



MAYOR
JON MITCHELL

City of New Bedford Conservation Commission • Department of Environmental Stewardship

133 William Street • Room 304 • New Bedford, Massachusetts 02740

Telephone: (508) 991.6188

Conservation • Environmental Stewardship • Resilience

CITY OF NEW BEDFORD, MASSACHUSETTS

CONSERVATION COMMISSION 2022 FILING FEE CALCULATION WORKSHEET*

PROJECT LOCATION: _____

MAP(S) _____ LOT(S) _____

APPLICANT: _____

CONSERVATION COMMISSION APPLICATION TYPE:

- () REQUEST FOR DETERMINATION OF APPLICABILITY
- () NOTICE OF INTENT
- () AMENDED ORDER OF CONDITIONS
- () EXTENSION PERMIT
- () CERTIFICATE OF COMPLIANCE

(A) ALTERATION FEES:

Application and field review of a project proposed in a Wetland Resource Area or its Buffer Zone is \$200.00 plus the applicable alteration fee as follows:

	AMOUNT DUE:
• Application and Field Review Fee (\$200.00)	\$ <u>200.00</u> N/A City Project
• \$0.50 X _____ SF Wetland Resource Area Fee shall not exceed \$2000.00 per project	\$ _____
• \$0.05 X _____ SF of Isolated Land Subject to Flooding, Bordering Land Subject to Flooding or Land Subject to Coastal Storm Flowage Fee shall not exceed \$500.00	\$ _____
• \$0.50 X _____ SF of altered 25' Riverfront Area Fee shall not exceed \$1,500.00	\$ _____
• \$1.00 X _____ SF of undeveloped 25' Riverfront Area Fee shall not exceed \$2000.00	\$ _____
• \$5.00 X _____ LF of Coastal or Inland Bank Fee shall not exceed \$750.00	\$ _____



- \$0.10 X _____ SF of Buffer Zone altered \$ _____
Fee shall not exceed \$6,500.00
- \$10.00 X _____ LF of dock \$ _____
- \$10.00 X _____ acres of aquaculture \$ _____

(B) EXTENSION OF AN ORDER OF CONDITIONS:

- Single family dwelling, or minor project (house addition, in ground pool dock etc.) = \$200.00 \$ _____
- Subdivision, commercial or industrial project = \$400.00 \$ _____

(C) AMENDING A PERMIT

- Single family dwelling or minor project (house addition, in ground pool dock etc.) = \$200.00 + new alteration fee – refer to (A) above \$ _____
- Subdivision, commercial or industrial project = \$500.00 + new alteration fee – refer to (A) above \$ _____

(D) WETLAND DELINEATION VERIFICATION (with or without proposed alteration)

- ½ acre or less
- ½ acre to 2 acres = \$500.00 (\$100/acre thereafter) not to exceed \$3,500 \$ _____

(E) LEGAL AD FEE (fee set by local newspaper, subject to market price) \$ 250.00

(F) CERTIFICATES OF COMPLIANCE

- One new house = \$250.00 \$ _____
- One activity at an existing house = \$150.00 \$ _____
- Residential or Commercial docks = \$200.00 \$ _____
- Commercial & Industrial Facilities = \$1,500.00 \$ _____
- New Roadways & Associated Stormwater Mgt. Systems = \$1,500.00 \$ _____

Partial Certificates of Compliance have the same fee as a Certificate of Compliance, But you only pay the fee once (you do not pay double to obtain a full Certificate of Compliance).

(G) AFTER THE FACT FILING FEE

- Notice of Intent or Amended Order of Conditions = \$500.00 \$ _____
- Request for a Determination of Applicability = \$250.00 \$ _____

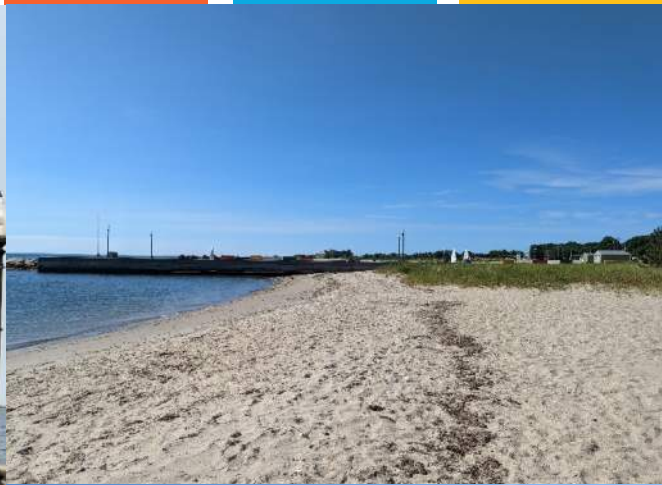
TOTAL AMOUNT DUE: \$ _____

Notes:

*Please refer to the Conservation Commission fee schedule – dated 02/2020

Please make check or Money Order payable to the City of New Bedford
Cash is not accepted.





Geotechnical Investigation
Monkey Island Pier
New Bedford, Massachusetts

REQUEST FOR DETERMINATION OF APPLICABILITY

Prepared for:
City of New Bedford

August 2022

N-1011-007-03
August 23, 2022

Mr. Chancery Perks
Conservation Agent
Conservation Department
133 William Street
Room 304
New Bedford, MA 02740

Re: **Request for Determination of Applicability
Monkey Island Pier Geotechnical Investigation
East Rodney French Boulevard, New Bedford, MA**

Dear Agent Perks and Members of the Commission:

On behalf of the City of New Bedford ("the City"), Tighe & Bond respectfully submits this Request for Determination of Applicability (RDA) for geotechnical investigations in support of the design for the proposed Monkey Island Pier Improvements Project. The geotechnical investigation entails the drilling of four borings on the pier, located adjacent to the intersection of East Rodney French Boulevard and Nina Street in New Bedford, Massachusetts.

The proposed borings will be undertaken to obtain information in support of the design of improvements to the Monkey Island Pier. The borings will be advanced within the existing pier structure, accessed from East Rodney French Boulevard.

This RDA is being filed as the proposed work will occur within Land Subject to Coastal Storm Flowage (LSCSF) and the 100-ft Buffer Zone to Coastal Beach and Coastal Dune. These areas are regulated under the Massachusetts Wetlands Protection Act (WPA; M.G.L. c. 131 §40) and the City of New Bedford Wetlands Protection Ordinance (Article VII).

The proposed work is temporary in nature within the existing pier structure and with no anticipated impacts to the surrounding resource areas. Tighe & Bond respectfully requests that the New Bedford Conservation Commission make a Negative Determination, confirming that a Notice of Intent (NOI) will not be required for the proposed work to proceed.

The RDA Application includes the following items:

- Attachment A – WPA Form 1
- Attachment B – Wetland Delineation Memo
- Attachment C – Figures
- Attachment D – Project Drawings
- Attachment E – Abutter Information

The following text discusses the project's proposed activities and wetland resource areas.

Project Description & Proposed Activities

The Monkey Island Pier is located on the east side of the intersection of East Rodney French Boulevard and Nina Street in New Bedford, Massachusetts (41.600389; -70.902212). The pier, owned by the City of New Bedford, is approximately 64 feet wide and 330 feet long with a 250-foot stone groin extending beyond the end of the pier.

The Monkey Island Pier has been a landmark feature in the City of New Bedford for close to 100 years. Interior sections of the pier have experienced some areas of settlement, and the pier is in need of additional assessment and improvements related to the support structure, granite stone face, revetment, and potentially the concrete cap. The City plans to rehabilitate the pier before it needs more substantial investment or replacement. Recommended improvements will incorporate planning for wave action, potential sea level rise and increased storms, rehabilitating the existing structure, and revitalizing the area by adding more landscaping and visually appealing components without significantly increasing the height of the pier.

Geotechnical soil borings must be completed at the project site in order to support the planning and design of the pier improvements.

Wetland Resource Areas

Wetland resource areas on the Project site were delineated in July 2022 by Tighe & Bond wetland scientists. A copy of the resource area delineation memorandum is provided in Attachment B and provides a description of resource areas at or near the site. Delineated resources areas associated with the proposed activities include Coastal Beach, Coastal Dune, and Land Subject to Coastal Storm Flowage (LSCSF). Land Containing Shellfish, Priority Habitats of Rare Species, and Estimated Habitats of Rare Species were also confirmed to exist near the project area through a desktop review.

Proposed Work within the Jurisdiction of MA WPA and New Bedford Conservation Commission

A portion of the proposed rehabilitation work will occur within Land Subject to Coastal Storm Flowage (LSCSF) and the 100-foot Buffer Zone of Coastal Beach and Coastal Dune. As depicted on Sheet C-101 in Attachment B, activities within LSCSF and the 100-foot Buffer Zone include drilling of four borings.

Under the Massachusetts Wetlands Protection Act (WPA, M.G.L. c. 131 §40) and regulations (310 CMR 10.00), these proposed minor activities meet the MA WPA exemption at 310 CMR 10.02(2)(b)2g:

"Activities that are temporary in nature, have negligible impacts, and are necessary for planning and design purposes (e.g., installation of monitoring wells, exploratory borings, sediment sampling and surveying and percolation tests for septic systems provided that resource areas are not crossed for site access)"

Additionally, in accordance with 310 CMR 10.02(2)(b)1, the work will be performed in a manner that will reduce the potential for any adverse impacts to wetland resource areas during construction, and with post-construction measures implemented to stabilize any disturbed areas.

The WPA exemption does not apply to work within LSCSF. Therefore, the City is seeking a Negative Determination for the proposed activities within LSCSF.

Based on the information provided above, we respectfully request that the Conservation Commission issue the following Negative Determination under the WPA and New Bedford Wetlands Protection Ordinance, concluding that a Notice of Intent is not required:

- 1) A Negative 2 Determination for work in Land Subject to Coastal Storm Flowage and 100-foot Buffer Zone to Coastal Beach and Coastal Dune, indicating that work described in the Request is within an area subject to protection under the WPA, but will not remove, fill, dredge, or alter that area.

