

CISCO NEW BEDFORD RESTAURANT FACILITY

1480 EAST RODNEY FRENCH BLVD.

NEW BEDFORD, MASSACHUSETTS

SITE SUMMARY

ASSESSORS MAP 12 LOTS 77, 264, 287-291

ZONING DISTRICT: MIXED USE BUSINESS/INDUSTRIAL A

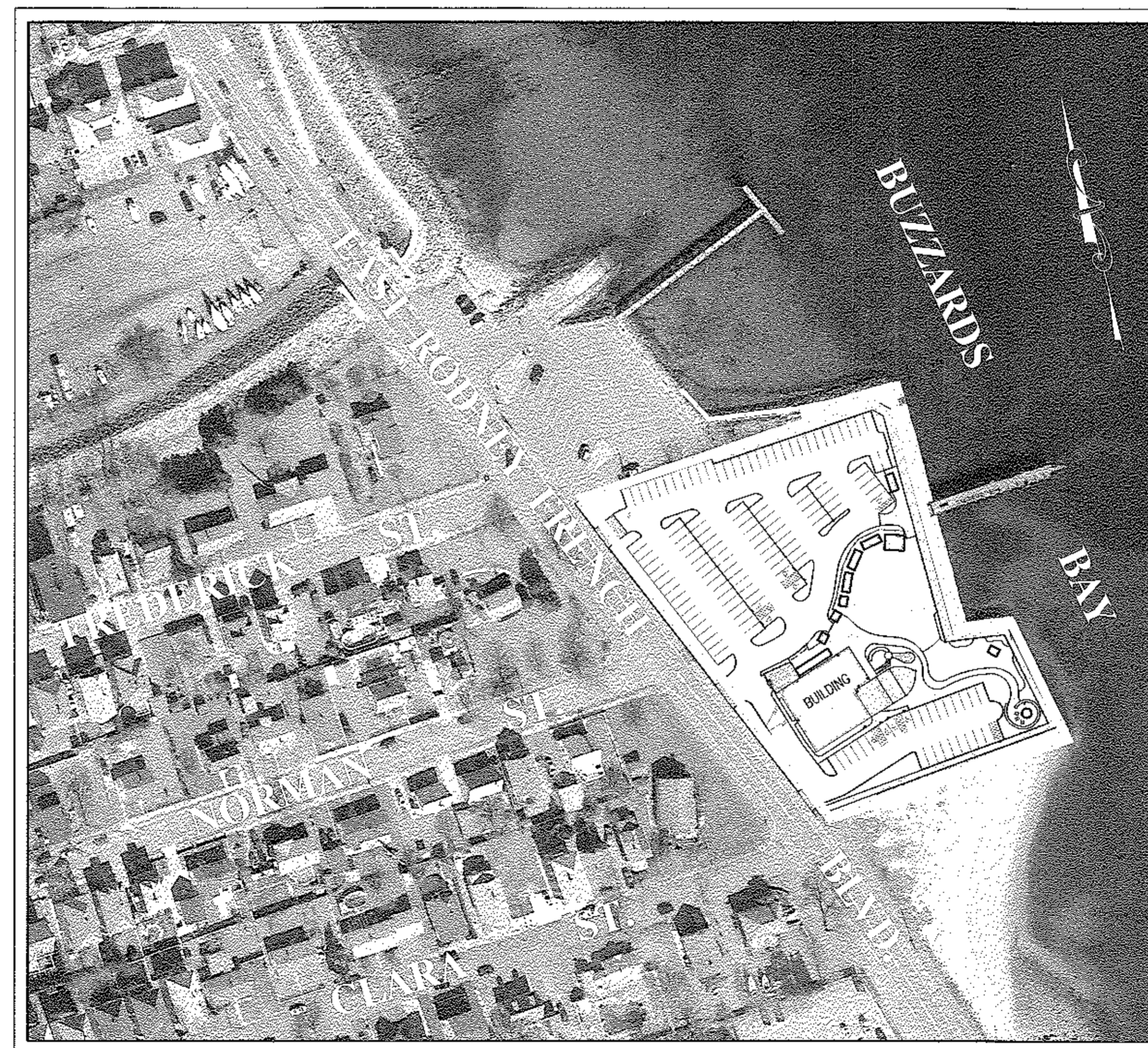
PROPOSED USE: RESTAURANT

DEED REFERENCE: BOOK 11031, PAGE 159
BOOK 11004, PAGE 138

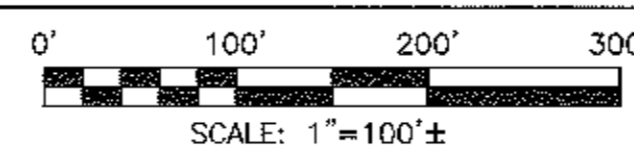
ZONING REQUIREMENTS TABLE

	REQUIRED		EXISTING	PROPOSED
	MUB	IND A		
LOT AREA	—	—	2.55 ACRES	2.55 ACRES
LOT FRONTAGE	0'	0'	419.47'	419.47'
FRONT SETBACK (BLDG.)	0'	25'	30'	30'
SIDE SETBACK (BLDG.)	0'	25'	70'	70'
REAR SETBACK (BLDG.)	10'	25'	103'	103'
FRONT SETBACK (PARKING)	0'	0'	0'	2'-8"
SIDE SETBACK (PARKING)	0'	0'	0'	5' (MIN.)
REAR SETBACK (PARKING)	0'	0'	4'	20'
BUILDING HEIGHT	100'	100'	25'	25'
LOT COVERAGE	—	50%	6%	7% (INCLUDES TEMPORARY STRUCTURES)
GREEN SPACE	0	20%	5%	17%
SCREENING BUFFERS	N/A	N/A	0	5'
OFF STREET PARKING	86*	86*	57	142

*BASED ON 10,050 SF BUILDING AND DECK PLUS 7,000 SF EVENT SPACE x 1 SPACE/200 SF = 85.2



LOCUS MAP



PLAN INDEX

SHEET NO.	TITLE	DATE	REVISED
—	COVER SHEET	MARCH 15, 2019	
1 OF 11	SITE LAYOUT	MARCH 15, 2019	
2 OF 11	LOCUS MAP	MARCH 15, 2019	
3 OF 11	SITE GRADING	MARCH 15, 2019	
4 OF 11	LANDSCAPING PLAN	MARCH 15, 2019	
5 OF 11	SITE UTILITIES	MARCH 15, 2019	
6 OF 11	SITE LIGHTING	MARCH 15, 2019	
7 OF 11	EXISTING CONDITIONS	MARCH 15, 2019	
8 OF 11	DEMOLITION PLAN	MARCH 15, 2019	
9 OF 11	EROSION CONTROL PLAN	MARCH 15, 2019	
10 OF 11	DETAIL SHEET #1	MARCH 15, 2019	
11 OF 11	DETAIL SHEET #2	MARCH 15, 2019	
—	BUILDING ELEVATIONS	MARCH 15, 2019	
—	FLOOR PLAN	MARCH 15, 2019	

OWNERS:

GCK REALTY, LLC
1480 E. RODNEY FRENCH BLVD.
NEW BEDFORD, MA 02741

VVK REALTY, LLC
P.O. BOX 127
FAIRHAVEN, MA 02719

APPLICANT:

SERVEDWELL NEW BEDFORD, LLC
307 SMITH NECK ROAD
DARTMOUTH, MA 02748

DATE: MARCH 15, 2019

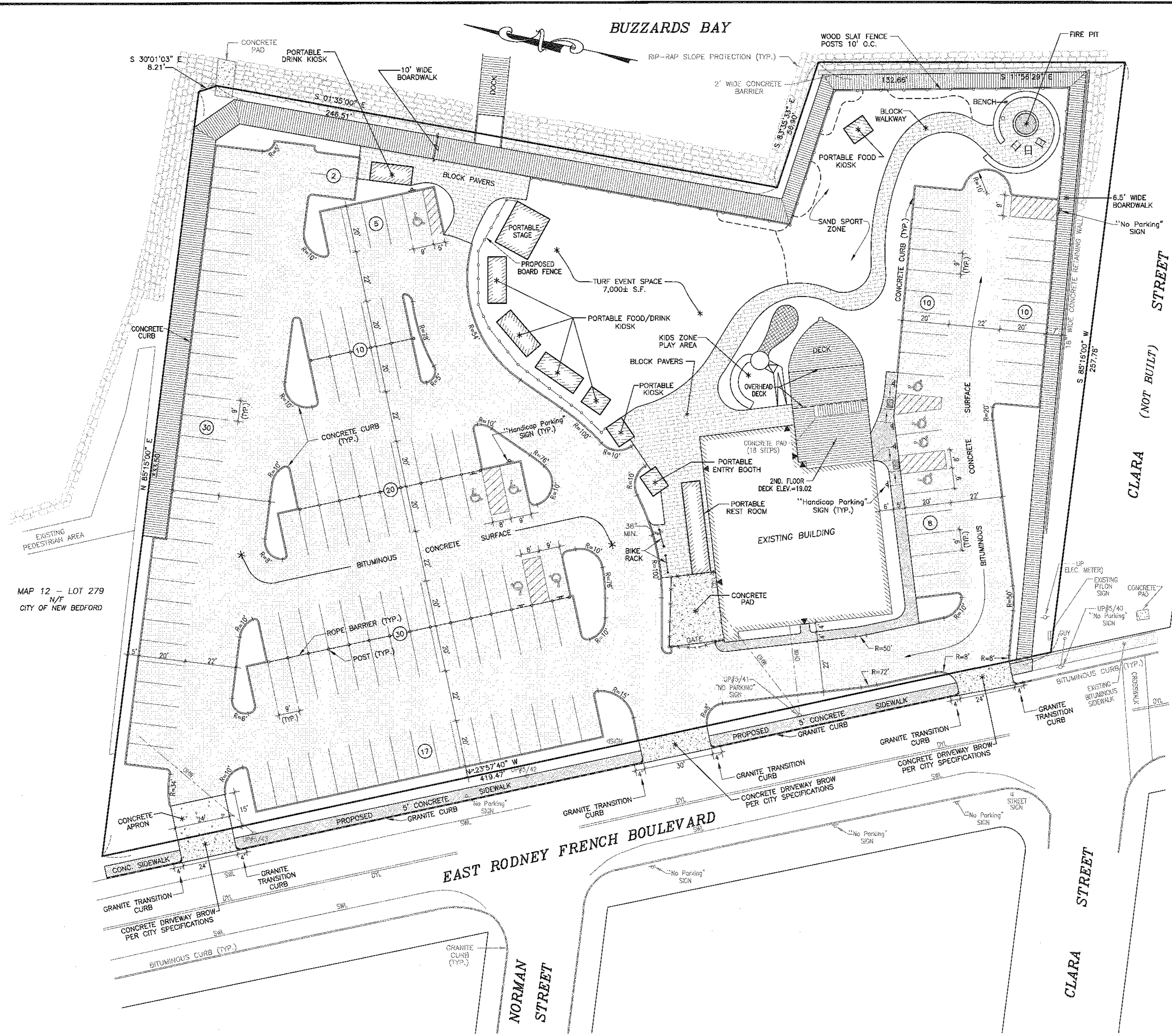


[Signature]

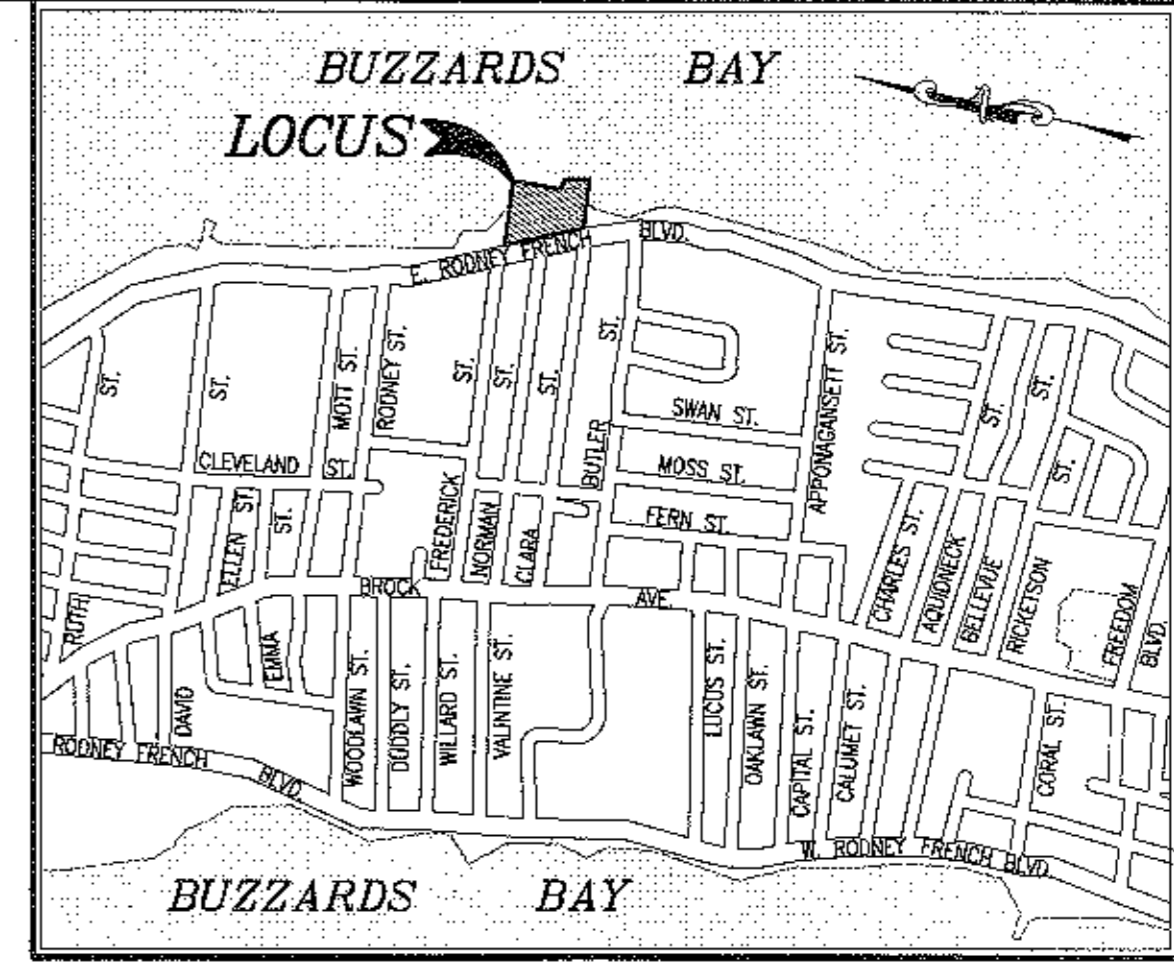
SITEC

Civil and Environmental Engineering
Land Use Planning

449 Faunce Corner Road
Dartmouth, MA 02747
(508) 998-2125
FAX (508) 998-7554
WWW.SITEC-ENGINEERING.COM
ACAD NO. 19-7146 COVER SHEET.DWG



MAP 12 - LOT 279
N/F
CITY OF NEW BEDFORD



LOCUS MAP

SCALE: 1"=1,000'±

LEGEND

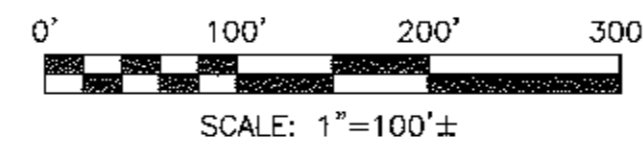
- PROPERTY LINE
- ▲— EXISTING BUILDING ENTRANCE
- DYL — EXISTING DOUBLE YELLOW LINE
- SWL — EXISTING SOLID WHITE LINE
- *—*—*— EXISTING CHAIN LINK FENCE
- ⑰ PROPOSED NUMBER OF PARKING SPACES
- ▲—▲—▲— PROPOSED BUILDING ENTRANCE
- *—*—*— PROPOSED CHAIN LINK FENCE
- PROPOSED WOOD SLAT FENCE

NOTES:

1. I HEREBY CERTIFY THAT THE PROJECT AS DESIGNED MEETS THE APPLICABLE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD.
2. DRIVEWAY PERMIT SUBJECT TO TRAFFIC COMMISSION APPROVAL.
3. PERMITS FOR SIDEWALK, DRIVEWAYS, WATER & SEWER MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC INFRASTRUCTURE ENGINEERING DIVISION.
4. ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY PLANNER AND CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY PLANNER AND CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
5. ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
6. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
7. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS.
8. BICYCLE RACKS SHALL BE 9 BIKE CAPACITY WAVE RACKS WITH IN-GROUND MOUNTING.

