

CISCO NEW BEDFORD RESTAURANT FACILITY 1480 EAST RODNEY FRENCH BLVD. NEW BEDFORD, MASSACHUSETTS

SITE SUMMARY

ASSESSORS MAP 12 LOTS 77, 264, 287-291
 ZONING DISTRICT: MIXED USE BUSINESS/INDUSTRIAL A
 PROPOSED USE: RESTAURANT
 DEED REFERENCE: BOOK 11031, PAGE 159
 BOOK 11004, PAGE 138

ZONING REQUIREMENTS TABLE

	REQUIRED	EXISTING	PROPOSED
MUB	IND A		
LOT AREA	—	2.55 ACRES	2.55 ACRES
LOT FRONTAGE	0'	419.47'	419.47'
FRONT SETBACK (BLDG.)	0'	25'	30'
SIDE SETBACK (BLDG.)	0'	25'	70'
REAR SETBACK (BLDG.)	10'	25'	103'
FRONT SETBACK (PARKING)	0'	0'	2'-8"
SIDE SETBACK (PARKING)	0'	0'	5' (MIN.)
REAR SETBACK (PARKING)	0'	0'	20'
BUILDING HEIGHT	100'	25'	25'
LOT COVERAGE	—	50%	7% (INCLUDES TEMPORARY STRUCTURES)
GREEN SPACE	0	20%	5%
SCREENING BUFFERS	N/A	N/A	0
OFF STREET PARKING	86*	86*	57
			142

*BASED ON 10,050 SF BUILDING AND DECK PLUS 7,000 SF EVENT SPACE x 1 SPACE/200 SF = 85.2



PLAN INDEX

SHEET NO.	TITLE	DATE	REVISED
—	COVER SHEET	MARCH 15, 2019	SEPTEMBER 3, 2019
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2 OF 11	LOCUS MAP	MARCH 15, 2019	SEPTEMBER 3, 2019
3 OF 11	SITE GRADING	MARCH 15, 2019	SEPTEMBER 3, 2019
4 OF 11	LANDSCAPING PLAN	MARCH 15, 2019	SEPTEMBER 3, 2019
5 OF 11	SITE UTILITIES	MARCH 15, 2019	SEPTEMBER 3, 2019
6 OF 11	SITE LIGHTING	MARCH 15, 2019	SEPTEMBER 3, 2019
7 OF 11	EXISTING CONDITIONS	MARCH 15, 2019	SEPTEMBER 3, 2019
8 OF 11	DEMOLITION PLAN	MARCH 15, 2019	SEPTEMBER 3, 2019
9 OF 11	EROSION CONTROL PLAN	MARCH 15, 2019	SEPTEMBER 3, 2019
10 OF 11	DETAIL SHEET #1	MARCH 15, 2019	SEPTEMBER 3, 2019
11 OF 11	DETAIL SHEET #2	MARCH 15, 2019	SEPTEMBER 3, 2019
—	BUILDING ELEVATIONS	MARCH 15, 2019	
—	FLOOR PLAN	MARCH 15, 2019	

OWNERS:

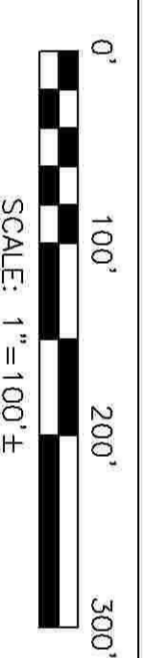
GCK REALTY, LLC
 1480 E. RODNEY FRENCH BLVD.
 NEW BEDFORD, MA 02741
VVK REALTY, LLC
 P.O. BOX 127
 FAIRHAVEN, MA 02719

APPLICANT:

SERVEDWELL NEW BEDFORD, LLC
 307 SMITH NECK ROAD
 DARTMOUTH, MA 02748

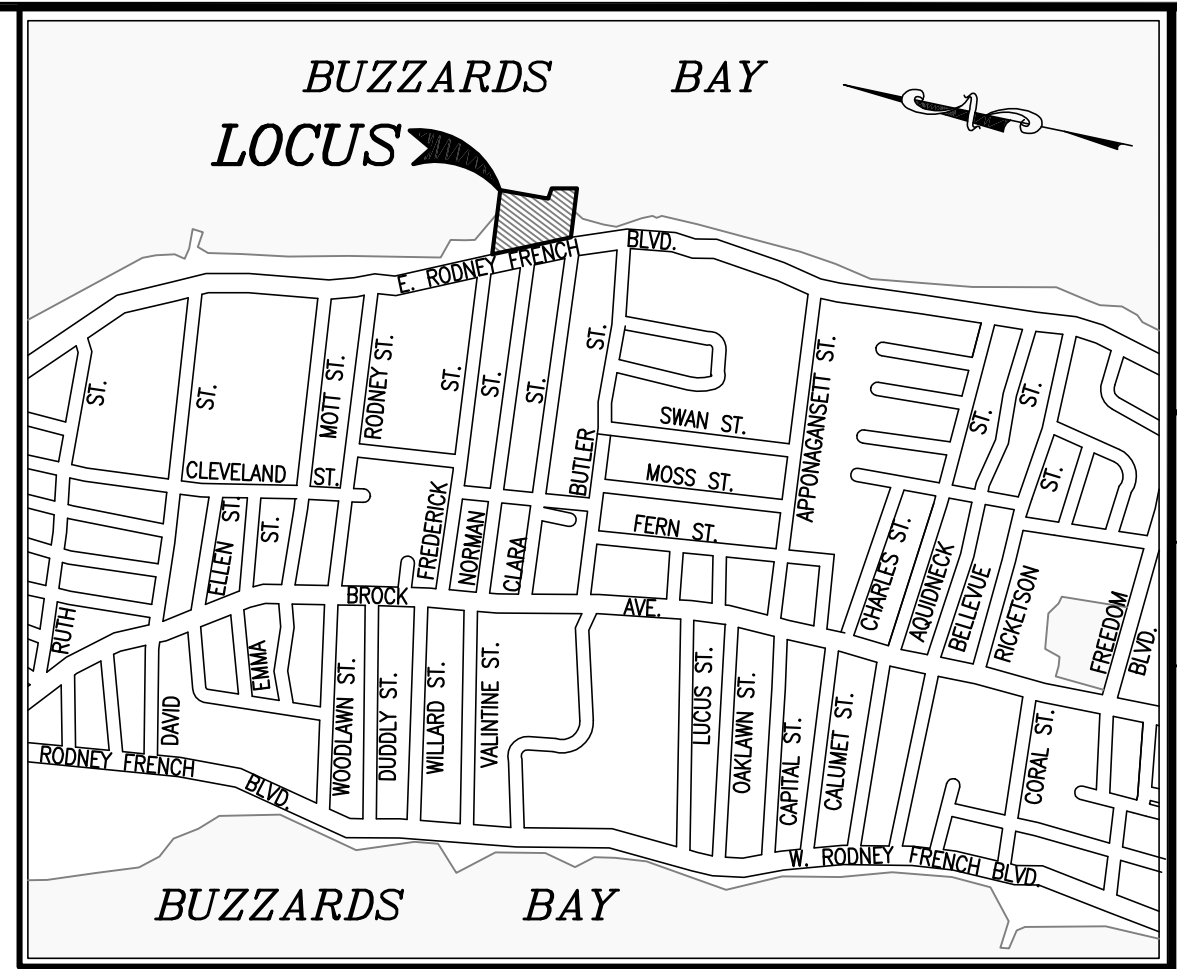
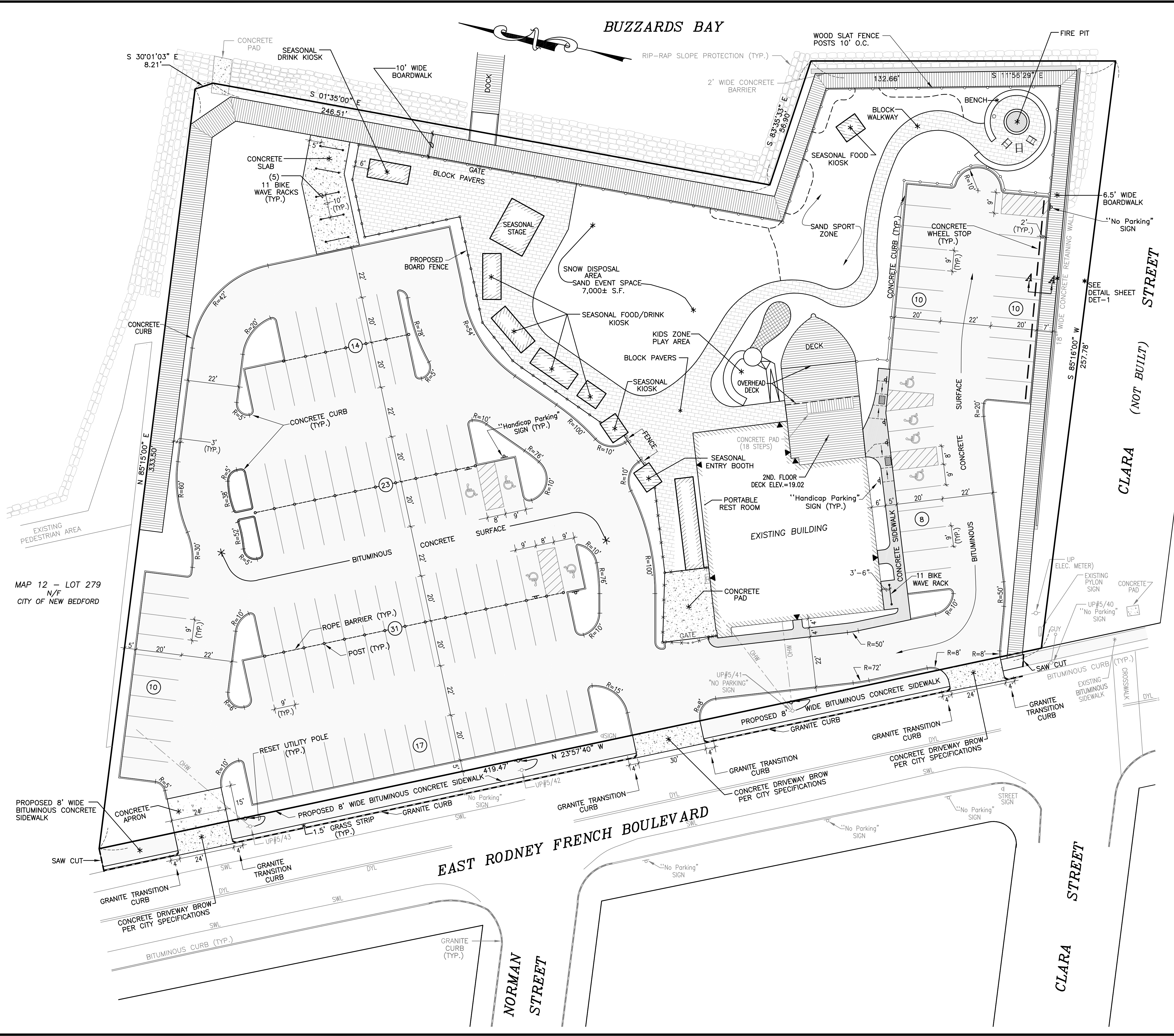
DATE: MARCH 15, 2019
 REVISED: SEPTEMBER 3, 2019

LOCUS MAP



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Civil and Environmental Engineering
 Land Use Planning
 449 Founce Corner Road
 Dartmouth, MA 02747
 (508) 998-2125
 FAX (508) 998-7554
 WWW.SITTEC-ENGINEERING.COM
 ACOE NO. 19-7148 COVER SHEET.DWG



LOCUS MAP

SCALE: 1"=1,000'±

LEGEND

- PROPERTY LINE
- ▲—▲— EXISTING BUILDING ENTRANCE
- DYL— EXISTING DOUBLE YELLOW LINE
- SWL— EXISTING SOLID WHITE LINE
- X—X— EXISTING CHAIN LINK FENCE
- (17) PROPOSED NUMBER OF PARKING SPACES
- ▲—▲— PROPOSED BUILDING ENTRANCE
- X—X— PROPOSED CHAIN LINK FENCE
- PROPOSED WOOD SLAT FENCE

NOTES:

1. I HEREBY CERTIFY THAT THE PROJECT AS DESIGNED MEETS THE APPLICABLE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD.
2. DRIVEWAY PERMIT SUBJECT TO TRAFFIC COMMISSION APPROVAL.
3. PERMITS FOR SIDEWALK, DRIVEWAYS, WATER & SEWER MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC INFRASTRUCTURE ENGINEERING DIVISION.
4. ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY PLANNER AND CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY PLANNER AND CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
5. ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
6. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
7. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS.
8. BICYCLE RACKS SHALL BE 9 BIKE CAPACITY WAVE RACKS WITH IN-GROUND MOUNTING.

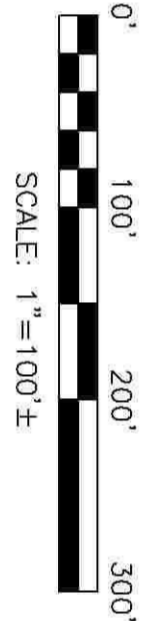
MAP 12 - LOT 279
N/F
CITY OF NEW BEDFORD

Revision Description	Date	No.

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date: MARCH 15, 2019
drawn: NAD
checked: SDG
approved: SDG
sheet 1 of 11
drawing number: SL-1

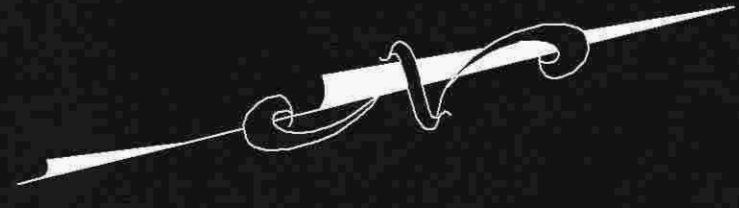
project: CISCO NEW BEDFORD
1480 EAST RODNEY FRENCH BLVD.
NEW BEDFORD, MA 02744
client: SERVEDWELL NEW BEDFORD, LLC
drawing title: SITE LAYOUT

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LOCUS

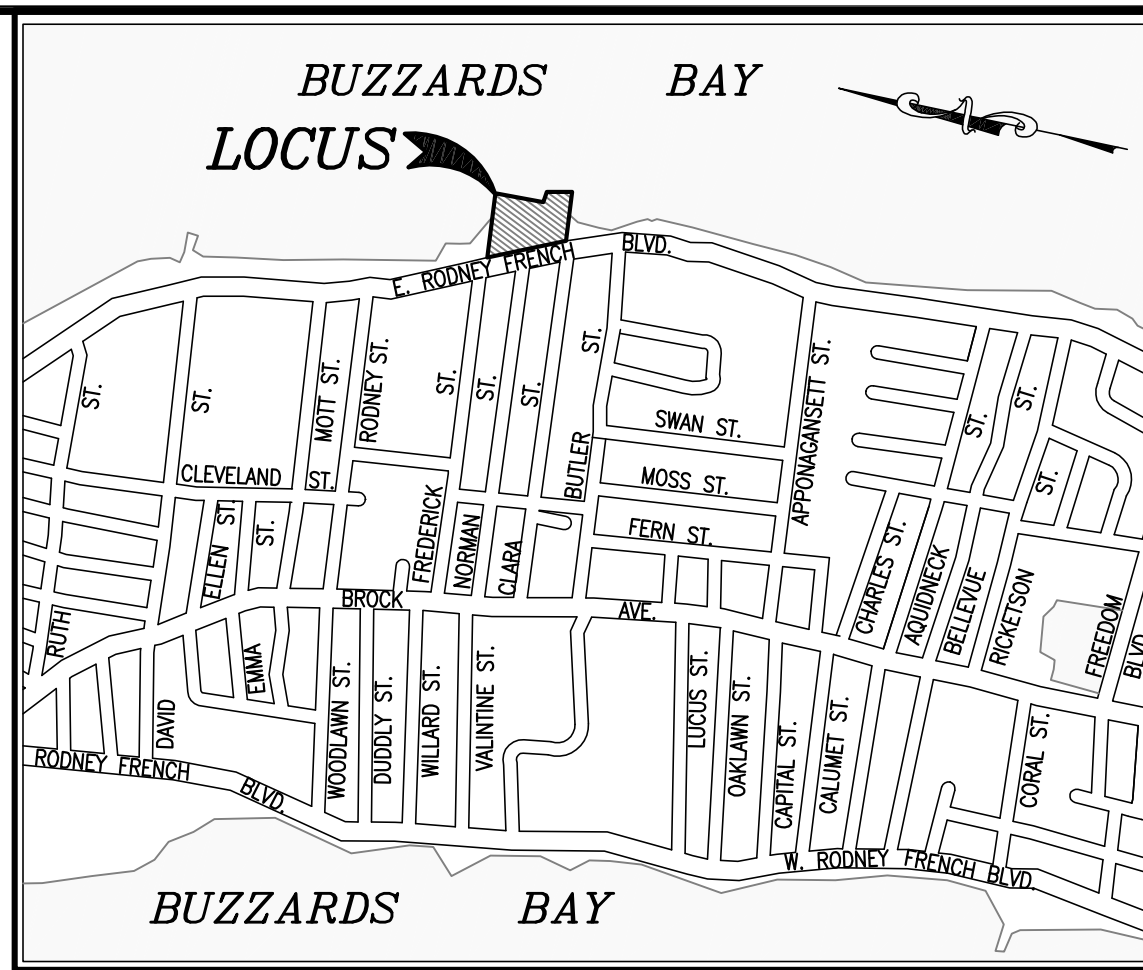
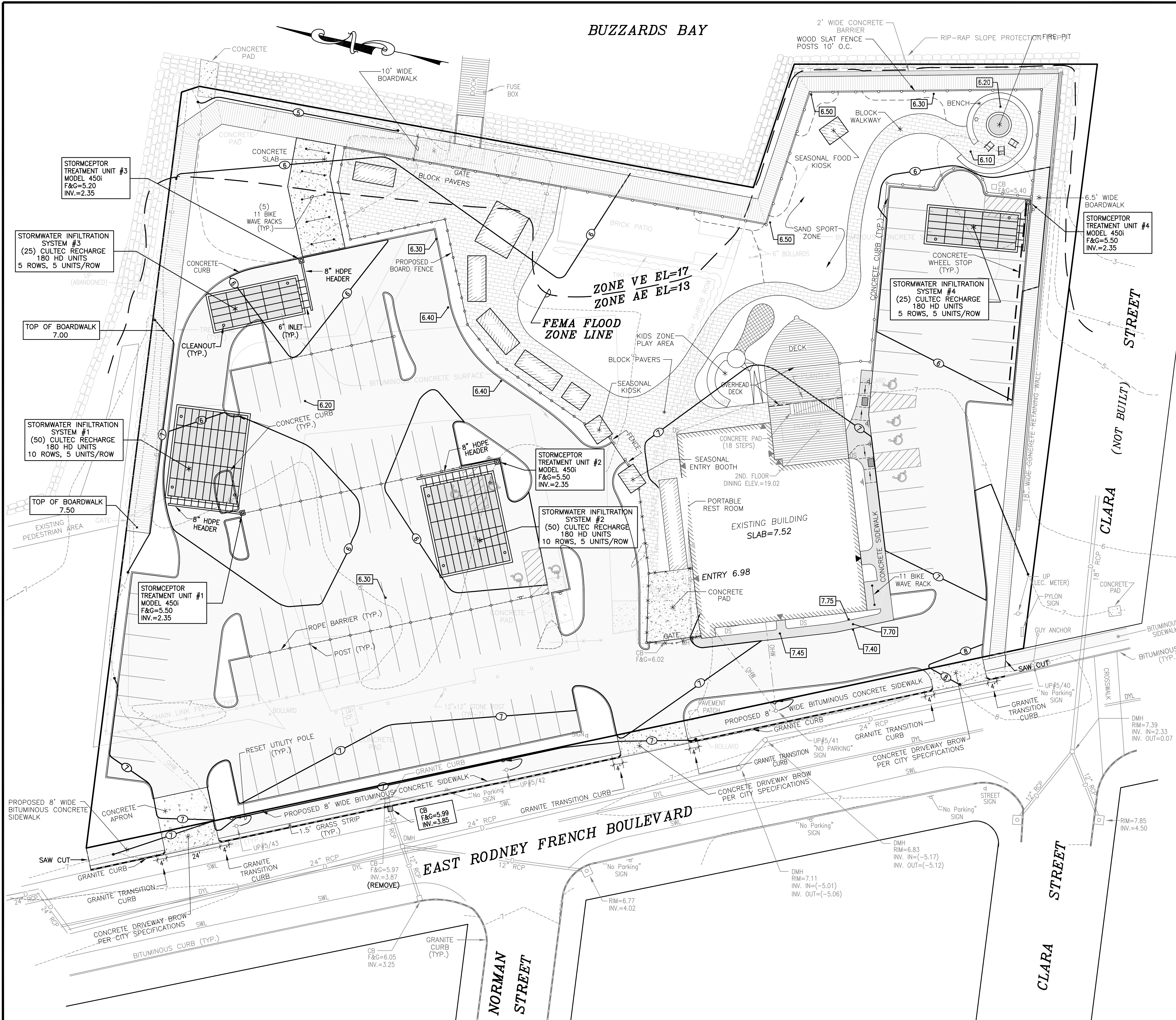
BUZZARDS BAY