Summary

We trust these materials are sufficient for the Commission to issue a Negative 2 Determination for the geotechnical soil borings in support of the Monkey Island Pier Improvement Project. Therefore, submittal of a Notice of Intent will not be required for the project.

Per the New Bedford Wetlands Ordinance Article VII, abutters within 100 feet of the subject parcel will be notified of this RDA submittal. Abutter information is provided in Attachment E.

We look forward to having the opportunity to discuss this Request with the Commission at the September 6, 2022 meeting. Should you have any questions or require any additional information, please contact Dennis Moran, PE at 603-361-1492 / DGMoran@tighebond.com or me at 508-572-5214 / imead@tighebond.com.

Very truly yours,
TIGHE & BOND, INC.



Ian W. Mead, PE, BCEE
Vice President

Copy: MassDEP SERO
Shawn Syde, PE, City Engineer, City of New Bedford (*via electronic copy*)

ATTACHMENT A

WPA FORM 1



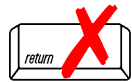
WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

A. General Information

Important:

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



1. Applicant:

City of New Bedford c/o Shawn Syde Name	shawn.syde@newbedford-ma.gov E-Mail Address	
1105 Shawmut Avenue Mailing Address		
New Bedford City/Town	MA State	02746 Zip Code
(508) 979-1550 Phone Number	(508) 961-3054 Fax Number (if applicable)	

2. Representative (if any):

Tighe & Bond Firm		
Dennis Moran, PE Contact Name	DGMoran@TigheBond.com E-Mail Address	
177 Corporate Drive Mailing Address		
Portsmouth City/Town	NH State	03801 Zip Code
(603) 361-1492 Phone Number	(603) 433-8988 Fax Number (if applicable)	

B. Determinations

1. I request the New Bedford _____ make the following determination(s). Check any that apply:
Conservation Commission

- a. whether the **area** depicted on plan(s) and/or map(s) referenced below is an area subject to jurisdiction of the Wetlands Protection Act.
- b. whether the **boundaries** of resource area(s) depicted on plan(s) and/or map(s) referenced below are accurately delineated.
- c. whether the **work** depicted on plan(s) referenced below is subject to the Wetlands Protection Act.
- d. whether the area and/or work depicted on plan(s) referenced below is subject to the jurisdiction of any **municipal wetlands ordinance** or **bylaw** of:

City of New Bedford
Name of Municipality

- e. whether the following **scope of alternatives** is adequate for work in the Riverfront Area as depicted on referenced plan(s).



WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

C. Project Description

1. a. Project Location (use maps and plans to identify the location of the area subject to this request):

<u>Monkey Island Pier</u>	<u>New Bedford</u>
Street Address	City/Town
<u>N/A</u>	<u>N/A</u>
Assessors Map/Plat Number	Parcel/Lot Number

- b. Area Description (use additional paper, if necessary):

The Monkey Island Pier is a city-owned pier located to the east of the intersestion of East Rodney French Boulevard and Nina Street (41.600389, -70.902212). The pier bisects East Beach and extends into New Bedford Harbor.

- c. Plan and/or Map Reference(s):

<u>Attachment C: Figures 1-3</u>	<u>July 2022</u>
Title	Date
<u>Attachment D: Project Drawings</u>	<u>July 2022</u>
Title	Date
<u> </u>	<u> </u>
Title	Date

2. a. Work Description (use additional paper and/or provide plan(s) of work, if necessary):

The proposed projects consists of performing soil borings at four locations on the Monkey Island Pier. These borings will provide geotechincal information to support the planing and design of the proposed Monkey Island Pier Improvement Project. Please refer to the attached cover letter for additional details.



WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

C. Project Description (cont.)

b. Identify provisions of the Wetlands Protection Act or regulations which may exempt the applicant from having to file a Notice of Intent for all or part of the described work (use additional paper, if necessary).

310 CMR 10.02(2)(b)(2)(g). "activities that are temporary in nature, having negligible impacts, and are necessary for planning and design purposes (e.g., installation of monitoring wells, exploratory borings, sediment sampling and surveying and percolatoin tests for septic systems provided that resource areas are not crossed for site access)"

3. a. If this application is a Request for Determination of Scope of Alternatives for work in the Riverfront Area, indicate the one classification below that best describes the project.

- Single family house on a lot recorded on or before 8/1/96
- Single family house on a lot recorded after 8/1/96
- Expansion of an existing structure on a lot recorded after 8/1/96
- Project, other than a single-family house or public project, where the applicant owned the lot before 8/7/96
- New agriculture or aquaculture project
- Public project where funds were appropriated prior to 8/7/96
- Project on a lot shown on an approved, definitive subdivision plan where there is a recorded deed restriction limiting total alteration of the Riverfront Area for the entire subdivision
- Residential subdivision; institutional, industrial, or commercial project
- Municipal project
- District, county, state, or federal government project
- Project required to evaluate off-site alternatives in more than one municipality in an Environmental Impact Report under MEPA or in an alternatives analysis pursuant to an application for a 404 permit from the U.S. Army Corps of Engineers or 401 Water Quality Certification from the Department of Environmental Protection.

b. Provide evidence (e.g., record of date subdivision lot was recorded) supporting the classification above (use additional paper and/or attach appropriate documents, if necessary.)



WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

D. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Request for Determination of Applicability and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge.

I further certify that the property owner, if different from the applicant, and the appropriate DEP Regional Office were sent a complete copy of this Request (including all appropriate documentation) simultaneously with the submittal of this Request to the Conservation Commission.

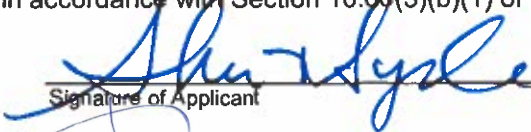

Failure by the applicant to send copies in a timely manner may result in dismissal of the Request for Determination of Applicability.

Name and address of the property owner:

<u>City of New Bedford</u>	
Name	
<u>133 William Street</u>	
Mailing Address	
<u>New Bedford</u>	
City/Town	
<u>Massachusetts</u>	<u>02740</u>
State	Zip Code

Signatures:

I also understand that notification of this Request will be placed in a local newspaper at my expense in accordance with Section 10.05(3)(b)(1) of the Wetlands Protection Act regulations.

	<u>8-24-2022</u>
Signature of Applicant	Date
	<u>8-24-2022</u>
Signature of Representative (if any)	Date

ATTACHMENT B

WETLAND DELINEATION MEMO

Monkey Island Pier Resource Area Delineation Report

East Rodney French Boulevard at Nina Street, New Bedford, MA

TO: Dennis Moran, PE
FROM: Peter Backhaus, PhD, WPIT
DATE: August 8, 2022

On July 27, 2022, Tighe & Bond conducted wetland resource area investigations of the Monkey Island Pier located at the intersection of East Rodney French Boulevard and Nina Street, in New Bedford, Massachusetts.

Methods

Wetlands were delineated in accordance with the procedures outlined in the Massachusetts Department of Environmental Protection (MassDEP) guidelines and 310 CMR 10.00, as well as the *U.S. Army Corps of Engineers Wetlands Delineation Manual*, Technical Report Y-87-1 (January 1987), the *Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region* (January 2012), *Applying the Massachusetts Coastal Wetlands Regulations* (August 2017), and City of New Bedford Wetlands Ordinance (Article VII). Locations of wetland boundaries were GPS surveyed using ArcGIS Collector and a sub-meter Trimble R1 unit.

Jurisdictional Area Descriptions

Three jurisdictional wetland resource areas were delineated within the boundaries of the investigation area, including two Coastal Beaches (Photographs 1, 3, 4-6) and a Coastal Dune (Photographs 1-3). The site also contains a jurisdictional floodzone, Land Subject to Coastal Storm Flowage (LSCSF). A summary of the associated flag series for these resource areas is presented below in Table 1-1.

TABLE 1-1
Summary of Wetland Delineation Flag Series

Flag Series	Flag Numbers	Resource Area Borders
1A	1A-1 → 1A-10	Landward Edge of Coastal Beach / Toe of Coastal Dune
1B	1B-1 → 1B-6	Landward Edge of Coastal Dune
1C	1C-6 → 1C-14	Coastal Beach

East Beach (Coastal Beach)

East Beach is a regulated Coastal Beach abutting New Bedford Harbor. The Monkey Island Pier bisects East Beach into two distinct Coastal Beach resource areas.

To the north of the pier, the beach is composed of sand. It bordered by Coastal Dune on its landward edge and a jetty to the north of the investigation area. Wrack lines were visible at the high tide line and at the interface of the beach and dune.

To the south of the pier, the beach is composed of sand and is confined by a seawall on its inland edge. The beach is regularly raked and its higher elevation suggests imports of sand. The beach continues south beyond the investigation area.

Coastal Dune

A coastal dune was present on the north side of the pier on the inland edge of the aforementioned Coastal Beach. It is bordered on its inland side by a maintained lawn, and continues to the north beyond the investigation area. Dominant vegetation observed included, but was not limited to American beachgrass (*Ammophila brevifluga*), seaside goldenrod (*Solidago sempervirens*), beach pea (*Lathyrus japonicus*), beach rose (*Rosa rugosa*), and pitch pine (*Pinus rigida*).

Land Subject to Coastal Storm Flowage (LSCSF)

The Federal Emergency Management Agency (FEMA) flood map (Panel No. 25005C0482G, effective July 15, 2014) was consulted to evaluate the presence of Land Subject to Coastal Storm Flowage. According to the FEMA Flood Insurance Rate Map (FIRM), the Project Area falls within Zone VE, a flood hazard area subject to flooding and/or inundation by the 100-year storm with wave velocity. The base flood elevations (BFE) within Zone VE are 22 to 24 feet. Therefore, the Project Area is regulated as LSCSF as it falls within the jurisdictional 100-year floodzone.

Land Containing Shellfish

Land Containing Shellfish is defined as land under the ocean, tidal flats, rocky intertidal shores, salt marshes and land under salt ponds when any such land contains shellfish (301 CMR 10.34). Within the Project Area, New Bedford Harbor is identified as a Shellfish Suitability Area for Bay Scallop and Quahog. Additionally, the harbor is identified as Conditional Approved Shellfish Growing Area. An informal assessment of living shellfish viability has not been completed to date at the Project Area.

