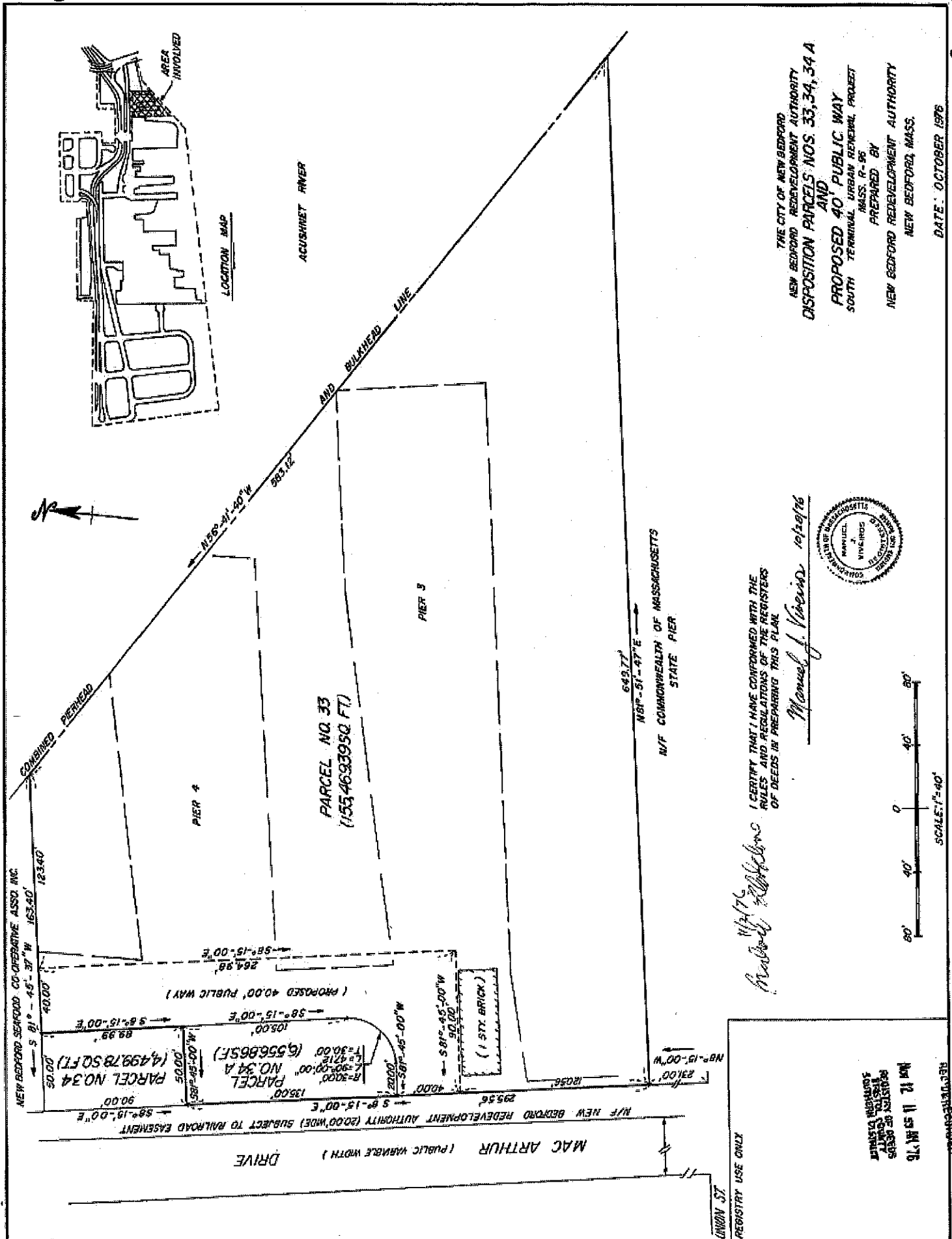
to

Martin

Beginning at a stake in the ground at the northeasterly corner of the lot to be conveyed at the corner of Sanford Road and a contemplated avenue; thence running southerly by said Sanford Road 51.76 feet to a stake; thence

Disc: JAN 18 47

See B. 924-3145



THE CITY OF NEW BEDFORD
 NEW BEDFORD REDEVELOPMENT AUTHORITY
 DISPOSITION PARCELS NOS. 33, 34, 34A
 AND
 PROPOSED 40' PUBLIC WAY
 SOUTH TERMINAL URBAN RENEWAL PROJECT
 MASS. P-96
 PREPARED BY
 NEW BEDFORD REDEVELOPMENT AUTHORITY
 NEW BEDFORD, MASS.



Manuel J. Vibeiro 10/20/76
 I CERTIFY THAT I HAVE CONFORMED WITH THE
 RULES AND REGULATIONS OF THE REGISTER
 OF DEEDS IN PREPARING THIS PLAN.



NOV 12 11 57 AM '76
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF MASSACHUSETTS

Attachment 4

NOI Pier 3 Improvements, dated May 18, 2020



REPORT

City of New Bedford, Massachusetts Notice of Intent Pier 3 – Utility Improvements

City of New Bedford, MA

May 18, 2020



Department of Public Infrastructure

Jamie Ponte
Commissioner

Water
Wastewater
Highways
Engineering
Cemeteries
Park Maintenance
Forestry
Energy



CITY OF NEW BEDFORD

Jonathan F. Mitchell, Mayor

May 18, 2020

New Bedford Conservation Commission
New Bedford City Hall
133 William Street
New Bedford, Massachusetts 02746

Subject: Notice of Intent – Pier 3 – Utility Improvements
City of New Bedford - Applicant

Dear Commission Members:

The Department of Public Infrastructure (DPI) is pleased to submit this Notice of Intent (NOI) for the above referenced project. The City is working to further develop the economy within the Pier 3 area by providing water, sewer and gas service to an existing building that will be redeveloped into a restaurant/snack shack. The utilities currently existing in the pier were installed in 1978. The City would like to install a 1-in water service connecting to the 8-in water main and a 6-in sewer service connecting to the 8-in sewer main to service an existing building on Pier 3. Eversource Gas will extend the existing gas main from its current terminus just west of the building, approximately 120-ft to tie into the new building.

Approximately 1,100 square feet of Land Subject to Coastal Storm Flowage will be temporarily altered for the construction of the utility improvements. No permanent impacts to wetland resource areas are anticipated from this project. The interests of the Wetlands Protection Act will not be impaired as a result of this project and all appropriate erosion and sedimentation control measures will be implemented throughout the course of construction to prevent the transport of sediment to adjacent wetland resource areas. This work will not restrict or impair access to water-dependent uses.

Please advertise this project for your next available scheduled meeting as the City is anxious to complete this work during the temporary COVID 19 shut down to mitigate impacts to existing business.

Should you have any questions about this project or if you would like to schedule a site visit, please do not hesitate to contact me at (508)-979-1550.

Sincerely,

Shawn T. Syde, P.E.
City Engineer

Cc: Jamie Ponte, Manuel Silva, Adam Hart: Department of Public Infrastructure

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WPA Form – Notice of Intent

Figures

- Figure 1 – Project Location
- Figure 2 – FEMA Flood Insurance Map
- Figure 3 – Estimated Habitat Map

Attachment A Project Narrative

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2.0 Project Background	A-1
3.0 Existing Conditions	A-1
4.0 Description of Proposed Improvements.....	A-3
5.0 Work Proposed in Wetland Resource Areas and Compliance with Performance Standards	
A-4	
6.0 Mitigation Measures	A-5
7.0 Summary	A-6

Attachment B Photographs

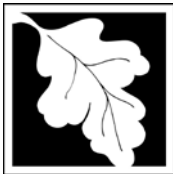
Attachment C Registry of Deeds

Attachment D Certified Abutters List

Attachment E Project Plans (bound separately)

- Sheet 1 – Title Sheet and Index
- Sheet 2 – General Notes and Legend
- Sheet 3 – Existing Conditions
- Sheet 4 – Proposed Conditions
- Sheet 5 – Erosion and Sedimentation Control
- Sheet 6 – Detail Sheet





Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

City/Town

Important:

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note: Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

<u>Pier 3</u>	<u>New Bedford</u>	<u>02740</u>
a. Street Address	b. City/Town	c. Zip Code
Latitude and Longitude:		
<u>Plot 53</u>	<u>41.635783</u>	<u>-70.920857</u>
f. Assessors Map/Plat Number	d. Latitude	e. Longitude
	<u>Lot 120</u>	
	g. Parcel /Lot Number	

2. Applicant:

<u>Adam</u>	<u>Hart</u>	
a. First Name	b. Last Name	
<u>City of New Bedford</u>		
c. Organization		
<u>1105 Shawmut Ave</u>		
d. Street Address		
<u>New Bedford</u>	<u>MA</u>	<u>02746</u>
e. City/Town	f. State	g. Zip Code
<u>508-979-1550</u>	<u>508-991-6152</u>	<u>Adam.Hart@NewBedford-ma.gov</u>
h. Phone Number	i. Fax Number	j. Email Address

3. Property owner (required if different from applicant): Check if more than one owner

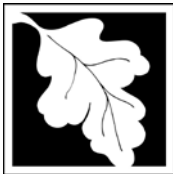
<u>N/A</u>		
a. First Name	b. Last Name	
<u>City of New Bedford</u>		
c. Organization		
<u>133 William Street</u>		
d. Street Address		
<u>New Bedford</u>	<u>MA</u>	<u>02740</u>
e. City/Town	f. State	g. Zip Code
<u>508-979-1550</u>		
h. Phone Number	i. Fax Number	j. Email address

4. Representative (if any):

<u>Shawn</u>	<u>Syde</u>	
a. First Name	b. Last Name	
<u>City of New Bedford</u>		
c. Company		
<u>1105 Shawmut Avenue</u>		
d. Street Address		
<u>New Bedford</u>	<u>MA</u>	<u>02746</u>
e. City/Town	f. State	g. Zip Code
<u>508-979-1550</u>	<u>508-991-6152</u>	<u>Shawn.Syde@NewBedford-ma.gov</u>
h. Phone Number	i. Fax Number	j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

<u>\$0.00</u>	<u>\$0.00</u>	<u>\$0.00</u>
a. Total Fee Paid	b. State Fee Paid	c. City/Town Fee Paid



Massachusetts Department of Environmental Protection
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A. General Information (continued)

6. General Project Description:

Install water, sewer and gas service to an existing building on Pier 3. Following utility installation, pavement will be repaired within the limits of the trench. (See proposed construction plans attached.)

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1. Single Family Home
- 2. Residential Subdivision
- 3. Commercial/Industrial
- 4. Dock/Pier
- 5. Utilities
- 6. Coastal engineering Structure
- 7. Agriculture (e.g., cranberries, forestry)
- 8. Transportation
- 9. Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

- 1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Bristol	
a. County	b. Certificate # (if registered land)
1538	298
c. Book	d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1. Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2. Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet	2. square feet
	3. cubic yards dredged	

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet	2. square feet
	3. cubic feet of flood storage lost	4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet	
	2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input type="checkbox"/> Riverfront Area	1. Name of Waterway (if available) - specify coastal or inland	

2. Width of Riverfront Area (check one):

- 25 ft. - Designated Densely Developed Areas only
- 100 ft. - New agricultural projects only
- 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: _____ square feet

4. Proposed alteration of the Riverfront Area:

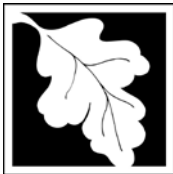
a. total square feet _____ b. square feet within 100 ft. _____ c. square feet between 100 ft. and 200 ft. _____

5. Has an alternatives analysis been done and is it attached to this NOI? Yes No

6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



Massachusetts Department of Environmental Protection
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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input checked="" type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	0 _____ 1. square feet	

	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	_____	_____
	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	_____	_____
	1. square feet	2. cubic yards dune nourishment

	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	_____	
	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	_____	
	1. square feet	
h. <input type="checkbox"/> Salt Marshes	_____	_____
	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	_____	
	1. square feet	

	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	_____	
	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	

	1. cubic yards dredged	
l. <input checked="" type="checkbox"/> Land Subject to Coastal Storm Flowage	1,100 (Temp.) _____	
	1. square feet	

4. Restoration/Enhancement
If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

_____	_____
a. square feet of BVW	b. square feet of Salt Marsh

5. Project Involves Stream Crossings

_____	_____
a. number of new stream crossings	b. number of replacement stream crossings



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C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

a. Yes No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581**

4/27/2020
b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

c. Submit Supplemental Information for Endangered Species Review*

1. Percentage/acreage of property to be altered:
 - (a) within wetland Resource Area _____ percentage/acreage
 - (b) outside Resource Area _____ percentage/acreage

2. Assessor's Map or right-of-way plan of site

2. Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **
 - (a) Project description (including description of impacts outside of wetland resource area & buffer zone)
 - (b) Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/>). Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



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C. Other Applicable Standards and Requirements (cont'd)

- (c) MESA filing fee (fee information available at http://www.mass.gov/dfwele/dfw/nhosp/regulatory_review/mesa/mesa_fee_schedule.htm). Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

- (d) Vegetation cover type map of site
- (e) Project plans showing Priority & Estimated Habitat boundaries
- (f) OR Check One of the Following
1. Project is exempt from MESA review.
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, http://www.mass.gov/dfwele/dfw/nhosp/regulatory_review/mesa/mesa_exemptions.htm; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)
 2. Separate MESA review ongoing. a. NHESP Tracking # _____ b. Date submitted to NHESP _____
 3. Separate MESA review completed.
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.
3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?
- a. Not applicable – project is in inland resource area only b. Yes No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

Division of Marine Fisheries -
Southeast Marine Fisheries Station
Attn: Environmental Reviewer
836 South Rodney French Blvd.
New Bedford, MA 02744
Email: DMF.EnvReview-South@state.ma.us

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -
North Shore Office
Attn: Environmental Reviewer
30 Emerson Avenue
Gloucester, MA 01930
Email: DMF.EnvReview-North@state.ma.us

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File Number
Document Transaction Number
City/Town

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

C. Other Applicable Standards and Requirements (cont'd)

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
 a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
 b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
 a. Yes No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
 a. Yes No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
 a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
 1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 2. A portion of the site constitutes redevelopment
 3. Proprietary BMPs are included in the Stormwater Management System.
 b. No. Check why the project is exempt:
 1. Single-family house
 2. Emergency road repair
 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

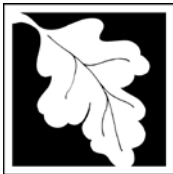
D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

City/Town

D. Additional Information (cont'd)

3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. List the titles and dates for all plans and other materials submitted with this NOI.

Pier 3 - Utility Improvements

a. Plan Title

Adam Hart

Shawn Syde

b. Prepared By

c. Signed and Stamped by

May 8, 2020

1"=20'

d. Final Revision Date

e. Scale

f. Additional Plan or Document Title

g. Date

5. If there is more than one property owner, please attach a list of these property owners not listed on this form.

6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.

7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.

8. Attach NOI Wetland Fee Transmittal Form

9. Attach Stormwater Report, if needed.

E. Fees

1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

N/A

2. Municipal Check Number

N/A

4. State Check Number

N/A

6. Payor name on check: First Name

N/A

3. Check date

N/A

5. Check date

N/A

7. Payor name on check: Last Name



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

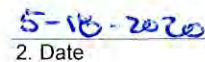
City/Town

F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.


