PLANNING BOARD

CITY OF NEW BEDFORD
JONATHAN F. MITCHELL, MAYOR

SUBMIT TO:
Planning Department
133 William Street
Room 303
New Bedford, MA 0274

SITE PLAN REVIEW APPLICATION

The undersigned, being the Applicant, seeks Site Plan Approval for property depicted on a plan entitled: "Site Development Plans for Existing McDonald's with Drive-thru" by: Bohler Engineering dated: 2/19/19

1. Application Information

Street Address: 159 Hathaway Road

Assessor's Map(s): 101 Lot(s) 14

Registry of Deeds Book: 04671 Page: 186

Zoning District: Industrial B (IB) & Mixed-Use Business (MUB)

Applicant's Name (printed): Bohler Engineering

Mailing Address: 352 Turnpike Road (Street) Southborough (City) MA (State) 01772 (Zip)

Contact Information: (617) 849-8040 (Telephone Number) dfox@bohlereng.com (Email Address)

Applicant's Relationship to Property: ☐ Owner ☑ Contract Vendee ☐ Other _____

List all submitted materials (include document titles & volume numbers where applicable) below:

Sixteen (16) copies of the Completed Application Form;
Sixteen (16) copies of the Completed Site Plan Review Application Checklist;
Four (4) full-sized sets and twelve (12) reduced sized sets of Site Development Plans & Existing Conditions Plan;
Four (4) full-sized sets and twelve (12) reduced sized sets of Architectural Plans;
Sixteen (16) copies of the Project Narrative;
Four (4) copies of Notarized Proof of Ownership and associated documents;
Sixteen (16) copies of the Certified Abutter's List;
Sixteen (16) copies of Lighting Specification sheets;
Sixteen (16) copies of Sign Details;
Sixteen (16) copies of Rejection Packet;
One (1) CD with electronic PDF and AutoCAD files;
One (1) check for $600.00 made payable to City of New Bedford for Planning Board application fees.

By signing below, I/we acknowledge that all information presented herein is true to the best of my/our knowledge. I/we further understand that any false information intentionally provided or omitted is grounds for the revocation of the approval (s). I/we also give Planning Department staff and Planning Board Members the right to access the premises (both interior and exterior) at reasonable times and upon reasonable notice for the purpose of taking photographs and conducting other visual inspections.

7/9/2019
Date

Signature of Applicant

2. **Review Applicability** (Check All That Apply to Your Proposal)

Category

- [ ] Residential
- [x] Commercial
- [ ] Industrial
- [ ] Mixed (Check all categories that apply)

Construction

- [ ] New Construction
- [ ] Expansion of Existing
- [ ] Conversion
- [x] Rehabilitation

Scale

- [x] < 2,000 gross sq feet
- [ ] > 2,000 gross sq feet
- [ ] 3 or more new residential units
- [ ] 1 or more new units in existing res. multi-unit
- [x] Drive Thru Proposed
- [x] Ground Sign Proposed
- [ ] Residential Driveway With > 1 curbcut

3. Zoning Classifications

Present Use of Premises: Fast food restaurant with drive-thru

Proposed Use of Premises: Fast food restaurant with drive-thru

Zoning Relief Previously Granted (Variances, Special Permits, with Dates Granted):

4. Briefly Describe the Proposed Project:

The proposed changes to the existing McDonald's fast food restaurant include upgrades to drive-thru features, a proposed cash booth building addition, minor site improvements to ensure AAB & MAAB accessibility compliance and exterior/interior building remodel associated with McDonald's re-branding.

5. Please complete the following:

	Existing	Allowed/Required	Proposed
Lot Area (sq ft)	27,000 (per lease area)	0	No change
Lot Width (ft)	150 (per lease area)	N/S	No change
Number of Dwelling Units	N/A	N/A	N/A
Total Gross Floor Area (sq ft)	4,775±	N/S	4,800±
Residential Gross Floor Area (sq ft)	N/A	N/A	N/A
Non-Residential Gross Floor Area (sq ft)	4,775±	N/S	4,800±
Building Height (ft)	1 story (<100 FT.)	100 FT. (7 stories)	19.33 FT. (1 story)
Front Setback (ft)	13.0 (corner lot)	25.0	13.6 (corner lot)
Side Setback (ft)	13.0 (corner lot)	25.0	13.6 (corner lot)
Side Setback (ft)	13.0 (corner lot)	25.0	13.6 (corner lot)

Rear Setback (ft)	94.0	25.0	92.1
Lot Coverage by Buildings (% of Lot Area)	17.7% (per lease area)	50%	18.5% (per lease area)
Permeable Open Space (% of Lot Area)	21.9% (per lease area)	20%	20.6% (per lease area)
Green Space (% of Lot Area)	21.9% (per lease area)	20%	20.6% (per lease area)
Off-Street Parking Spaces	32 (within lease area)	60	No change
Long-Term Bicycle Parking Spaces	0	N/S	0
Short-Term Bicycle Parking Spaces	0	N/S	0
Loading Bays	0	N/S	0

6. Please complete the following:

	Existing	Proposed
a) Number of customers per day:	770	No Change
b) Number of employees:	45	No Change
c) Hours of operation:	5AM-12AM	No Change
d) Days of operation:	7 days a week	No Change
e) Hours of deliveries:	5am-3pm	No Change

f) Frequency of deliveries: ☐ Daily ☑ Weekly ☐ Monthly ☑ Other: 2x a week

7. Planning Board Special Permits:

☐ The applicant is also requesting a Special Permit from the Planning Board.

Specify the requested Special Permit(s) below, and set forth within attached Development Impact Statement how the request meets approval criteria listed in §5320 of the zoning code.

_____

_____

_____

8. ZBA Variances and Special Permits:

NOTICE: Checking below does not constitute application for a special permit or a variance. The applicant must also file the proper application form and fee with the Zoning Board of Appeals.

☐ The applicant is also requesting a special permit from the ZBA:

Specify zoning code section & title

_____ _____

_____ _____

☑ The applicant is also requesting a variance from the ZBA:

Specify zoning code section & title

3220 Prohibited Signs

_____ _____

9. OWNERSHIP VERIFICATION

This section is to be completed & signed by the property owner:

I hereby authorize the following Applicant: Bohler Engineering

at the following address: 352 Turnpike Road Southborough, MA 01772

to apply for: Site Plan Review Approval

on premises located at: 159 Hathaway Road, New Bedford, MA

in current ownership since: 05/01/00

whose address is: 110 N Carpenter Street, Chicago, IL 60607

for which the record title stands in the name of: S.B. Realty Co.

whose address is: 92 Killburn Street, New Bedford, MA 02740

by a deed duly recorded in the:

Registry of Deeds of County: Bristol Book: 4671 Page: 186

OR Registry District of the Land Court, Certificate No.: _____ Book: _____ Page: _____

I/we acknowledge that all information presented herein is true to the best of my/our knowledge. I/we further understand that any false information intentionally provided or omitted is grounds for the revocation of the approval(s). I/we also give Planning Department staff and Planning Board Members the right to access the premises (both interior and exterior) at reasonable times and upon reasonable notice for the purpose of taking photographs and conducting other visual inspections.

7/9/2019

Date

Signature of Land Owner (If authorized Trustee, Officer or Agent, so identify)

Site Plan Review Application Checklist

In order for the City of New Bedford Planning Board to accurately review your project in a timely manner, plan sets submitted with applications must be complete and thorough. A comprehensive understanding of this handout and submittal of all required documents and plans ensures an efficient review of your project.

Unless otherwise noted or determined by Planning Division Staff to not be required, the following information and drawings must be included in the submittal package for your application. For an application to be accepted, each and every item is required at the time of application submittal.

In certain instances, plans, or portions of plans, may be waived when not applicable for the review of a particular type of development, at the discretion of the City Planner. Requests for any such waiver(s) must be submitted, in writing, to Planning Division for consideration prior to application submittal.

All submitted materials must be legible, organized & bound (where appropriate) in a manner that allows for distribution of all proposal materials as 1 package. Please utilize double-sided printing for submitted reports, studies and statements when possible.

Initials Indicate Item Submitted.

For subparts of the required plans, please mark as follows:

X = Shown on Plans **W = Waiver Requested** **NA = Not Applicable**

Staff	Applicant	
____	X	**1. Completed Application Form** (with all required signatures; 16 Copies)
____	X	**2. Completed Site Plan Review Application Checklist** (1 original & 15 copies)
____	X	**3. Plans**

- [x] Four (4) stapled and folded sets of full-sized plans (24" x 36") and Twelve (12) sets of reduced plans (11" x 17") are required for all applications. Staff reserves the right to require additional copies.
- [x] One (1) electronic copy (PDF & CAD) of all proposed activity plans (See Section 10 of Checklist for Requirements)
- [x] All plans oriented so that north arrow points to top of sheet
- [x] Plans shall be drawn at a minimum scale of 1"= 40' or less
- [x] All plans shall be stamped by Commonwealth of Massachusetts-registered Professional Engineer, Professional Land Surveyor, and/or Professional Landscape Architect, as appropriate
- [x] Plan sets shall be comprised of separate sheets as listed below unless otherwise approved by the City Planner
- [x] All plans shall have a title block comprised of the following: Project Title, Sheet Title, Sheet Number; Registrant Stamp (i.e. PE, PLS, LA); Registrant's name and address; Street addresses of the project area parcels; Scale at which the plan is drawn; Plan Issue Date; and all plan revision dates (with corresponding revision descriptions).

Staff	Applicant
____	X

3a. Cover Sheet, to include the following information:

- [x] **Title Block**
  - [x] Project name/title
  - [x] Assessor's map and parcel number(s)
  - [x] Registry Book and Page
  - [x] Name and address of property owner
  - [x] Name and address of Engineer / Architect / Landscape Architect
  - [x] Name and address of developer
  - [x] Revision Date Block
  - [x] Street Number and/or Lot Number
- [x] **Zoning Requirements Table (Indicate Required vs. Provided)**
  - [x] Zoning District
  - [x] Lot Area
  - [x] Lot Frontage
  - [x] Front, Side & Rear Setbacks of Buildings and Parking Areas
  - [x] Building Height
  - [x] Lot Coverage
  - [x] Green Space
  - [x] Off-Street Parking Spaces
  - [N/A] Compact Parking Spaces
  - [x] Accessible Parking Spaces
  - [x] Van Accessible Parking Spaces
  - [N/A] Screening Buffers
  - [N/A] Percentage of Lot that is Upland
  - [N/A] Total Square Footage of Upland
- [x] **Locus Map** (At a scale of 1 inch = 100 feet, showing the entire project and its relation to existing areas, buildings and roads within a distance of 1,000 feet from the project boundaries or such other distances as may be approved or required by the Planning Board.)
- [x] **Plan Index** with latest revision date of each individual plan

Staff	Applicant
____	X

3b. Existing Conditions Plan

- [x] Name of Surveyor or Surveyor Firm
- [x] Date of survey
- [x] Property lines with bearings and distances
- [x] Monuments set/found at all lot corners
- [x] Easements with bearings and distances suitable for registry filing
- [x] Names of all abutters
- [x] Street names
- [x] Benchmark locations (Based on USGS NGVD – show year)
- [x] NHESP mapped areas (Areas of Estimated and Priority Habitats)
- [x] Existing 21E Contaminated Site Information
- [x] Existing Buildings and Structures
  - [x] Area of building
  - [x] Number of stories
  - [x] Principal use
  - [x] Setbacks from property lines
  - [x] Floor elevations
  - [x] Door locations with sill elevations

Staff	Applicant

- [x] Existing Topography:
  - [x] Contours at 2' intervals (1' contours or additional spot grades if site is flat)
  - [x] Overhead and underground utilities including but not limited to water, sewer, drainage, electric, telephone, cable TV, gas, septic systems, detention structures, wells
  - [x] Existing parking/paved areas including pavement type (parking, walkways, etc.)
  - [x] All Existing Curbcuts
  - [x] Listing of all existing utility owners and contact info located within the project limits
  - [x] Adequate utility information outside the site to verify proposed utility connections
  - [x] All utility pipe types, sizes, lengths, and slopes
  - [x] All utility structure information including rim and invert elevations
  - [x] All existing easements within 50 feet of property line-Identify any utility within the easement
  - [x] All existing utility easements with bearings and distances
  - [x] Existing pavement markings within site and on connecting roads
  - [x] Existing features such as walls, curbing, landscaping, trees, walks, fences, trees over 12" caliper, lighting, poles, guys, signs, loading areas, fire hydrants, dumpster locations, known buried slabs, etc…
  - [x] Wetlands, floodplain, water protection district delineation including offsets and buffer zones
  - [x] Streams, water courses, swales and all flood hazard areas
  - [x] Rock Outcroppings
  - [x] Test pit locations including groundwater depths when encountered
  - [x] Historic buildings within 250 feet of the subject property

____ X ____ **3c. Demolition Plan**

- [x] **Existing Conditions Plan plus:**
- [x] Existing Buildings and Structures to be removed/demolished
- [x] Existing parking/paved areas to be removed/demolished
- [x] Existing utilities to be removed/demolished
- [x] Existing hydrants to be removed
- [x] Existing features to be removed/ demolished such as walls, curbing, landscaping trees, walks, fences, trees over 6" caliper, lighting, poles, guys, signs, etc.
- [x] Dust Control Measures
- [x] Proposed construction phase drainage infrastructure plan including (but not limited to) piping and natural watercourse profiles & cross-sections, retention/detention structures, drain manholes, catch basins, gutter inlets, headwalls, water quality BMPs, and erosion & sedimentation control features, etc.

____ X ____ **3d. Construction/Layout Plan**

- [x] Proposed Buildings and Structures

Staff	Applicant

- [x] Area of building or additions
- [x] Number of stories
- [x] Principal use
- [x] Floor elevations
- [x] Door locations with sill elevations
- [x] Setback dimensions from property lines
- [x] Out-buildings, detached garages, temp. construction trailers, etc.

- [x] Proposed Topography, including but not limited to:
  - [x] Proposed contours at 2'intervals
  - [x] Parking lot setbacks to property line
  - [x] Parking lot grades (not to exceed 5% or be less than 0.5%)
  - [x] Walls
  - [x] Parking spaces (delineated and dimensioned)
  - [x] Accessible parking spaces & aisles
  - [x] Wheelchair ramps
  - [x] Sidewalks
  - [x] Pavement type(s)
  - [x] Curb type(s) and limits
  - [x] Lighting / Poles / Guys
  - [x] Signs (include sign schedule)
  - [x] Pavement markings
  - [x] Loading areas / Loading Docks / Platforms
  - [x] Fences
  - [x] Landscape areas
  - [x] Dumpster(s), Compactor(s) & Pads
  - [x] Spot Grades at 4 Building Corners
  - [x] Overall Plan Showing Areas of Cut & Fill
- [x] Critical dimensions including aisle widths, parking stall dimensions, curb radius, driveway openings, etc.
- [x] Grading at entrance-show spot grades if required
- [x] Emergency Vehicle Access
- [x] Truck Access (WB-50 unless otherwise approved by City Engineer)
- [x] Snow Storage Areas, with limits of any fence protection (if applicable)
- [x] Construction notes, including the following notes:
  - Any minor modifications (as determined by the City Engineer) to the information shown on the approved site plans shall be submitted to the City Engineer as a Minor Plan Revision for approval prior to the work being performed.
  - Any work and material within the City right-of-way shall conform to the City of New Bedford_requirements
  - All handicap parking, ramps, and access shall conform to AAB & MAAB requirements
  - All erosion control measures shall be in place prior to construction. Erosion Control shall conform to the City of New Bedford Conservation Commission requirements as stated in the Order of Conditions. (Refer to Erosion Control Plan if part of submission)
  - All pavement markings and signs shall conform to MUTCD requirements

X

2e. Grading and Drainage Plan

- [x] **Existing Conditions Plan and Construction/ Layout Plan plus:**
- [x] Existing and proposed site grading/ topography-Contours at 2' intervals (1'contours or additional spot grades if site is flat)

Staff	Applicant

- [x] Proposed parking lots, sidewalks, islands, etc.
  - Parking lot grades shall not exceed 5% or be less than 0.5 % Existing parking lot >5%
- [x] Floor elevations & door locations
- [x] Proposed drainage infrastructure plan including but not limited to piping and natural watercourse profiles & cross-sections, infiltration/ retention / detention structures, drain manholes, headwalls, roof recharge systems, flow direction, water quality BMPs, etc.
- [x] Adequate information off site to verify proposed drain connections
- [x] Drainage system profiles including rim and invert elevations, material, types, sizes, lengths, utility crossings and slopes
- [x] Utility easements with bearings and distances suitable for registry filing
- [x] Delineation of all stockpile areas
- [x] Provide safety fencing around stockpiles over 10' in height or otherwise restrict site access
- [x] For applications associated with residential or commercial/industrial subdivisions, include an overall development plan showing all construction activity and proposed grading for all project phases, and show the proposed building envelope within each house lot and the proposed grading, drainage, and storm water disposal for each lot.
- [x] A design for the stormwater drainage systems prepared by a Registered Professional Engineer demonstrating that proposed development rates of runoff do not exceed pre-development rates, as required under Massachusetts Stormwater Management Standards.

_____ X **3f. <u>Utility and Grading Plan</u>** (Show appropriate info from Existing Conditions & Construction/Layout Plan)

- [x] Include all proposed utilities, including, but not limited to, Water, Sewer, Drainage, Electric, Telephone, Cable TV, Gas, Lighting, Title V Septic Systems & Detention and Retention Structures
  - Adequate utility information outside the site to verify proposed utility connections
  - All utility pipe types, sizes, lengths, and slopes
  - All utility structure information including rim and invert elevations
  - Any utility access vaults
  - All utility access handholes
  - All water services, hydrants, gates, shutoffs, tees
  - Utilities shall be underground if possible
  - All transformer locations
  - Required utility easements with dimensional bearings and distances
- [x] Force main, if required, conforming to City of New Bedford requirements
- [x] Water main loop
- [x] Sewer profile showing all utility crossings
- [x] Sections through detention basin(s)
- [x] Include the following notes:
  - The contractor shall obtain a Street Disturbance & Obstruction Permit prior to any construction within the right-of-way
  - All water and sewer material and construction shall conform to the City of New Bedford requirements

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- All water and sewer construction shall be inspected by the City Of New Bedford before being backfilled
- The City shall be notified at least 24 hours prior to the required inspections

N/A Detention basin, retention basin or other stormwater mechanisms (such as infiltration devices), if proposed.

____ X **3g. Landscape Plan**

- [x] Location, species & size of all proposed plantings
- [x] All existing landscaping to be removed or retained
- [x] Plant and tree legend
- [x] Delineate & label all existing and proposed groundcovers, lawn areas, driveways, walkways, patios and other surface treatments
- [x] Snow storage areas
- [x] Proposed irrigation methods (on-site wells to be used unless otherwise approved)
- [x] Verify sight distances at entrances

____ X **3h. Erosion Control Plan** (show appropriate information from Existing Conditions and Construction/Layout Plans)

- [x] Straw bales or straw bale/silt fence combination and compost filter tubes
- [x] Anti-tracking BMP area at all construction entrances
- [x] Dust Control (Methods of)
- [x] Protection of existing and proposed drainage structures with straw bales and/or silt sacks
- [x] Delineation of all temporary stockpile areas
- [x] Safety fencing around stockpiles over 10' in height or otherwise restricted site access
- [x] Straw bales or straw bale/silt fence combination around all stockpiles
- [x] Include the following notes:
  - All BMP erosion control measures shall be in place prior to demolition or any site work.
  - Erosion Control BMPs shall conform to US EPA, NPDES, MA DEP and Massachusetts Erosion and Sedimentation Control Guidelines for Urban and Suburban Areas.
  - Maintenance specifications for all proposed erosion and sedimentation controls.

____ X **3i. Floor Plan**

- [x] Include complete floor plan of all floors (entire building), including existing & proposed work
- [x] Label all rooms (e.g., bedroom, kitchen, bathroom), and include dimensions of room sizes
- [x] Show the location of all existing and proposed doors, windows, and walls
- [x] For non-residential projects: show all existing and proposed seating areas, mechanical/kitchen equipment, backup generators and/or other major functional components of the proposed project

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- [x] Identify waste storage and disposal area(s), including detail(s) for dumpster(s) and dumpster pick-up and trash & garbage compaction areas (if any)

X | X

3j. Building Elevations

- [x] Show all structural building elevations (front, sides and rear façades) that will be affected by the proposed project
- [x] For additions/alterations: label existing and new construction, as well as items to be removed
- [x] Identify all existing and proposed exterior materials, treatments and colors- including roofing, roof eaves, eave brackets, siding, doors, trim, sills, windows, fences, and railings. Show details of proposed new exterior elements
- [x] Show any exterior mechanical, duct work, and/or utility boxes
- [x] Include dimensions for building height, wall length and identify existing and proposed floor elevations

X

3k. Sign Plan

- [x] Fully-dimensioned color elevations for all proposed signs
- [x] Total square footage of existing signs and total square footage of proposed signs
- [x] Existing and proposed sign locations on site plan
- [x] Existing and proposed materials and methods of lighting for all signs

N/A

3l. Lighting Plan

- [x] Location and orientation of all existing and proposed exterior lighting, including building and ground lighting and emergency spot lighting (if any)
- [x] Height and initial foot-candle readings on the ground and the types of fixtures to be used
- [ ] Plan Must Show Illumination Patterns On-Site and Areas Off-Site
- [ ] New Bedford Washingtonian Type Fixtures Should Be Used, Where Applicable
- [x] Provide Cut Sheet for All Lighting Fixtures

X

3m. Detail Sheets (Typical Details)

- [x] Pavement Section Detail
- [x] Sidewalk Detail
- [x] Curb Detail
- [N/A] Driveway Detail
- [x] Wheel Chair Ramp Detail
- [x] Concrete Pad Detail
- [N/A] Catch Basin Detail
- [N/A] Drainage Manhole Detail
- [N/A] Water/Sewer Trench Details (12" envelope)
- [N/A] Sewer Manhole Detail (26" cover)
- [N/A] Detention / Retention Basin Sections (from plan)
- [N/A] Detention Basin Outlet Structure Detail
- [N/A] Miscellaneous Detention / Retention Basin Details
- [N/A] Infiltration Device Details
- [N/A] Stormwater BMPs (Water Quality Structure Details, etc.)
- [x] Bollards

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- N/A Water and Sewer Trench Sections
- N/A Anti-Seepage Collar Detail
- N/A Flared End Detail
  - N/A Rip Rap Detail
  - N/A Straw bales/Silt Fence Detail
  - N/A Silt Sac Detail
  - N/A Compost Filter Tube Detail
  - N/A Light Pole Foundation Detail
  - N/A Retaining Wall Details
  - N/A Tree/Shrub Planting Detail
- X Sign Detail
- N/A Fence Detail
- N/A Flowable Fill Trench
- X Pavement Marking Details
- X Handicap Parking/Compact Parking Signs
- N/A Hydrant Detail (American –Darling B-62-B (Open Right) or Mueller Super Centurion Hydrant (Open Right)
- N/A Thrust Block Detail

____ X 4. **Project Narrative** (16 Copies), to include adequate summary & description of the proposed project and indicating, where appropriate:

- The number of dwelling units to be built and the acreage in residential use
- Evidence of compliance with parking and off-street loading requirements
- The forms of ownership contemplated for the property and a summary of the provisions of any ownership or maintenance thereof
- Identification of all land that will become common or public land
- Any other evidence necessary to indicate compliance with the zoning ordinance
- A written statement indicating the estimated time required to complete the proposed project and any and all phases thereof
- A written estimate showing, in detail, the projected costs of all site improvements (and off-site improvement) planned
- Drainage calculations by a registered professional engineer, with storm drainage design conforming to City of New Bedford subdivision regulations, as well as wetland delineations determined by a certified wetland scientist if applicable, for 1, 10, 25 & 100 year storm events

____ X 5. **Certified Abutters List** (16 copies)

____ X 6. **Proof of Ownership** (Copy of Deed(s) for All Involved Parcels; 16 Copies)

____ N/A 7. **Development Impact Statement (DIS),** completed per §5350 of Zoning Code, (16 Copies), if required by Board

____ N/A 8. **Traffic Impact & Access Study (TIAS)** (16 Copies), if required by Board

____ N/A 9. **Stormwater Management Report** (9 Copies), if required, comprised of the following:

- ☐ MADEP Stormwater Standards Compliance Checklist (signed & stamped)
- ☐ Overall Project Description
- ☐ Existing Conditions

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- ☐ Proposed Improvements
- ☐ Proposed Conditions
- ☐ Hydrologic Analysis for Existing & Proposed Conditions for Milestone Storm Event Intensities
- ☐ Stormwater Management Regulations
- ☐ Summary
- ☐ Appendix - Existing/Proposed Conditions Plans showing the following:
  - ☐ Overall Existing Subcatchment Area Table
    - Subcatchment Labeled, Design Point, Area, Curve number, Tc (min.)
  - ☐ Soil Classifications Table (Existing Soils)
    - Map Unit Symbol, Map Unit Name, Hydrologic Soil Code
  - ☐ Overall Proposed Subcatchment Area Table
    - Subcatchment Labeled, Design Point, Area, Curve number, Tc (min.)
  - ☐ Soil Classifications Table (Including Proposed Boron Soils, Etc., if applicable)
    - Map Unit Symbol, Map Unit Name, Hydrologic Soil Code
- ☐ Appendix - Hydrologic Analyses
  - ☐ HydroCAD Software Analyses (or equivalent software) Analyses (Existing & Proposed Conditions)
- ☐ Appendix - Illicit Discharge Certification (signed & dated)

X 10. **Electronic PDF and AutoCAD Files**

- ☒ Shall consist of a CD with a printed CD Label in a CD case
- ☒ CAD files shall be 2010 format or the latest revision of AutoCAD Civil 3D
- ☒ All project submissions shall include the following file types. All project related Drawing Files shall be provided in all 2 supported formats, listed below.
  - AutoCAD Drawing format (.dwg)
  - Adobe Portable Document Format (.pdf)
- ☒ PDF files shall be created from within the AutoCAD environment and contain Layer information.
- ☒ It is a requirement that each project drawing/sheet created for a project shall be published/plotted to DWG and PDF, and placed in the appropriate folder in the CD submission. All external references (DWG, DWF, DGN, PDF, TIFF, MrSID, JPG, etc.) which are used in support of the creation of these project sheets shall be stored within the XREF folder only (Subfolder of DWG) on the CD. Also the AutoCAD support files (fonts, plot style, etc.) should be supplied on the CD.

- ☒ **File Naming:**

  The following file naming standard for all CAD related files created, used, or submitted to the Planning Department shall be followed. This applies to all CAD drawings, DWF's, PDF's used in support of, or used in conjunction with this CAD Standard.

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File names shall begin with their project Planning Board Case number assigned (available through the Planning Department), followed by an underscore and the appropriate discipline code. In the instance where there is more than one file, assign an appropriate sequential number to the end (ex. 1,2,3). Special characters are not permitted except for the following; hyphens [-], underscores [_], and/or parenthesis [( )].

Example 1.
A set of engineering design plans and documents were prepared for project file number 12-34; acceptable filenames would be as follows:
12-34_Existing Conditions1.dwg
12-34_Existing Conditions2.dwg
12-34_General1.dwg
12-34_Generale.dwg

____ X **11. Application Fee** (All fees are due at time of application submission)

Official Use Only:

For the Planning Board, this application has been received by the Planning Division of the Department of Planning, Housing & Community Development on the date specified below:

Review date: _____ All materials submitted: Yes No

Signature: _____ Fee: _____

June 18, 2019

New Bedford City Officials
133 William Street
New Bedford, MA 02740

Re: Property Owner Authorization
McDonald's Restaurant
159 Hathaway Road
New Bedford, MA

To Whom It May Concern:

Please allow this letter to serve as my authorization to allow Bohler Engineering of to sign permitting applications on my behalf, as property owner, for matters relative to the McDonald's renovation project on 159 Hathaway Road, New Bedford, MA. Authorization is for the scope of work including the remodel of the dining room, restrooms, front counter, exterior façade, updated wall signage, drive thru structure upgrades and minor site work to ensure compliance with accessibility regulations.

Sincerely,

S B Realty LLC
92 Killburn Street
New Bedford, MA 02740

State of Ma
County of Bristol

On this 18th day of June, 2019, before me, the undersigned notary public, personally appeared Andrew Bishins (name of document signer), proved to me through satisfactory evidence of identification, which were Ma Drivers License to be the person whose name is signed on the preceding or attached document in my presence.