Rare Species

The Massachusetts Natural Heritage and Endangered Species Program (NHESP) Atlas (15th edition, effective August 2021) was reviewed during the preparation of this memo. The Project Area may fall within Priority Habitats of Rare Species (PH 887) and Estimated Habitats of Rare Wildlife (EH 692) pending the spatial extent of the Project Area on the east end of the pier. If work extends roughly 50 feet or more onto the jetty, the Project Area will occur within Priority Habitats of Rare Species and Estimated Habitats of Rare Wildlife, and will require a MESA review.

Conclusions

Within the Project Area, three jurisdictional wetland resource areas were delineated, including two coastal beach resources areas of East Beach and an associated coastal dune. The investigation area also falls entirely within LSCSF. These areas are regulated under the Massachusetts Wetlands Protection Act (WPA).

According to the WPA and the City of New Bedford Wetlands Ordinance, Coastal Beaches, Coastal Dunes, and LSCSF are subject to the jurisdiction of the City of New Bedford Conservation Commission and any impacts to these areas or within 100 feet of them (i.e., 100-foot Buffer Zone) may need authorization from the Conservation Commission.

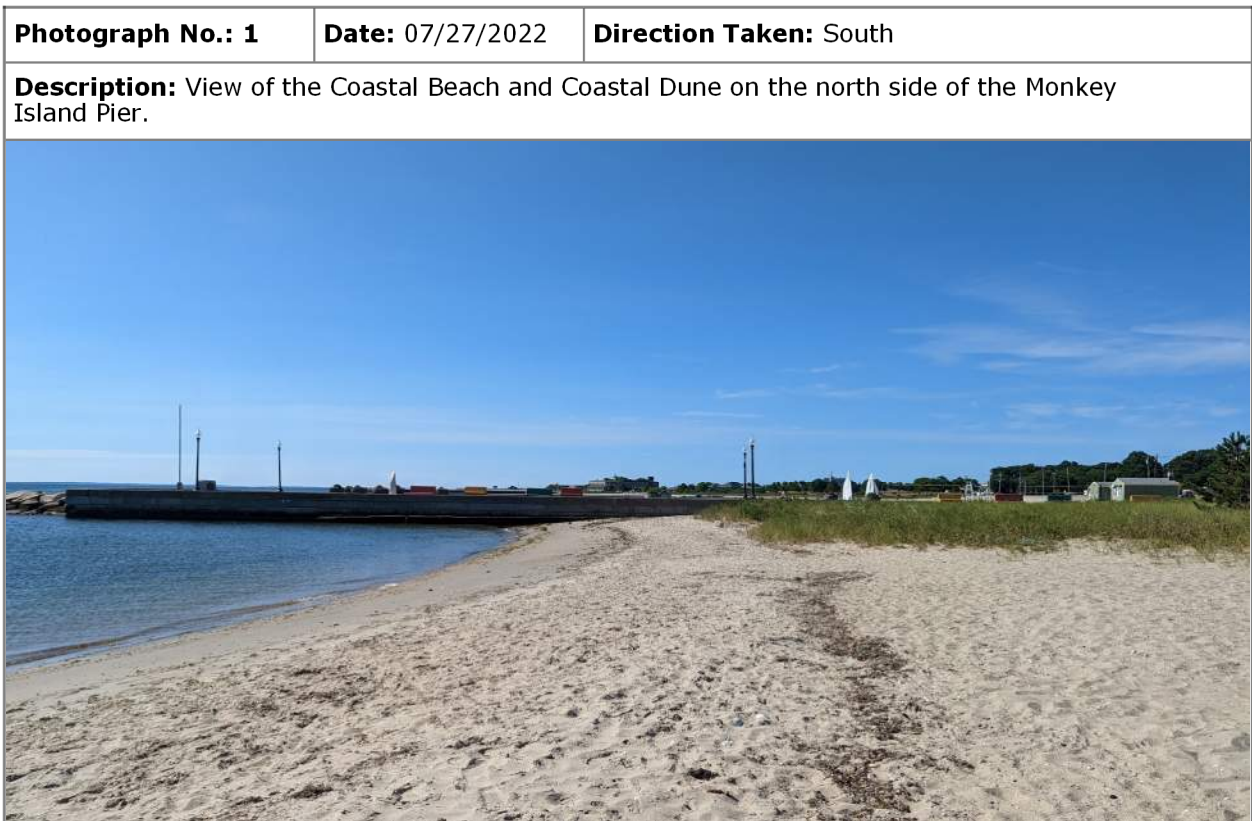
Dependent on the extent of the Project Area, further investigations may be required to determine potential impacts to Land Containing Shellfish and Estimated and Priority Habitats.

Photographic Log

Client: City of New Bedford

Job Number: N1011-007

Site: Monkey Island Pier, East Rodney French Boulevard, New Bedford, Massachusetts

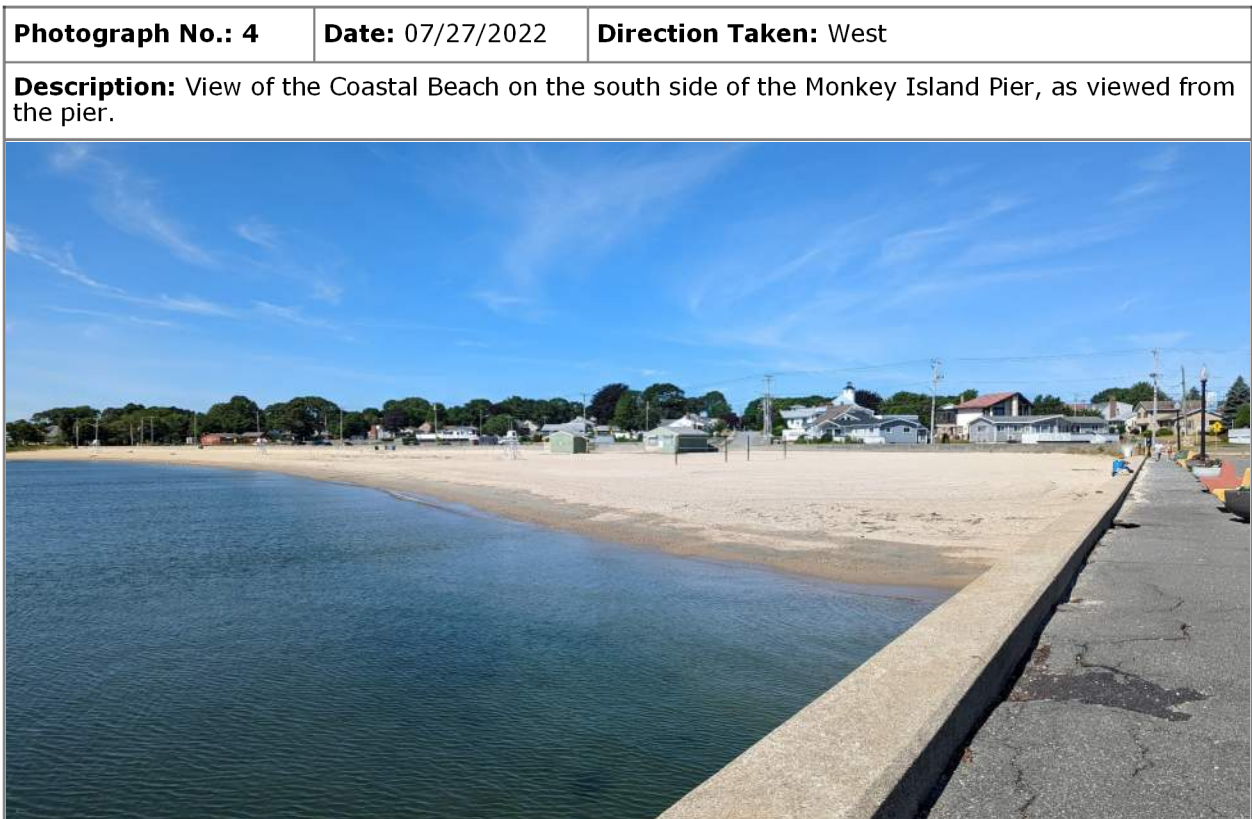
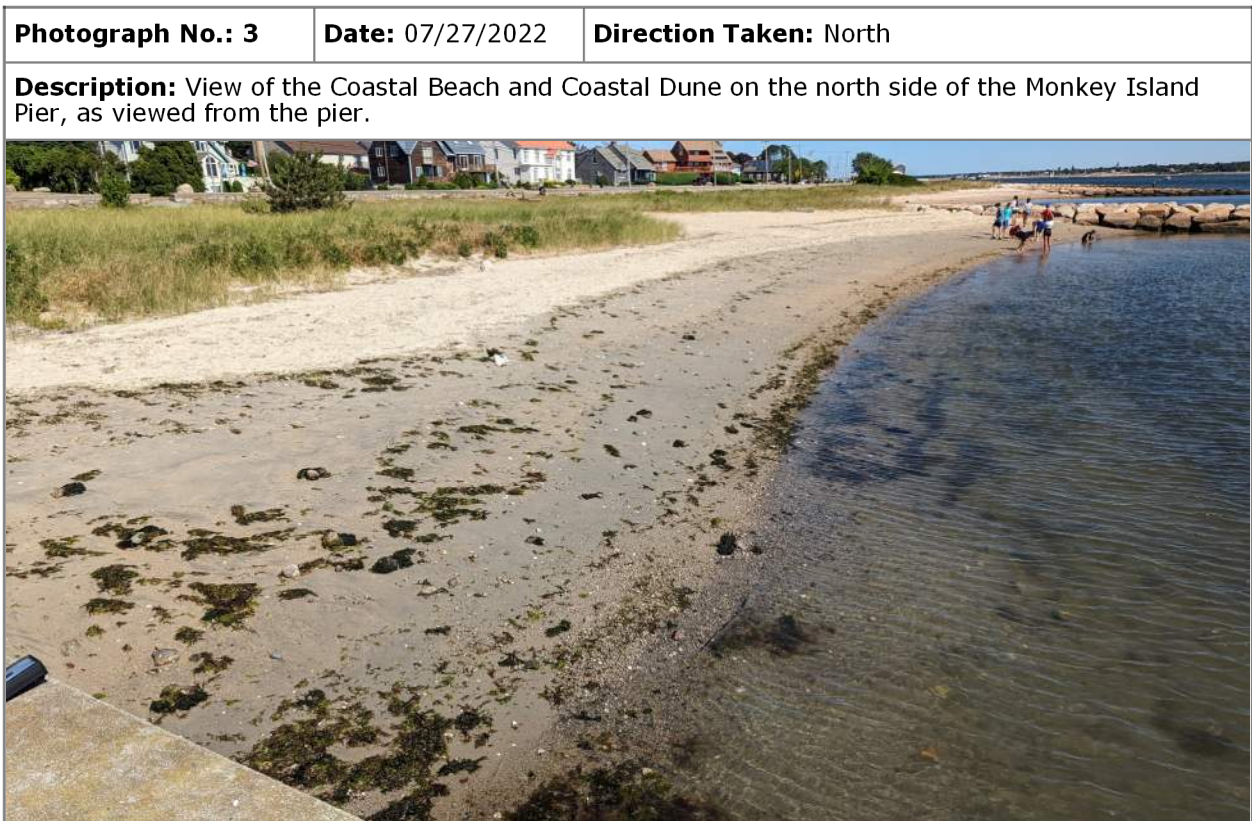