SITEC Civil and Environmental Engineering Land Use Planning 449 Faunce Corner Road Dartmouth, MA 02747 (508) 998-2125 FAX (508) 998-7554 WWW.SITEC-ENGINEERING.COM	<i>project:</i> CISCO NEW BEDFORD 1480 EAST RODNEY FRENCH BLVD. NEW BEDFORD, MA 02744	<i>scale:</i> 1"=100'± <i>date:</i> MARCH 15, 2019 <i>drawn:</i> NAD <i>checked:</i> SDG <i>approved:</i> SDG	<table border="1"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Revision Description</th> <th>Chkd. by</th> <th>Appvd. by</th> </tr> </thead> <tbody> <tr> <td>2</td> <td>SEPT. 3, 2019</td> <td>REVISE PARKING</td> <td>SDG</td> <td>SDG</td> </tr> <tr> <td>1</td> <td>JULY 5, 2019</td> <td>MISCELLANEOUS PLANING REVISIONS</td> <td>SDG</td> <td>SDG</td> </tr> </tbody> </table>	No.	Date	Revision Description	Chkd. by	Appvd. by	2	SEPT. 3, 2019	REVISE PARKING	SDG	SDG	1	JULY 5, 2019	MISCELLANEOUS PLANING REVISIONS	SDG	SDG
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2	SEPT. 3, 2019	REVISE PARKING	SDG	SDG														
1	JULY 5, 2019	MISCELLANEOUS PLANING REVISIONS	SDG	SDG														
<i>client:</i> SERVEDWELL NEW BEDFORD, LLC	<i>drawing title:</i> LOCUS MAP	<i>sheet</i> 2 <i>of</i> 11 <i>drawing number:</i> LOCUS-1																

Acad No. NB 19-7146
 Locus Map/Plan
 File No. 19-7146

BUZZARDS BAY



LOCUS MAP
SCALE: 1"=1,000'±

LEGEND

- PROPERTY LINE
- EXISTING BUILDING ENTRANCE
- - - EXISTING CONTOUR
- - - EXISTING DOUBLE YELLOW LINE
- - - EXISTING SOLID WHITE LINE
- - - EXISTING STOCKADE FENCE
- - - CHAIN LINK FENCE
- - - DRAINAGE LINE
- CB □ CATCH BASIN
- DMH ○ DRAIN MANHOLE
- DS • DOWN SPOUT
- UP ○ UTILITY POLE
- TREE LINE
- - - PROPOSED BUILDING ENTRANCE
- - - PROPOSED CHAIN LINK FENCE
- - - PROPOSED WOOD SLAT FENCE
- - - PROPOSED CONTOUR
- 7.45 PROPOSED SPOT GRADE
- CB □ PROPOSED CATCH BASIN

No.	Date	Revision Description
2	SEPT. 3, 2019	REVISE PARKING
1	JULY 5, 2019	MISCELLANEOUS PLANNING REVISIONS

Scale:	1" = 20'
Date:	MARCH 15, 2019
Drawn:	NAD
Checked:	SDG
Approved:	SDG
Sheet:	3 of 11
Drawing Number:	SG-1

Project: CISCOW NEW BEDFORD
1480 EAST RODNEY FRENCH BLVD.
NEW BEDFORD, MA 02744

Client: SERVEDWELL NEW BEDFORD, LLC

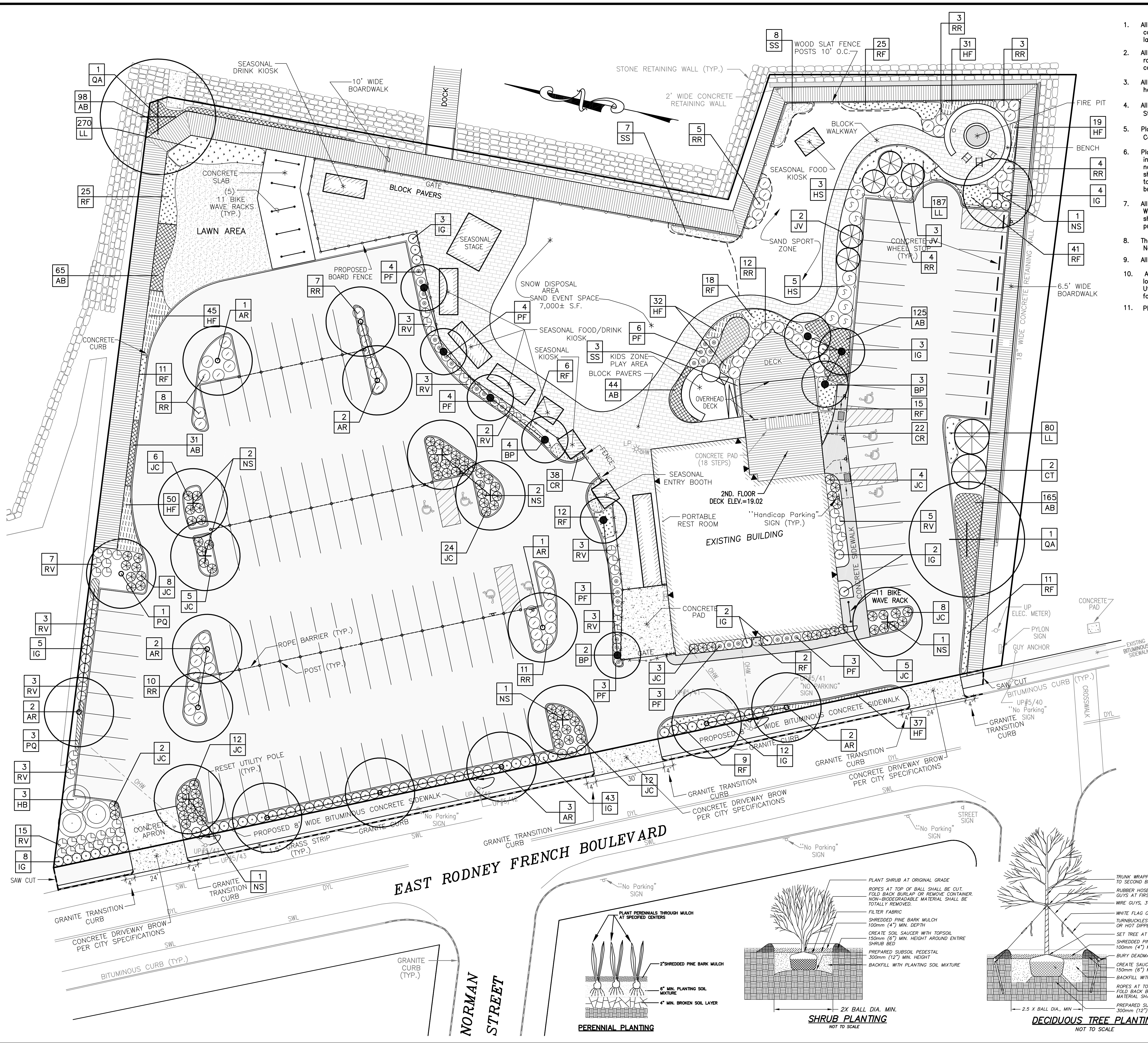
Drawing Title: SITE GRADING

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Worcester, MA 02774
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(508) 938-1554
WWW.SITEC-ENGINEERING.COM

Acad No. NB 19-7146 SG.DWG
File No. 19-7146

BENCHMARK: SPIKE SET IN UTILITY POLE #5/40
ELEV. = 8.93 NAVD

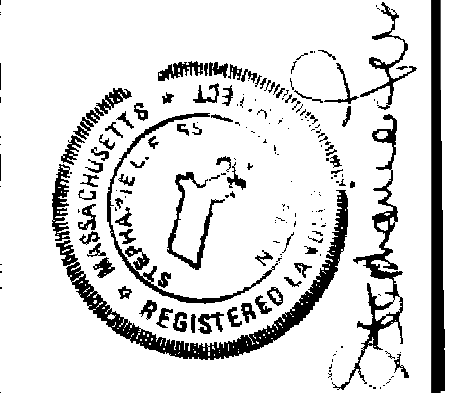
FLOOD ZONE BASED ON FEMA FLOOD INSURANCE
RATE MAP PANEL 25005 C 04829
EFFECTIVE DATE JULY 16, 2014



PLANTING NOTES

- All new lawn areas shall receive a minimum of 6 inches topsoil of the proper pH and organic content suitable for the healthy growth of lawns. These areas shall be seeded with a fine blade lawn grass seed.
- All tree and shrub pits shall be at least 2 feet wider and 1 foot deeper than the tree or shrub root ball to be planted in it. Backfill shall be high quality loam of the proper pH and organic content suitable for the healthy growth of plant materials.
- All areas to be mulched shall receive 4 inches minimum 100% shredded bark mulch within 48 hours of planting. Unless otherwise noted in planting details.
- All plants shall be nursery grown and conform to the latest edition of "ANSI Z60.1, American Standard for Nursery Stock."
- Plants shall conform to the botanical name as indicated in the latest edition of "American Joint Committee of Horticultural Nomenclature, Standardized Plant Names."
- Plants shall be handled at all times in accordance with the best horticultural practices. Plants in-leaf shall be sprayed with anti-desiccant before digging. Plants shall be dug with firm natural balls and shall conform to the ratios and sizes specified in ANSI Z60.1. B & B plants shall be wrapped in burlap and tied firmly. Plant materials shall be delivered immediately prior to placement, shall be kept moist and shall be protected from sun and wind. Plants having broken or cracked balls prior to or during planting will not be accepted.
- All trunks of deciduous trees shall be wrapped immediately after planting with tree wrap. Wrap shall be wound spirally, from the bottom of the trunk to the second branches. All trees shall be staked or guyed immediately after planting in accordance with best horticultural practices.
- The periods for planting shall be from March 15 to May 15 and from September 15 to November 15, weather permitting.
- All disturbed areas shall be loamed and seeded as directed in note #1 above.
- All locations of existing utilities may not be shown on this plan. See other plan sheets for utility locations. Contractor shall be solely responsible for determining actual locations of existing utilities. Utility conflicts may require adjustments to proposed construction. Contractor shall be responsible for repair of any utilities damaged during construction.
- Planting beds adjacent to the building shall contain a mix of perennials.

symbol	quantity	name	size
AR	13	ACER RUBRUM 'OCTOBER GLORY'	2" - 2.5" cal.
AB	528	October Glory Red Maple	B&B
		AMMOPHILA BREVILIGULATA	3" pot
BP	9	American Beach Grass	space 18" o.c.
		BETULA POPULIFOLIA 'WHITESPIRE'	20 gallon container
CT	2	Whitespire Birch	4' - 5'
		CHAMAECYPARIS THYOIDES	
		Atlantic White Cedar	
CR	60	COREOPSIS ROSEA 'AMERICAN DREAM'	1 gallon container
		American Dream Tickseed	space 18" o.c.
HF	214	HEMEROCALLIS FULVA	1 gallon container
		Old Fashioned Daylily	space 18" o.c.
HB	3	HIBISCUS SYRIACUS 'BLUE CHIFFON'	5 gallon container
		Blue Chiffon Rose of Sharon	
HS	8	HIBISCUS SYRIACUS 'LOHENGRIN'	7 gallon container
		Lohengrin Rose of Sharon	
IG	101	ILEX GLABRA 'COMPACTA'	2 gallon container
		Compact Inkberry	
JC	112	JUNIPERUS CH. PFITZERIANA 'COMPACTA'	2 gallon container
		Compact Pfitzer Juniper	
JV	5	JUNIPERUS VIRGINIANA	5' - 6'
LL	537	LIMONIUM LATIFOLIA	1 gallon container
		Eastern Red Cedar	space 12" o.c.
NS	8	NYSSA SYLVATICA 'WILDFIRE'	2" - 2.5" cal.
		Sea Lavender	B&B
PQ	4	PARTHENOCISSUS QUINQUEFOLIA	1 gallon container
		Wildfire Tupelo	
PF	30	POTENTILLA FRUITICOSA 'GOLDFINGER'	2 gallon container
		Virginia Creeper	
QA	2	QUERCUS ALBA	2" - 2.5" cal.
		Goldfinger Potentilla	B&B
RR	67	ROSA RUGOSA 'FRAU DAGMAR HASTRUP'	2 gallon container
		White Oak	
RV	50	ROSA RUGOSA 'FRAU DAGMAR HASTRUP'	2 gallon container
		Frau Dagmar Hastrup Rugosa Rose	
RF	175	RUBICEKIA FULGIDA 'GOLDSTURM'	1 gallon container
		Virginia Rose	
SS	18	SOLIDAGO SEMPERVIRENS	1 gallon container
		Goldsturm Black Eyed Susan	space 30" o.c.
		SOLIDAGO SEMPERVIRENS	1 gallon container



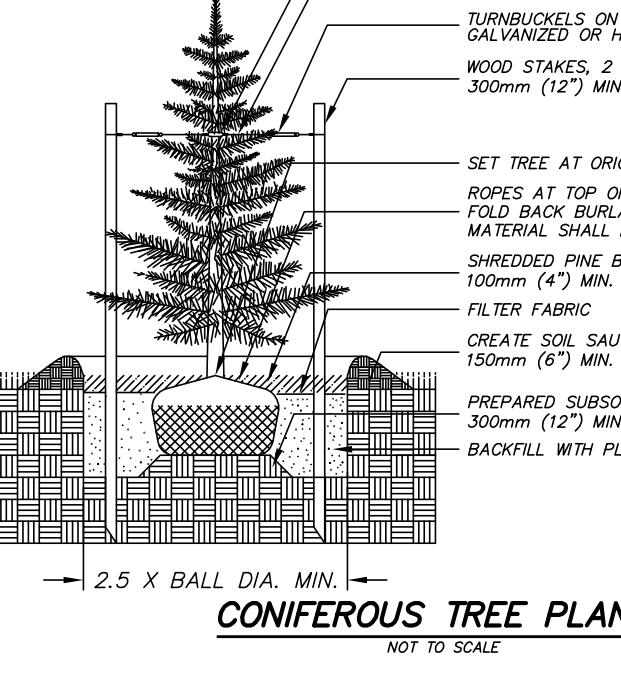
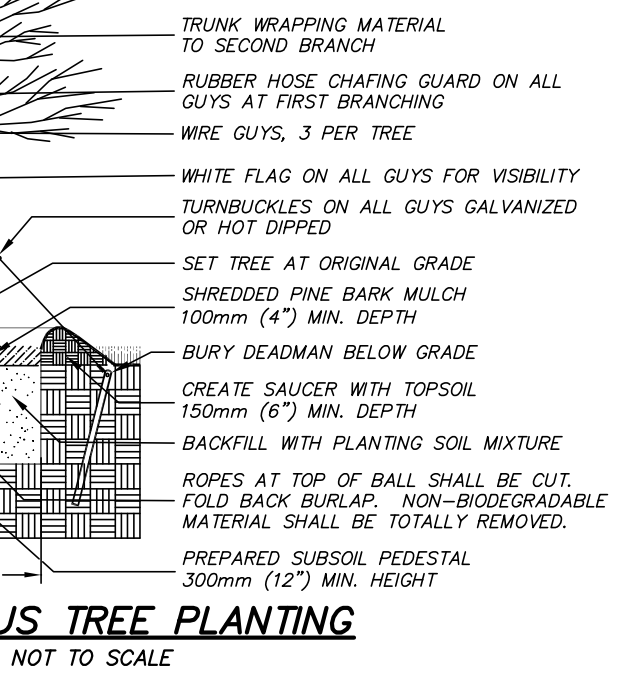
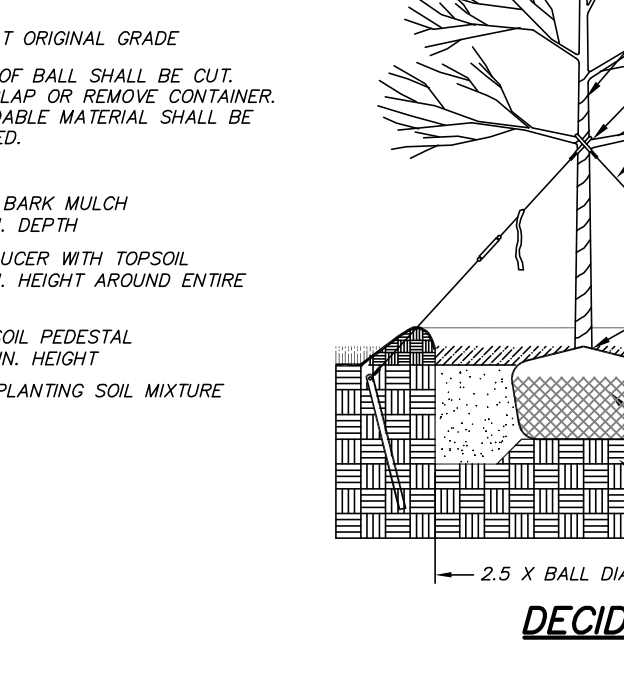
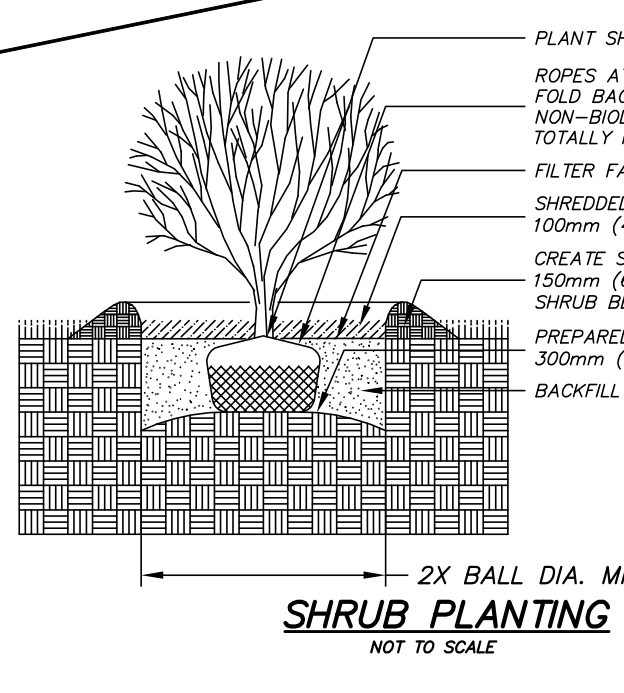
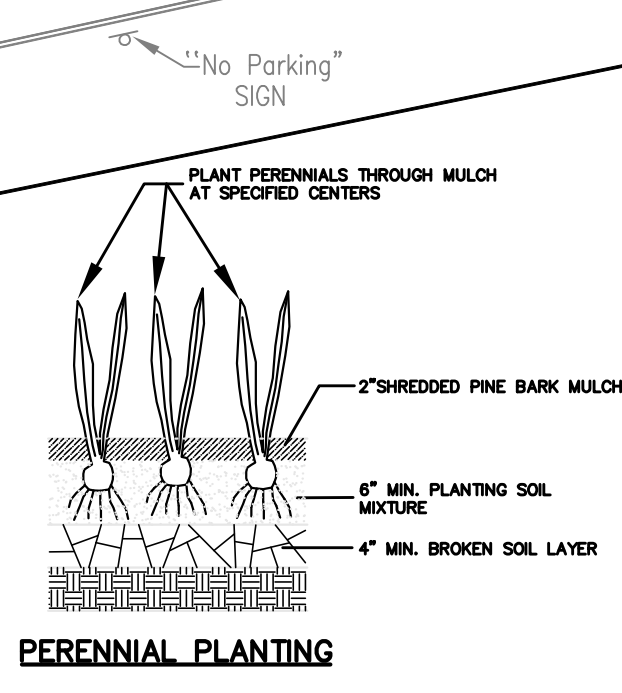
Appr. By	Chk. By	Revision Description	Date