Notary Public Signature

(Seal)
MARIA F. OLIVEIRA
Notary Public, Commonwealth of Massachusetts
My Commission Expires March 29, 2024

William Francis Galvin
Secretary of the Commonwealth of Massachusetts

Corporations Division

Business Entity Summary

ID Number: 001360801

Request certificate | New search

Summary for: S.B. REALTY LLC

The exact name of the Domestic Limited Liability Company (LLC): S.B. REALTY LLC

Converted from S. B. REALTY LIMITED PARTNERSHIP on 12-27-2018

Entity type: Domestic Limited Liability Company (LLC)

Identification Number: 001360801

Date of Organization in Massachusetts: 12-27-2018

Last date certain:

The location or address where the records are maintained (A PO box is not a valid location or address):

Address:

City or town, State, Zip code, Country:

The name and address of the Resident Agent:

Name: JACOB SHWARTZ

Address: 92 KILBURN ST.

City or town, State, Zip code, Country: NEW BEDFORD, MA 02740 USA

The name and business address of each Manager:

Title	Individual name	Address
MANAGER	ANDREW BISHINS	92 KILBURN ST. NEW BEDFORD, MA 02740 USA
MANAGER	LARRY SHWARTZ	92 KILBURN ST. NEW BEDFORD, MA 02740 USA

In addition to the manager(s), the name and business address of the person(s) authorized to execute documents to be filed with the Corporations Division:

Title	Individual name	Address
SOC SIGNATORY	LARRY SHWARTZ	92 KILBURN ST NEW BEDFORD, MA 02740 USA
SOC SIGNATORY	ANDREW BISHINS	92 KILBURN ST NEW BEDFORD, MA 02740 USA

The name and business address of the person(s) authorized to execute, acknowledge, deliver, and record any recordable instrument purporting to affect an interest in real property:

Title	Individual name	Address
REAL PROPERTY	ANDREW BISHINS	92 KILBURN ST. NEW BEDFORD, MA 02740 USA
REAL PROPERTY	LARRY SHWARTZ	92 KILBURN ST. NEW BEDFORD, MA 02740 USA

☐ **Consent** ☐ **Confidential Data** ☐ **Merger Allowed** ☐ **Manufacturing**

View filings for this business entity:

ALL FILINGS
Annual Report
Annual Report - Professional
Articles of Entity Conversion
Certificate of Amendment
Certificate of Cancellation

View filings

Comments or notes associated with this business entity:

New search

We, SIDNEY C. SHWARTZ of 94, Sol-E-Mar Road, Dartmouth, Bristol County, Massachusetts, BENNETT SOKOLL of 2 Woodlawn Road, Dartmouth, Bristol County, Massachusetts, HAROLD BISHINS of 2717 No. Ocean Boulevard, Boca Raton, Florida, ERIKA BISHINS of 2717 No. Ocean Boulevard, Boca Raton, Florida, and PAUL R. BISHINS, P. O. Box H-3103, New Bedford, Bristol County, Massachusetts , d/b/a S.B. Realty Co.

for consideration paid and in full consideration of One ($1.00) Dollar and other valuable consideration

grant to S. B. Realty Limited Partnership, a Massachusetts limited partnership having its usual place of business at P. O. Box H-3103, New Bedford, Massachusetts

WITH QUITCLAIM COVENANTS, that certain parcel of land situated in New Bedford, Bristol County, bounded and described as follows:

Southeasterly by the northwesterly line of Hathaway Road, six hundred and twenty-seven and 14/100 (627.14) feet;

Southerly by the northerly line forming the junction of said Hathaway Road and Shawmut Avenue, seventy and 25/100 (70.25) feet;

Southwesterly by the northeasterly line of Shawmut Avenue, seven hundred forty and 86/100 (740.86) feet;

Northerly by Lots 4 and 7 on plan hereinafter mentioned, four hundred seventy and 49/100 (470.49) feet;

Easterly ninety-three and 12/100 (93.12) feet, and

Northeasterly six hundred thirty-eight and 97/100 (638.97) feet, by Lot 7 on said plan.

Said land is shown as Lots 3, 5 and 6 on sub-division plan 28344C, drawn by Raymond L. Viereck, Surveyor, dated May 15, 1963, and filed in the Land Registration Office at Boston, a copy of which is filed in Bristol County (S.D.) Registry of Deeds, in Land Registration Book 42, Page 465, with Certificate of Title No. 8275.

The above described land is subject to and with the benefit of easements and encumbrances as set forth in deed from Arlans Dept. Stores, Inc. to Continental Screw Company, dated June 7, 1963, and registered as Document No. 22833.

WITNESS our hands and seals this 7th day of October, 1985.

Sidney C. Shwartz

Bennett Sokoll

Harold Bishins

Erika Bishins

Paul R. Bishins

D/B/A S.B.Realty Co.

COMMONWEALTH OF MASSACHUSETTS

Bristol, ss. New Bedford, October 7th, 1985

Then personally appeared the above-named Sidney C. Shwartz, Bennett Sokoll, Harold Bishins, Erika Bishins and Paul R. Bishins, d/b/a S.B. Realty Co. and acknowledged the foregoing instrument to be their free act and deed, before me,

Notary Public - Jay L. Horowitz

My Commission Expires: April 30, 1987

2

5/27/63 CSCS-14

22833

QUITCLAIM DEED

ARLANS DEPT. STORES, INC., a New York corporation ("ARLANS"), for consideration paid, grants to CONTINENTAL SCREW COMPANY, a Massachusetts corporation ("CONTINENTAL"), with quitclaim covenants, a parcel of registered land in New Bedford, Bristol County, Massachusetts, bounded and described as follows:

WESTERLY	by easterly line of Shawmut Avenue, One Hundred Fifty-two and 50/100 (152.50) feet;
SOUTHERLY	by other land of ARLANS, Four Hundred Twenty and 44/100 (420.44) feet;
EASTERLY	by land of CONTINENTAL, Thirty (30) feet, and
NORTHERLY	by the same, Four Hundred Forty-three and 36/100 (443.36) feet.

The granted premises are shown on a Subdivision Plan of Land in New Bedford, Raymond L. Viereck, Surveyor, dated May 15, 1963.

By this deed and by a deed of even delivery and registration from CONTINENTAL to ARLANS, the boundary line between the land of ARLANS and the land of CONTINENTAL is being altered. The deed dated September 17, 1962, from CONTINENTAL to ARLANS contains certain easements and agreements which are canceled, released and superseded by the following easements and agreements. ARLANS agrees to install a series of catch basins at least twenty-five (25) feet west of the new easterly boundary between the land of ARLANS and the land of CONTINENTAL; to slope the premises from the new easterly boundary down to the catch basins, and to construct an embankment at least six (6) inches high at the top of the slope at the new easterly boundary, in order to prevent surface water from running from ARLAN's land onto CONTINENTAL's land except into a pipe at a point to be designated by CONTINENTAL with the approval of ARLANS, which approval shall not be unreasonably withheld. ARLANS shall have the right to install and maintain such a pipe from such point, to the ditch by the railroad. CONTINENTAL agrees that upon the completion to its satisfaction of the installation

N.B - Shawmut Ave. (n.e.) Lot 4 Pl. 28344C filed with Ct. 8275 B 42 P 465 - Notice on Ct. 8012 B 41 P 471 + Ct. 6993 B 35 P 463

of such catch basins and drainpipe, the sloping of ARLANS' premises and the construction of the embankment, all in accordance with and as required by this deed, CONTINENTAL will execute and deliver to ARLANS a certificate in form for registration reciting that such work has been completed in accordance with the provisions of this deed. The parties acknowledge that the new forty-eight (48) inch culvert referred to in the deed dated September 17, 1962, has been constructed and the cost has been shared as therein provided.

CONTINENTAL shall have the right to raise the six (6) inch embankment but not to extend it along the new northerly boundary line of ARLANS' land.

ARLANS shall have an easement across CONTINENTAL's land for access to the railroad for loading and unloading, all in a location to be designated by CONTINENTAL with the approval of ARLANS, which approval shall not be unreasonably withheld. CONTINENTAL shall have the right to relocate the easement from time to time, provided that such relocation shall not materially reduce or interferewith ARLANS' use thereof.

ARLANS shall have the right to overrun its fill, if necessary to support the fill to the grade of Shawmut Avenue, onto CONTINENTAL's land, wherever there is no paving or fencing, only to the extent, however, of the natural slope of such overrunning fill.

ARLANS shall have the right, in common with CONTINENTAL, to pass and repass, on foot and in vehicles, but not to park or to load or unload, over so much of the granted premises as lies within thirty (30) feet of the other land of ARLANS.

ARLANS covenants to construct, and maintain as long as there are occupants in the structures on the other land of ARLANS a roadway in the thirty-foot way hereby created.

ARLANS may, by an instrument suitable for registration, release its easement in the 30 foot strip described above, and thereupon its obligation to maintain the roadway will terminate.

For ARLANS' title, see Certificate of Title No. 8082, issued by the Bristol South Registry District.

The post office address of CONTINENTAL is: New Bedford, Massachusetts.

United States documentary stamps in the amount of $ 9.35 , and Massachusetts deed excise stamps in the amount of $ 9.80 , have been affixed and canceled prior to delivery.

Executed and the corporate seal hereto affixed this 6th day of June 1963.

ARLANS DEPT. STORES, INC.

By Hyman Feinstein Pres.

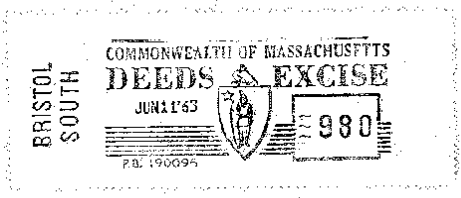
COMMONWEALTH OF MASSACHUSETTS

Bristol, ss. June 7, 1963

Then personally appeared Hyman Feinstein the President of Arlans Dept. Stores, Inc., and acknowledged the foregoing to be the free act and deed of Arlans Dept. Stores, Inc., before me,

Arthur Goldys

ARTHUR GOLDYS Notary Public
My commission expires:
March 23, 1968



LAND COURT, BOSTON. The land herein described will be shown on our approved plan to follow as

JUN 10 1963

Plan 28344C Lot 4

(Examined as to description only)

C. M. Anderson, Engineer

REW

22833

CERTIFICATE

I, LESTER PALESTINE, hereby certify that I am Secretary of ARLANS DEPT. STORES, INC., a New York corporation and that as such I have custody of the minutes of the meeting of the Board of Directors of said corporation; that at a Special Meeting of the Board of Directors duly called and held on June 3, 1963 at which meeting a quorum was present and voting throughout, the following vote was unanimously adopted:

> VOTED: - That this corporation convey to Continental Screw Company, a Massachusetts corporation, a parcel of registered land in New Bedford, Bristol County, Massachusetts, bounded and described as follows:
>
> WESTERLY by easterly line of Shawmut Avenue, One hundred fifty-two and 50/100 (152.50) feet;
>
> SOUTHERLY by other land of Arlans, Four hundred twenty and 44/100 (420.44) feet;
>
> EASTERLY by land of Continental, Thirty (30) feet; and
>
> NORTHERLY by the same, Four hundred forty-three and 36/100 (443.36) feet.
>
> And that Herbert Palestine, the Treasurer or Hyman Feinstein, President of this corporation, each be and he hereby is authorized and directed in the name and on behalf of the corporation to sign, seal with the corporate seal, acknowledge and deliver to said Continental Screw Company a quitclaim deed conveying said property, which quitclaim deed shall provide that Arlans shall install a series of catch basins at least 25 feet west of the new easterly boundary between the land of Arlans and the land of Continental and to slope the premises from the easterly boundary down to the catch basins and to construct an embankment at least 6 inches high along the easterly boundary in order to prevent surface water from running from Arlans land onto Continental land except into a pipe at a point designated by Continental.

I further certify that at the time of the execution of this certificate:

(a) There is a provision in the By-Laws of said corporation which grants its Board of Directors the authority to sell its real estate under such terms and conditions as its Board of Directors may deem proper.

(b) That Herbert Palestine is the duly elected and qualified

Treasurer of said corporation and Hyman Feinstein is the duly elected and qualified President of said corporation.

(c) That the aforesaid vote has neither been rescinded, altered or amended and is still in full force and effect.

I further certify that the property being conveyed does not constitute all or substantially all of the assets of the corporation in the Commonwealth of Massachusetts.

IN WITNESS WHEREOF, I hereunto set my hand and affix the corporate seal this 10th day of June, 1963.

Secretary

22833

South Bristol Registry District

RECEIVED FOR REGISTRATION

JUN 1 1 1963

~~NOTED~~ 4 O'CLOCK 15 M. P M

ON CERTIFICATE NO. 8275

IN REGISTRATION BOOK 42 PAGE 463

noted on Cf 8082 B 41 P 471

" Cf. 6979 B 35 P 463

ARTHUR GOLDYS

DUFF BUILDING

NEW BEDFORD, MASS.

6

SITE DEVELOPMENT PLANS

FOR:

EXISTING

McDonald's

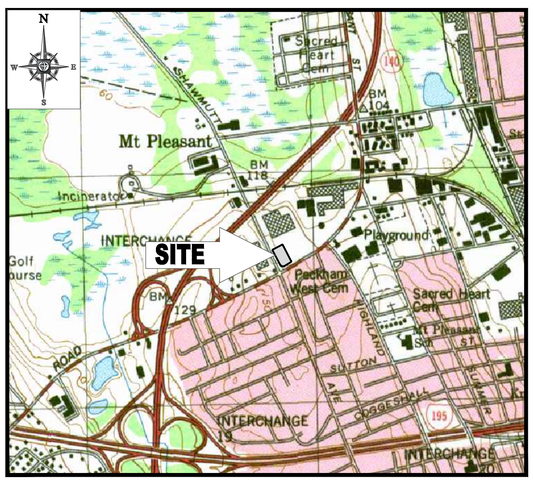
WITH DRIVE-THRU

LOCATION OF SITE:

159 HATHAWAY ROAD
CITY OF NEW BEDFORD
BRISTOL COUNTY, MASSACHUSETTS

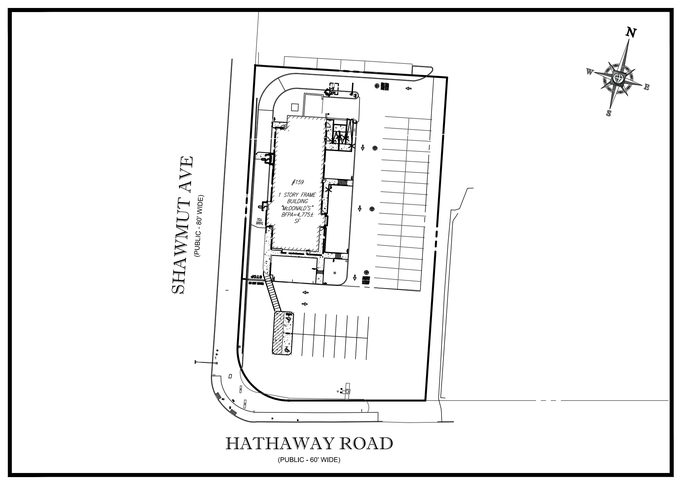
LOT 14, MAP 101

BOOK 04671 PAGE 186



LOCATION MAP

SCALE: 1"=1000'
PLAN REFERENCE: MASS GIS OLIVER



AREA PLAN

SCALE: 1"=60'

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-1 OF 9
GENERAL NOTES SHEET	C-2 OF 9
DEMOLITION & SOIL EROSION & SEDIMENT CONTROL PLAN	C-3 OF 9
SITE PLAN	C-4 OF 9
GRADING & DRAINAGE PLAN	C-5 OF 9
LANDSCAPE PLAN	C-6 OF 9
LANDSCAPE NOTES & DETAILS SHEET	C-7 OF 9
DETAIL SHEET	C-8 OF 9
DETAIL SHEET	C-9 OF 9
BOUNDARY & PARTIAL TOPOGRAPHIC SURVEY (BY OTHERS)	1 OF 1
BUILDING ELEVATIONS (BY OTHERS)	1-3 OF 3

ZONING ANALYSIS TABLE

ZONING DISTRICT	MIXED-USE BUSINESS (MUB) - RESTAURANT (FAST FOOD): SPECIAL PERMIT BY BOARD OF APPEALS INDUSTRIAL B (IB) - RESTAURANT (FAST FOOD): NOT PERMITTED			
ZONE CRITERIA	REQUIRED (MUB)	REQUIRED (IB)	EXISTING	PROPOSED
MINIMUM LOT AREA	N/S	0 SF	27,000 SF *	NO CHANGE
MAX. BUILDING COVERAGE	N/S	50%	17.7% *	18.5% *
MIN. FRONT SETBACK	N/S	25 FT.	13.0 FT. (E)	13.6 FT. (E)
MIN. SIDE SETBACK	N/S	25 FT.	> 25 FT.	> 25 FT.
MIN. REAR SETBACK	N/S	25 FT.	> 25 FT.	> 25 FT.
MAX. BUILDING HEIGHT	N/S	100 FT. (7 STORIES)	1 STORY (< 100 FT.)	19' - 4" (1 STORY)
MIN. GREEN SPACE	N/S	20%	21.9% *	20.6% *
MIN. LOT FRONTAGE	0 FT.	0 FT.	150 FT. *	NO CHANGE
PARKING SPACES	60	60	32 (E) *	NO CHANGE
PARKING CRITERIA (9'x20')	"FAST-FOOD DRIVE-IN, CARRY-OUT RESTAURANTS" - ONE (1) SPACE PER EACH EMPLOYEE PER SHIFT (MIN. 5 SPACES) PLUS ONE (1) SPACE PER 100 SF GROSS FLOOR AREA (MIN. 20 SPACES). ONE (1) LOADING SPACE FOR EACH BUILDING. - ASSUME: 12 EMPLOYEES - [12 EMPLOYEES * 1] + [4775 SF / 100] = 59.75 = 60 SPACES			
ACCESSIBLE PARKING SPACES	2	2	3 (OL)	2 (OL)
ACCESSIBLE PARKING CRITERIA (STANDARD SPACE- 8'x18' W/ 5' ACCESS AISLE) (VAN ACCESSIBLE SPACE-8'x18' W/ 8' ACCESS AISLE)	TOTAL PARKING 26 TO 50 = 2 ACCESSIBLE SPACES VAN ACCESSIBLE SPACES= 1 / 6 SPACES			

N/S - NOT SPECIFIED
(E)- EXISTING NON-CONFORMANCE
* - PER LEASE LINE
(OL) - OUTSIDE LEASE AREA

OWNER

S B REALTY, LLC
92 KILLBURN STREET
NEW BEDFORD, MA 02740

ARCHITECT

SKYBORNE TECHNOLOGIES
P.O. BOX 875
WESTFORD, MA 01886

GENERAL NOTES:

1. BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
2. 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE OWNER/OPERATOR.
3. BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.
4. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
5. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
6. ALL ELEVATIONS SHOWN ARE BASED UPON, NAVD 88 PER SURVEY NOTE #7.
7. ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
8. LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE. FOUNDATION DESIGN AND CONSTRUCTION IS BY THE GENERAL CONTRACTOR.

PAVING SPECIFICATION

(SEE PAVEMENT DETAIL)

FLEXIBLE PAVEMENT SECTION:
-1.5" M.04.02- CLASS 2 TOP COURSE
-1.5" M.04.02- CLASS 1 BASE COURSE
-12.0" M.02.06 TYPE C PROCESSED GRAVEL SUBBASE

RIGID PAVEMENT SECTION:
-6.0" 4500 PSI AIR-ENTRAINED CONCRETE
-8.0" 4500 PSI AIR-ENTRAINED CONCRETE AT TRASH ENCLOSURE
-12.0" M.02.06 TYPE C PROCESSED GRAVEL SUBBASE

NOTE: FINAL PAVEMENT SPECIFICATIONS TO BE COORDINATED WITH GEOTECHNICAL REPORT RECOMMENDATIONS. McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE, G.C. WILL BE CHARGED.

PARKING INFORMATION

TOTAL SPACES 32

32 EXISTING SPACES

UTILITY INFORMATION

	SIZE	TYPE	LOCATION
SANITARY SEWER	VARIES	PVC	ON-SITE
WATER	UNKNOWN	UNKNOWN	ON-SITE / SHAWMUT AVE R.O.W.
STORM SEWER	UNKNOWN	UNKNOWN	UNKNOWN
ELECTRIC	UNKNOWN	UG	ON-SITE
GAS	UNKNOWN	UNKNOWN	ON-SITE

SURVEY INFORMATION

PREPARED BY: CONTROL POINT ASSOCIATES, INC.
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
JOB #: 03-170094
DATE: AUGUST 31, 2017

TYPICAL LEGEND

EXISTING		PROPOSED
	PROPERTY LINE	
	SETBACK	
	EASEMENT	
	CURB	
	STORM MANHOLE	
	SEWER MANHOLE	
	CATCH BASIN	
WF#5	WETLAND FLAG	
	WETLAND LINE	
× 54.83	SPOT ELEVATION	100.00
× TC 54.58 G 53.78	TOP & BOTTOM OF CURB	TC=100.00 BC=99.50
53	CONTOUR	53
	FLOW ARROW	55
	PAINTED ARROW	
OH	OVERHEAD WIRE	OH
G	GAS LINE	G
T	TELEPHONE LINE	T
E	ELECTRIC LINE	E
W	WATER LINE	W
S	SEWER LINE	S

BID SET

STREET ADDRESS
159 HATHAWAY ROAD

CITY: NEW BEDFORD
STATE: MASSACHUSETTS
COUNTY: BRISTOL

SITE I.D.: 20-0293

PLAN DESCRIPTION: COVER SHEET

SHEET NO.: C-1 OF 9

BOHLER ENGINEERING™

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING · PROGRAM MANAGEMENT · LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN · PERMITTING SERVICES · TRANSPORTATION SERVICES

- UPSTATE NEW YORK
- NEW ENGLAND
- BOSTON, MA
- NEW YORK, NY
- NEW YORK METRO
- NORTHERN NEW JERSEY
- SOUTHERN NEW JERSEY
- PHILADELPHIA, PA
- PITTSBURGH, PA
- LEHIGH VALLEY, PA
- SOUTHEASTERN, PA
- REHOBOTH BEACH, DE
- BALTIMORE, MD
- SOUTHERN MARYLAND
- NORTHERN VIRGINIA
- CENTRAL VIRGINIA
- RALEIGH, NC
- WASHINGTON, DC
- CHARLOTTE, NC
- ATLANTA, GA
- TAMPA, FL
- SOUTH FLORIDA
- DALLAS, TX

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
www.BohlerEngineering.com

COMPLIANCE CHECK DATE
CONSTRUCTION CHECK DATE
CONSTRUCTION CHECK DATE

PROJECT No.: M182017

CAD I.D. #: M182017_SS2.dwg

REV	DATE	DESCRIPTION	BY
1	06/11/19	PER RAMP/MENU BOARD REVISIONS	DJF
2	07/02/19	PER LANDSCAPE PLAN	DJF

MARK M. WIXTED
COMMONWEALTH OF MASSACHUSETTS
MARK M WIXTED
CIVIL
NO. 41708
PROFESSIONAL ENGINEER
MASSACHUSETTS LICENSE NO. 41708

PLAN APPROVALS

STATUS	DATE	BY
DRAWN BY:	2/19/19	DJF
PLAN CHECKED	2/19/19	WL
AS-BUILT		

SIGNATURE
DATE
APPROVED MCDONALD'S AGENT

McDonald's

OFFICE: BOSTON REGION
ADDRESS: 110 N CARPENTER ST, CHICAGO, IL 60607

P:\BH\182017\Drawings\Plan Sets\REV2\182017_ss2.dwg, 01-Cover, 4/23/2019, 10:17:14 AM, dfox, Xerox3010-1pc3, User434, 1:1

GENERAL NOTES

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS.

1. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:

   - SURVEY - "BOUNDARY & PARTIAL TOPOGRAPHIC SURVEY, McDONALD'S USA, LLC, 159 HATHAWAY ROAD", PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED AUGUST 31, 2017.
   - ARCHITECTURAL PLAN - "REMODEL DESIGN PER 2017 MRP CRITERIA SET", PREPARED BY SKYBORNE TECHNOLOGIES, DATED NOVEMBER 9, 2018, REVISED MAY 24, 2019.

   PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST VERIFY THAT HE/SHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE. THIS IS CONTRACTOR'S RESPONSIBILITY.

2. ALL ACCESSIBLE (A/K/A ADA) PARKING SPACES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 et seq. AND 42 U.S.C. § 4151 et seq.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THE PROJECT IS TO BE CONSTRUCTED, AND ANY AND ALL AMENDMENTS TO BOTH WHICH ARE IN EFFECT WHEN THESE PLANS ARE COMPLETED.
3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND CONFIRMED THAT ALL NECESSARY OR REQUIRED PERMITS HAVE BEEN OBTAINED. CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.
4. THE OWNER/CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
5. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT.
6. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN THE PLANS AND THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.
7. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR MUST FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOHLER ENGINEERING, IN WRITING, IMMEDIATELY IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.
8. ALL DIMENSIONS SHOWN ON THE PLANS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE REDONE OR REPAIRED DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO CONTRACTOR GIVING ENGINEER WRITTEN NOTIFICATION OF SAME AND ENGINEER, THEREAFTER, PROVIDING CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.
9. CONTRACTOR MUST REFER TO THE ARCHITECTURAL/BUILDING PLANS "OF RECORD" FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.
10. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE ENTIRE SITE PLAN AND THE LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE). CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST.
11. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL GOVERNMENTAL AUTHORITIES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER CONTRACTOR.
12. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES.
13. THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND SHALL BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND TO NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.
15. ALL CONCRETE MUST BE AIR ENTRAINED AND HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.
16. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEAN, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
17. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY. THE ENGINEER OF RECORD HAS NOT BEEN RETAINED TO PERFORM OR BE RESPONSIBLE FOR JOB SITE SAFETY, SAME BEING WHOLLY OUTSIDE OF ENGINEER'S SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD IS NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES, AT ANY TIME.
18. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKER'S COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING, AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THIS HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH BOHLER ENGINEERING WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR ONE YEAR AFTER THE COMPLETION OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS BOHLER ENGINEERING AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS, ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.
19. BOHLER ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS AND/OR TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME HEREUNDER. BOHLER ENGINEERING'S SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM MUST NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT PROMPTLY AND IMMEDIATELY BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. BOHLER ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
20. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND MUST BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE IN NOTE 19 FOR JOB SITE SAFETY.
21. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE ENGINEER, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, IN ACCORDANCE WITH PARAGRAPH 19 HEREIN, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, PENALTIES AND THE LIKE RELATED TO SAME.
22. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE.
23. ALL SIGNING AND PAVEMENT STRIPING MUST CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR LOCALLY APPROVED SUPPLEMENT.
24. ENGINEER IS NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS. IF CONTRACTOR AND/OR OWNER FAIL BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS.
25. OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, IN STRICT ACCORDANCE WITH THE APPROVED PLAN(S) AND DESIGN AND, FURTHER ENGINEER IS NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.
26. ALL DIMENSIONS MUST BE TO FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, UNLESS NOTED OTHERWISE.
27. ALL CONSTRUCTION AND MATERIALS MUST COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, ORDINANCES, RULES AND CODES, AND ALL APPLICABLE OSHA REQUIREMENTS.
28. CONTRACTOR AND OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.
29. CONTRACTOR IS RESPONSIBLE TO MAINTAIN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH EPA REQUIREMENTS FOR SITES WHERE ONE (1) ACRE OR MORE (UNLESS THE LOCAL JURISDICTION REQUIRES FEWER) IS DISTURBED BY CONSTRUCTION ACTIVITIES. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE.
30. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED APPLICATION DOCUMENTS PREPARED BY THE SIGNATORY PROFESSIONAL ENGINEER, THE USE OF THE WORDS CERTIFY OR CERTIFICATION CONSTITUTES AN EXPRESSION OF "PROFESSIONAL OPINION" REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

GENERAL DEMOLITION NOTES

1. THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:
   - SURVEY - "BOUNDARY & PARTIAL TOPOGRAPHIC SURVEY, McDONALD'S USA, LLC, 159 HATHAWAY ROAD", PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED AUGUST 31, 2017.
2. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AS AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.
3. BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME.
4. THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION, ONLY, REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR MUST ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
5. CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, WITH BOHLER ENGINEERING, IN WRITING, AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.
6. PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR/TO:

   A. OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK.

   B. NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION DISTRICT, 72 HOURS PRIOR TO THE START OF WORK.

   C. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.