Photographic Log

Client: City of New Bedford

Job Number: N1011-007

Site: Monkey Island Pier, East Rodney French Boulevard, New Bedford, Massachusetts

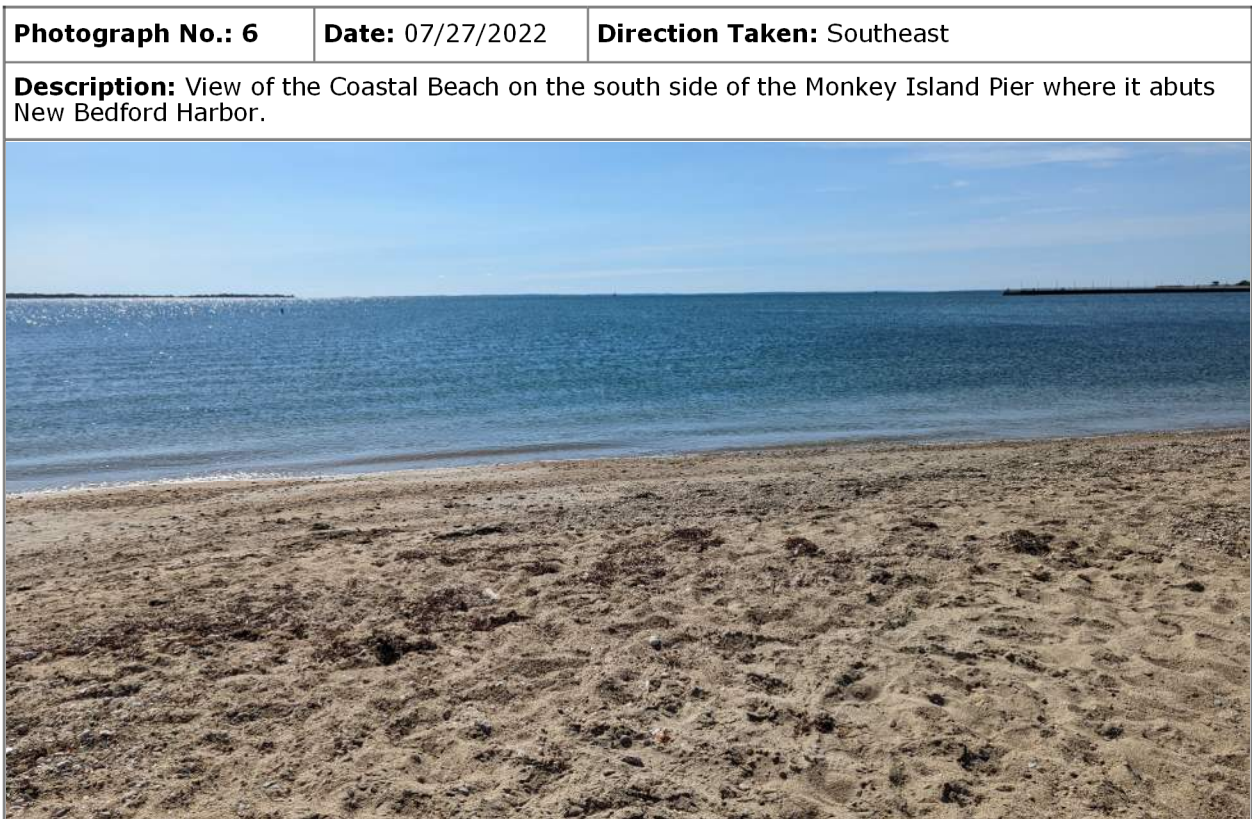
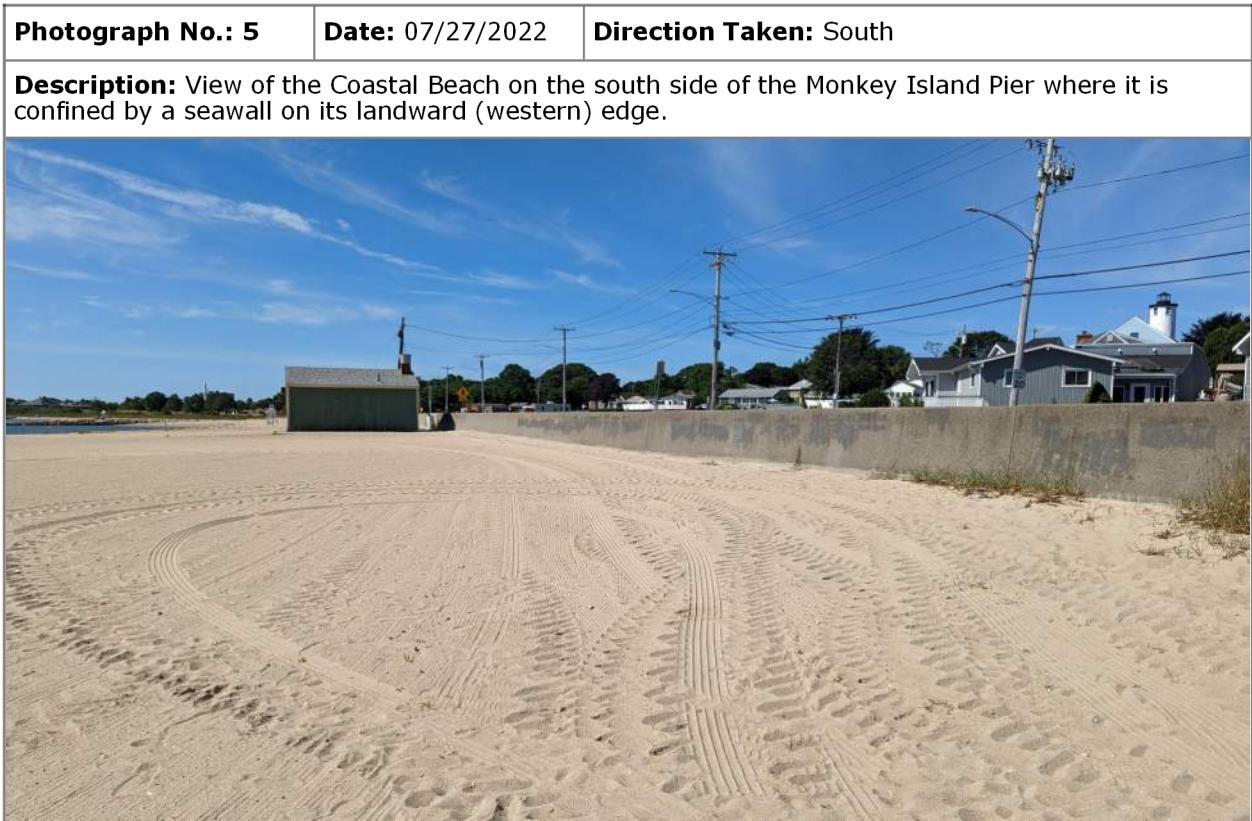


Photographic Log

Client: City of New Bedford

Job Number: N1011-007

Site: Monkey Island Pier, East Rodney French Boulevard, New Bedford, Massachusetts



