

# Former Revere Copper Site Redevelopment Shoreline Marine Terminal, LLC

26 North Front Street  
Map 79, Lot 2  
New Bedford, Massachusetts

**OWNER/APPLICANT:**

SHORELINE MARINE TERMINAL, LLC  
137 POPE'S ISLAND  
NEW BEDFORD, MA 02740

**CIVIL ENGINEER:**



**PARE CORPORATION**  
ENGINEERS - SCIENTISTS - PLANNERS  
8 BLACKSTONE VALLEY PLACE LINCOLN, RI 02865 401-334-4000  
10 LINCOLN ROAD, SUITE 210 FOWLER, MA 02835 508-543-1735  
14 BOBALA ROAD, SUITE 2B HOLYOKE, MA 01040 413-307-3466

**ARCHITECT:**



1 RIVER ROAD  
CARLISLE, MA 01741

**LANDSCAPE ARCHITECT:**



945 CONCORD STREET, SUITE 100  
FRAMINGHAM, MA 01701

**MEP ENGINEER:**



375 FAUNCE CORNER ROAD  
DARTMOUTH, MA 02747

**SURVEYOR:**



344 NORTH MAIN STREET  
ANDOVER, MA 01810



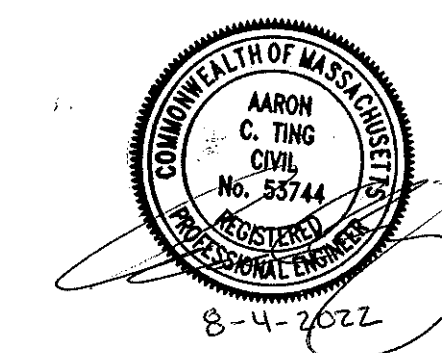
SCALE: N.T.S.

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**CITY OF NEW BEDFORD CONSERVATION COMMISSION SUBMISSION**

~~AUGUST 4, 2022~~  
OCTOBER 13, 2022





**REFERENCE**

- 1. PROJECT LOCATION: SHORELINE RESOURCES, LLC, 26 NORTH FRONT STREET, NEW BEDFORD, MA 02746. ASSESSOR'S MAP 79, LOT 2.
2. EXISTING CONDITIONS MAPPING TAKEN FROM AERIAL AND GPS SURVEY (24 N Front St Site EC.DWG, DATED 9/13/2020) PERFORMED BY CIVILVIEW, INC, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF MASSACHUSETTS.
3. EXISTING EXTERIOR UTILITIES TAKEN FROM DRAWING TITLED: "EXISTING CONDITIONS SURVEY"; SCALE 1"=30", PREPARED BY TIBBETTS ENGINEERING CORP., DATED APRIL 21, 1988, REVISED JUNE 16, 1988.
4. FACILITY INTERIOR UTILITIES TAKEN FROM 1997 DRAWING TITLED: "PLANT LAYOUTS, DRAINS & SEWERS - UNDERGROUND"; SCALE 1"=40", PREPARED BY REVERE COPPER AND BRASS INC., DATED 9-23-1944.
5. FORMER FACILITY PIPING PLAN TAKEN FROM 1972 DRAWING TITLED: "REVERE COPPER AND BRASS, MILL PIPING, UNDERGROUND DRAIN LINES"; SCALE 1"=40", PREPARED BY REVERE COPPER PRODUCTS, DATED 2-22-72.
6. LIMITED EXISTING CONDITIONS INFORMATION OBTAINED BY PARE CORPORATION DURING FIELD VISIT ON JANUARY 12, 2021. ELECTRICAL SERVICE TAKEN FROM DRAWING TITLED: "ELECTRICAL SITE PLAN - PART B", PREPARED BY GGD CONSULTING ENGINEERS, INC., DATED FEBRUARY 15, 2022.
7. HORIZONTAL DATUM IS BASED UPON THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM (NAD83), MAINLAND ZONE PER GPS OBSERVATIONS.
8. ELEVATIONS ARE PROVIDED BY CIVILVIEW, INC. AND BASED UPON THE NORTH AMERICAN VERTICAL DATUM (NAVD88).
9. ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP (FIRM) FOR BRISTOL COUNTY, MASSACHUSETTS, PANEL 393 OF 550, MAP NO. 25005C0393G, THE SUBJECT PROPERTY IS LOCATED WITHIN THE 100-YEAR FLOODPLAIN, ZONE AE, WITH A DETERMINED ELEVATION OF 6 FEET BASED UPON THE NORTH AMERICAN VERTICAL DATUM (NAVD88).
10. PROPERTY LINES SHOWN ARE FROM A PROPERTY LINE SURVEY PERFORMED BY CIVILVIEW DATED DECEMBER 2021.

**GENERAL NOTES**

- 1. THE COMMONWEALTH OF MASSACHUSETTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGE CONSTRUCTION, 2021 EDITION OR LATEST REVISION, THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION CONSTRUCTION STANDARD DETAILS AND THE CITY OF NEW BEDFORD DEPARTMENT OF PUBLIC INFRASTRUCTURE (DPI) CONSTRUCTION STANDARDS AND SPECIFICATIONS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO. ALL WORK SHALL MEET OR EXCEED THE MASSACHUSETTS AND CITY OF NEW BEDFORD DPI STANDARD SPECIFICATIONS, STANDARDS AND DETAILS, WITH LATEST REVISIONS. THE LATEST REVISION OF THE STANDARD SPECIFICATIONS MAY BE OBTAINED AT THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION OR THE CITY OF NEW BEDFORD DPI.
2. THE CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS, PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE SAME, AND COORDINATE WITH SHORELINE AND PARE CORPORATION (PARE), AS REQUIRED.
3. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. THE CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AND/OR BARRIERS AROUND ALL OPEN EXCAVATED AREAS IN ACCORDANCE WITH OSHA FEDERAL, STATE, AND LOCAL REQUIREMENTS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY SHORELINE AND PARE PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK WHICH WOULD BE AFFECTED. NO FIELD ADJUSTMENTS IN THE LOCATION OF SITE ELEMENTS SHALL BE MADE WITHOUT PARE'S APPROVAL.
5. IF ANY DEVIATION OR ALTERATION OF THE WORK PROPOSED ON THESE DRAWINGS IS REQUIRED, THE CONTRACTOR SHALL IMMEDIATELY CONTACT AND COORDINATE ANY DEVIATIONS WITH SHORELINE AND PARE.
6. ANY AREA OUTSIDE OF THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO SHORELINE.
7. ALL SITE WORK SHALL MEET OR EXCEED THE SITE WORK SPECIFICATIONS PREPARED FOR THIS PROJECT.
8. ALL UTILITIES (LOCATION AND ELEVATION) DEPICTED SHALL BE CONSIDERED APPROXIMATE ONLY. BEFORE COMMENCING SITE WORK IN ANY AREA, CONTACT "DIG SAFE" AT 1-888-DIG-SAFE (1-888-344-7233) TO ACCURATELY LOCATE UNDERGROUND UTILITIES. ALL DAMAGE TO EXISTING UTILITIES OR STRUCTURES, AND THE COST TO REPAIR THE DAMAGES TO INITIAL CONDITIONS, AS SHOWN ON THE PLANS SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
9. NO EXCAVATION SHALL BE DONE UNTIL COMPANIES ARE PROPERLY NOTIFIED IN ADVANCE. NOTE THAT NOT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL RESPECTIVE UTILITY COMPANIES TO VERIFY AND LOCATE EXISTING UTILITIES.