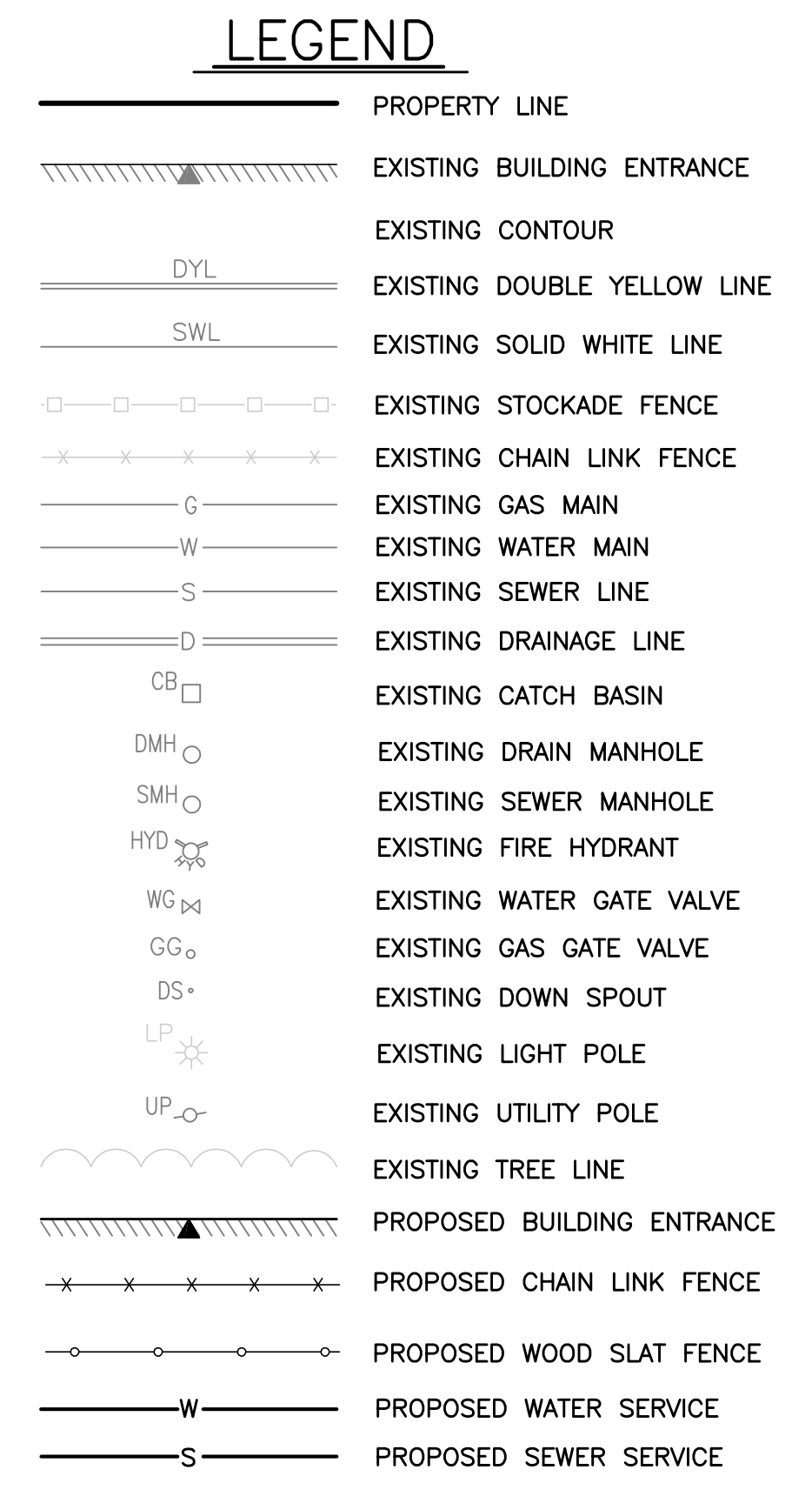
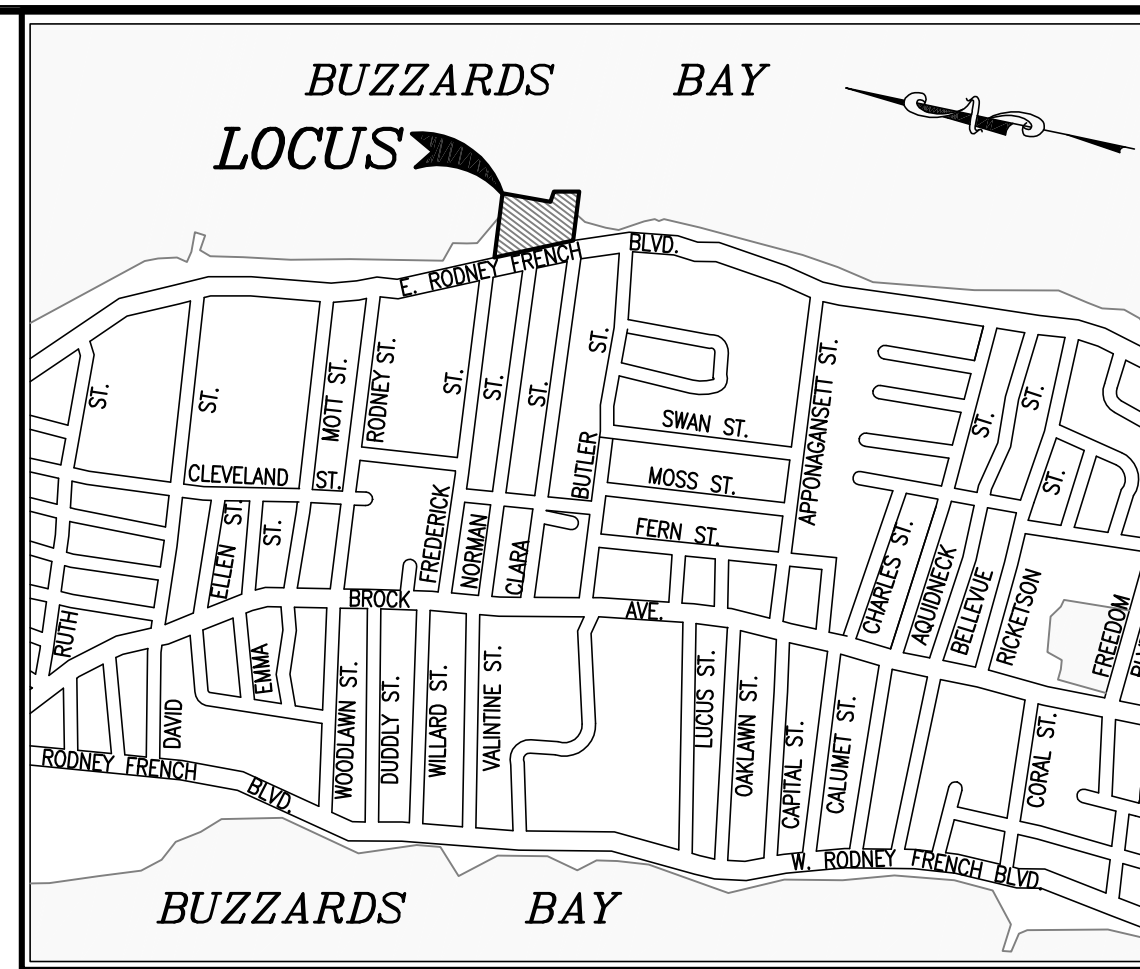
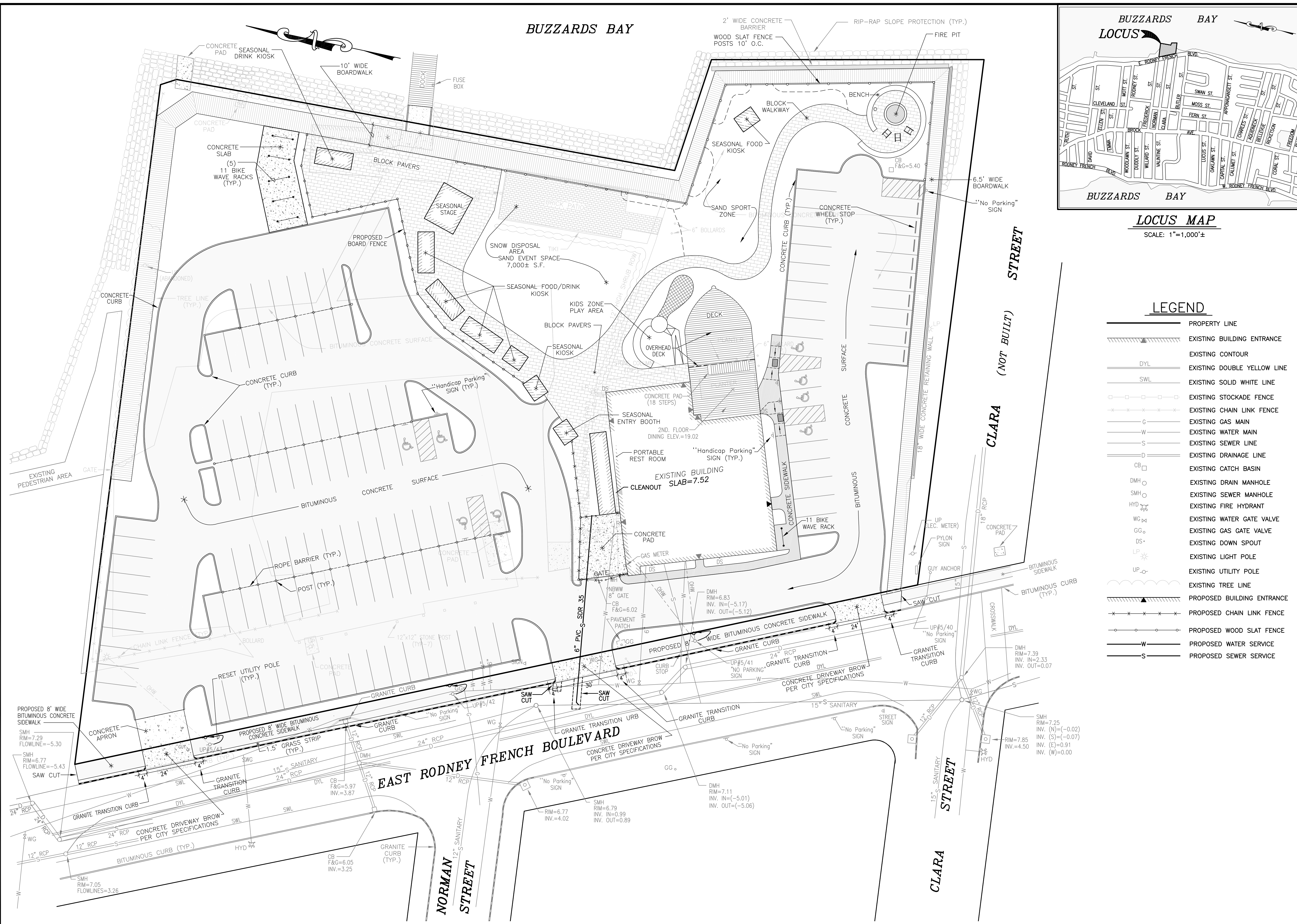
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 date: MARCH 15, 2019
 sheet: 4 of 11
 drawing number: LP-1

project: CISCO NEW BEDFORD
 1480 EAST RODNEY FRENCH BLVD.
 NEW BEDFORD, MA 02744
 client: SERVEDWELL NEW BEDFORD, LLC
 drawing title: LANDSCAPING PLAN

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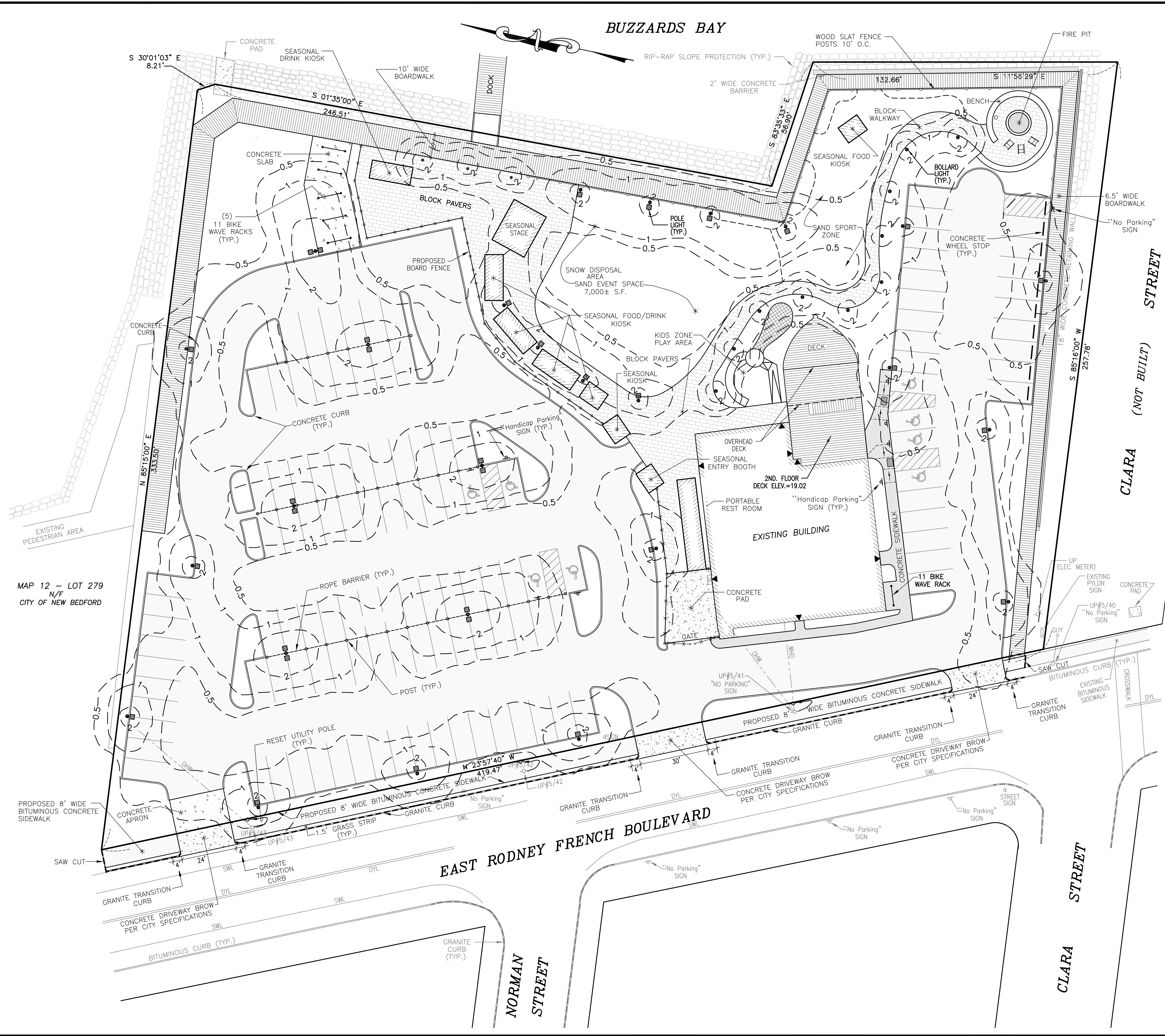
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 LANDSCAPE PLAN.DWG
 File No. 19-7146