[Signature]
DATE: 5.9.19

	Chd. by				
	Revision Description				
	Date				
	No.				
Scale: 1"=20'	Date: MARCH 15, 2019	Drawn: NAD	Checked: SDG	Approved: SDG	Sheet number of 11
					SL-1
<p>PROJECT: CISCO NEW BEDFORD 1480 EAST RODNEY FRENCH BLVD. NEW BEDFORD, MA 02744</p> <p>CLIENT: SERVEDWELL NEW BEDFORD, LLC</p> <p>DRAWING TITLE: SITE LAYOUT</p>					
<p>SITEC, Inc. 448 Fauce Corner Road Dorchester, MA 02747 (508) 998-2125 FAX (508) 998-7584 WWW.SITEC-ENGINEERING.COM</p> <p>City and Environmental Engineering Land Use Planning</p>					
Acad No. NB 19-7146 SLDWG					
File No. 19-7146					



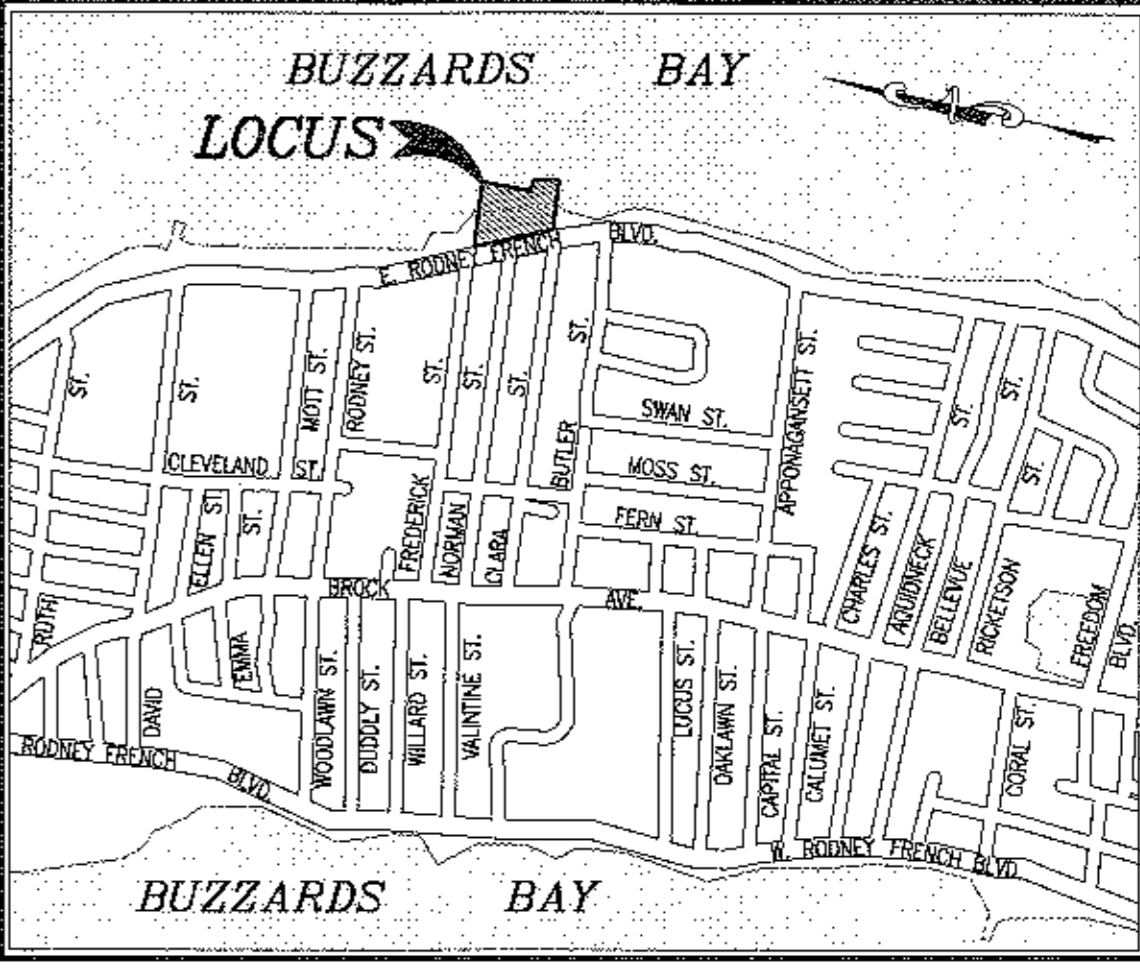
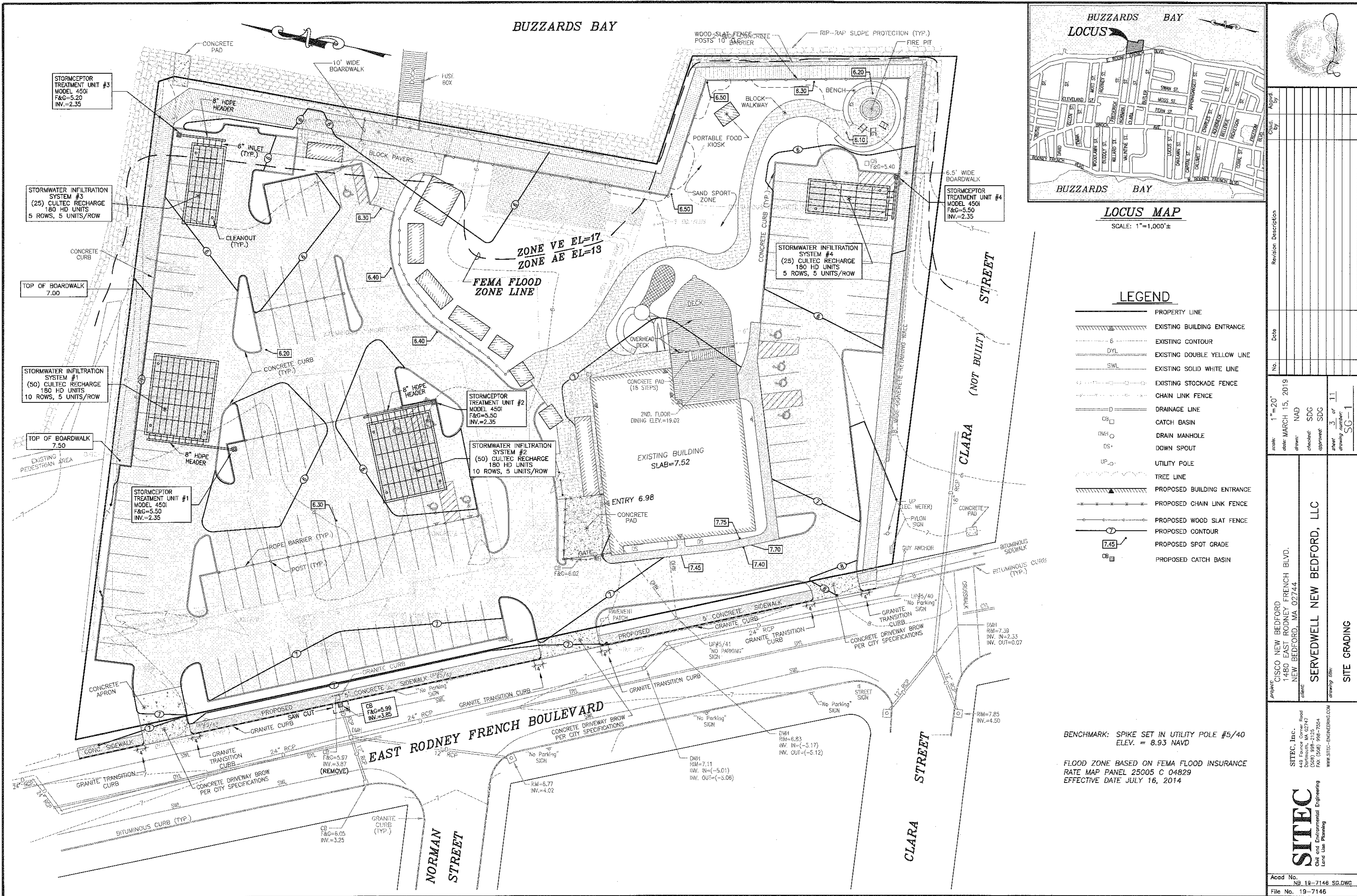
No.	Date	Revision Description	Checked by	Approved by

scale: 1"=100'±
 date: MARCH 15, 2019
 drawn: NAD
 checked: SDG
 approved: SDG
 sheet 2 of 11
 drawing number: LOCUS-1

project: CISCO NEW BEDFORD
 1480 EAST RODNEY FRENCH BLVD.
 NEW BEDFORD, MA 02744
 client: SERVEDWELL NEW BEDFORD, LLC
 drawing title: LOCUS MAP

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SITEC
 Civil & Environmental Engineering
 Land Use Planning
 Acad No. NB 19-7146
 LOCUS_MAP.DWG
 File No. 19-7146

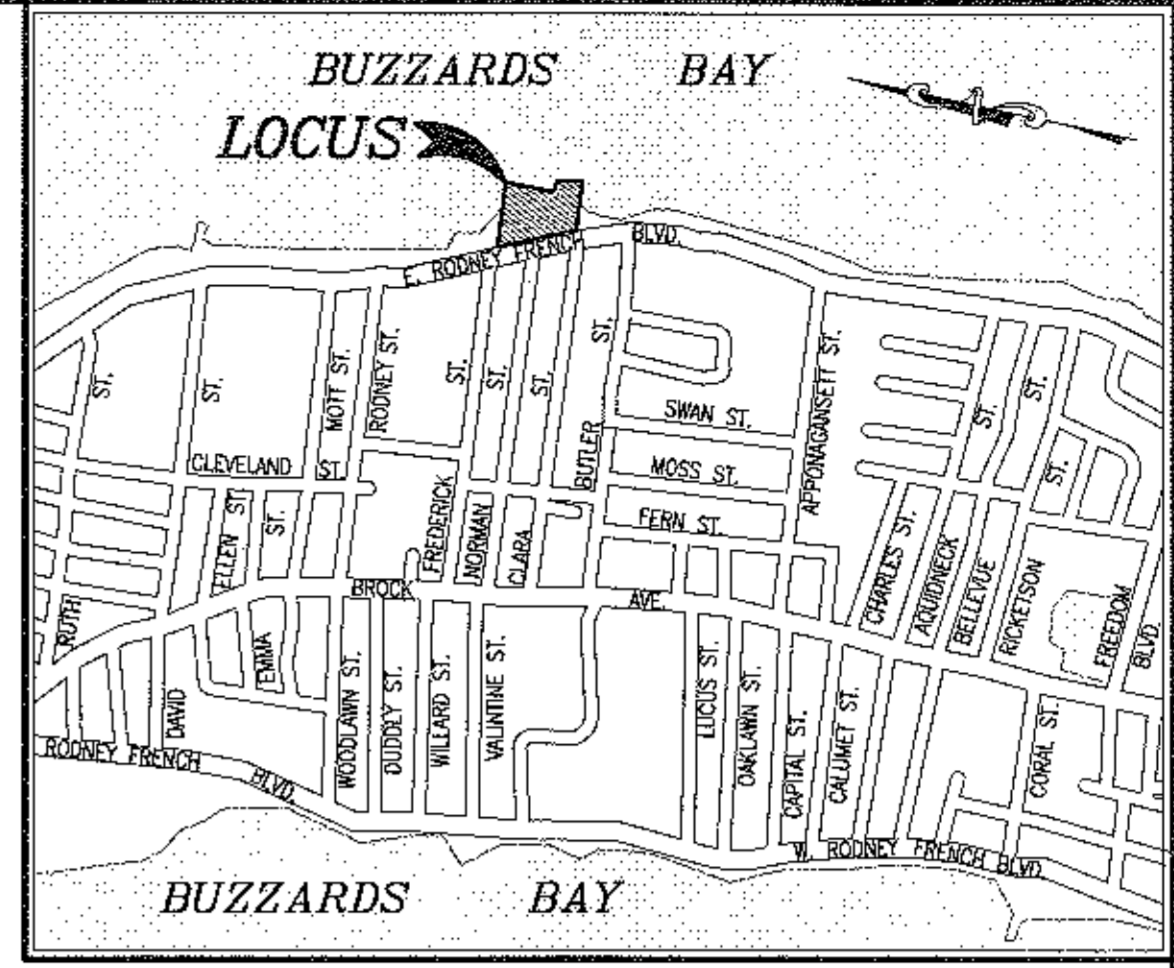


Project:	CISCO NEW BEDFORD	Scale:	1"=20'	Date:	MARCH 15, 2019	Drawn:	NAD	Checked:	SDG	Approved:	SDG	Drawn/Checked/Approved:	3/ or 11
Address:	1480 EAST RODNEY FRENCH BLVD. NEW BEDFORD, MA 02744	Client:	SERVEDWELL NEW BEDFORD, LLC	Revision:		Sheet:		Scale:		Project:		Author:	SG-1
Company:	SITEC, Inc. 448 France Corner Road Dorchester, MA 02747 (508) 998-2125 FAX (508) 998-7584 WWW.SITEC-ENGINEERING.COM	Engineer:		Revision:		Project:		Scale:		Project:		Author:	
Acad No.:	NB 19-7146	Project:		Revision:		Project:		Scale:		Project:		Author:	
File No.:	19-7146	Project:		Revision:		Project:		Scale:		Project:		Author:	

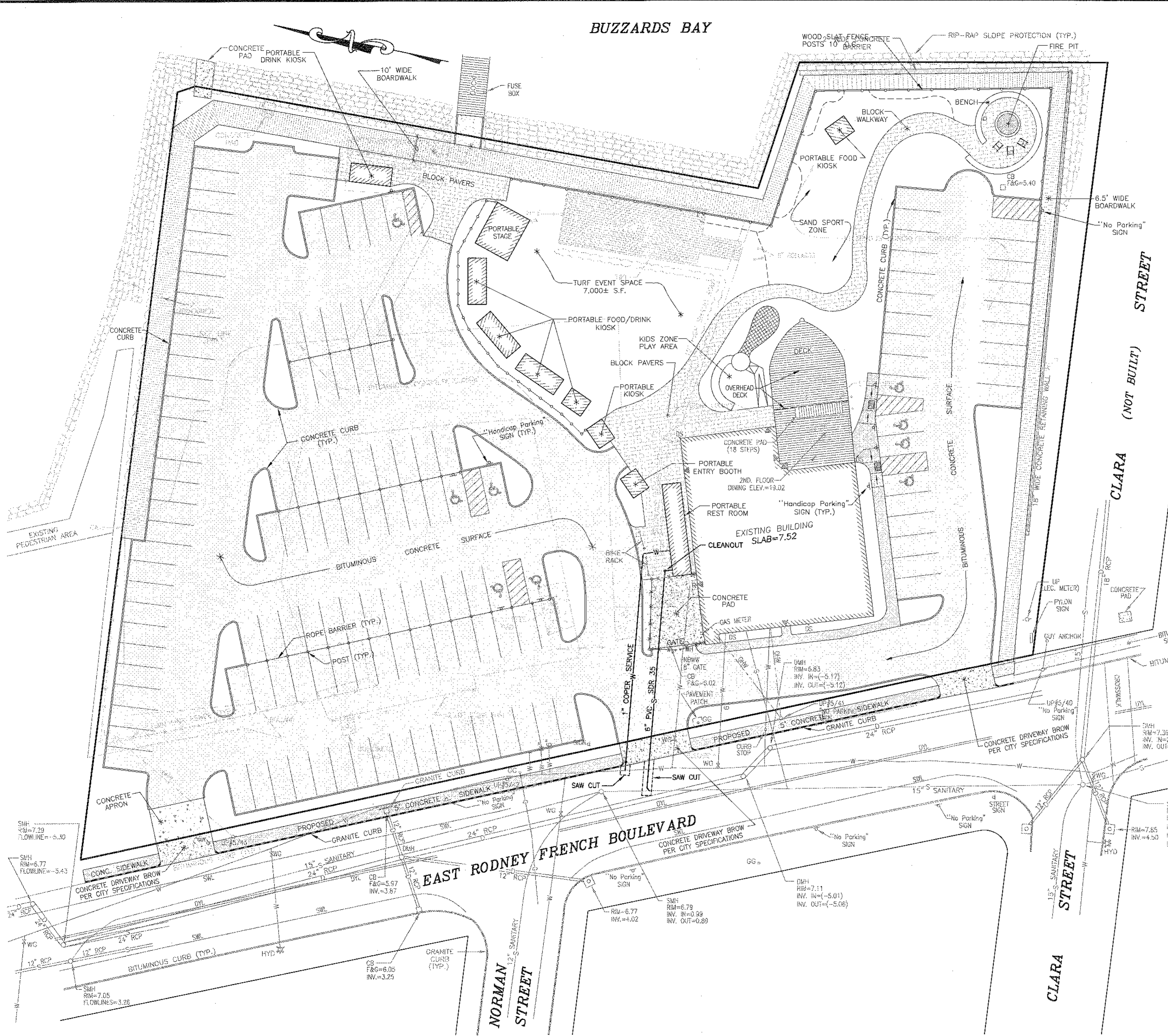
**BENCHMARK: SPIKE SET IN UTILITY POLE #5/40
ELEV. = 8.93 NAVD**