   D. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARKOUT, IN ADVANCE OF ANY EXCAVATION.

   E. LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.

   F. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.

   G. ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.

   H. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" IS TO BE DONE AT NO ADDITIONAL COST TO THE OWNER.

   I. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK AND IMMEDIATELY NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.

7. THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
8. THE CONTRACTOR MUST PROVIDE ALL "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIR MUST INCLUDE THE RESTORATION OF ANY ITEMS REPAIRED TO THE PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR SHALL PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE.
9. THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, AND/OR UNDER THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
10. CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL MUST BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS, AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT NEW IMPROVEMENTS AND PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE IN THE GEOTECHNICAL REPORT. BACKFILLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES, AND MUST BE DONE SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE.
11. EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND ALL APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS MUST BE IN PLACE PRIOR TO CONTRACTOR STARTING AN EXPLOSIVE PROGRAM AND/OR ANY DEMOLITION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
12. CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FHWA "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY.
13. CONTRACTOR MUST CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.
14. DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT USE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT WRITTEN PERMISSION OF THE OWNER AND ALL GOVERNMENTAL AGENCIES WITH JURISDICTION.
15. THE CONTRACTOR MUST USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, CONTRACTOR MUST CLEAN ALL ADJACENT STRUCTURES AND IMPROVEMENTS TO REMOVE ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
16. CONTRACTOR IS RESPONSIBLE TO SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
17. CONTRACTOR IS RESPONSIBLE FOR SITE JOB SAFETY, WHICH MUST INCLUDE, BUT NOT BE LIMITED TO, THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING AND OTHER APPROPRIATE SAFETY ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITY.
18. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION AS TO THE MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED TO ACCOMPLISH THAT WORK. ALL MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED MUST BE IN STRICT ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR MUST COMPLY WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
19. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR MUST MAINTAIN RECORDS TO DEMONSTRATE PROPER DISPOSAL ACTIVITIES, TO BE PROMPTLY PROVIDED TO THE OWNER UPON REQUEST.
20. CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS UPON WHICH IS INDICATED THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT MUST BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER, AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK.

ADA INSTRUCTIONS TO CONTRACTOR:

CONTRACTORS MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (ACCESSIBLE) ACCESSIBLE COMPONENTS AND ACCESS ROUTES FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH ALL APPLICABLE STATE AND LOCAL ACCESSIBILITY LAWS AND REGULATIONS AND THE CURRENT ADA AND/OR STATE ARCHITECTURAL ACCESS BOARD STANDARDS AND REGULATIONS' BARRIER FREE ACCESS AND ANY MODIFICATIONS, REVISIONS OR UPDATES TO SAME. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THESE ADA AND/OR ARCHITECTURAL ACCESS BOARD CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

- PARKING SPACES AND PARKING AISLES - SLOPE SHALL NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION.
- CURB RAMPS - SLOPE MUST NOT EXCEED 1:12 (8.3%) FOR A MAXIMUM OF SIX (6) FEET.
- LANDINGS - MUST BE PROVIDED AT EACH END OF RAMPS, MUST PROVIDE POSITIVE DRAINAGE, AND MUST NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION.
- PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - MUST PROVIDE A 36-INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS CANNOT REDUCE THIS MINIMUM WIDTH). THE SLOPE MUST BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL, AND MUST NOT EXCEED 1:50 (2.0%) IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), ADA RAMP MUST BE ADHERED TO. A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM RISE OF 2.5 FEET, MUST BE PROVIDED. THE RAMP MUST HAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT ARE CROSS SLOPED NO MORE THAN 1:50 IN ANY DIRECTION (2.0%) FOR POSITIVE DRAINAGE.
- DOORWAYS - MUST HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2003 AND OTHER REFERENCED INCORPORATED BY CODE.)
- WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ADA COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, CONTRACTOR MUST VERIFY EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES, IN RARE CIRCUMSTANCES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS, IN WRITING, BEFORE COMMENCEMENT OF WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ADA REQUIREMENTS.
- THE CONTRACTOR MUST VERIFY THE SLOPES OF CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-CONFORMANCE IS OBSERVED OR EXISTS, CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO POURING CONCRETE. CONTRACTOR IS RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND REPLACE NON-CONFORMING CONCRETE.

IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

GENERAL GRADING & UTILITY PLAN NOTES

1. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES MUST IMMEDIATELY BE REPORTED, IN WRITING, TO THE ENGINEER. CONSTRUCTION MUST COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION, AT NO COST TO THE OWNER. CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT AND/OR DISCREPANCY BETWEEN THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE OR APPLICABLE CODES, REGULATIONS, LAWS, RULES, STATUTES AND/OR ORDINANCES, IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD, IN WRITING, OF SAID CONFLICT AND/OR DISCREPANCY PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR'S FAILURE TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE CONTRACTOR'S FULL AND COMPLETE ACCEPTANCE OF ALL RESPONSIBILITY TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, STATUTES, ORDINANCES AND CODES AND, FURTHER, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SAME.
4. THE CONTRACTOR MUST LOCATE AND CLEARLY AND UNAMBIGUOUSLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE AND INACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.
5. THE CONTRACTOR MUST FAMILIARIZE ITSELF WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.
6. THE CONTRACTOR MUST INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.
7. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS/DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS WITH JURISDICTION AND/OR CONTROL OF THE SITE, AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE A CONFLICT(S) EXISTS BETWEEN THESE SITE PLANS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER, IN WRITING, AND PRIOR TO CONSTRUCTION, RESOLVE SAME.
8. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE MUST INCLUDE ALL FEES, COSTS AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE FULL AND COMPLETE WORKING SERVICE. CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR TO COMMENCING CONSTRUCTION.
9. ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.
10. SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS MUST BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO.
11. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND MUST BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST, AT A MINIMUM, COMPLY WITH THE STATE DOT REQUIREMENTS AND SPECIFICATIONS AND CONSULTANT SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTION AND BACKFILL. FURTHER, CONTRACTOR IS FULLY RESPONSIBLE FOR EARTHWORK BALANCE.
12. THE CONTRACTOR MUST COMPLY, TO THE FULLEST EXTENT, WITH THE LATEST OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES AND CONSULTANT SHALL HAVE NO RESPONSIBILITY FOR OR AS RELATED FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES.
13. PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUTT JOINTS, MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
14. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.
15. DURING THE INSTALLATION OF SANITARY SEWER, STORM SEWER, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE FROM THE INFORMATION CONTAINED IN THE UTILITY PLAN. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER AT THE COMPLETION OF WORK.
16. WHEN THE SITE IMPROVEMENT PLANS INVOLVE MULTIPLE BUILDINGS, SOME OF WHICH MAY BE BUILT AT A LATER DATE, THE CONTRACTOR MUST EXTEND ALL LINES, INCLUDING BUT NOT LIMITED TO STORM SEWER, SANITARY SEWER, UTILITIES, AND IRRIGATION LINE, TO A POINT AT LEAST FIVE (5) FEET BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. CONTRACTOR MUST CAP ENDS AS APPROPRIATE, MARK LOCATIONS WITH A 2X4, AND MUST NOTE THE LOCATION OF ALL OF THE ABOVE ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER UPON COMPLETION OF THE WORK.
17. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. CONTRACTOR MUST CONFIRM AND ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS; 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT (EXCEPT WHERE ADA REQUIREMENTS OR EXISTING TOPOGRAPHY LIMIT GRADES), TO PREVENT PONDING. CONTRACTOR MUST IMMEDIATELY IDENTIFY, IN WRITING TO THE ENGINEER, ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST. IF CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER NOTIFICATION, MUST BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, CONTRACTOR SHALL INDEMNIFY, DEFEND AND HOLD HARMLESS THE DESIGN ENGINEER FOR ANY DAMAGES, COSTS, INJURIES, ATTORNEY'S FEES AND THE LIKE WHICH RESULT FROM SAME.
18. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.75% GUTTER GRADE ALONG CURB FACE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME.
19. REFER TO THIS SHEET FOR ADDITIONAL NOTES.
20. IN THE EVENT OF DISCREPANCIES AND/OR CONFLICTS BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE AND CONTROL. CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER, IN WRITING, OF ANY DISCREPANCIES AND/OR CONFLICTS.
21. CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING WORK ANY WORK.
22. WHERE RETAINING WALLS (WHETHER OR NOT THEY MEET THE JURISDICTIONAL DEFINITION) ARE IDENTIFIED ON PLANS, ELEVATIONS IDENTIFIED ARE FOR THE EXPOSED PORTION OF THE WALL. WALL FOOTINGS/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS.
23. STORM DRAINAGE PIPE:UNLESS INDICATED OTHERWISE, ALL STORM SEWER PIPE MUST BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SILT TIGHT JOINTS. WHEN HIGH-DENSITY POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS, IT MUST CONFORM TO AASHTO M294 AND TYPE S (SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS) WITH GASKET FOR SILT TIGHT JOINT. PVC PIPE FOR ROOF DRAIN CONNECTION MUST BE SDR 26 OR SCHEDULE 40 UNLESS INDICATED OTHERWISE.
24. UNLESS INDICATED OTHERWISE ON THE DRAWINGS, SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
   - FOR PIPES LESS THAN 12 FT. DEEP: POLYVINYL CHLORIDE (PVC) SDR 35 PER ASTM D3034
   - FOR PIPES MORE THAN 12 FT. DEEP: POLYVINYL CHLORIDE (PVC) SDR 26 PER ASTM D3034
   - FOR PIPE WITHIN 10 FT. OF BUILDING, PIPE MATERIAL SHALL COMPLY WITH APPLICABLE BUILDING AND PLUMBING CODES. CONTRACTOR TO VERIFY WITH LOCAL OFFICIALS.
25. STORM AND SANITARY SEWER PIPE LENGTHS INDICATED ARE NOMINAL AND MEASURED CENTER OF INLET AND/OR MANHOLES STRUCTURE TO CENTER OF STRUCTURE.
26. STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON PRELIMINARY ARCHITECTURAL PLANS. CONTRACTOR IS RESPONSIBLE TO AND FOR VERIFYING LOCATIONS OF SAME BASED ON FINAL ARCHITECTURAL PLANS.
27. SEWERS CROSSING STREAMS AND/OR LOCATION WITHIN 10 FEET OF THE STREAM EMBANKMENT, OR WHERE SITE CONDITIONS SO INDICATE, MUST BE CONSTRUCTED OF STEEL, REINFORCED CONCRETE, DUCTILE IRON OR OTHER SUITABLE MATERIAL.
   - SEWERS CONVEYING SANITARY FLOW COMBINED SANITARY AND STORMWATER FLOW OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES MUST BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNMENT AGENCY WITH JURISDICTION OVER SAME.
   - WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER MUST BE PROVIDED.
28. WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER PURVEYOR. IN THE ABSENCE OF SUCH REQUIREMENTS, WATER MAIN PIPING MUST BE CEMENT-LINED DUCTILE IRON (DIP) MINIMUM CLASS 52 THICKNESS. ALL PIPE AND APPURTENANCES MUST COMPLY WITH THE APPLICABLE AWWA STANDARDS IN EFFECT AT THE TIME OF APPLICATION.
29. CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SEWER, WATER AND STORM SYSTEMS, MUST BE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND/OR DOT DETAILS AS APPLICABLE. CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME.
30. LOCATION OF PROPOSED UTILITY POLE RELOCATION IS AT THE SOLE DISCRETION OF UTILITY COMPANY.
31. CONSULTANT IS NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER, SHALL HAVE NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE PROPERTY.

TYPICAL ABBREVIATIONS

KEY	DESCRIPTION	KEY	DESCRIPTION
BC	BOTTOM CURB	PROP.	PROPOSED
TC	TOP CURB	TBR/R	TO BE REMOVED AND REPLACED
BOC	BACK OF CURB	TBR	TO BE REMOVED
BW	BOTTOM OF WALL GRADE	TPF	TREE PROTECTION FENCE
TW	TOP OF WALL	BLDG.	BUILDING
EXIST.	EXISTING	SF	SQUARE FEET
BM.	BENCHMARK	SMH	SEWER MANHOLE
EOP	EDGE OF PAVEMENT	DMH	DRAIN MANHOLE
℄	CENTERLINE	STM.	STORM
FF.	FINISHED FLOOR	SAN.	SANITARY
V.I.F.	VERIFY IN FIELD	CONC.	CONCRETE
GC	GENERAL CONTRACTOR	ARCH.	ARCHITECTURAL
HP.	HIGH POINT	DEP.	DEPRESSED
LP.	LOW POINT	R	RADIUS
TYP.	TYPICAL	MIN.	MINIMUM
INT.	INTERSECTION	MAX.	MAXIMUM
PC.	POINT OF CURVATURE	No. / #	NUMBER
PT.	POINT OF TANGENCY	W.	WIDE
PI.	POINT OF INTERSECTION	DEC.	DECORATIVE
PVI.	POINT OF VERTICAL INTERSECTION	ELEV.	ELEVATION
STA.	STATION	UNG.	UNDERGROUND
GRT	GRATE	R.O.W.	RIGHT OF WAY
INV.	INVERT	LF	LINEAR FOOT
DIP	DUCTILE IRON PIPE	LOD	LIMIT OF DISTURBANCE
PVC	POLYVINYL CHLORIDE PIPE	LOW	LIMIT OF WORK
HDPE.	HIGH DENSITY POLYETHYLENE PIPE	L.S.A.	LANDSCAPED AREA
RCP	REINFORCED CONCRETE PIPE	±	PLUS OR MINUS
S	SLOPE	°	DEGREE
ME	MEET EXISTING	Ø / DIA.	DIAMETER

CITY OF NEW BEDFORD CONSTRUCTION NOTES

1. ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
2. ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
3. ALL HANDICAP PARKING, RAMPS, AND ACCESS SHALL CONFORM TO AAB & MAAB REQUIREMENTS.
4. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO THE CITY OF NEW BEDFORD CONSERVATION COMMISSION REQUIREMENTS AS STATED IN THE ORDER OF CONDITIONS.
5. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS.

REFER TO SITE PLAN FOR ZONING ANALYSIS TABLE AND LAND USE/ ZONING INFORMATION & NOTES

REFER TO DEMOLITION & SOIL EROSION CONTROL NOTES & DETAILS SHEET FOR TYPICAL EROSION NOTES AND DETAILS

REV	DATE	DESCRIPTION	BY
1	06/11/19	PER RAMP/MENU BOARD REVISIONS	DJF
2	07/02/19	PER LANDSCAPE PLAN	DJF

MARK M. WIXTED
PROFESSIONAL ENGINEER
MASSACHUSETTS LICENSE No. 41708

COMMONWEALTH OF MASSACHUSETTS
MARK M WIXTED
CIVIL
NO. 41708
REGISTERED PROFESSIONAL ENGINEER

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CONSTRUCTION CHECK ____ DATE ____

CONSTRUCTION CHECK ____ DATE ____

PROJECT No.: M182017

CAD I.D. #: M182017_SS2.dwg

BID SET

STREET ADDRESS
159 HATHAWAY ROAD

CITY: NEW BEDFORD
STATE: MASSACHUSETTS

COUNTY: BRISTOL

SITE I.D.: 20-0293

PLAN DESCRIPTION: GENERAL NOTES SHEET

STATUS	DATE	BY
DRAWN BY:	2/19/19	DJF
PLAN CHECKED	2/19/19	WL
AS-BUILT		

SHEET NO.
C-2
OF 9

EROSION & SEDIMENT CONTROL NOTES

1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
2. THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
3. SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
4. INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
5. ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
6. NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).
7. IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
8. TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
9. DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS.
10. REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:

10.1. SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.

10.2. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER1,000 SF).

10.3. FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEEDED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEEDED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUE-GRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS: SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN QUALITY SOD MAY BE SUBSTITUTED FOR SEED.

10.4. STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS WILL BE USED ON STRAW MULCH FOR WIND CONTROL.

11. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
12. WETLANDS WILL BE PROTECTED WIstrawBALES AND/OR SILT FENCE INSTALLED AT THE EDGE OF THE WETLAND OR THE BOUNDARY OF WETLAND DISTURBANCE.
13. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
14. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED,

MULCH

LOCATION	MULCH	RATE (1000 SF)
PROTECT AREA	STRAW	100 POUNDS
WINDY AREA	SHREDDED OR CHOPPED CORNSTALKS STRAW (ANCHORED)*	185-275 POUNDS 100 POUNDS
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	JUTE MESH OR EXCELSIOR MAT	AS REQUIRED

GREATER THAN 3:1 (REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)

* A HYDRO-APPLICATION OF WOOD, OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON STRAW MULCH FOR WIND CONTROL.

MULCH ANCHORING
ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD/BLOCK); MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LBS/ACRE); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISK. WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.

EROSION CONTROL NOTES DURING WINTER CONSTRUCTION

1. WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
2. WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
3. EXPOSED AREA SHOULD BE LIMITED TO THAT WHICH CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.
4. CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
5. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR straw AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDED, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
6. BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1ST, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 200 - 300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF straw OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
7. MULCHING REQUIREMENTS:

7.1. BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.

7.2. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.

7.3. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.

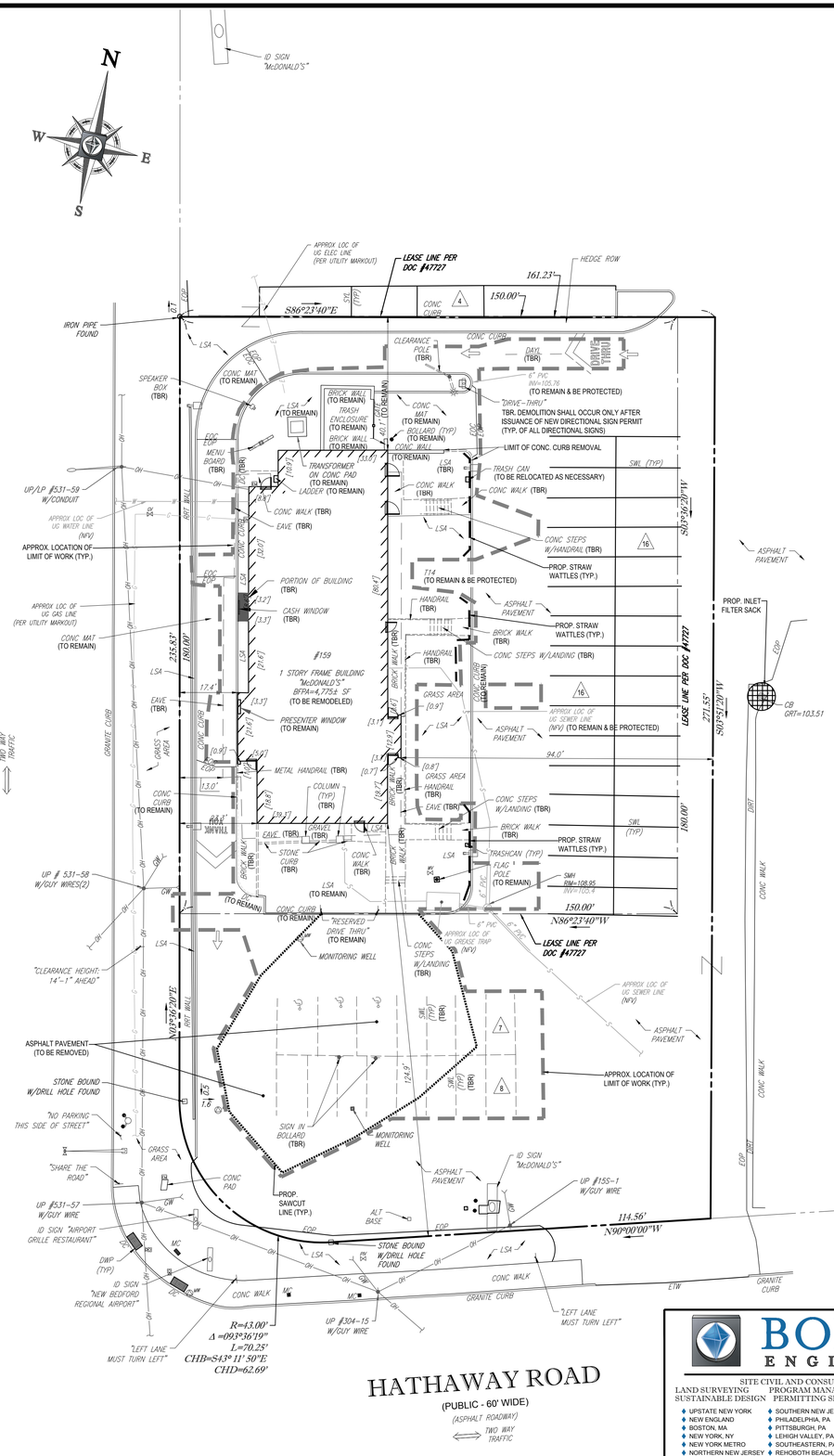
8. AFTER NOVEMBER 1ST THE CONTRACTOR SHALL APPLY DORMANT SEEDING OR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END OF EACH WORKING DAY.
9. DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.
10. STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
11. EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.

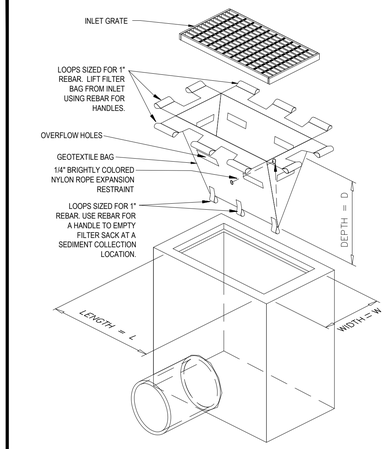
CONSTRUCTION SEQUENCE

THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

-INSTALLATION OF INLET PROTECTION (AS SHOWN)
-DEMOLITION OF EXISTING SITE STRUCTURES
-DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES
-CLEARING AND GRUBBING
-EARTHWORK AND EXCAVATION/FILLING AS NECESSARY
-STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING
-INSTALLATION OF INLET PROTECTION ON ON-SITE UTILITIES
-CONSTRUCTION OF BUILDINGS
-CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
-SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH
-FINAL GRADING OF ALL SLOPED AREAS
-PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED REQUIRED.
-PAVE PARKING LOT
-LANDSCAPING PER LANDSCAPING PLAN
-REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER.

Know what's below. Call before you dig.





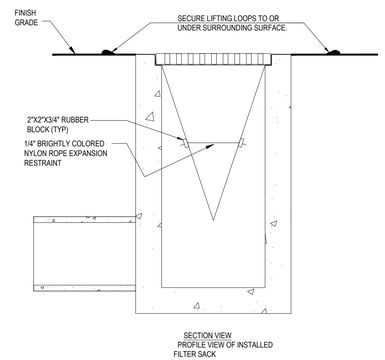
ISOMETRIC VIEW

LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	80 %
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	0.55 SEC -1

MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPARENT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	1.5 SEC -1

1. REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
2. GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.
3. PLACE AN OIL ADSORBENT PAD OR PILLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.
4. INSPECT PER REGULATORY REQUIREMENTS.
5. THE WIDTH, "W", OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX.
6. THE DEPTH, "D", OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 36 INCHES.
7. THE LENGTH, "L", OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

DO NOT USE IN PAVED AREAS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.



FILTER SACKS (GRATED INLETS)

N.T.S.

CITY OF NEW BEDFORD NOTES

1. ALL BMP EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO DEMOLITION OR ANY SITE WORK.
2. EROSION CONTROL BMPS SHALL CONFORM TO US EPA, NPDES, MA DEP AND MASSACHUSETTS EROSION AND SEDIMENTATION CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS.
3. MAINTENANCE SPECIFICATIONS FOR ALL PROPOSED EROSION AND SEDIMENTATION CONTROLS.

GC TO PROTECT MONITORING WELLS OR COORDINATE WITH OWNER/OPERATOR FOR APPROVAL TO REMOVE

REFER TO GENERAL NOTES SHEET FOR DEMOLITION NOTES

THIS PLAN TO BE UTILIZED FOR DEMOLITION / REMOVAL & SOIL EROSION CONTROL PURPOSES ONLY

20 10 5 0 20
1"= 20'

REV	DATE	DESCRIPTION	BY
1	06/11/19	PER RMP/MENU BOARD REVISIONS	DJF
2	07/02/19	PER LANDSCAPE PLAN	DJF

MARK M. WIXTED
MARK M WIXTED
CIVIL
NO. 41708
PROFESSIONAL ENGINEER
MASSACHUSETTS LICENSE NO. 41708

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COMPLIANCE CHECK DATE
CONSTRUCTION CHECK DATE
CONSTRUCTION CHECK DATE
PROJECT No.: M182017
CAD I.D. #: M182017_SS2.dwg

BID SET

STREET ADDRESS
159 HATHAWAY ROAD

CITY: NEW BEDFORD
STATE: MASSACHUSETTS
COUNTY: BRISTOL

SITE I.D.: 20-0293

PLAN DESCRIPTION: DEMOLITION & SOIL EROSION & SEDIMENT CONTROL PLAN

STATUS	DATE	BY
DRAWN BY:	2/19/19	DJF
PLAN CHECKED	2/19/19	WL
AS-BUILT		

SHEET NO. C-3 OF 9

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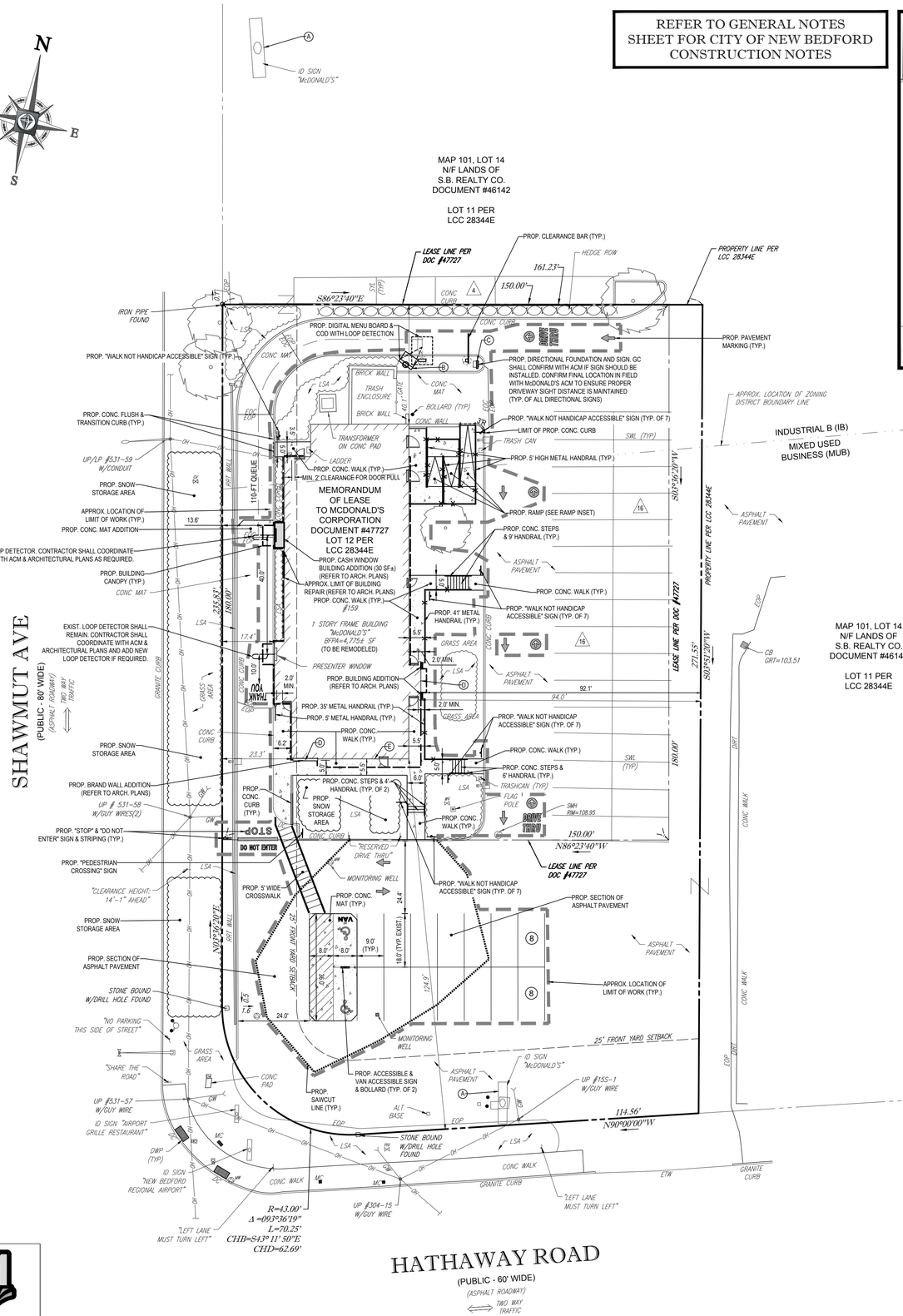
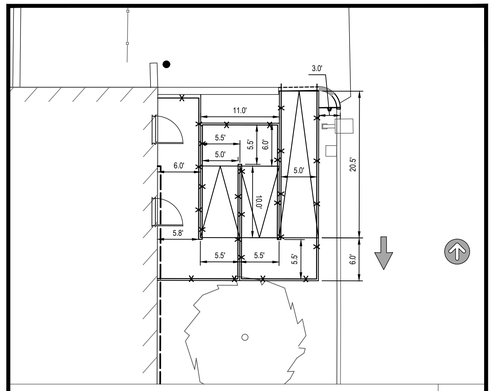
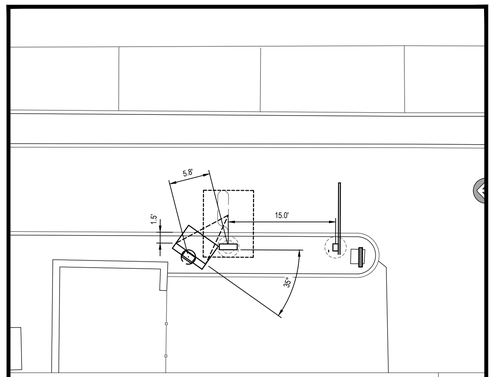
REFER TO GENERAL NOTES
SHEET FOR CITY OF NEW BEDFORD
CONSTRUCTION NOTES