ATTACHMENT C

FIGURES



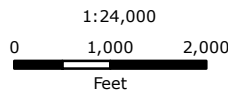
SITE LOCATION

**FIGURE 1
SITE LOCATION**

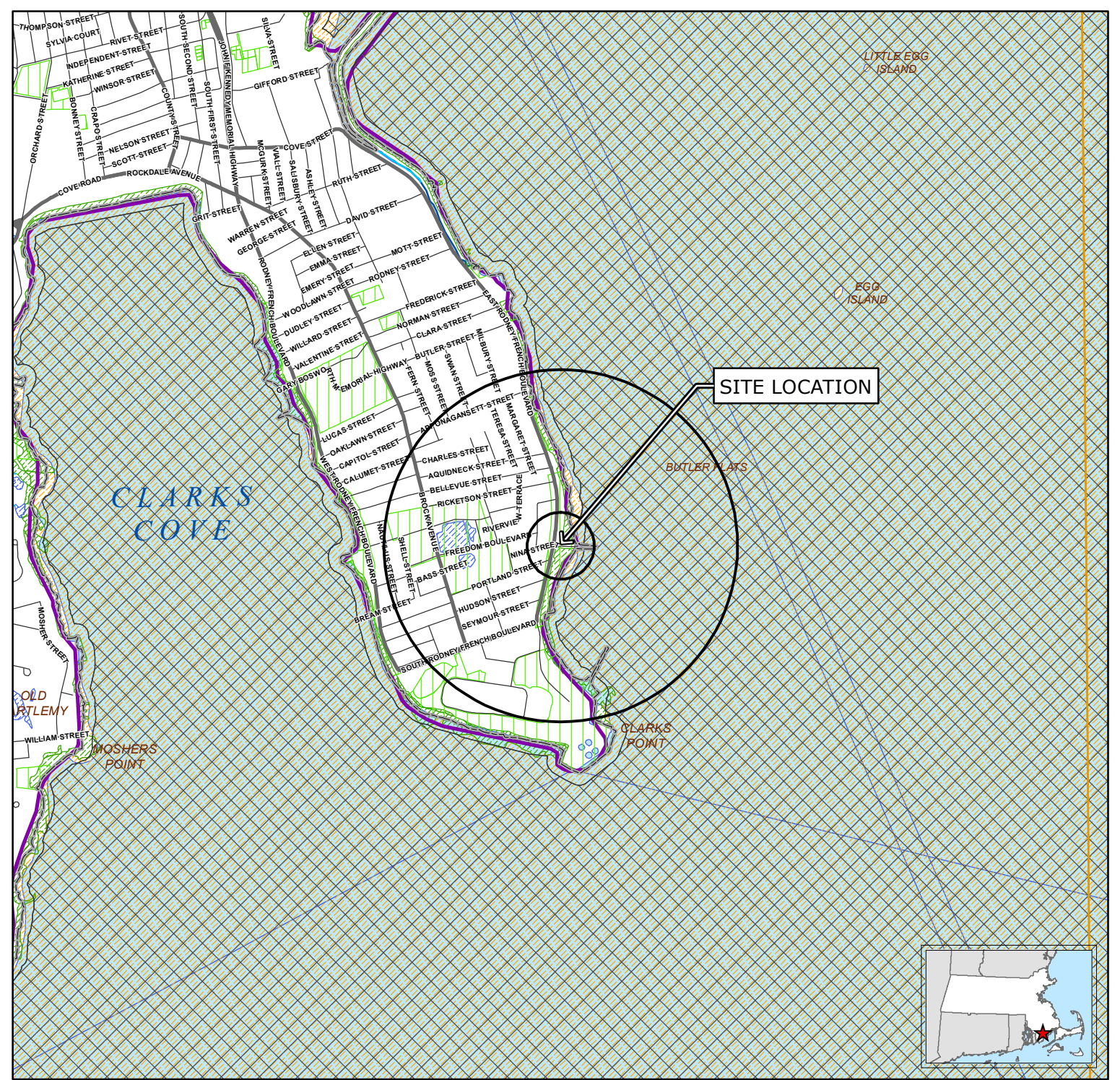
Monkey Island Pier Improvements Project
East Rodney French Boulevard
New Bedford, Massachusetts



Based on USGS Topographic Map for
New Bedford South, MA Revised 1977.
Contour Interval Equals 10-foot.
Circles indicate 500-foot and half-mile radii



July 2022



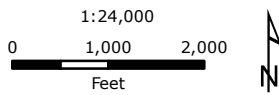
Legend

- NHESP Certified Vernal Pools
- NHESP Potential Vernal Pools
- Non-Landfill Solid Waste Sites
- Proposed Well
- Emergency Surface Water
- Community Public Water Supply - Surface Water
- Community Public Water Supply - Groundwater
- Non-Community Non-Transient Public Water Supply
- Non-Community Transient Public Water Supply
- Limited Access Highway
- Multi-Lane Highway, NOT Limited Access
- Other Numbered Route
- Major Road - Arterials and Collectors
- Minor Street or Road
- Aqueducts
- Hydrologic Connections
- Stream/Intermittent Stream
- Powerline
- Pipeline
- Track or Trail
- Trains
- Public Surface Water Supply Protection Area (Zone A)
- DEP Approved Wellhead Protection Area (Zone I)
- DEP Approved Wellhead Protection Area (Zone II)
- DEP Interim Wellhead Protection Area (IWPA)
- Protected and Recreational Open Space
- Solid Waste Landfill
- Area of Critical Environmental Concern (ACEC)
- NHESP Priority Habitats for Rare Species
- NHESP Estimated Habitats for Rare Wildlife
- EPA Designated Sole Source Aquifer
- Major Drainage Basin
- Sub Drainage Basin
- MassDEP Open Water
- MassDEP Inland Wetlands
- MassDEP Coastal Wetlands
- MassDEP Not Interpreted Wetlands
- Public Surface Water Supply (PSWS)
- Water Bodies
- Non-Potential Drinking Water Source Area - High Yield
- Non-Potential Drinking Water Source Area - Medium Yield
- Potentially Productive Medium Yield Aquifer
- Potentially Productive High Yield Aquifer
- County Boundary
- Municipal Boundary
- USGS Quadrangle Sheet Boundary

FIGURE 2 PRIORITY RESOURCES

Monkey Island Pier Improvements Project
 East Rodney French Boulevard
 New Bedford, Massachusetts

Data source: Bureau of Geographic Information (MassGIS), Commonwealth of Massachusetts, Executive Office of Technology
 Circles indicate 500-foot and half-mile radii.
 Data valid as of July 2022.



July 2022





FIGURE 3
ORTHOPHOTOGRAPH

Monkey Island Pier Improvements Project
East Rodney French Boulevard
New Bedford, Massachusetts

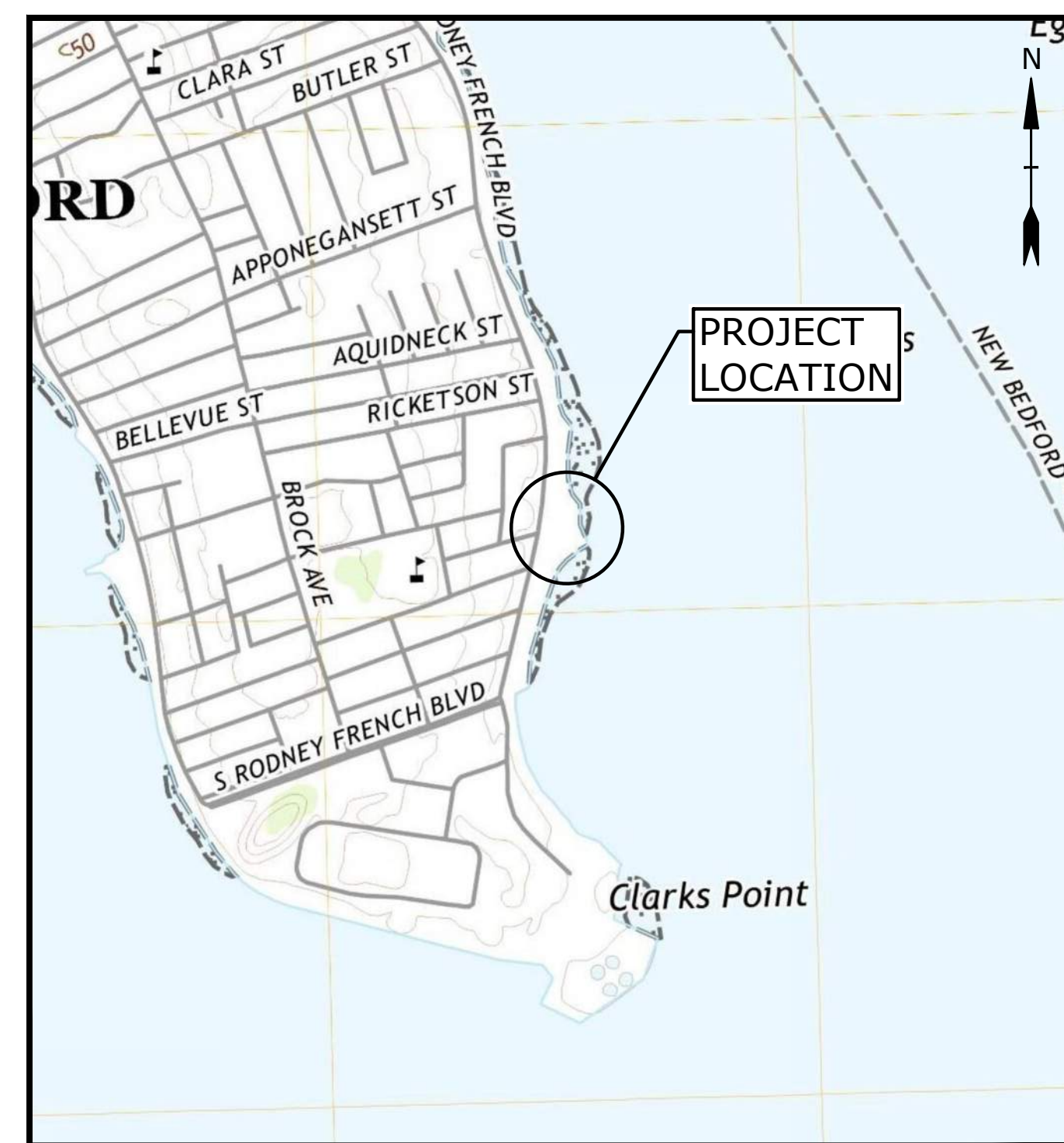
July 2022

ATTACHMENT D
PROJECT DRAWINGS

CITY OF NEW BEDFORD, MASSACHUSETTS MONKEY ISLAND PIER IMPROVEMENTS PROJECT

REQUEST FOR DETERMINATION OF APPLICABILITY PERMIT DRAWINGS JULY 2022

LIST OF DRAWINGS		
SHEET NO.	DRAWING NO.	DRAWING TITLE
1	G-001	COVER PAGE
2	G-002	LEGEND AND ABBREVIATIONS
3	G-003	NOTES
4	C-100	BORING LOCATION PLAN



SITE VICINITY MAP
SCALE: 1" = 1000'



SITE LOCATION MAP
SCALE: 1" = 200'