**FLOOD ZONE BASED ON FEMA FLOOD INSURANCE
RATE MAP PANEL 25005 C 04829
EFFECTIVE DATE JULY 16, 2014**

BUZZARDS BAY



LOCUS MAP
SCALE: 1"=1,000'±

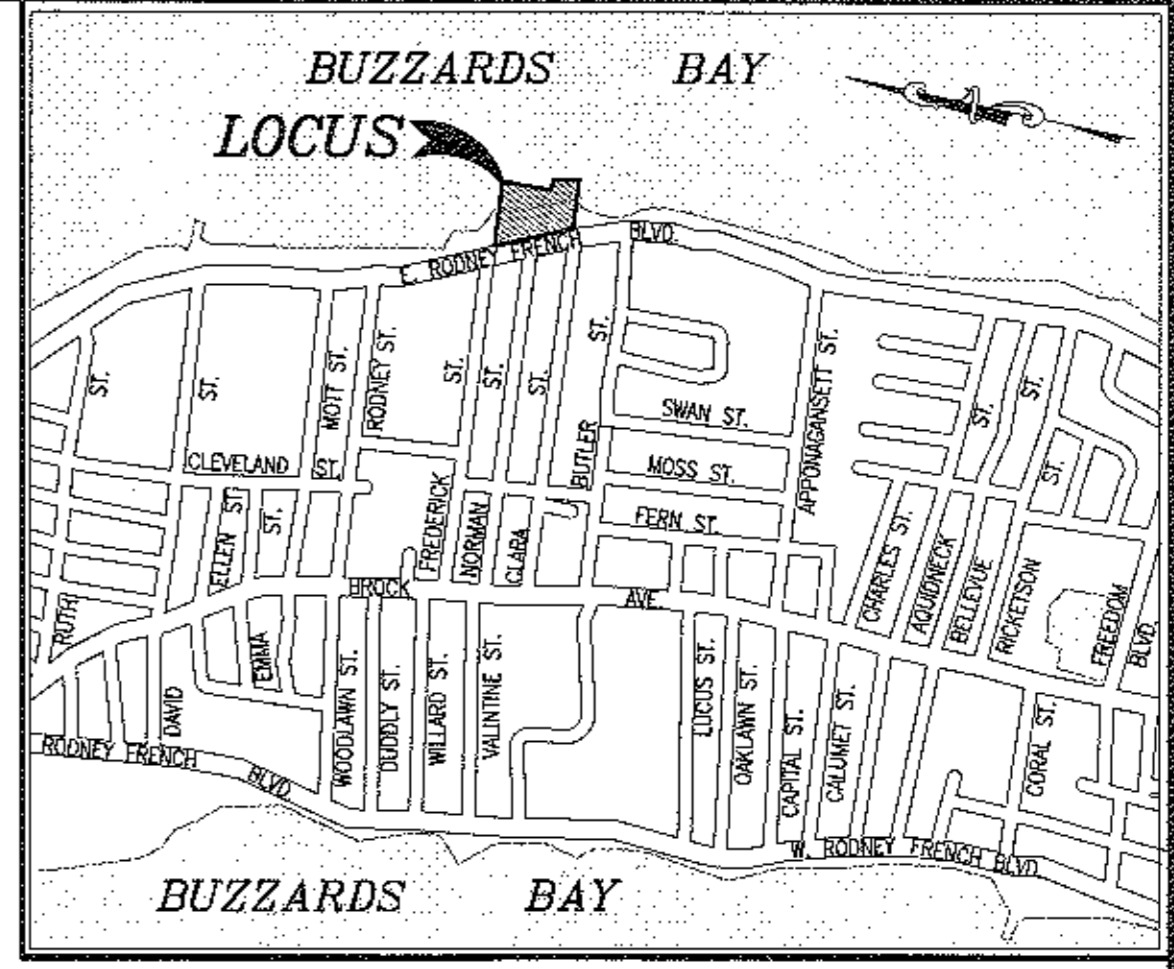
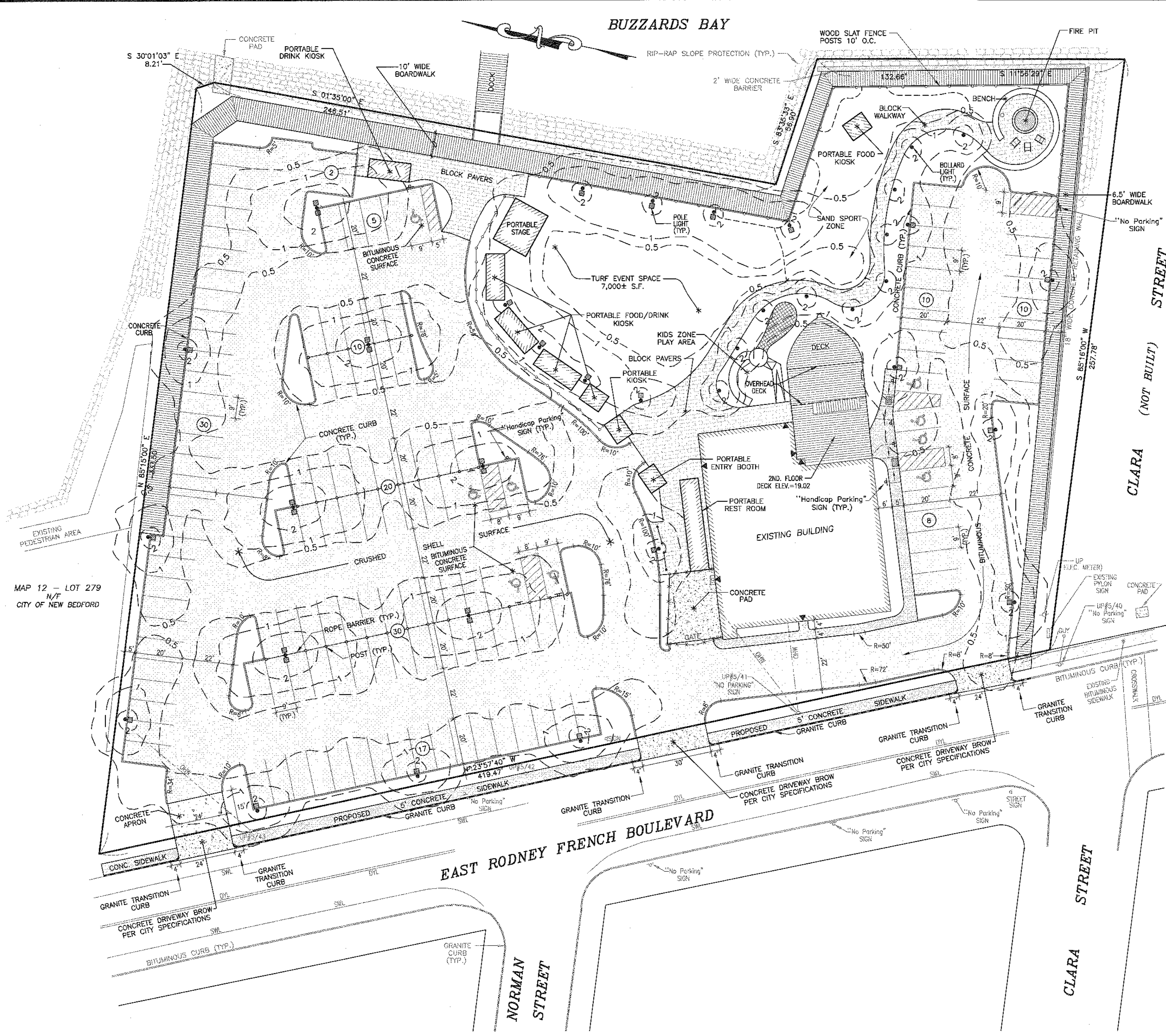


LEGEND

	PROPERTY LINE
	EXISTING BUILDING ENTRANCE
	EXISTING CONTOUR
	EXISTING DOUBLE YELLOW LINE
	EXISTING SOLID WHITE LINE
	EXISTING STOCKADE FENCE
	EXISTING CHAIN LINK FENCE
	EXISTING GAS MAIN
	EXISTING WATER MAIN
	EXISTING SEWER LINE
	EXISTING DRAINAGE LINE
	EXISTING CATCH BASIN
	EXISTING DRAIN MANHOLE
	EXISTING SEWER MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER GATE VALVE
	EXISTING GAS GATE VALVE
	EXISTING DOWN SPOUT
	EXISTING LIGHT POLE
	EXISTING UTILITY POLE
	EXISTING TREE LINE
	PROPOSED BUILDING ENTRANCE
	PROPOSED CHAIN LINK FENCE
	PROPOSED WOOD SLAT FENCE
	PROPOSED WATER SERVICE
	PROPOSED SEWER SERVICE

<p>Acad. No. NB 19-7146 SU.DWG File No. 19-7146</p>	<p>Project: CISCO NEW BEDFORD 1480 EAST RODNEY FRENCH BLVD. NEW BEDFORD, MA 02744</p>	<p>Client: SERVEDWELL NEW BEDFORD, LLC</p>	<p>Scale: 1"=20'</p> <p>Date: 15, 2019</p> <p>Drawn: NAD</p> <p>Checked: SDG</p> <p>Approved: SDG</p> <p>Sheet: 5 of 11</p> <p>Drawing Number: SU-1</p>
<p>SITEC Civil and Environmental Engineering Land Use Planning</p>	<p>SITEC, Inc. 448 France Corner Road Bedford, MA 02747 Tel: (508) 988-7554 Fax: (508) 988-7554 www.sitec-engineering.com</p>	<p>SERVEDWELL NEW BEDFORD, LLC</p>	<p>Site Utilities</p>

BUZZARDS BAY



LOCUS MAP

SCALE: 1"=1,000'±

LEGEND

- PROPERTY LINE
- EXISTING BUILDING ENTRANCE
- EXISTING DOUBLE YELLOW LINE
- SWL EXISTING SOLID WHITE LINE
- EXISTING CHAIN LINK FENCE
- PROPOSED NUMBER OF PARKING SPACES
- PROPOSED BUILDING ENTRANCE
- PROPOSED CHAIN LINK FENCE
- PROPOSED WOOD SLAT FENCE
- PROPOSED BOLLARD LIGHT
- PROPOSED SINGLE LIGHT POLE
- PROPOSED DOUBLE LIGHT POLE
- PROPOSED FOOTCANDLES

LIGHTING NOTES:

- BOLLARD LIGHTS:** BEGA MANUFACTURING MODEL # 9480 MH
- POLE LIGHTS:** BEGA MANUFACTURING MODEL # 77 911 (SINGLE) (15' POLE HEIGHT)
77 995 (DOUBLE)

MAP 12 - LOT 279
N/F
CITY OF NEW BEDFORD

Revision Description	Date	No.

scale: 1"=20'
date: MARCH 15, 2019
drawn: NAD
checked: SDG
approved: SDG
sheet number: 6 of 11
drawing title: SLP-1