RAMP INSET

SCALE: 1" = 10'



DRIVE-THRU DIMENSION INSET

SCALE: 1" = 10'

LAND USE / ZONING INFORMATION & NOTES

1. APPLICANT / OWNER:
   McDONALD'S USA, LLC
   110 N CARPENTER ST
   CHICAGO, IL 60607

2. PARCEL:
   MAP 101, LOT 14
   159 HATHAWAY ROAD
   CITY OF NEW BEDFORD
   BRISTOL COUNTY, MASSACHUSETTS

ZONING ANALYSIS TABLE

ZONING DISTRICT	MIXED-USE BUSINESS (MUB) - RESTAURANT (FAST FOOD): SPECIAL PERMIT BY BOARD OF APPEALS INDUSTRIAL B (IB) - RESTAURANT (FAST FOOD): NOT PERMITTED			
ZONE CRITERIA	REQUIRED (MUB)	REQUIRED (IB)	EXISTING	PROPOSED
MINIMUM LOT AREA	N/S	0 SF	27,000 SF *	NO CHANGE
MAX. BUILDING COVERAGE	N/S	50%	17.7% *	18.5% *
MIN. FRONT SETBACK	N/S	25 FT.	13.0 FT. (E)	13.6 FT. (E)
MIN. SIDE SETBACK	N/S	25 FT.	> 25 FT.	> 25 FT.
MIN. REAR SETBACK	N/S	25 FT.	> 25 FT.	> 25 FT.
MAX. BUILDING HEIGHT	N/S	100 FT. (7 STORIES)	1 STORY (< 100 FT.)	19' - 4" (1 ISTORY)
MIN. GREEN SPACE	N/S	20%	21.9% *	20.6% *
MIN. LOT FRONTAGE	0 FT.	0 FT.	150 FT. *	NO CHANGE
PARKING SPACES	60	60	32 (E) *	NO CHANGE
PARKING CRITERIA (9'x20')	"FAST-FOOD DRIVE-IN, CARRY-OUT RESTAURANTS" - ONE (1) SPACE PER EACH EMPLOYEE PER SHIFT (MIN. 5 SPACES) PLUS ONE (1) SPACE PER 100 SF GROSS FLOOR AREA (MIN. 20 SPACES). ONE (1) LOADING SPACE FOR EACH BUILDING. - ASSUME: 12 EMPLOYEES - [12 EMPLOYEES * 1] + [4775 SF / 100] = 59.75 = 60 SPACES			
ACCESSIBLE PARKING SPACES	2	2	3 (OL)	2 (OL)
ACCESSIBLE PARKING CRITERIA (STANDARD SPACE- 8'x18' W/ 5' ACCESS AISLE) (VAN ACCESSIBLE SPACE-8'x18' W/ 8' ACCESS AISLE)	TOTAL PARKING 26 TO 50 = 2 ACCESSIBLE SPACES VAN ACCESSIBLE SPACES= 1 / 6 SPACES			

N/S - NOT SPECIFIED
(E)- EXISTING NON-CONFORMANCE
* - PER LEASE LINE
(OL) - OUTSIDE LEASE AREA

SIGN SUMMARY TABLE

TYPE	ALLOWED (MUB)	ALLOWED (IB)	EXISTING	PROPOSED
SITE SIGNAGE				
FREESTANDING I.D. SIGN	MAX AREA OF EACH GROUND SIGN IN MUB DISTRICT = 1 SF PER LF OF STREET FRONTAGE, NOT TO EXCEED 25 SF. MAX. HEIGHT = 15 FT. TO TOP OF SIGN		TWO (2) FREESTANDING SIGNS (TO REMAIN)	(A) TWO (2) FREESTANDING SIGNS (EXISTING)
MENU BOARD	ANY MOVING, FLASHING, ANIMATED, INTERMITTENT LIGHTING, LED, LCD, DYNAMIC DISPLAY OR ELECTRONIC SIGN IS PROHIBITED.		ONE (1) MENU BOARD (TO BE REPLACED)	(B) ONE (1) MENU BOARD @ 20 SF
DIRECTIONAL SIGN	N/S		ONE (1) DIRECTIONAL SIGN (TO BE REPLACED)	(C) ONE (1) DIRECTIONAL SIGN @ 2.9 SF
BUILDING SIGNAGE				
FRONT WALL SIGN	MAX AREA OF EACH WALL SIGN = TWICE THE BUILDING WIDTH, IN SF.		1 "M" LOGO	(D) 1 "M" LOGO @ 14 SF (E) 1 "McDONALD'S" SIGN @ 34 SF WALL SIGN AREA = 48 SF
DRIVE THRU WALL SIGN	FOR A CORNER LOT, MAX AREA = TWICE THE BUILDING LENGTH, IN SF.		NONE	NONE
NON DRIVE THRU WALL SIGN	NO SIGN ALLOWED		NONE	(D) 1 "M" LOGO @ 14 SF
REAR WALL SIGN			NONE	NONE
TOTAL BUILDING SIGNAGE	224 SF		1 "M" LOGO	62 SF

NOTE: ALL SIGNS AREAS ARE "BOXED" FOR CALCULATIONS

PAVEMENT STRIPING LEGEND

6"/SYSL = 6" SINGLE YELLOW SOLID LINE
8"/SYSL = 8" SINGLE YELLOW SOLID LINE
4"/SWSL = 4" SINGLE WHITE SOLID LINE

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY

REFER TO GENERAL NOTES SHEET FOR NOTES

DOOR PULL NOTE: NEW SIDEWALK CONSTRUCTION SHALL BE ADA COMPLIANT WITH EDGE OF NEW SIDEWALK AND ANY OBSTRUCTION, INCLUDING RAILINGS, BEING INSTALLED A MINIMUM OF 24" FROM THE DOOR LATCH.

REV	DATE	DESCRIPTION	BY
1	06/11/19	PER RAMP/MENU BOARD REVISIONS	DJF
2	07/02/19	PER LANDSCAPE PLAN	DJF

MARK M. WIXTED
MARK M WIXTED
CIVIL
NO. 41708
COMMONWEALTH OF MASSACHUSETTS
PROFESSIONAL ENGINEER
MASSACHUSETTS LICENSE NO. 41708

McDonald's

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ADDRESS: 110 N CARPENTER ST, CHICAGO, IL 60607

PLAN APPROVALS

SIGNATURE	DATE

APPROVED McDONALD'S AGENT

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COMPLIANCE CHECK ____ DATE ____
CONSTRUCTION CHECK ____ DATE ____
CONSTRUCTION CHECK ____ DATE ____

PROJECT No.: M182017

CAD I.D. #: M182017_SS2.dwg

BID SET

STREET ADDRESS: 159 HATHAWAY ROAD
CITY: NEW BEDFORD
STATE: MASSACHUSETTS
COUNTY: BRISTOL

SITE I.D.: 20-0293
PLAN DESCRIPTION: SITE PLAN

STATUS	DATE	BY
DRAWN BY:	2/19/19	DJF
PLAN CHECKED	2/19/19	WL
AS-BUILT		

SHEET NO. C-4 OF 9

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1"= 20'

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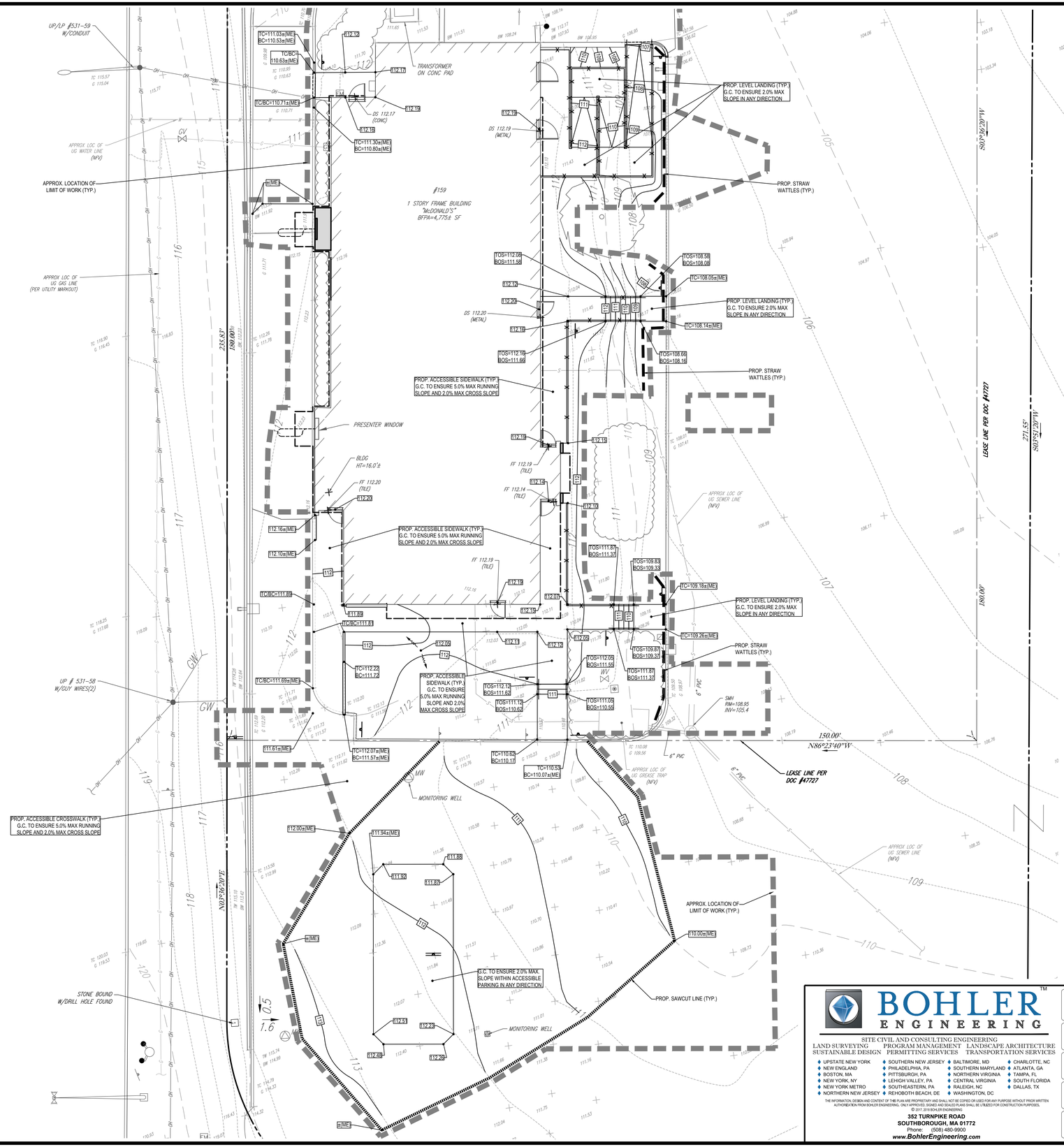
THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY

REFER TO GENERAL NOTES SHEET FOR GRADING & UTILITY NOTES

CITY OF NEW BEDFORD NOTES

1. THE CONTRACTOR SHALL OBTAIN A STREET DISTURBANCE & OBSTRUCTION PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE RIGHT-OF-WAY.
2. ALL WATER AND SEWER MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
3. ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF NEW BEDFORD BEFORE BEING BACKFILLED.
4. THE CITY SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE REQUIRED INSPECTIONS.



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COMMONWEALTH OF MASSACHUSETTS
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COMPLIANCE CHECK	DATE
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CONSTRUCTION CHECK	DATE
PROJECT No.: M182017	
CAD I.D. #: M182017_SS2.dwg	

BID SET

STREET ADDRESS: 159 HATHAWAY ROAD

CITY: NEW BEDFORD · STATE: MASSACHUSETTS

COUNTY: BRISTOL

SITE I.D.: 20-0293

PLAN DESCRIPTION: GRADING & DRAINAGE PLAN

STATUS	DATE	BY
DRAWN BY:	2/19/19	DJF
PLAN CHECKED	2/19/19	WL
AS-BUILT		

SHEET NO. C-5 OF 9

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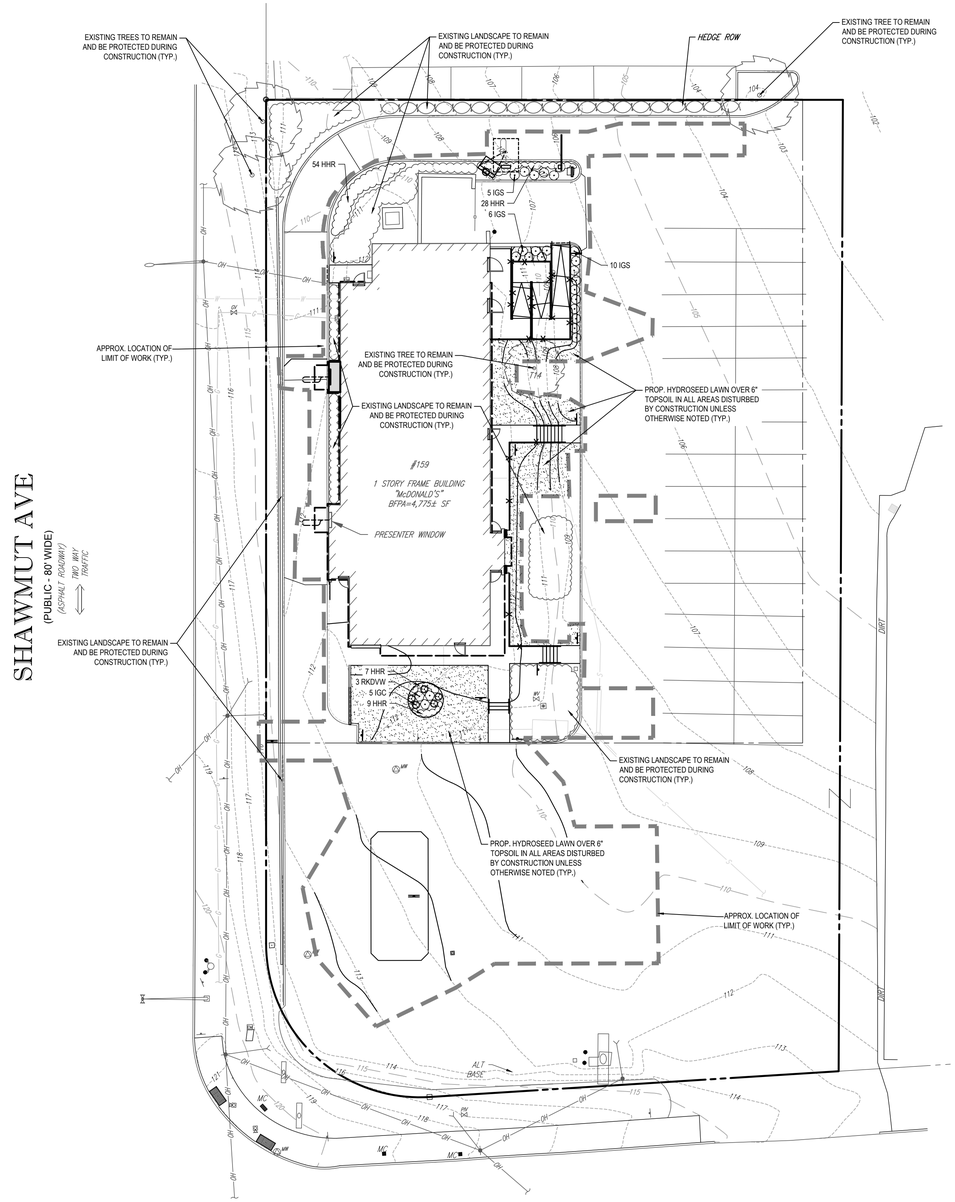

LANDSCAPE SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.
EVERGREEN SHRUBS					
IGC	5	ILEX GLABRA 'COMPACTA'	DWARF INKBERRY HOLLY	24-30"	B+B
IGS	21	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	24-30"	B+B
RKDVW	3	RHODODENDRON X KURUME 'DELAWARE VALLEY WHITE'	'DELAWARE VALLEY WHITE' AZALEA	18-24"	CONTAINER
SUBTOTAL:	29				
PERENNIALS					
HHR	98	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	2 GAL.	CONTAINER
SUBTOTAL:	98				

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

REFER LANDSCAPE NOTES & DETAILS SHEET FOR LANDSCAPE NOTES AND DETAILS

20 10 5 0 20
1"= 20'

REV	DATE	DESCRIPTION	BY
1	06/11/19	PER RAMPMENU BOARD REVISIONS	DJF
2	07/02/19	PER LANDSCAPE PLAN	DJF

M.J. MRVA
MATTHEW J. MRVA
REGISTERED LANDSCAPE ARCHITECT
IL No. 157-001255
MASSACHUSETTS No. 1217
RHODE ISLAND No. 419
NEW YORK No. 002359
NEW HAMPSHIRE No. 109
CONNECTICUT No. 1359

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PLAN APPROVALS

	DATE	SIGNATURE
APPROVED McDONALD'S AGENT		

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PROJECT No.: M182017

CAD I.D. #: M182017_SS2.dwg

BID SET

STREET ADDRESS: 159 HATHAWAY ROAD

CITY: NEW BEDFORD
STATE: MASSACHUSETTS
COUNTY: BRISTOL

SITE I.D.: 20-0293

PLAN DESCRIPTION: LANDSCAPE PLAN

STATUS	DATE	BY
DRAWN BY:	2/19/19	DJF
PLAN CHECKED	2/19/19	WL
AS-BUILT		

SHEET NO. C-6
OF 9

811 Know what's below. Call before you dig.

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LANDSCAPE SPECIFICATIONS

1. SCOPE OF WORK:

THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

2. MATERIALS

A. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.

B. TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.

C. LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM 6" THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED ON LANDSCAPE PLAN
- I. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.
- II. SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE/PEST FREE WITH A UNIFORM THICKNESS. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.

D. MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN AND/OR DETAILS.

E. FERTILIZER
- I. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.
- II. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.

F. PLANT MATERIAL
- I. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN).
- II. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.
- III. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.
- IV. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1¼", WHICH HAVE NOT BEEN COMPLETELY CALLUSED, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.
- V. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH: WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.
- VI. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.
- VII. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.
- VIII. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

3. GENERAL WORK PROCEDURES

A. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.

B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.

4. SITE PREPARATIONS

A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.

B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.

C. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.

5. TREE PROTECTION

A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.

B. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY 'VISI-FENCE', OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.

C. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.

D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.

6. SOIL MODIFICATIONS

A. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.

B. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.

C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.
- I. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.
- II. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.
- III. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

7. FINISHED GRADING

A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.

B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1"±).

C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.

D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.

8. TOPSOILING

A. CONTRACTOR SHALL PROVIDE A 6" THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.

B. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.
PS

C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.

D. ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA - FOR BID PURPOSES ONLY [SEE SPECIFICATION 6.A.]):
- I. 20 POUNDS 'GRO-POWER' OR APPROVED SOIL CONDITIONER/FERTILIZER
- II. 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP OR APPROVED NITROGEN FERTILIZER

E. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

9. PLANTING

A. INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.

B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.

C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.

D. ALL PLANTING CONTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.

E. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.

F. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:
- I. PLANTS: MARCH 15 TO DECEMBER 15
- II. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1

PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.

G. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:

ACER RUBRUM
BETULA VARIETIES
CARPINUS VARIETIES
CRATAEGUS VARIETIES
KOELREUTERIA
LIQUIDAMBAR STYRACIFLUA
LIRIODENDRON TULIPIFERA
PLATANUS X ACERIFOLIA
POPULUS VARIETIES
PRUNUS VARIETIES
PYRUS VARIETIES
QUERCUS VARIETIES
TILIA TOMENTOSA
ZELKOVA VARIETIES

H. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:
- I. 1 PART PEAT MOSS
- II. 1 PART COMPOSTED COW MANURE BY VOLUME
- III. 3 PARTS TOPSOIL BY VOLUME
- IV. 21 GRAMS 'AGRIFORM' PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:
  - A) 2 TABLETS PER 1 GALLON PLANT
  - B) 3 TABLETS PER 5 GALLON PLANT
  - C) 4 TABLETS PER 15 GALLON PLANT
  - D) LARGER PLANTS: 2 TABLETS PER ½" CALIPER OF TRUNK

I. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY.

J. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.

K. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.

L. GROUND COVER AREAS SHALL RECEIVE A ¼" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.

M. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.

N. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.

O. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.

10. TRANSPLANTING (WHEN REQUIRED)

A. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.

B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.

C. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.

D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.

E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.

F. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.

11. WATERING

A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.

B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.

C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.

12. GUARANTEE

A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF 1YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.

B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.

C. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.

D. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.

13. CLEANUP

A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED.

B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.

14. MAINTENANCE (ALTERNATIVE BID):

A 90 DAY MAINTENANCE PERIOD SHALL COMMENCE AT THE END OF ALL LANDSCAPE INSTALLATION OPERATIONS. THE 90 DAY MAINTENANCE PERIOD ENSURES TO THE OWNER/OPERATOR THAT THE NEWLY INSTALLED LANDSCAPING HAS BEEN MAINTAINED AS SPECIFIED ON THE APPROVED LANDSCAPE PLAN. ONCE THE INITIAL 90 DAY MAINTENANCE PERIOD HAS EXPIRED, THE OWNER/OPERATOR MAY REQUEST THAT BIDDERS SUBMIT AN ALTERNATE MAINTENANCE BID FOR A MONTHLY MAINTENANCE CONTRACT. THE ALTERNATE MAINTENANCE CONTRACT WILL ENCOMPASS ANY WORK THAT IS CONSIDERED APPROPRIATE TO ENSURE THAT PLANT AND LAWN AREAS ARE HEALTHY AND MANICURED TO THE APPROVAL OF THE OWNER/OPERATOR.

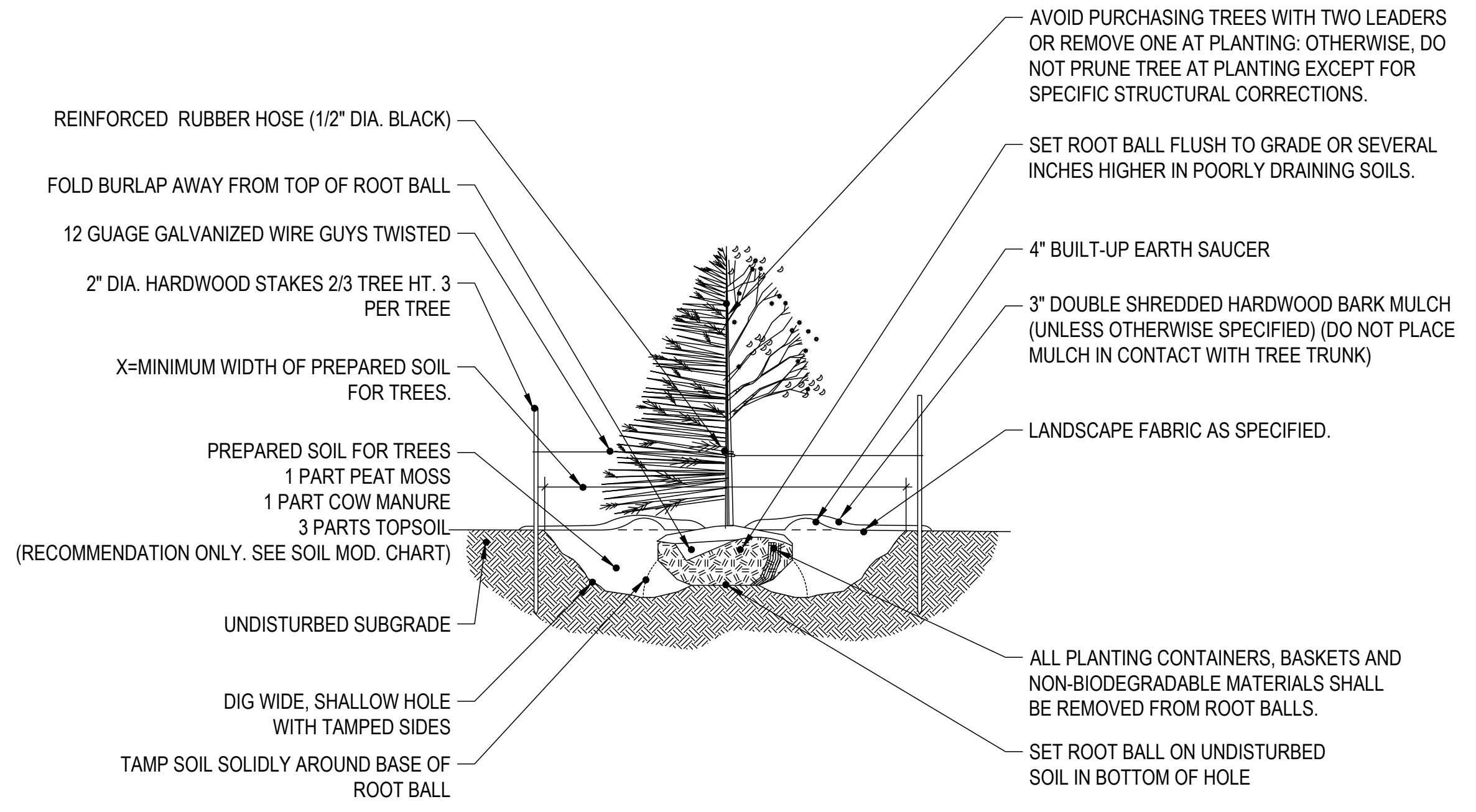
HYDROSEED SPECIFICATIONS

1. PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" DIAMETER.
2. PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
3. SEEDING RATES:

• PERENNIAL RYEGRASS	1/2 LB/1000 SQ FT
• KENTUCKY BLUEGRASS	1 LB/1000 SQ FT
• RED FESCUE	1/2 LB/1000 SQ FT
• SPREADING FESCUE	1/2 LB/1000 SQ FT
• FERTILIZER (16.32.16)	2 LB/1000 SQ FT
• LIQUID LIME	1 GAL/800 GAL.
• TANK TACKIFIER	35 LB/800 GAL.
• TANK FIBER MULCH	30 LB/1000 SQ FT

4. GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDED AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY OWNER.