**LAYOUT NOTES**

- 1. ALL LINES ARE PERPENDICULAR OR PARALLEL TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.
2. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL PERFORM BENCHMARK FIELD LEVEL VERIFICATION AND COORDINATE LAYOUT CHECK. THE CONTRACTOR SHALL CONTACT PARE CORPORATION IF ANY DISCREPANCIES ARE FOUND.
3. DIMENSIONS FROM BUILDING ARE FROM FACE OF BUILDING TO FACE OF CURB.

**DEMOLITION NOTES**

- 1. THE CONTRACTOR SHALL COORDINATE ALL DEMOLITION OF STRUCTURES, PAVEMENT AND CONCRETE MATERIALS, AND UTILITIES WITH APPROPRIATE PROPOSED SITE GENERAL, GRADING, AND UTILITY DRAWINGS.
2. ALL NOTED UTILITIES TO BE REMOVED AND DISPOSED OF, RELOCATED OR CAPPED REPRESENT ALL KNOWN SITE CONDITIONS TO BE DEMOLISHED. THE CONTRACTOR SHALL COORDINATE ALL UNFORESEEN CONDITIONS WITH PARE, SHORELINE, THE CITY'S DPI AND/OR RESPECTIVE UTILITY COMPANIES PRIOR TO PROCEEDING WITH WORK.
3. THE EXISTING BUILDING 10 WATER AND GAS UTILITY WILL REMAIN ACTIVE DURING THE ENTIRE PROJECT. THERE SHALL BE NO INTERRUPTION OF UTILITY SERVICES DURING THE CONSTRUCTION OPERATION WITHOUT APPROVAL OF SHORELINE, OR THE PUBLIC UTILITY PROVIDER. THE WATER AND GAS FOR THE EXISTING BUILDINGS WILL BE CUT AND CAPPED BEFORE COMMENCING BUILDING DEMOLITION.
4. THE EXISTING SEWER AND DRAINAGE WILL BE CUT AND CAPPED AS INDICATED ON THE DRAWINGS. PARTIAL REMOVAL OF THESE UTILITIES WILL BE REQUIRED TO INSTALL THE NEW STORMWATER DRAINAGE. THE REMAINING SEWER AND STORMWATER DRAINAGE WILL BE ABANDONED IN PLACE AND FILLED WITH FLOWABLE FILL.
5. DEMOLITION OF ANY SUBSURFACE STRUCTURES WILL INVOLVE REMOVING THE TOP 3'-FT OF THE STRUCTURE, BULKHEADING INLET AND OUTLET PIPING AND FILLING THE STRUCTURE WITH FLOWABLE FILL.
6. THE EXISTING OUTFALL FOR THE 24-INCH AKRON STORMWATER OVERFLOW (BEING PERMITTED UNDER SEPARATE COVER) SHALL REMAIN OPEN THROUGHOUT CONSTRUCTION AND SHALL NOT BE PLUGGED UNTIL DEMOLITION OF THE BUILDINGS HAS BEEN COMPLETED.
7. ANY CITY OWNED CASTINGS, CURBING OR OTHER ELEMENTS SHALL BE RETURNED TO THE DPI AT 1103 SHAWMUT AVENUE. THE CONTRACTOR SHALL COORDINATE WITH THE DPI FOR RETURN OF THE MATERIALS.
8. THE CONTRACTOR SHALL CONTACT AND OBTAIN A WATER METER FROM THE CITY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THEIR OWN BACKFLOW PREVENTOR. ALL HYDRANT OPERATION SHALL BE PERFORMED BY THE CITY DPI.

**GRADING AND UTILITY NOTES**

- 1. UNDERGROUND UTILITIES DEPICTED WERE COMPILED FROM AVAILABLE RECORD PLANS AND SHALL BE CONSIDERED APPROXIMATE ONLY. ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES DEPICTED OR NOT DEPICTED ON THE PLANS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. COSTS TO REPAIR SUCH DAMAGES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. NO EXCAVATION SHALL BE DONE UNTIL UTILITY COMPANIES ARE PROPERLY NOTIFIED.
2. ALL WORK PERFORMED AND ALL MATERIALS FURNISHED SHALL CONFORM WITH THE LINES AND GRADES ON THE PLANS AND SITE WORK SPECIFICATIONS.
3. AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ADJUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT AND CURBS SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS.
4. ALL UTILITY COVERS, GRATES, ETC. SHALL BE ADJUSTED TO BE FLUSH WITH THE SURROUNDING SURFACE OR PAVEMENT FINISH GRADE. RIM ELEVATIONS OF STRUCTURES AND MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH THE GRADING PLANS.
5. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION OF PRIVATE UTILITIES BY THE UTILITY COMPANIES, AS REQUIRED.
6. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION SHALL BE PROVIDED ON A SKETCH TO SCALE OF THE EXISTING UTILITY WITH TIES TO KNOWN POINTS, PHOTOS AND FURNISHED TO PARE FOR RESOLUTION.
7. DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES, INCLUDING THE 24-INCH AKRON STORMWATER OVERFLOW, BY PROVIDING TEMPORARY SUPPORTS OR SHEETING, AS REQUIRED, AT NO ADDITIONAL COST TO SHORELINE.
8. EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO SHORELINE.
9. PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MIN. OF 1/8" PER FOOT UNLESS SPECIFIED.
10. THE CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER, AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES RESULTING FROM CONSTRUCTION LOADS SHALL BE RESTORED TO ORIGINAL CONDITION.
11. GAS, ELECTRIC, AND COMMUNICATIONS ROUTING ARE SUBJECT TO REVIEW AND APPROVAL BY APPROPRIATE UTILITY COMPANIES.