project: CISCO NEW BEDFORD
1480 EAST RODNEY FRENCH BLVD.
NEW BEDFORD, MA 02744

client: SERVEDWELL NEW BEDFORD, LLC

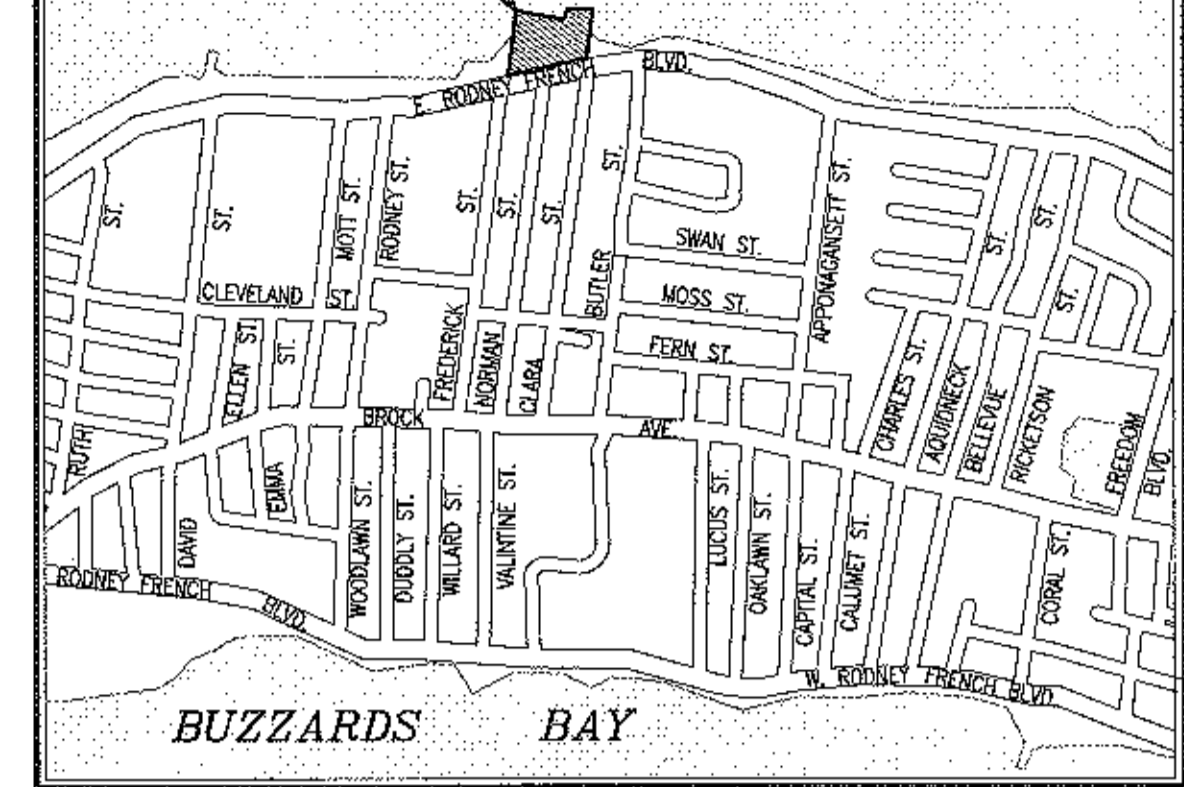
drawing title: SITE LIGHTING PLAN

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WWW.SITEC-ENGINEERING.COM

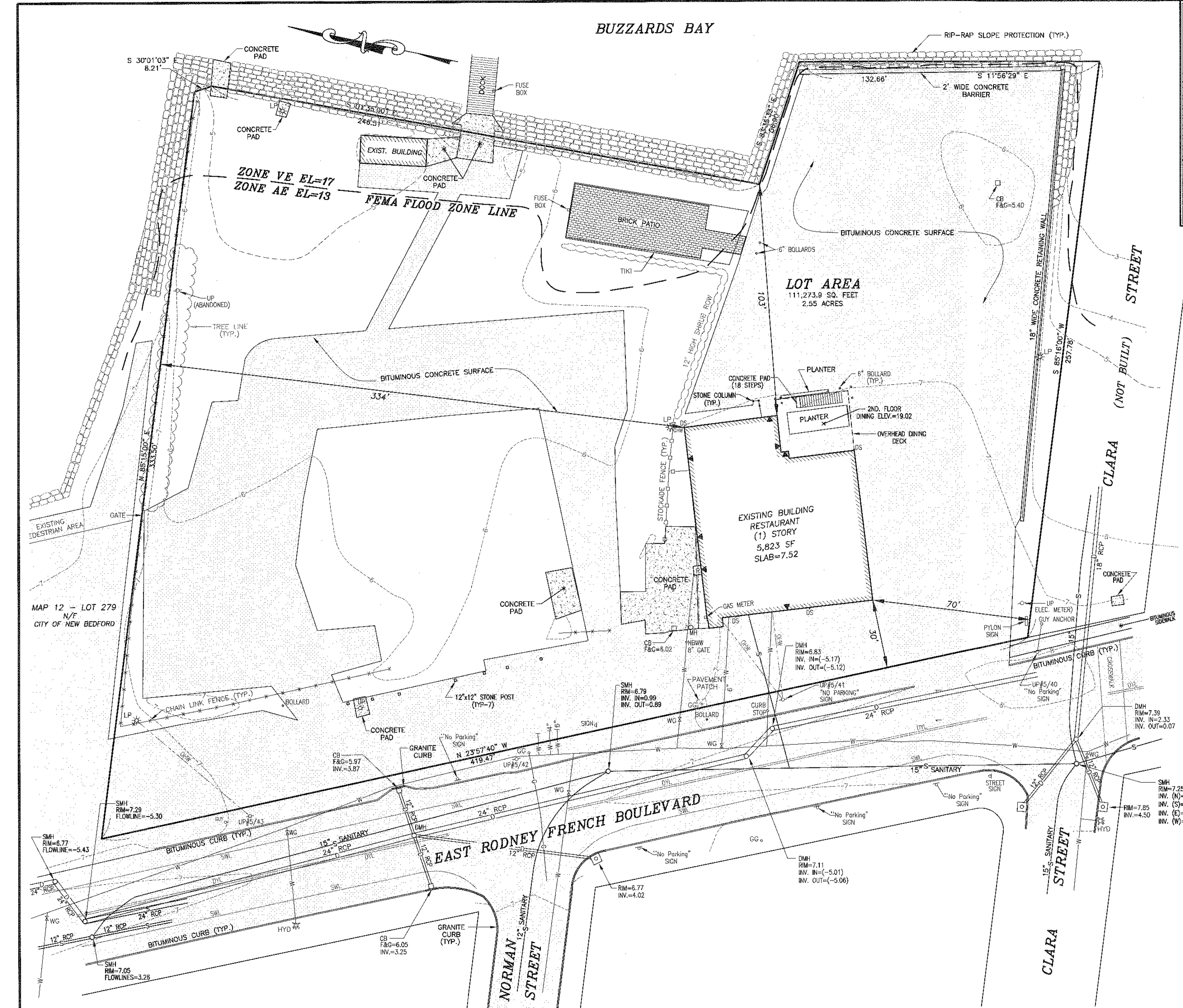
Acad No. NB 19-7146
LIGHTING PLAN.DWG
File No. 19-7146

BUZZARDS BAY

BUZZARDS BAY
LOCUS



LOCUS MAP
SCALE: 1"=1,000'



LEGEND

---	PROPERTY LINE
---	BUILDING ENTRANCE
---	EXISTING CONTOUR
---	DOUBLE YELLOW LINE
---	SOLID WHITE LINE
---	STOCKADE FENCE
---	CHAIN LINK FENCE
---	GAS MAIN
---	WATER MAIN
---	SEWER LINE
---	DRAINAGE LINE
CB	CATCH BASIN
DMH	DRAIN MANHOLE
SMH	SEWER MANHOLE
HYD	FIRE HYDRANT
WG	WATER GATE VALVE
GG	GAS GATE VALVE
DS	DOWN SPOUT
LP	LIGHT POLE
UP	UTILITY POLE
---	TREE LINE

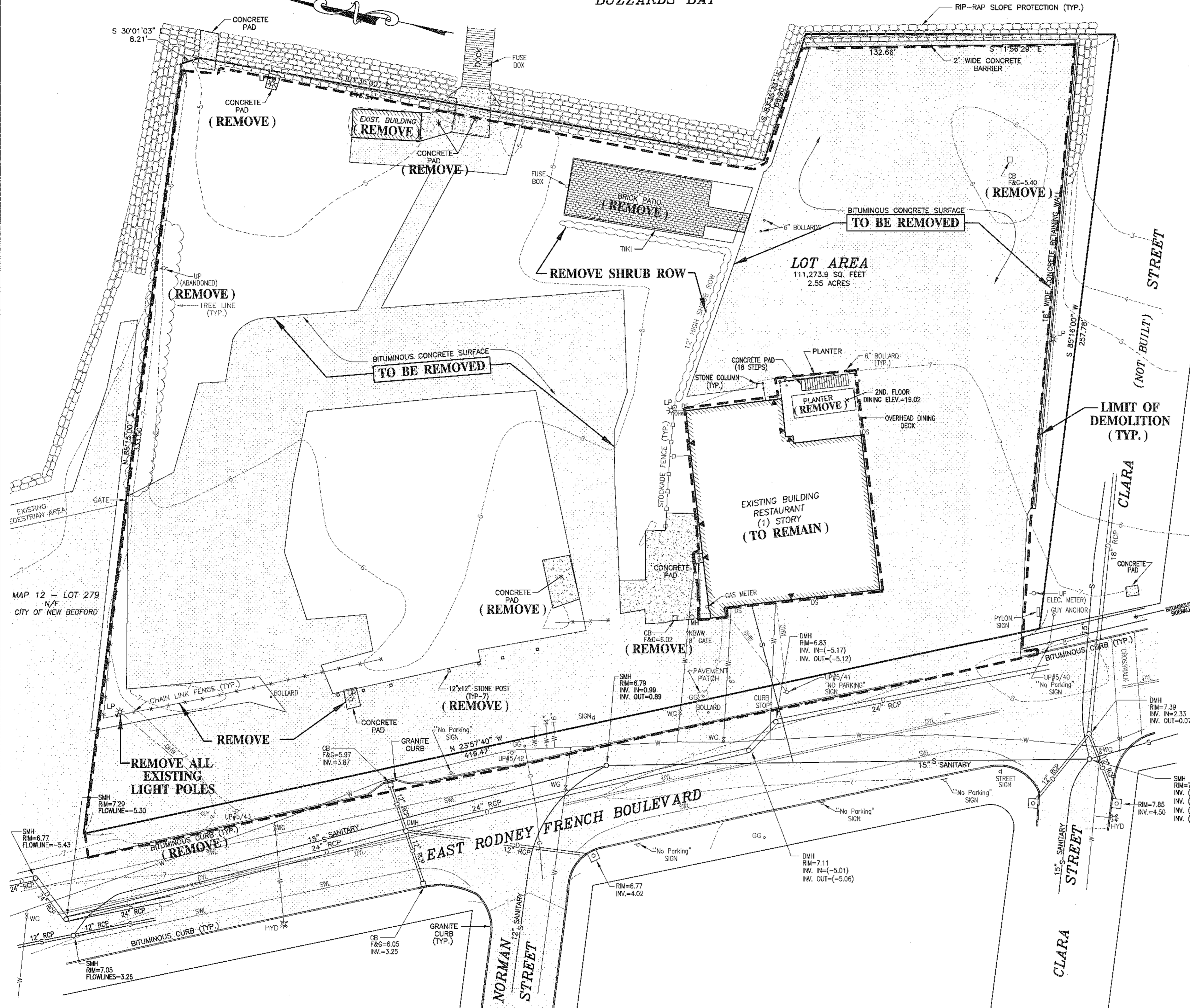
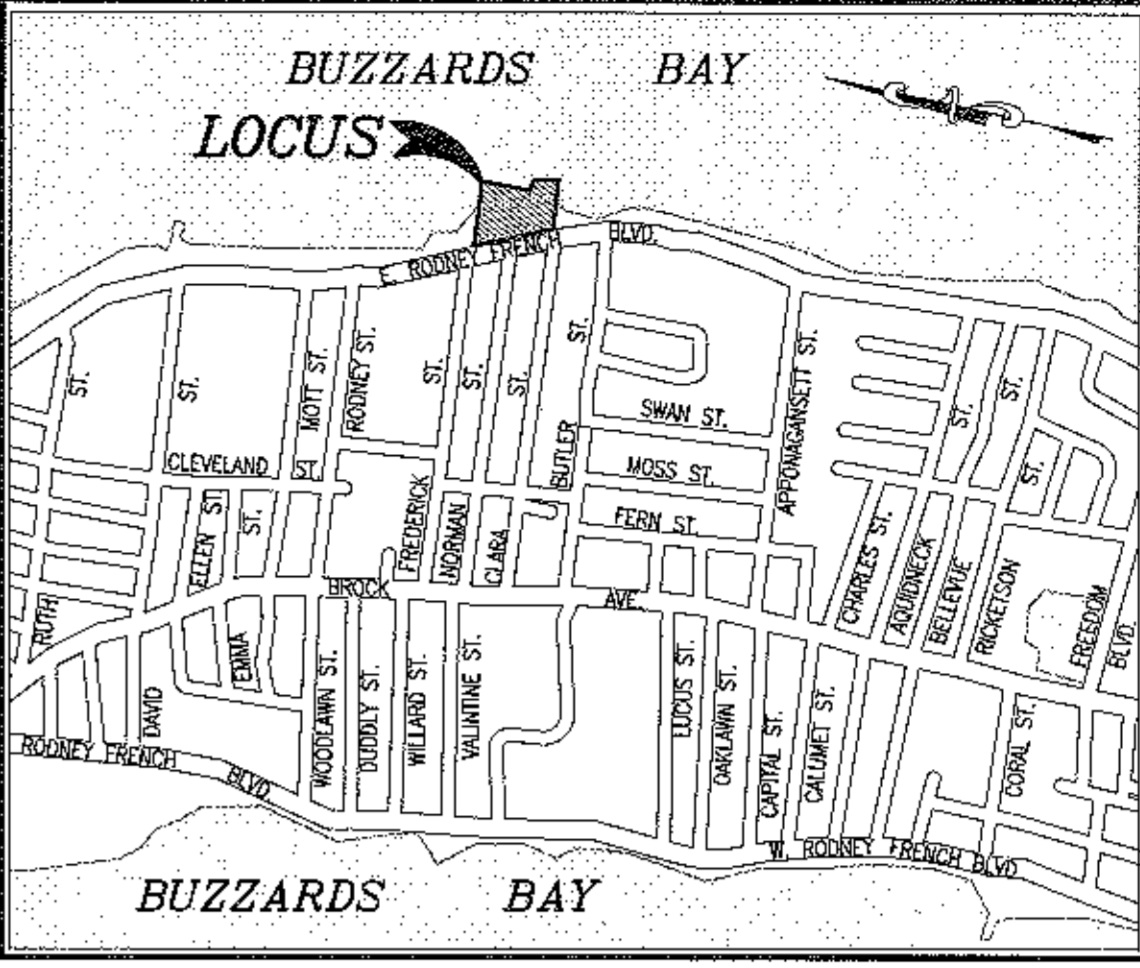
UTILITY COMPANIES
 SANITARY SEWER - NEW BEDFORD DPI
 WATER SUPPLY - NEW BEDFORD DPI (508) 979-1550
 GAS - EVERSOURCE GAS (855) 645-2427
 ELECTRIC - EVERSOURCE ELECTRIC (888) 633-3797
 CABLE - COMCAST (800)934-6489

BENCHMARK: SPIKE SET IN UTILITY POLE #5/40
 ELEV. = 8.93 NAVD

FLOOD ZONE BASED ON FEMA FLOOD INSURANCE
 RATE MAP PANEL 25005 C 04829
 EFFECTIVE DATE JULY 16, 2014

	Apprd. by Date Revision Description No.
scale: 1"=20' date: MARCH 15, 2019 drawn: NAD checked: SDG approved: SDG sheet: 7 of 11 drawing number: EC-1	project: CISCO NEW BEDFORD 1480 EAST RODNEY FRENCH BLVD. NEW BEDFORD, MA 02744
client: SERVEDWELL NEW BEDFORD, LLC	EXISTING CONDITIONS
SITEC, Inc. 449 Fauce Corner Road Dartmouth, MA 03747 (603) 898-9125 FAX: (603) 898-7554 WWW.SITEC-ENGINEERING.COM	Acad No. NB 19-7146 EC.DWG File No. 19-7146

BUZZARDS BAY



- NOTES:**
1. DEMOLITION SHALL BE LIMITED TO THE AREA OUTLINED.
 2. CONTRACTOR SHALL PROTECT ABUTTING AREAS FROM DAMAGE. DAMAGE OF ABUTTING AREAS SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
 3. ALL DEMOLITION MATERIALS SHALL BE LEGALLY DISPOSED OF OFFSITE.
 4. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO INITIAL DEMOLITION.
 5. CONTRACTOR SHALL HAVE WATER AVAILABLE FOR DUST CONTROL OR AN APPROVED DUST CONTROL AGENT.
 6. MATERIAL STOCKPILE AREA SHALL BE AS NOTED ON SHEET 9 OF 11.