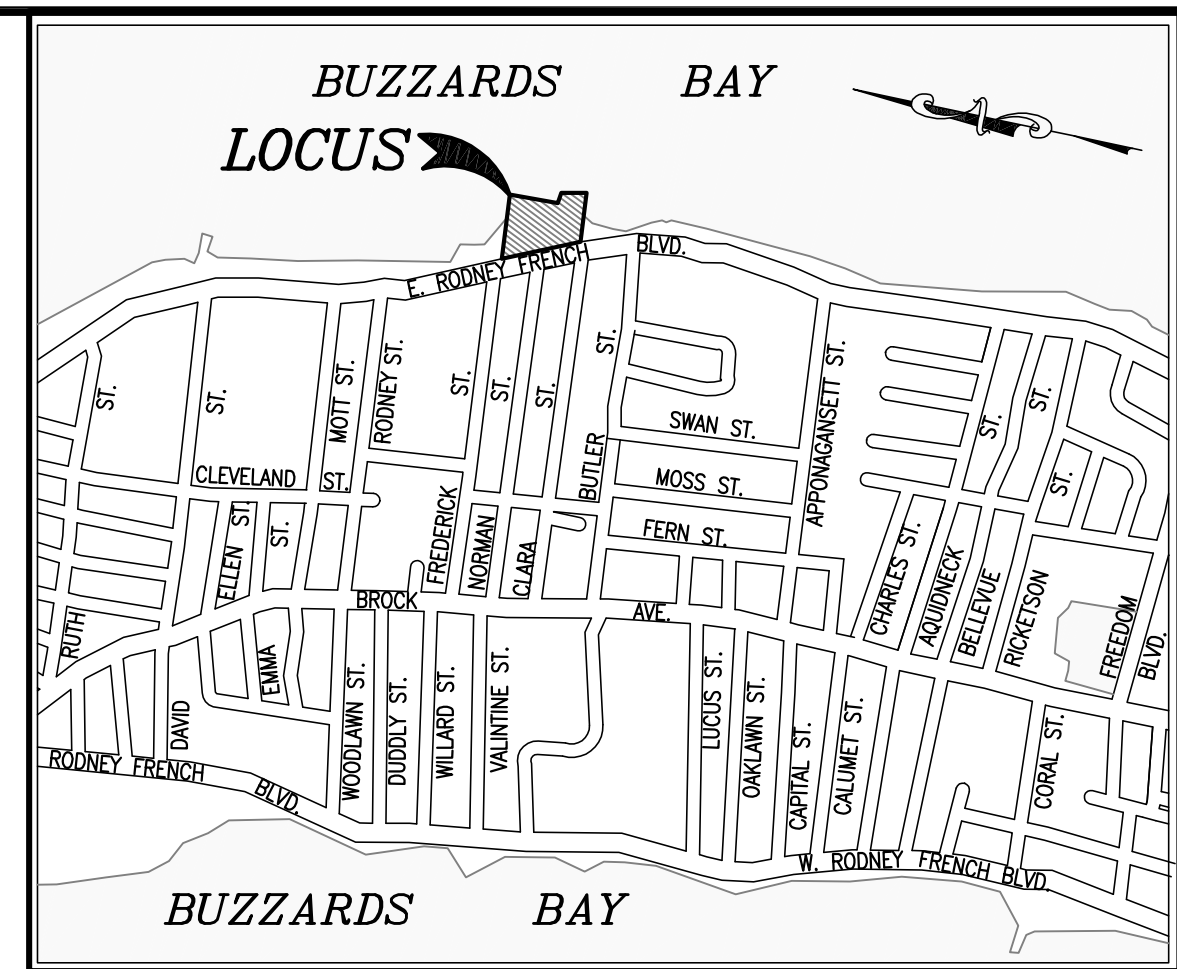
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2	SEPT. 3, 2019	REVISE PARKING										
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MAP 12 - LOT 279
N/F
CITY OF NEW BEDFORD

BUZZARDS BAY



LOCUS MAP

SCALE: 1"=1,000'±

LEGEND

- PROPERTY LINE
- ▲— EXISTING BUILDING ENTRANCE
- DYL— EXISTING DOUBLE YELLOW LINE
- SWL— EXISTING SOLID WHITE LINE
- *—*— EXISTING CHAIN LINK FENCE
- 2— PROPOSED NUMBER OF PARKING SPACES
- ▲— PROPOSED BUILDING ENTRANCE
- *—*— PROPOSED CHAIN LINK FENCE
- PROPOSED WOOD SLAT FENCE
- PROPOSED BOLLARD LIGHT
- PROPOSED SINGLE LIGHT POLE
- PROPOSED DOUBLE LIGHT POLE
- 2— PROPOSED FOOTCANDLES

LIGHTING NOTES:

- BOLLARD LIGHTS:** BEGA MANUFACTURING MODEL # 9480 MH
- POLE LIGHTS:** BEGA MANUFACTURING MODEL # 77 911 (SINGLE)
77 995 (DOUBLE)
(15' POLE HEIGHT)

project: CISCO NEW BEDFORD 1480 EAST RODNEY FRENCH BLVD. NEW BEDFORD, MA 02744		client: SERVEDWELL NEW BEDFORD, LLC	
date: MARCH 15, 2019		drawn: NAD	
checked: SDG		approved: SDG	
sheet number: 6 of 11		drawing number: SLP-1	
SITE LIGHTING PLAN			
project location: 1480 EAST RODNEY FRENCH BLVD., NEW BEDFORD, MA 02744			
client: SERVEDWELL NEW BEDFORD, LLC			
drawing title: SITE LIGHTING PLAN			
Acad No. NB 19-7146 LIGHTING PLAN.DWG			
File No. 19-7146			

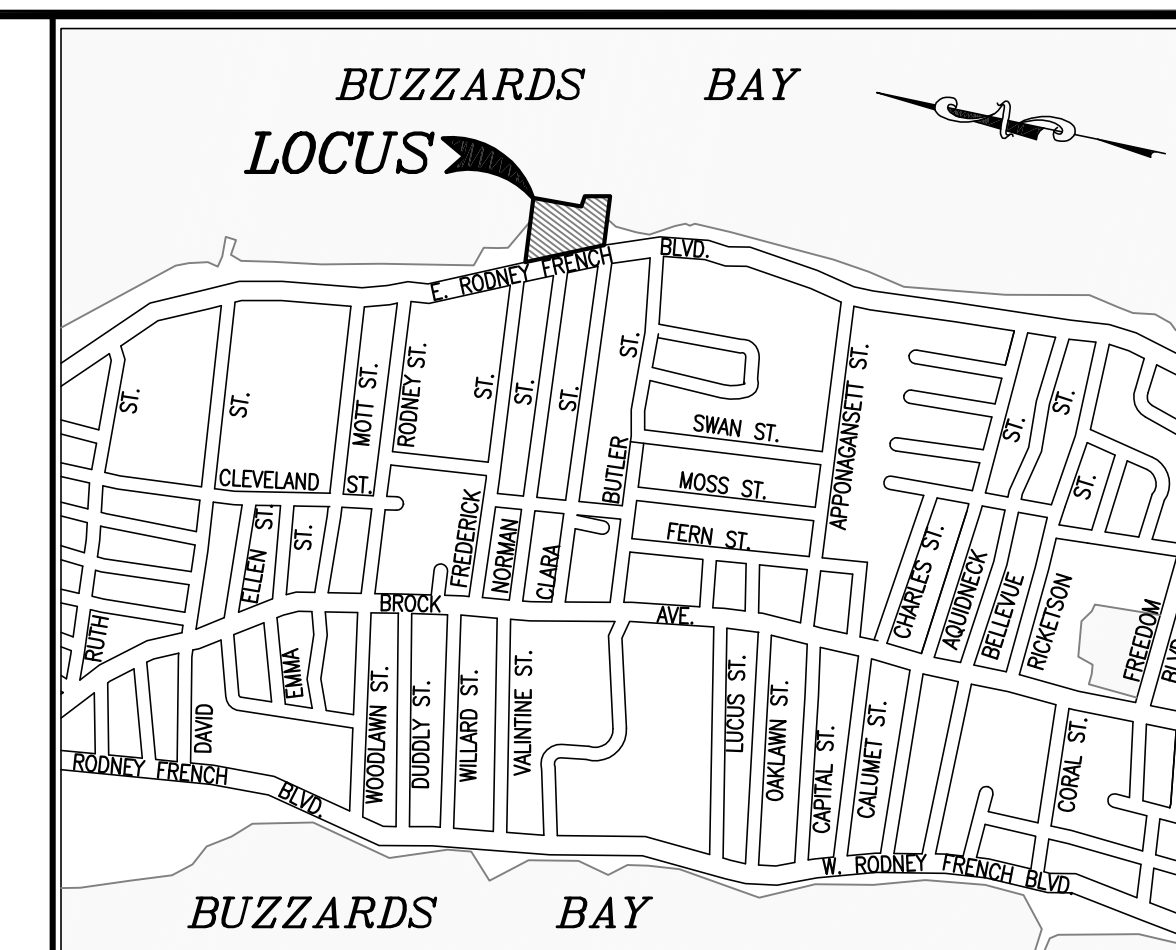
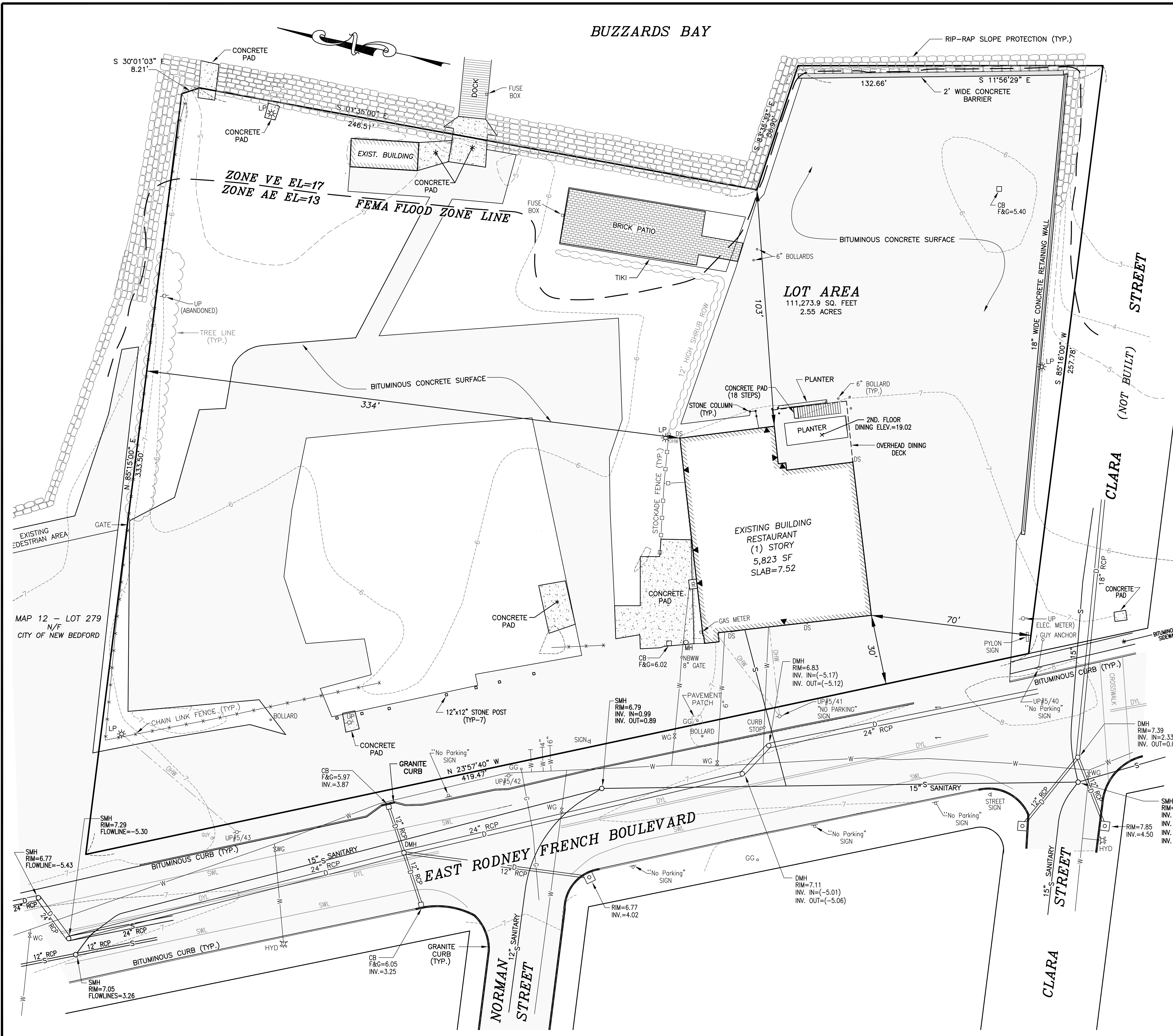
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drawing title: SITE LIGHTING PLAN			

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 Civil and Environmental Engineering
 Land Use Planning



LOCUS MAP
SCALE: 1"=1,000'±

LEGEND

- PROPERTY LINE
- BUILDING ENTRANCE
- - - - - EXISTING CONTOUR
- DYL — DOUBLE YELLOW LINE
- SWL — SOLID WHITE LINE
- — STOCKADE FENCE
- * * * * * CHAIN LINK FENCE
- G — GAS MAIN
- W — WATER MAIN
- S — SEWER LINE
- DRAINAGE LINE
- CB □ — CATCH BASIN
- DMH ○ — DRAIN MANHOLE
- SMH ○ — SEWER MANHOLE
- HYD * — FIRE HYDRANT
- WG x — WATER GATE VALVE
- GG ○ — GAS GATE VALVE
- DS + — DOWN SPOUT
- LP * — LIGHT POLE
- UP ○ — UTILITY POLE
- TREE LINE

UTILITY COMPANIES
 SANITARY SEWER — NEW BEDFORD DPI
 WATER SUPPLY — NEW BEDFORD DPI (508) 979-1550
 GAS — EVERSOURCE GAS (855) 645-2427
 ELECTRIC — EVERSOURCE ELECTRIC (888) 633-3797
 CABLE — COMCAST (800)934-6489

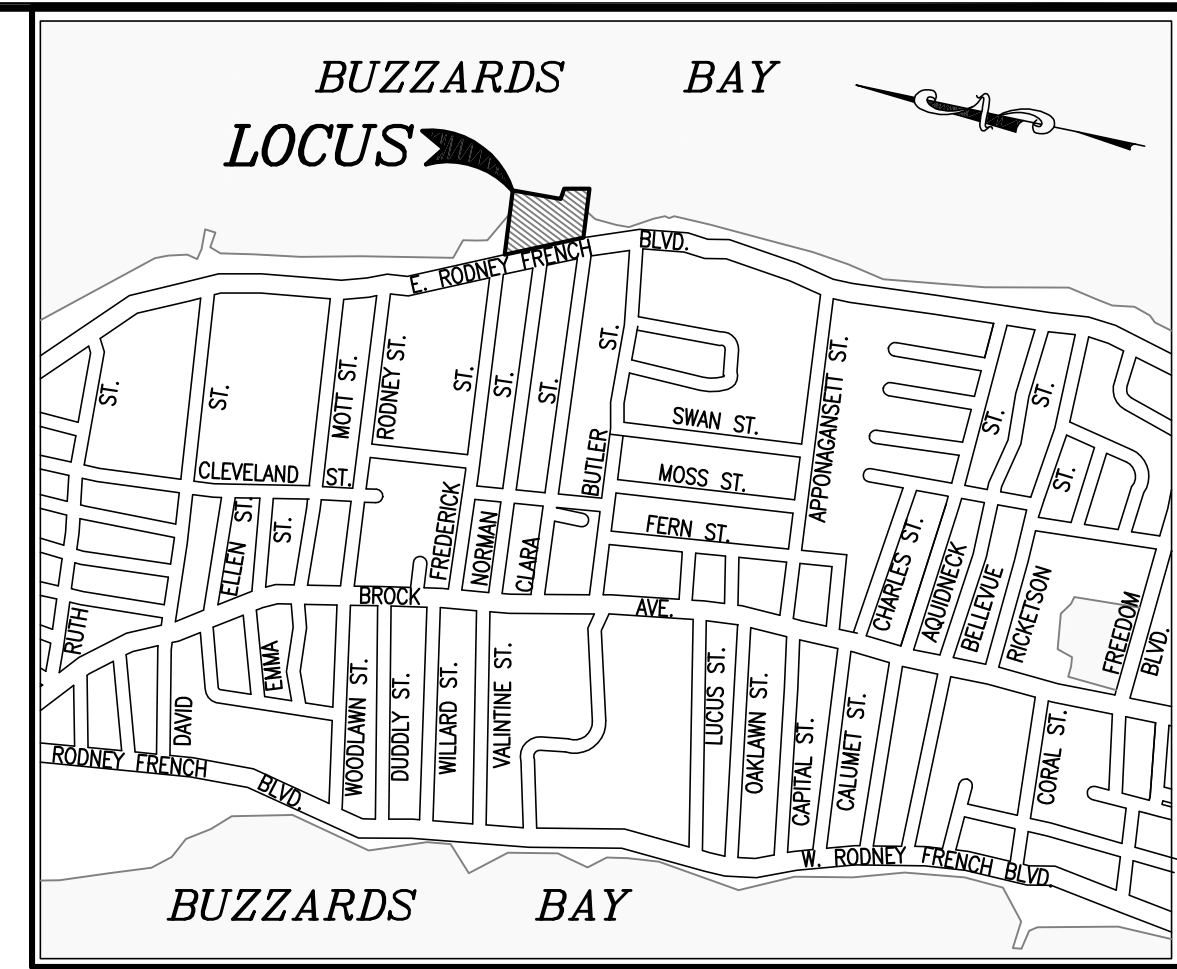
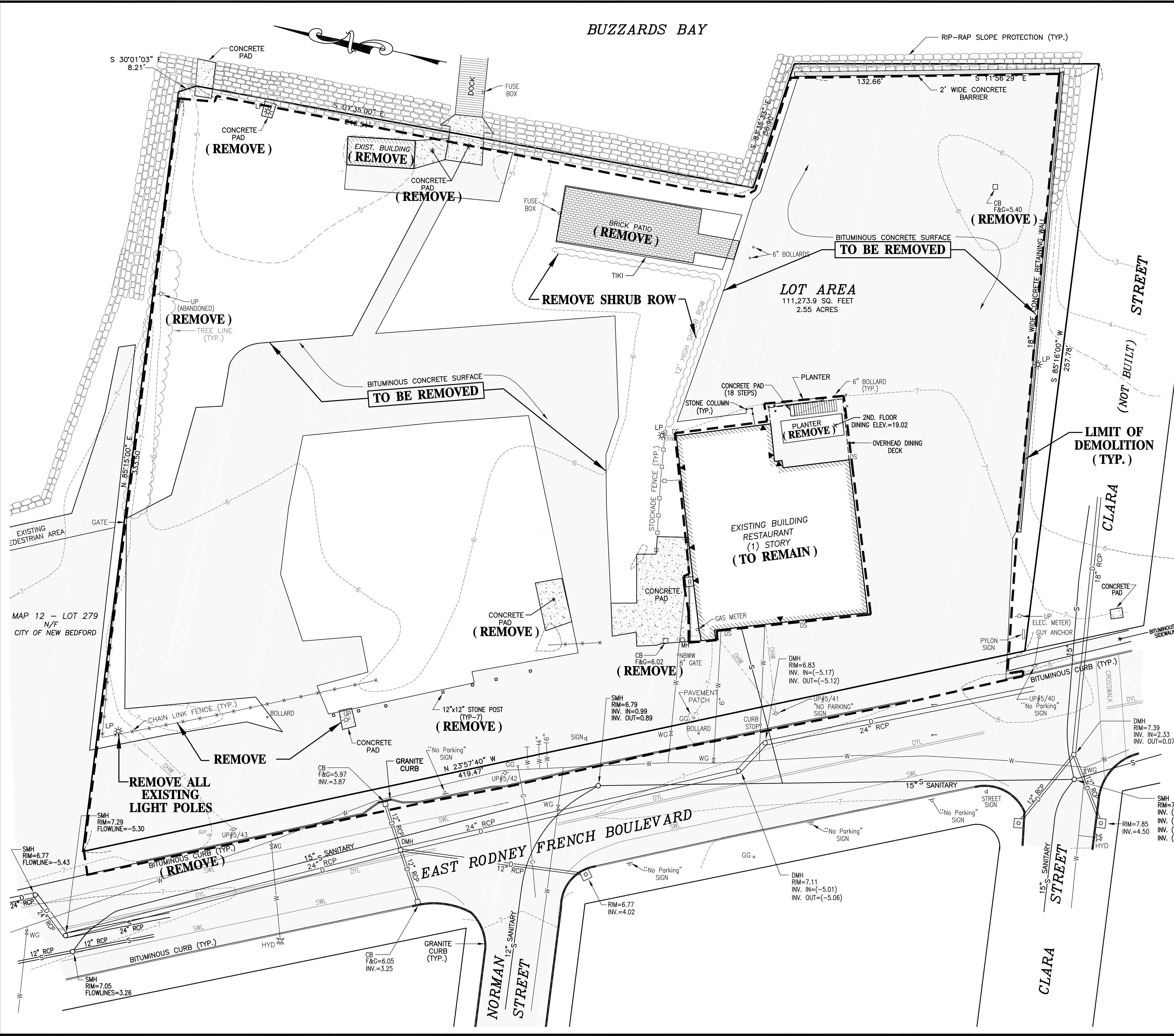
BENCHMARK: SPIKE SET IN UTILITY POLE #5/40
ELEV. = 8.93 NAVD