1. Signature of Applicant


2. Date

3. Signature of Property Owner (if different)

4. Date

5. Signature of Representative (if any)

6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:

Pier 3	New Bedford
a. Street Address	b. City/Town
N/A	N/A
c. Check number	d. Fee amount

2. Applicant Mailing Address:

Shawn	Syde	
a. First Name	b. Last Name	
City of New Bedford		
c. Organization		
1105 Shawmut Ave		
d. Mailing Address		
New Bedford	MA	02746
e. City/Town	f. State	g. Zip Code
508-979-1550	508-991-6152	Shawn.Syde@NewBedford-ma.gov
h. Phone Number	i. Fax Number	j. Email Address

3. Property Owner (if different):

_____	_____	
a. First Name	b. Last Name	

c. Organization		

d. Mailing Address		
_____	_____	_____
e. City/Town	f. State	g. Zip Code
_____	_____	_____
h. Phone Number	i. Fax Number	j. Email Address

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

B. Fees (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
Utility Work	1	N/A	N/A
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

Step 5/Total Project Fee: _____

Step 6/Fee Payments:

Total Project Fee: _____
 a. Total Fee from Step 5

State share of filing Fee: _____
 b. 1/2 Total Fee **less** \$12.50

City/Town share of filing Fee: _____
 c. 1/2 Total Fee **plus** \$12.50

C. Submittal Requirements

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection
 Box 4062
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)



Map Scale: NTS

Figure 1
 City of New Bedford, Massachusetts
 Pier 3 – Utility Improvements
 Project Location



National Flood Hazard Layer FIRMette



41°38'22.07"N

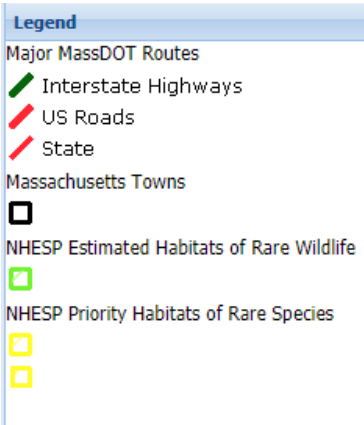
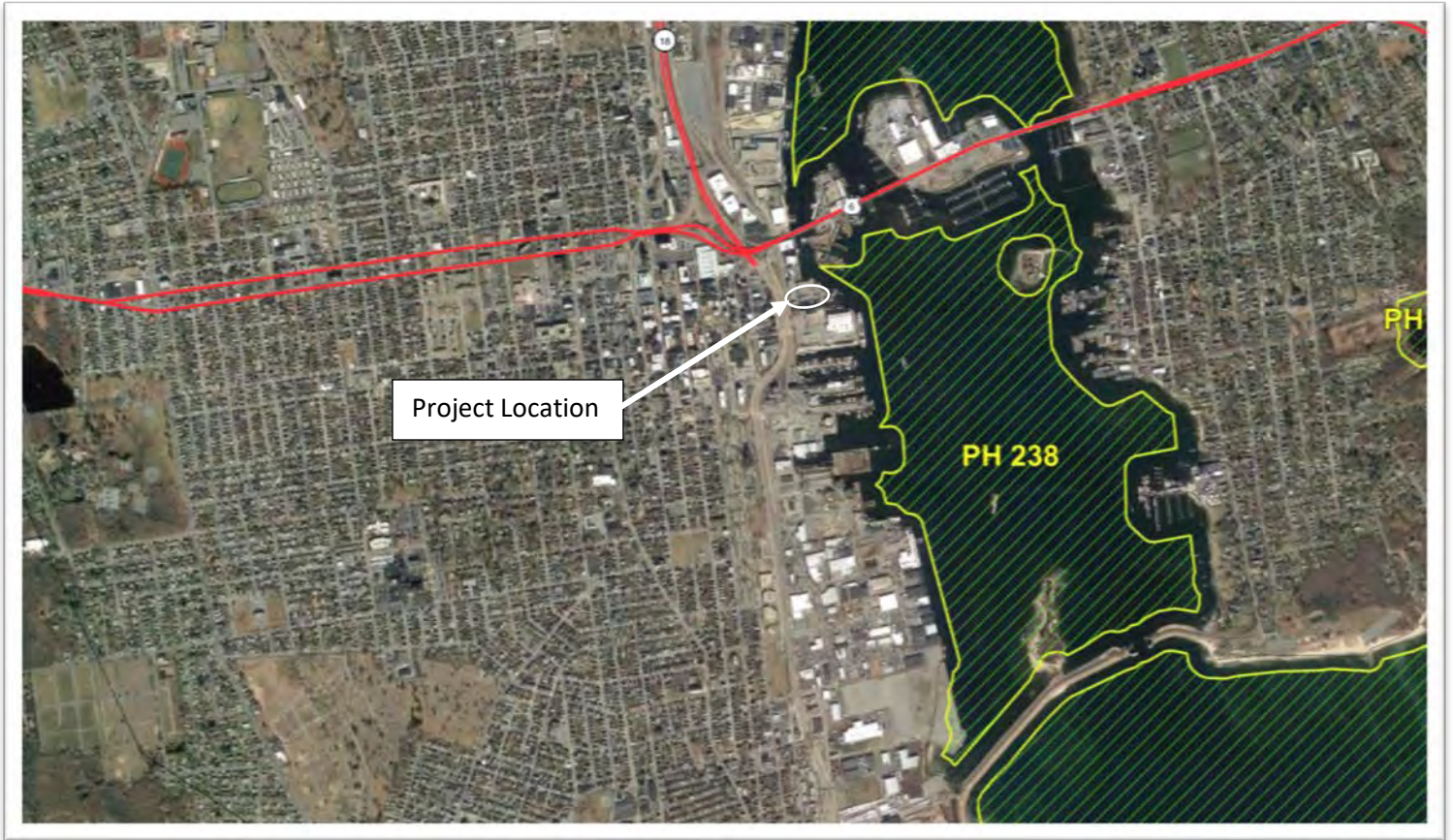
70°55'34.84"W



Map Scale: NTS

Figure 2
City of New Bedford, Massachusetts
Pier 3 – Utility Improvements
FEMA Flood Insurance Map





Map Scale: NTS

Figure 3
 City of New Bedford, Massachusetts
 Pier 3 – Utility Improvements
 Estimated Habitat Area Map



Attachment A

Pier 3 – Utility Improvements Project Narrative

Attachment A

Project Narrative

1.0 Project Description

This Notice of Intent (NOI) is submitted to the New Bedford Conservation Commission on behalf of the City of New Bedford (City) Department of Public Infrastructure (DPI) for utility improvements on Pier 3 (Map 53 Lot 120) as shown on **Figure 1**. The proposed utility work will include:

- Install a 1-in water service to an existing 8-in water main,
- Install a 6-in sewer service to an existing 8-in sewer main, and
- Install a gas service off an existing sewer stub.

The City is working to further develop the economy within the Pier 3 area by providing water, sewer and gas services to an existing building that will be redeveloped into a restaurant/snack shack. The pier is located within a designated port area as defined by 310 CMR 10.26 and shown on the Coastal Zone Management mapping.

The proposed work is located within Land Subject to Coastal Storm Flowage (LSCSF), the 100-ft Buffer Zone to Coastal Bank (i.e., top of the pier) and Coastal Bank (i.e., wood barrier around the top of the pier).

The following sections address the existing on-site wetland conditions, work proposed adjacent to wetland resource area, proposed measures to mitigate construction impacts, and compliance with the performance standards of the Massachusetts Wetlands Protection Act Regulation (310 CMR 10.00).

2.0 Project Background

The existing pier was built prior to 1935 and extend in 1935 under the Chapter 91 License No. 1742 (Issued in 1935). This license authorized the extension and filling of the pier sections between what was Pier 3 and Pier 4 creating a single pier (Pier 3). Additional modifications were made to the pier in 1978 – the pier structure itself was extended on the southern edge and utilities were installed along the pier to service the existing buildings and fishing fleet. Years later, electrical services were run along the pier to service the fishing fleet. Most recently the Port Authority resurfaced the pier with a technique called Micro Surfacing to extend the pier's life.

3.0 Existing Conditions

Wetlands in the project area were not flagged since the wetland resource areas consists of Land Under Ocean, Coastal Bank, Designated Port Area and Land Subject to Coastal Storm Flowage. See photographs in **Attachment B**. The Top of Coastal Bank was determined per the Wetlands



Protection Act Policy 92-1 (DWW Policy 92-1) dated March 3, 1992 and based on the existing survey completed by the DPI in 2020.

3.1 Land Under Ocean

Land Under Ocean is defined as:

“means land extending from the mean low water line seaward to the boundary of the municipality’s jurisdiction and includes land under estuaries.” [310 CMR 10.25(3)]

The mean low water line is located at elevation -1.50 North American Vertical Datum 1988 (NAVD 88).

3.2 Coastal Bank (Top of Bank)

Coastal Bank is defined as:

“the seaward face or side of any elevated landform, other than a coastal dune, which lies at the landward edge of a coastal beach, land subject to tidal action, or other wetland.” [310 CMR 10.30(2)]

Coastal banks are presumed to be significant to “storm damage prevention and flood control...Costal banks that, because of their height, provide buffer to upland areas from storm waters are significant to storm damage prevention and flood control.” [310 CRM 10.30(1)].

There is no definition for “top of coastal bank” provided in the Act or the Regulations. A Guide to the Coastal Wetland Regulations, prepared by the Massachusetts Coastal Zone Management Office, upon which Conservation Commissions and the Department have relied for guidance, states that the landward boundary of a coastal bank is “the top of, to first major break in, the face of the coastal bank.” Since the coastal bank is a sheet piled reinforced pier, the following standard applies to determining the top of coastal bank in the project area.

“A top of coastal bank will fall below the 100-year flood elevation and is the point where the slope ceases to be greater than or equal to 10:1.” The top of coastal bank falls at the top of the pier, along the perimeter of the sheet piling reinforced pier.

3.3 Designated Port Area

Designated Port Area is defined as:

“those areas designated in 301 CMR 25.00: Designation of Port Areas.” [310 CMR 10.26(2)]

“Land forms in designated port areas have been greatly altered from their natural shape, and coastal engineering structures often have replaced natural protection for upland areas from storm damage and flooding.

Land under the ocean often provides support for such structures. Some proposed activities may alter wave and current patterns so as to affect the stability of such structures or the depths or configuration of navigation channels.” [310 CMR 10.26(1)]



Coastal Zone Management (CZM) mapping indicates that the entirety of New Bedford Harbor is included within the Designate Port Area. As such, the work that will occur on this project is included within the Designated Port Area.

3.4 Land Subject to Coastal Storm Flowage

Land subject to Coastal Storm Flowage is defined as:

“land subject to any inundation caused by coastal storms up to and including that caused by the 100-year storm, surge of record or storm of record, whichever is greater.” [310 CMR 10.04 (2)].

The Federal Emergency Management Act (FEMA) Flood Insurance Rate Map (FIRM) (See **Figure 2** attached.) identifies the 100-year storm event in the project area. According to the FIRM, the 100-year flood elevation associated with the pier is elevation 6 NAVD 88. The top of the pier elevation is 5.4 feet.

4.0 Description of Proposed Improvements

The work on the project is divided into two phases - work performed by the DPI to install the water and sewer service and work performed by Eversource Gas to install the gas service. The following summarizes the proposed work:

4.1 Work Performed by the City of New Bedford DPI

The entirety of the project will take place on the existing pier. DPI will install a new 1-in copper water service connecting to the existing 8-in water main. The service is approximately 52-ft in length with approximately 4 to 5-ft of cover. A curb stop and box will also be installed on the service. This service will be connected to the existing 8-in main by DPI crews using a tapping machine and corporation stop.

DPI will also install a new 6-in PVC sewer service connecting to the existing 8-in sewer main. The service is approximately 31-ft long and will also include a clean-out located approximately 10-ft from the building. The service will range between 8 and 5-ft of deep. The service will be connected to the 8-in sewer main by DPI crews using a wye branch and couplings. The pipe backfill will be wrapped in filter fabric to protect washout of pier granular materials.

Both services will be installed using open cut construction methods. The pavement will be saw cut and removed, the base and sub-base excavated to the required depth, pipe and appropriate bedding material will be installed and compacted, and new pavement placed to existing grade. During this work, there will be no impact to the top of coastal bank.

DPI crews will be responsible for the installation of all sedimentation and erosion controls as well as their inspection during construction and removal once construction is complete. DPI will provide supervision of the restoration of the pier to ensure it is returned to its original condition.

4.2 Work Performed by Eversource Gas

Eversource Gas will complete the work associated with the installation of the new gas service. The existing gas main will be extended approximately 120-ft to service the existing building. Eversource Gas will be responsible for relocating and maintaining the erosion and sedimentation



control during their work; however, the DPI will complete inspection to ensure that they are in good working order.

Construction of the gas service will be completed in a similar manner as the water and sewer service. The pavement will be saw cut and removed, the base and sub-base excavated to the required depth (typically around 3-ft), pipe and bedding installed and compacted, and the trench restored to existing grades. The DPI will be responsible for the repaving.

Upon completion of the work, the site will be cleaned, and sedimentation and erosion control devices removed and disposed of properly.

5.0 Work Proposed In Wetland Resource Areas and Compliance with Performance Standards

All proposed work is located within Land Subject to Coastal Storm Flowage, the 100-ft buffer zone to Coastal Bank and the Designated Port Area. No work will occur in Land Under Ocean.

5.1 Coastal Bank

There are two types of Coastal Banks, one that serves as a sediment source to down drift land forms and the other type is a Coastal Bank that serves only as a vertical buffer to storm waters. Since these Coastal Banks serve as vertical buffers to storm waters, work on the banks shall comply with 310 CMR 10.30 (6) through (8) which include:

6) Any project on such bank or within 100-ft landward of the top of such coastal bank shall have no adverse effects on the stability of the coastal bank.

None of the improvements will permanently impact the top of Coastal Bank. Access to the wood barrier/sheet pile wall supporting the pier is not needed under this project.

7) Bulkheads, revetments, seawalls, groins or other coastal engineering structures may be permitted on such a coastal bank except when such a bank is significant to storm damage prevention or flood control because it supplies sediment to coastal beaches, coastal dunes, and barrier beaches.

The existing pier does not provide sediment to coastal beaches, coastal dunes and/or barrier beaches.

8) Notwithstanding the provisions of 310 CMR 10.30(3) through (7), no project may be permitted which will have any adverse effects on specified habitat sites of rare vertebrate or invertebrate species, as identified by procedures defined in 310 CMR 10.37.

The proposed project is located adjacent to but not within Estimated and Priority Habitat as depicted on **Figure 3**.

5.2 Land Subject to Coastal Storm Flowage (LSCSF)

The entire project area is in LSCSF. The elevation of the 100-year flood event is 6 NAVD 88 (See Figure 2). Construction within the LSCSF includes all activities described above. Approximately 1100-sqft of LSCSF will be temporarily altered for the proposed utility extensions. Excavation and



trenching work associated with the improvements will require construction equipment to excavate and remove existing pavement and materials which will be disposed of off-site in accordance with applicable federal, state and local requirements. Backfill material within the excavated areas will include processed gravel borrow and flowable fill as shown on the project plans included in **Attachment E**.

All precautions will be taken to assure that impacts to resource areas are minimal. Fiber rolls will be installed around the work area to prevent migration of sediments into the New Bedford Harbor and drainage system. Catch basin sediment sacks will also be installed. There are no performance standards for LSCSF. However, work is consistent with the “Interests of the Act”, especially storm damage prevention and flood control. Construction will not impact flood flow and will continue to provide an unrestricted flow of flood waters. The contract specifications include detailed provisions for environmental protection, erosion and sedimentation control, and related topics. An engineer will be on site throughout construction to ensure that the contractors and crews adhere to these conditions. No adverse impacts to storm flooding will occur as a result of this project.

5.3 100-ft Buffer Zone to Coastal Bank

Work in the 100-ft Buffer Zone is described above and is limited to work within the Limits of Work. The proposed work will not affect the stability of the existing pier.

5.4 Designated Port Area

The entirety of Pier 3 is located within a Designated Port Area. The project has been designed and will be constructed using best practicable measures. The project does not alter land under ocean or impact the stability of the existing pier thereby reducing its flood protection ability or storm damage prevention.

6.0 Mitigation Measures

No adverse impacts to wetland resource areas are anticipated to occur as a result of this project. The following precautions will be taken to prevent impacts to adjacent wetland resource areas and to protect the interest of the Wetlands Protection Act:

- Failure to comply with the work as described herein, could be grounds to revoke or modify the Order of Conditions.
- The City will be required to comply with all other applicable federal, state, and local statutes, ordinances bylaws, and/or regulations.
- Fill used for the project will be clean, gravel borrow or processed gravel, or crushed stone.
- The work shall conform to the plans, project description and mitigation measures referenced in this Notice of Intent.
- This project is being constructed by the City. The DPI has prepared the construction ready plans for work to be completed in this Notice of Intent package for the Commission’s files.