LEGEND

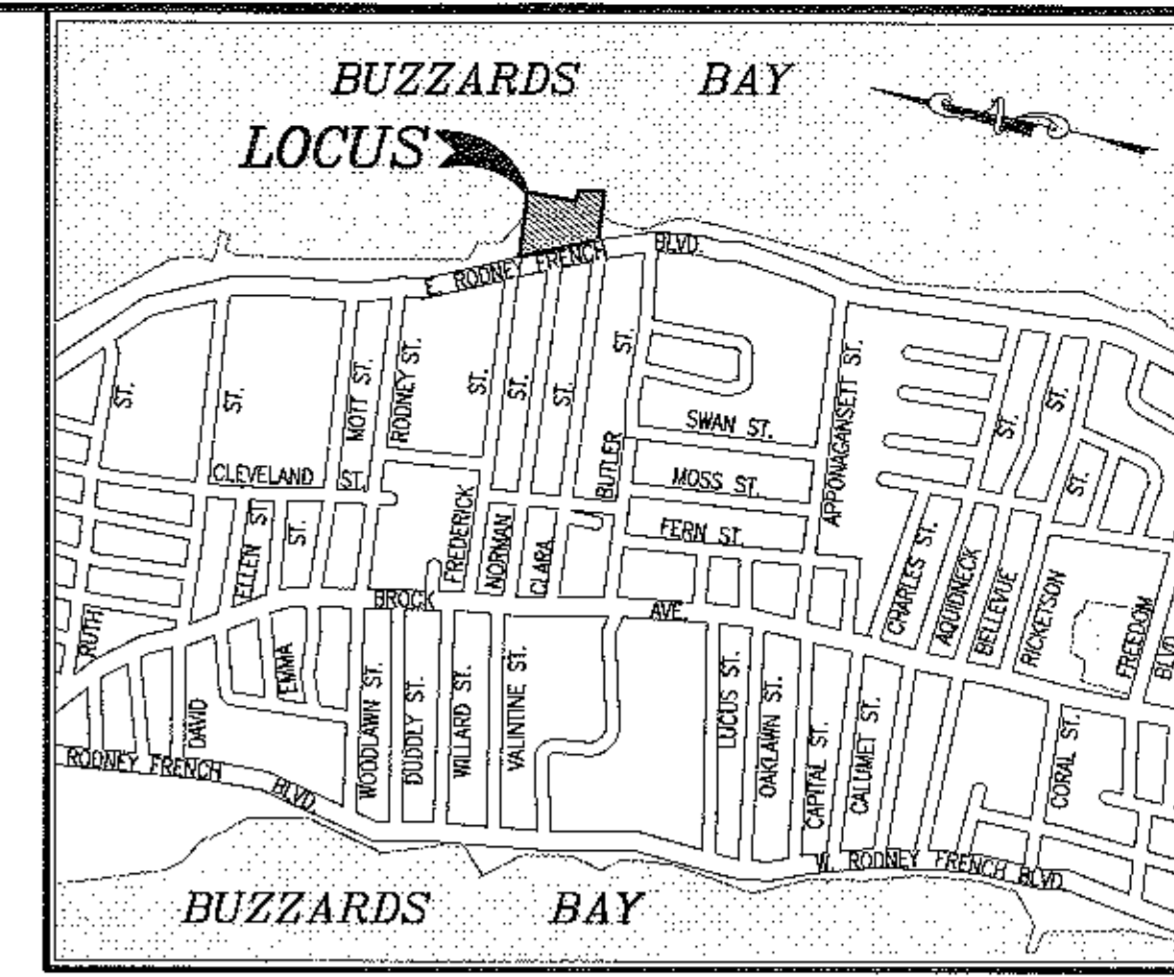
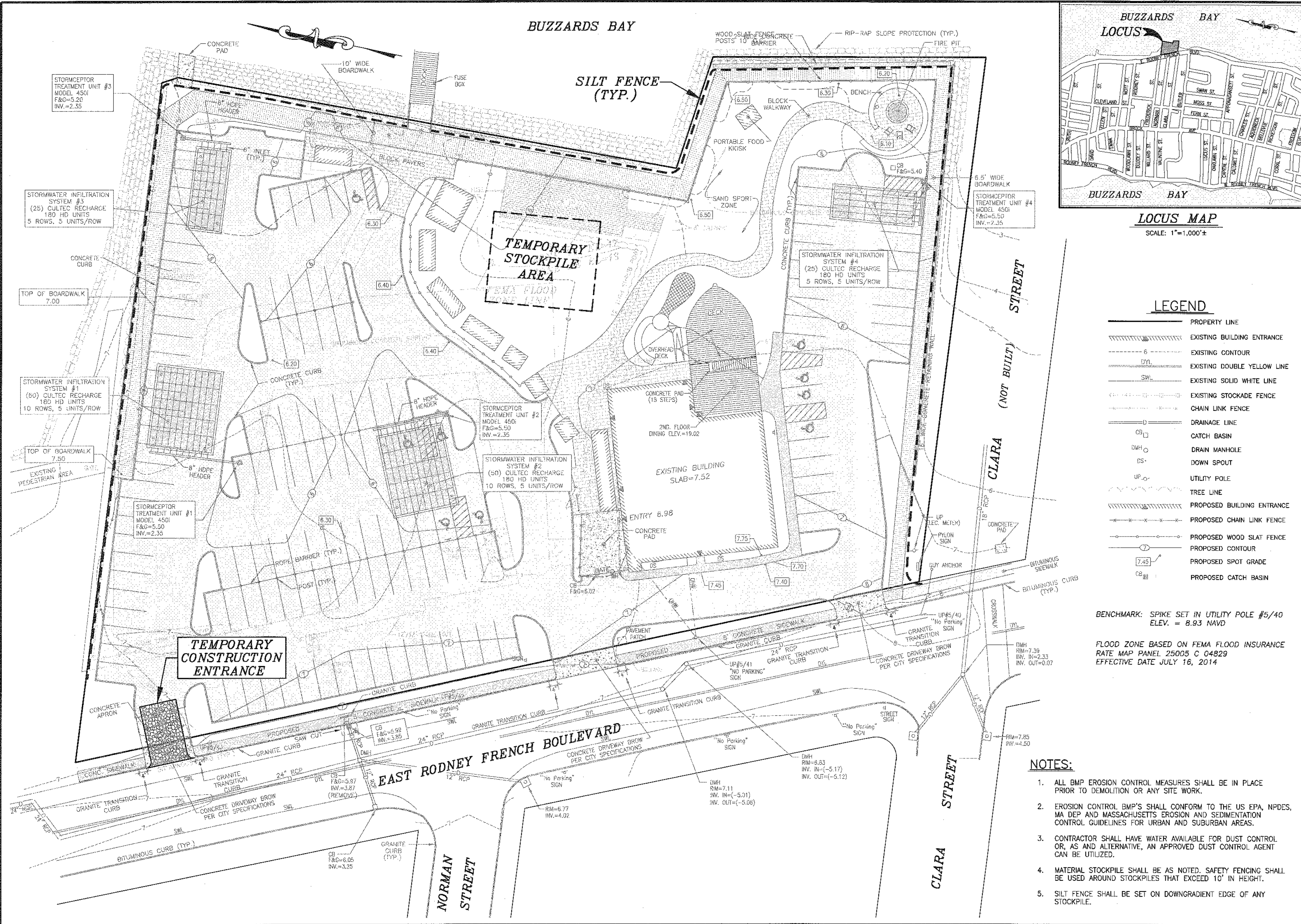
(Symbol)	PROPERTY LINE
(Symbol)	BUILDING ENTRANCE
(Symbol)	EXISTING CONTOUR
(Symbol)	DOUBLE YELLOW LINE
(Symbol)	SOLID WHITE LINE
(Symbol)	STOCKADE FENCE
(Symbol)	CHAIN LINK FENCE
(Symbol)	GAS MAIN
(Symbol)	WATER MAIN
(Symbol)	SEWER LINE
(Symbol)	DRAINAGE LINE
(Symbol)	CATCH BASIN
(Symbol)	DRAIN MANHOLE
(Symbol)	SEWER MANHOLE
(Symbol)	FIRE HYDRANT
(Symbol)	WATER GATE VALVE
(Symbol)	GAS GATE VALVE
(Symbol)	DOWN SPOUT
(Symbol)	LIGHT POLE
(Symbol)	UTILITY POLE
(Symbol)	TREE LINE

Project: CISCO NEW BEDFORD 1480 EAST RODNEY FRENCH BLVD. NEW BEDFORD, MA 02744	Date: MARCH 15, 2019 Drawn: NAD Checked: SDG Approved: SDG Drawing No. of 11	Scale: 1"=20' Date: MARCH 15, 2019 Drawn: NAD Checked: SDG Approved: SDG Drawing No. of 11	Revision Description No. Date 11 DEM-1
	Client: SERVEDWELL NEW BEDFORD, LLC		
	Drawing Title: DEMOLITION PLAN		
	Project Location: CISCO NEW BEDFORD 1480 EAST RODNEY FRENCH BLVD. NEW BEDFORD, MA 02744		
Project: CISCO NEW BEDFORD 1480 EAST RODNEY FRENCH BLVD. NEW BEDFORD, MA 02744		Client: SERVEDWELL NEW BEDFORD, LLC	
Project Location: CISCO NEW BEDFORD 1480 EAST RODNEY FRENCH BLVD. NEW BEDFORD, MA 02744		Drawing Title: DEMOLITION PLAN	
Project: CISCO NEW BEDFORD 1480 EAST RODNEY FRENCH BLVD. NEW BEDFORD, MA 02744		Client: SERVEDWELL NEW BEDFORD, LLC	
Project Location: CISCO NEW BEDFORD 1480 EAST RODNEY FRENCH BLVD. NEW BEDFORD, MA 02744		Drawing Title: DEMOLITION PLAN	

SITEMC, Inc.
 449 France Corner Road
 Portsmouth, NH 02871
 (603) 898-2125
 Fax: (603) 938-7354
 www.SITEMC-ENGINEERING.COM

Acad No. NB 19-7146
 DEMOLITION PLAN.DWG
 File No. 19-7146

BUZZARDS BAY



LOCUS MAP
SCALE: 1"=1,000'±

LEGEND

	PROPERTY LINE
	EXISTING BUILDING ENTRANCE
	EXISTING CONTOUR
	EXISTING DOUBLE YELLOW LINE
	EXISTING SOLID WHITE LINE
	EXISTING STOCKADE FENCE
	CHAIN LINK FENCE
	DRAINAGE LINE
	CATCH BASIN
	DRAIN MANHOLE
	DOWN SPOUT
	UTILITY POLE
	TREE LINE
	PROPOSED BUILDING ENTRANCE
	PROPOSED CHAIN LINK FENCE
	PROPOSED WOOD SLAT FENCE
	PROPOSED CONTOUR
	PROPOSED SPOT GRADE
	PROPOSED CATCH BASIN

BENCHMARK: SPIKE SET IN UTILITY POLE #5/40
ELEV. = 8.93 NAVD

FLOOD ZONE BASED ON FEMA FLOOD INSURANCE
RATE MAP PANEL 25005 C 04829
EFFECTIVE DATE JULY 16, 2014

- NOTES:**
- ALL BMP EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO DEMOLITION OR ANY SITE WORK.
 - EROSION CONTROL BMP'S SHALL CONFORM TO THE US EPA, NPDES, MA DEP AND MASSACHUSETTS EROSION AND SEDIMENTATION CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS.
 - CONTRACTOR SHALL HAVE WATER AVAILABLE FOR DUST CONTROL OR, AS AND ALTERNATIVE, AN APPROVED DUST CONTROL AGENT CAN BE UTILIZED.
 - MATERIAL STOCKPILE SHALL BE AS NOTED. SAFETY FENCING SHALL BE USED AROUND STOCKPILES THAT EXCEED 10' IN HEIGHT.
 - SILT FENCE SHALL BE SET ON DOWNGRADE EDGE OF ANY STOCKPILE.

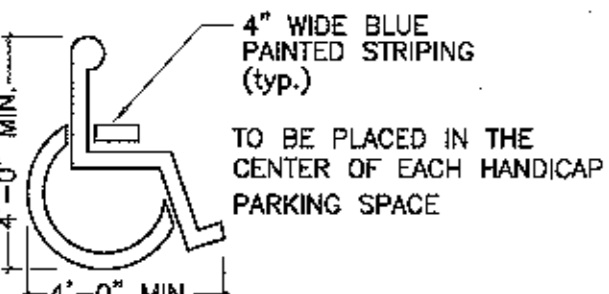
Checked by: _____ Date: _____ No. _____ Revision Description: _____ Date: _____ No. _____
project: CUSCO NEW BEDFORD 1480 EAST RODNEY FRENCH BLVD. NEW BEDFORD, MA 02744 client: SERVEDWELL NEW BEDFORD, LLC drawing title: EROSION CONTROL PLAN
scale: 1"=20' date: MARCH 15, 2019 drawn: NAD checked: SDG approved: SDG sheet 9 of 11 drawing number: ER-1
SITEC, Inc. 445 Elm Street Dorchmouth, MA 02747 (508) 998-2125 FAX (508) 998-7554 WWW.SITEC-ENGINEERING.COM
Acad No. NB 19-7146 EROSION CONTROL PLAN.DWG File No. 19-7146

SIGN PANEL SHALL BE FABRICATED FROM ALUMINUM SHEETING ASTM B209 ALLOY 6061-T6, 0.080" THICK. SIGNS SHALL HAVE TYPE D PERMANENTLY APPLIED LEGEND WITH "E" SILK SCREEN PROCESSED LEGEND SUPERIMPOSED THEREON.

INSTALL SIGNS ON 2 SIDES OF POST WHERE PARKING STALLS FACE EACH OTHER.

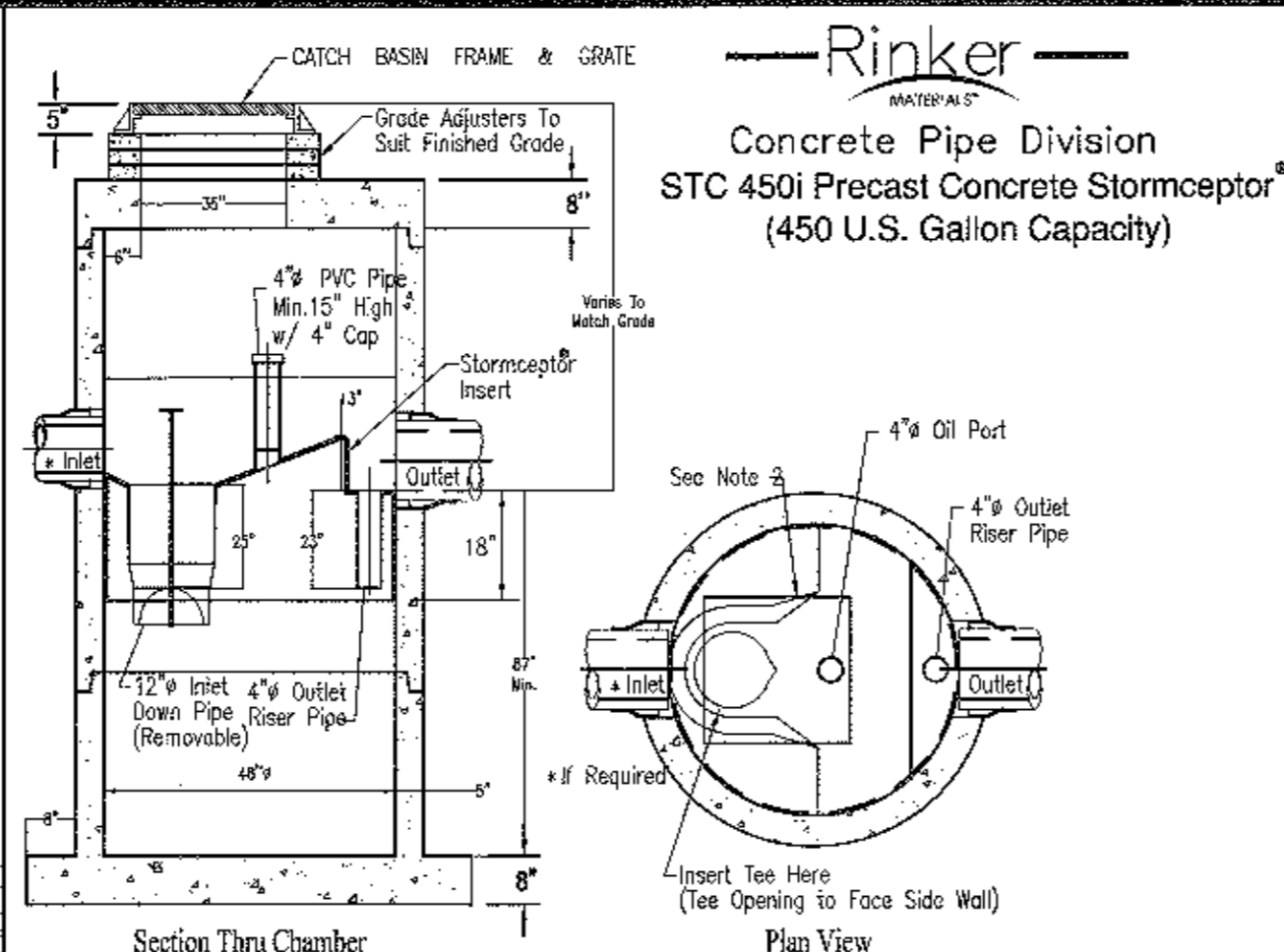
P-5 CHANNEL POST (AS SPECIFIED IN THE MASS. STANDARD FOR SIGNS AND SUPPORTS).

POST TO BE SET IN CONCRETE (18" DIA., MIN. 2 CU. FT.)