**EROSION AND SEDIMENTATION CONTROL NOTES - MASSACHUSETTS**

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROLS IN ACCORDANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY'S (EPA) NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP), MARY00375, THE ORDER OF CONDITIONS REFERENCED BELOW, THE PROJECT STORMWATER POLLUTION PREVENTION PLAN (SWPPP), AND THE CONTRACT DOCUMENTS.
2. THE CONTRACTOR SHALL ADHERE TO THE REQUIREMENTS OF THE PROJECT ORDER OF CONDITIONS PURSUANT TO MASSDEP FILE NO SE 049-0877 ISSUED MAY 6, 2021 AND THE CITY OF NEW BEDFORD SPECIAL CONDITIONS 21 THROUGH 51. AN AMENDMENT FOR THIS WORK HAS BEEN SUBMITTED TO THE CON COMM ON NOVEMBER 11, 2021.
3. SOIL EROSION AND SEDIMENTATION CONTROLS SHALL BE PROVIDED IN ACCORDANCE WITH THE "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS", THE PROJECT SWPPP AND THE NOTES AND DETAILS SHOWN IN THIS PLAN SET.
4. THE EROSION AND SEDIMENTATION CONTROLS SHOWN ON THE PLANS ARE INTENDED TO REPRESENT THE MINIMUM CONTROLS NECESSARY TO MEET ANTICIPATED SITE CONDITIONS. ADDITIONAL MEASURES SHALL BE IMPLEMENTED, AS CONDITIONS WARRANT, OR AS DIRECTED BY SHORELINE OR PARE OR THE CONSERVATION COMMISSION.
5. REQUIRED PERIMETER CONTROL SHALL BE PROPERLY ESTABLISHED, CLEARLY VISIBLE AND IN OPERATION PRIOR TO INITIATING ANY LAND CLEARING ACTIVITY AND/OR OTHER CONSTRUCTION RELATED WORK. SUCH FACILITIES SHALL REPRESENT THE LIMIT OF WORK. WORKERS SHALL BE INFORMED THAT NO CONSTRUCTION ACTIVITY IS TO OCCUR BEYOND THE LIMIT OF WORK AT ANY TIME THROUGHOUT THE CONSTRUCTION PERIOD.
6. AS FEASIBLE, CONSTRUCTION SHALL BE PHASED TO LIMIT THE AREA OF EXPOSED SOIL AND THE DURATION OF EXPOSURE. ALL DISTURBED AREAS SHALL BE TEMPORARILY AND/OR PERMANENTLY STABILIZED WITHIN 14 DAYS FOLLOWING COMPLETION OF GRADING ACTIVITIES.
7. THE CONTRACTOR SHALL INSPECT AND MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL MEASURES FOR THE DURATION OF THE SUBJECT WORK CONTAINED HEREIN AND UNTIL SUCH TIME A CERTIFICATE OF COMPLIANCE IS RENDERED BY THE LOCAL CONSERVATION COMMISSION. THE CITY'S DPI MAY CONDUCT INSPECTIONS, AS NEEDED.
8. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A WEEKLY BASIS AND AFTER EACH STORM EVENT OF 0.25 INCH OR GREATER DURING CONSTRUCTION TO ENSURE THAT THE EROSION CONTROL BARRIERS ARE INTACT.
9. CLEAN AND MAINTAIN SEDIMENTATION CONTROL BARRIERS WHEN SEDIMENT ACCUMULATES TO ONE HALF THE HEIGHT OF THE BARRIER. MATERIAL COLLECTED FROM THE SEDIMENTATION BARRIER SHALL BE REMOVED AS NECESSARY AND DISPOSED IN AN UPLAND AREA.
10. THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT RESERVE OF VARIOUS EROSION CONTROL MATERIALS ONSITE AT ALL TIMES FOR EMERGENCY PURPOSES OR ROUTINE MAINTENANCE.
11. SUITABLE SOILS RESULTING FROM SITE CLEARING MAY BE RECYCLED AND/OR REUSED ON THE SITE AS APPROPRIATE. CONTAMINATED SOIL AND WASTE MATERIALS SHALL EITHER BE REUSED ON-SITE TO FILL BUILDING PITS OR MANAGED OFF-SITE AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.
12. DUST SHALL BE CONTROLLED BY WETTING SOILS OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY SHORELINE OR PARE.
13. CATCH BASINS AND STORM DRAINS SHALL BE PROTECTED WITH COMPOSITE FILTER SOCK OR SEDIMENT BAGS IN PAVED AREAS UNTIL CONTRIBUTING AREA IS PERMANENTLY STABILIZED.
14. DEWATERING GROUNDWATER PUMPED FROM EXCAVATIONS SHALL BE CONVEYED BY HOSE TO A NEARBY TRENCH TO PERMIT INFILTRATION TO THE GROUNDWATER. DEWATERING FLUIDS CONTAINING ANY OILS SHALL BE PUMPED TO THE EXISTING OIL-WATER SEPARATOR IN THE SHORELINE FACILITY PRIOR TO DISCHARGE TO THE NEW BEDFORD PUBLIC OWNED TREATMENT WORKS (POTW) UNDER PERMIT NO. L-25.
15. RIPRAP OR OTHER ENERGY DISSIPATORS SHALL BE USED WHERE NECESSARY TO CONTROL EROSION.
16. ANY EQUIPMENT THAT IS NOT READILY MOBILE (TRACK MACHINERY) SHALL BE PARKED WITHIN THE PROJECT LIMIT OF DISTURBANCE. LARGE AND/OR BULKY MATERIALS SHALL BE STORED SUCH THAT THEY DO NOT INTERFERE WITH THE ONGOING CONSTRUCTION ACTIVITIES OR EROSION CONTROL MEASURES.
17. THE CONTRACTOR SHALL NOT REMOVE ANY EROSION CONTROLS UNTIL THE CONTRIBUTING AREA IS PERMANENTLY STABILIZED AND A CERTIFICATE OF COMPLIANCE IS RECEIVED FROM THE LOCAL CONSERVATION COMMISSION.
18. CRUSHED STONE CONSTRUCTION ENTRANCE AS DETAILED SHALL BE INSTALLED AND MAINTAINED AT ALL SITE ENTRANCES FOR THE DURATION OF THE PROJECT.

**STORMWATER MANAGEMENT SYSTEM INSPECTION AND MAINTENANCE NOTES**

**DURING CONSTRUCTION (CONTRACTOR'S RESPONSIBILITY)**

- 1. THE CONTRACTOR SHALL REMOVE SEDIMENT AND DEBRIS FROM ALL CATCH BASINS, MANHOLES, AND THE DRAINAGE SYSTEM ON A ROUTINE BASIS, IMMEDIATELY FOLLOWING SITE STABILIZATION, AND PRIOR TO PROJECT COMPLETION AND ACCEPTANCE. ROUTINE BASIS IS DEFINED AS:
1) EVERY 7 CALENDAR DAYS
2) FOLLOWING HEAVY STORM EVENTS WITH PRECIPITATION GREATER THAN 0.25 INCHES, OR
3) WHEN OBSERVED DURING THE COURSE OF WORK
2. THE CITY MAY CONDUCT STORMWATER INSPECTIONS. PARE AND THE CONTRACTOR WILL COORDINATE WITH DPI FOR ALL STORMWATER INSPECTIONS.

**POST CONSTRUCTION (SHORELINE RESPONSIBILITIES)**

- 1. ALL CLEANING AND MAINTENANCE OF STORMWATER MANAGEMENT SYSTEMS, SEPARATE FROM THE 24-INCH STORMWATER OVERFLOW, POST-CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE OWNER.
2. STORMWATER CONTROLS THAT WILL BE CONNECTED TO THE STORMWATER OVERFLOW SYSTEM, MATERIAL STORAGE AREA, AND SHIPYARD SHALL BE CLEANED AND MAINTAINED BY SHORELINE. SUCH STORMWATER CONTROLS INCLUDE HYDRODYNAMIC SEPARATOR, DEEP SUMP CATCH BASINS & DRAIN MANHOLES, OIL-GRIT CHAMBER, TIDE GATE VALVE (0F-003 ONLY).
3. A LONG-TERM OPERATION AND MAINTENANCE PLAN FOR THOSE OFF-LINE STORMWATER CONTROLS, SEPARATE FROM THE 24-INCH STORMWATER OVERFLOW, SHALL BE PROVIDED TO THE DPI PRIOR TO INSTALLATION.
4. TRASH, LITTER, SEDIMENT AND OTHER DEBRIS SHALL BE REMOVED FROM ANY STORMWATER MANAGEMENT SYSTEM FACILITY (INCLUDING BUT NOT LIMITED TO CATCH BASINS, MANHOLES, INLET, OUTLET AND DIVERSION STRUCTURES, AND STORMWATER BEST MANAGEMENT PRACTICES (BMPs)) A MINIMUM OF TWO TIMES PER YEAR, PREFERABLY IN THE SPRING AND FALL.
5. THE PARKING LOT AND ENTRY DRIVE SHALL BE SWEEP BY THE OWNER AS EARLY AS POSSIBLE EVERY SPRING AND ONCE IN THE FALL TO REMOVE SEDIMENTS.