FLOOD ZONE BASED ON FEMA FLOOD INSURANCE RATE MAP PANEL 25005 C 04829
EFFECTIVE DATE JULY 16, 2014

MAP 12 - LOT 279
N/F
CITY OF NEW BEDFORD

Project:	CISCO NEW BEDFORD 1480 EAST RODNEY FRENCH BLVD. NEW BEDFORD, MA 02744
Client:	SERVEDWELL NEW BEDFORD, LLC
Scale:	1"=20'
Date:	MARCH 15, 2019
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Checked:	SDG
Approved:	SDG
Sheet:	7 of 11
Drawing Number:	EC-1
Revision Description	
No.	Date
2	SEPT. 3, 2019
1	JULY 5, 2019
	REVISIONS
	MISCELLANEOUS PLANNING REVISIONS
	SDG
	SDG
	SDG
EXISTING CONDITIONS	
Acad No.	NB 19-7146 EC.DWG
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SITEC
 Inc.
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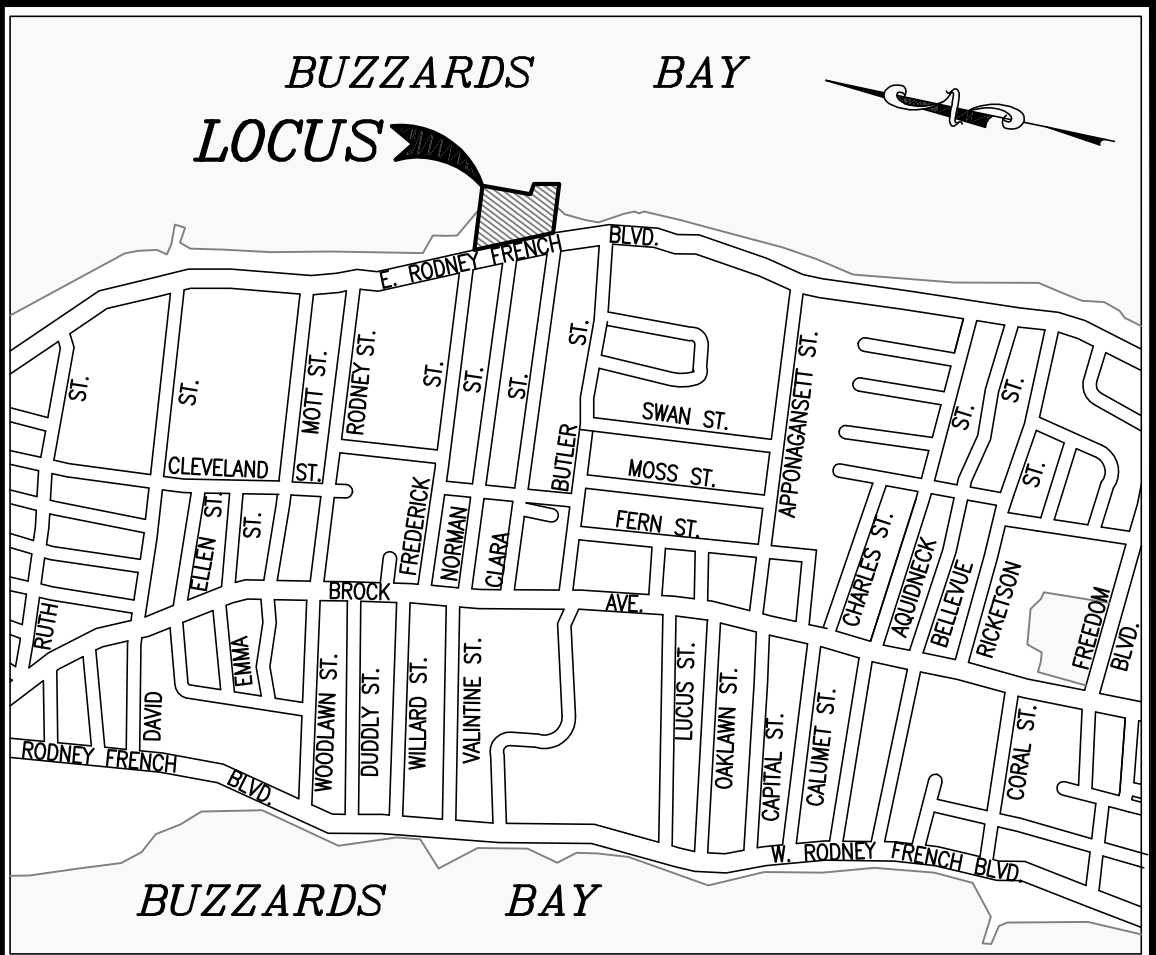
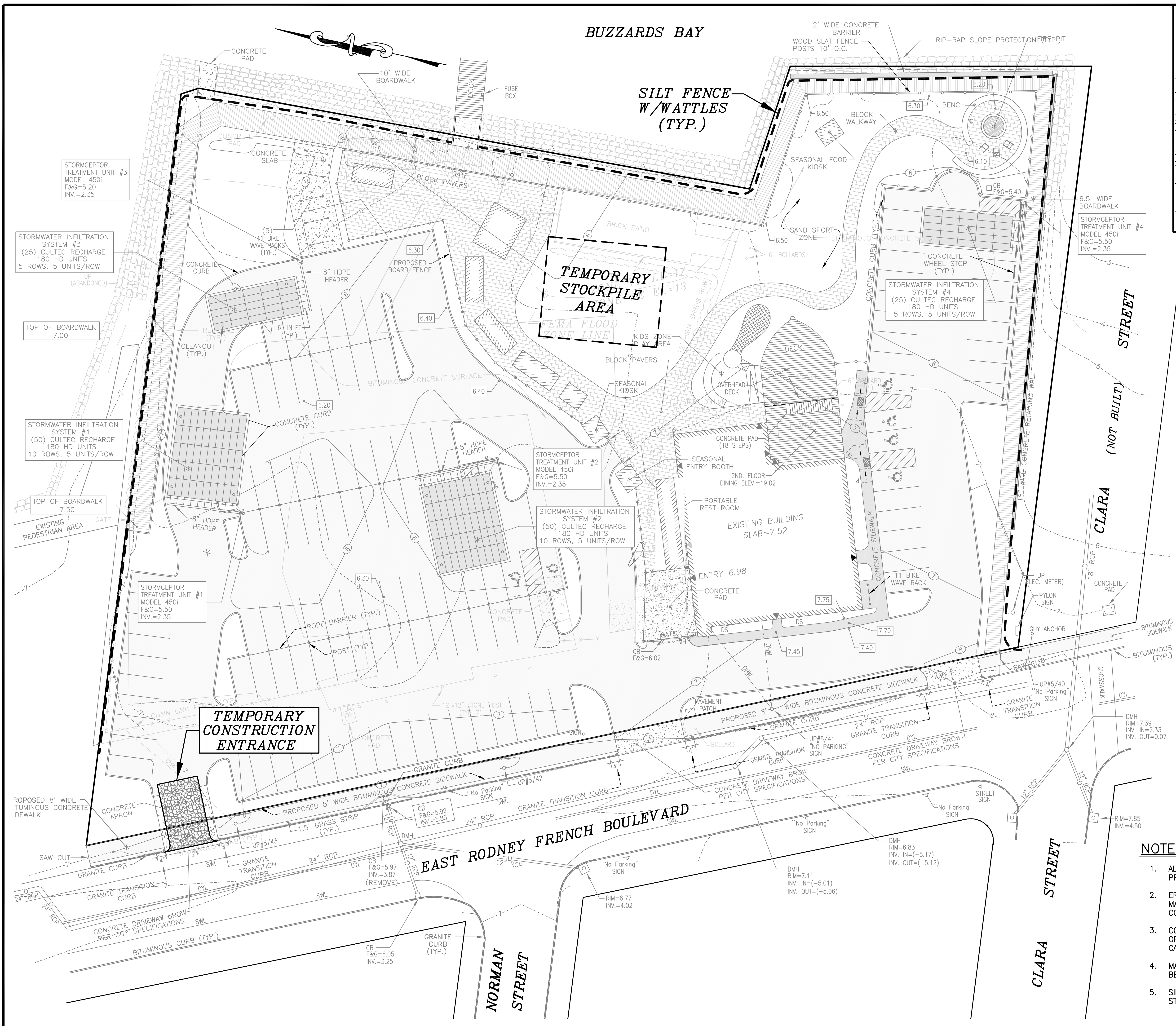
NOTES:

1. DEMOLITION SHALL BE LIMITED TO THE AREA OUTLINED.
2. CONTRACTOR SHALL PROTECT ABUTTING AREAS FROM DAMAGE. DAMAGE OF ABUTTING AREAS SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
3. ALL DEMOLITION MATERIALS SHALL BE LEGALLY DISPOSED OF OFFSITE.
4. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO INITIAL DEMOLITION.
5. CONTRACTOR SHALL HAVE WATER AVAILABLE FOR DUST CONTROL OR AN APPROVED DUST CONTROL AGENT.
6. MATERIAL STOCKPILE AREA SHALL BE AS NOTED ON SHEET 9 OF 11.

LEGEND

- PROPERTY LINE
- BUILDING ENTRANCE
- - - - - EXISTING CONTOUR
- DYL DOUBLE YELLOW LINE
- SWL SOLID WHITE LINE
- □ □ □ STOCKADE FENCE
- × × × × CHAIN LINK FENCE
- G GAS MAIN
- W WATER MAIN
- S SEWER LINE
- D DRAINAGE LINE
- CB CATCH BASIN
- DMH DRAIN MANHOLE
- SMH SEWER MANHOLE
- HYD FIRE HYDRANT
- WG WATER GATE VALVE
- GG GAS GATE VALVE
- DS DOWN SPOUT
- LP LIGHT POLE
- UP UTILITY POLE
- TREE LINE

project: CISCO NEW BEDFORD 1480 EAST RODNEY FRENCH BLVD. NEW BEDFORD, MA 02744		client: SERVEDWELL NEW BEDFORD, LLC	
scale: 1"=20' date: MARCH 15, 2019 draw: NAD checked: SDG approved: SDG		sheet: 8 of 11 drawing number: DEM-1	
SITEC, Inc. 449 Faunce Corner Road Dartmouth, MA 02747 (508) 998-2125 FAX (508) 989-7554 WWW.SITEC-ENGINEERING.COM		DEMOLITION PLAN	
Acad No. NB 19-7146 DEMOLITION PLAN.DWG		File No. 19-7146	



LOCUS MAP
SCALE: 1"=1,000'

LEGEND

—	PROPERTY LINE
—	EXISTING BUILDING ENTRANCE
---	EXISTING CONTOUR
DYL	EXISTING DOUBLE YELLOW LINE
SWL	EXISTING SOLID WHITE LINE
—	EXISTING STOCKADE FENCE
—	CHAIN LINK FENCE
—	DRAINAGE LINE
CB	CATCH BASIN
DMH	DRAIN MANHOLE
DS	DOWN SPOUT
UP	UTILITY POLE
—	TREE LINE
—	PROPOSED BUILDING ENTRANCE
—	PROPOSED CHAIN LINK FENCE
—	PROPOSED WOOD SLAT FENCE
—	PROPOSED CONTOUR
—	PROPOSED SPOT GRADE
CB	PROPOSED CATCH BASIN