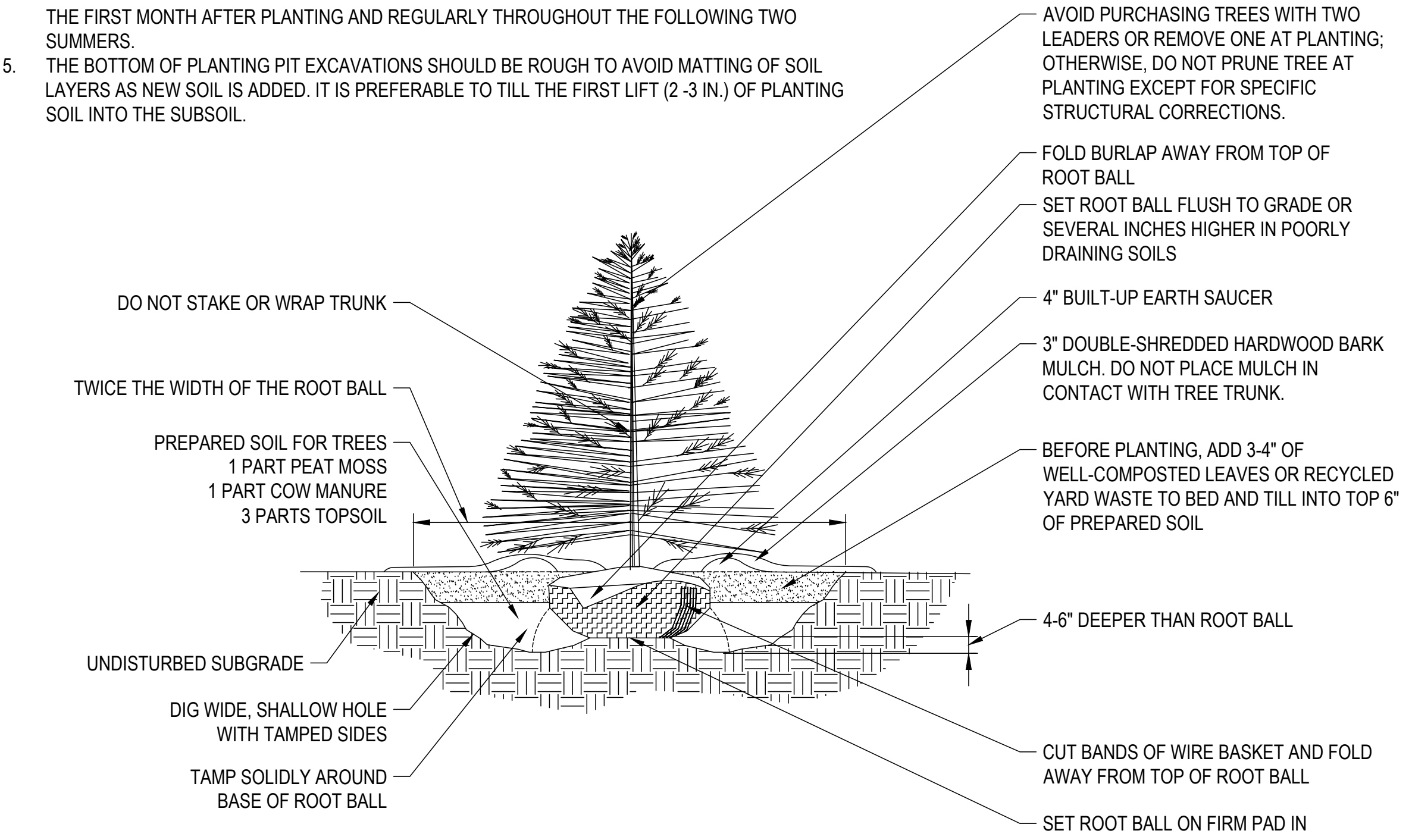
NOTES:
1.) NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
2.) REMOVE ALL NON-BIODEGRADABLE MATERIAL AND ROPE FROM TRUNK & TOP OF ROOT BALL. FOLD BURLAP BACK 1/3 FROM ROOT BALL.
3.) PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY.
4.) THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
5.) THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE ROUGH TO AVOID MATTING OF SOIL LAYERS AS NEW SOIL IS ADDED. IT IS PREFERABLE TO TILL THE FIRST LIFT (2 TO 3 IN.) OF PLANTING SOIL INTO THE SUBSOIL.
6.) REFER TO THE CHART "GENERAL RANGE OF SOIL MODIFICATIONS & VOLUMES FOR VARIOUS SOIL CONDITIONS" TO DETERMINE MINIMUM WIDTH OF PREPARED SOIL (X).
7.) SUBSTITUTE ARBORTIE STAKING SYSTEM WHEN SPECIFIED.



TREE PLANTING DETAIL

N.T.S.

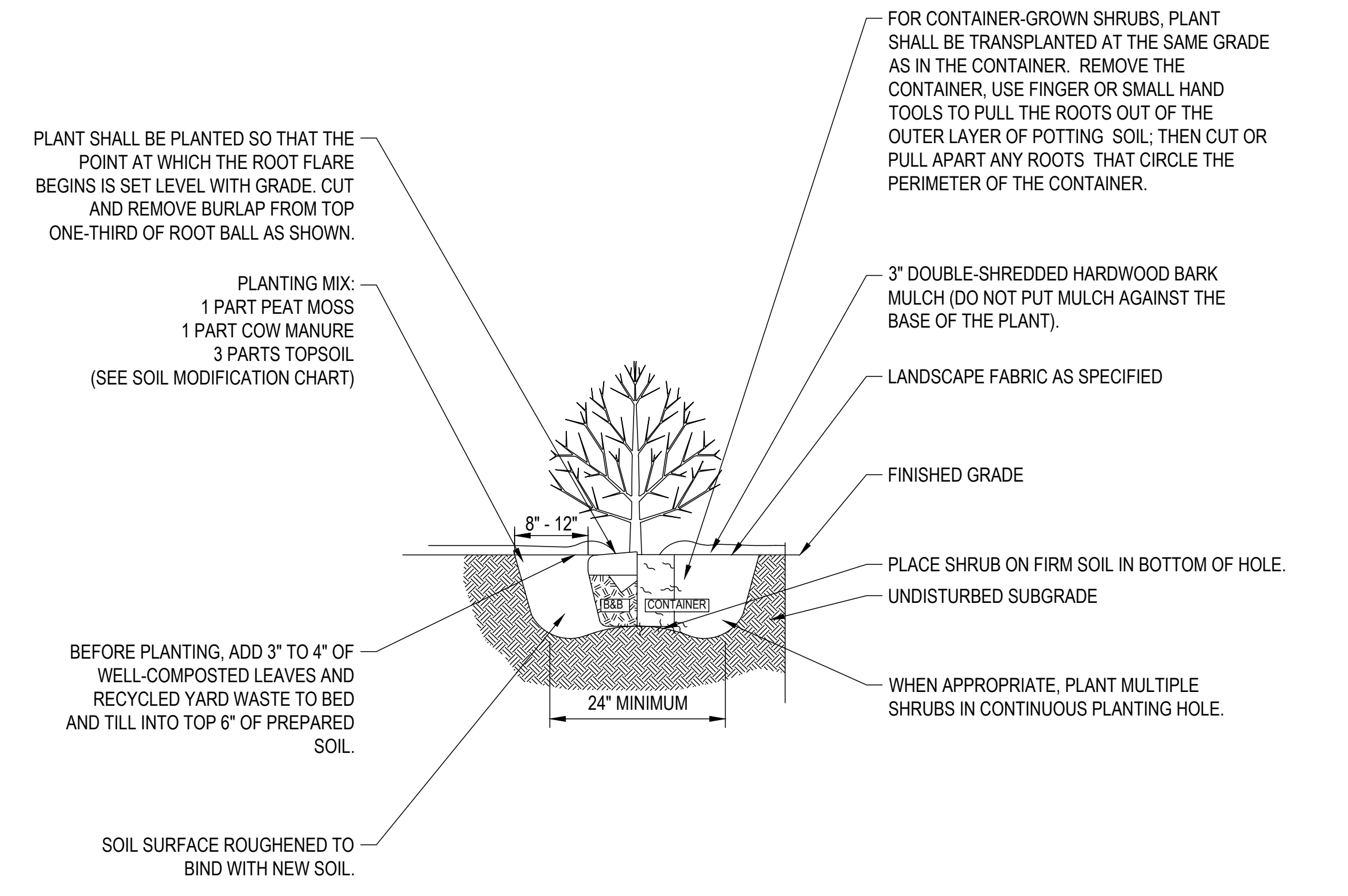
NOTES:
1. NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
2. REMOVE ALL ROPE FROM TRUNK & TOP OF ROOT BALL. FOLD BURLAP BACK 1/3 FROM TOP OF ROOT BALL.
3. PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY.
4. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
5. THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE ROUGH TO AVOID MATTING OF SOIL LAYERS AS NEW SOIL IS ADDED. IT IS PREFERABLE TO TILL THE FIRST LIFT (2 -3 IN.) OF PLANTING SOIL INTO THE SUBSOIL.



REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT

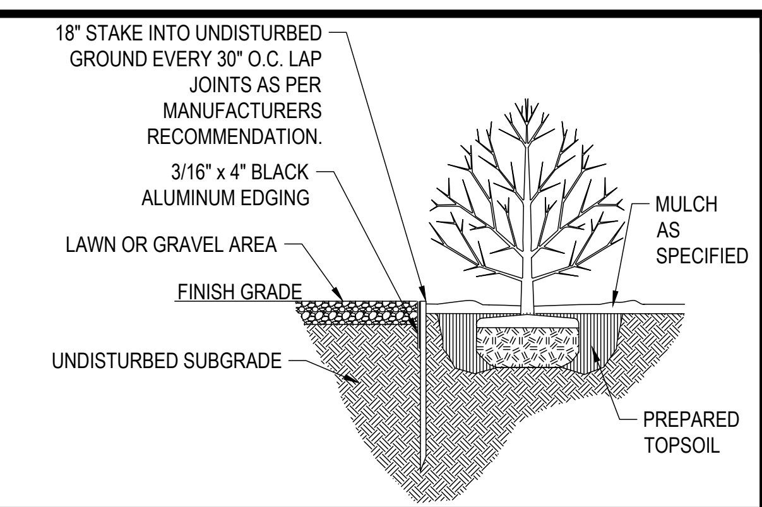
EVERGREEN TREE PLANTING DETAIL

N.T.S.



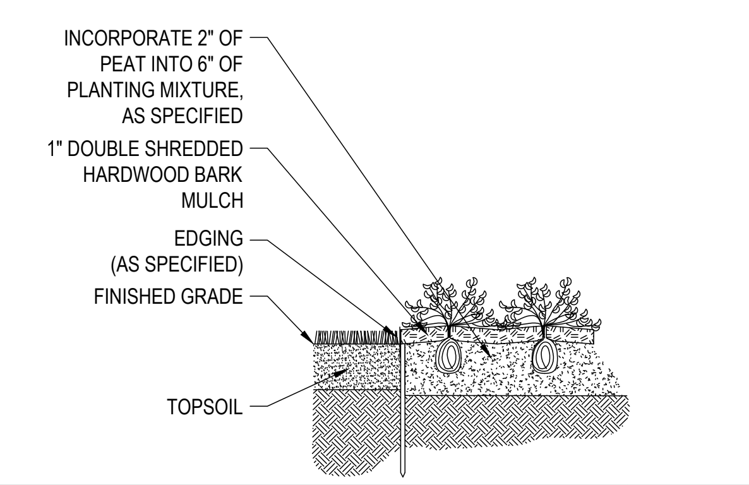
SHRUB PLANTING DETAIL

N.T.S.



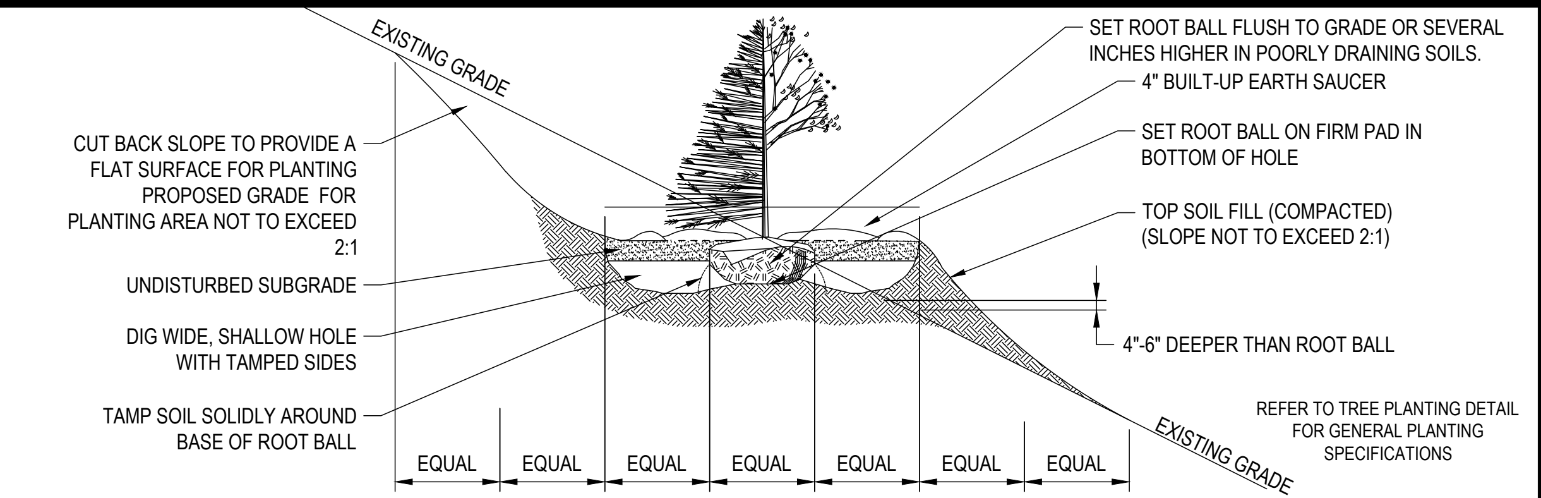
BLACK ALUMINUM EDGING

N.T.S.



GROUNDCOVER PLANTING

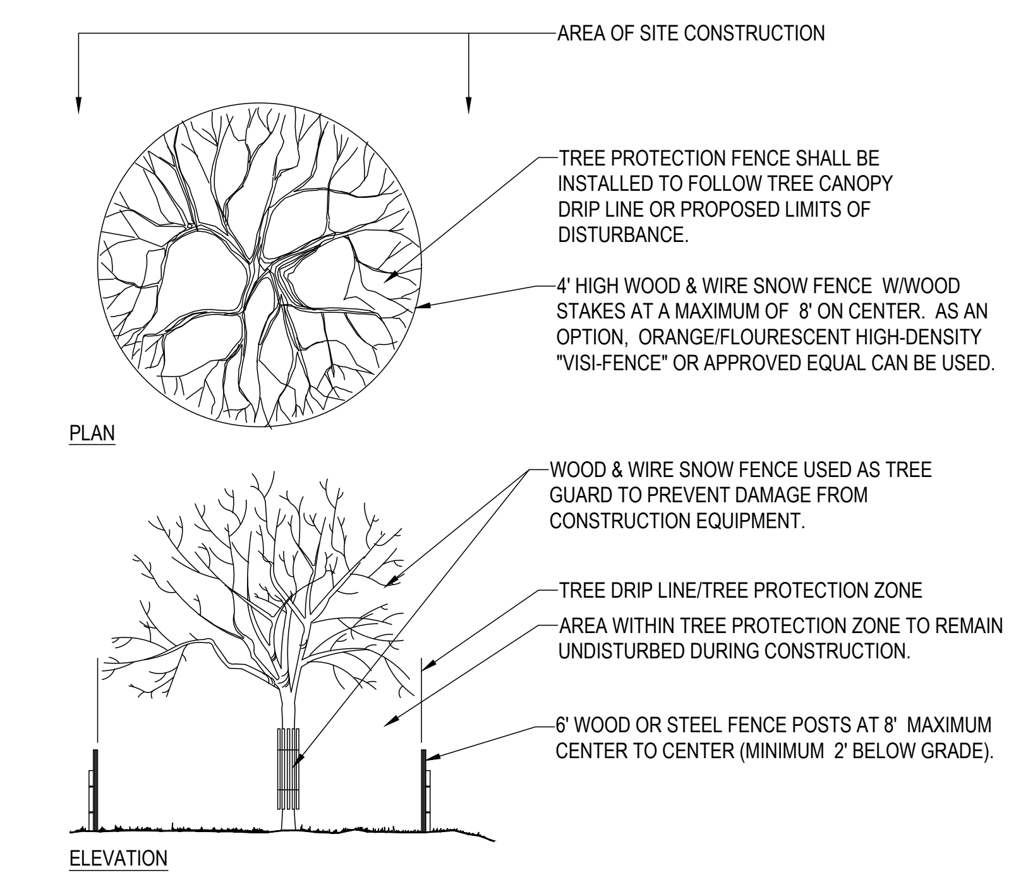
N.T.S.



REFER TO TREE PLANTING DETAIL FOR GENERAL PLANTING SPECIFICATIONS

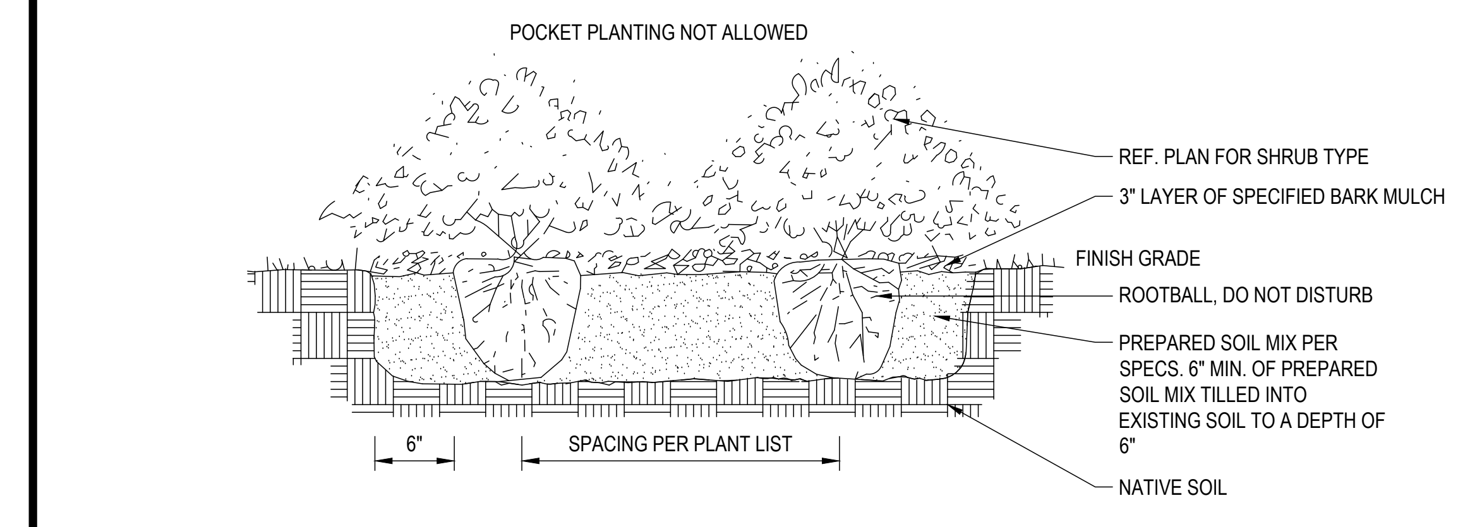
TREE PLANTING DETAIL - ON SLOPE

N.T.S.



TREE PROTECTION

N.T.S.



SHRUB/GROUNDCOVER DETAIL

N.T.S.

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Phone: (508) 480-9900
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COMPLIANCE CHECK DATE

CONSTRUCTION CHECK DATE

CONSTRUCTION CHECK DATE

PROJECT No.:
M182017

CAD I.D. #:
M182017_SS2.dwg

BID SET

STREET ADDRESS
159 HATHAWAY ROAD

CITY
NEW BEDFORD

STATE
MASSACHUSETTS

COUNTY
BRISTOL

SITE I.D.
20-0293

PLAN DESCRIPTION
LANDSCAPE NOTES & DETAILS SHEET

REV	DATE	DESCRIPTION	BY
1	06/11/19	PER RAMP/MENU BOARD REVISIONS	DJF
2	07/02/19	PER LANDSCAPE PLAN	DJF

M.J. MRVA
REGISTERED
LANDSCAPE ARCHITECT
MASSACHUSETTS No. 1217
RHODE ISLAND No. 419
NEW YORK No. 002359
NEW HAMPSHIRE No. 109
CONNECTICUT No. 1359

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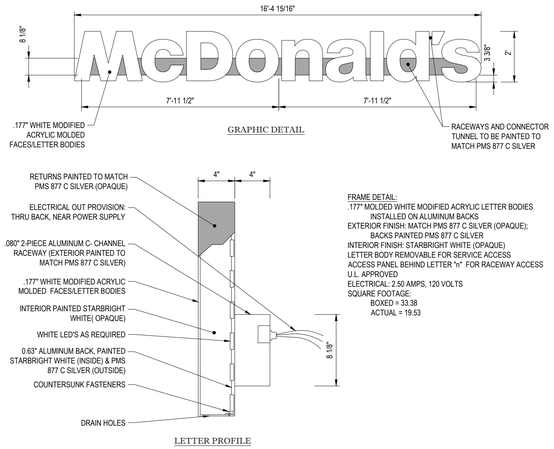
ADDRESS	110 N CARPENTER ST CHICAGO, IL 60607

PLAN APPROVALS

SIGNATURE	DATE
APPROVED McDONALD'S AGENT	

STATUS	DATE	BY
DRAWN BY:	2/19/19	DJF
PLAN CHECKED	2/19/19	WL
AS-BUILT		

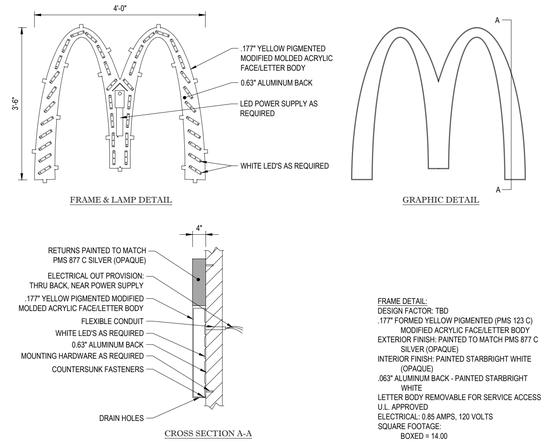
SHEET NO.
C-7
OF 9



FRAME DETAIL:
.177" MOLDED WHITE MODIFIED ACRYLIC LETTER BODIES INSTALLED ON ALUMINUM BACKS
EXTERIOR FINISH: MATCH PMS 877 C SILVER (OPAQUE); BACKS PAINTED PMS 877 C SILVER
INTERIOR FINISH: STARBRIGHT WHITE (OPAQUE)
LETTER BODY REMOVABLE FOR SERVICE ACCESS
ACCESS PANEL BEHIND LETTER "n" FOR RACEWAY ACCESS
U.L. APPROVED
ELECTRICAL: 2.50 AMPS, 120 VOLTS
SQUARE FOOTAGE:
BOXED = 33.38
ACTUAL = 19.53

MCD WORDMARK DETAIL

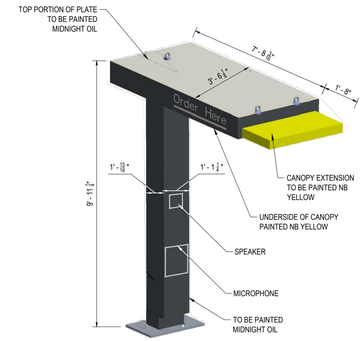
N.T.S.



FRAME DETAIL:
DESIGN FACTOR: TBD
.177" FORMED YELLOW PIGMENTED (PMS 123 C) MODIFIED ACRYLIC FACE/LETTER BODY
EXTERIOR FINISH: PAINTED TO MATCH PMS 877 C SILVER (OPAQUE)
INTERIOR FINISH: PAINTED STARBRIGHT WHITE (OPAQUE)
.063" ALUMINUM BACK - PAINTED STARBRIGHT WHITE
LETTER BODY REMOVABLE FOR SERVICE ACCESS
U.L. APPROVED
ELECTRICAL: 0.85 AMPS, 120 VOLTS
SQUARE FOOTAGE:
BOXED = 14.00
ACTUAL = 4.90

MCD WALL ARCH DETAIL

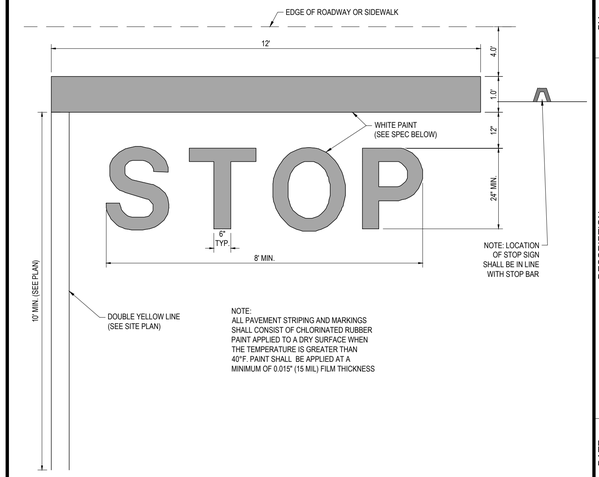
N.T.S.



(NOTE: FOUNDATION DESIGN TO BE PROVIDED BY CONTRACTOR.
CONTRACTOR SHALL OBTAIN FINAL SPECIFICATIONS FROM SIGN VENDOR)

CUSTOMER ORDER SPEAKER/CANOPY DETAIL

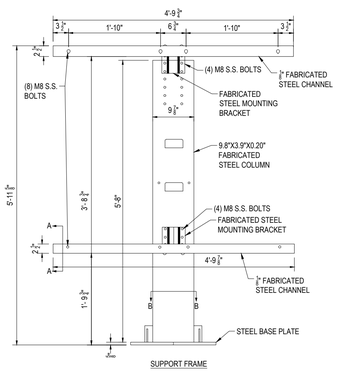
N.T.S.

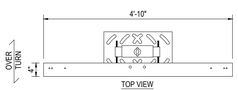


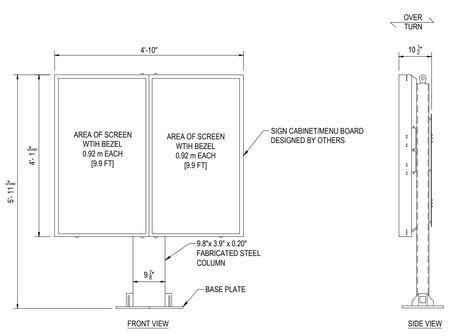
NOTE:
ALL PAVEMENT STRIPING AND MARKINGS SHALL CONSIST OF CHLORINATED RUBBER PAINT APPLIED TO A DRY SURFACE WHEN THE TEMPERATURE IS GREATER THAN 40°F. PAINT SHALL BE APPLIED AT A MINIMUM OF 0.015" (15 MIL) FILM THICKNESS

'STOP' BAR DETAIL

N.T.S.



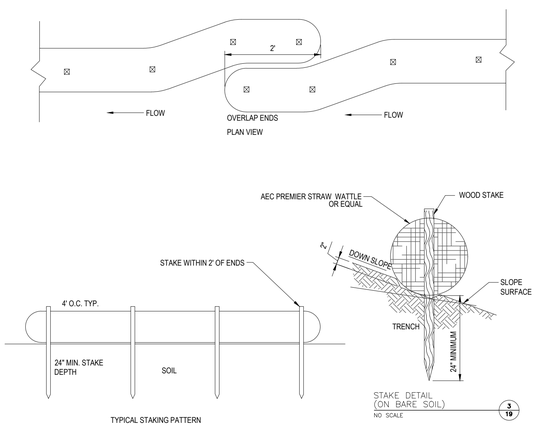




(NOTE: FOUNDATION DESIGN TO BE PROVIDED BY CONTRACTOR.
CONTRACTOR SHALL OBTAIN FINAL SPECIFICATIONS FROM SIGN VENDOR)

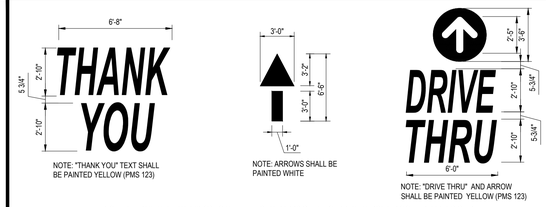
DIGITAL MENU BOARD DETAIL

N.T.S.