PREPARED BY:
Tighe & Bond

PREPARED FOR:
CITY OF NEW BEDFORD
DEPARTMENT OF PUBLIC
INFRASTRUCTURE
1105 SHAWMUT AVE, NEW BEDFORD,
MASSACHUSETTS 02746

COMPLETE SET 4 SHEETS

LEGEND

DESCRIPTION	EXISTING	PROPOSED
PROPERTY LINE	----	----
RIGHT-OF-WAY LINE	----	----
EASEMENT LINE	----	----
LIMITS OF WORK	----	----
INTERMEDIATE CONTOURS	----	----
INDEX CONTOURS	--- 25 ---	--- 25 ---
SPOT GRADE	X 141.2	+ 32.0
MAGNITUDE & DIRECTION OF SLOPE		← 0.0%
STORM DRAIN	--- SD ---	--- SD ---
STORM UNDERDRAIN	---	---
GRAVITY SANITARY SEWER	--- SS ---	--- SS ---
SANITARY SEWER FORCE MAIN	--- SFM ---	--- SFM ---
SANITARY SEWER LOW PRESSURE	--- SSLP ---	--- SSLP ---
SANITARY SEWER COMBINED	--- COMB ---	--- COMB ---
WATER SERVICE	--- W ---	--- W ---
POTABLE WATER	--- PW ---	--- PW ---
FIRE SERVICE	---	---
HIGH PRESSURE FIRE SERVICE	---	---
UNDERGROUND ELECTRIC	--- E ---	--- E ---
PRIMARY ELECTRIC SERVICE	--- PE ---	--- PE ---
SECONDARY ELECTRIC	--- SE ---	--- SE ---
OVERHEAD ELECTRIC	--- OE ---	--- OE ---
TELEPHONE SERVICE	--- T ---	--- T ---
TEL-DATA SERVICE	--- T-D ---	--- T-D ---
COMMUNICATIONS SERVICE	--- T-C ---	--- T-C ---
CABLE TV SERVICE	--- CTV ---	--- CTV ---
GAS SERVICE	--- G ---	--- G ---
CHILLED WATER RETURN	--- CWR ---	--- CWR ---
CHILLED WATER SUPPLY	--- CWS ---	--- CWS ---
HOT WATER RETURN	--- HWR ---	--- HWR ---
HOT WATER SUPPLY	--- HWS ---	--- HWS ---
STEAM CONDENSATE	--- C ---	--- C ---
LOW PRESSURE STEAM	--- LPS ---	--- LPS ---
MEDIUM PRESSURE STEAM	--- MPS ---	--- MPS ---
HIGH PRESSURE STEAM	--- HPS ---	--- HPS ---
OXYGEN SERVICE	---	---
OVERHEAD UTILITY (UNSPECIFIED)	--- OHW ---	--- OHW ---
CURB	====	====
EDGE OF PAVEMENT	----	----
DIRT ROAD	----	----
SIDEWALK	----	----
RETAINING WALL	----	----
STONE WALL	----	----
FENCE - UNSPECIFIED	--- X ---	--- X ---
FENCE - CHAIN LINK	---	---
FENCE - WOOD POST	---	---
GUARDRAIL	----	----
METAL BEAM RAIL	----	----
TRAIN TRACKS	----	----
STORM DRAIN STRUCTURES	MANHOLE (M) CATCH BASIN (CB)	MANHOLE (M) AREA DRAIN (AD) CATCH BASIN (CB)
SANITARY SEWER MANHOLE	(M)	(M)
WATER SERVICE STRUCTURES	HYDRANT (H) MANHOLE (M) VALVE (V)	HYDRANT (H) MANHOLE (M) VALVE (V)
GAS SERVICE STRUCTURES	MANHOLE (M) VALVE (V)	MANHOLE (M) VALVE (V)
ELECTRIC SERVICE STRUCTURES	UTILITY CO. POLE (#) MANHOLE (M) LIGHT (L)	UTILITY CO. POLE (#) MANHOLE (M) LIGHT (L)
TELECOMMUNICATIONS MANHOLE	(M)	(M)
TREELINE	----	----
TREE	EVERGREEN (EG) DECIDUOUS (DC)	EVERGREEN (EG) DECIDUOUS (DC)

ABBREVIATIONS

ABDN(D)	ABANDON(ED)
AC	ASBESTOS CEMENT PIPE
BC	BITUMINOUS CURB
BFP	BACK FLOW PREVENTOR
BIT	BITUMINOUS
BL	BASELINE
BLDG	BUILDING
BND	BOUND
BOC	BOTTOM OF CURB
BOT	BOTTOM
BS	BOTTOM OF STEP
BW	BOTTOM OF WALL
CATV	CABLE TELEVISION
CB	CATCH BASIN
CEM	CEMENT
CI	CAST IRON PIPE
CL	CENTERLINE
CLF	CHAIN LINK FENCE
CO	CLEAN OUT
CONC	CONCRETE
CPP	CORRUGATED POLYETHYLENE PIPE
CY	CUBIC YARD
DH	DRILL HOLE
DI	DUCTILE IRON PIPE
DIA	DIAMETER
DMH	DRAIN MANHOLE
E	EAST
EF	EACH FACE
EG	EXISTING GRADE
EL/ELEV	ELEVATION
ELEC	ELECTRIC
EMH	ELECTRIC MANHOLE
EOP	EDGE OF PAVEMENT
EW	EACH WAY
EXIST	EXISTING
FES	FLARED END SECTION
FF	FINISH FLOOR
FM	FORCE MAIN
G	GAS
GG	GAS GATE
GRAN	GRANITE
HC	HANDICAP
HDPE	HIGH DENSITY POLYETHYLENE
HMA	HOT MIX ASPHALT
HYD	HYDRANT
IN	INCHES
INV	INVERT
IP	IRON PIN
L	LENGTH OF CURB
LP	LIGHT POLE
LT	LEFT
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
MISC	MISCELLANEOUS
MON	MONUMENT
MJ	MECHANICAL JOINT

ABBREVIATIONS CONT'D

N	NORTH
NITC	NOT IN THIS CONTRACT
NTS	NOT TO SCALE
N/A	NOT APPLICABLE
N/F	NOW OR FORMERLY
OC	ON CENTER
OCS	OUTLET CONTROL STRUCTURE
OH	OVERHEAD
PB	PLANT BED
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVATURE
PCPP	PERFORATED CORRUGATED POLYETHYLENE PIPE
PERF	PERFORATED
PI	POINT OF INTERSECTION
PRC	POINT OF REVERSE CURVATURE
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	POINT OF TANGENCY
PVC	POLYVINYLCHLORIDE
PVMT	PAVEMENT
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RD	ROOF DRAIN
REV	REVISION
ROW	RIGHT OF WAY
RT	RIGHT
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
R&S	REMOVE AND STACK
S	SOUTH
SAN	SANITARY
SCH	SCHEDULE
SF	SQUARE FOOT
SMH	SEWER MANHOLE
SS	STAINLESS STEEL
STA	STATION
STL	STEEL
STRM	STORM
T	TANGENT LENGTH
TC	TOP OF CURB
TEL	TEL-DATA
TP	TEST PIT
TS	TOP OF STEP
TW	TOP OF WALL
TYP	TYPICAL
UP	UTILITY POLE
W	WATER
WG	WATER GATE
WV	WATER VALVE
XFMR	TRANSFORMER

PERMIT DRAWINGS

THIS DOCUMENT IS INCOMPLETE AND IS RELEASED TEMPORARILY FOR PROGRESS REVIEW ONLY. IT IS NOT INTENDED FOR BIDDING OR CONSTRUCTION PURPOSES.

Monkey Island Pier Improvements Project

City of New Bedford

New Bedford, MA

LEGEND

RESOURCE AREAS	
VEGETATED WETLAND LIMIT	----
TOP OF BANK	----
MEAN ANNUAL HIGH WATER	----
LAND SUBJECT TO FLOODING	----
100-FOOT BUFFER ZONE	----
200-FOOT RIVERFRONT AREA	----
LOCAL RESOURCE AREA	----
LOCAL BUFFER ZONE - 1	----
LOCAL BUFFER ZONE - 2	----
WETLANDS WATER COURSE	----
WETLAND FLAG	WF - (W) (F)

LEGEND

DEMOLITION / GEOTECHNICAL	
EROSION & SEDIMENT CONTROL	----
COFFERDAM	----
TURBIDITY CURTAIN	----
UTILITY TO BE ABANDONED	----
UTILITY TO BE DEMOLISHED	----
ITEM TO BE DEMOLISHED	XXXXXX
TEST PIT	■
MONITORING WELL	●
BORING	●

Last Saved: 8/23/2022, 4:17pm By: TIGHE&BOND
 Plotted On: Aug 23, 2022, 4:17pm By: TIGHE&BOND
 File & Send To: N:\Projects\2022\08\23\Monkey Island\Drawings_Figures\AutoCAD\Sheet\N1011-007-03-C-NOTES.dwg

MARK	DATE	DESCRIPTION
PROJECT NO:	N1011-007-03	
DATE:	07/15/2022	
FILE:	N1011-007-03-C-NOTES.dwg	
DRAWN BY:	THM & ALG	
DESIGNED/CHECKED BY:	DGM	
APPROVED BY:	IM	

LEGEND AND ABBREVIATIONS

SCALE: NO SCALE

G-002

BASE PLAN NOTES

- THE EXISTING CONDITIONS INFORMATION SHOWN ON THE DRAWINGS IS BASED ON THE FOLLOWING:
 - FIELD INVESTIGATIONS PERFORMED BY TIGHE & BOND ON JULY 27, 2022
- UTILITY LOCATIONS SHOWN WERE PLOTTED FROM INFORMATION SUPPLIED BY RESPECTIVE UTILITY COMPANIES AND DATA OBTAINED FROM FIELD SURVEYS AND AS BUILT DRAWINGS. THE ACCURACY AND COMPLETENESS OF SUBSURFACE INFORMATION SHOWN ON THESE DRAWINGS IS NOT GUARANTEED. DETERMINE THE LOCATIONS AND ELEVATIONS OF ALL UTILITIES WHICH MAY AFFECT CONSTRUCTION OPERATIONS.
- THE EXISTING CONDITIONS SHOWN ARE APPROXIMATE. FIELD VERIFY EXISTING CONDITIONS.