- The Conservation Commission Agent will be notified of the project schedule and will be notified 48-hours prior to the start of work.
- The Conservation Commission Agent, members of the Conservation Commission and the Department of Environmental Protection will have the right to enter and inspect the area subject to the Notice of Intent at reasonable hours to evaluate compliance with the Order of Conditions and construction drawings.
- All sedimentation barrier will be maintained in good repair until all disturbed areas have been fully stabilized. At no time will sediment be deposited in a wetland or water body. During construction, the applicant or his/her designee will inspect the erosion controls daily and will remove any accumulated sediment as needed. The applicant will immediately control any erosion problems that occur at the site. Sediment barriers will serve as the limit of work.
- Storm drain inlet protection will be provided for all storm drains which collect runoff from the work area. This protection will prevent sediment from entering the storm drain system and being conveyed to resource areas.
- Fiber rolls will be installed for the excavation work to prevent migration of sediments into recourse areas.
- Dewatering of the trenches may be needed. If dewatering is required to perform the work the City will setup a settling basin where water will be pumped from the trench(s) into the settling basin as shown on the plan set. The settling basin will be built using the minimum storage required for the pump being used onsite.
- Temporary stockpiling of soil material will be upgradient of the sedimentation and erosion control barriers to prevent sediments from being transported to adjacent resource areas.
- Maintenance and refueling of vehicles will not occur on site or adjacent work areas.
- A supply of “speedy dry”, oil absorbent pads, or an approved equivalent will be maintained within the construction equipment at all times which will be used to contain any accidental release of oil or other petroleum products during the filed work.
- Hydraulic lines and fuel lines on construction equipment and vehicles will be inspected at the end of each workday to identify any leaks. Any detected leaks will need to be repaired before the affected piece of equipment or vehicle can be used on the project site.

7.0 Summary

No permanent impacts to wetland resource areas are anticipated from this project. All work will take place within existing right of ways. The interests of the Wetlands Protection Act or the City of New Bedford Wetlands Protection Ordinance amended in Chapter 15 Article VII, specifically the flood control and storm damage prevention interests will not be impaired as a result of this project. All appropriate erosion and sedimentation control measures will be implemented throughout the course of construction to prevent the transport of sediment to adjacent wetland



resource areas. All disturbances to Resource Areas will be temporary and the work area will be restored to pre-construction conditions and repaved upon completion of the work.

This is an important project for the City and the continued economic development of the working waterfront. The mitigation measures are included in the design to prevent construction-term adverse impacts to the New Bedford Inner Harbor and no long-term adverse impacts are anticipated.

In conclusion, we respectfully request that the Commission approve an Order of Conditions.



Attachment B

Pier 3 – Utility Improvements Site Photographs



































Attachment C

Pier 3 – Utility Improvements
Registry – Deed(s)

The CITY OF NEW BEDFORD, a municipal corporation duly established under the laws of the Commonwealth of Massachusetts, and located in the County of Bristol in said Commonwealth,
~~and duly established under the laws of~~

~~and duly established under the laws of~~

in consideration of the crediting to it of Three Hundred Thousand
~~Three Hundred Thousand Dollars~~

Dollars (\$300,000)

grants to the NEW BEDFORD REDEVELOPMENT AUTHORITY, a public body politic and corporate, duly established under the laws of the Commonwealth of Massachusetts, and located in the City of New Bedford, Bristol County, in said Commonwealth, of 21 South Sixth Street

mk

with quitclaim covenants

the land in said New Bedford, with all buildings and improvements thereon, known as Piers No. 3 and No. 4, and bounded and described as follows:

[Description and encumbrances, if any]

Westerly, by the location now or formerly of the Old Colony Railroad Company four hundred feet (400) more or less;

Northerly, by land now or formerly of John S. Dunn Marine Service & Supply, Inc., one hundred eighty-five feet (185) more or less;

Easterly, by the channel of the Acushnet River;

Southerly, westerly and southerly, by land of the Commonwealth of Massachusetts, six hundred feet (600) more or less, fifty feet (50) more or less, and one hundred seventy-five feet (175) more or less, respectively;

being the same premises shown as Lot 120 on Plat 53 of the New Bedford Assessors' Plans.

For title of the City of New Bedford, see deed of Rotch's Wharf Company dated February 25, 1896, and recorded in Bristol County (S.D.) Registry of Deeds, Book 176, Page 220. See also Book 775, Page 186, in said Registry.

Compliance with the provisions of Chapter 44, Section 63A of the Massachusetts General Laws is not required by virtue of the provisions of Section 26R of Chapter 121 of said General Laws and a Cooperation Agreement between the parties hereto dated July 20, 1965 and amended October 14, 1965.

No Documentary Stamps Required

In witness whereof, the said City of New Bedford
has caused its corporate seal to be hereto affixed and these presents to be signed, acknowledged and
delivered in its name and behalf by Edward F. Harrington
its Mayor hereto duly authorized, this tenth
day of July in the year one thousand nine hundred and sixty-nine.
Signed and sealed in presence of

Mickelle T. Payant

CITY OF NEW BEDFORD
by *Edward F. Harrington*
Edward F. Harrington, Mayor



The Commonwealth of Massachusetts

ss. New Bedford, July 10, 1969

Then personally appeared the above named Edward F. Harrington

and acknowledged the foregoing instrument to be the free act and deed of the City of New Bedford, before me

Marilyn J. Lopez
Notary Public - Massachusetts

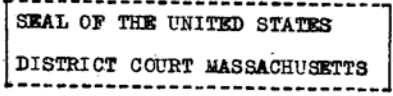
My commission expires Jan. 6, 1972



A.D. nineteen hundred and 28, at 3:45 o'clock P. M., Isaac Slavitsky of Fall River in said district, filed a petition in said Court praying that he be adjudged bankrupt in pursuance of the Act of Congress, entitled "An Act to establish a Uniform System of Bankruptcy throughout the United States," approved July 1, 1898, and acts amendatory thereof.

And I further certify that it appears from said records that on the 15th day of June, A.D. nineteen hundred and twenty-eight said Isaac Slavitsky was duly adjudged bankrupt.

In testimony whereof, I have hereunto set my hand, and affixed the seal of said Court at Boston, in said District this 15th day of January, A.D. 1930.



Mary E. Prendergast
Deputy Clerk of said Court.

Jan. 21, 1930 at 9:00 A.M. Received and entered with Fall River District Registry of Deeds, Book 382, Page 60. Attest: Patrick E. Mannion Register
Received and recorded Feb. 21, 1930 at 9 hrs and 34 min. A. M.

Attest: *James P. McClellan*
Register

The Commonwealth of Massachusetts

(State Seal)

Whereas, the City of New Bedford, in the County of Bristol and Commonwealth aforesaid, has applied to the Department of Public Works for license to make repairs to the wharf at the head of the dock north of Pier No. 4 in Acushnet River in the city of New Bedford, and has submitted plans of the same; and whereas due notice of said application, and of the time and place fixed for a hearing thereon, has been given, as required by law, to the Mayor and Aldermen of the city of New Bedford;

Now, said Department, having heard all parties desiring to be heard, and having fully considered said application, hereby, subject to the approval of the Governor and Council, authorizes and licenses the said City of New Bedford, subject to the provisions of the ninety-first chapter of the General Laws, and of all laws which are or may be in force applicable thereto, to make repairs to the wharf at the head of the dock north of Pier No. 4 in Acushnet River in the city of New Bedford, in conformity with the accompanying plan No. 1109.

A timber bulkhead 28 feet 6 inches long may be built across the opening in the wall at the head of said dock, as shown on said plan. Anchor piles and double tie rods may be used and stone riprap may be placed as backfilling against the bulkhead, as shown on said plan.

A timber platform 69 feet 8 inches long may be extended from the existing wall and the proposed bulkhead a distance of 4 feet 6 inches, as indicated on said plan.

A concrete coping may be placed along the existing wall, as shown on said plan.

The plan of said work, numbered 1109, is on file in the office of said Department, and duplicate of said plan accompanies this License, and is to

Facsimile of Court Seal, as in original,

Attest:

James P. McClellan
Register

681

Comm. of Mass.
Dept. of Pub. Works
to
City of N. B.

No. 1109.

be referred to as a part hereof.

Nothing in this License shall be so construed as to impair the legal rights of any person.

This License shall be void unless the same and the accompanying plan are recorded within one year from the date hereof, in the Registry of Deeds for the Southern District of the County of Bristol.

In Witness Whereof, said Department of Public Works have hereunto set their hands this fourteenth day of January, in the year nineteen hundred and thirty.

F. E. Lyman }
Richard K. Hale } Department of
H. A. MacDonald } Public Works

THE COMMONWEALTH OF MASSACHUSETTS

BOSTON, January 15, 1930

Approved by the Governor and Council

William L. Reed

Executive Secretary.

Received and recorded Feb. 14, 1930 at 1 hr and 50 min. P. M.

Attest:

James P. McCohan
Register

KNOW ALL MEN BY THESE PRESENTS that I, Louis

695

E. Kruger of New Bedford, County of Bristol, Commonwealth of Massachusetts the present holder by assignment of a mortgage from William H. Martin and Louisa Martin to Benjamin F. Howe dated July 8, 1911 recorded with Bristol County (S.D.) Registry of Deeds, Book 360, pages 482-483 assign said mortgage and the note and claim secured thereby to Frederick Kruger.

Kruger

to

Kruger

See B. 350 P. 482

WITNESS my hand and seal this fourteenth day of February, 1930.

Louis E. Kruger (L.S.)

Commonwealth of Massachusetts

Bristol, ss. February 14, 1930 Then personally appeared the above named Louis E. Kruger and acknowledged the foregoing instrument to be his free act and deed, before me George B. Goodman Notary Public My commission expires May 31st, 1935.

Received and recorded Feb. 15, 1930 at 11 hrs and 7 min. A. M.

Attest:

James P. McCohan
Register

We, Jose Luiz and Margarida Luiz, husband and

693

wife, of Westport, Bristol County, Massachusetts, for consideration paid, grant to Manuel Martin, 68 Webster Street, of Fall River with mortgage covenants, to secure the payment of Twenty-five Hundred Dollars as provided in our note of even date, the land with the buildings thereon, situate on the westerly side of Sanford Road in the Town of Westport, in the County of Bristol, bounded and described as follows:-

Luiz et ux

to

Martin

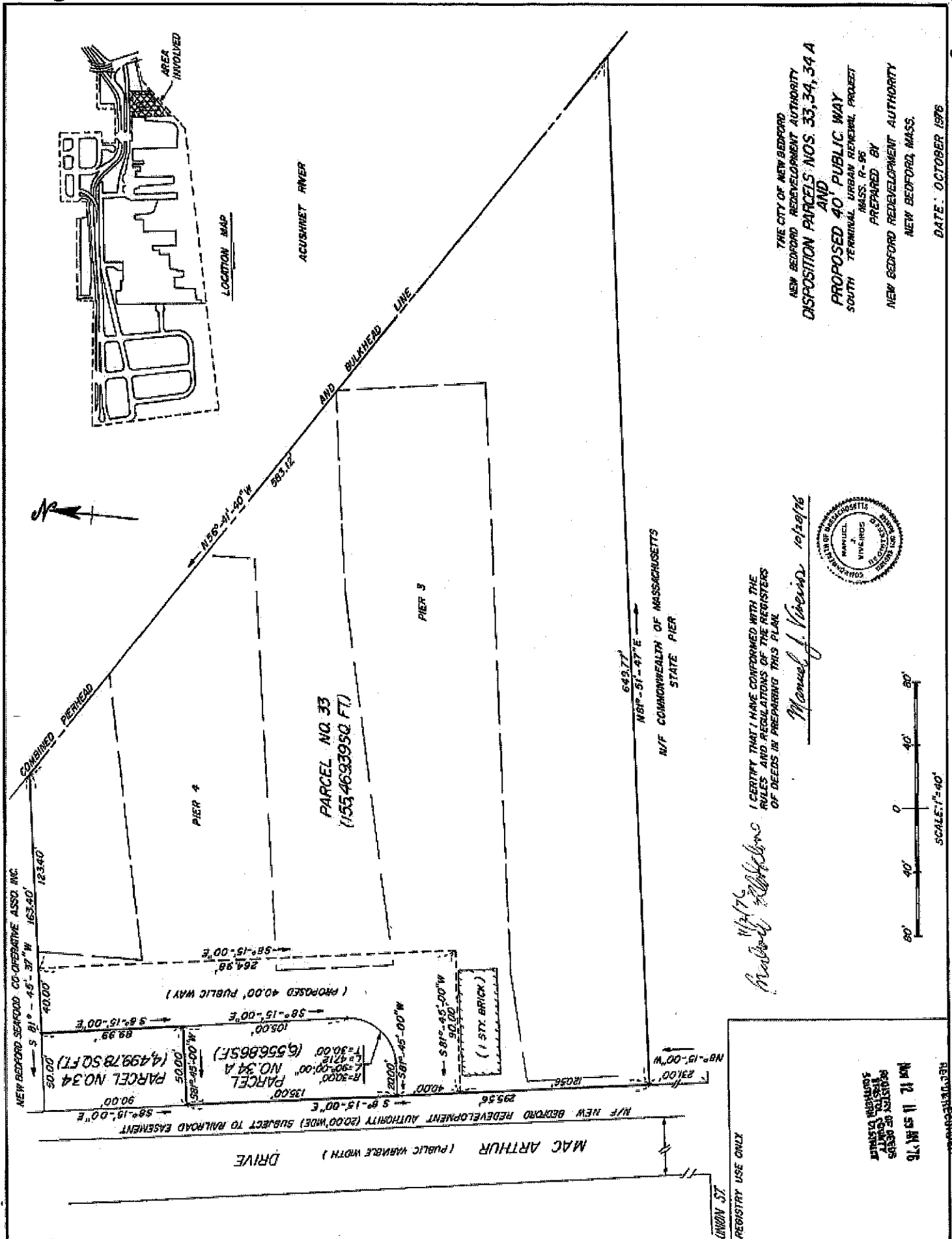
Beginning at a stake in the ground at the northeasterly corner of the lot to be conveyed at the corner of Sanford Road and a contemplated avenue; thence running southerly by said Sanford Road 51.76 feet to a stake; thence

Disc: JAN 18 47

See B. 924-3145

97-59

97-59



THE CITY OF NEW BEDFORD
 NEW BEDFORD REDEVELOPMENT AUTHORITY
 DISPOSITION PARCELS NOS. 33, 34, 34A
 AND
 PROPOSED 40' PUBLIC WAY
 SOUTH TERMINAL URBAN RENEWAL PROJECT
 MASS. P-96
 PREPARED BY
 NEW BEDFORD REDEVELOPMENT AUTHORITY
 NEW BEDFORD, MASS.

DATE: OCTOBER 1976



I CERTIFY THAT I HAVE CONFORMED WITH THE
 RULES AND REGULATIONS OF THE REGISTER
 OF DEEDS IN PREPARING THIS PLAN.

Manuel J. Vibeiro 10/20/76



NOV 12 11 57 AM '76
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF MASSACHUSETTS

97-59

Attachment D

Pier 3 – Utility Improvements Certified Abutter List



City of New Bedford
REQUEST for a CERTIFIED ABUTTERS LIST

This information is needed so that an official abutters list as required by MA General Law may be created and used in notifying abutters. You, as applicant, are responsible for picking up and paying for the certified abutters list from the assessor's office (city hall, room #109).

SUBJECT PROPERTY	
MAP #	53
LOT(S)#	120
ADDRESS:	Pier 3 - New Bedford - Ma 02740
OWNER INFORMATION	
NAME:	City of New Bedford - DPI
MAILING ADDRESS:	1105 Shawmut Ave, New Bedford - Ma 02746
APPLICANT/CONTACT PERSON INFORMATION	
NAME (IF DIFFERENT):	Adam Hart
MAILING ADDRESS (IF DIFFERENT):	
TELEPHONE #	508-979-1550 x 67332
EMAIL ADDRESS:	Adam.Hart@NewBedford-ma.gov
REASON FOR THIS REQUEST: <i>Check appropriate</i>	
<input type="checkbox"/>	ZONING BOARD OF APPEALS APPLICATION
<input type="checkbox"/>	PLANNING BOARD APPLICATION
<input checked="" type="checkbox"/>	CONSERVATION COMMISSION APPLICATION
<input type="checkbox"/>	LICENSING BOARD APPLICATION
<input type="checkbox"/>	OTHER (Please explain):

Once obtained, the Certified List of Abutters must be attached to this Certification Letter.