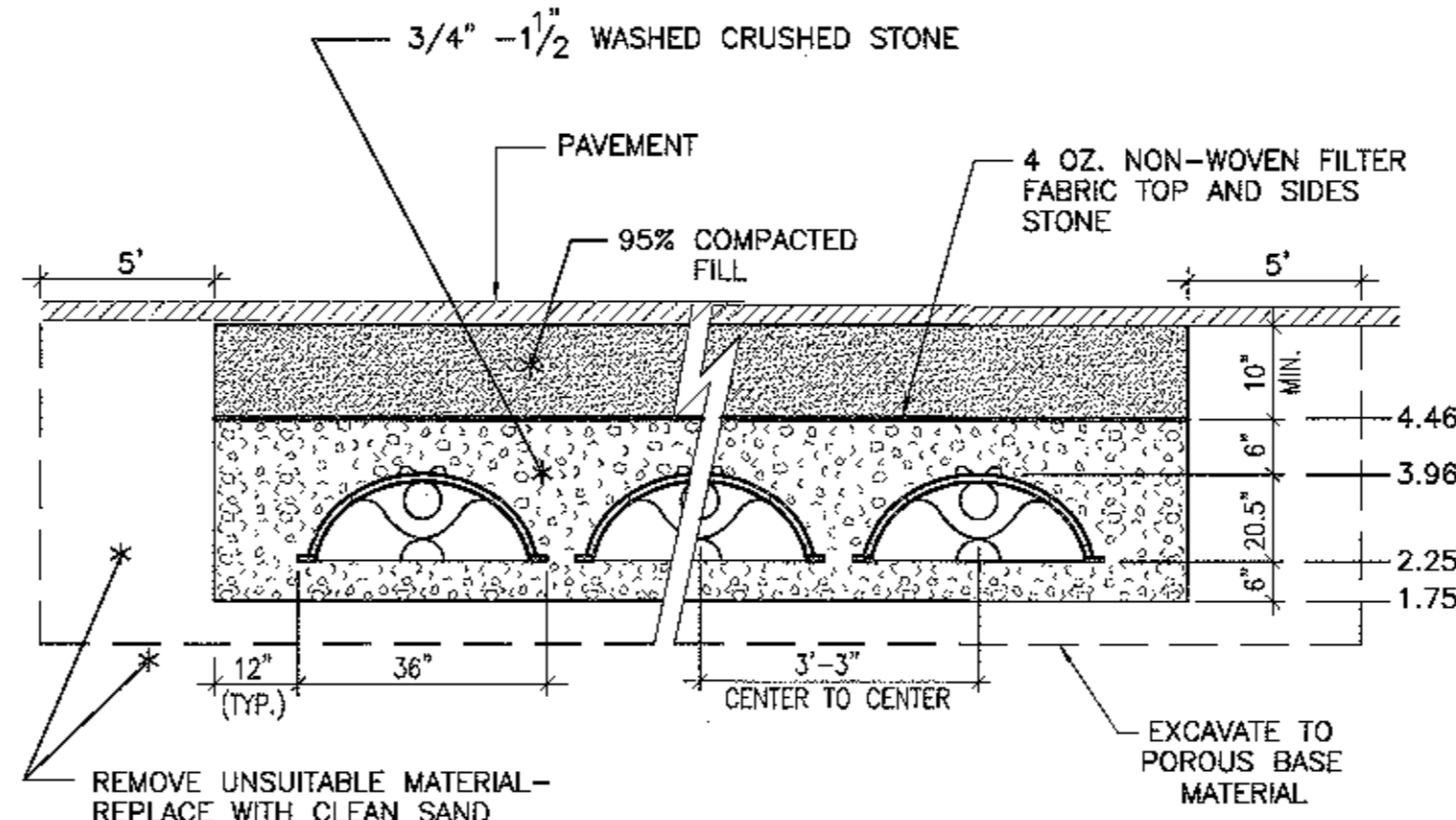
HANDICAP PARKING SPACE INDICATOR
NOT TO SCALE

HANDICAP PARKING SPACE SIGN
NOT TO SCALE



- Notes:
1. The Use Of Flexible Connection is Recommended at the Inlet and Outlet Where Applicable.
 2. The Cover Should be Positioned Over the Inlet Drop Pipe and the Oil Port.
 3. The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148, #5498331, #5725700, #5753115, #5849181, #6008765, #6371690.
 4. Contact a Concrete Pipe Division representative for further details not listed on this drawing.

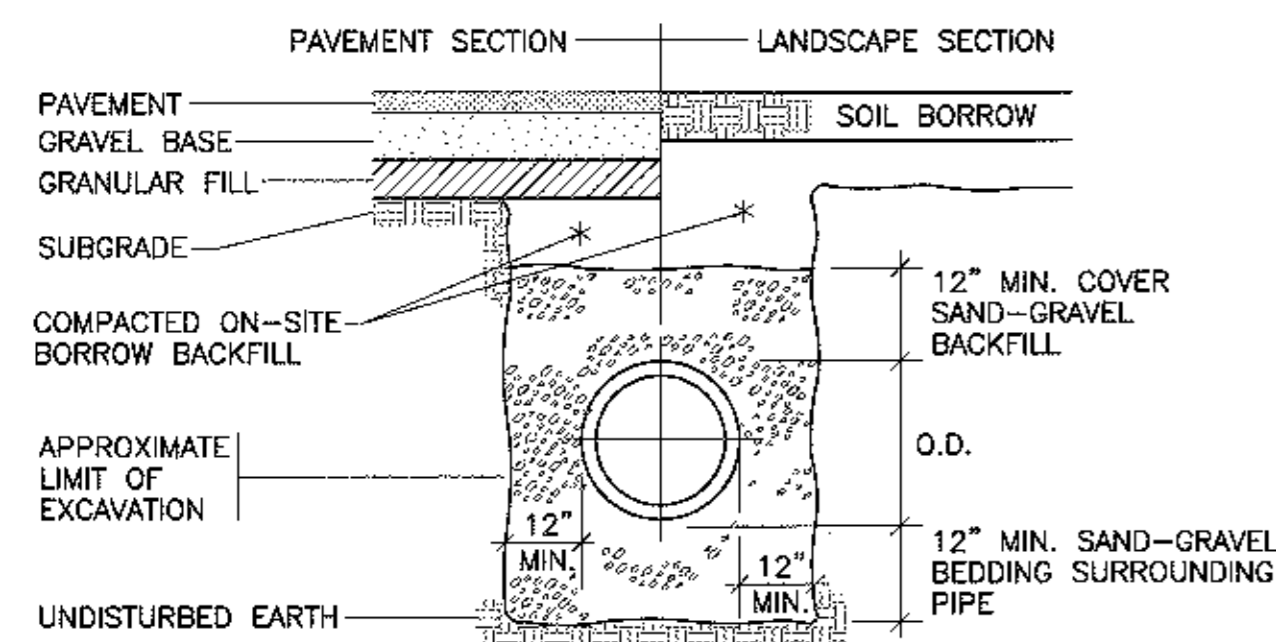
PRECAST STORMCEPTOR SYSTEM
NOT TO SCALE



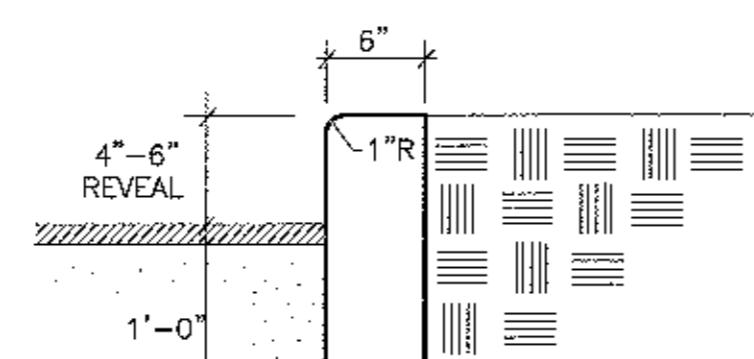
**CULTEC CONTACTOR 180HD
TYPICAL CROSS SECTION DETAIL
RECHARGE CHAMBER SYSTEM**
NOT TO SCALE

GENERAL NOTES:

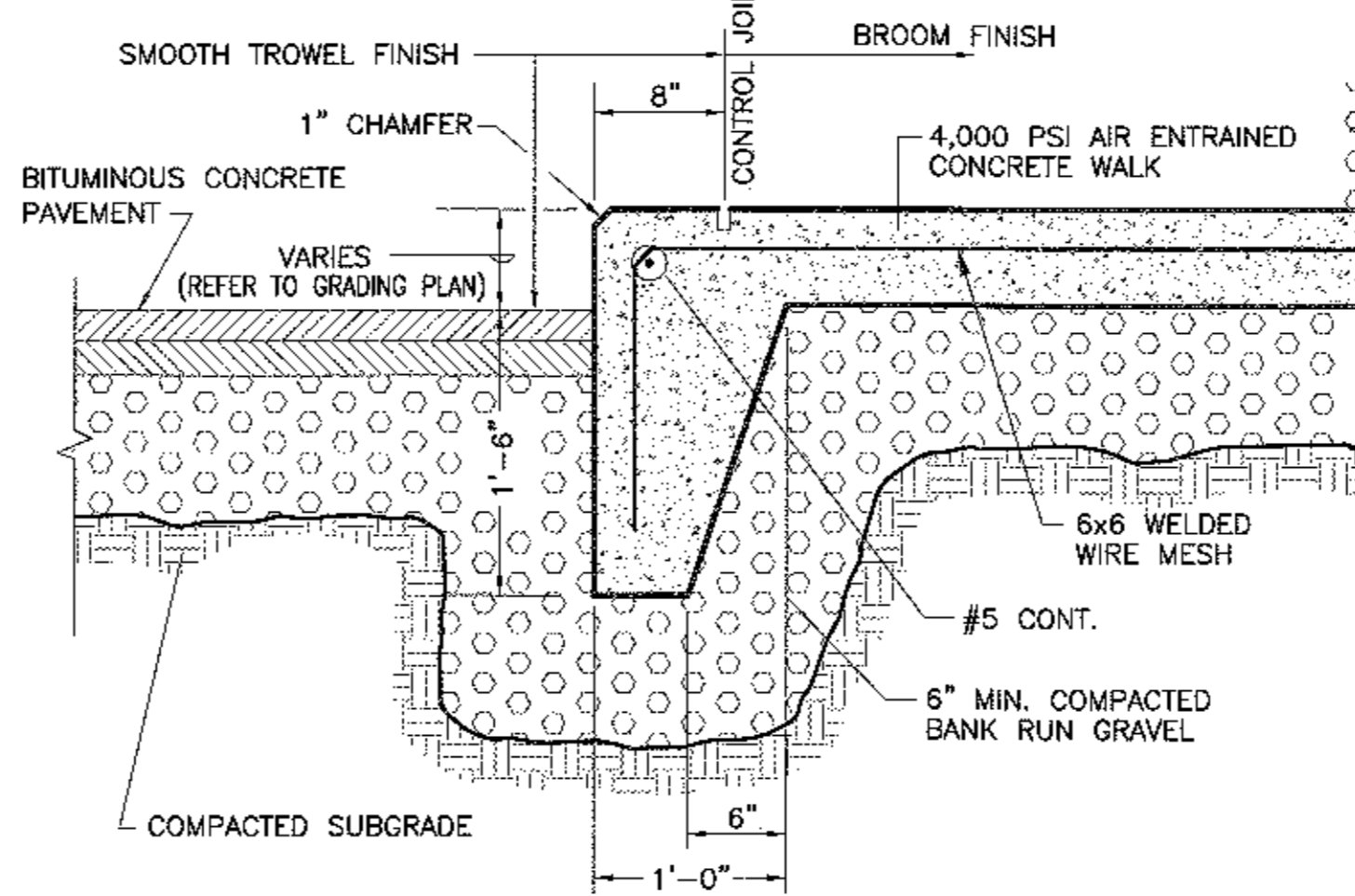
1. CONTRACTOR SHALL NOTIFY DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. THESE PLANS ARE BASED ON FIELD AND RECORD INFORMATION AND, THEREFORE, MAY NOT COMPLETELY DEPICT ALL EXISTING UTILITIES.
3. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IMMEDIATELY IF FIELD CONDITIONS ARE FOUND TO DIFFER WITH THESE DRAWINGS.
4. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF THE ABUTTING AREA AND UTILITIES IN THE CONSTRUCTION OF THIS SITE. REPAIR OF DAMAGED PROPERTY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO COST TO THE OWNER.
5. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL CONSTRUCTION.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF PUBLIC INFRASTRUCTURE CONSTRUCTION SPECIFICATIONS, LATEST REVISION.
7. ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF NEW BEDFORD DPI STANDARDS.
8. DEVELOPER SHALL INSPECT EXISTING WATER AND SEWER SERVICES PRIOR TO USE.
9. THE PROPOSED CONCRETE SIDEWALK AND DRIVEWAY APRONS MUST MEET CURRENT A.D.A. AND CITY STANDARDS. THE PROPOSED DRIVEWAYS SHALL BE 6" CEMENT CONCRETE WITH 6"x6" GAUGE WIRE MESH.
10. ALL DRIVEWAY PERMITS ARE SUBJECT TO TRAFFIC COMMISSION APPROVAL. THE CONTRACTOR SHALL NOTIFY THE ENGINEERING DIVISION 24 HOURS IN ADVANCE TO ENSURE THE PROPOSED SIDEWALK AND DRIVEWAY APRONS AND WHEELCHAIR RAMP WILL MEET THE CURRENT A.D.A. AND CITY OF NEW BEDFORD STANDARDS.
11. PERMITS FOR DRAINAGE, WATER, SIDEWALKS AND DRIVEWAYS MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC INFRASTRUCTURE (DPI) ENGINEERING DIVISION BY OWNER.
12. ALL UTILITY WORK TO BE CONDUCTED PER DPI SPECIFICATION.
13. THE DEVELOPER AND SITE CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE DEPARTMENT OF PUBLIC INFRASTRUCTURE PRIOR TO START OF CONSTRUCTION.
14. UPON COMPLETION OF THE PROJECT, THE ENGINEER MUST SUBMIT AS-BUILT DRAWINGS IN CADD FORMAT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
15. CONTRACTOR SHALL CUT AND CAP UNUSED SEWER AND WATER SERVICES IN ACCORDANCE WITH NEW BEDFORD REGULATIONS.
16. THE OWNER MUST SUBMIT A MAINTENANCE AGREEMENT FOR THE GREASE TRAP TO THE DPI.