GENERAL NOTES

- NOTIFY (DIGSAFE AT 1-888-344-7233) AND OTHER UTILITY OWNERS IN THE AREA NOT ON THE (DIGSAFE) LIST AT LEAST 72 HOURS PRIOR TO ANY DIGGING, TRENCHING, ROCK REMOVAL, DEMOLITION, BORING, BACKFILLING, GRADING, LANDSCAPING, OR ANY OTHER EARTH MOVING OPERATIONS.
- LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE. IN ADDITION, SOME UTILITIES MAY NOT BE SHOWN. DETERMINE THE EXACT LOCATION OF UTILITIES BY TEST PIT OR OTHER METHODS, AS NECESSARY TO PREVENT DAMAGE TO UTILITIES AND/OR INTERRUPTIONS IN UTILITY SERVICE. PERFORM TEST PIT EXCAVATIONS AND OTHER INVESTIGATIONS TO LOCATE UTILITIES, AND PROVIDE THIS INFORMATION TO THE ENGINEER, PRIOR TO CONSTRUCTING THE PROPOSED IMPROVEMENTS. LOCATE ALL EXISTING UTILITIES TO BE CROSSED BY HAND EXCAVATION.
- NOT ALL OF THE UTILITY SERVICES TO BUILDINGS ARE SHOWN. THE CONTRACTOR SHALL ANTICIPATE THAT EACH PROPERTY HAS SERVICE CONNECTIONS FOR THE VARIOUS UTILITIES.
- BOLD TEXT AND LINES INDICATE PROPOSED WORK. LIGHT TEXT AND LINES INDICATE APPROXIMATE EXISTING CONDITIONS.
- TIGHE & BOND ASSUMES NO RESPONSIBILITY FOR ANY ISSUES, LEGAL OR OTHERWISE, RESULTING FROM CHANGES MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION FROM TIGHE & BOND.
- EXCAVATE ADDITIONAL TEST PITS TO LOCATE EXISTING UTILITIES AS DIRECTED OR APPROVED BY THE ENGINEER.
- NOTIFY THE ENGINEER OF ANY UTILITIES IDENTIFIED DURING CONSTRUCTION THAT ARE NOT SHOWN ON THE DRAWINGS OR THAT DIFFER IN SIZE OR MATERIAL.
- THE CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY; COORDINATION WITH THE OWNER, ALL SUBCONTRACTORS, AND WITH OTHER CONTRACTORS WORKING WITHIN THE LIMITS OF WORK, THE MEANS AND METHODS OF CONSTRUCTING THE PROPOSED WORK.
- OBTAIN, PAY FOR AND COMPLY WITH PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK. ARRANGE AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE JURISDICTIONAL AUTHORITIES.
- SHORE UTILITY TRENCHES WHERE FIELD CONDITIONS DICTATE AND/OR WHERE REQUIRED BY LOCAL, STATE AND FEDERAL HEALTH AND SAFETY CODES.
- FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. IF FIELD CONDITIONS ARE OBSERVED THAT VARY SIGNIFICANTLY FROM THOSE SHOWN ON THE DRAWINGS, IMMEDIATELY NOTIFY THE ENGINEER IN WRITING FOR RESOLUTION OF THE CONFLICTING INFORMATION.
- PROTECT AND MAINTAIN ALL UTILITIES IN THE AREAS UNDER CONSTRUCTION DURING THE WORK. LEAVE ALL PIPES AND STRUCTURES WITHIN THE LIMITS OF THE CONTRACT IN A CLEAN AND OPERABLE CONDITION AT THE COMPLETION OF THE WORK. TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SAND AND SILT FROM DISTURBED AREAS FROM ENTERING THE DRAINAGE SYSTEM.
- NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICT, ERROR, AMBIGUITY, OR DISCREPANCY WITH THE PLANS OR BETWEEN THE PLANS AND ANY APPLICABLE LAW, REGULATION, CODE, STANDARD SPECIFICATION, OR MANUFACTURER'S INSTRUCTIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR SUPPORT OF EXISTING UTILITIES AND REPAIR OR REPLACEMENT COSTS OF UTILITIES DAMAGED DURING CONSTRUCTION, WHETHER ABOVE OR BELOW GRADE. REPLACE DAMAGED UTILITIES IMMEDIATELY AT NO ADDITIONAL COST TO THE OWNER AND AT NO COST TO THE PROPERTY OWNER.
- TAKE NECESSARY MEASURES AND PROVIDE CONTINUOUS BARRIERS OF SUFFICIENT TYPE, SIZE, AND STRENGTH TO PREVENT ACCESS TO ALL WORK AND STAGING AREAS AT THE COMPLETION OF EACH DAYS WORK.
- NO OPEN TRENCHES WILL BE ALLOWED OVER NIGHT. THE USE OF ROAD PLATES TO PROTECT THE EXCAVATION WILL BE CONSIDERED UPON REQUEST, BUT BACKFILLING IS PREFERRED.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY TRAFFIC CONTROL/SAFETY DEVICES TO ENSURE SAFE VEHICULAR AND PEDESTRIAN ACCESS THROUGH THE WORK AREA, OR FOR SAFELY IMPLEMENTING DETOURS AROUND THE WORK AREA. PERFORM TRAFFIC CONTROL IN ACCORDANCE WITH THE CONTRACTOR'S APPROVED TRAFFIC CONTROL PLAN.
- MAINTAIN EMERGENCY ACCESS TO ALL PROPERTIES WITHIN THE PROJECT AREA AT ALL TIMES DURING CONSTRUCTION.
- WHEN WORKING IN THE ROAD, PROVIDE THE OWNER AND LOCAL FIRE/POLICE/SCHOOL AUTHORITIES A DETAILED PLAN OF APPROACH INDICATING METHODS OF PROPOSED TRAFFIC ROUTING ON A DAILY BASIS. PROVIDE COORDINATION TO ENSURE COMMUNICATION AND COORDINATION BETWEEN THE OWNER, CONTRACTOR AND LOCAL FIRE/POLICE/SCHOOL AUTHORITIES THROUGHOUT THE CONSTRUCTION PERIOD.
- REMOVE AND DISPOSE OF ALL CONSTRUCTION-RELATED WASTE MATERIALS AND DEBRIS IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL LAWS.
- THE TERM "DEMOLISH" USED ON THE DRAWINGS MEANS TO REMOVE AND DISPOSE OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- THE TERM "ABANDON" USED ON THE DRAWINGS MEANS TO LEAVE IN PLACE AND TAKE APPROPRIATE MEASURES TO DECOMMISSION AS SPECIFIED OR NOTED ON THE DRAWINGS.
- ALL PROPOSED WORK MAY BE ADJUSTED IN THE FIELD BY THE OWNER'S PROJECT REPRESENTATIVE TO MEET EXISTING CONDITIONS.

EROSION CONTROL AND RESOURCE AREA PROTECTION NOTES

- PROVIDE ALL EROSION CONTROL MEASURES SHOWN, SPECIFIED, REQUIRED BY PERMIT, AND/OR REQUIRED BY THE ENGINEER PRIOR TO ANY CONSTRUCTION OR IMMEDIATELY UPON REQUEST. MAINTAIN SUCH CONTROL MEASURES UNTIL FINAL SURFACE TREATMENTS ARE IN PLACE AND/OR UNTIL PERMANENT VEGETATION IS ESTABLISHED. INSPECT AFTER EACH RAINSTORM AND DURING MAJOR STORM EVENTS TO CONFIRM THAT ALL SEDIMENTATION AND EROSION CONTROL MEASURES REQUIRED ARE IN PLACE AND EFFECTIVE.
- PRIOR TO STARTING WORK, CLEARLY STAKE WORK LIMITS. DO NOT DISTURB VEGETATION AND TOPSOIL BEYOND THE PROPOSED LIMITS. COORDINATE WITH THE ENGINEER FOR LOCATIONS OF TEMPORARY STOCKPILING OF TOPSOIL DURING CONSTRUCTION.
- INSTALL SILT SACKS OR OTHER APPROVED SEDIMENTATION BARRIERS IN/AT ALL CATCH BASINS IN THE PROJECT AREA.
- SETTLE OR FILTER ALL SILT-LADEN WATER FROM DEWATERING ACTIVITIES IN A SEDIMENTATION OR FILTER BAG TO REMOVE SEDIMENTS PRIOR TO RELEASE USING A SEDIMENTATION OR FILTER BAG LOCATED DOWN-GRADIENT OF THE DEWATERED AREA.
- REMOVE AND PROPERLY DISPOSE OF SILT TRAPPED AT BARRIERS IN UPLAND AREAS OUTSIDE BUFFER ZONES. REMOVE MATERIALS DEPOSITED IN ANY TEMPORARY SETTLING BASINS AT THE COMPLETION OF THE PROJECT. RESTORE ALL DISTURBED AREAS TO THEIR PRECONSTRUCTION CONDITION.
- SWEEP, COLLECT, REMOVE AND DISPOSE OF ANY SEDIMENT TRACKED ONTO PUBLIC RIGHT-OF-WAYS AT THE END OF EACH DAY.
- MAINTAIN AN ADDITIONAL SUPPLY OF EROSION CONTROL MEASURES ON-SITE FOR EMERGENCY REPAIRS.
- STORE FUEL, OIL, PAINT, OR OTHER HAZARDOUS MATERIALS IN A SECONDARY CONTAINER AND REMOVE TO A SECURE LOCKED AND COVERED AREA DURING NON-WORK HOURS.
- PROVIDE A SUPPLY OF ABSORBENT SPILL RESPONSE MATERIALS SUCH AS BOOMS, BLANKETS, AND OIL ABSORBENT MATERIALS AT THE CONSTRUCTION SITE AT ALL TIMES TO CLEAN UP POTENTIAL SPILLS OF HAZARDOUS MATERIALS. IMMEDIATELY REPORT SPILLS OF HAZARDOUS MATERIALS TO THE STATE ENVIRONMENTAL AGENCY AND THE MUNICIPALITY WHERE THE WORK IS OCCURRING.