BENCHMARK: SPIKE SET IN UTILITY POLE #5/40
ELEV. = 8.93 NAVD

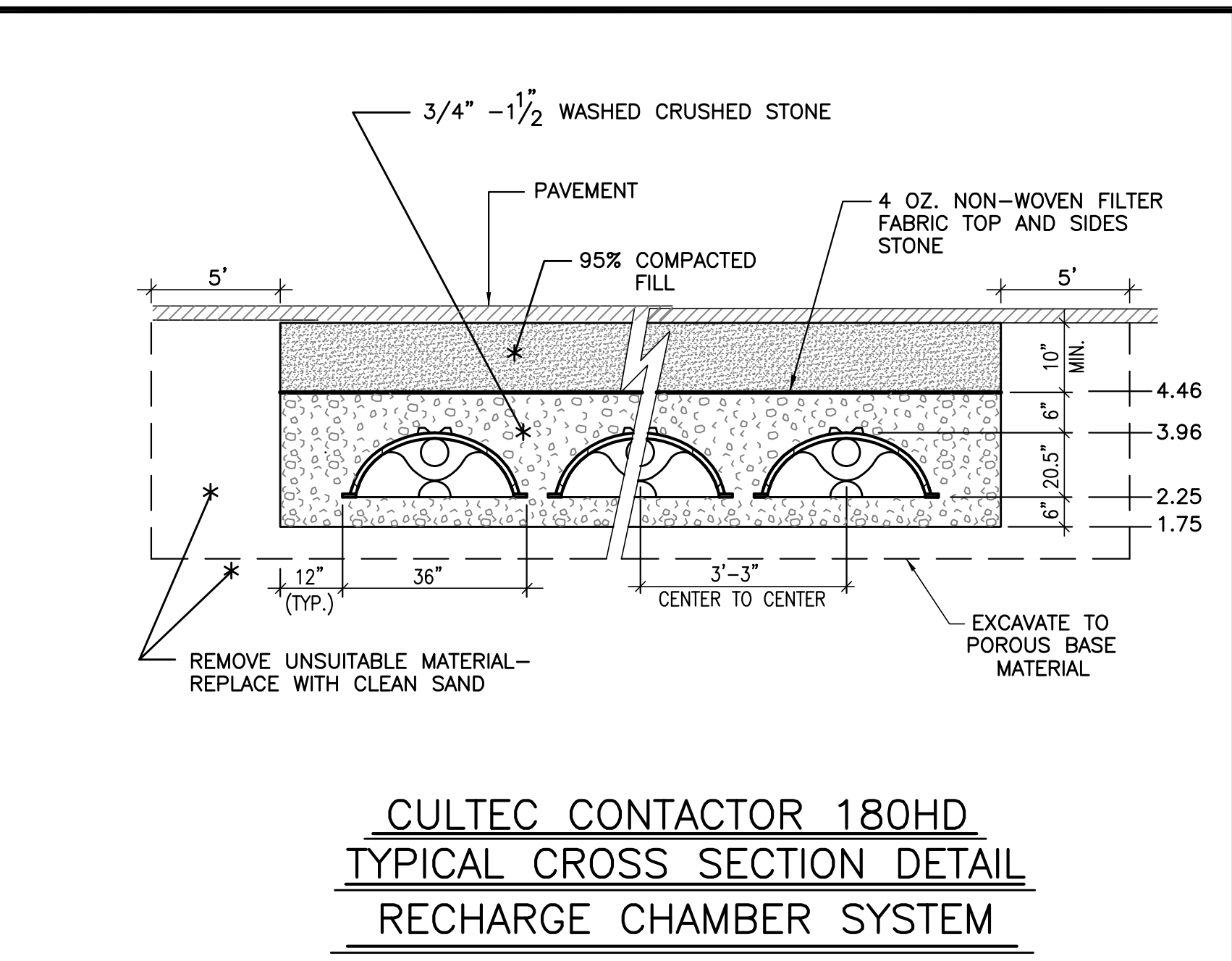
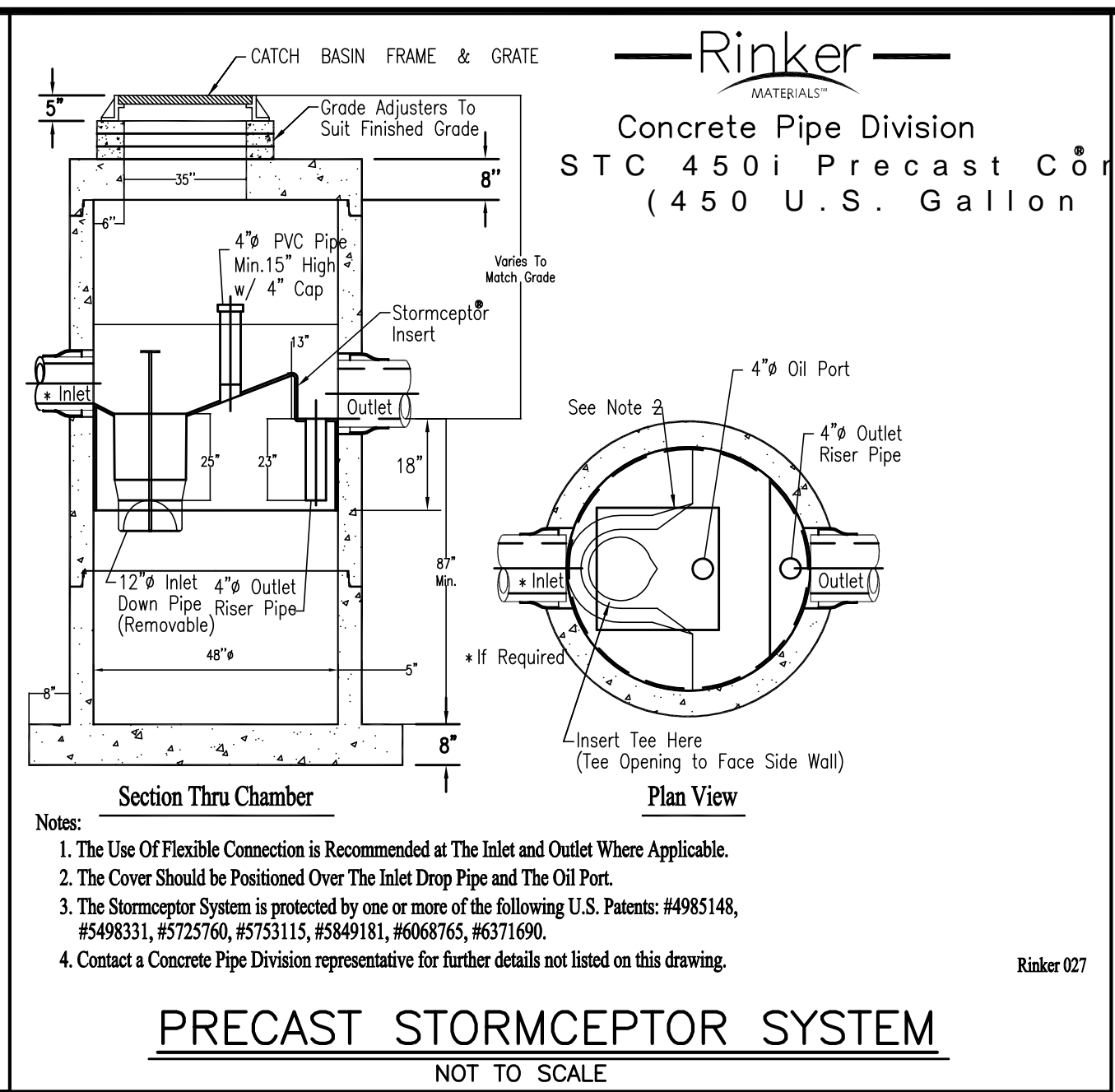
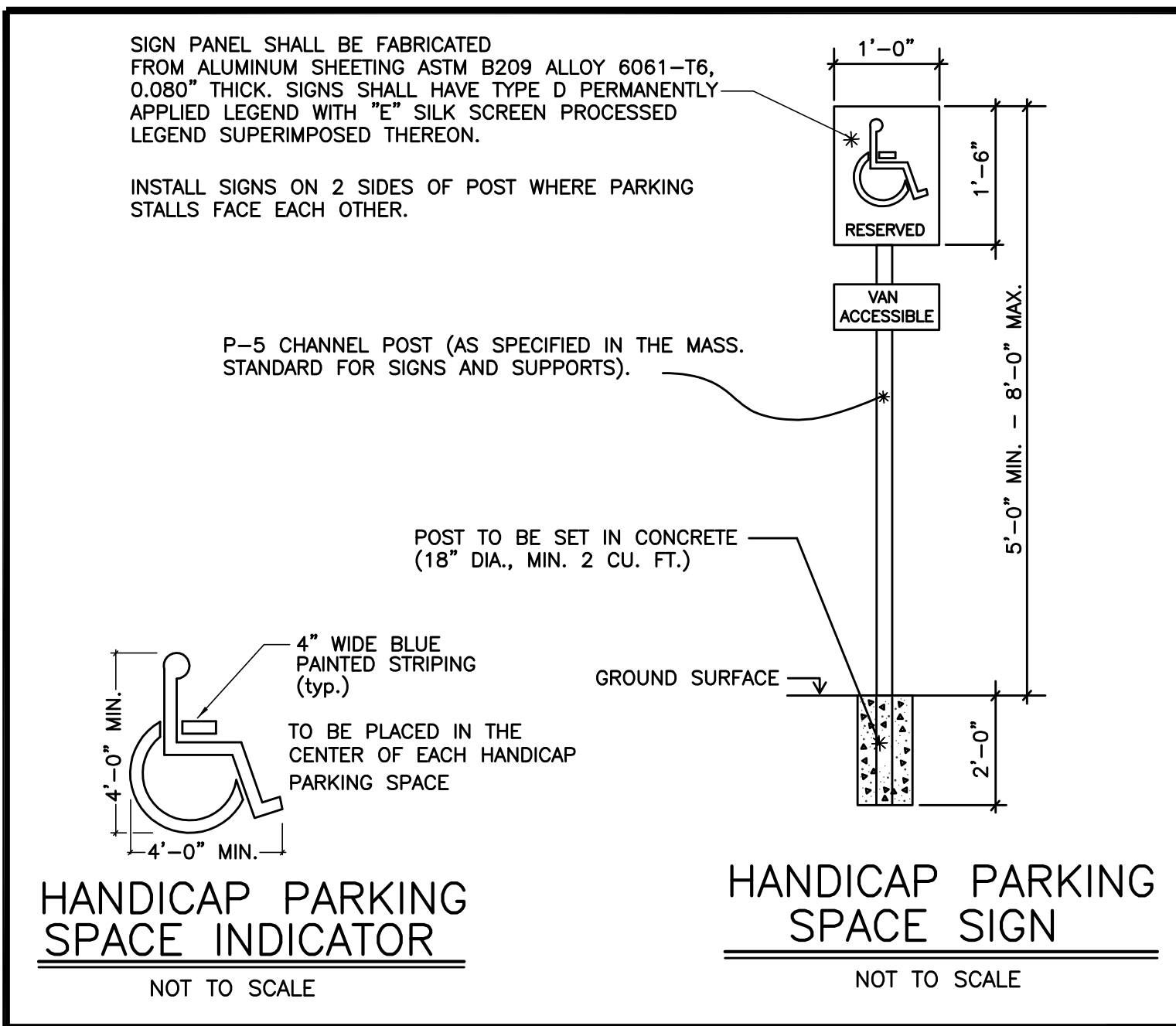
FLOOD ZONE BASED ON FEMA FLOOD INSURANCE
RATE MAP PANEL 25005 C 04829
EFFECTIVE DATE JULY 16, 2014

- NOTES:**
1. ALL BMP EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO DEMOLITION OR ANY SITE WORK.
 2. EROSION CONTROL BMP'S SHALL CONFORM TO THE US EPA, NPDES, MA DEP AND MASSACHUSETTS EROSION AND SEDIMENTATION CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS.
 3. CONTRACTOR SHALL HAVE WATER AVAILABLE FOR DUST CONTROL OR, AS AND ALTERNATIVE, AN APPROVED DUST CONTROL AGENT CAN BE UTILIZED.
 4. MATERIAL STOCKPILE SHALL BE AS NOTED. SAFETY FENCING SHALL BE USED AROUND STOCKPILES THAT EXCEED 10' IN HEIGHT.
 5. SILT FENCE SHALL BE SET ON DOWNGRADIENT EDGE OF ANY STOCKPILE.