TYPICAL STORM DRAIN TRENCH SECTION
NOT TO SCALE

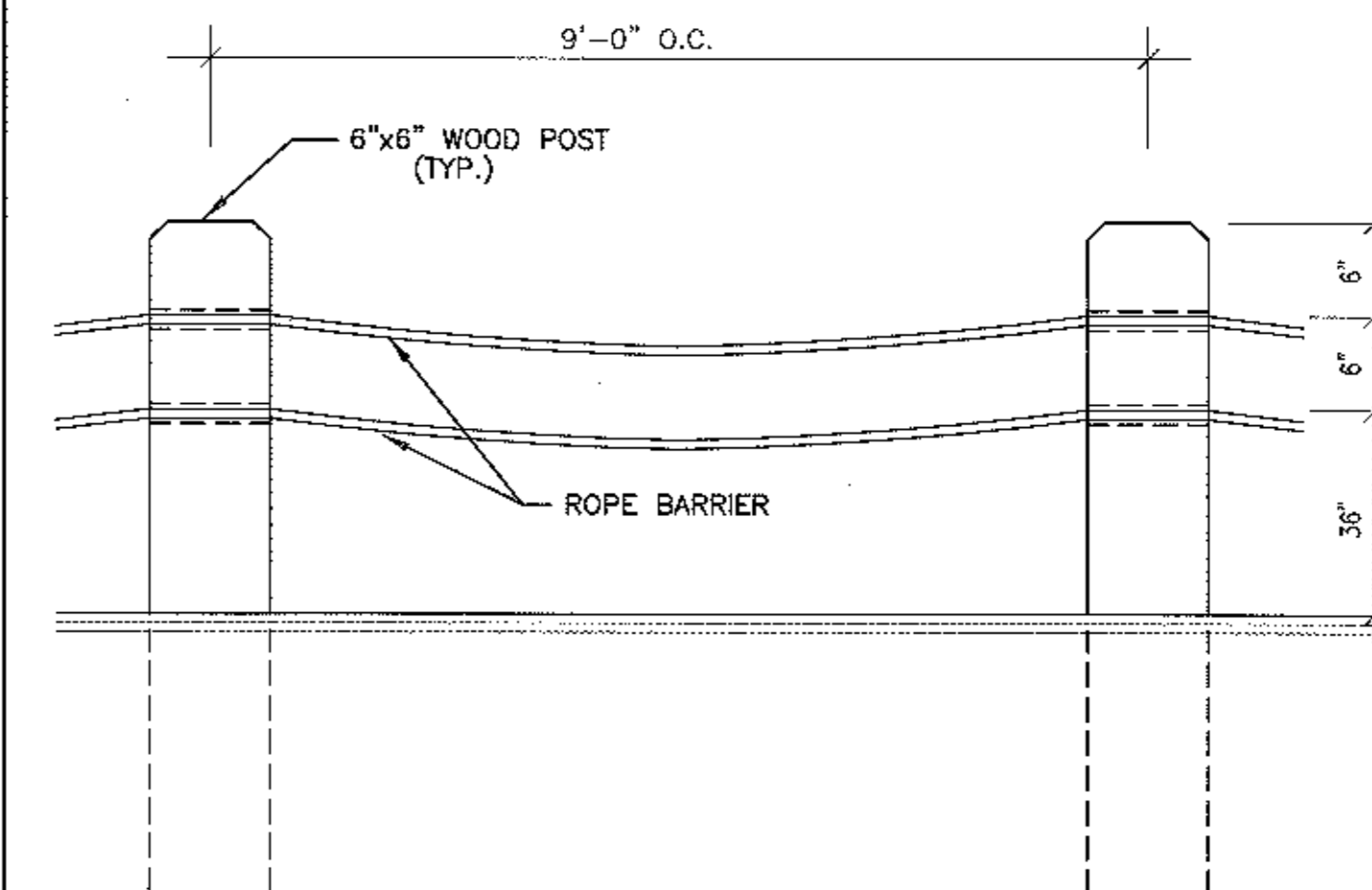


PRECAST CONCRETE CURB
NOT TO SCALE

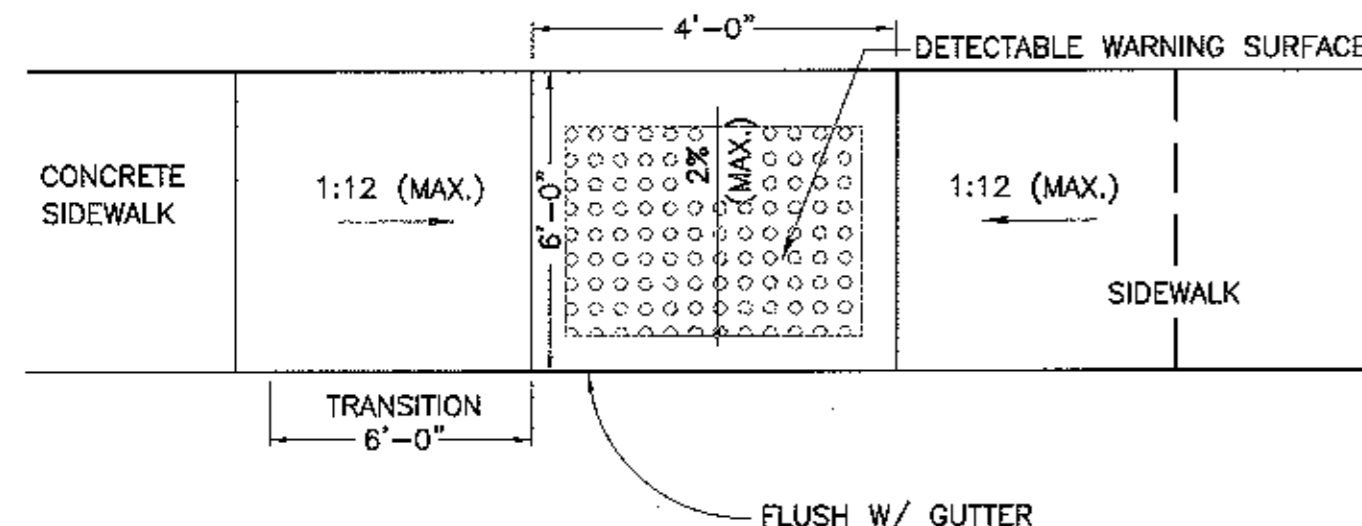


NOTE: PROVIDE CONTROL JOINT & EXPANSION AS REQUIRED FOR CONCRETE WALK.

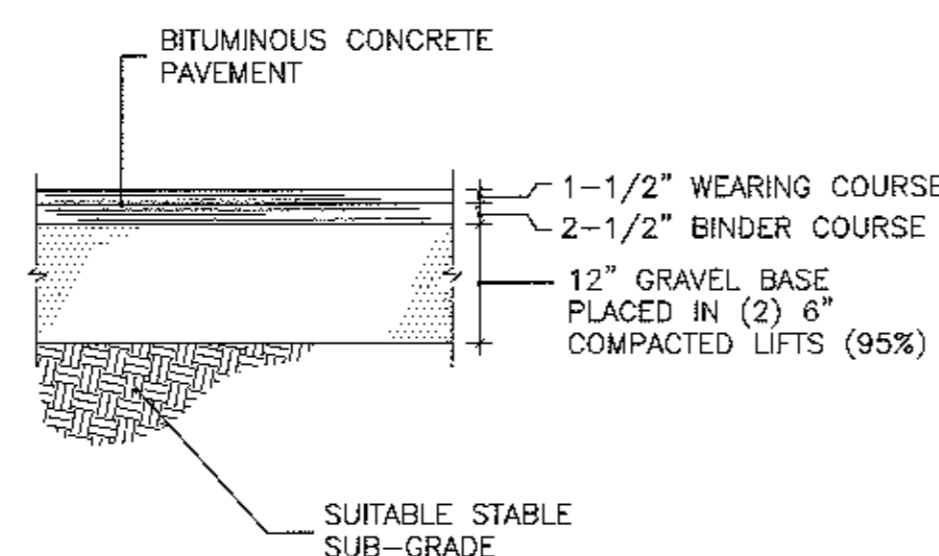
TYPICAL CONCRETE WALK-CURB DETAIL
NOT TO SCALE



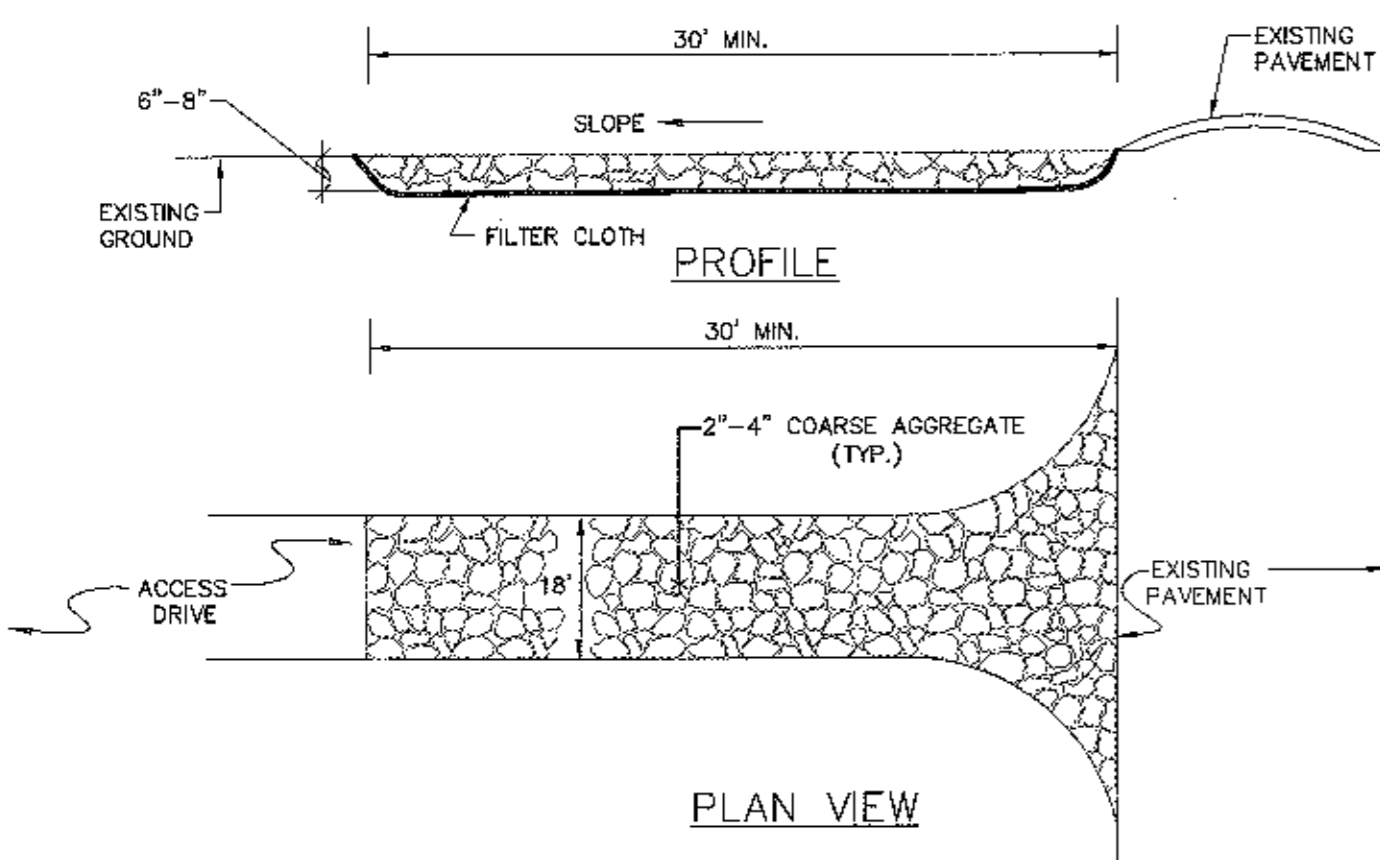
POST & ROPE BARRIER
NOT TO SCALE



HANDICAP RAMP DETAIL
(NOT TO SCALE)

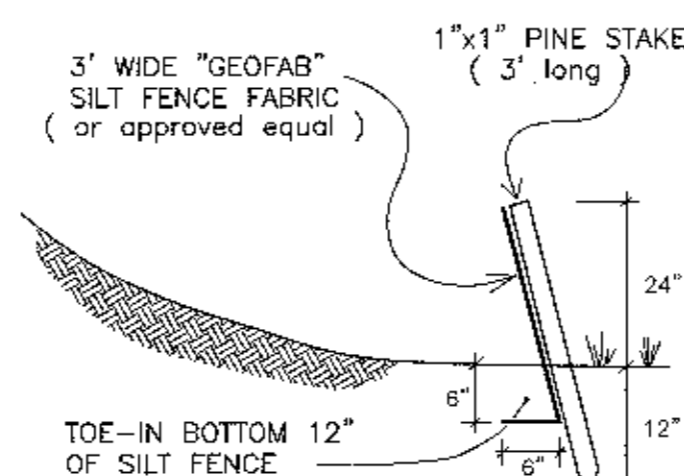


PAVING SECTION
NOT TO SCALE



THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. INSTALL TOP DRESSING WITH ADDITIONAL STONE AS NECESSARY. TRAPPED SEDIMENT WILL BE CLEANED OUT AS NEEDED. ALL SEDIMENT SPILLED, WASHED OR TRACKED ONTO THE PUBLIC RIGHT-OF-WAY WILL BE REMOVED PROMPTLY.

TEMPORARY CONSTRUCTION ENTRANCE/EXIT
N.T.S.



SILT / EROSION CONTROL FENCING
NOT TO SCALE

project: CISCO NEW BEDFORD 1480 EAST RODNEY FRENCH BLVD. NEW BEDFORD, MA 02744	client: SERVEDWELL NEW BEDFORD, LLC drawing title: DETAIL SHEET #1
date: AS NOTED date: MARCH 15, 2019 drawn: NAD checked: SDG approved: SDG sheet: 10 of 11 drawing number: DET-1	SITEC, Inc. 449 Fausch Corner Road Dartmouth, MA 02747 (508) 598-5725 FAX: (508) 598-7554 WWW.SITEC-ENGINEERING.COM
Acad No. NB 18-7146 DETAIL SHEET 1.DWG	File No. 19-7146

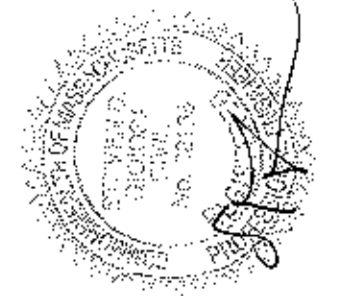
- 1. Waste Disposal**
All waste materials will be collected and stored in a securely lidded metal dumpster from a licensed contractor. The dumpster will be emptied a minimum of once per week or as necessary. No construction waste is to be buried on site. All personnel will be instructed regarding the correct procedure for waste disposal. The individual, who manages the day-to-day site operations, will be responsible for seeing these procedures are followed.
- 2. Hazardous Waste**
All hazardous waste materials will be disposed of in a manner specified by Local, State, Federal regulation and in accordance with any manufacturer's recommendations.
- 3. Sanitary Waste**
All sanitary waste will be collected in portable units installed on site. The portable units will be cleaned and emptied by a qualified licensed contractor.
- 4. Concrete Waste**
All concrete washings will be disposed of in a designated area away from wetlands and any property line. When the concrete hardens it will be removed from the site.
- 5. Good Housekeeping Practices**
 - Store only enough products on site to do the job.
 - All materials stored outside will be stored in a neat, orderly manner in the original containers.
 - Products will be kept in their original container with the original manufacturer's label.
 - The site contractor will inspect daily to ensure proper use and disposal of materials onsite.
- 6. Product Specific Practices**
 - Petroleum Products:**
 - Refueling vehicles will be DOT Certified and have SPCC Plans in place and contain emergency equipment to contain and clean up small spills.
 - All on site construction vehicles will be inspected for leaks and receive regular preventative maintenance to reduce the chance of leakage.
 - Petroleum products will be stored in tightly sealed containers, which are properly marked.
 - Fertilizers:**
 - All fertilizers will be stored in a dry protected area and only used according to manufacturer's recommendation.
 - Concrete Trucks:**
 - The site contractor is responsible for designating a safe area, away from abutting property and resource areas, for excess concrete disposal.
- 7. Spill Control Practices**
In addition to the good housekeeping and material management practices discussed in the previous sections of this plan, the following practices will be followed for Spill Prevention and clean up during construction:
 - Manufacturer's recommended methods for spill clean up will be clearly posted and site personnel will be made aware of the procedures and the location of the information and cleanup supplies.
 - All spills will be cleaned up immediately after discovery.
 - If any threat of explosion or life threatening condition, all personnel will be evacuated from the area to a safe location and the site supervisor shall contact the local fire department for assistance.
 - The spill area will be ventilated and personnel will wear appropriate protective clothing to prevent injury from contact with a hazardous substance.
 - The site contractor responsible for day-to-day operations will be the spill prevention and clean up coordinator. He will designate at least three other site personnel who will receive spill prevention and cleanup training. These individuals will each become responsible for a particular phase of prevention and cleanup.

**OPERATION & MAINTENANCE PLAN
STORMWATER MANAGEMENT SYSTEM**

- 1. Stormwater Management Owner:**
SERVEDWELL NEW BEDFORD, LLC
307 SMITH NECK ROAD
DARTMOUTH, MA 02748
- 2. Responsible Parties:**
During the construction period, the Owner's contractor will be responsible for the Operation/Maintenance of the system. When the construction is accepted, the responsibility for the maintenance will shift to the System Owner.
- 3. Schedule for Inspection/Maintenance:**
 - The Stormwater Management System shall be inspected annually and cleared of debris, sediment and vegetation when they affect the functioning and/or design capacity of the system. The inspection should be made during wet weather conditions.
 - Where lack of maintenance is causing or contributing to a water quality problem, immediate action shall be taken by the Owner to correct the problem.
 - Stormceptor Units shall be inspected twice per year and cleaned as needed. Units shall be maintained in accordance with the manufacturer's recommendations.
 - All actions required to maintain the stormwater management system for the purpose it was designed and constructed must be performed within 30 days following the maintenance inspection.
 - During construction, the contractor shall inspect all erosion control barriers and drainage structures after every rainfall event. The erosion control barriers shall be repaired as needed and accumulated silt and debris shall not be allowed to wash into the adjacent resource area. After all construction is completed, the project area shall be cleared of any sediment or debris.
- 4. Access**
Access to the stormwater system will be available from the upland portion of the site.
- 5. Public Safety**
The Contractor will comply with all OSHA regulations during construction. Competent and trained personnel will accomplish the cleaning of the drainage swales.
- 6. Illicit Discharge Compliance**
The project, as designed, does not include any illicit discharges to the stormwater management system or the environment in general. There will be no hazardous materials stored in the project area and there are no wastewater discharge streams associated with this project.
- 7. Funding for O/M**
The cost of maintenance shall be the responsibility of the owner. The projected annual inspection / maintenance cost is approximately \$1,000.