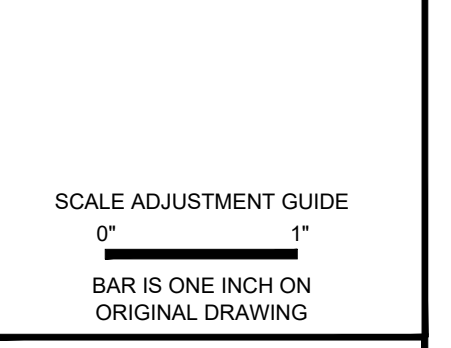
Table with 3 columns: EXISTING, LEGEND, PROPOSED. It defines symbols for PROPERTY LINE, SETBACKS, EASEMENT LINE, CONTOUR, SPOT ELEVATION, DRAINAGE LINE, WATER LINE, FIRE WATER LINE, SANITARY SEWER LINE, GAS LINE, ELECTRIC, TRANSFORMER, TELEPHONE LINE, OVERHEAD ELECTRIC LINE, LIMIT OF DISTURBANCE, CATCH BASIN, HYDRANT, DRAINAGE MANHOLE, SEWER MANHOLE, ELECTRIC MANHOLE, UTILITY POLE, WATER VALVE, GAS GATE, LIGHT POLE, MONITORING WELL, SOIL BORING, TREE LINE, STONE WALL, CHAIN LINK FENCE, CURBING, EDGE OF PAVEMENT, SIGN, COMPOST FILTER SOCK, NO. OF PARKING SPACES, FEMA FLOOD (ELEV. 6 FT), COASTAL BANK, 25' COASTAL BANK SETBACK, 25' COASTAL BANK BUFFER ZONE, 100' COASTAL BANK SETBACK, 100' COASTAL BANK BUFFER ZONE, LAND UNDER OCEAN BOUNDARY, SHELLFISH SUITABILITY AREA BOUNDARY, MHW (+1.78), MLW (-1.78), UTILITY DEMOLITION, CUT & CAP, BUILDING DEMOLITION, DENSE GRADE, CONCRETE, and LANDSCAPING.

**ABBREVIATIONS**

- ADA = AMERICANS WITH DISABILITIES ACT
BM = BENCHMARK
BMP = BEST MANAGEMENT PRACTICE
BIT. = BITUMINOUS
BOT. = BOTTOM
CI = CAST IRON
CB = CATCH BASIN
CL = CLASS
CMR = CODE OF MASSACHUSETTS REGULATIONS
CONC. = CONCRETE
DEMO = DEMOLITION
DIA = DIAMETER
DIP = DUCTILE IRON PIPE
DMH = DRAIN MANHOLE
EOP = EDGE OF PAVEMENT
ELEV.EL = ELEVATION
EX, EXIST. = EXISTING
FTE = FINISH FLOOR ELEVATION
FT = FOOT
GTD = GRADE TO DRAIN
HDPE = HIGH DENSITY POLYETHYLENE PIPE
HYD = HYDRANT
I.D. = INNER DIAMETER
INV. = INVERT
LOD = LIMIT OF DISTURBANCE
LP = LOW POINT
MUTCOD = MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION
MAX. = MAXIMUM
MIN. = MINIMUM
NTS, N.T.S. = NOT TO SCALE
OWS = OIL WATER SEPARATOR
PERF. = PERFORATED
PE = POLYETHYLENE
PVC = POLYVINYL CHLORIDE
R.C. = RADIUS
RCP = REINFORCED CONCRETE PIPE
MASSDEP = MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION
MASSDOT = MASSACHUSETTS DEPARTMENT OF TRANSPORTATION
M.A. STD. = MASSACHUSETTS STANDARD
SMH = SEWER MANHOLE
TP = TEST PIT
TYP. = TYPICAL
UP = UTILITY POLE
VC = VITRIFIED CLAY
W/ = WITH



OWNER/APPLICANT: SHORELINE MARINE TERMINAL, LLC 137 POPE'S ISLAND NEW BEDFORD, MA 02740



Shoreline Marine Terminal, LLC 26 North Front Street (AP 79, Lot 2) New Bedford, Massachusetts

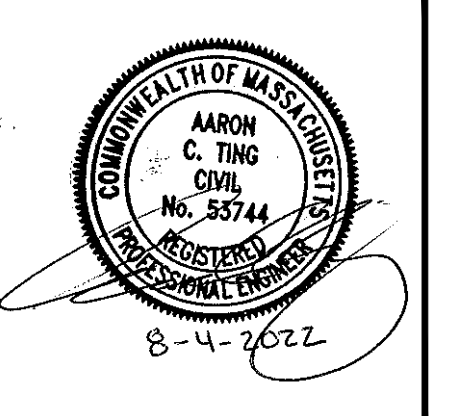


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**NOTES & LEGEND**

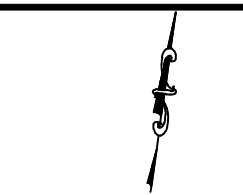
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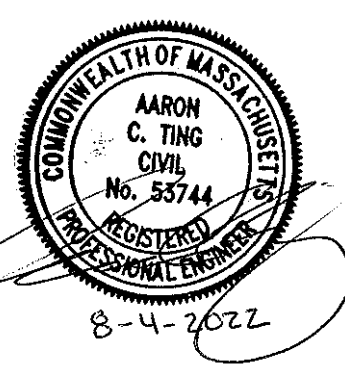