Submit this form to the Planning Division Room 303 in City Hall, 133 William Street. You, as applicant, are responsible for picking up and paying for the certified abutters list from the assessor's office (city hall, room #109).

Official Use Only:

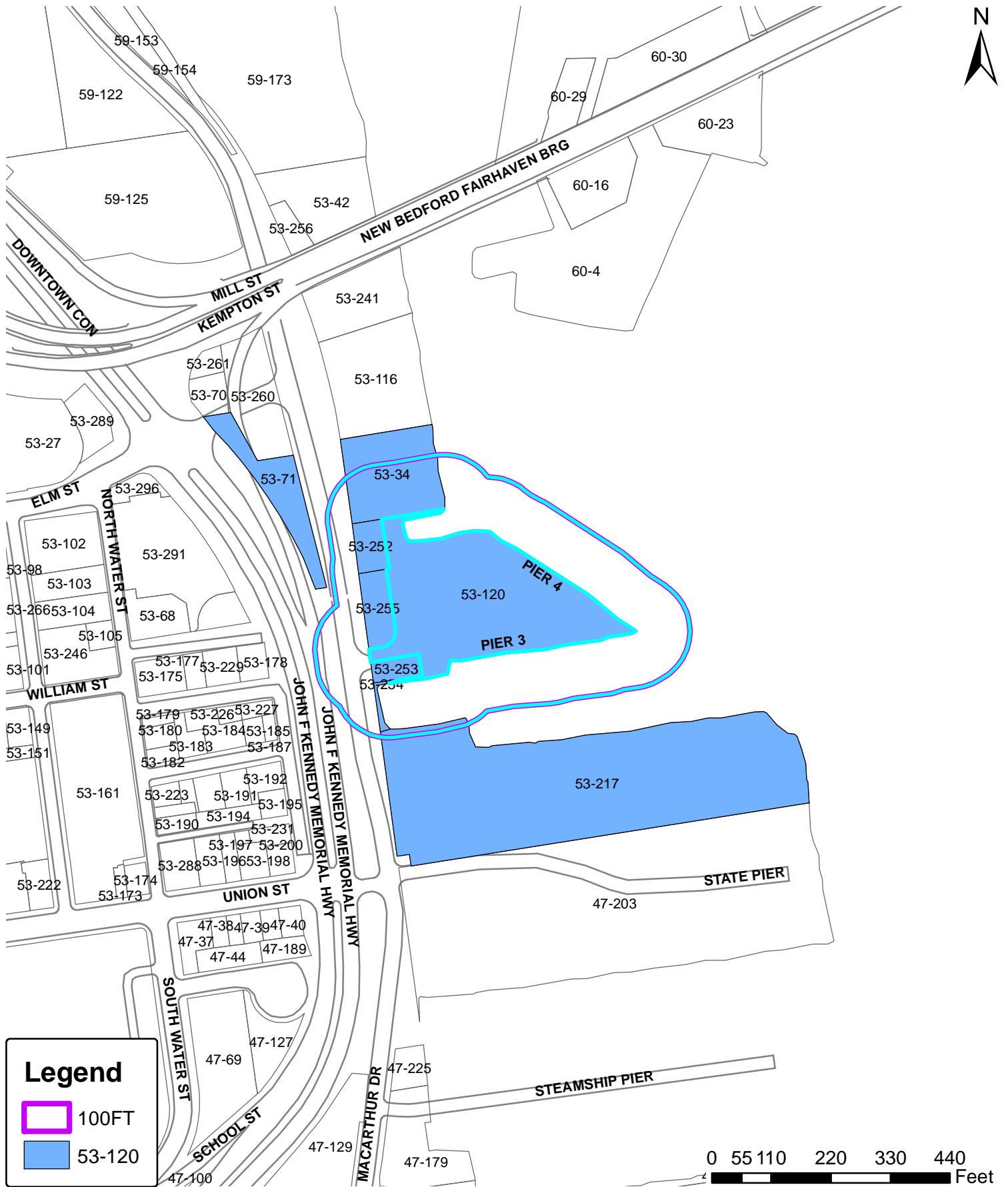
As Administrative Assistant to the City of New Bedford's Board of Assessors, I do hereby certify that the names and addresses as identified on the attached "abutters list" are duly recorded and appear on the most recent tax.

Michael J. Motta

Printed Name

Signature

Date



City of New Bedford, Massachusetts
Department of City Planning

Parcel within 100FT



May 8, 2020
 Dear Applicant,

Please find below the List of Abutters within 100 feet of the property known as Pier 3(Map: 53, Lot: 120).The current ownership listed herein must be checked and verified by the City of New Bedford Assessor’s Office. Following said verification, the list shall be considered a Certified List of Abutters.

Please note that multiple listed properties with identical owner name and mailing address shall be considered duplicates and shall require only 1 mailing. Additionally, City of New Bedford-Owned properties shall not require mailed notice.

<u>Parcel</u>	<u>Location</u>	<u>Owner and Mailing Address</u>
53-34	101 CO-OP WHARF	LIARIKOS JOHN G II "TRUSTEE", CO-OP WHARF REALTY TRUST 101 CO-OP WHARF NEW BEDFORD, MA 02740
53-71	JOHN F KENNEDY HWY	N B REDEVELOPMENT, AUTHORITY 133 WILLIAM STREET NEW BEDFORD, MA 02740
53-253	46 FISHERMAN'S WHF	CITY OF NEW BEDFORD, PIER 3 131 WILLIAM ST NEW BEDFORD, MA 02740
53-120	MACARTHUR DR	CITY OF NEW BEDFORD, 131 WILLIAM ST NEW BEDFORD, MA 02740
53-254	MACARTHUR DR	CITY OF NEW BEDFORD, PIER 3 131 WILLIAM ST NEW BEDFORD, MA 02740
53-217	49 STATE PIER	COMMONWEALTH OF MASS, STATE PIER BUILDING NEW BEDFORD, MA 02740
53-252	104 CO-OP WHARF	NEW BEDFORD INC, 72 N WATER STREET 3RD FLOOR NEW BEDFORD, MA 02740
53-255	51 FISHERMAN'S WHF	CITY OF NEW BEDFORD, PIER 4 131 WILLIAM ST NEW BEDFORD, MA 02740

Attachment E

Pier 3 – Utility Improvements Plan Set

CITY OF NEW BEDFORD, MASSACHUSETTS PIER 3 - UTILITY IMPROVEMENTS

INDEX

SHEET NO.	DESCRIPTION
1	TITLE SHEET & INDEX
2	GENERAL NOTES & LEGEND
3	EXISTING CONDITIONS
4	CONSTRUCTION PLAN
5	EROSION CONTROL PLAN
6	DETAIL SHEET



N.T.S.

THE CITY OF NEW BEDFORD DEPARTMENT OF PUBLIC INFRASTRUCTURE CONSTRUCTION STANDARDS AND SPECIFICATIONS DATED 2019, MASSACHUSETTS HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES DATED 1988, AS AMENDED, THE SUPPLEMENTAL SPECIFICATIONS DATED JULY 1, 2015, THE 2017 CONSTRUCTION STANDARDS DETAILS, THE LATEST MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS WITH MASSACHUSETTS AMENDMENTS, THE 1990 STANDARD DRAWINGS FOR SIGNS AND SUPPORTS, THE 1968 STANDARDS DRAWINGS FOR TRAFFIC SIGNALS AND HIGHWAY LIGHTING, AND THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, WILL GOVERN.

100% SUBMITTAL
MAY 8, 2020



CITY OF NEW BEDFORD DEPARTMENT OF PUBLIC INFRASTRUCTURE

WATER • WASTEWATER • HIGHWAYS • ENGINEERING • CEMETERIES • PARK MAINTENANCE • FORESTRY • ENERGY



GENERAL LEGEND

	BUILDING
	CONCRETE
	DRAIN LINE
	FENCE - CHAINLINK
	FENCE 2 - STOCKADE
	GAS LINE
	GRASS
	LOT LINE
	OVERHEAD WIRES
	PROPERTY LINE
	SEWER LINE
	TRAIN TRACKS
	VEGETATION LINE
	WATERLINE
	PROPOSED GAS LINE
	PROPOSED SEWER LINE
	PROPOSED WATER LINE

GENERAL LEGEND (CONT.)

	BRADLY HEAD
	CATCH BASIN
	BOUND
	CURB STOP
	DRAIN MANHOLE
	ELECTRIC MANHOLE
	FIRE HYDRANT
	GAS GATE
	HEDGE(S)/SHRUB(S)
	LIGHT POLE
	MAILBOX
	PROPOSED GAS MAIN
	PROPOSED SEWER LATERAL
	PROPOSED WATER LATERAL
	ROCK/BOULDER
	SEWER MANHOLE
	SIGN
	STUMP
	TELEPHONE MANHOLE
	TREE
	UTILITY POLE
	WATER GATE

GENERAL ABBREVIATIONS

2MM	2' BRASS MONUMENT MARKER
ADJ	ADJUST
ABD	ABANDONED
BC	BUILDING CORNER
BH	BRADLEY HEAD
BLDG	BUILDING
BND	STONE BOUND
BND/2'	STONE BOUND-2' OFFSET
BND/DH	STONE BOUND-DRILLHOLE
BOS	BOTTOM OF SLOPE
CB	CATCH BASIN
CEM.CONC.	CEMENT CONCRETE
CHH	CABLE HANDHOLE
CL	CENTERLINE
CS	CURB STOP
D.#	DECIDUOUS TREE AND DIAMETER (INCHES)
DH	DRILL HOLE
DI	DUCTILE IRON PIPE
DMH	DRAIN MANHOLE
DW	DRIVEWAY
EHH	ELECTRIC HANDHOLE
ELEV	ELEVATION
EMH	ELECTRIC MANHOLE
EOP	EDGE OF PAVEMENT
FDC	FULL DEPTH CONSTRUCTION
FNCL	CHAINLINK FENCE
FNPK	PICKET FENCE
FNPR	POST AND RAIL FENCE
FNRI	IRON ROD FENCE
FNST	STOCKADE FENCE
FP	FLAGPOLE
GDRL	GUARDRAIL
GG	GAS GATE
GL	GUTTERLINE
GRAN. CURB	GRANITE CURB
GUY	GUY WIRE
HDPE	HIGH DENSITY POLYETHYLENE
HH	HANDHOLE
HMA	HOT MIX ASPHALT
HYD	FIRE HYDRANT
INV	INVERT
LP	LIGHT POLE
MA	MAST ARM
MH	MANHOLE
M&O	MILL AND OVERLAY
NTS	NOT TO SCALE
OHW	OVERHEAD WIRES
P.#	PINE TREE AND DIAMETER (INCHES)
PED-X	PEDESTRIAN CROSSING POST
PK	PK NAIL
POC	POINT ON CURVE
PROP	PROPOSED WORK
PT	POINT OF TANGENCY
R&D	REMOVE AND DISPOSE
R&P	REMOVE AND PROTECT
R&R	REMOVE AND RESET
R&REL	REMOVE AND RELOCATE
R&S	REMOVE AND STACK
SW	SIDEWALK
TC	TOP OF CURB
TL	TRAFFIC LIGHT
TMH	TELEPHONE MANHOLE
TOS	TOP OF SLOPE
TYP	TYPICAL
UP	UTILITY POLE
VEG.	VEGETATION
WCR	WHEELCHAIR RAMP
WF	WETLAND FLAG
WG	WATER GATE
WLBB	BRICK WALL-BOTTOM
WLBT	BRICK WALL-TOP
WLCB	CONCRETE WALL-BOTTOM
WLCT	CONCRETE WALL-TOP
WLSB	STONE WALL-BOTTOM
WLST	STONE WALL-TOP
WG	WATER GATE
WHH	WATER HANDHOLE
WW	WALKWAY

GENERAL NOTES

- BASE MAPPING PROVIDED BY THE CITY OF NEW BEDFORD DEPARTMENT OF PUBLIC INFRASTRUCTURE FEBRUARY, 2020.
- THE CONTRACTOR SHALL SAWCUT TO THE FULL PAVEMENT DEPTH AT LOCATIONS WHERE NEW FULL DEPTH PAVEMENT OR NEW SIDEWALK MEETS EXISTING PAVEMENT OR SIDEWALK, AT THE LOCATIONS SHOWN ON THE PLANS OR AS REQUIRED BY THE ENGINEER.
- ALL AREAS OUTSIDE OF THE LIMIT OF WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION BY THE CONTRACTOR.
- ALL MATERIAL TO BE REMOVED AND STACKED SHALL BE CAREFULLY REMOVED, DELIVERED, AND NEATLY STACKED AT THE CITY OF NEW BEDFORD DEPARTMENT OF PUBLIC INFRASTRUCTURE YARD.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- THE CONTRACTOR SHALL RESTORE THE EXISTING SURFACE PAVEMENTS, MULCH, AND TURF DISTURBED BY THE PROPOSED WORK AND SHALL PATCH ALL HOLES RESULTING FROM THE REMOVAL OF FOUNDATIONS WITH MATERIALS SIMILAR TO EXISTING MATERIALS.
- ALL EXISTING MUNICIPAL UTILITY CASTINGS, WHICH ARE TO REMAIN, IN AREAS TO BE RE-PAVED SHALL BE ADJUSTED TO THE LINE AND GRADE BY THE CONTRACTOR, UNLESS OTHERWISE NOTED.
- A MINIMUM 36" PATH OF TRAVEL (EXCLUDING CURB) SHALL BE MAINTAINED BY ALL OBSTRUCTIONS (EXISTING, RELOCATED, AND PROPOSED) ON THE SIDEWALK INCLUDING, BUT NOT LIMITED TO, STREET LIGHTS, UTILITY POLES, HYDRANTS, SIGNS, SIGNALS, TREES, PARKING METERS, AND MAILBOXES. IF THERE IS A CONFLICT, THE INFORMATION SHALL BE FURNISHED TO THE ENGINEER FOR RESOLUTION PRIOR TO SIDEWALK RECONSTRUCTION.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN AT APPROXIMATE LOCATIONS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE EXACTLY AND TO PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL CALL "DIG-SAFE" 1-888-DIGSAFE (344-7233) AT LEAST 72 HOURS BEFORE COMMENCING CONSTRUCTION.
- EXISTING COBBLESTONES OR TROLLEY TRACKS EXCAVATED DURING CONSTRUCTION SHALL BE REMOVED AND STACKED AT THE CITY OF NEW BEDFORD DEPARTMENT OF PUBLIC INFRASTRUCTURE YARD.
- CONTRACTOR SHALL TAKE CARE TO AVOID DAMAGING EXISTING TREES WITHIN THE LIMITS OF WORK. ANY DAMAGE TO EXISTING TREES NOTED TO BE PROTECTED AND/OR RETAINED SHALL BE IMMEDIATELY REPLACED PER CITY ARBORISTS DIRECTION AT NO COST TO THE OWNER.
- DRAINAGE ELEVATIONS ARE PROVIDED FOR DESIGN PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY BY TEST PIT, THE LOCATIONS OF EXISTING UTILITIES WHICH MAY CONFLICT WITH THE PROPOSED DRAINAGE DESIGN. ANY FIELD ADJUSTMENTS REQUIRED WILL BE MADE AS APPROVED OR REQUIRED BY THE ENGINEER. ONLY AFTER THE CONTRACTOR VERIFIES THE ELEVATIONS FOR THE CONTRACTIBILITY OF THE DRAINAGE SYSTEM SHALL ANY STRUCTURES BE ORDERED.
- ELEVATIONS SHOWN ON THE SURVEY ARE BASED UPON NAVD88. HORIZONTAL COORDINATE SYSTEM USED IS NAD83.
- CONTRACTOR SHALL BE ADVISED THAT EXISTING STEEL TIE BACKS SUPPORTING THE PIER BULKHEAD EXIST IN THE PROJECT AREA. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR WILL EXCAVATE TEST PIT TO VERIFY LOCATION OF EXISTING STEEL TIE BACKS.