**EROSION & SEDIMENTATION CONTROL
PROGRAM**

- All Sediment and Erosion Control measures shall be executed in accordance with the following requirements and the NPDES Stormwater Pollution Prevention Plan. (SWPPP).
- Those areas undergoing actual construction will be left in an untreated or unvegetated condition for a minimum time. Areas shall be permanently stabilized within 15 days of final grading and temporarily stabilized within 30 days of initial disturbance if the disturbance is within 100 feet of a wetland resource area.
- Sediment barriers (Silt Fence) shall be installed prior to any soil disturbance of the upgradient contributing drainage area. Mulch netting shall be used to anchor mulch in all areas with slopes greater than 8.0% after October 1st if permanent stabilization has not occurred. Silt fencing shall be anchored to supplemental steel posts set 8 feet on center.
- Construction to commence in a phased manner as appropriate.
- All control measures will be inspected at least once each week and following any storm event of 0.5 inches of precipitation or greater.
- All measures will be maintained in good working order; if repair is necessary, it will be initiated within 24 hours of report.
- Built up sediment will be removed from the erosion control silt fence when it has reached one-third the height of the fence or bale.
- Silt fence will be inspected for depth of sediment, tears and to see if fabric is securely attached to the fence posts, and the posts are firmly in the ground.
- Any temporary sediment basin used will be inspected for depth of sediment. Any build up of sediment will be removed when it reaches 10% of the design capacity or at the completion of the project.
- Temporary and permanent seeding and planting will be inspected for bare spots, washouts and healthy growth. Reseed as necessary.
- No slopes, either permanent or temporary, shall be steeper than two to one (2 to 1) unless noted otherwise. All final vegetated slopes shall be 3:1 or less.
- If final seeding of the disturbed areas is not completed 45 days prior to the first killing frost, use temporary mulch or dormant seeding to protect the site and delay seeding until the next recommended seeding period.
- Temporary seeding of disturbed areas that have not been final graded shall be completed 45 days prior to the first killing frost to protect from spring runoff problems.
- Revegetation measures will commence upon completion of construction except as noted above. All disturbed areas not otherwise stabilized will be graded, smoothed, and prepared for final seeding as follows:
 - The topsoil shall have sandy loam texture relatively free of subsoil material, stones, roots, lumps of soil, tree limbs, trash or construction debris, and shall be placed to a minimum depth of four (4) inches on all loam and seed areas or as specified on the drawings.
 - Apply fertilizer at a rate of 650 lb per acre or 14.9 lb per 1,000 SF. Apply ground limestone (equivalent to 50% calcium plus magnesium oxide) at manufacturer's recommended rate.
 - The design mix for seeding shall be in accordance with Landscape Plan Design. The seed mix shall be inoculated twenty-four (24) hours before mixing and planting, with appropriate inoculum for each variety.
- All temporary erosion control measures shall be removed once the site is stabilized to the satisfaction of the Project Engineer and the Conservation Commission.
- The contractor must repair or reseed any areas that do not develop within the period of one year and shall do so at no additional expense to the owner.
- The normal acceptable seasonal seeding dates are April 1st through June 15th and August 15th through September 30th.
- Stockpiles of topsoil shall not be located near the wetlands. They shall have side slopes no greater than 1:1. An erosion control barrier shall be set on the down gradient edge of all stockpile areas.
- A maintenance and inspection report will be made after each inspection. A copy of the report form completed by the inspector shall be kept on site.
- Construction site supervisor will be responsible for training workers in all inspection and maintenance practices necessary for keeping erosion and sediment controls in good working order.



No.	Date	Revision Description	Chkd. by	Appd. By

Scale: AS NOTED
DATE: MARCH 15, 2019
DRAWN: NAD
CHECKED: SDG
APPROVED: SDG
SHEET NUMBER: 11 of 11
DRAWING NUMBER: DET-2

PROJECT: CISCO NEW BEDFORD
1480 EAST RODNEY FRENCH BLVD.
NEW BEDFORD, MA 02744
CLIENT: SERVEDWELL NEW BEDFORD, LLC
DRAWING NO: DET #1

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SITEC
Civil, Land, Environmental Engineering
Land Use Planning

CISCO BREWERY

NEW BEDFORD
1494 E. RODNEY FRENCH BLVD.
NEW BEDFORD, MA 02744

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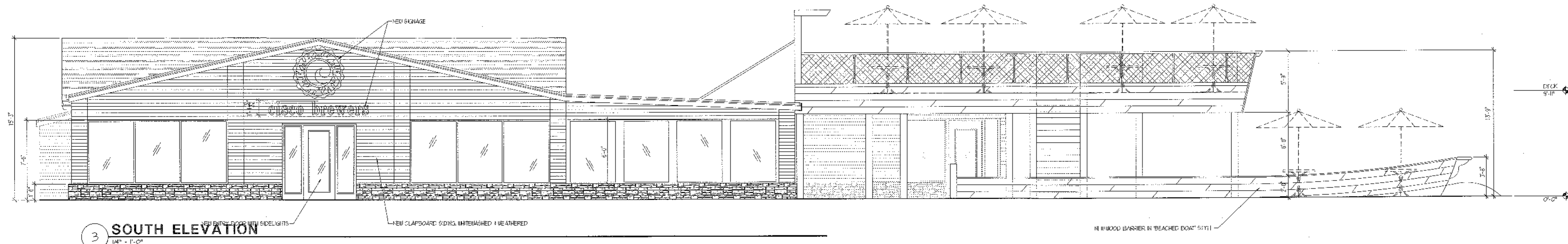
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No.	Date	Remarks
REVISIONS		

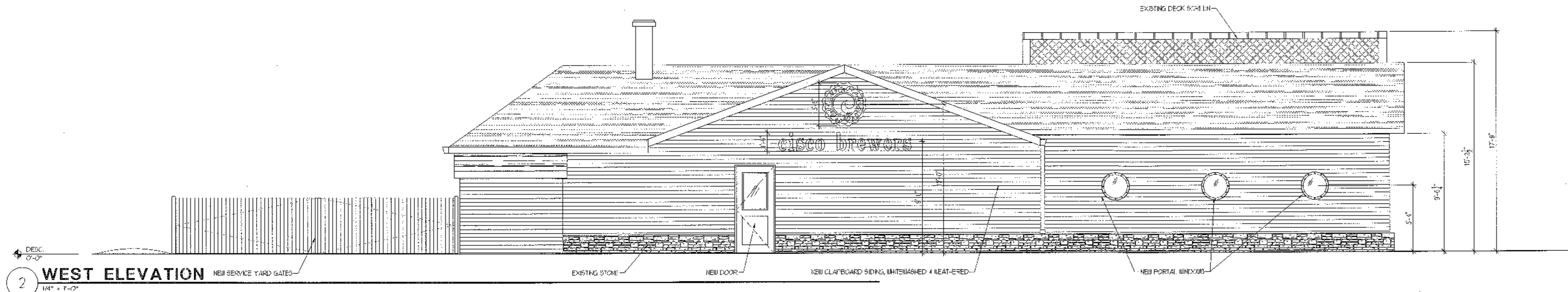
Drawing Title
BUILDING ELEVATIONS

Job No. 18416-1	Drawn AO
Scale 1/4" = 1'-0"	Date 01/08/19

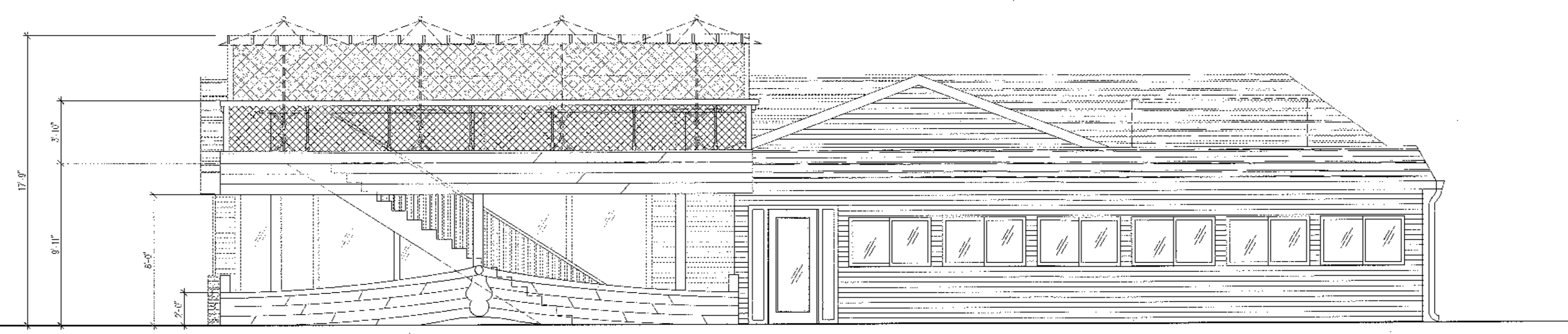
Sheet No.
A8.2



3 SOUTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"



1 EAST ELEVATION
1/4" = 1'-0"

FIELD VERIFICATION
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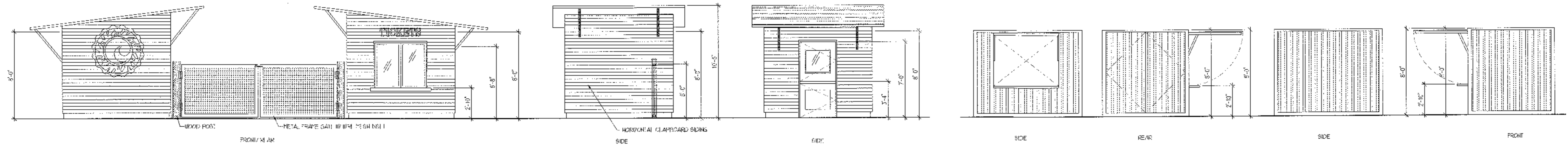
REVISIONS

Drawing Title
OUTBUILDING ELEVATIONS

Job No. Drawn
AO

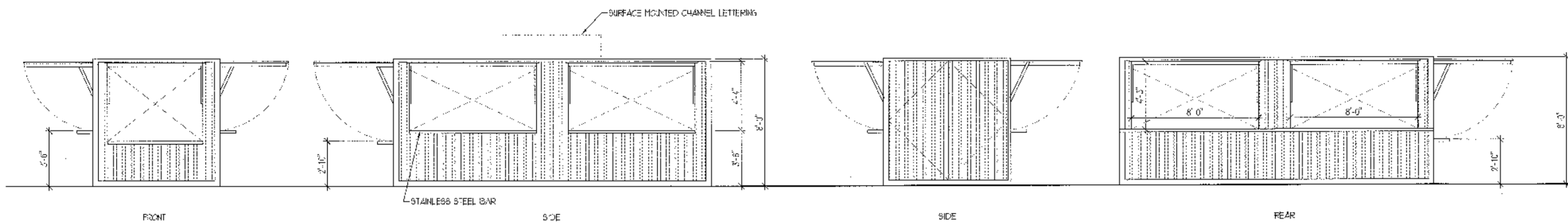
Scale Date
1/4" = 1'-0"

Sheet No.
A8.1

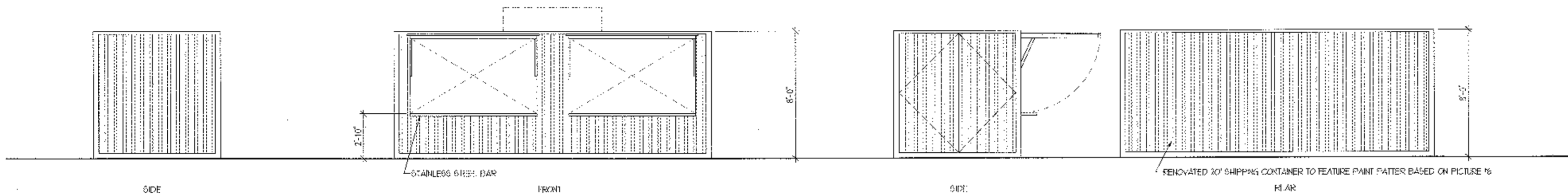


1 **MERCHANDISE & TICKET STAND**
1/4" = 1'-0"

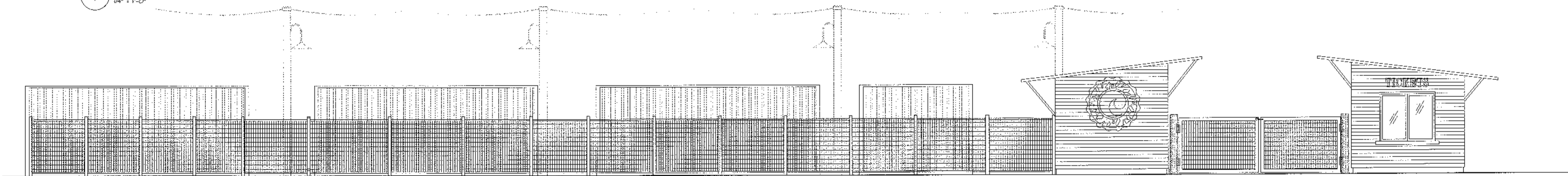
1 **PIZZA & TACO SHACK (LOBSTER SHACK SAME)**
1/4" = 1'-0"



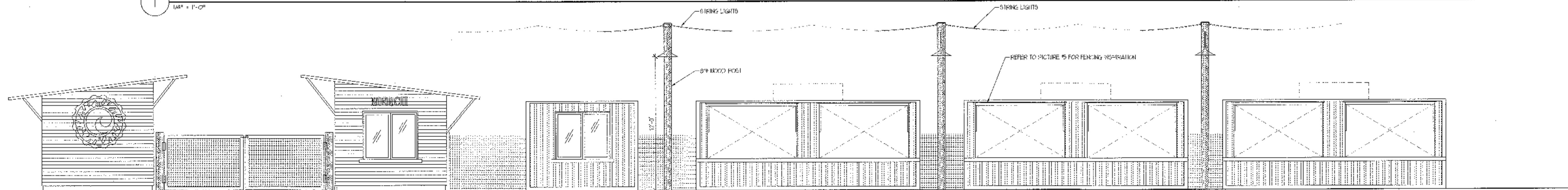
1 **DOCKSIDE BAR**
1/4" = 1'-0"



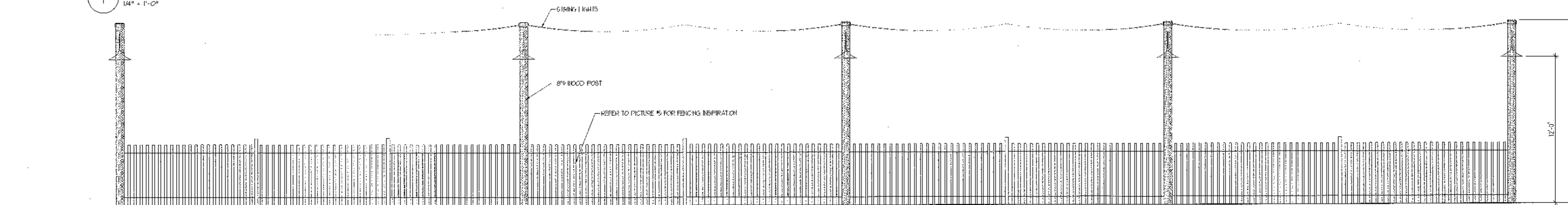
1 **BEVERAGE CONTAINER**
1/4" = 1'-0"



1 **VIEW FROM PARKING LOT**
1/4" = 1'-0"



1 **VIEW FROM TURF TO PARKING**
1/4" = 1'-0"



1 **VIEW FROM TURF TO WATER**
1/4" = 1'-0"

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