OWNER/APPLICANT:  
 SHORELINE MARINE  
 TERMINAL, LLC  
 137 POPE'S ISLAND  
 NEW BEDFORD, MA 02740



SCALE ADJUSTMENT GUIDE  
 1" = 40'  
 BAR IS ONE INCH ON  
 ORIGINAL DRAWING

**Shoreline Marine Terminal, LLC**  
 26 North Front Street  
 (AP 79, Lot 2)  
 New Bedford, Massachusetts



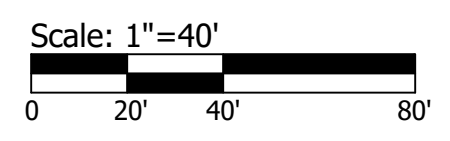
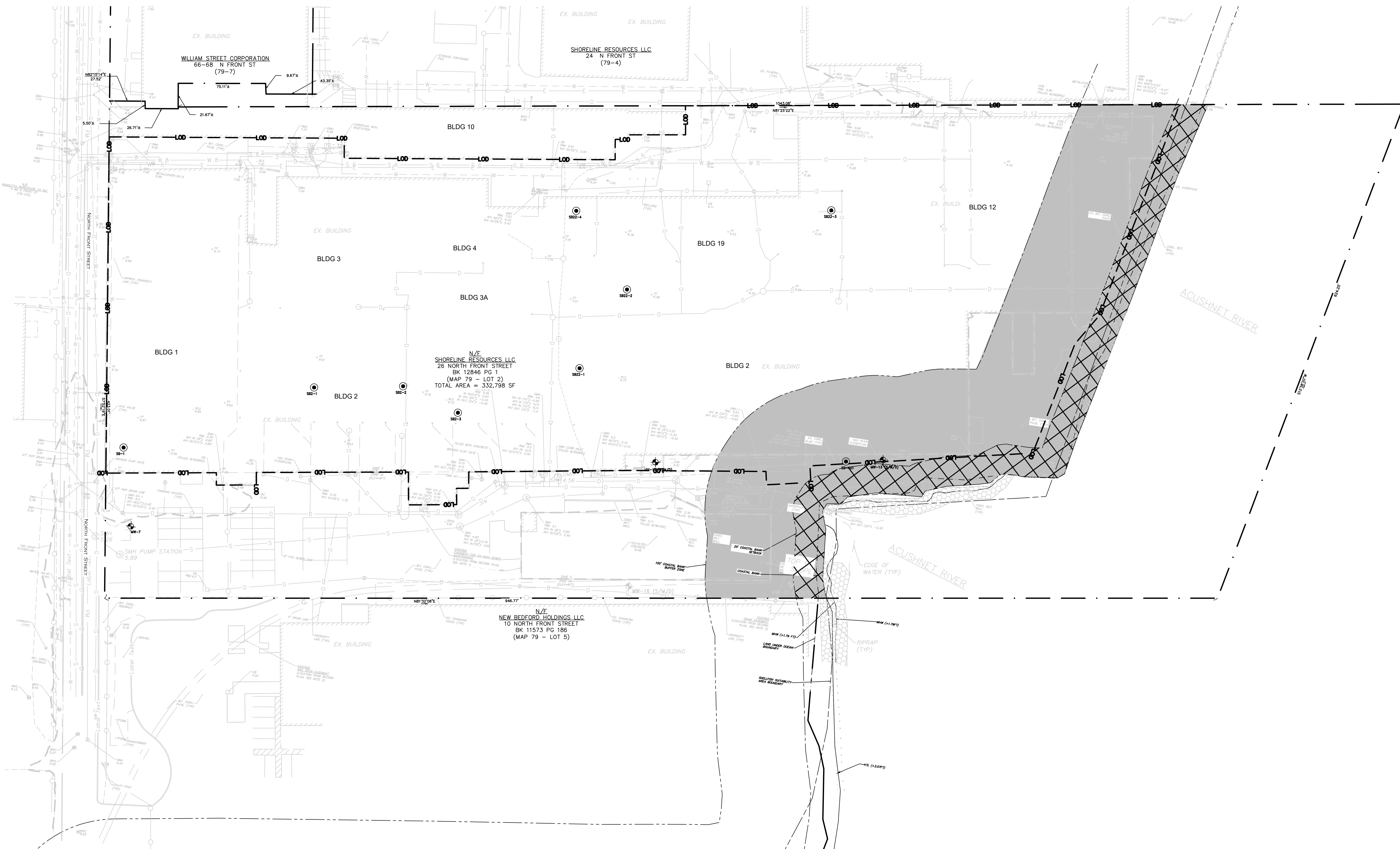
REVISIONS:

NO.	DESCRIPTION

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 DATE: AUGUST 2022  
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 DESIGNED BY: ACT  
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EXISTING CONDITIONS

DRAWING NO.:  
**C2.0**  
 SHEET NO. 2 OF 15



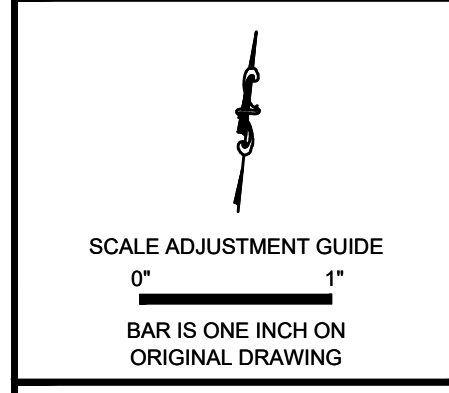
**NOT FOR CONSTRUCTION**

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SHORELINE MARINE TERMINAL, LLC  
137 POPE'S ISLAND  
NEW BEDFORD, MA 02740



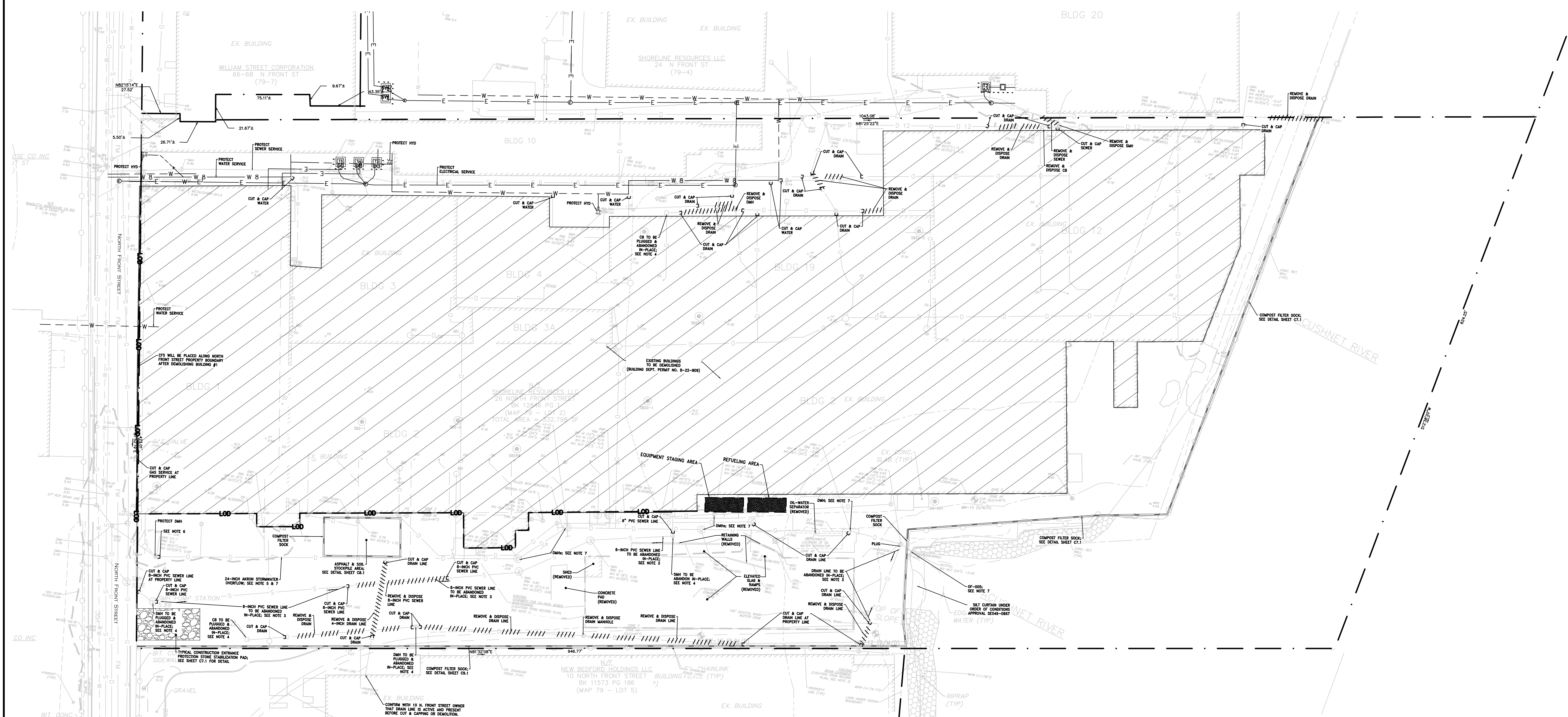
**Shoreline Marine Terminal, LLC**  
26 North Front Street  
(AP 79, Lot 2)  
New Bedford, Massachusetts