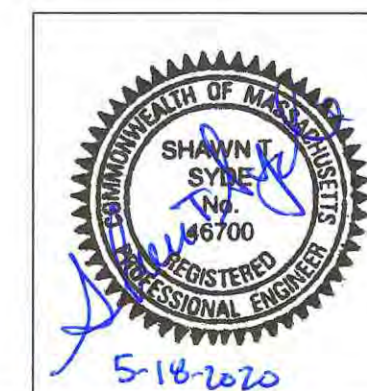
WATER MAIN, SEWER MAIN & SERVICE NOTES

- THE CONTRACTOR SHALL MAINTAIN A MINIMUM CLEARANCE OF AT LEAST 12 INCHES BETWEEN THE NEW WATER MAIN AND ALL OTHER EXISTING UTILITIES.
- ALL EXISTING VALVES AND OTHER WATER MAIN APPURTENANCES REMOVED SHALL BECOME THE PROPERTY OF THE OWNER.
- THE OWNER AND ENGINEER SHALL OBTAIN ALL PERMITS AND APPROVALS REQUIRED TO PERFORM THE WORK.
- TO THE EXTENT POSSIBLE, THE CONTRACTOR SHALL MAINTAIN A MINIMUM 10 FT. LATERAL SEPARATION BETWEEN NEW WATER MAINS AND ANY EXISTING SANITARY SEWER, EXCEPT WHEN IT IS NECESSARY TO CROSS AN EXISTING SEWER, OR UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL MAINTAIN AN 18 INCH CLEARANCE BETWEEN BOTTOM OF WATER MAIN AND CROWN OF ANY SANITARY SEWER PIPE WHEN THE WATER MAIN IS LAID WITHIN 10 FT. EDGE TO EDGE OF THE SEWER PIPE.
- ALL VALVES SHALL BE FURNISHED, INSTALLED AND RESTRAINED BY THE CONTRACTOR.
- THE CITY WILL BE RESPONSIBLE FOR THE OPERATION OF ALL VALVES.
- THIS WORK OCCURS IN THE CITY STREETS AND AN AREA WITH PEDESTRIAN TRAFFIC. THE WORK WILL REQUIRE PROPER TRAFFIC CONTROL TO MINIMIZE CONFUSION. THE CONTRACTOR SHALL COORDINATE TRAFFIC WITH THE CITY OF NEW BEDFORD POLICE DEPARTMENT PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS ADVISED THAT IT MAY BE NECESSARY TO WORK DURING PERIODS OTHER THAN NORMAL WORKING HOURS FOR THE PURPOSE OF OBTAINING SHUT DOWNS AND/OR TO FACILITATE THE INSTALLATION OF NEW YORK. ALL WORK TO BE PERFORMED OUTSIDE NORMAL WORKING HOURS WILL BE COORDINATED WITH THE CITY OF NEW BEDFORD WATER DEPARTMENT.
- ALL WATER MAIN FITTINGS AND ALL HYDRANT CONNECTIONS SHALL BE RESTRAINED.
- NOTES PERTAINING TO NEW WORK ARE SHOWN THUS:
- CONTRACTOR SHALL FURNISH, AND INSTALL WYE BRANCHES, Y SADDLES, 6" PVC SERVICE CONNECTION PIPE, ADAPTORS AS REQUIRED AND SEWER CLEANOUTS AND CONNECT NEW SEWERS TO EXISTING BUILDING SERVICES.
- COORDINATE WITH BUILDING DEVELOPERS PLUMBER PRIOR TO THE START OF CONSTRUCTION TO VERIFY TIE IN LOCATION OF NEW WATER, SEWER GAS SERVICES.
- DEPTH OF EXISTING UTILITIES IS APPROXIMATE.
 - WATER - ASSUMED 4' COVER
 - GAS - ASSUMED 3' COVER
 - TELEPHONE, ELECTRICAL, AND CATV - ASSUMED 2' COVER

BENCH DATA

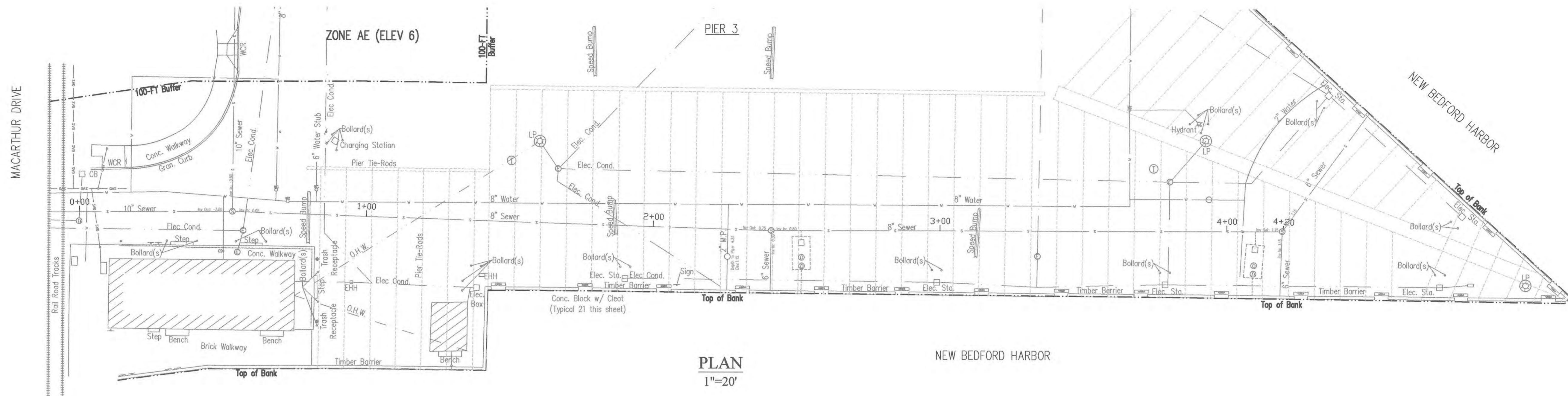
EASTING	NORTHING	ELEVATION	DESCRIPTION
814356.9190	2692865.9880	5.402	STONE BOUND WITH DRILL HOLE LOCATED AT THE MAIN ENTRANCE OF PIER 3 ON THE NORTHERN SIDE
814443.2150	2692875.1290	6.269	PK- NAIL SET AT THE SOUTH SIDE OF THE ELECTRIC CAR CHARGING STATION

HORIZONTAL DATUM - MASSACHUSETTS STATE PLANE-COORDINATION SYSTEM (NAD83)
 VERTICAL DATUM - NAVD88

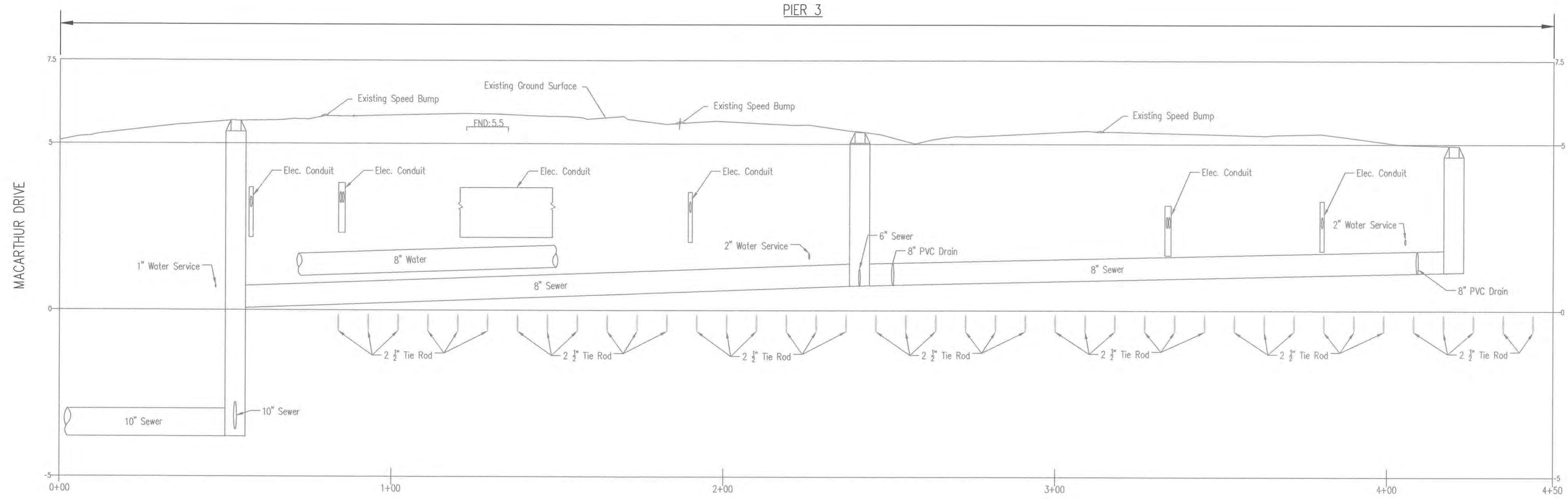


CITY OF NEW BEDFORD MASSACHUSETTS DEPARTMENT OF PUBLIC INFRASTRUCTURE

Pier 3 - UTILITY IMPROVEMENTS
 GENERAL NOTES AND LEGEND
 Owner: City of New Bedford
 Locus: Map53 Lot 120
 Graphic Scale
 N.T.S.
 Date: MAY 8, 2020
 Scale: N.T.S.
 SHEET 2 of 6
 DESIGN: AMH
 CHECK: STS
 APPROVED: STS
 Revision:

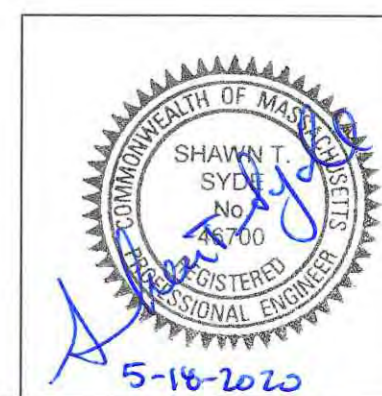


PLAN
1"=20'



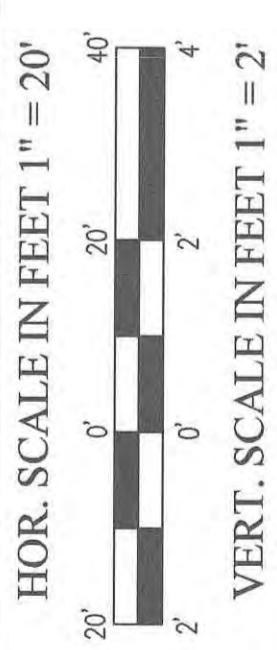
PROFILE
HOR: 1"=20'
VER: 1"=2'

- NOTES**
1. HORIZONTAL DATUM - MASSACHUSETTS STATE PLANE-COORDINATION SYSTEM (NAD83)
 2. VERTICAL DATUM - NAVD88
 3. THE ENTIRE PROJECT IS WITHIN ZONE AE (ELEV 6)
 4. MEAN HIGH WATER (MHW): 2.06
 5. MEAN LOW WATER (MLW): -1.50
 6. TOP OF COASTAL BANK (---) IS DENOTED AS THE TOP OF THE PIER TIMBER BARRIER ELEV: 6.3
 7. COORDINATE PLACEMENT OF EROSION AND SEDIMENTATION CONTROLS WITH WORK SEQUENCE AND TRAFFIC CONTROL REQUIREMENTS. NOT ALL EROSION AND SEDIMENTATION CONTROLS MAY BE ABLE TO BE IN PLACE AT THE SAME TIME. ALL WORK AREAS SHALL BE CONTAINED WITHIN AN AREA PROTECTED BY THE EROSION AND SEDIMENTATION CONTROLS. REFER TO SHEET 5 FOR EROSION & SEDIMENTATION CONTROL REQUIREMENTS.



CITY OF NEW BEDFORD MASSACHUSETTS DEPARTMENT OF PUBLIC INFRASTRUCTURE

Owner: City of New Bedford
Locus: Map53 Lot 120



Revision: _____ Date: _____

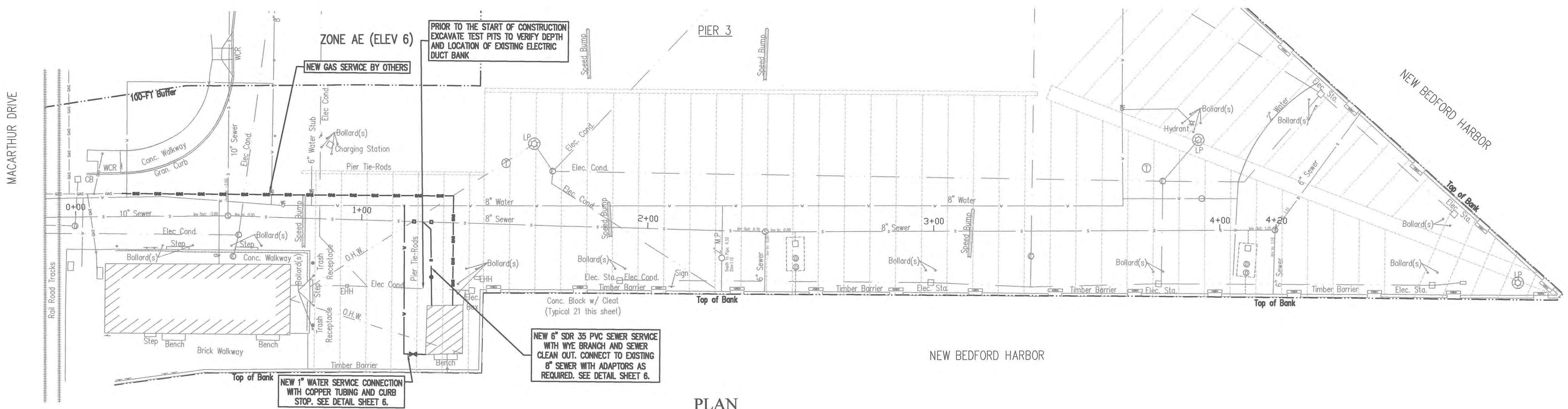
**PIER 3 - UTILITY IMPROVEMENTS
EXISTING CONDITIONS**

DESIGN: AMH
CHECK: STS
APPROVED: STS

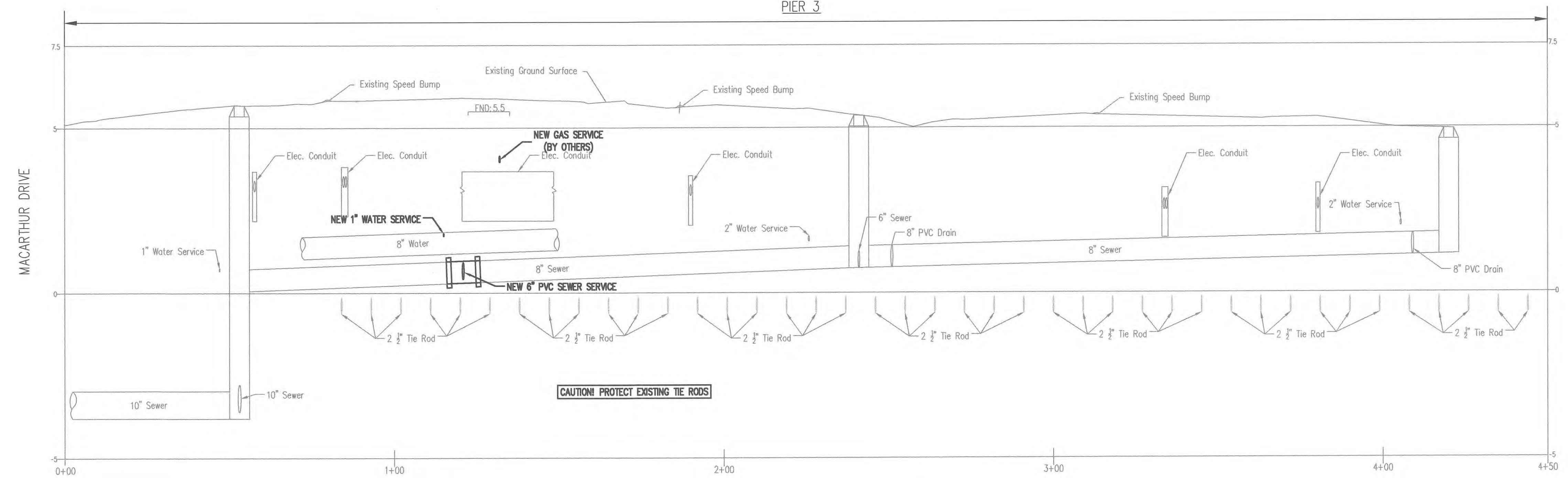
Scale: 1" = 20'