STRAW WATTLES

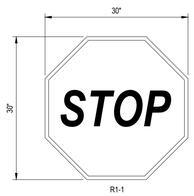
N.T.S.



NOTE: ALL PAVEMENT MARKINGS TO MEET THE STANDARDS OF THE CURRENT McDONALD'S SITE PLANNING GUIDE.

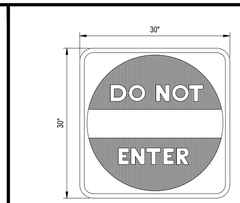
TYPICAL PAVEMENT MARKINGS

N.T.S.



'STOP' SIGN

N.T.S.



'DO NOT ENTER' SIGN

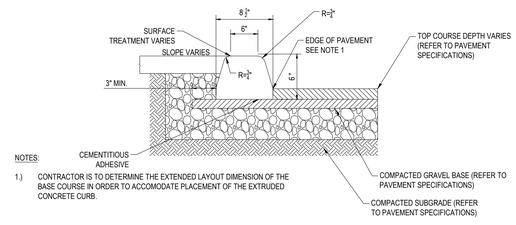
N.T.S.

NOTES:

1. SIGN SHALL BE MANUFACTURED BY PERSONA.
2. CONTRACTOR SHALL COORDINATE FINAL GRAPHIC TEXT OPTION WITH ACM AND OWNER/OPERATOR.
3. FOUNDATION DESIGN TO BE PROVIDED BY CONTRACTOR. CONTRACTOR SHALL OBTAIN FINAL SPECIFICATIONS FROM SIGN VENDOR.

MCD 36" NEXT GEN DIRECTIONAL SIGN

N.T.S.

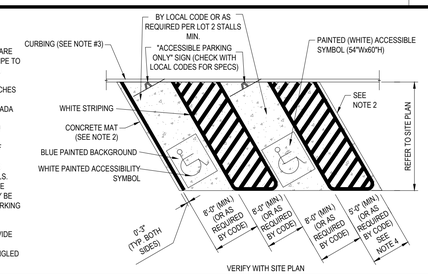


NOTES:
1.) CONTRACTOR IS TO DETERMINE THE EXTENDED LAYOUT DIMENSION OF THE BASE COURSE IN ORDER TO ACCOMODATE PLACEMENT OF THE EXTRUDED CONCRETE CURB.

EXTRUDED CONCRETE CURB

N.T.S.

NOTES:
1. ALL MINIMUM DIMENSIONS ARE FROM CENTERLINE OF STRIPE TO CENTERLINE OF STRIPE OR INSIDE FACE OF CURB.
2. POUR CONCRETE MAT 3-INCHES WIDER ON BOTH SIDES TO ENSURE ENTIRE WIDTH OF ADA PARKING SPACE STRIPE IS LOCATED ENTIRELY WITHIN CONCRETE MAT.
3. TOP OF CURB AND FACE OF CURB SHALL BE PAINTED YELLOW WHERE SIDEWALK CURBING ABUTS ADA STALLS.
4. A DESIGNATED 5-FOOT WIDE STRIPED AISLE SHALL ONLY BE REQUIRED IF A 3RD ADA PARKING SPACE IS PROVIDED.
5. ENSURE ACCESSIBLE VAN PARKING SPACE WILL PROVIDE ACCESS AISLE ON THE PASSENGER SIDE WHEN ANGLED PARKING IS USED.



ACCESSIBLE STALL MARKING

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BID SET
STREET ADDRESS: 159 HATHAWAY ROAD
CITY: NEW BEDFORD
STATE: MASSACHUSETTS
COUNTY: BRISTOL
SITE I.D.: 20-0293
PLAN DESCRIPTION: DETAIL SHEET

STATUS	DATE	BY
DRAWN BY:	2/19/19	DJF
PLAN CHECKED	2/19/19	WL
AS-BUILT		

SHEET NO. C-8 OF 9

REV	DATE	DESCRIPTION	BY
1	06/11/19	PER RAMP/MENU BOARD REVISIONS	DJF
2	07/02/19	PER LANDSCAPE PLAN	DJF

MARK M. WIXTED
CIVIL NO. 41708
PROFESSIONAL ENGINEER
MASSACHUSETTS LICENSE NO. 41708

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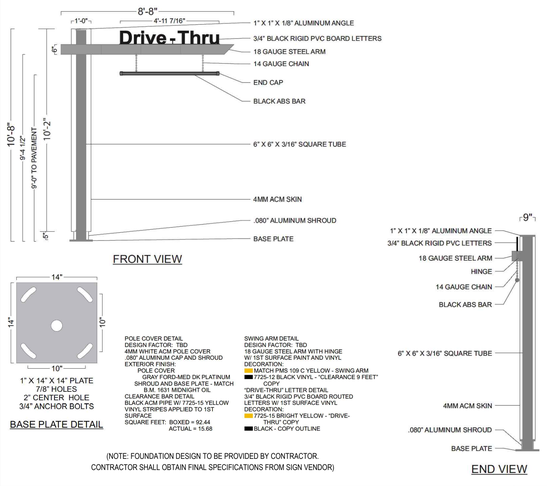
ADDRESS: 110 N CARPENTER ST, CHICAGO, IL 60607

PLAN APPROVALS
SIGNATURE | DATE
APPROVED McDONALD'S AGENT

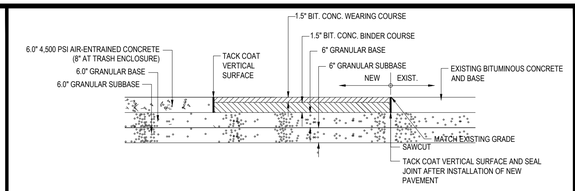
P:\182017\Drawings\Plan Sets\REZ\2018\2017_ss2-Avg_08-Details, 4/23/2010, 10:71:14 AM, dfox, Xerox5316-jpc3, User:634, 1:1



(NOTE: FOUNDATION DESIGN TO BE PROVIDED BY CONTRACTOR.
CONTRACTOR SHALL OBTAIN FINAL SPECIFICATIONS FROM SIGN VENDOR)

GATEWAY CLEARANCE BAR

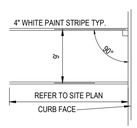
N.T.S.



NOTE: FINAL PAVEMENT SPECIFICATIONS TO BE COORDINATED WITH GEOTECHNICAL REPORT RECOMMENDATIONS. McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE, G.C. WILL BE CHARGED.

CONCRETE & BITUMINOUS CONCRETE PAVING DETAIL

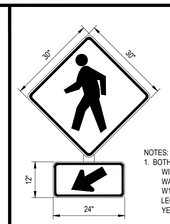
N.T.S.



90° PARKING

STALL STRIPING

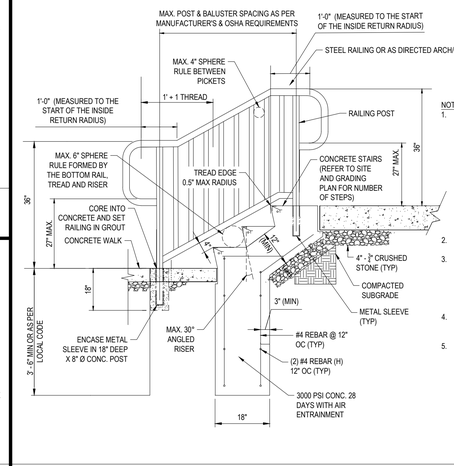
N.T.S.



NOTES:
1. BOTH SIGNS SHALL BE IN ACCORDANCE WITH THE LATEST MUTCD EDITION, WARNING SIGNS W11-2 (TOP) & W16-7P (BOTTOM) WITH A BLACK LEGEND ON A FLUORESCENT YELLOW-GREEN BACKGROUND

"PEDESTRIAN CROSSING" SIGN

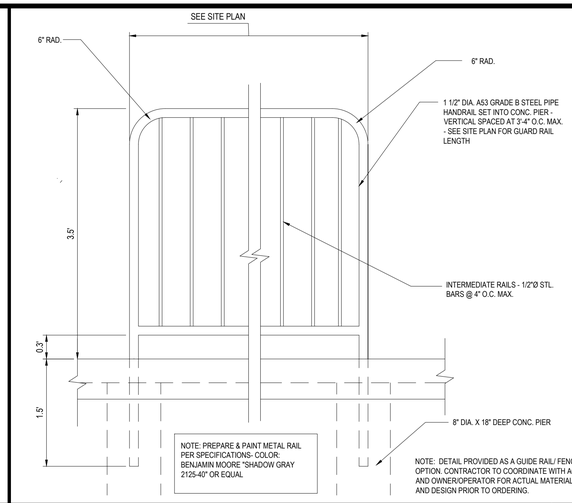
N.T.S.



NOTES:
1. THE EXTERIOR STAIRS SHALL HAVE A 2" EPOXY (YELLOW COLOR) CONTRASTING STRIP INSTALLED ON THE LEADING EDGE OF ALL TREADS, INCLUDING THE LOWEST STEP/CURB AND THE TOP STEP. CONTRACTOR SHALL PREPARE EDGES BY GRINDING DOWN SURFACE AS REQUIRED TO RECEIVE EPOXY STRIP, PROVIDING A FLUSH FINAL CONDITION.
2. ALL STAIRS REQUIRE TWO (2) HANDRAILS (ONE ON EACH SIDE).
3. ALL STAIRS REQUIRE TWO HANDRAILS (ONE ON EACH SIDE) EXTENDING 1' FROM THE TOP RISER & 1" + 1 THREAD LENGTH FROM BOTTOM RISER. TOTAL NUMBER OF STEPS MAY VARY.
4. 12" STAIR TREAD LENGTH (11" MIN.) & 6" RISER HEIGHT (4" MIN. / 7" MAX.)
5. MAX. 1.5% SLOPE ALL DIRECTIONS ON STAIRS AND 5.0'x5.0' TOP AND BOTTOM LANDINGS

CONCRETE STAIRS DETAIL

N.T.S.



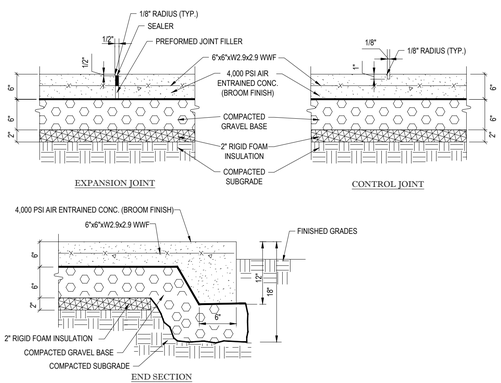
NOTE: PREPARE & PAINT METAL RAIL PER SPECIFICATIONS- COLOR: BENJAMIN MOORE "SHADOW GRAY 2125-40" OR EQUAL

NOTE: DETAIL PROVIDED AS A GUIDE RAIL/ FENCE OPTION. CONTRACTOR TO COORDINATE WITH ACM AND OWNER/OPERATOR FOR ACTUAL MATERIAL AND DESIGN PRIOR TO ORDERING.

HAND RAIL DETAIL

N.T.S.

REV	DATE	DESCRIPTION	BY
1	06/11/19	PER RAMP/MENU BOARD REVISIONS	DJF
2	07/02/19	PER LANDSCAPE PLAN	DJF

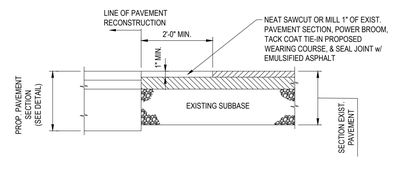


NOTES: TO BE USED FOR BUILDING SURROUND AND OTHER CONCRETE WALKS. USE CHAIRS TO SUPPORT REINFORCING STEEL DURING POUR. VARIES SEE PLAN

1. SEE SITE PLAN FOR WIDTH AND GRADES
2. PROVIDE MINIMUM 1/8"/FT. CROSS-SLOPE
3. PROVIDE CONTROL JOINTS 5'-0" O.C. MIN.
4. PROVIDE EXPANSION JOINTS 20'-0" O.C. MIN.
5. PROVIDE 2" RIGID FOAM IN NEW HAMPSHIRE & MAINE.
6. PIN SIDEWALK AT DOOR LANDINGS W/ #4 REBAR 12" O.C. IN NEW HAMPSHIRE & MAINE.

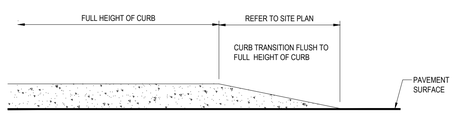
MONOLITHIC CONC. SIDEWALK DETAILS

N.T.S.



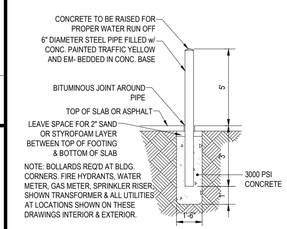
PAVEMENT TIE-IN DETAIL

N.T.S.



TRANSITION CURB DETAIL

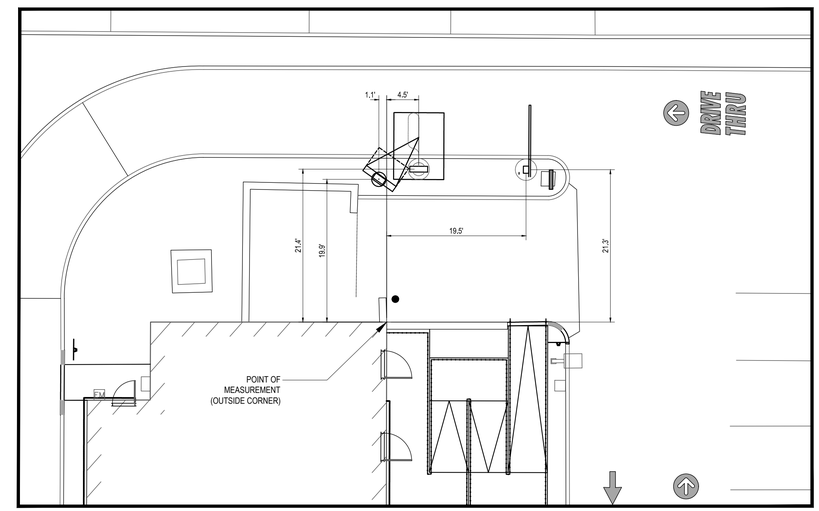
N.T.S.



NOTE: BOLLARDS REQ'D AT BLDG. CORNERS. FIRE HYDRANTS, WATER METER, GAS METER, SPRINKLER RISER, SHOWN TRANSFORMER & ALL UTILITIES AT LOCATIONS SHOWN ON THESE DRAWINGS INTERIOR & EXTERIOR.

BOLLARD DETAIL

N.T.S.



STANDARDS & DESIGN TOLERANCES:

1) DISTANCE FROM CENTER OF OPEN PRESENT WINDOW TO CENTER OF OPEN CASH WINDOW STANDARD IN 42'-45' AND IS SPECIFIC TO EACH BUILDING CONFIGURATION. ACCEPTABLE TOLERANCE IS 40' MIN ON REMODELS ONLY.
2) DISTANCE FROM CENTER OF OPEN CASH WINDOW TO CENTER OF PRIMARY LANE COD IS 100' OPTIMUM, 80' OR 60' MIN. ACCEPTABLE TOLERANCE IS PLUS OR MINUS 5' FOR 100' OR 80' QUEUES.
3) THE CENTER OF THE DIGITAL MENU BOARD FOUNDATION IS TO BE 5'-8" (5'-0" MIN. AND 6'-0" MAX.) FROM THE CENTER OF THE COD FOUNDATION. IT SHOULD BE AT AN ANGLE OF APPROXIMATELY 25° TO 35° (35° PREFERRED) FROM A CAR POSITIONED AT THE COD AND WITH 100% VISIBILITY.
4) DIGITAL PRE-BROWSE BOARD MUST BE 18"-24" FROM FACE OF CURB. THE DISTANCE BETWEEN THE PRIMARY COD AND PRE-BROWSE BOARD IS TO BE 15' AS MEASURED ALONG THE CENTER LING OF THE LANE. THIS IS MEASURED FROM THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE CENTER OF THE COD FOUNDATION. THE ANGLE (APPROXIMATELY 50°) OF THE PRE-BROWSE BOARD SHOULD MAXIMIZE VISIBILITY FROM THE SECOND CAR TO COD.
5) A GATEWAY IS REQUIRED AND PLACED AT THE DRIVE-THRU LANE ENTRANCE.

NOTE: THE PLACEMENT OF THE CODs SHOULD BE SUCH THAT IT PREVENTS, OR MINIMIZES, BLOCKING THE CUSTOMER'S VIEW OF THE MENU BOARD WHILE ORDERING.

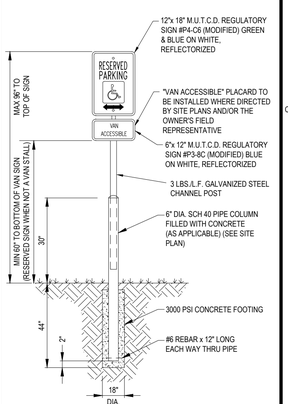
NOTE: LINEAR DIMENSIONS ARE MEASURED PERPENDICULAR TO THE BUILDING FACES SHOWN UNLESS OTHERWISE NOTED.

NOTE: ALL SIGN BOLLARDS ARE TO BE 18"-24" FROM FACE OF CURB, THIS IS MEASURED FROM THE CLOSEST POINT ON THE SIGN.

THE REGIONAL CONSTRUCTION MANAGER IS TO REVIEW AND APPROVE ALL DRIVE-THRU LAYOUTS. A DRIVE-THRU IS FINAL, AND CONSIDERED "RED", ONCE APPROVED. NO CHANGES ARE TO BE MADE AFTER THIS POINT.

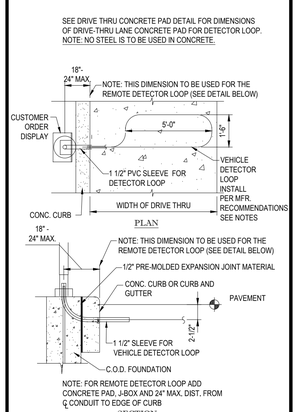
DRIVE-THRU

SCALE: 1"=10'



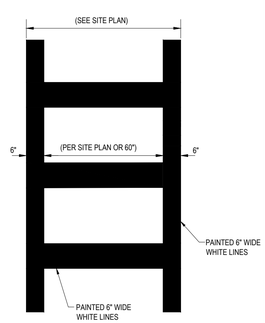
ACCESSIBLE PARKING SIGN

N.T.S.



AUTO DETECTOR LOOP DETAIL

N.T.S.



CROSSWALK DETAIL

N.T.S.

NOTES:
1. WHITE LETTERS ON BLUE ADA SIGN BACKGROUND
2. SIGN SHALL BE BY COMPLIANCESIGNS.COM OR APPROVED EQUAL
3. SIGN SHALL BE MOUNTED IN ACCORDANCE WITH ADA/AAB REQUIREMENTS

"WALK NOT HANDICAP ACCESSIBLE" SIGN DETAIL

N.T.S.

BOHLER ENGINEERING
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING · SUSTAINABLE DESIGN · PROGRAM MANAGEMENT · PERMITTING SERVICES · LANDSCAPE ARCHITECTURE · TRANSPORTATION SERVICES
UPSTATE NEW YORK · NEW ENGLAND · BOSTON, MA · NEW YORK, NY · NEW YORK METRO · NORTHERN NEW JERSEY · SOUTHERN NEW JERSEY · PHILADELPHIA, PA · PITTSBURGH, PA · LEHIGH VALLEY, PA · SOUTHEASTERN, PA · REHOBOTH BEACH, DE · BALTIMORE, MD · SOUTHERN MARYLAND · NORTHERN VIRGINIA · CENTRAL VIRGINIA · RALEIGH, NC · WASHINGTON, DC · CHARLOTTE, NC · ATLANTA, GA · TAMPA, FL · SOUTH FLORIDA · DALLAS, TX

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
www.BohlerEngineering.com

COMPLIANCE CHECK DATE
CONSTRUCTION CHECK DATE
CONSTRUCTION CHECK DATE

PROJECT No.: M182017

CAD I.D. #: M182017_SS2.dwg

BID SET

STREET ADDRESS: 159 HATHAWAY ROAD

CITY: NEW BEDFORD
STATE: MASSACHUSETTS
COUNTY: BRISTOL

SITE I.D.: 20-0293
PLAN DESCRIPTION: DETAIL SHEET

STATUS	DATE	BY
DRAWN BY:	2/19/19	DJF
PLAN CHECKED	2/19/19	WL
AS-BUILT		

SHEET NO. C-9 OF 9

MARK M. WIXTED
MARK M WIXTED
CIVIL
NO. 41708
PROFESSIONAL ENGINEER
MASSACHUSETTS REGISTERED PROFESSIONAL ENGINEER

McDonald's

OFFICE: BOSTON REGION
ADDRESS: 110 N CARPENTER ST CHICAGO, IL 60607

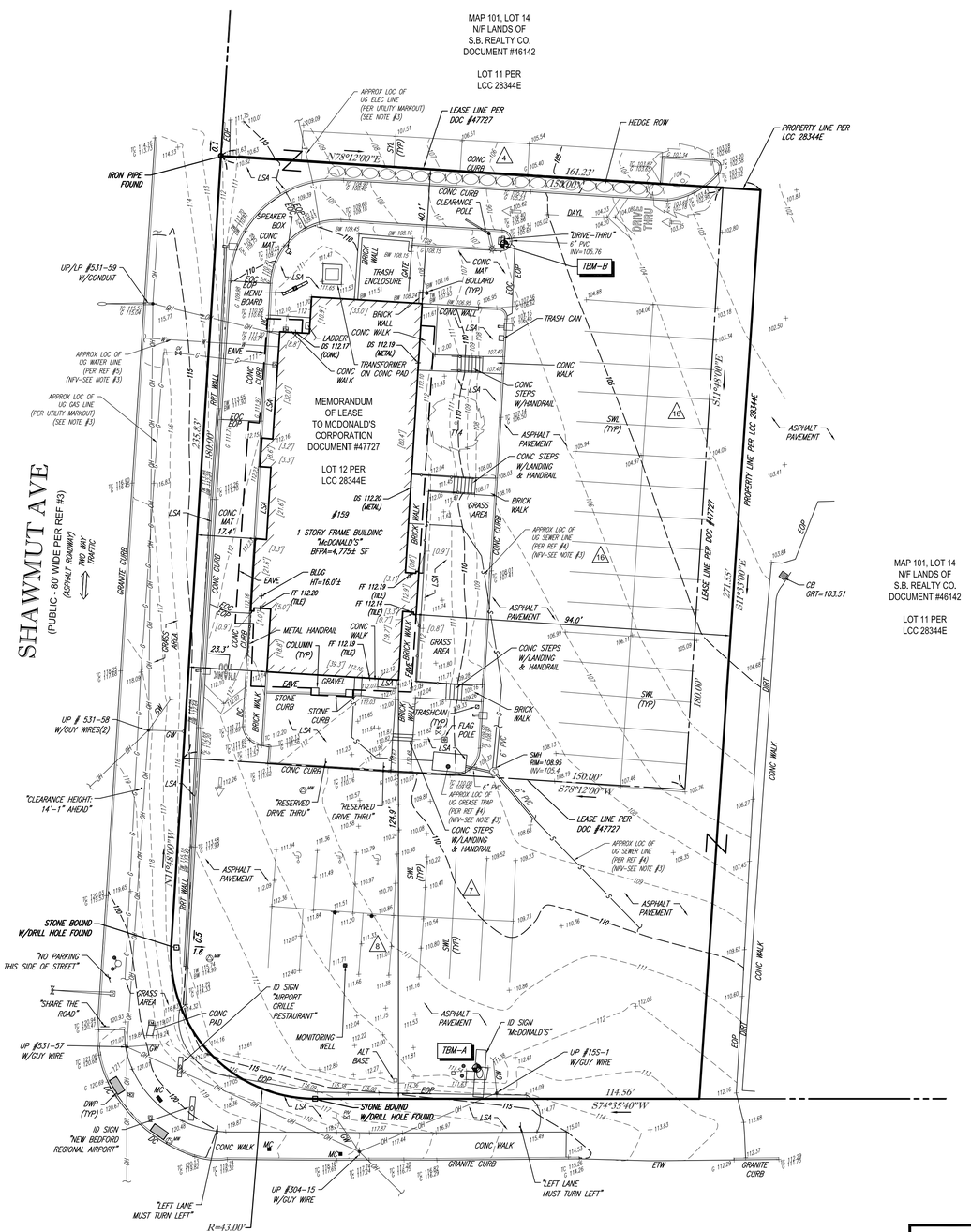
PLAN APPROVALS

SIGNATURE	DATE
APPROVED MCDONALD'S AGENT	

P:\182M182017\Drawings\Plan Sets\REV2\M182017_ss2.dwg, 09-Details, 4/23/2019, 10:17:14 AM, dlox, Xerox3510-1.pc3, User:SYL 1:1

LEGEND

124	EXISTING CONTOUR
125	EXISTING CONTOUR
× 123.45	EXISTING SPOT ELEVATION
× TC 123.45	EXISTING TOP OF CURB ELEVATION
× G 122.95	EXISTING GUTTER ELEVATION
× TW 123.45	EXISTING TOP OF WALL ELEVATION
× BW 122.95	EXISTING BOTTOM OF WALL ELEVATION
× FF 123.45	EXISTING FINISHED FLOOR ELEVATION
× DS 123.45	EXISTING DOOR SILL ELEVATION
	HYDRANT
WV	WATER VALVE
PIV	PRESSURE INDICATOR VALVE
GV	GAS VALVE
GM	GAS METER
EM	ELECTRIC METER
OH	OVERHEAD WIRES
G	APPROX. LOC. UNDERGROUND GAS LINE
E	APPROX. LOC. UNDERGROUND ELECTRIC LINE
S	APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE
W	APPROX. LOC. UNDERGROUND WATER LINE
UP	UTILITY POLE
UPLP	UTILITY POLE/LIGHT POLE
GW	GUY WIRE
	TRAFFIC SIGNAL POLE
	TRAFFIC SIGNAL
MW	MONITORING WELL
	AREA LIGHT
	SIGN
	BOLLARD
	PAINTED ARROWS
UC	UNDER GROUND
DC	DEPRESSED CURB
EOC	EDGE OF CONCRETE
EOP	EDGE OF PAVEMENT
LSA	LANDSCAPED AREA
MC	METAL COVER
RRT WALL	RAILROAD TIE WALL
(TYP)	TYPICAL
SMH	SANITARY/SEWER MANHOLE
CB	CATCH BASIN OR INLET
	TREE & TRUNK SIZE
10	PARKING SPACE COUNT
	DEPRESSED CURB
DWP	DETECTABLE WARNING PAD
SWL	SOLID WHITE LINE
SYL	SOLID YELLOW LINE
HT	HEIGHT
DAYL	DASHED YELLOW LINE
BLDG	BUILDING
BFPA	BUILDING FOOTPRINT AREA
PVC	POLYVINYL CHLORIDE PIPE
INV	INVERT ELEVATION
GRT	GRATE ELEVATION
NFV	NOT FIELD VERIFIED



LOCUS MAP

NOTES:

1. PROPERTY KNOWN AS LOT 14 AS SHOWN ON THE CITY OF NEW BEDFORD, BRISTOL COUNTY, COMMONWEALTH OF MASSACHUSETTS ASSESSOR'S MAP NO. 101.
2. AREA = 43,966 SQUARE FEET OR 1.009 ACRES
3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE, LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
5. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
6. BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2
7. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS).

   TEMPORARY BENCH MARKS SET:
   TBM-A: BOXCUT SET IN CONCRETE SIGN BASE. ELEVATION = 111.92'
   TBM-B: BOXCUT SET IN CONCRETE SIGN BASE. ELEVATION = 106.66'

   PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
8. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
9. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
10. PER CONTRACTUAL AGREEMENT WITH THE CLIENT, TOPOGRAPHY AND LOCATIONS WERE LIMITED TO THE IMPROVED AREAS OF THE MCDONALD'S RESTAURANT. FEATURES WITHIN UNIMPROVED AREAS AND ADJOINING PROPERTIES HAVE BEEN OMITTED.
11. BUILDING DIMENSIONS SHOWN HEREON ARE MEASURED AT GROUND LEVEL OF BUILDING EXTERIOR.