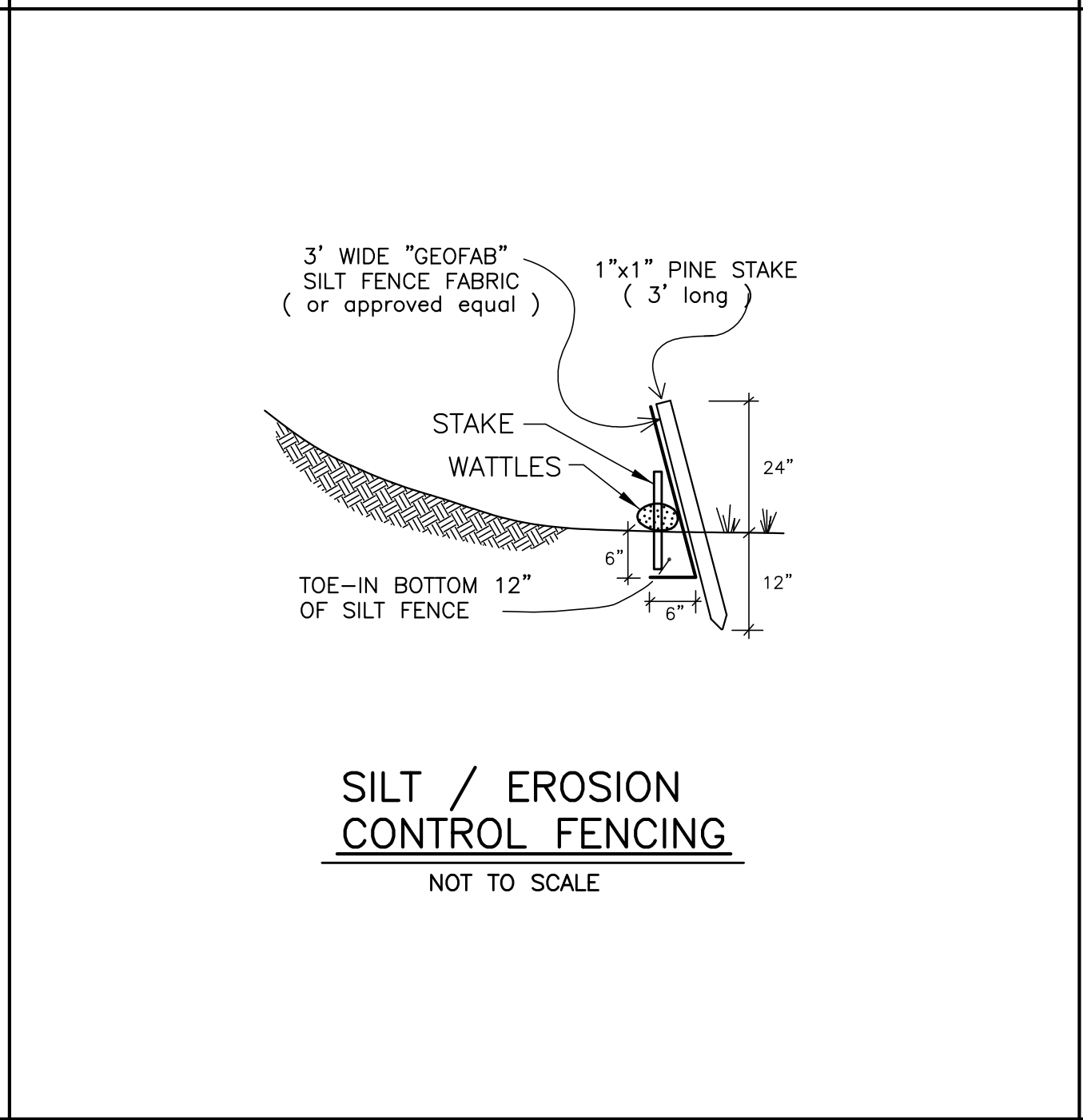
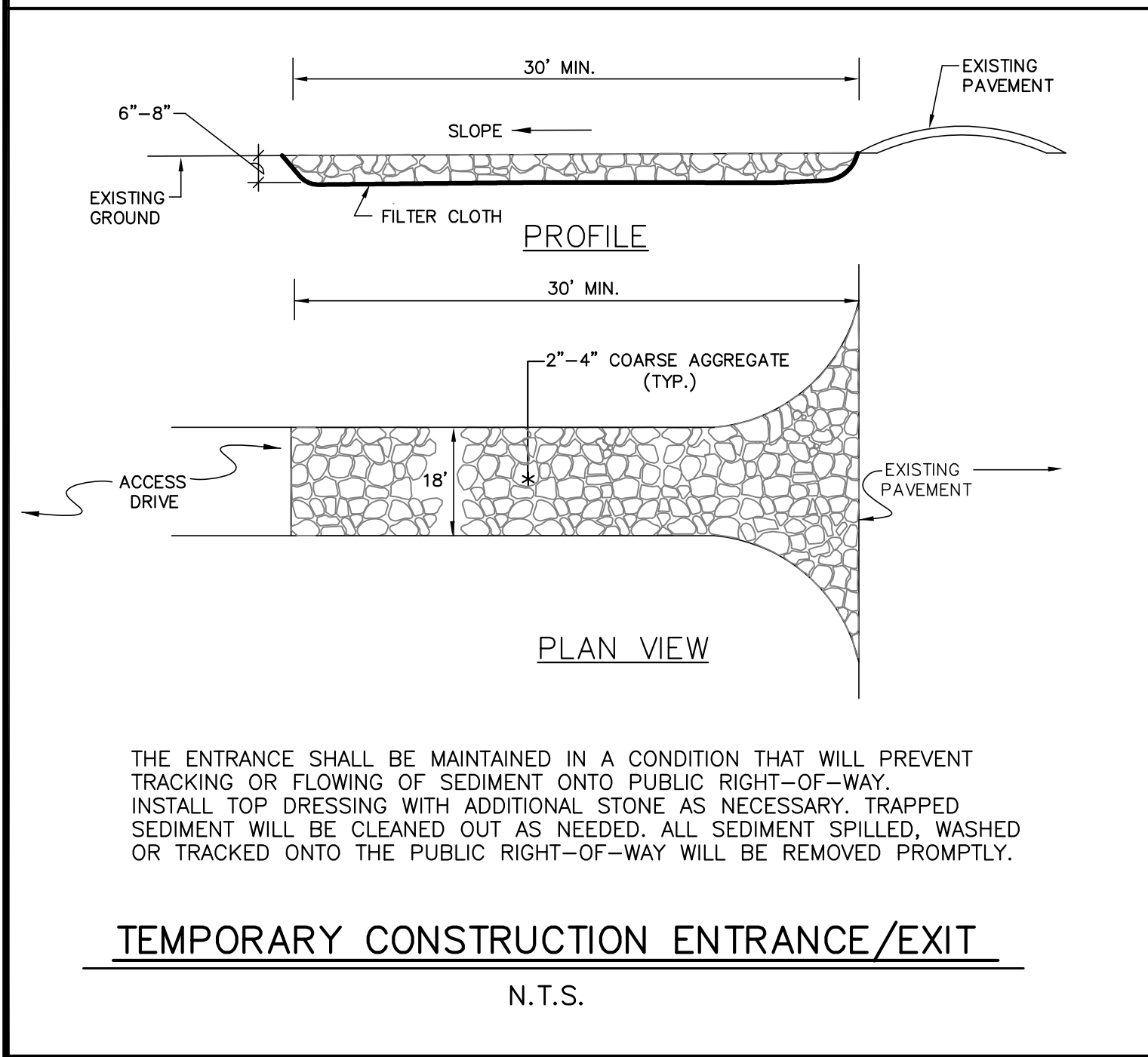
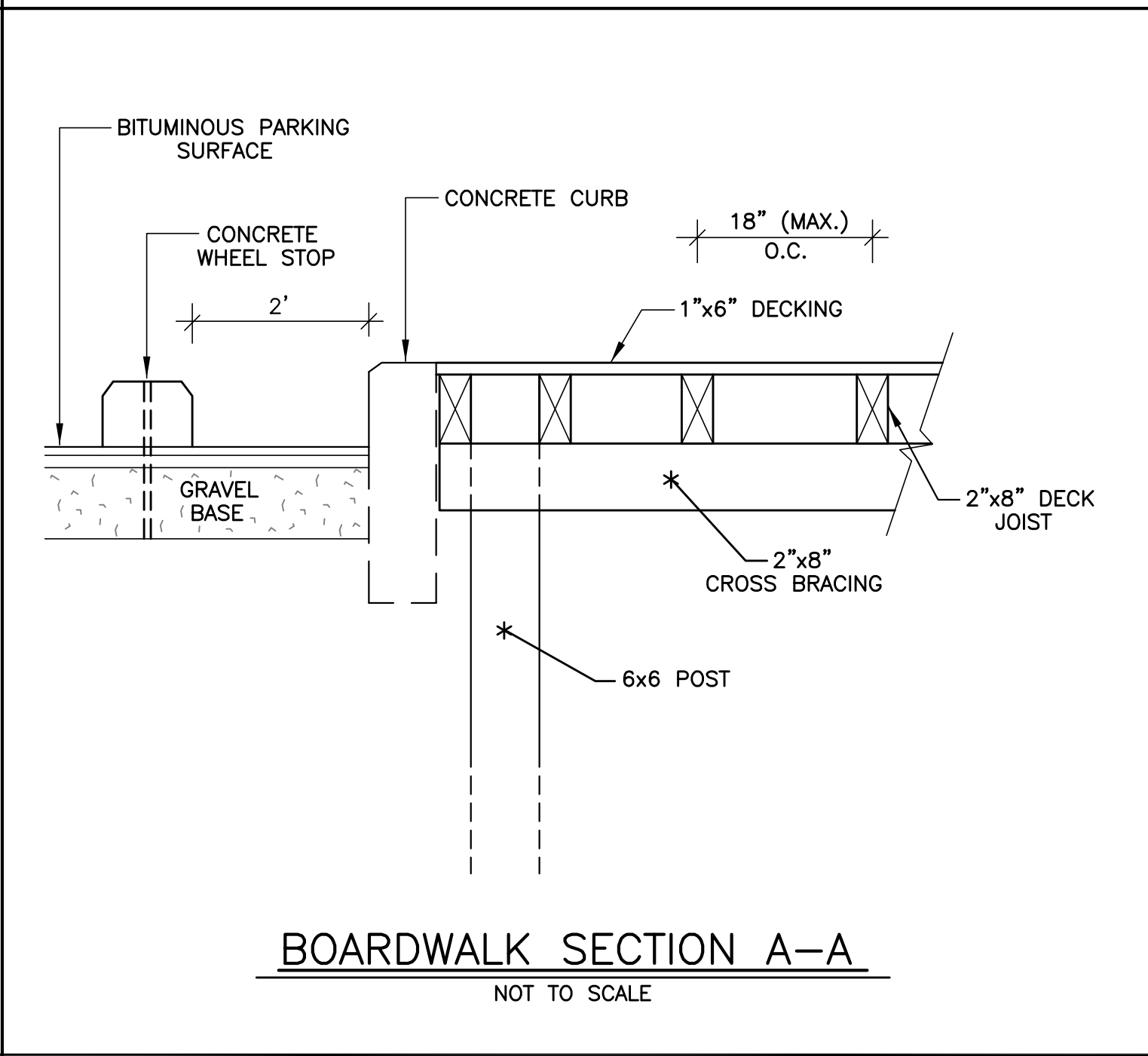
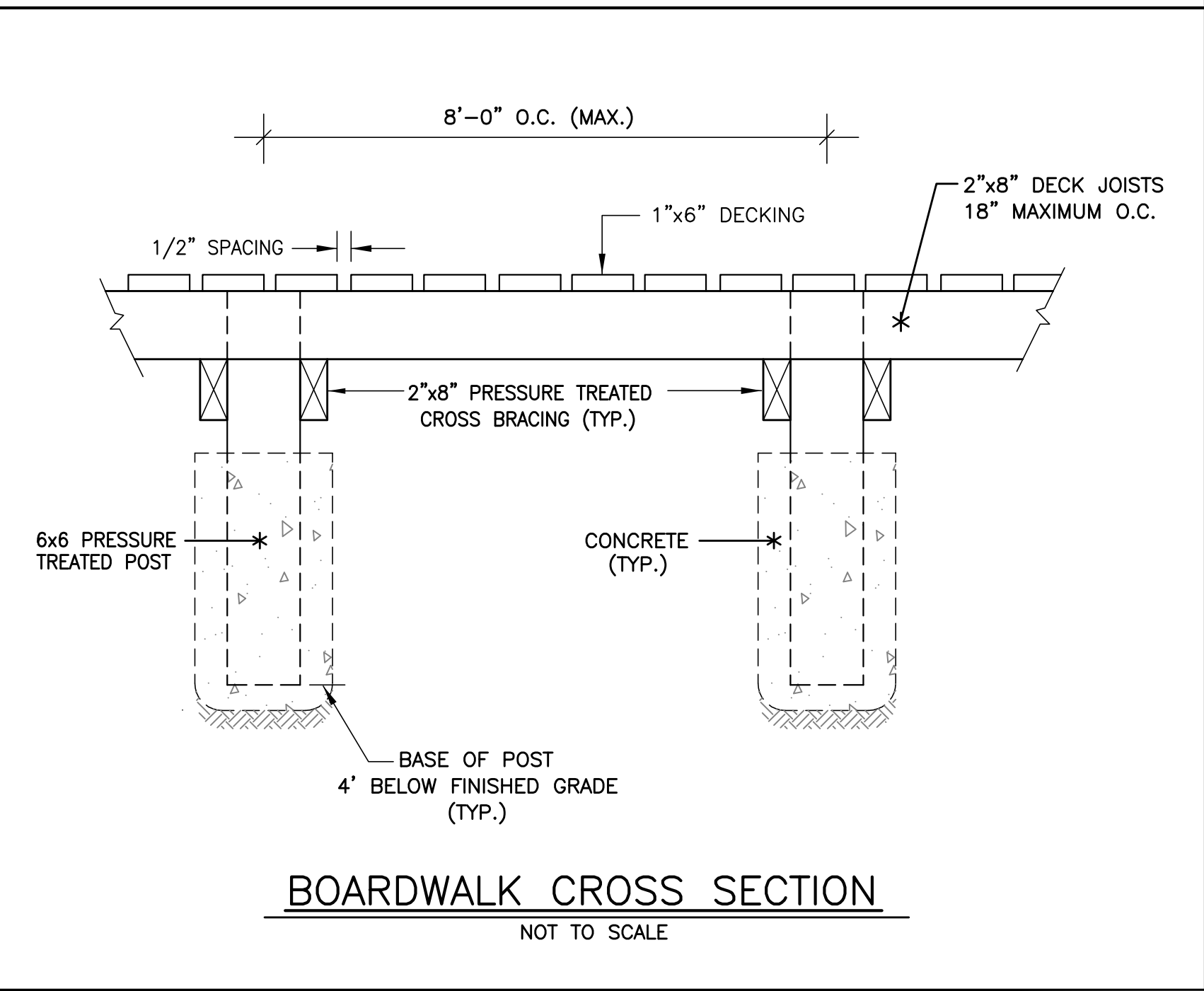
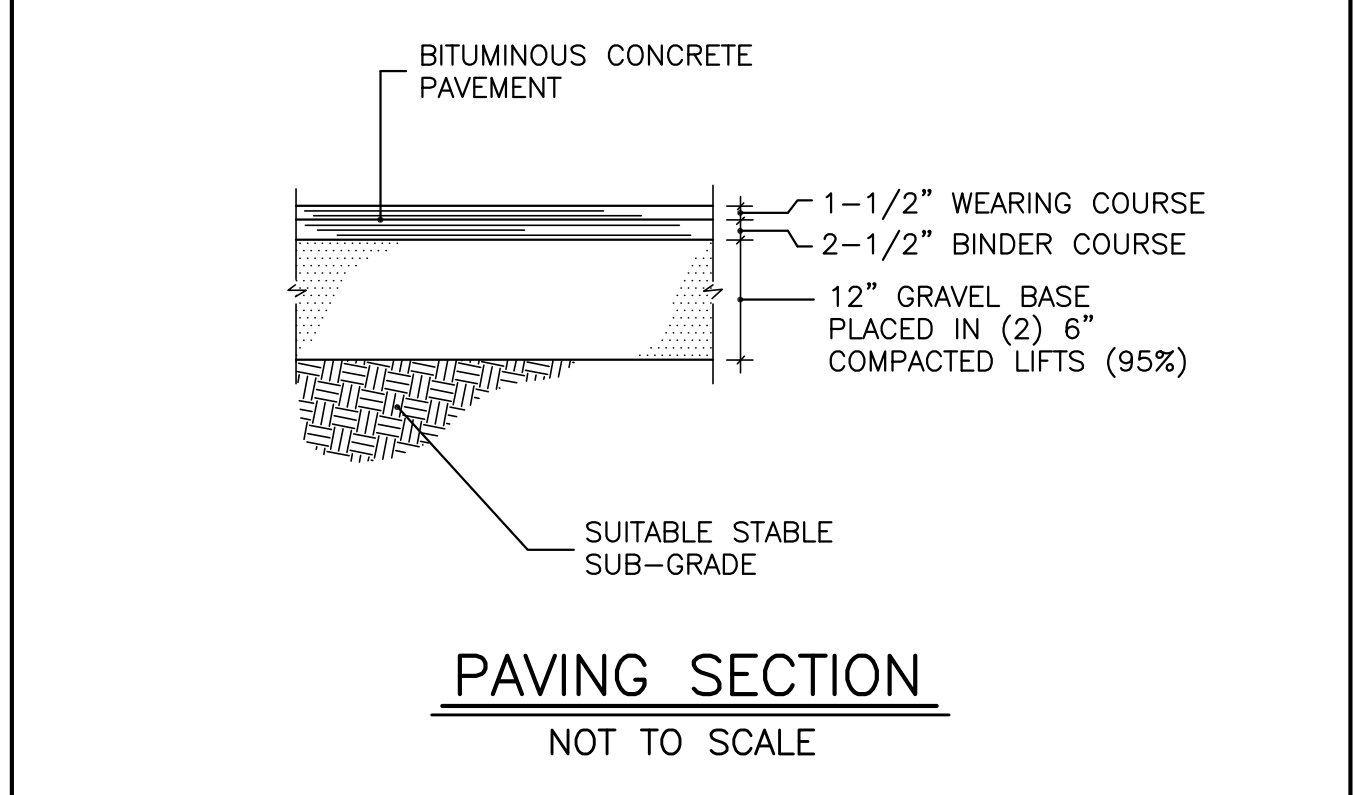
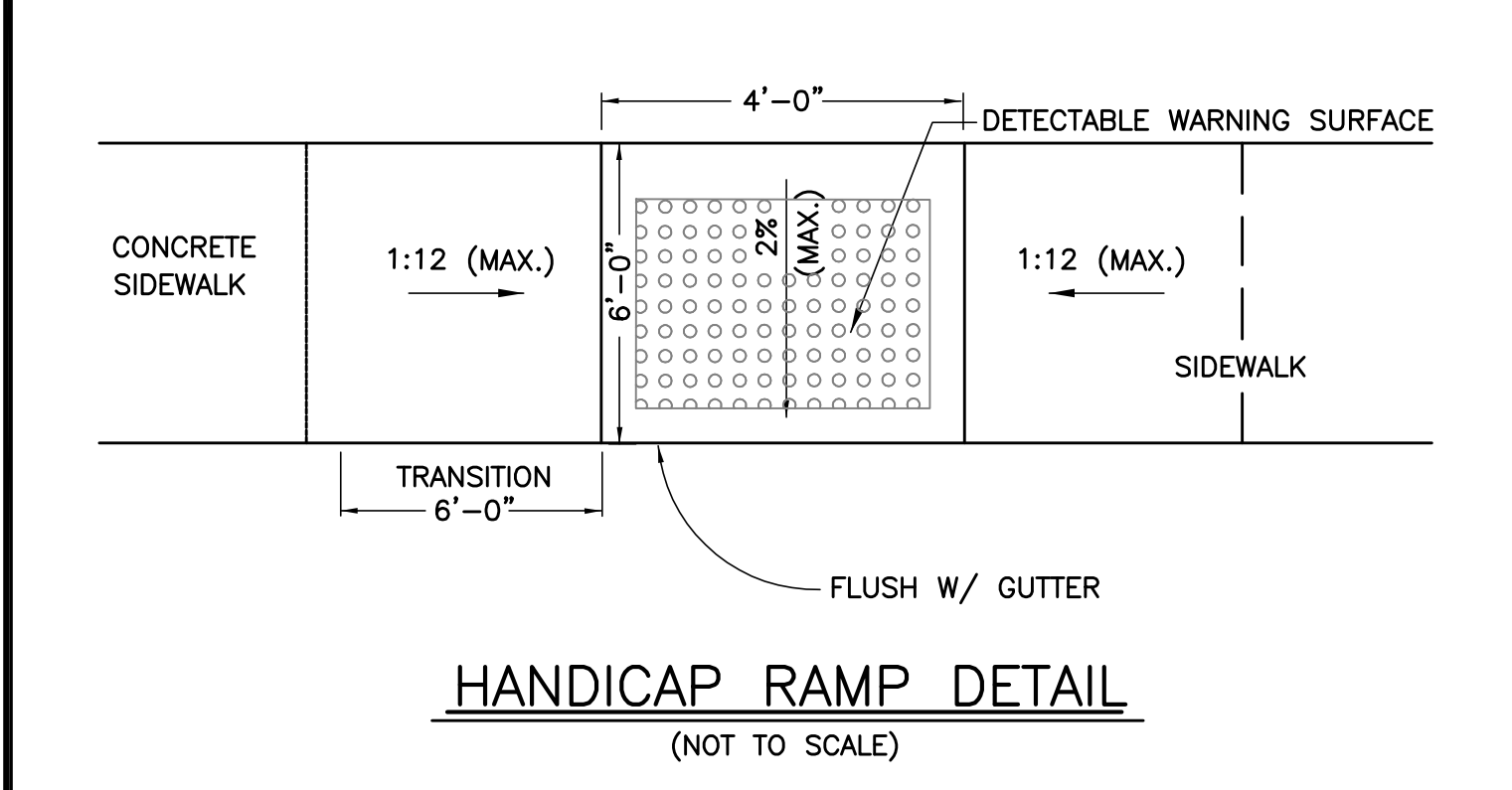
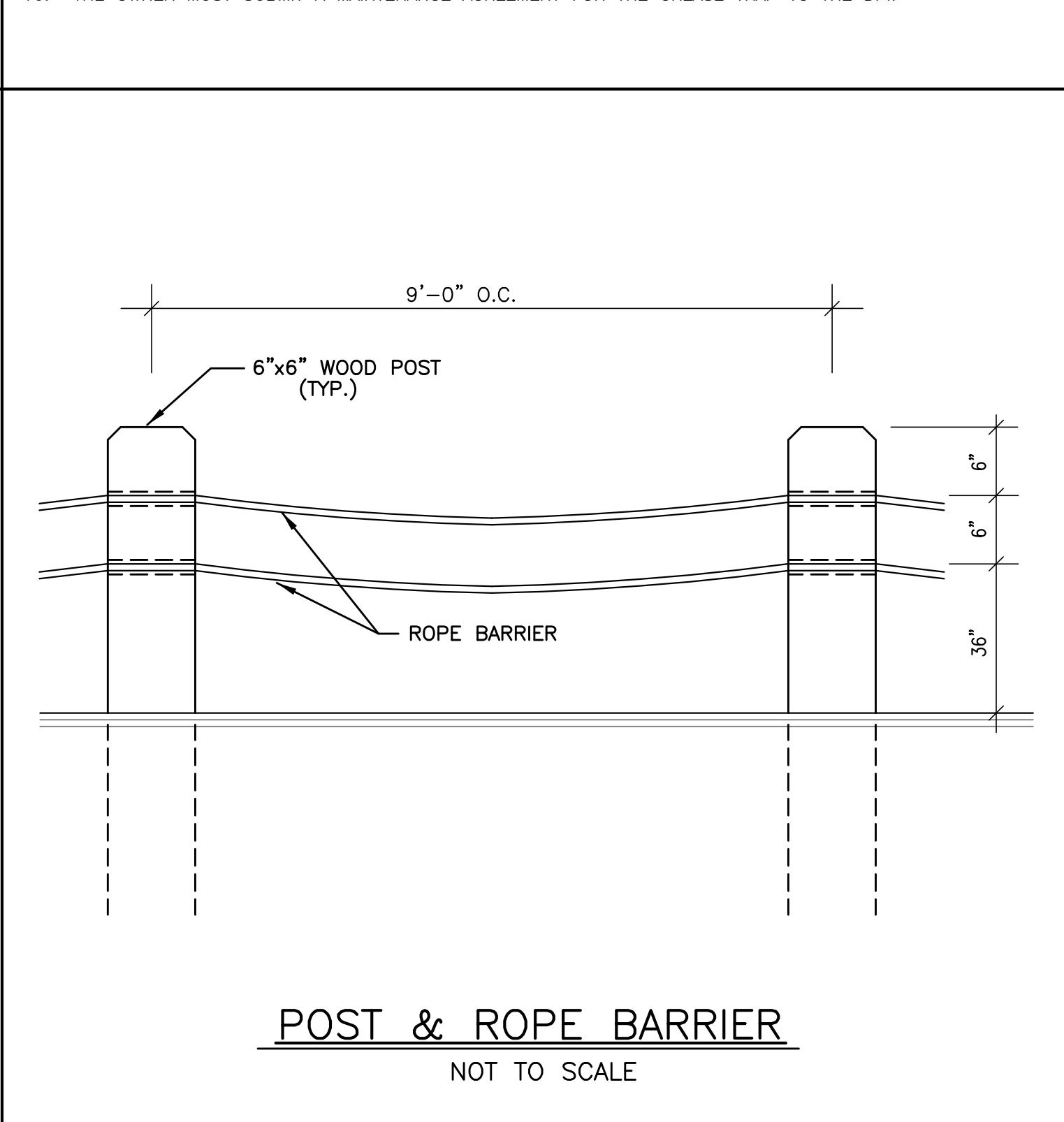
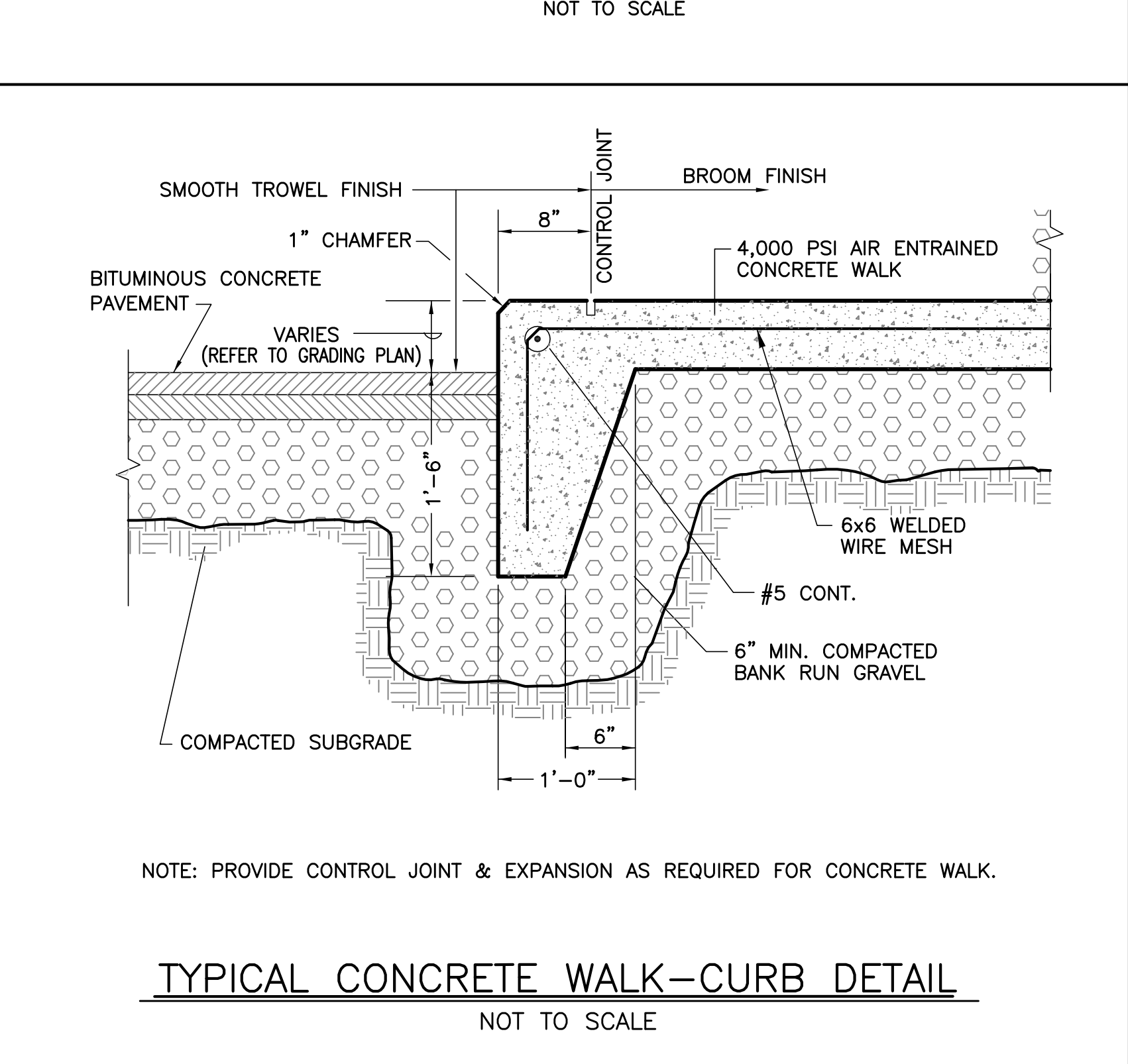
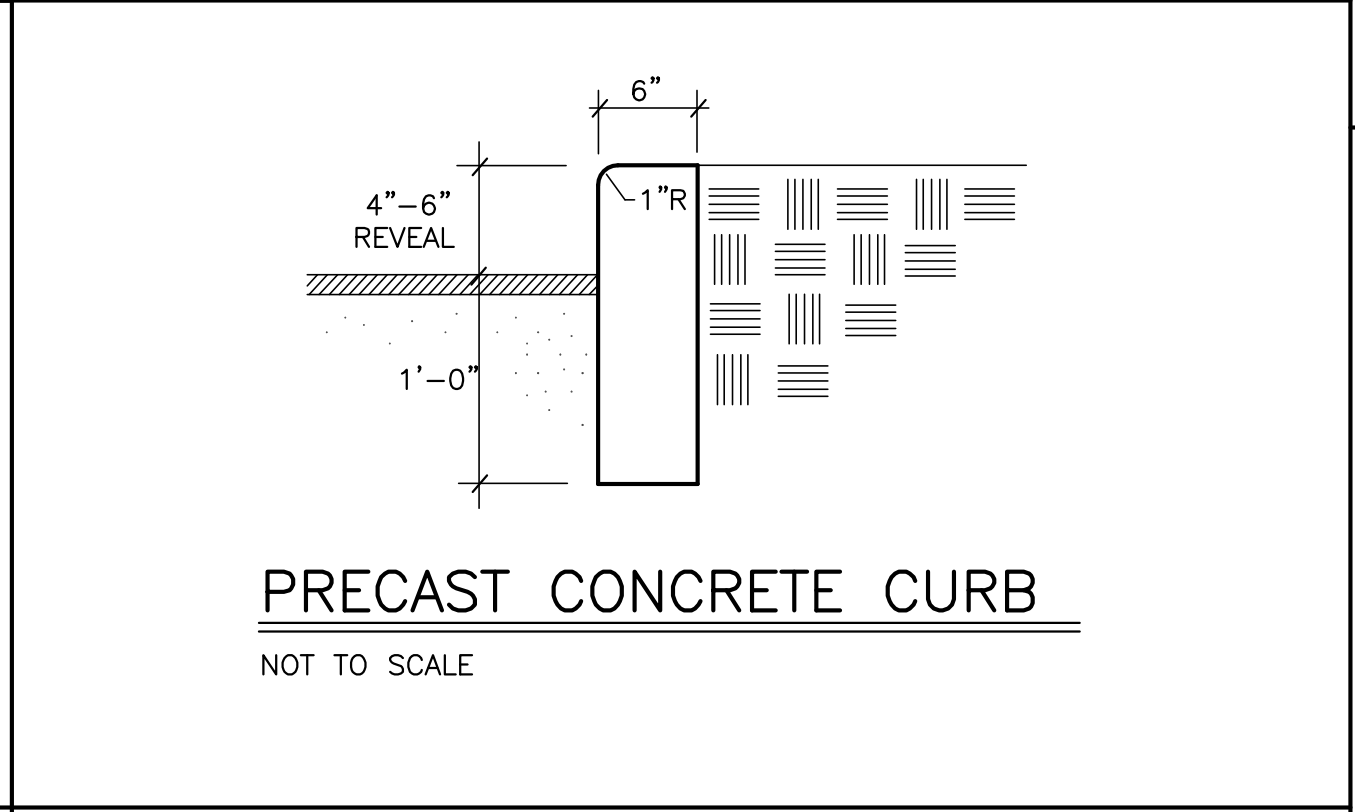
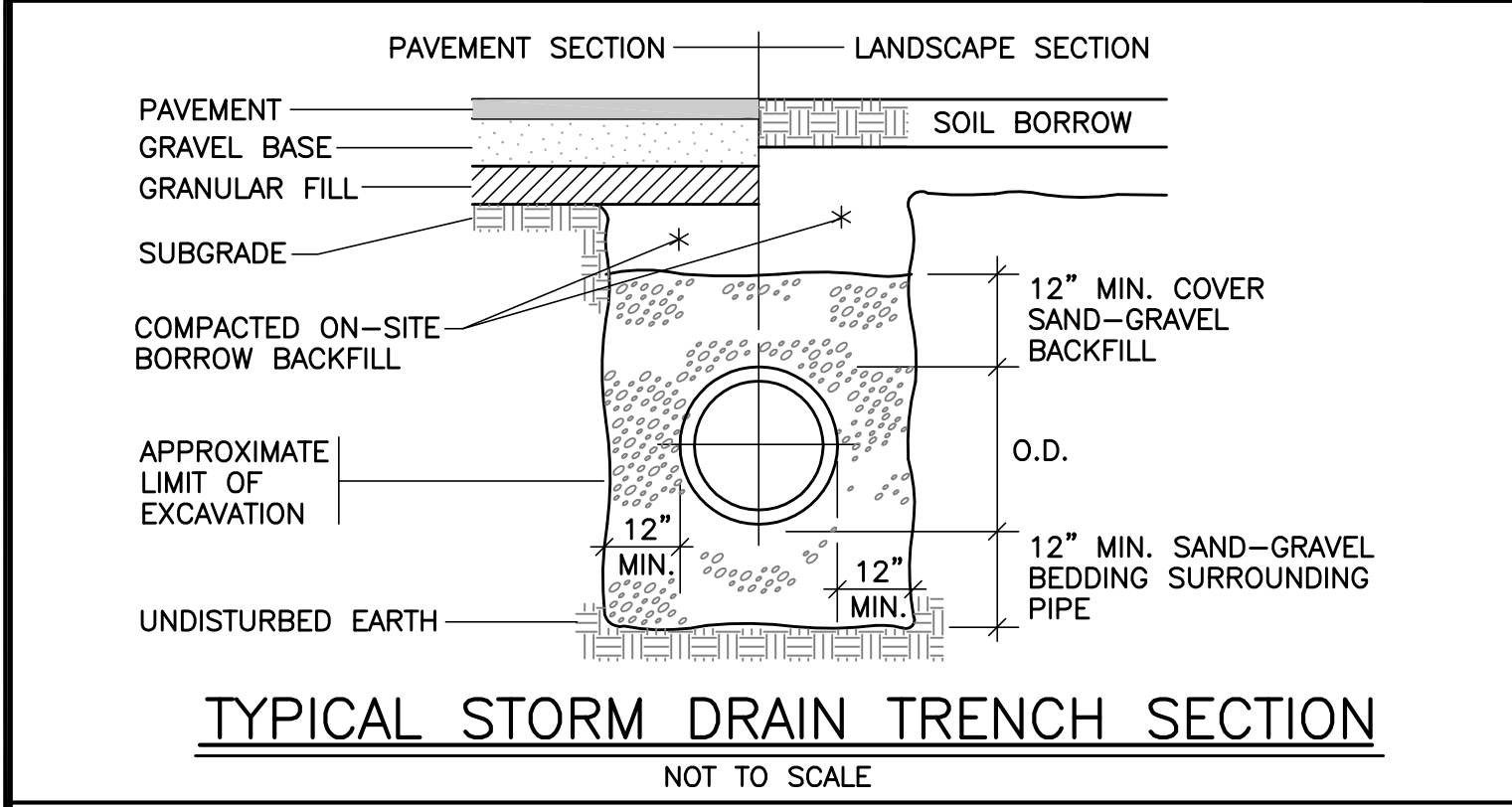
Appvd. by	
Chd. by	
Revision Description	
Date	
No.	
Scale	1"=20'
Date	MARCH 15, 2019
Drawn	NAD
Checked	SDG
Approved	SDG
Sheet	9 of 11
Drawing Number	ER-1
Project	CISCO NEW BEDFORD 1480 EAST RODNEY FRENCH BLVD. NEW BEDFORD, MA 02744
Client	SERVEDWELL NEW BEDFORD, LLC
Project Name	EROSION CONTROL PLAN
Scale	1"=20'
Date	MARCH 15, 2019
Drawn	NAD
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Approved	SDG
Sheet	9 of 11
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Project	CISCO NEW BEDFORD 1480 EAST RODNEY FRENCH BLVD. NEW BEDFORD, MA 02744
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Sheet	9 of 11
Drawing Number	ER-1