Date: MAY 8, 2020

SHEET 3 of 6



PLAN
1"=20'



PROFILE
HOR: 1"=20'
VER: 1"=2'

- NOTES
1. HORIZONTAL DATUM - MASSACHUSETTS STATE PLANE-COORDINATION SYSTEM (NAD83)
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CITY OF NEW BEDFORD MASSACHUSETTS DEPARTMENT OF PUBLIC INFRASTRUCTURE

PIER 3 - UTILITY IMPROVEMENTS
CONSTRUCTION PLAN

Owner: City of New Bedford
Locus: Map53 Lot 120

HOR. SCALE IN FEET 1" = 20'
VERT. SCALE IN FEET 1" = 2'

SHEET
4 of 6

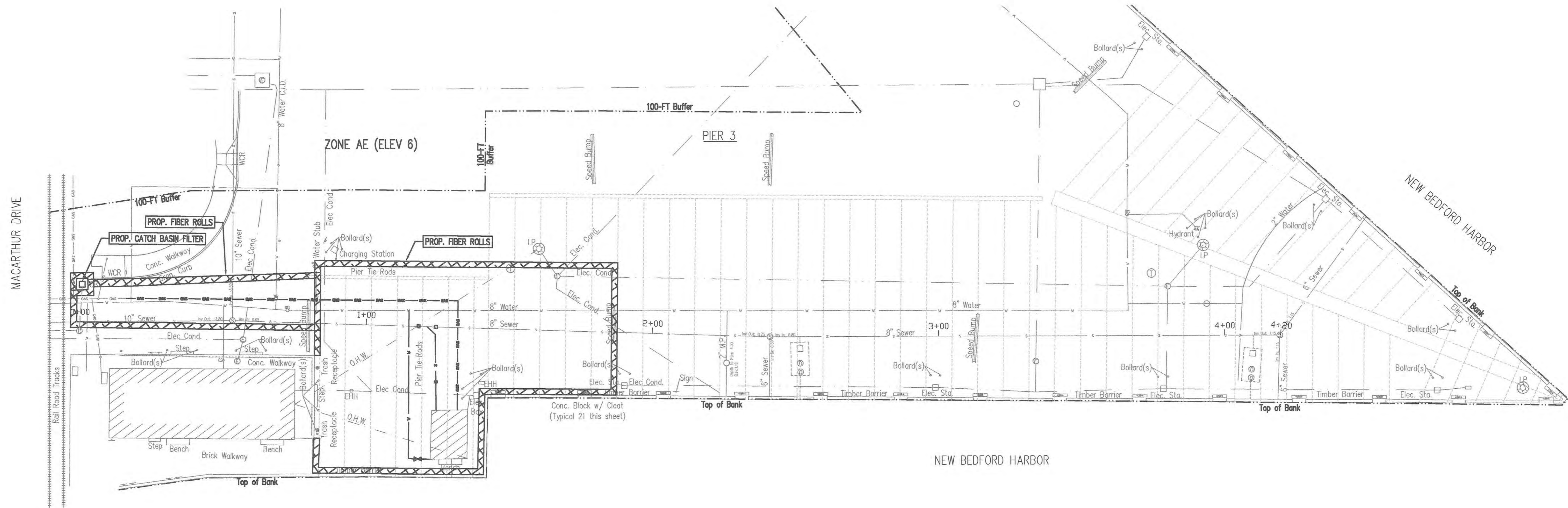
Date: MAY 8, 2020

Scale: 1" = 20'

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CHECK: STS
APPROVED: STS

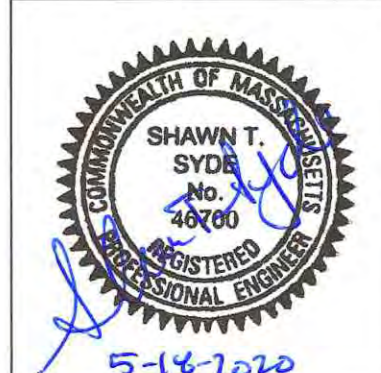
Date:

Revision:



NOTES

1. HORIZONTAL DATUM - MASSACHUSETTS STATE PLANE-COORDINATION SYSTEM (NAD83)
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8. SEE SHEET 4 FOR PROPOSED UTILITY WORK.



CITY OF NEW BEDFORD MASSACHUSETTS DEPARTMENT OF PUBLIC INFRASTRUCTURE

Owner: City of New Bedford
Locus: Map53 Lot 120

Graphic Scale
0' 20' 40'
1" = 20'
Inch=Feet

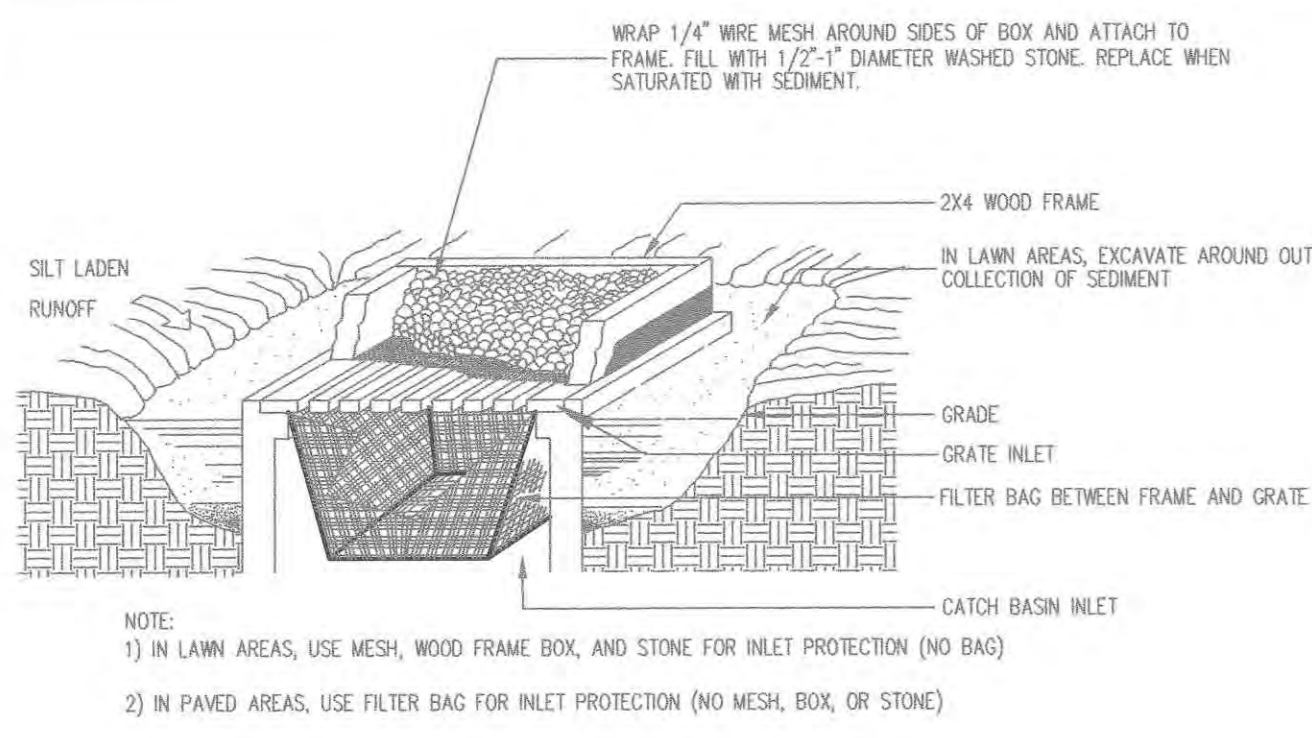
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APPROVED: STS

Revision:
Date:

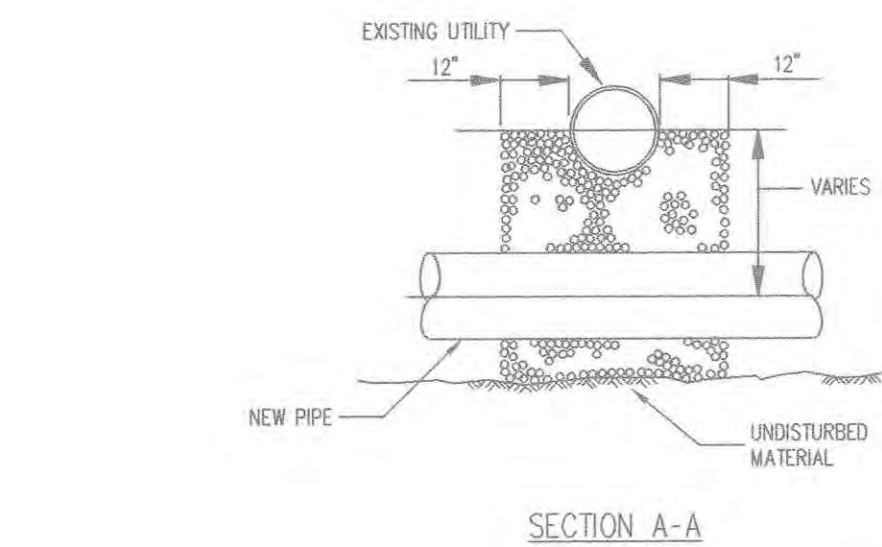
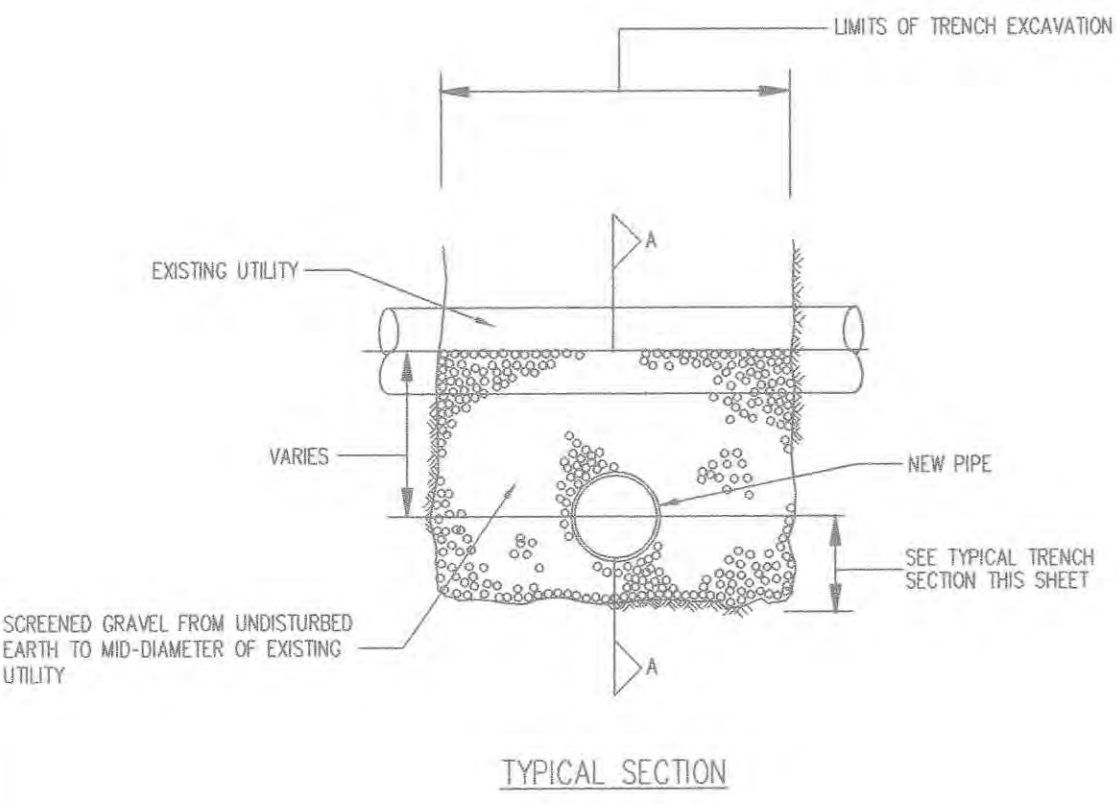
**PIER 3 - UTILITY IMPROVEMENTS
EROSION CONTROL PLAN**

Scale: 1" = 20'
Date: MAY 8, 2020

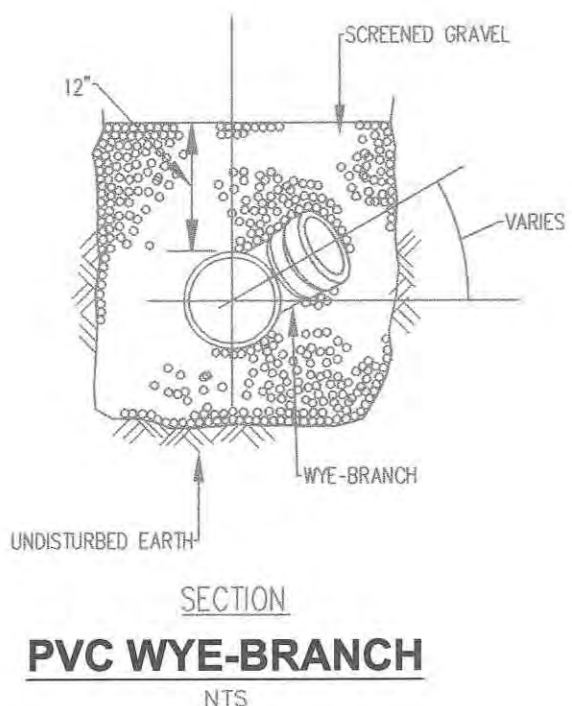
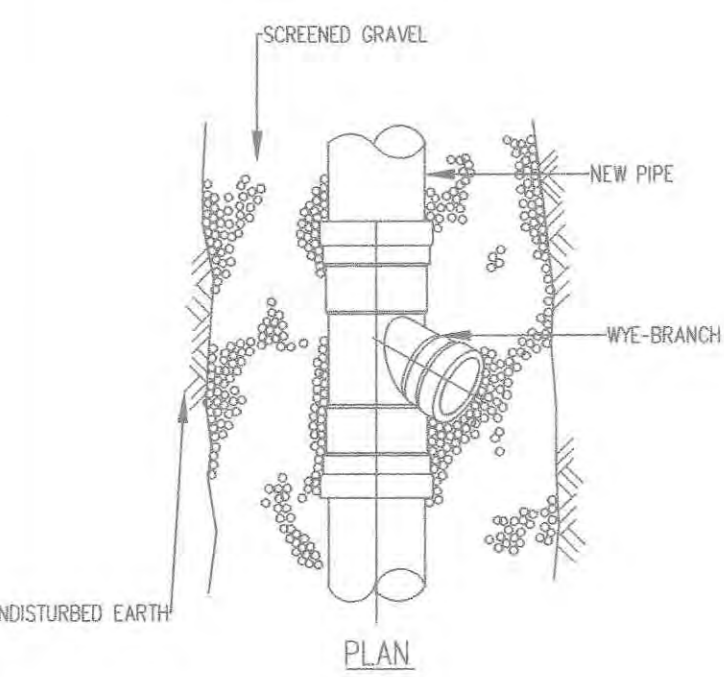
SHEET
5 of 6