REFERENCES:

1. THE TAX ASSESSOR'S MAP OF NEW BEDFORD, BRISTOL COUNTY, MASSACHUSETTS, SHEET #101.
2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, BRISTOL COUNTY, MASSACHUSETTS (ALL JURISDICTIONS), PANEL 387 OF 550," MAP NUMBER 25005C0387F, MAP REVISED: JULY 7, 2009.
3. LAND COURT CASE 28344E.
4. SEWER MAPPING PROVIDED BY THE CITY OF NEW BEDFORD DEPARTMENT OF PUBLIC WORKS.
5. WATER MAPPING PROVIDED BY THE CITY OF NEW BEDFORD DEPARTMENT OF PUBLIC WORKS.

UTILITIES:

THE FOLLOWING COMPANIES WERE NOTIFIED BY MASSACHUSETTS ONE-CALL SYSTEM (1-888-344-7233) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST.
SERIAL NUMBER(S): 20173007678

UTILITY COMPANY	PHONE NUMBER
NSTAR ELECTRIC-COM	800-592-2000
NSTAR GAS	800-592-2000
COMCAST - PEMBROKE	800-934-6489
VERIZON	508-429-1022
ON TARGET LOCATING	508-429-1022

1-888-344-7233 STOP, CALL BEFORE YOU DIG!

THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.

HATHAWAY ROAD

(PUBLIC - 60' WIDE)
(ASPHALT ROADWAY)
⟷ TWO WAY TRAFFIC

GRAPHIC SCALE
20 0 10 20 40 80
(IN FEET)
1 inch = 20 ft.

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL

GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211
DATE

FIELD DATE	8-28-17
FIELD BOOK NO.	17-10MA
FIELD BOOK PG.	59-60
FIELD CREW	B.S.B.
DRAWN:	PRIMA

BOUNDARY & PARTIAL TOPOGRAPHIC SURVEY
McDONALD'S USA, LLC
159 HATHAWAY ROAD
LOT 14, MAP 101
CITY OF NEW BEDFORD
BRISTOL COUNTY
COMMONWEALTH OF MASSACHUSETTS
L/C# 020-0293

CONTROL POINT ASSOCIATES, INC.
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
508.948.3000 - 508.948.3003 FAX
ALBANY, NY 5182175010
BOSTON, MA 8574003311
CHALFONT, PA 2157129800
MANHATTAN, NY 6467800411
MT LAUREL, NJ 6098572099
WARREN, NJ 9086680099

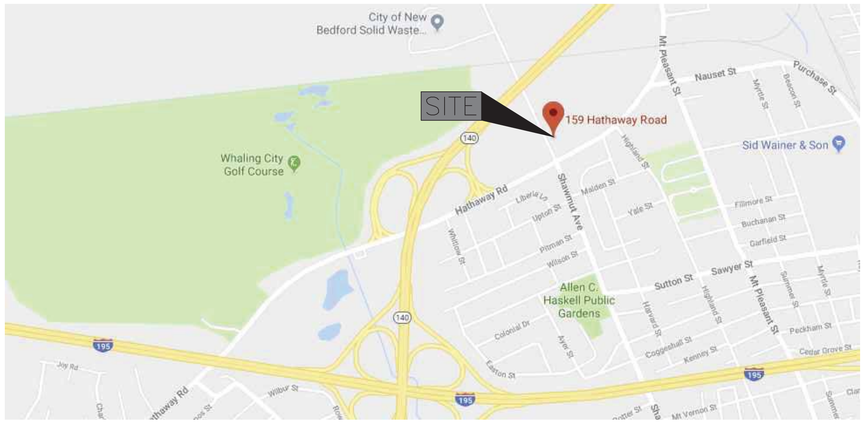
REVIEWED:	APPROVED:	DATE	SCALE	FILE NO.	DWG. NO.
R.D.N.	G.L.H.	8-31-17	1"=20'	03-170094	1 OF 1

EXIT/OCCUPANCY LOAD CALCULATIONS:

DINING AREA FIXED SEATS:		88	OCC.
QUEUING AREA:	72 SF/5	15	OCC.
CREW ROOM/OFFICE:	170 SF/100	2	OCC.
KITCHEN/SERVICE AREA:	1,141 SF/200	6	OCC.
STORAGE AREA:	976 SF/300	4	OCC.
TOTAL OCCUPANTS:		115	OCC.

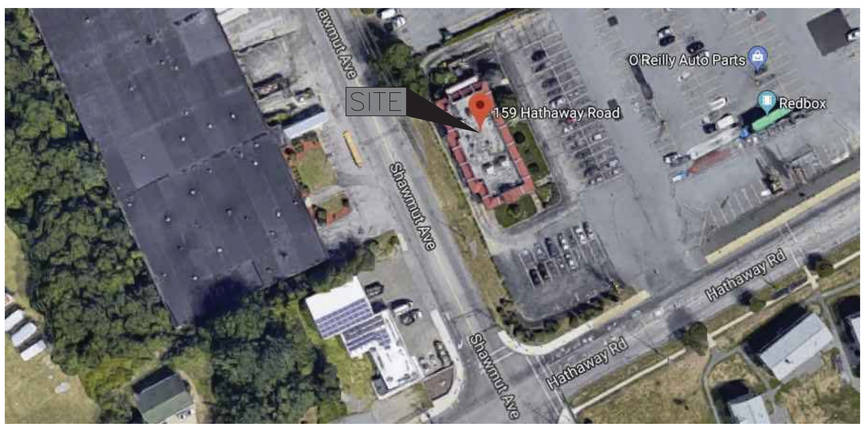
TOTAL EXIT WIDTH REQUIRED (115 OCC. x 0.2):	23"
TOTAL EXIT WIDTH PROVIDED:	238"
TOTAL NUMBER OF EXITS REQUIRED:	2
TOTAL EXITS PROVIDED:	6

1 / CV — NOT USED
NO SCALE



NORTH

2 / CV — VICINITY MAP
NOT TO SCALE



NORTH

3 / CV — AERIAL VIEW
NOT TO SCALE

2017 MAJOR REMODEL PROJECT

CORE 16 EXTERIOR – NON PLAYPLACE

BOSTON REGION

BUILDING INFORMATION:

ADDRESS:

STATE SITE CODE:	20–0293
STREET ADDRESS:	159 HATHAWAY ROAD
CITY:	NEW BEDFORD
COUNTY:	BRISTOL COUNTY
STATE:	MA

STRUCTURE:

EXISTING STRUCTURE TO REMAIN (VERIFY IN FIELD)

UTILITIES:

EXISTING UTILITIES TO REMAIN (VERIFY IN FIELD)

ZONING DATA:

PARCEL ID:	MAP: 101 LOT: 14		
ZONING CLASSIFICATION:	IB (INDUSTRIAL B)		
MIN. SETBACK REQUIREMENTS:	FRONT = 25'	SIDE = 25'	REAR = 25'
PROPOSED SETBACK:	FRONT = NO CHANGE	SIDE = NO CHANGE	REAR = CHANGE
COMMUNITY PANEL NO.:	25005C0387F		
FLOOD INSURANCE RATE MAP:	ZONE X (AREA OF MIN. FLOODING)		

BUILDING DATA:

OCCUPANCY CLASSIFICATION:	ASSEMBLY A–2 (EXISTING TO REMAIN)
CONSTRUCTION TYPE:	EXISTING BUILDING (TYPE III/V–MASONRY AND WOOD FRAME–UNPROTECTED, UNSPRINKLERED)
RENOVATION TYPE:	EXTERIOR/INTERIOR ALTERATION – LEVEL II
NUMBER OF STORIES:	1
BUILDING HEIGHT:	19'–4"
GROSS BUILDING AREA:	EXISTING GROSS AREA 4,677 SF / ADDITION GROSS AREA 24 SF / TOTAL GROSS AREA 4,701 SF FLOOR AREA WITH ADDITION 4,337 SF / WORK AREA WITH ADDITION 2,039 SF
*EXISTING OCCUPANCY:	NO CHANGE

BUILDING CODE:

BUILDING CODE:	IBC 2015, IEBC 2015, THE COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE 780 CMR – NINTH EDITION
PLUMBING CODE:	THE COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE 248 CMR
ELECTRICAL CODE:	THE COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE 527 CMR 12
MECHANICAL CODE:	IMC 2015, THE COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE 780 CMR 21.00 – NINTH EDITION
ENERGY CODE:	IECC 2015
ACCESSIBILITY CODE:	2010 ADA STANDARDS, ACCESSIBLE & USABLE BUILDING & FACILITIES 2003 EDITION
FIRE CODE:	LIFE SAFETY CODE NFPA 1 WITH MASSACHUSETTS AMENDMENTS AND THE INTERNATIONAL FIRE CODE (IFC) WITH REFERENCE TO 527 CMR: BOARD OF FIRE PREVENTION REGULATIONS.

LIFE SAFETY SYSTEM:

1. EMERGENCY LIGHTS: PROVIDE EMERGENCY LIGHTS OF ONE FOOT CANDLE AT FLOOR LEVEL. COMPLY WITH ALL GOVERNING CODES.
2. EXIT SIGNS: PROVIDE EXIT SIGN WITH 6" LETTERS AT REQUIRED EXITS, WHERE SHOWN ON DRAWINGS AND ADDITIONAL SIGNS AS REQUIRED BY BUILDING DEPARTMENT INSPECTOR OR FIRE DEPARTMENT INSPECT. CONNECT EXIST SIGNS TO EMERGENCY POWER CIRCUITS. COMPLY WITH BUILDING CODES.
3. PANIC HARDWARE: EVERY EXIT DOOR SHALL BE OPERABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. SPECIAL LOCKING DEVICE SHALL BE OF AN APPROVED TYPE. ALL NEW DOORS HAVE APPROVED LEVEL HANDLES.

SCOPE OF WORK:

THIS PROJECT IS AN INTERIOR AND EXTERIOR ALTERATION. THE SCOPE OF WORK INCLUDES THE FOLLOWING:

1. RESTROOM UPGRADE
2. NEW EXTERIOR SIGNAGE
3. UPGRADE BUILDING EXTERIOR FINISHES
4. NEW SEATING LAYOUT WITH NEW FINISHES
5. NEW FRONT COUNTER AND FINISHES
6. NEW INTERIOR FINISHES AND FURNITURE

DESIGNER OF RECORD:

DISCIPLINE:	NAME:	MAILING ADDRESS:	PHONE #:	LICENSE #:
ARCHITECT:	CHRIS PETERSON	29 MAIN STREET COLD SPRING HARBOR, NY 11724	631–498–6168	
ENGINEER:	SHAUN McGRATH	29 MAIN STREET COLD SPRING HARBOR, NY 11724	607–351–4544	54149

CONSTRUCTION PROJECT MANAGER:

	NAME:	MAILING ADDRESS:	EMAIL ADDRESS:	PHONE #:
MANAGER:	TESSA BERNSTEIN	690 CANTON ST. SUITE 310 WESTWOOD, MA 02090	Tessa.Bernstein@us.mcd.com	(781) 686–6313

SYMBOL LEGEND:

1 / A3.0	SECTION TAG	X	WINDOW TAG
5 / A6	DETAIL MARKER	X	DOOR TAG
XXX / ELEV. + X'–X"	ELEVATION TAG	DINING	ROOM NAME
1 / D1.0 — DETAIL NAME, 1" = 1'–0"	DETAIL TAG	X	PARTITION TAG

REVISIONS

DRAWING INDEX

CV COVER SHEET

ARCHITECTURAL
D1.0 DEMOLITION – FLOOR PLAN
D1.1 DEMOLITION – ELEVATIONS & NOTES
A0.1 GENERAL NOTES
A1.0 FLOOR PLAN
A1.1 ROOF PLAN
A1.2 ROOF LIGHTING PLAN
A2.0 ELEVATIONS
A2.1 ELEVATIONS
A3.0 WALL SECTION DETAILS
A3.1 WALL SECTIONS
A3.2 WALL SECTIONS
A3.3 WALL SECTIONS
A3.4 WALL SECTIONS
A3.5 WALL SECTIONS
A3.6 WALL SECTIONS
A4.0 BRAND WALL DETAILS
A4.1 ENLARGED RESTROOM PLAN
A4.2 ENLARGED RESTROOM CONSTRUCTION PLAN
A4.3 DETAILS, NOTES, & SCHEDULES
A4.4 ENLARGED VESTIBULE PLAN
A5.0 SAM DETAILS AND SECTIONS
A5.1 SAM DETAILS AND SECTIONS
A5.2 MODULAR FRONT COUNTER SLIP SHEET

STRUCTURAL
S1.0 MANSARD FRAMING DETAILS AND NOTES
S1.1 FOUNDATION PLAN AND DETAILS
S2.0 CONNECTOR SPECS

(UNDER A SEPARATE PERMIT)

ELECTRICAL
E1.0 ELECTRICAL SPECIFICATIONS AND GENERAL NOTES
E1.1 ELECTRICAL ROUGH–IN PLAN AND NOTES
E2.0 ELECTRICAL LIGHTING PLAN AND NOTES
E3.0 FIRE ALARM PLAN

PLUMBING
P1.0 GENERAL NOTES
P2.0 WASTE, VENT AND DOMESTIC PIPING PLAN
P3.0 PLUMBING RISER DIAGRAM, DETAILS AND SCHEDULES

GOVERNMENTAL AGENCIES:

DEPT.: ADDRESS: PHONE:	NEW BEDFORD BUILDING DEPARTMENT 133 WILLIAM STREET NEW BEDFORD, MA 02740 508–979–1540
DEPT.: CONTACT: ADDRESS: PHONE:	NEW BEDFORD FIRE DEPARTMENT SHAWN SIVIL 1204 PURCHASE STREET NEW BEDFORD, MA 02740 508–991–6120
DEPT.: ADDRESS: PHONE:	NEW BEDFORD HEALTH DEPARTMENT 1213 PURCHASE STREET NEW BEDFORD, MA 02740 508–991–6199

UTILITY SERVICE REQUIREMENTS:

ELECTRICAL:

POWER:	EXISTING NO CHANGE
LOAD:	EXISTING NO CHANGE
TOTAL DEMAND LOAD:	EXISTING NO CHANGE

TELEPHONE:
EXISTING NO CHANGE

WATER:
WATER SERVICE: EXISTING NO CHANGE

SEPTIC:
EXISTING NO CHANGE

GAS:
NATURAL GAS SERVICE: EXISTING NO CHANGE

GENERAL NOTE:
VERIFY ALL SERVICE REQS. W/ THE LOCAL UTILITY CITY AGENCIES.

REV	DATE	DESCRIPTION	BY
1	05.24.19	FOR FILING	CPC
0	02.01.19	FOR FILING	

COMMONWEALTH OF MASSACHUSETTS — SHAUN TIMOTHY McGRATH — CIVIL — No. 54149 — REGISTERED PROFESSIONAL ENGINEER

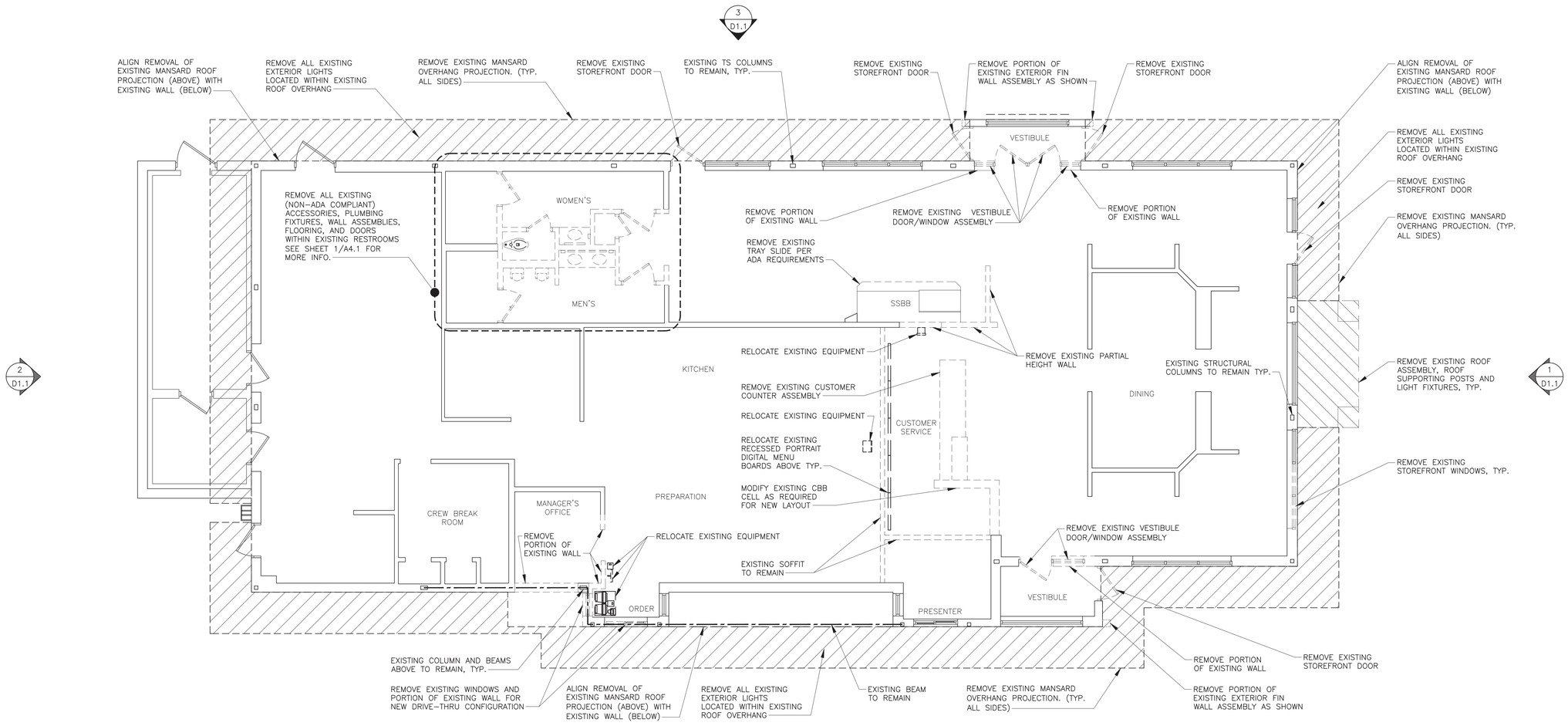
PREPARED BY:
SkyBorne Technologies
P.O. BOX 875
Westford, MA 01886

PREPARED FOR:
McDonald's USA, LLC

DRAWN BY: TAB
STD ISSUE DATE: FEB 2017
REVIEWED BY: PM
DATE ISSUED: 11/06/2018

TITLE: COVER SHEET
DESCRIPTION: REMODEL DESIGN PER 2017 MRP CRITERIA SET
CORE 16 EXTERIOR – NON PLAYPLACE
SITE ID: 20–0293
SITE ADDRESS: 159 HATHAWAY ROAD, NEW BEDFORD, MA.
PROJ.# XXXXXX

SHEET NO. CV
COVER SHEET



1 D1.0 DEMOLITION FLOOR PLAN
3/16" = 1'-0"

REMOVAL NOTES:

1. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS PRIOR TO COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNATED REPRESENTATIVE FOR CLARIFICATION AND AMENDMENT AS REQUIRED.
2. EXTENT OF REMOVAL SHOWN HEREON IS APPROXIMATE. COORDINATE EXACT REMOVAL REQUIREMENTS WITH EXTENT OF NEW WORK SHOWN ELSEWHERE IN THIS SET OF DRAWINGS.
3. ADEQUATELY PROTECT AND SECURE ALL PENETRATIONS AND OPENINGS IN THE EXTERIOR BUILDING ENVELOPE, DUE TO REMOVAL AND/OR CONSTRUCTION, FROM ALL MANNER OF FOUL WEATHER AND UNIMPEDED PERSONNEL ENTRY.
4. WALLS OF THIS BUILDING MAY SUPPORT PORTIONS OF THE EXISTING STRUCTURE. G.C. SHALL COORDINATE REMOVALS OF SELECTED PORTIONS OF SUCH WALLS FOR THE PURPOSE OF CREATING NEW MASONRY OPENINGS WITH RELATED TRADES.
5. TEMPORARY SHORING AND BRACING SHALL BE INTRODUCED WHEREVER NECESSARY TO ACCOMMODATE ALL LOADS WHICH THE STRUCTURE MAY BE SUBJECTED TO DURING CONSTRUCTION, INCLUDING ANY EQUIPMENT AND THE OPERATION(S) OF SAME. SUCH BRACING SHALL BE LEFT IN PLACE AS LONG AS REQUIRED FOR SAFETY, AND THEN REMOVED UPON COMPLETION OF PERMANENT INSTALLATION(S).
6. UNLESS OTHERWISE NOTED, REMOVE EXISTING FLOOR FINISHES DOWN TO SUBSTRATE AS REQUIRED TO ACCOMMODATE THE WORK.
7. DASHED LINES INDICATE THE REMOVAL, UNLESS OTHERWISE NOTED ON REMOVAL PLAN. GC TO VERIFY CONSTRUCTION PRIOR TO ISSUING BID PROPOSAL.
8. EXTREME CARE SHALL BE TAKEN TO ENSURE PROPER PATCHING/EXTENSION OF EXISTING ASSEMBLIES FROM LINE OF REMOVAL TO NEW CONSTRUCTION.
9. REMOVE ALL WOOD AND METAL STUD PARTITION TRACKS AT ALL REMOVED WALLS. ALL FOAM AND OTHER FIRESTOPPING MATERIALS TO BE SCRAPED FROM ALL SURFACES PRIOR TO PAINTING.
10. WHERE REMOVAL IS INDICATED, REMOVE PIPING, ELECTRIC OUTLETS, SWITCHES, THERMOSTATS, VOICE/DATA RECEPTACLES, SECURITY DEVICES, ETC. PULL ALL PLUMBING AND/OR WIRING BACK TO SOURCE AND CAP AS REQUIRED. SEE ALL DRAWINGS FOR REMOVAL REQUIREMENTS. SELECTED ITEMS WILL REMAIN AND BE RE-ROUTED.
11. PROVIDE WRITTEN NEW SEQUENCE OF OPERATIONS FOR REMOVAL WORK TO DESIGNATED REPRESENTATIVE FOR REVIEW PRIOR TO START OF WORK. INCLUDE COORDINATION FOR SHUT-OFF, CAPPING AND CONTINUATION OF UTILITY SERVICES AS REQUIRED, TOGETHER WITH DETAILS FOR DUST AND NOISE CONTROL PROTECTION, TO ENSURE UNINTERRUPTED CONTINUITY OF ON-GOING OCCUPANT ACTIVITIES.
12. PROVIDE PHOTOGRAPHS OF EXISTING CONDITIONS THAT MIGHT BE MISCONSTRUED AS DAMAGED BY REMOVAL OPERATIONS. FILE WITH DESIGNATED REPRESENTATIVE PRIOR TO START OF WORK.
13. CONDUCT REMOVAL WORK IN MANNER THAT WILL MINIMIZE NEED FOR DISRUPTION TO THE OCCUPANTS NORMAL OPERATIONS. PROVIDE MINIMUM OF 72 HOURS WRITTEN ADVANCE NOTICE TO THE DESIGNATED REPRESENTATIVE OF REMOVAL ACTIVITIES THAT WILL AFFECT OPERATIONS AND ONE WEEK WRITTEN ADVANCE NOTICE TO DESIGNATED REPRESENTATIVE FOR ANY REQUIRED SHUTDOWNS OF BASE BUILDING PLUMBING, MECHANICAL, ELECTRICAL, OR OTHER CRITICAL SYSTEMS. OWNER AND DESIGNATED REPRESENTATIVE DO NOT ASSUME RESPONSIBILITY FOR ACTUAL CONDITION OF COMPONENTS OR STRUCTURE TO BE REMOVED.
14. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO GOVERNING AUTHORITIES. CEASE OPERATIONS AND NOTIFY DESIGNATED REPRESENTATIVE IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO SUPPORT STRUCTURE UNTIL DETERMINATION IS MADE FOR CONTINUING OPERATIONS.
15. PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION TO PROTECT OCCUPANTS AND GENERAL PUBLIC IN OCCUPIED PORTIONS OF BUILDING.
16. PROTECT FROM DAMAGE, EXISTING FINISH WORK, FURNITURE, EQUIPMENT, AND FIXTURES THAT ARE TO REMAIN IN PLACE, BUT BECOME EXPOSED DURING REMOVAL OPERATION. PROTECT FROM DAMAGE EXISTING FLOORS, WALLS, AND CEILINGS WITH SUITABLE COVERINGS.
17. WHERE REMOVAL OCCURS IMMEDIATELY ADJACENT TO OCCUPIED PORTIONS OF THE BUILDING, CONSTRUCT DUST-PROOF PARTITIONS.
18. CONDUCT REMOVAL OPERATIONS AND DEBRIS REMOVAL TO ENSURE MINIMUM INTERFERENCES WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
19. DO NOT CLOSE, BLOCK OR OTHERWISE OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT WRITTEN PERMISSION FROM AUTHORITIES HAVING JURISDICTION.
20. DO NOT USE CUTTING TORCHES FOR REMOVAL UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIALS.
21. AT CONCEALED SPACES, SUCH AS INTERIOR DUCTS AND PIPE SPACES, VERIFY CONDITION OF HIDDEN SPACE BEFORE STARTING FLAME-CUTTING OPERATIONS. MAINTAIN PORTABLE FIRE SUPPRESSION DEVICES DURING FLAME-CUTTING OPERATIONS. MAINTAIN EXISTING UTILITIES SERVING OCCUPIED OR USED FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION.

NOTE:
CONTRACTOR TO REMOVE ALL EQUIPMENT, EXISTING LIGHTS, SECURITY, ETC. LOCATED WITHIN EXISTING ROOF OVERHEAD. COORDINATE WITH McDONALD'S ACM AND STORE OWNER.

CONTRACTOR TO VERIFY LIMIT OF DEMOLITION OF EXISTING INTERIOR DECOR WALLS. COORDINATE WITH THE DECOR DRAWINGS.

REV	DATE	DESCRIPTION	BY
1	05.24.19	FOR FILING	CPC
0	02.01.19	FOR FILING	

COMMONWEALTH OF MASSACHUSETTS
SHAUN TIMOTHY McGRATH
CIVIL
No. 54148
REGISTERED PROFESSIONAL ENGINEER

PREPARED BY:
SkyBorne Technologies
P.O. BOX 875
Westford, MA 01886

PREPARED FOR:
McDonald's USA, LLC

DRAWN BY TAB
STD. ISSUE DATE FEB 2017
REVIEWED BY PM
DATE ISSUED 11/09/2018

TITLE DEMOLITION - FLOOR PLAN

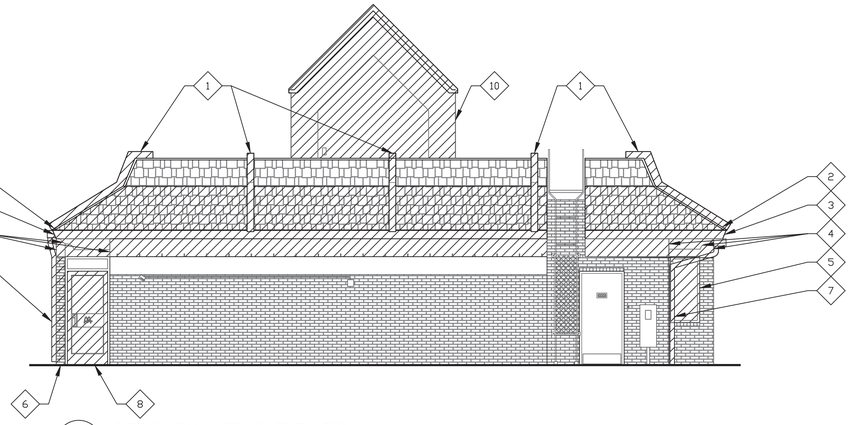
DESCRIPTION REMODEL DESIGN PER 2017 MRP CRITERIA SET CORE 16 EXTERIOR - NON PLAYPLACE

SITE ID 20-02293
SITE ADDRESS 159 HATHAWAY ROAD, NEW BEDFORD, MA.