REVISIONS:

NO.	DESCRIPTION

PROJECT NO.: 20109.00  
DATE: AUGUST 2022  
SCALE: 1" = 40'  
DESIGNED BY: ACT  
CHECKED BY: ACT  
DRAWN BY: SMD  
APPROVED BY: ADH  
DRAWING TITLE:  
DEMOLITION & EROSION CONTROL PLAN  
DRAWING NO.: C4.0  
SHEET NO. 4 OF 15

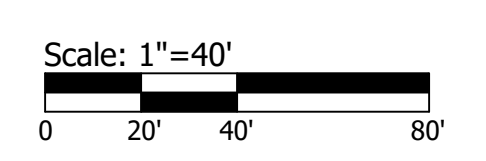


**EROSION CONTROL NOTES:**

1. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO DEMOLITION OR ANY SITE WORK.
2. EROSION CONTROLS BMP(S) SHALL CONFORM TO USEPA, NPDES, MA DEP AND MASSACHUSETTS EROSION AND SEDIMENTATION CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS.
3. EROSION CONTROLS SHOWN ON THE PLANS ARE INTENDED TO REPRESENT THE MINIMUM CONTROLS NECESSARY TO MEET ANTICIPATED SITE CONDITIONS. ADDITIONAL MEASURES SHALL BE IMPLEMENTED AS CONDITIONS WARRANT, AS DIRECTED BY SHORELINE OR PARE CORPORATION, OR AS REQUIRED BY THE CITY CONSERVATION COMMISSION.
4. THE CONTRACTOR SHALL MAINTAIN EROSION CONTROLS THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL REPLACE DAMAGED EROSION CONTROLS IN ACCORDANCE WITH THE MAINTENANCE REQUIREMENTS OF THE CONSERVATION COMMISSION ORDER OF CONDITIONS APPLIED FOR ON MARCH 23, 2022, AND BEING RESUBMITTED WITH THIS PLAN SET, NPDES CONSTRUCTION GENERAL PERMIT (NPDES PERMIT #MARI003T5), AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
5. SOIL AND DEBRIS GENERATED DURING THE INSTALLATION OF THE REDEVELOPMENT WORK WILL BE TEMPORARILY STOCKPILED IN THE DESIGNATED AREA, AS SHOWN ON THE ABOVE PLAN.
6. DEMOLITION DEBRIS WILL BE STOCKPILED WITHIN THE BUILDING FOOTPRINTS.

**DEMOLITION NOTES:**

1. SEE SHEET C8.1 FOR TYPICAL PLUGS FOR SANITARY AND STORM SEWER ABANDONMENT.
2. THE EXISTING SEWER LINE IS NOT ACTIVE. CONTRACTOR SHALL CUT AND CAP THE SEWER PIPE, AS SHOWN ABOVE. SEWER PIPE WILL BE REMOVED, AS NOTED ABOVE, TO INSTALL THE NEW 24-INCH STORMWATER OVERFLOW.
3. SANITARY AND STORM SEWER LINES TO BE ABANDONED IN PLACE SHALL BE FILLED WITH FLOWABLE FILL AND THE CUT ENDS BULKHEADED ACCORDING TO THE DETAILS CONTAINED HEREIN.
4. MANHOLES & CATCH BASINS TO BE ABANDONED IN PLACE SHALL HAVE THE FRAME AND COVER REMOVED, THE TOP 3-FT DEMOLISHED, AND THE REMAINDER OF THE STRUCTURE FILLED WITH FLOWABLE FILL. DELIVER ALL CITY OWNED CASTINGS TO 1105 SHAWMUT AVENUE, DEPARTMENT OF PUBLIC INFRASTRUCTURE YARD.
5. THE CONTRACTOR SHALL MITIGATE FUGITIVE DUST AND EMISSIONS DURING BUILDING DEMOLITION WORK BY SPRAYING THE WORK AREA WITH WATER. NO OFFSITE EMISSIONS WILL BE PERMITTED DURING THE BUILDING DEMOLITION.



**NOT FOR CONSTRUCTION**

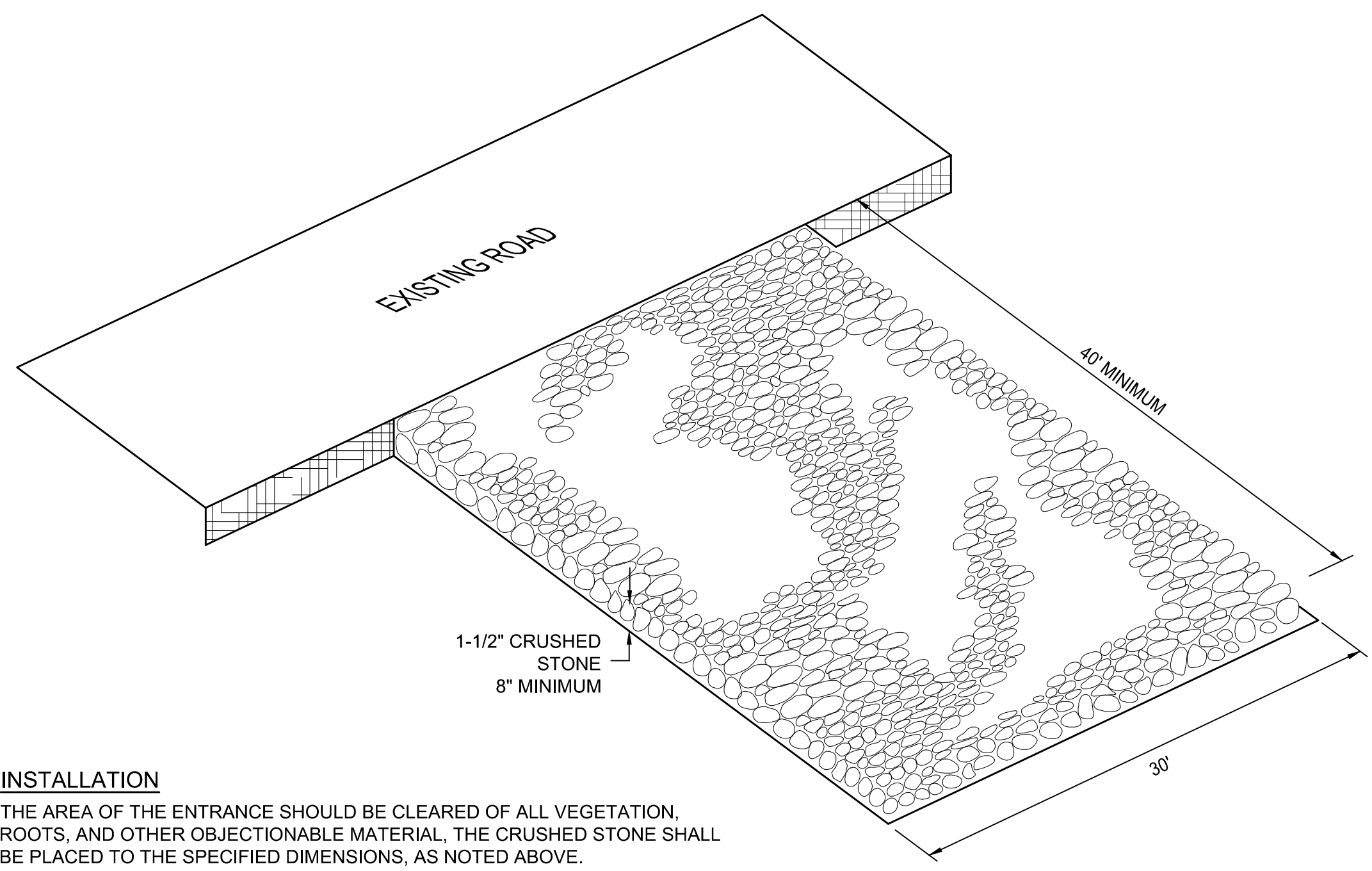
Z:\J08520\Jos020109.00 Shoreline Resources - LSP Services - MAD\WGS\Building Demolition\NOICA-0\_EC & DEMO PLAN.dwg