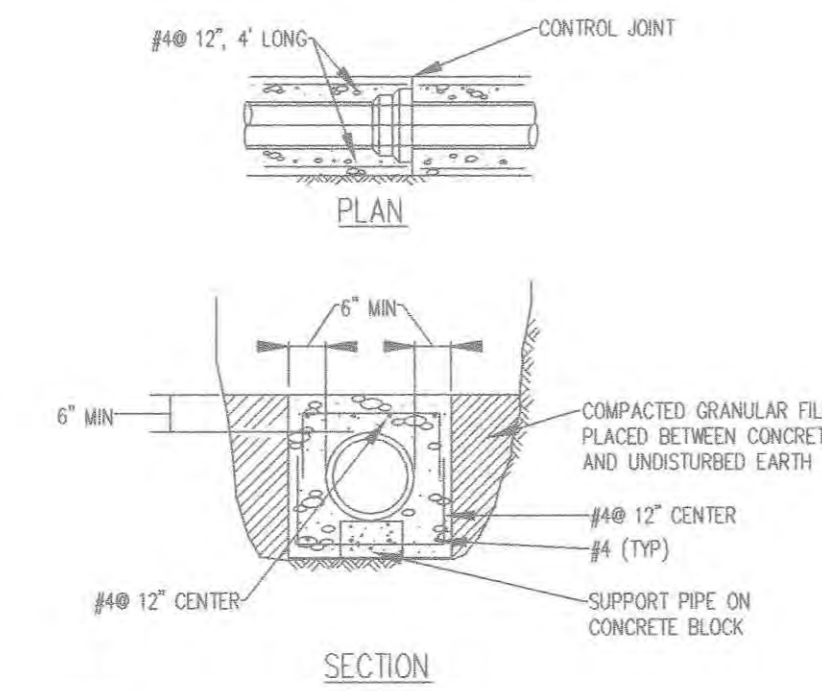
CATCH BASIN FILTER
NTS



UTILITY CROSSING DETAIL
NTS

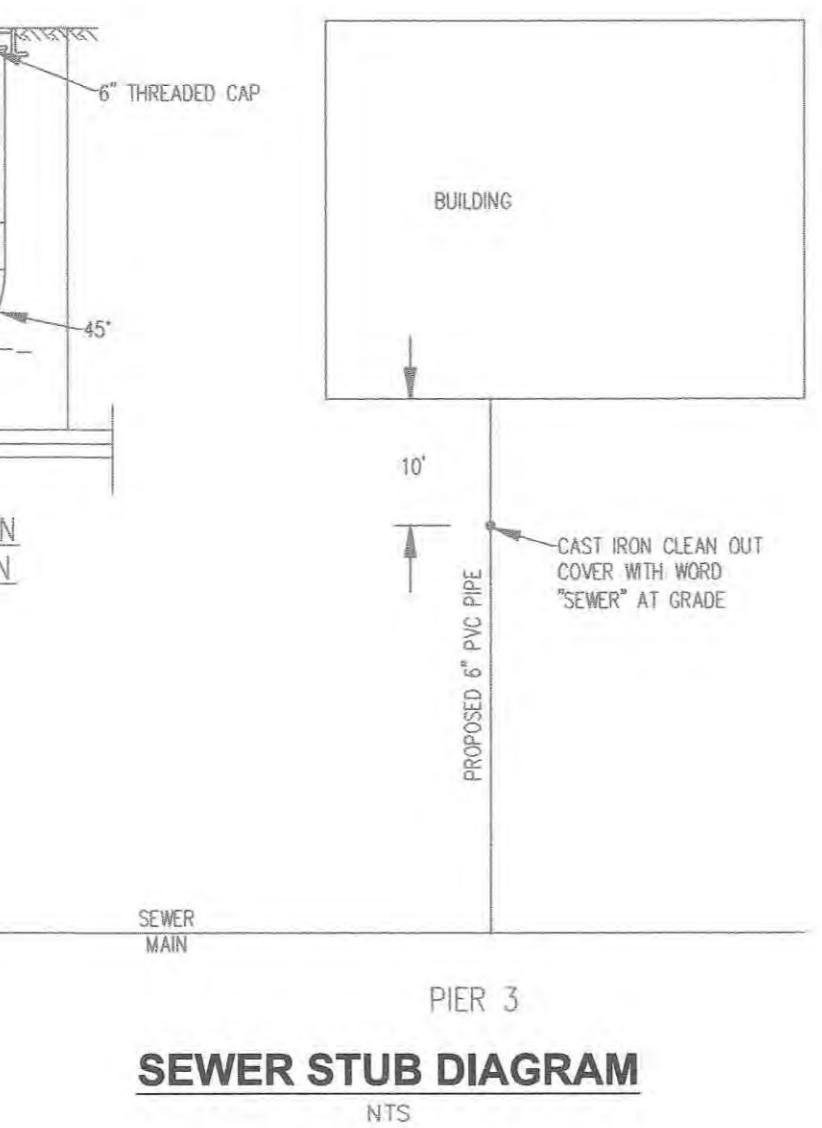


PVC WYE-BRANCH
NTS

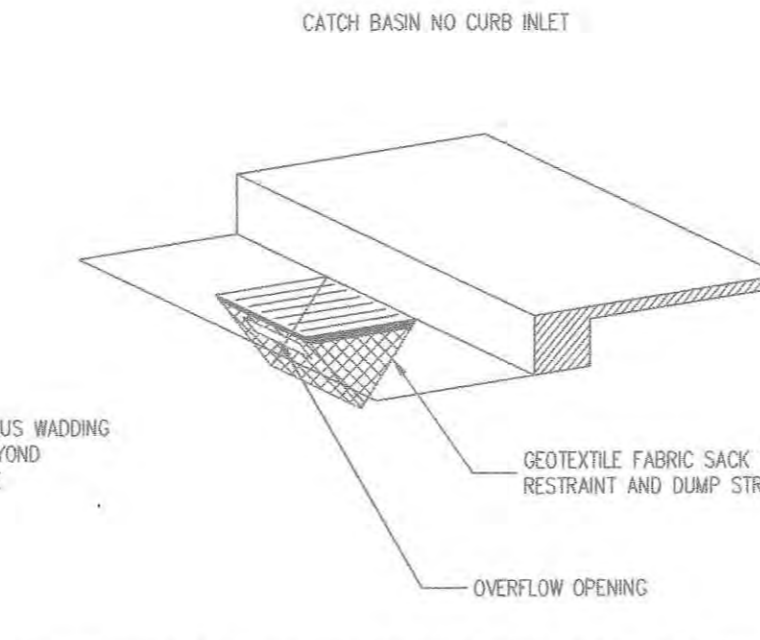
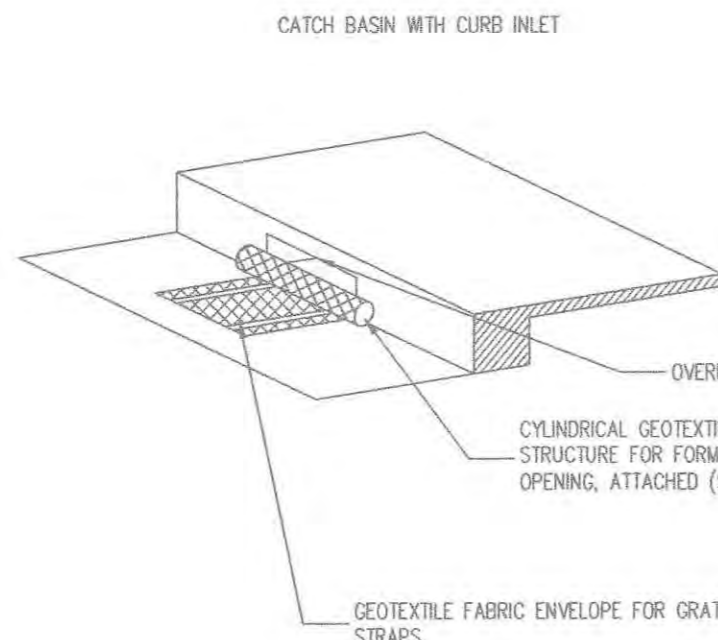


CONCRETE PIPE ENCASEMENT DETAIL
NTS

NOTES:
1. CONTROL JOINTS AND PIPE JOINTS FOR ARCHES AND ENCASEMENT SHALL CONFORM FOR SPACING. MAX. DISTANCE BETWEEN CONTROL JOINTS SHALL BE 24'.
2. REINFORCING STEEL TO BE USED ONLY WHEN DEPTH OF COVER TO TOP OF SURFACE OF CONCRETE IS 5'-0" OR LESS.

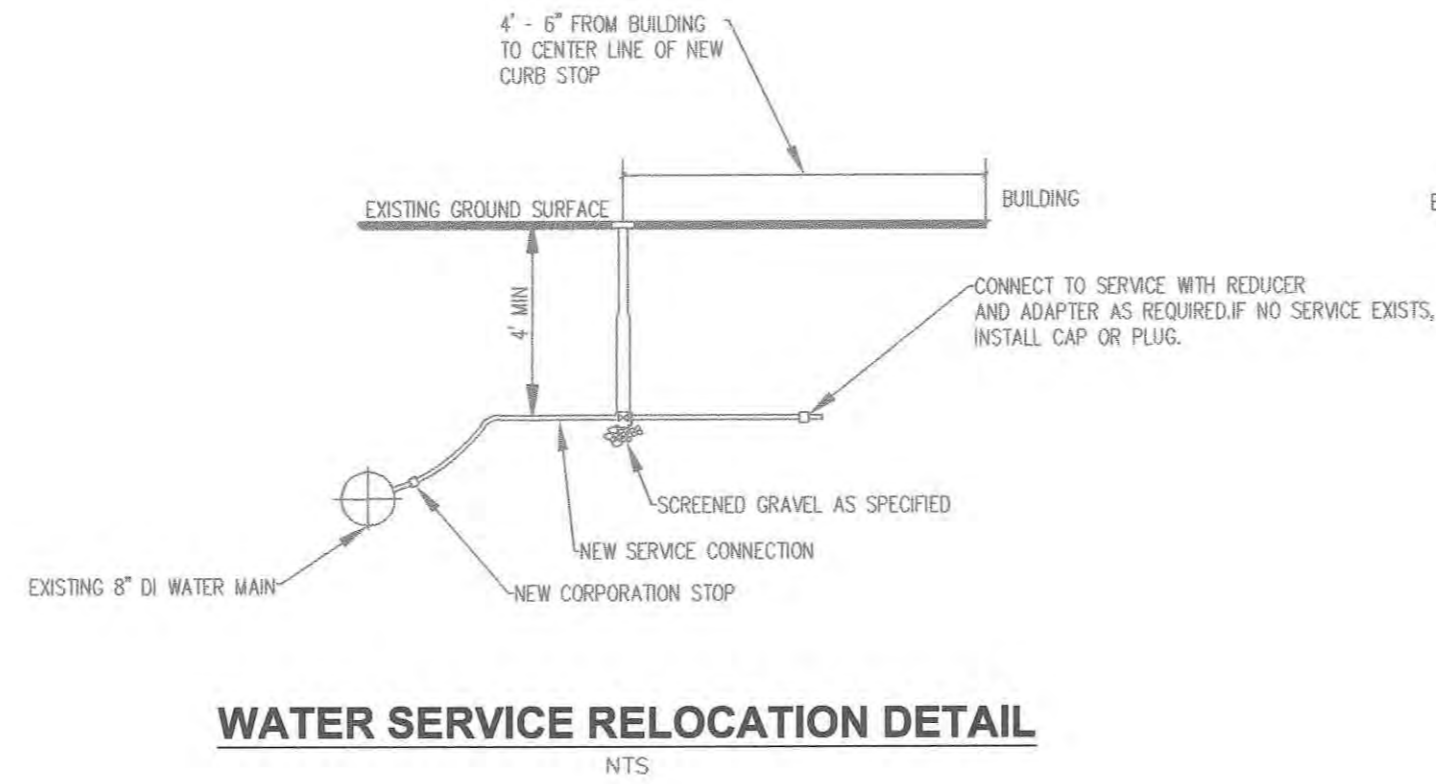
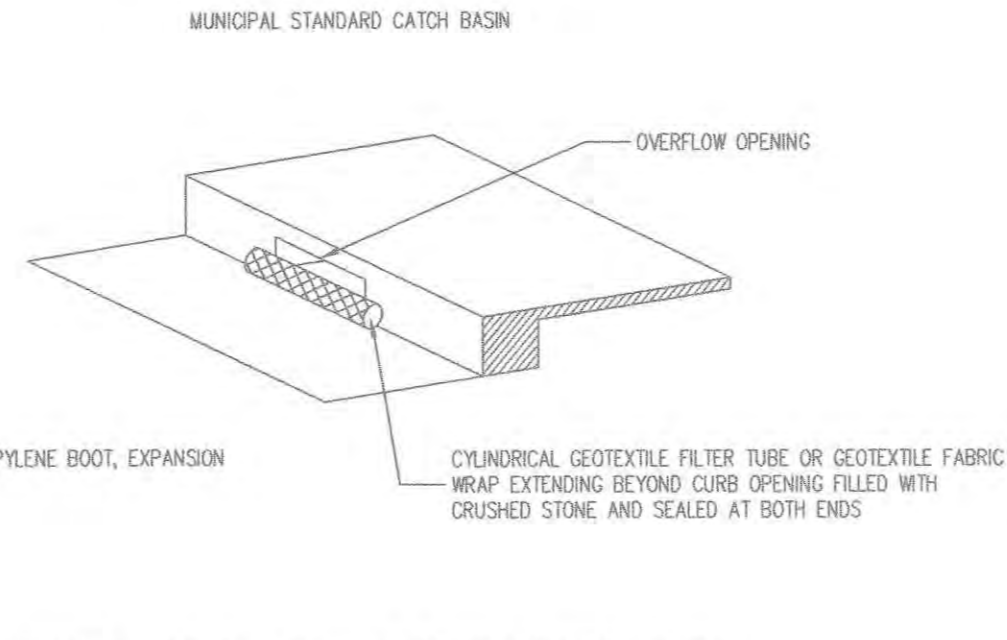


SEWER STUB DIAGRAM
NTS

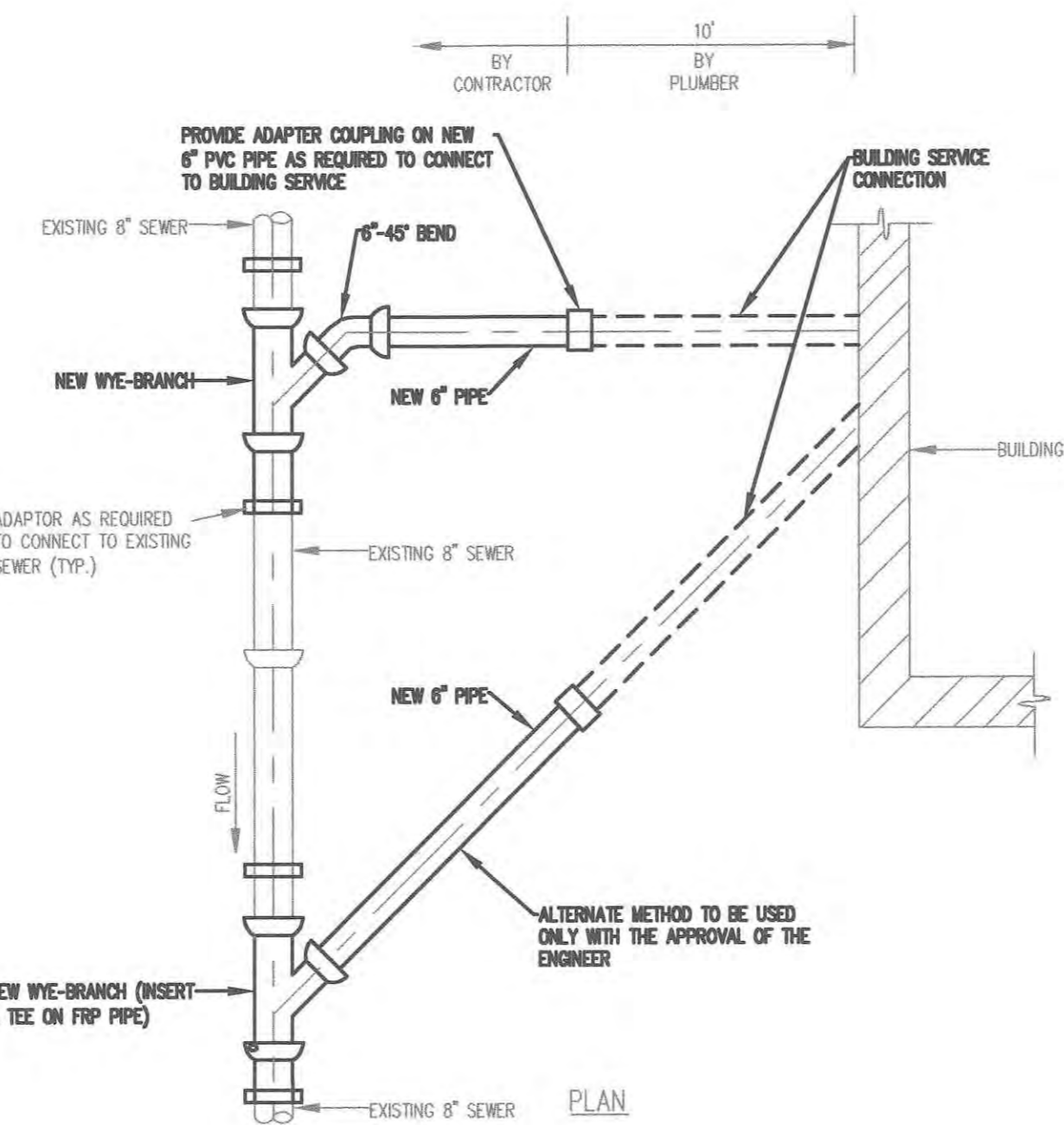


STORM DRAIN INLET PROTECTION
NTS

NOTE: GEOTEXTILE FABRIC USED SHALL CONFORM TO REQUIREMENTS OF AASHTO M288 FOR THE INTENDED APPLICATION. SEDIMENT SHALL BE REMOVED ONCE DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT. REFER TO SPECIFICATIONS.