SURFACE RESTORATION NOTES

- ALL PAVEMENT DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- PROVIDE SITE GRADING AT HANDICAPPED RAMPS, SIDEWALKS, AND BUILDING ENTRANCES THAT IS CONSISTENT WITH THE RELEVANT ACCESS REQUIREMENTS OF THE ARCHITECTURAL BARRIERS ACT (ABA), THE AMERICANS WITH DISABILITIES ACT (ADA), AND MA ARCHITECTURAL ACCESS BOARD REQUIREMENTS (AAB). SMALL CHANGES IN GRADE OVER RELATIVELY SHORT DISTANCES (E.G. AT PARKING SPACES, ACCESSIBLE ROUTES, AND RAMPS) MIGHT NOT BE CLEARLY DEPICTED WITHIN THE CONTOUR INTERVAL SHOWN. COMPLY WITH THE CRITERIA IN THESE STANDARDS. SELECT MAXIMUM SLOPE CRITERIA ARE REPRODUCED BELOW:
 - ACCESSIBLE PARKING STALL AND PASSENGER LOADING ZONE (ANY DIRECTION) SLOPE < 2.0%
 - LONGITUDINAL SLOPE ALONG ACCESSIBLE ROUTES < 5.0%
 - CROSS SLOPE ALONG ACCESSIBLE ROUTES < 2.0%
- PROTECT PROJECT FEATURES (E.G., WALLS, FENCES, MAIL BOXES, SIGNS, SIDEWALKS, CURBING, STAIRS, WALKWAYS, TREES, ETC.) FROM DAMAGE DURING CONSTRUCTION, INCLUDING PROVIDING TEMPORARY SUPPORTS, WHEN APPROPRIATE.
- IF REMOVAL OF PROJECT FEATURES IS REQUIRED IN ORDER TO PERFORM THE PROPOSED WORK, REMOVE THOSE SITE FEATURES ONLY UPON APPROVAL OF ENGINEER. REPLACE ALL REMOVED PROJECT FEATURES; NEW ITEMS SHALL BE EQUAL OR BETTER IN QUALITY AND CONDITION TO THE ITEMS REMOVED.
- EXISTING SURVEY MONUMENTS DISTURBED BY THE CONTRACTOR SHALL BE REPLACED BY A LAND SURVEYOR LICENSED IN THE STATE IN WHICH THE WORK IS PERFORMED AT NO ADDITIONAL COST TO THE OWNER.
- COORDINATE THE ADJUSTMENT OF EXISTING UTILITY STRUCTURES WITH EACH RESPONSIBLE UTILITY OWNER PRIOR TO RECONSTRUCTION AND/OR PAVING OPERATIONS. RAISE ALL STRUCTURES TO FINISHED GRADES PRIOR TO THE END OF THE CONSTRUCTION SEASON AND PRIOR TO FINISHED PAVING.
- REPAIR DISTURBED PAVED SURFACES AT THE END OF EACH WORK WEEK, UNLESS OTHERWISE APPROVED/REQUIRED BY THE OWNER.
- PLACE TEMPORARY BITUMINOUS CONCRETE PAVEMENT AT DISTURBED PORTLAND CEMENT CONCRETE SIDEWALKS AND DRIVEWAYS AT THE END OF EACH WORK WEEK, UNLESS OTHERWISE APPROVED/REQUIRED BY THE OWNER.
- TRANSFER ALL TEMPORARY BENCHMARKS, AS NECESSARY.
- ACCOMMODATE PEDESTRIAN TRAFFIC WHERE A SIDEWALK IS TO BE CLOSED FOR SAFETY. "SIDEWALK CLOSED HERE" SIGNS SHALL BE USED AT THE NEAREST SAFE INTERSECTION. SEE TRAFFIC CONTROL DETAILS FOR SIGN INFORMATION.
- RESTORE ALL AREAS DISTURBED BY THE CONTRACTOR BEYOND THE PAYLINE LIMITS TO ORIGINAL CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
- REGRADE ALL UNPAVED AREAS DISTURBED BY THE WORK AS REQUIRED. REPAIR/REPLACE PAVED SURFACES DISTURBED BY THE WORK IN-KIND, UNLESS OTHERWISE NOTED. RESTORE SURFACES TO EXISTING OR PROPOSED CONDITIONS AS INDICATED ON THE DRAWINGS.
- PROVIDE A SMOOTH, FLUSH TRANSITION BETWEEN ALL NEW AND EXISTING PAVEMENTS AND WALKING SURFACES.

PERMIT DRAWINGS

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Monkey Island Pier Improvements Project

City of New Bedford

New Bedford, MA

MARK	DATE	DESCRIPTION
PROJECT NO:	N1011-007-03	
DATE:	07/15/2022	
FILE:	N1011-007-03-C-NOTES.dwg	
DRAWN BY:	THM & ALG	
DESIGNED/CHECKED BY:	DGM	
APPROVED BY:	IM	

NOTES

SCALE: NO SCALE

G-003

ATTACHMENT E
ABUTTER INFORMATION



City of New Bedford
REQUEST for a CERTIFIED ABUTTERS LIST

This information is needed so that an official abutters list as required by MA General Law may be created and used in notifying abutters. You, as applicant, are responsible for picking up and paying for the certified abutters list from the assessor's office (city hall, room #109).

SUBJECT PROPERTY	
MAP #	LOT(S)#
ADDRESS: Monkey Island Pier	
OWNER INFORMATION	
NAME: City of New Bedford	
MAILING ADDRESS: 1105 Shawmut Avenue New Bedford, MA 0274	
APPLICANT/CONTACT PERSON INFORMATION	
NAME (IF DIFFERENT): Shawn T. Syde	
MAILING ADDRESS (IF DIFFERENT):	
TELEPHONE #	508-979-1150
EMAIL ADDRESS:	shawn.syde@newbedford-ma.gov
REASON FOR THIS REQUEST: <i>Check appropriate</i>	
<input type="checkbox"/>	ZONING BOARD OF APPEALS APPLICATION
<input type="checkbox"/>	PLANNING BOARD APPLICATION
<input checked="" type="checkbox"/>	CONSERVATION COMMISSION APPLICATION
<input type="checkbox"/>	LICENSING BOARD APPLICATION
<input type="checkbox"/>	OTHER (<i>Please explain</i>):

Once obtained, the Certified List of Abutters must be attached to this Certification Letter.
Submit this form to the Department of City Planning, Room 303 in City Hall, 133 William Street, or Email to
Angela.Goncalves@newbedford-ma.gov. The applicant is responsible for picking up and paying for the certified abutters list from the
Assessor's Office (city hall, room #109).

Official Use Only:

As Assistant City Assessor to the City of New Bedford's Board of Assessors, I do hereby certify that the names and addresses as identified on the attached "abutters list" are duly recorded and appear on the most recent tax.

Judith M. Serdahl

Printed Name

Judith M. Serdahl

Signature

8/17/2022

Date

Amount Due

Date Paid

Confirmation Number

August 10, 2022

Dear Applicant,

Please find below the List of Abutters within 100 feet of the property known as Monkey Island. The current ownership listed herein must be checked and verified by the City of New Bedford Assessor's Office. Following said verification, the list shall be considered a Certified List of Abutters.

Please note that multiple listed properties with identical owner name and mailing address shall be considered duplicates and shall require only 1 mailing. Additionally, City of New Bedford-Owned properties shall not require mailed notice.

<u>Parcel</u>	<u>Location</u>	<u>Owner and Mailing Address</u>
4-2	918 E RODNEY FRENCH BLVD	CITY OF NEW BEDFORD, PARK DEPARTMENT 131 WILLIAM ST NEW BEDFORD, MA 02740
6-12	10 NINA ST	IDE WARREN L, 10 NINA STREET NEW BEDFORD, MA 02744
6-84	7 PORTLAND ST	BRITO ALEXON, 7 PORTLAND STREET NEW BEDFORD, MA 02744
6-2	ES E RODNEY FRENCH BLVD	CITY OF NEW BEDFORD, 131 WILLIAM ST NEW BEDFORD, MA 02740
6-21	3 NINA ST	VINAGRE CARLOS DASILVA, VINAGRE MARIA HELENA 3 NINA ST NEW BEDFORD, MA 02744

**Notification to Abutters under the City of New Bedford
Wetlands Ordinance**

In Accordance with the City of New Bedford Wetlands Ordinance (New Bedford Code of Ordinances Sections 15-101 through 15-112) you are hereby notified of the following.

The name of the applicant is: City of New Bedford

The applicant has filed a Request for Determination of Applicability for the municipality of New Bedford, Massachusetts seeking permission to remove, fill, dredge or alter an area subject to protection under the City of New Bedford Wetlands Ordinance (New Bedford Code of Ordinances Sections 15-101 through 15-112).

The address of the lot where the activity is proposed is: Monkey Island Pier
East Rodney French Blvd
Assessor's Map N/A; Lot N/A

Copies of the Request for Determination of Applicability may be examined at the New Bedford Conservation Commission, City Hall, 133 William St. Room 304 New Bedford, MA 02740 between the hours of 8:00 AM and 4:00 PM, Monday through Friday. For more information call (508) 991-6188.

Copies of the Request for Determination of Applicability may be obtained from either (check one) the applicant _____ or the applicant's representative X by calling this telephone number (603) 433-8818 between the hours of 8:00 AM and 4:00 PM on the following days of the week: Monday through Friday.

Information regarding the date, time and place of the public hearing may be obtained from New Bedford Conservation Commission by calling 508-991-6188 between the hours of 8:00 AM and 4:00 PM Monday through Friday.

Note: Notice of the Public hearing, including its date, time and place, will be posted in the City Hall not less than forty eight (48) hours in advance of the meeting.

Note: Notice of the Public Hearing including its date, time and place, will be published at least five (5) days in advance in the Standard Times.

Note: You may also contact the New Bedford Conservation Commission at 508-991-6188 for more information about this publication or the City of New Bedford Wetlands Ordinance