NO.	DATE	DESCRIPTION

PROJECT NO.:	20109.00
DATE:	AUGUST 2022
SCALE:	NTS
DESIGNED BY:	ACT
CHECKED BY:	ACT
DRAWN BY:	SMD
APPROVED BY:	ADH
DRAWING TITLE:	

DETAIL 1



**INSTALLATION**

THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL, THE CRUSHED STONE SHALL BE PLACED TO THE SPECIFIED DIMENSIONS, AS NOTED ABOVE.

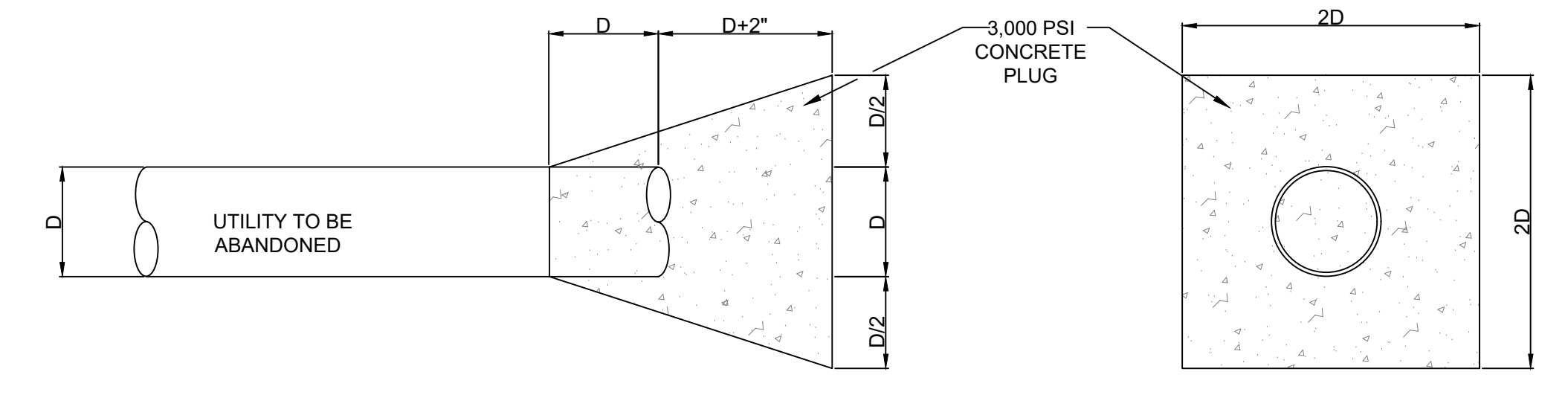
**MAINTENANCE**

THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENTS ONTO PUBLIC RIGHT-OF-WAYS. THIS WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE, OR ADDITIONAL LENGTH, AS CONDITIONS DEMAND, AND REPAIR, AND / OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.

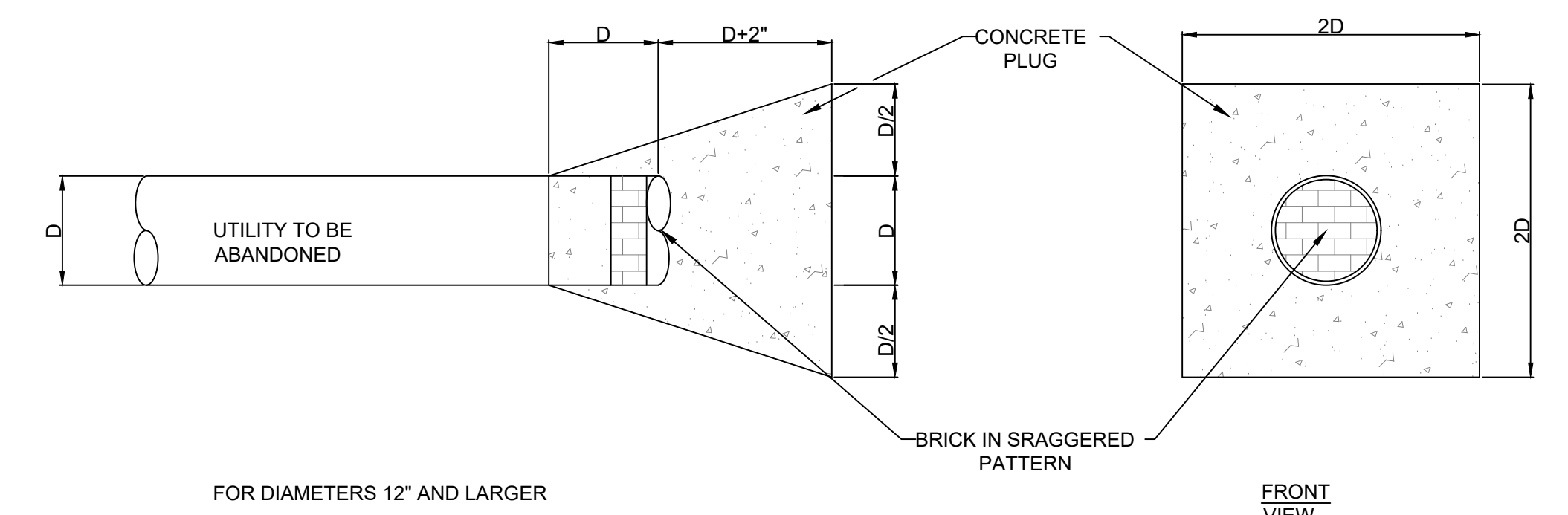
**LOCATION**

SEE PROJECT PLANS FOR LOCATION OF CONSTRUCTION ENTRANCE.