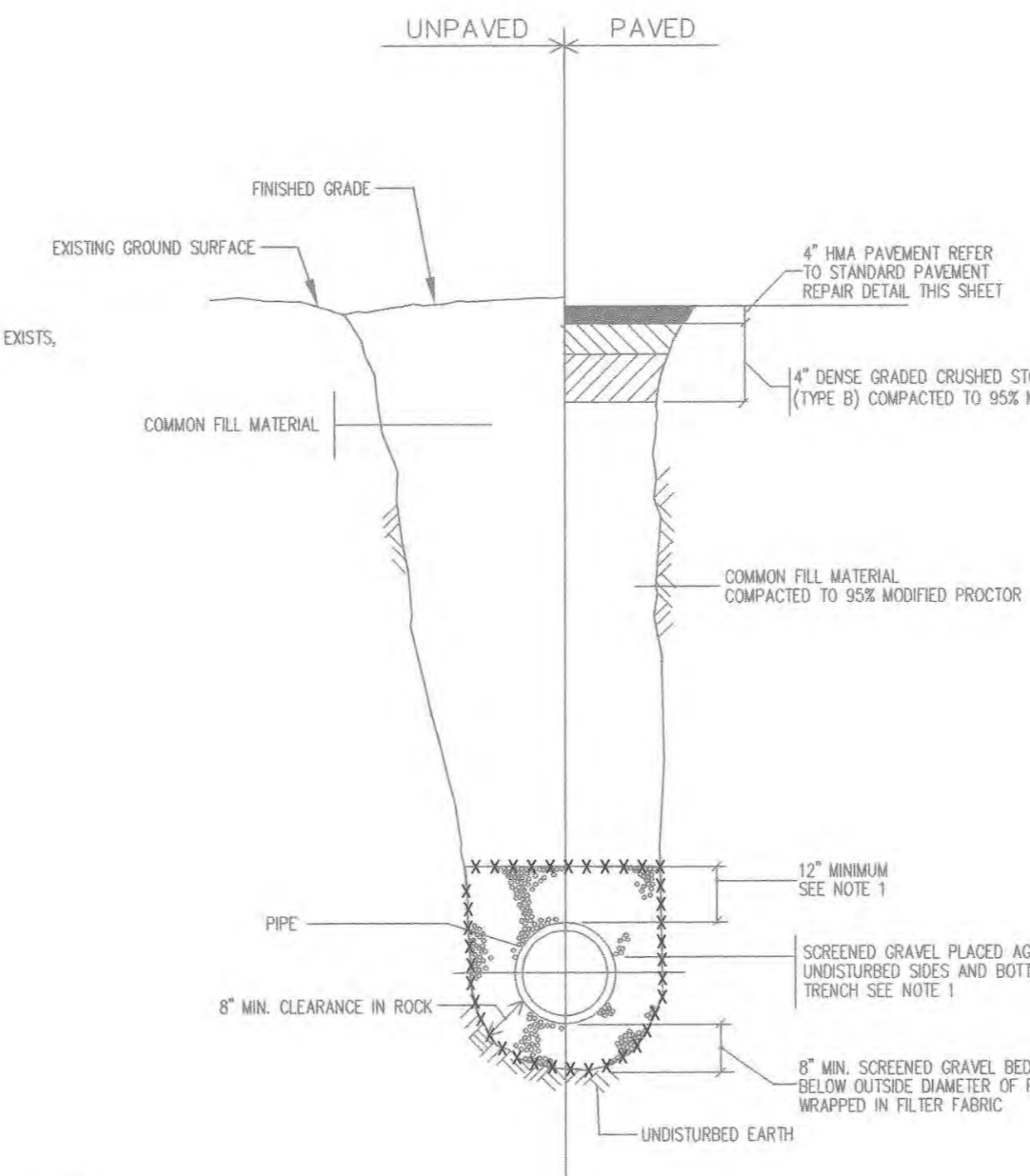


WATER SERVICE RELOCATION DETAIL
NTS



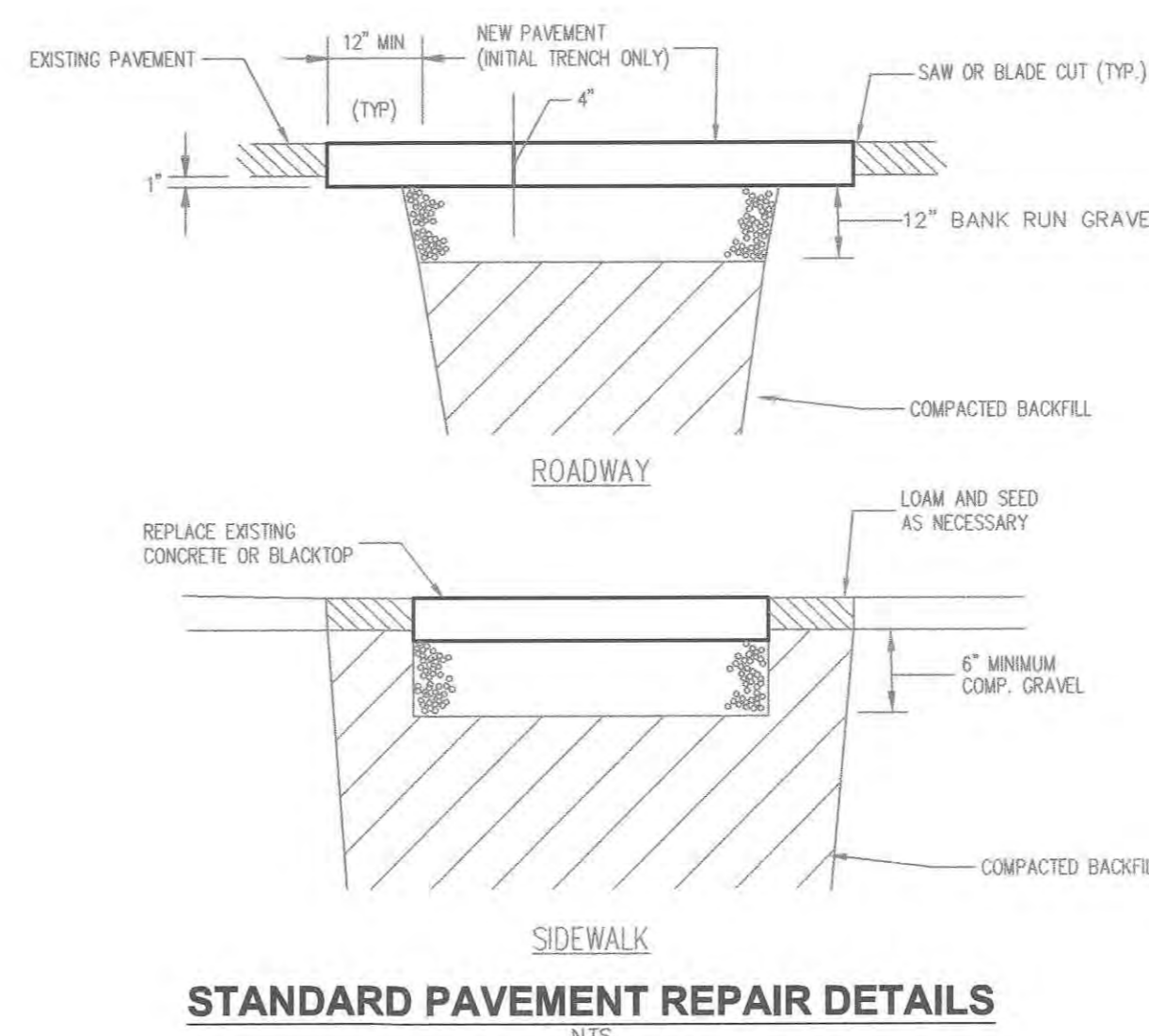
SEWER SERVICE CONNECTION
NTS

NOTE: REFER TO SEWER STUB DIAGRAM THIS SHEET FOR LOCATION OF SEWER CLEAN OUT.

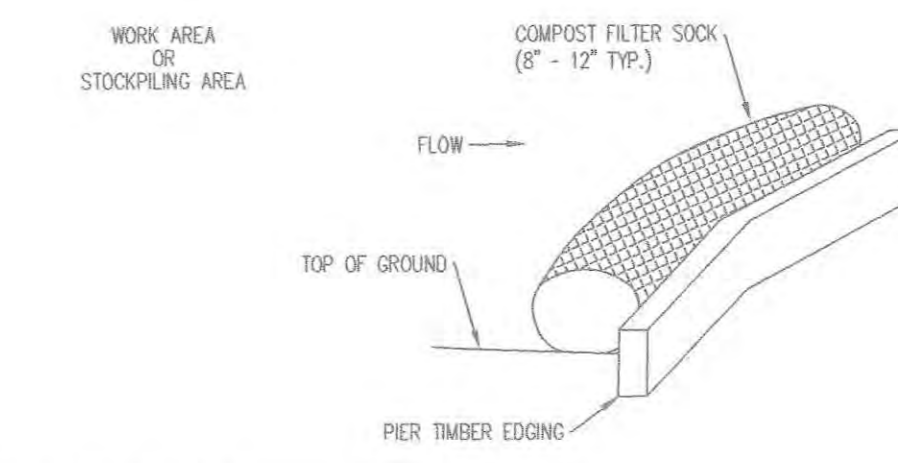


TYPICAL TRENCH DETAIL
NTS

NOTES:
1. FOR PIPES OTHER THAN P.V.C., SELECT COMMON FILL MAY BE USED FROM MID-DIAMETER OF PIPE TO 12" ABOVE TOP OF GRADE.
2. TRENCHES LOCATED ON THE ROAD SHOULDER SHALL BE TREATED THE SAME AS STREET EXCEPT FOR PAVING.
3. TRENCHES LOCATED ON THE SIDEWALKS SHALL BE TREATED THE SAME AS STREET.

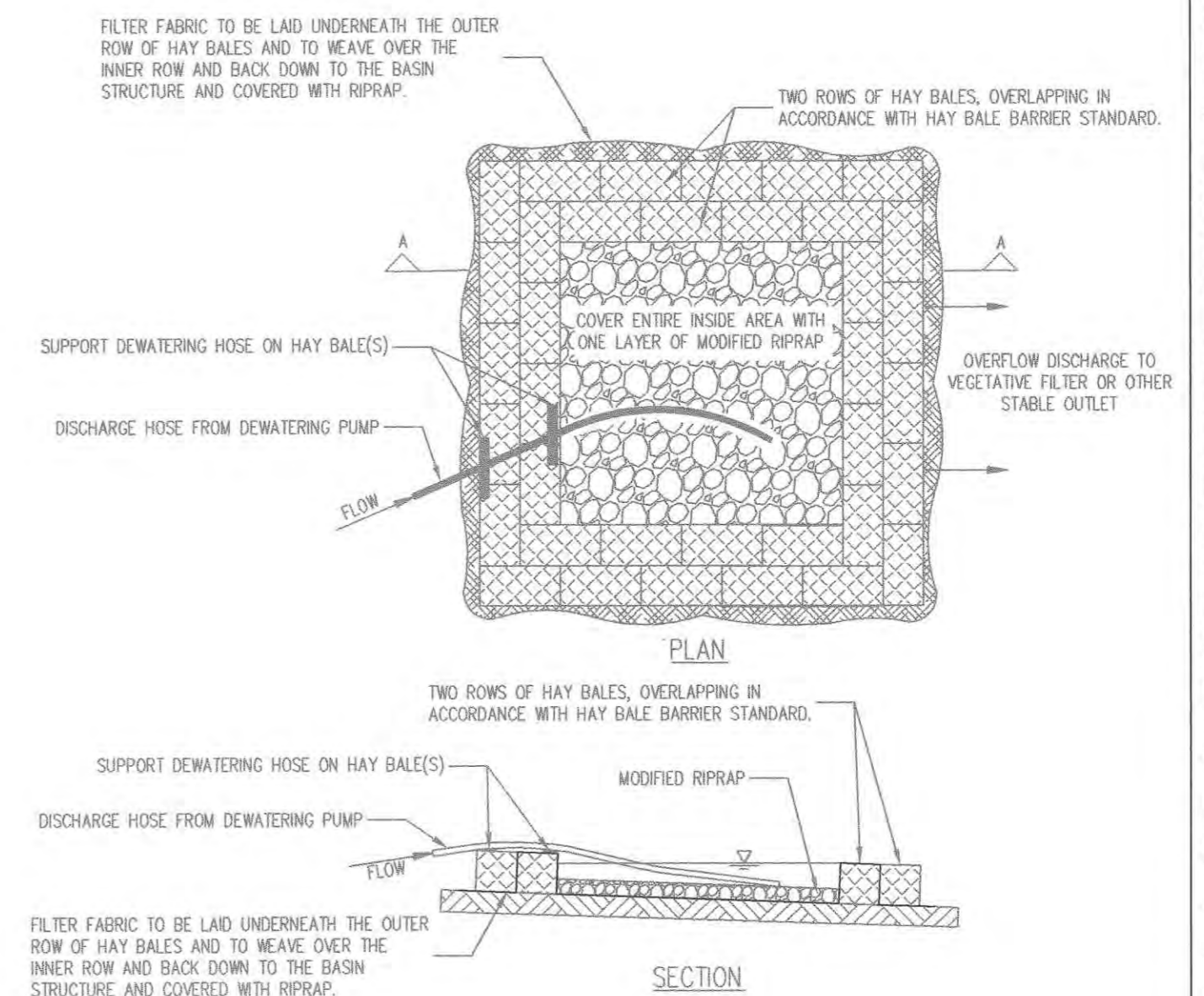


STANDARD PAVEMENT REPAIR DETAILS
NTS



COMPOST FILTER SOCK FOR EROSION CONTROL
NTS

NOTES:
1. COMPOST FILTER SOCK SHALL BE FASTENED SECURELY TO PIER. FASTENERS WILL BE SPACED EVERY 10 FEET.
2. WHEN TWO SECTIONS OF COMPOST FILTER SOCK ADJOIN EACH OTHER THEY SHALL BE LAD ACCORDING TO MANUFACTURERS RECOMMENDATIONS.
3. INSPECTIONS SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
4. COMPOST FILTER SOCK AND ALL FASTENERS WILL BE REMOVED FROM SITE AT THE COMPLETION OF THE WORK.



TYPE 1 PUMPING SETTLING BASIN
NTS

NOTES:
1. USE ONLY ON RELATIVELY FLAT GRADES.
2. DIMENSIONS VARY ACCORDING TO PUMPING RATES. MINIMUM STORAGE REQUIRED IS CALCULATED FROM TOP OF LOWEST BALE.
3. REQUIRED STORAGE (CUFT) = PUMP DISCHARGE RATE (GPM) X 16