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SITEC
Civil and Environmental Engineering
Land Use Planning



- GENERAL NOTES:**
- CONTRACTOR SHALL NOTIFY DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. THESE PLANS ARE BASED ON FIELD AND RECORD INFORMATION AND, THEREFORE, MAY NOT COMPLETELY DEPICT ALL EXISTING UTILITIES.
 - CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IMMEDIATELY IF FIELD CONDITIONS ARE FOUND TO DIFFER WITH THESE DRAWINGS.
 - THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF THE ADJUTING AREA AND UTILITIES IN THE CONSTRUCTION OF THIS SITE. REPAIR OF DAMAGED PROPERTY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO COST TO THE OWNER.
 - THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL CONSTRUCTION.
 - ALL WORK SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF PUBLIC INFRASTRUCTURE CONSTRUCTION SPECIFICATIONS, LATEST REVISION.
 - ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF NEW BEDFORD DPI STANDARDS.
 - DEVELOPER SHALL INSPECT EXISTING WATER AND SEWER SERVICES PRIOR TO USE.
 - THE PROPOSED CONCRETE SIDEWALK AND DRIVEWAY APRONS MUST MEET CURRENT A.D.A. AND CITY STANDARDS. THE PROPOSED DRIVEWAYS SHALL BE 6" CEMENT CONCRETE WITH 6"x6" GAUGE WIRE MESH.
 - ALL DRIVEWAY PERMITS ARE SUBJECT TO TRAFFIC COMMISSION APPROVAL. THE CONTRACTOR SHALL NOTIFY THE ENGINEERING DIVISION 24 HOURS IN ADVANCE TO ENSURE THE PROPOSED SIDEWALK AND DRIVEWAY APRONS AND WHEELCHAIR RAMPS WILL MEET THE CURRENT A.D.A. AND CITY OF NEW BEDFORD STANDARDS.
 - PERMITS FOR DRAINAGE, WATER, SIDEWALKS AND DRIVEWAYS MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC INFRASTRUCTURE (DPI) ENGINEERING DIVISION BY OWNER.
 - ALL UTILITY WORK TO BE CONDUCTED PER DPI SPECIFICATION.
 - THE DEVELOPER AND SITE CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE DEPARTMENT OF PUBLIC INFRASTRUCTURE PRIOR TO START OF CONSTRUCTION.
 - UPON COMPLETION OF THE PROJECT, THE ENGINEER MUST SUBMIT AS-BUILT DRAWINGS IN CADD FORMAT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - CONTRACTOR SHALL CUT AND CAP UNUSED SEWER AND WATER SERVICES IN ACCORDANCE WITH NEW BEDFORD REGULATIONS.
 - THE OWNER MUST SUBMIT A MAINTENANCE AGREEMENT FOR THE GREASE TRAP TO THE DPI.



App'd. by	Chkd. by	Revision Description	No.	Date	Scale	AS NOTED	date: MARCH 15, 2019	drawn: NAD	checked: SDG	approved: SDG	sheet: 10 of 11	drawing number: DET-1	project: CISCO NEW BEDFORD 1480 EAST RODNEY FRENCH BLVD. NEW BEDFORD, MA 02744	client: SERVEDWELL NEW BEDFORD, LLC	drawing title: DETAIL SHEET #1
<p>SITEC, Inc. 449 Fauce Corner Road Dorchester, MA 02747 Civil and Environmental Engineering Land Use Planning WWW.SITEC-ENGINEERING.COM</p> <p>Acad No. NB 19-7146 DETAIL SHEET 1.DWG File No. 19-7146</p>															

**OPERATION & MAINTENANCE PLAN
STORMWATER MANAGEMENT SYSTEM**

- Stormwater Management Owner:
SERVEDWELL NEW BEDFORD, LLC
307 SMITH NECK ROAD
DARTMOUTH, MA 02748
- Responsible Parties:
During the construction period, the Owner's contractor will be responsible for the Operation/Maintenance of the system. When the construction is accepted, the responsibility for the maintenance will shift to the System Owner.
- Schedule for Inspection/Maintenance:
 - The Stormwater Management System shall be inspected annually and cleared of debris, sediment and vegetation when they affect the functioning and/or design capacity of the system. The inspection should be made during wet weather conditions.
 - Where lack of maintenance is causing or contributing to a water quality problem, immediate action shall be taken by the Owner to correct the problem.
 - Stormceptor Units shall be inspected twice per year and cleaned as needed. Units shall be maintained in accordance with the manufacturer's recommendations.
 - All actions required to maintain the stormwater management system for the purpose it was designed and constructed must be performed within 30 days following the maintenance inspection.
 - During construction, the contractor shall inspect all erosion control barriers and drainage structures after every rainfall event. The erosion control barriers shall be repaired as needed and accumulated silt and debris shall not be allowed to wash into the adjacent resource area. After all construction is completed, the project area shall be cleared of any sediment or debris.
- Access
Access to the stormwater system will be available from the upland portion of the site.
- Public Safety
The Contractor will comply with all OSHA regulations during construction. Competent and trained personnel will accomplish the cleaning of the drainage swales.
- Illicit Discharge Compliance
The project, as designed, does not include any illicit discharges to the stormwater management system or the environment in general. There will be no hazardous materials stored in the project area and there are no wastewater discharge streams associated with this project.
- Funding for O/M
The cost of maintenance shall be the responsibility of the owner. The projected annual inspection / maintenance cost is approximately \$1,000.

**EROSION & SEDIMENTATION CONTROL
PROGRAM**

- All Sediment and Erosion Control measures shall be executed in accordance with the following requirements and the NPDES Stormwater Pollution Prevention Plan. (SWPPP).
- Those areas undergoing actual construction will be left in an untreated or unvegetated condition for a minimum time. Areas shall be permanently stabilized within 15 days of final grading and temporarily stabilized within 30 days of initial disturbance if the disturbance is within 100 feet of a wetland resource area.
- Sediment barriers (Silt Fence) shall be installed prior to any soil disturbance of the upgradient contributing drainage area. Mulch netting shall be used to anchor mulch in all areas with slopes greater than 8.0% after October 1st if permanent stabilization has not occurred. Silt fencing shall be anchored to supplemental steel posts set 8 feet on center.
- Construction to commence in a phased manner as appropriate.
- All control measures will be inspected at least once each week and following any storm event of 0.5 inches of precipitation or greater.
- All measures will be maintained in good working order; if repair is necessary, it will be initiated within 24 hours of report.
- Built-up sediment will be removed from the erosion control silt fence when it has reached one-third the height of the fence or bale.
- Silt fence will be inspected for depth of sediment, tears and to see if fabric is securely attached to the fence posts, and the posts are firmly in the ground.
- Any temporary sediment basin used will be inspected for depth of sediment. Any build up of sediment will be removed when it reaches 10% of the design capacity or at the completion of the project.
- Temporary and permanent seeding and planting will be inspected for bare spots, washouts and healthy growth. Reseed as necessary.
- No slopes, either permanent or temporary, shall be steeper than two to one (2 to 1) unless noted otherwise. All final vegetated slopes shall be 3:1 or less.
- If final seeding of the disturbed areas is not completed 45 days prior to the first killing frost, use temporary mulch or dormant seeding to protect the site and delay seeding until the next recommended seeding period.
- Temporary seeding of disturbed areas that have not been final graded shall be completed 45 days prior to the first killing frost to protect from spring runoff problems.
- Revegetation measures will commence upon completion of construction except as noted above. All disturbed areas not otherwise stabilized will be graded, smoothed, and prepared for final seeding as follows:
 - The topsoil shall have sandy loam texture relatively free of subsoil material, stones, roots, lumps of soil, tree limbs, trash or construction debris, and shall be placed to a minimum depth of four (4) inches on all loam and seed areas or as specified on the drawings.
 - Apply fertilizer at a rate of 650 lb per acre or 14.9 lb per 1,000 SF Apply ground limestone (equivalent to 50% calcium plus magnesium oxide) at manufacturer's recommended rate.
 - The design mix for seeding shall be in accordance with Landscape Plan Design. The seed mix shall be inoculated twenty-four (24) hours before mixing and planting, with appropriate inoculum for each variety.
- All temporary erosion control measures shall be removed once the site is stabilized to the satisfaction of the Project Engineer and the Conservation Commission.
- The contractor must repair or reseed any areas that do not develop within the period of one year and shall do so at no additional expense to the owner.
- The normal acceptable seasonal seeding dates are April 1st through June 15th and August 15th through September 30th.
- Stockpiles of topsoil shall not be located near the wetlands. They shall have side slopes no greater than 1:1. An erosion control barrier shall be set on the down gradient edge of all stockpile areas.
- A maintenance and inspection report will be made after each inspection. A copy of the report form completed by the inspector shall be kept on site.
- Construction site supervisor will be responsible for training workers in all inspection and maintenance practices necessary for keeping erosion and sediment controls in good working order.

- Waste Disposal**
All waste materials will be collected and stored in a securely lidded metal dumpster from a licensed contractor. The dumpster will be emptied a minimum of once per week or as necessary. No construction waste is to be buried on site. All personnel will be instructed regarding the correct procedure for waste disposal. The individual, who manages the day-to-day site operations, will be responsible for seeing these procedures are followed.
- Hazardous Waste**
All hazardous waste materials will be disposed of in a manner specified by Local, State, Federal regulation and in accordance with any manufacturer's recommendations.
- Sanitary Waste**
All sanitary waste will be collected in portable units installed on site. The portable units will be cleaned and emptied by a qualified licensed contractor.
- Concrete Waste**
All concrete washings will be disposed of in a designated area away from wetlands and any property line. When the concrete hardens it will be removed from the site.
- Good Housekeeping Practices**
 - Store only enough products on site to do the job.
 - All materials stored outdoors will be stored in a neat, orderly manner in the original containers.
 - Products will be kept in their original container with the original manufacturer's label.
 - The site contractor will inspect daily to ensure proper use and disposal of materials onsite.
- Product Specific Practices**
 - Petroleum Products:**
 - Refueling vehicles will be DOT Certified and have SPCC Plans in place and contain emergency equipment to contain and clean up small spills.
 - All on site construction vehicles will be inspected for leaks and receive regular preventative maintenance to reduce the chance of leakage.
 - Petroleum products will be stored in tightly sealed containers, which are properly marked.
 - Fertilizers:**
 - All fertilizers will be stored in a dry protected area and only used according to manufacturer's recommendation.
 - Concrete Trucks:**
 - The site contractor is responsible for designating a safe area, away from abutting property and resource areas, for excess concrete disposal.
- Spill Control Practices**
In addition to the good housekeeping and material management practices discussed in the previous sections of this plan, the following practices will be followed for Spill Prevention and clean up during construction:
 - Manufacturer's recommended methods for spill clean up will be clearly posted and site personnel will be made aware of the procedures and the location of the information and cleanup supplies.
 - All spills will be cleaned up immediately after discovery.
 - If any threat of explosion or life threatening condition, all personnel will be evacuated from the area to a safe location and the site supervisor shall contact the local fire department for assistance.
 - The spill area will be ventilated and personnel will wear appropriate protective clothing to prevent injury from contact with a hazardous substance.
 - The site contractor responsible for day-to-day operations will be the spill prevention and clean up coordinator. He will designate at least three other site personnel who will receive spill prevention and cleanup training. These individuals will each become responsible for a particular phase of prevention and cleanup.

No.	Date	Revision Description	Chgd. By	Appvd. By
2	SEPT. 3, 2019	REVISION PARKING	SDG	SDG
1	JULY 5, 2019	MISCELLANEOUS PLANNING REVISIONS	SDG	SDG

scale: AS NOTED
date: MARCH 15, 2019
drawn: NAD
checked: SDG
approved: SDG
sheet 11 of 11
drawing number: DET-2

project: CISCO NEW BEDFORD
1480 EAST RODNEY FRENCH BLVD.
NEW BEDFORD, MA 02744
client: SERVEDWELL NEW BEDFORD, LLC
drawing title: DETAIL SHEET #1

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