**CONSTRUCTION ENTRANCE PROTECTION STONE STABILIZATION PAD**  
NOT TO SCALE

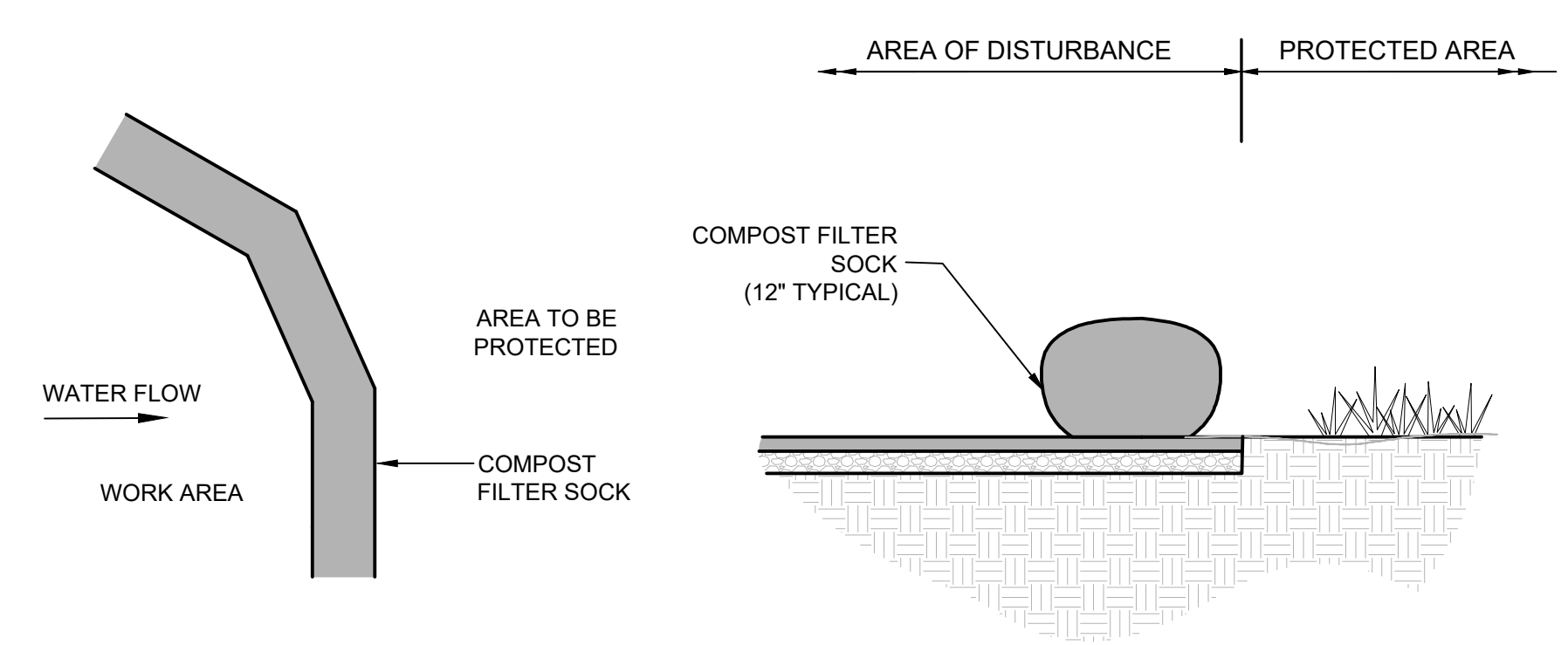


FOR DIAMETERS 10" AND SMALLER



FOR DIAMETERS 12" AND LARGER

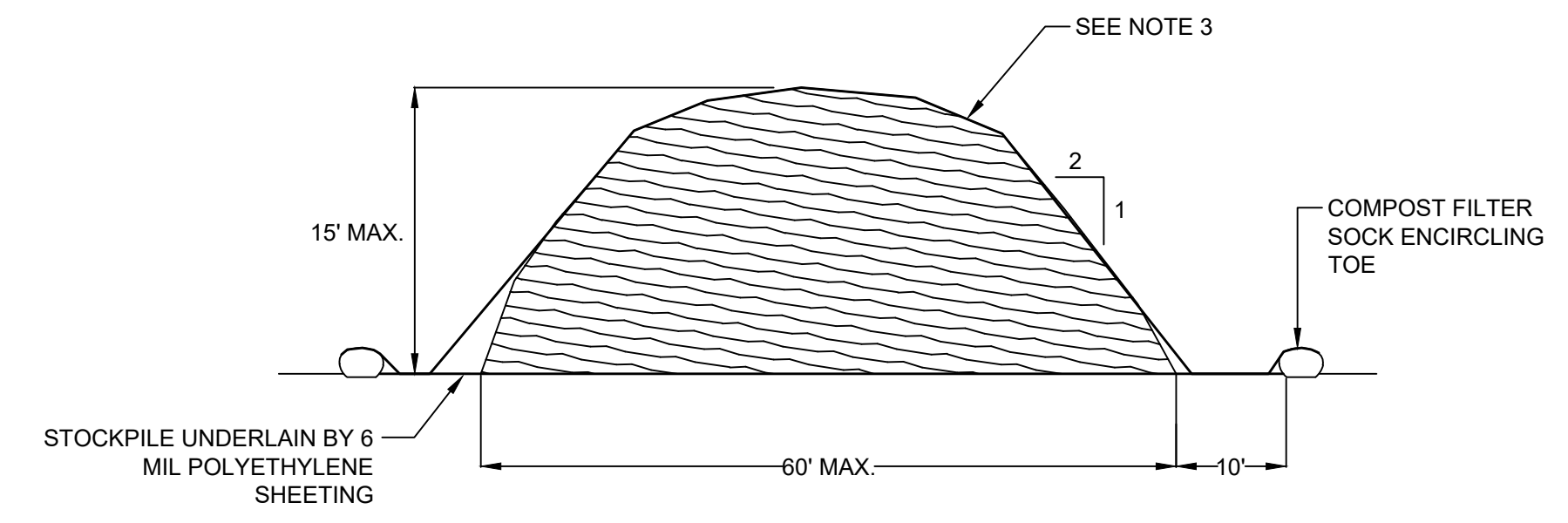
**TYPICAL PLUGS FOR SANITARY  
SEWER AND STORMWATER PIPE  
ABANDONMENT**  
NOT TO SCALE



**NOTES:**

1. CONSTRUCT ALL EROSION AND SEDIMENT CONTROLS AS SPECIFIED AND AS SHOWN ON PLAN. (SEE SHEET C4.0.)
2. COMPOST MATERIAL TO BE REMOVED OR DISPERSED ON SITE AS DETERMINED BY PARE.
3. IF SOCK NETTING MUST BE JOINED, FIT BEGINNING OF NEW SOCK OVER END OF OLD SOCK, OVERLAPPING BY 2 FEET AND STACK OVERLAP. IF SOCK NETTING IS NOT JOINED, OVERLAP OLD SOCK WITH NEW ONE BY A MINIMUM OF 2 FEET.

**COMPOST FILTER SOCK DETAIL**  
NOT TO SCALE



**NOTES:**

1. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL PREPARE THE STOCKPILE AREA AS SHOWN ON PLAN (SEE SHEET C4.0).
2. STOCKPILE AREA SHALL NOT EXCEED SPECIFIED DIMENSIONS WITHOUT APPROVAL FROM PARE CORPORATION.
3. POLYETHYLENE SHEETING SHALL BE WEIGHTED DOWN USING SAND BAGS OR EQUIVALENT MATERIALS TO PREVENT THE STOCKPILE BEING UNCOVERED DUE TO HIGH WINDS.

**ASPHALT, DEBRIS & SOIL  
STOCKPILE AREA**  
NOT TO SCALE