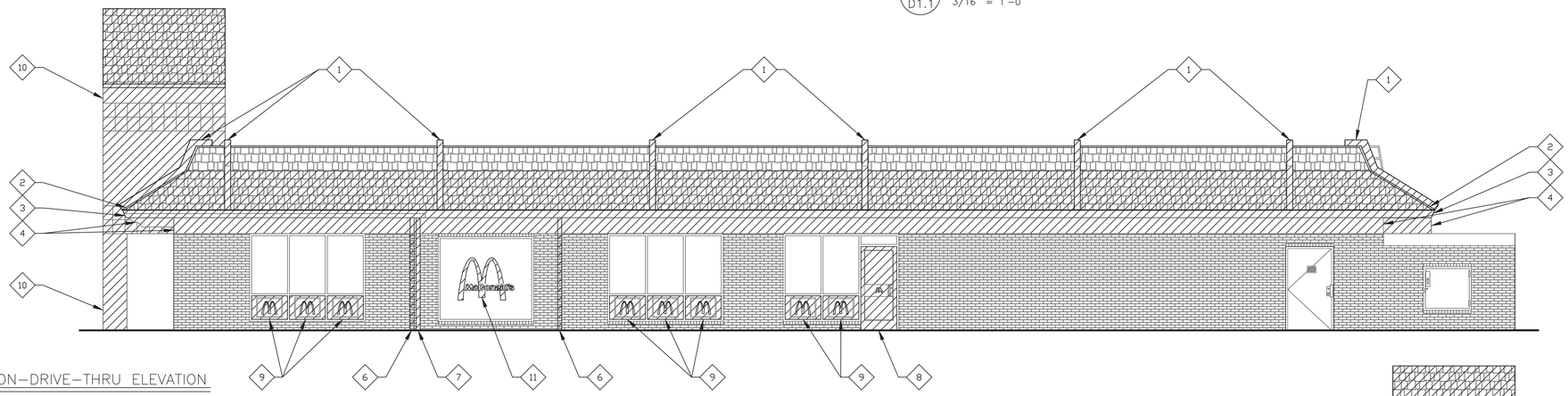
PROJ.# XXXXXX

SHEET NO. D1.0
DEMOLITION FLOOR PLAN

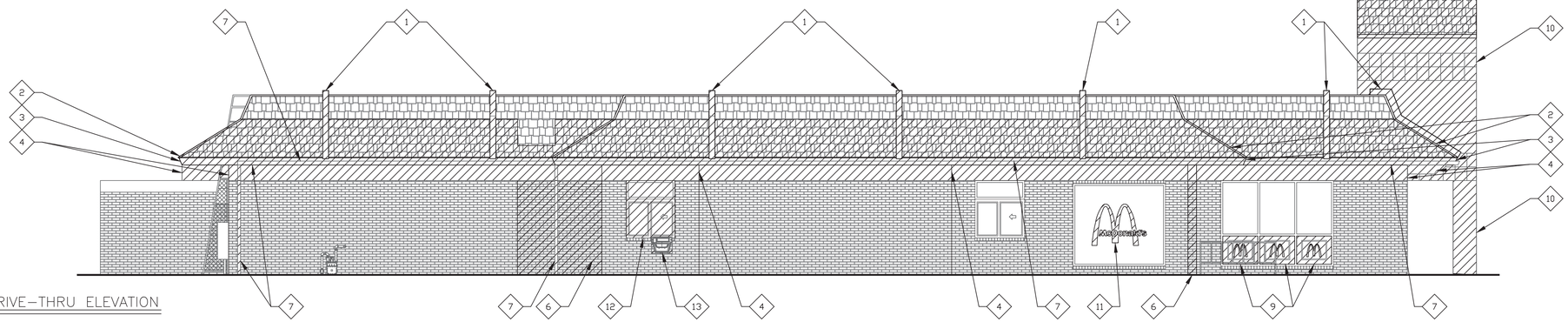
1 / D1.1 DEMOLITION FRONT ELEVATION
3/16" = 1'-0"



2 / D1.1 DEMOLITION REAR ELEVATION
3/16" = 1'-0"



3 / D1.1 DEMOLITION NON-DRIVE-THRU ELEVATION
3/16" = 1'-0"



4 / D1.1 DEMOLITION DRIVE-THRU ELEVATION
3/16" = 1'-0"

1. REMOVE EXISTING MANSARD LIGHT BEAM
2. REMOVE EXISTING ROOFING AT LOWER AND UPPER PORTION OF DOUBLE MANSARD ROOF
3. REMOVE EXISTING DECOR TRIM
4. REMOVE EXISTING FRIEZE BOARD
5. REMOVE EXISTING STOREFRONT WINDOWS
6. REMOVE PORTION OF EXISTING WALL
7. REMOVE EXISTING GUTTER AND DOWNSPOUT(S)
8. REMOVE EXISTING STOREFRONT DOOR ASSEMBLY
9. REMOVE EXISTING McDONALD'S "M" MONOGRAM LOGO PANELS
10. REMOVE EXISTING ROOF ASSEMBLY AND SUPPORTING BRICK PYLONS
11. REMOVE EXISTING MCDONALD'S LOGO EMBEDDED IN EXISTING GLAZING
12. REMOVE EXISTING DRIVE-THRU WINDOW ASSEMBLY
13. REMOVE EXISTING PASS-THRU COIN COLLECTOR

1. THESE DRAWINGS WERE PREPARED BASED ON INFORMATION ATTAINED FROM A SITE SURVEY. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN FIELD PRIOR TO DEMOLITION & NOTIFY THIS OFFICE IN CASE OF DISCREPANCIES ASAP. DEMOLITION IS TO BE EXECUTED SO AS NOT TO DISTURB EXISTING STRUCTURAL & ROOFING SYSTEMS, AND OTHER AREAS THAT ARE INTENDED TO REMAIN INTACT. VERIFY ALL CONSTRUCTION TO BE REMOVED THAT IS NOT INTEGRAL TO STRUCTURAL SYSTEM PRIOR TO DEMOLITION.
2. ALL DIMENSIONS SHOWN AS EXISTING SHOULD BE FIELD VERIFIED BY CONTRACTOR PRIOR TO DEMOLITION. VERIFY ALL DEMOLITION WORK W/ NEW CONSTRUCTION & INSTALLATION DRAWINGS PRIOR TO BEGINNING CONSTRUCTION.
3. DEMOLITION CONTRACTOR TO COORDINATE & REVIEW ALL CONSTRUCTION DOCUMENTS & DETERMINE THE EXTENT OF DEMOLITION WORK & BECOME FAMILIAR WITH THEM THOROUGHLY BEFORE PERFORMING ANY DEMOLITION WORK. BY THE ACT OF STARTING DEMOLITION THE CONTRACTOR WILL BE DEEMED TO HAVE COMPLIED WITH THE FOREGOING, TO HAVE ACCEPTED SUCH CONDITIONS, AND TO HAVE MADE THE NECESSARY ALLOWANCES IN PREPARING HIS BID.
4. ELECTRICAL DEMOLITION NOTE: REFER TO ELECTRICAL DRAWINGS FOR DETAILED ELECTRICAL DEMOLITION NOTES.
5. VERIFY DISPOSITION OF ALL FURNISHINGS, MILLWORK, LIGHTING FIXTURES, ETC. TO BE REMOVED W/ OWNER. ALL ITEMS TO BE DISPOSED SHALL BE DISPOSED OF OFF-SITE AND IN AN EXPEDITIOUS MANNER.
6. ROOFING CONTRACTOR TO FIELD INSPECT EXISTING ROOF FOR WEATHER TIGHTNESS & PROPER DRAINAGE PRIOR TO BID. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING ROOF CONDITION AND FOR INCLUDING ANY NECESSARY REPAIR COSTS IN BID.
7. SAWCUT & REMOVE EXISTING SLABS AS REQUIRED FOR UNDERGROUND ELECTRICAL & PLUMBING LINES. REFER TO PLUMBING, ELECTRICAL & KITCHEN DRAWINGS FOR ALL SAWCUTS & TRENCHING WORK REQUIRED. ALL CONCRETE FLOOR WORK TO BE FINISHED FLUSH WITH EXISTING FLOOR. DOWEL NEW SLABS TO EXISTING W/ #4 REBAR @ 24" O.C. EACH SIDE (STAGGERED). REBAR TO EXTEND 6" INTO EXISTING SLAB & ACROSS CUT OPENING. SECURE REBAR INTO EXISTING SLAB W/ EPOXY GROUT. REPLACE OR REPAIR ANY VAPOR BARRIERS DISTURBED DURING EXCAVATIONS.
8. CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING AS REQUIRED TO MAINTAIN STRUCTURAL STABILITY OF THE EXISTING STRUCTURE DURING ALL PHASES OF CONSTRUCTION.
9. PROTECT FROM DAMAGE DURING CONSTRUCTION ALL EXISTING WALLS, FLOORS, CEILINGS, ETC. THAT ARE TO REMAIN. CONTRACTOR TO PATCH & REPAIR ANY DAMAGED PORTIONS OF THE EXISTING BUILDING AS REQUIRED TO MATCH THE EXISTING ADJACENT CONSTRUCTION & FINISHES.
10. THIS PLAN INDICATES A GENERAL SCOPE OF WORK TO BE PERFORMED AND DOES NOT RELIEVE THE CONTRACTOR TO COMPLETE THE BUILDING MODIFICATIONS AS SHOWN AND REQUIRED BY THE CONTRACT DOCUMENTS, INCLUDING BUT NOT LIMITED TO PLUMBING, ELECTRICAL & HVAC WORK.
11. IF CONTRACTOR ENCOUNTERS ANY HAZARDOUS MATERIALS DURING DEMOLITION OR CONSTRUCTION, HE SHALL IMMEDIATELY SUSPEND WORK & NOTIFY THE MCDONALD'S AREA CONSTRUCTION MANAGER BEFORE PROCEEDING.
12. ALL DEMOLITION SHALL BE CARRIED OUT IN A SAFE MANNER & IN STRICT ACCORDANCE WITH OSHA REGULATIONS.
13. THE SUB-CONTRACTOR SHALL FIELD VERIFY THE EXTENT OF DEMOLITION. THE WORK INCLUDES, BUT IS NOT LIMITED TO THE DEMOLITION AND REMOVAL OF ANY WALLS, COUNTERS, FURNITURE, BULKHEADS, DOORS, PLUMBING, MECHANICAL AND ELECTRICAL ITEMS INCLUDING CONDUITS AND DUCTWORK AS SHOWN ON THE DRAWINGS OR AS REQUIRED TO COMPLETE THE INSTALLATION OF THE NEW WORK FOR A COMPLETE JOB.
14. REMOVE ANY SINKS, WATER CLOSETS, URINALS, LAVATORIES, FLOOR DRAINS, NOTED ON DRAWINGS AS WELL AS ALL ASSOCIATED PLUMBING ACCESSORIES. CAP, PLUG ALL ABANDONED SUPPLY & WASTE LINES. PATCH & SEAL ALL FLOOR PENETRATIONS. SEE MECHANICAL & PLUMBING DRAWINGS FOR DETAILED DEMOLITION NOTES.
15. WHEN UTILITIES ARE REMOVED, CAP & SEAL A MINIMUM OF 8" BELOW FINISH FLOOR OR A MINIMUM OF 6" ABOVE FINISH CEILING.

NOTE:
CONTRACTOR TO REMOVE ALL EQUIPMENT, EXISTING LIGHTS, SECURITY, AND ETC. LOCATED WITHIN EXISTING ROOF OVERHEAD. COORDINATE WITH McDONALD'S ACM AND STORE OWNER.

REV	DATE	DESCRIPTION	BY
1	05.24.19	FOR FILING	CPC
0	02.01.19	FOR FILING	

COMMONWEALTH OF MASSACHUSETTS
SHAUN TIMOTHY McGRATH
CIVIL
No. 54146
REGISTERED PROFESSIONAL ENGINEER

PREPARED BY:
SkyBorne Technologies
P.O. BOX 875
Westford, MA 01886

PREPARED FOR:
McDonald's USA, LLC

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DRAWN BY: TAB
STD. ISSUE DATE: FEB 2017
REVIEWED BY: PM
DATE ISSUED: 11/09/2018

TITLE: DEMOLITION – ELEVATIONS AND NOTES

DESCRIPTION: REMODEL DESIGN PER 2017 MRP CRITERIA SET
CORE 16 EXTERIOR – NON PLAYPLACE

SITE ID: 20-0293
SITE ADDRESS: 159 HATHAWAY ROAD, NEW BEDFORD, MA.

SHEET NO.: D1.1
PROJ.# XXXXXX
ELEVATIONS & NOTES

GENERAL NOTES:

CONSTRUCTION SAFETY PLAN
1. ALL PRECAUTIONS AND MEASURES WILL BE TAKEN TO ENSURE THE SAFETY OF THE OCCUPANTS OF THE BUILDING AS WELL AS THE SAFETY OF THE PEDESTRIANS BELOW.
2. BARRICADES WILL BE ERECTED SEPARATING WORK AREAS FROM ALL PUBLIC SPACES AS NEEDED.
3. ALL FIRE AND OTHER REQUIRED EXITS, WAY OF APPROACH THERETO AND WAY OF TRAVEL FROM THE EXIT TO THE STREET SHALL BE CONTINUOUSLY MAINTAINED FREE FOR UNOBSTRUCTED EGRESS.
4. PROVIDE A PORTABLE FIRE EXTINGUISHER(S) WITH A MINIMUM RATING NOT LESS THAN 2–A OR 2–A10BC WITHIN 75' OF ALL PORTIONS OF THE WORK AREA.

SITE WORK GENERAL NOTES
1. THE CONTRACTOR SHALL CALL UTILITIES PRIOR TO THE START OF CONSTRUCTION.
2. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY THE ENGINEERS. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR PIER DRILLING AROUND OR NEAR UTILITIES. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL INCLUDE BUT NOT BE LIMITED TO:
   A. FALL PROTECTION
   B. CONFINED SPACE
   C. ELECTRICAL SAFETY
   D. TRENCHING & EXCAVATION
3. ALL SITE WORK SHALL BE AS INDICATED ON THE DRAWINGS AND PROJECT SPECIFICATIONS.
4. IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES, TOPSOIL AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE LEGALLY.
5. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF THE ARCHITECT/ENGINEER, OWNER AND/OR LOCAL UTILITIES.
6. THE CONTRACTOR SHALL MINIMIZE DISTURBANCES TO EXISTING SITE DURING CONSTRUCTION.
7. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND, FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
8. THE SUB GRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION. SEE SOIL COMPACTIONS NOTES.
9. THE AREAS OF THE OWNERS PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE BUILDING OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, FERTILIZED, SEEDED, AND COVERED WITH MULCH.
10. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL CLEAN SUITABLE FILL REQUIRED TO COMPLETE THE PROJECT.

DELIVERY, STORAGE, AND HANDLING:
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PROCEDURES AND SCHEDULING ASSOCIATED WITH HOISTING, STAGING, AND ERECTING OF MATERIALS AND EQUIPMENT TO AND/OR UPON THE SITE.
2. ALL ELEMENTS OF THE EXISTING SITE, I.E. STRUCTURES, SITE PLANTINGS, ETC. SHALL BE PROTECTED AS NECESSARY FROM SAID ACTIONS. THIS WORK MUST BE DONE IN A SAFE, SECURE, NONDESTRUCTIVE MANNER FOR PROTECTING PERSONNEL AND PROPERTY.

WARRANTIES AND BONDS
1. THE CONTRACTOR SHALL GUARANTEE ALL LABOR AND MATERIALS USED IN THIS PROJECT FOR A MINIMUM PERIOD OF ONE (1) YEAR COMMENCING FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER.
2. FINAL DATE OF ACCEPTANCE IS DEEMED AS THE DATE THAT ALL REQUIRED STATE AND FEDERAL APPROVAL HAVE BEEN OBTAINED INCLUDING, BUT NOT LIMITED TO:
   A. FINAL INSPECTION – D–14
   B. CERTIFICATE OF OCCUPANCY
3. ANY DEFICIENCIES THAT COME EVIDENT DURING THIS ONE (1) YEAR PERIOD SHALL BE CORRECTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE

GENERAL CONSTRUCTION NOTES
1. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK. THE WORK PERFORMED ON THE PROJECT AND THE MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES.
2. THE ARCHITECT/ENGINEER HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. THE CONTRACTOR BIDDING THE JOB IS NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL NOT EXCUSE THE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.
3. THE CONTRACTOR SHALL MAINTAIN A FULL SET OF CONSTRUCTION DOCUMENTS AT THE SITE UPDATED WITH THE LATEST REVISIONS AND ADDENDUMS OR CLARIFICATIONS AVAILABLE FOR USE OF ALL PERSONNEL INVOLVED IN THE PROJECT.
4. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIPTION DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PARTITIONS OF THE WORK UNDER THE CONTRACT.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK BY THE ARCHITECT/ENGINEER, THE STATE, COUNTY, OR LOCAL GOVERNMENT AUTHORITY.
6. THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVING, CURBING, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
7. THE CONTRACTOR SHALL KEEP THE GENERAL WORK AREA CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE ALL DIRT, DEBRIS, RUBBISH AND REMOVE ALL UNNECESSARY MATERIAL.
8. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT SECTIONS OF THE STATE BUILDING CODE LATEST EDITION, AND ALL OSHA REQUIREMENTS AS THEY APPLY TO THIS PROJECT. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY THE ARCHITECT/ENGINEER. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR PIER DRILLING AROUND OR NEAR UTILITIES.
9. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, PROPERTY LINES, ETC. ON THE JOB.

REV	DATE	DESCRIPTION	BY
1	05.24.19	FOR FILING	CPC
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COMMONWEALTH OF MASSACHUSETTS
SHAUN TIMOTHY McGRATH
CIVIL
NO. 54146
REGISTERED PROFESSIONAL ENGINEER

PREPARED BY:
SkyBorne Technologies
P.O. BOX 875
Westford, MA 01886

PREPARED FOR:
McDonald's USA, LLC

DRAWN BY: TAB
STD ISSUE DATE FEB 2017
REVIEWED BY PM
DATE ISSUED 11/09/2018

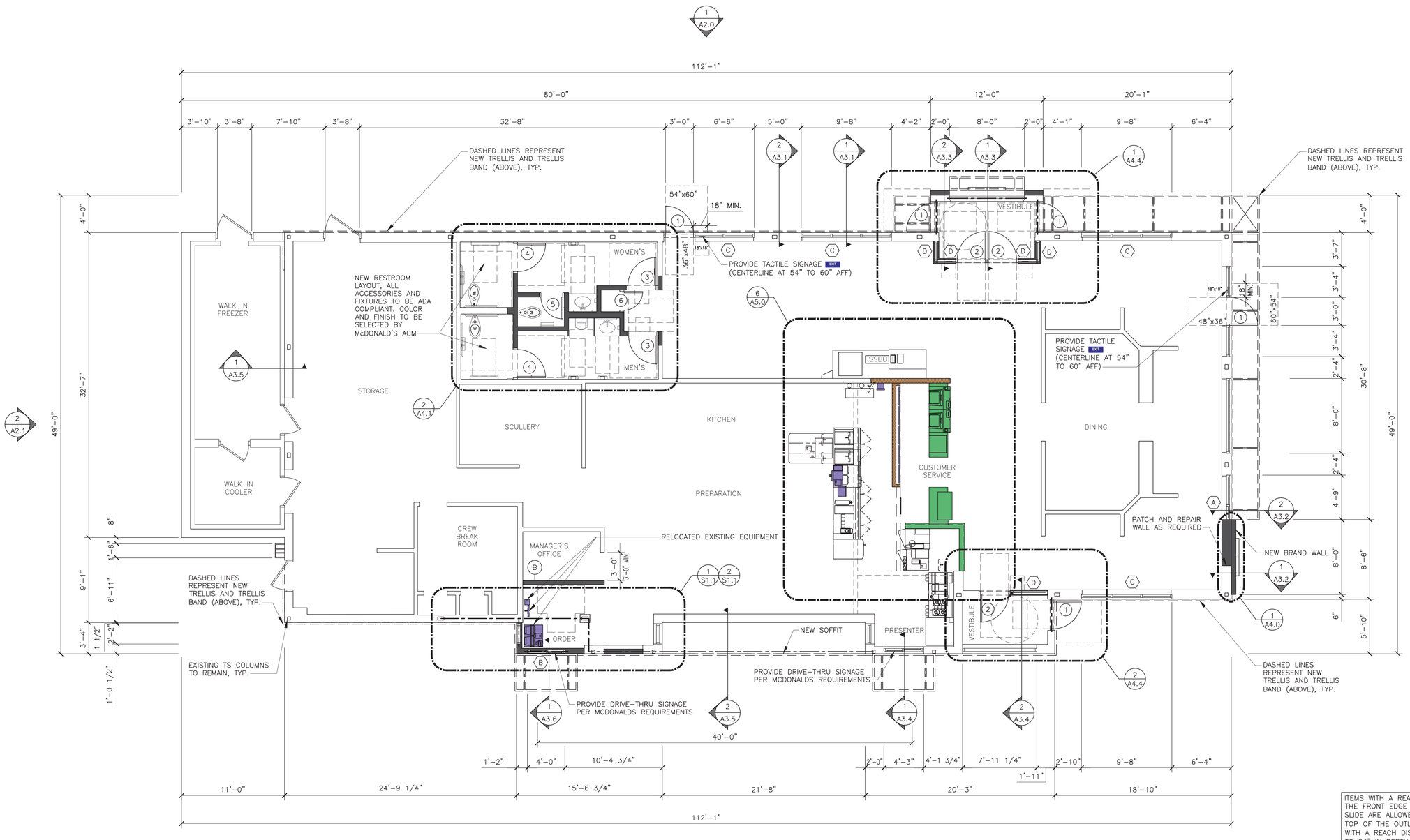
TITLE: GENERAL NOTES

DESCRIPTION
REMODEL DESIGN PER 2017 MRP CRITERIA SET
CORE 16 EXTERIOR – NON PLATPLACE

SITE ID 20–0293
SITE ADDRESS 159 HATHAWAY ROAD, NEW BEDFORD, MA.

PROJ.# XXXXXX

SHEET NO. A0.1
GENERAL NOTES



1 A1.0 FLOOR PLAN
3/16" = 1'-0"

WHEN APPLICABLE, CONTRACTOR TO PROVIDE RECEIVERS FOR ASSISTIVE LISTENING SYSTEMS IN ACCORDANCE WITH THE 2015 IBC – TABLE 1108.2.7.1. NEW RECEIVERS TO BE CONNECTED TO THE EXISTING ANNOUNCEMENT SYSTEM (SPEAKER SYSTEM).

CONTRACTOR TO VERIFY WITH TRELLIS AND ACCENT BAND MANUFACTURER FOR MOUNTING REQUIREMENTS.

CONTRACTOR TO VERIFY ALL FINISHES WITH McDONALD'S ACM PRIOR TO ORDERING. ALL AREAS OF NEW WORK ARE TO BE PREPPED & FINISHES ARE TO BE INSTALLED AS PER MANUFACTURES RECOMMENDATIONS.

NOTE:
ALL CLEARANCES, ACCESSIBLE PATHS, REACH RANGES, AND ALL OTHER ADA REGULATED ITEMS TO BE COMPLIANT WITH THE 2010 ADA STANDARDS AND MASSACHUSETTS 521 CMR. CONTRACTOR TO NOTIFY THE E.O.R. OF ANY DISCREPANCIES BETWEEN THE PLANS SHOWN AND CODES REFERENCED ABOVE PRIOR TO THE START OF CONSTRUCTION.

ITEMS WITH A REACH DISTANCE OF UP TO 10" FROM THE FRONT EDGE OF THE SSBB COUNTER OR TRAY SLIDE ARE ALLOWED TO BE UP TO 48" A.F.F. TO THE TOP OF THE OUTLET/OPERABLE MECHANISM. ITEMS WITH A REACH DISTANCE OF GREATER THAN 10" AND UP TO 24" IN DEPTH AS MEASURED FROM THE FRONT EDGE OF THE SSBB COUNTER MAY BE UP TO 46" A.F.F. TO THE TOP OF THE OUTLET/OPERABLE MECHANISM. NO ITEMS MAY BE LOCATED WITH A REACH DEPTH OF GREATER THAN 24" AS MEASURED FROM THE FRONT EDGE OF THE COUNTER. ONLY ONE DISPENSER OF EACH ITEM OFFERED IS REQUIRED TO COMPLY. (I.E. IF THERE ARE TWO SLOTS/DISPENSERS FOR STRAWS OR KETCHUP CUPS, ETC..., ONE MAY BE HIGHER THAN 46"/48" AS LONG AS ONE COMPLIES WITH THE ABOVE PARAMETERS.

SYMBOL LEGEND:

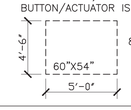
- (X) DOOR TAG: SEE DOOR SCHEDULE A4.3
- (X) WINDOW TAG: SEE WINDOW SCHEDULE A4.3
- (X) WALL TAG: INTERIOR WALL ASSY, SEE NOTES A4.3
  EXTERIOR WALL ASSY, SEE NOTES 13/A3.0

GENERAL NOTES:

1. DIMENSIONS ARE SHOWN:
   A. EXTERIOR WALLS: FROM INTERIOR FACE OF GYPSUM BOARD TO THE EXTERIOR FACE OF PLYWOOD.
   B. INTERIOR WALLS: FROM THE FACE OF FINISH WALL TO THE FACE OF FINISH WALL, U.N.O.
2. SEE 13/A3.0 FOR EXTERIOR WALL ASSEMBLY TYPES.
3. SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES.
4. SEE SITE PLAN FOR SIDEWALKS, RAMPS, ETC.
5. GC TO PROVIDE ADA SIGNAGE PACKAGE AND INSTALL SIGNS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES. SIGNAGE PACKAGE SUPPLIED BY: FORREST PERMA-SIGN 1-800-214-8765 9292 1ST ST., BOX 588, NEW ROCHELLE, NY 10802 www.forrestpermasigns.com
6. SEE SHEET A/4.3 FOR FLOORING SCHEDULE AND NOTES.
7. SEE SHEET A/4.3 FOR DOOR SCHEDULE AND NOTES.

ADA NOTES:

1. NEW RESTROOM LAYOUT TO BE UPDATED TO COMPLY WITH 2010 ADA STANDARDS, ADA, MA CMR 521 AND ANSI REQUIREMENTS. CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND FIELD CONDITIONS, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, CONFLICT, AND/OR OMISSIONS WHICH WOULD INTERFERE WITH THE 2010 ADA STANDARDS, ADA, MA CMR 521 AND ANSI REQUIREMENTS. SHOULD HE FAIL TO FOLLOW THIS PROCEDURE AND CONTINUE WITH THE WORK, HE SHALL ASSUME ALL THE RESPONSIBILITY AND LIABILITY ARISING THEREFROM.
2. ALL NEW PLUMBING FIXTURES AND RESTROOM ACCESSORIES TO COMPLY WITH 2010 ADA STANDARDS, ADA, MA CMR 521 AND ANSI REQUIREMENTS.
3. "CLEAR MIN." DIMENSIONS ARE TO BE CLEAR OF ANY WALLS, STRUCTURE OR FINISHES (CORRIGAN CAPS, CHAIR RAIL, CORNER GUARDS, BASE TILES, ELECTRICAL PANEL DOORS, EQUIPMENT, ETC.)
4. AFTER AIR BALANCING IS COMPLETED AND PRIOR TO OPENING STORE, ADJUST ALL DOORS' OPENING FORCE PRIOR TO OPENING OF STORE. ALL INTERIOR DOORS' OPENING FORCE SHALL BE 5# MAX. AND ALL EXTERIOR DOORS' OPENING FORCE IS ADVISED TO BE 8.5# MAX.
5. CLOSING SPEED OF DOORS WITH CLOSER SHALL BE MIN. 5 SECONDS (FROM OPEN POSITION OF 90° TO POSITION OF 12°).
6. GC TO PROVIDE ADA SIGNAGE PACKAGE AND INSTALL SIGNS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES. SIGNAGE PACKAGE SUPPLIED BY: FORREST PERMA-SIGN 1-800-214-8765 9292 1ST ST., BOX 588, NEW ROCHELLE, NY 10802 www.forrestpermasigns.com
7. EXTERIOR DOOR BELLS AND BUZZERS AT DELIVERY DOORS (IF INSTALLED OR MODIFIED DUE TO FACADE WORK) MUST COMPLY WITH REACH-RANGE MAX. HEIGHTS FOR ACCESSIBILITY. TOP OF BUTTON/ACTUATOR IS NOT TO EXCEED 48" AFF.



8. ADA REQUIRED MANEUVERING CLEARANCE AT MANUAL SWINGING DOOR. NOTE: ENSURE NO EQUIPMENT OR FURNITURE IMPEDES ON REQUIRED CLEAR FLOOR SPACE IN FRONT OF THE DOOR.

FIRE ALARM NOTES:

(IF REQUIRED/ADDED/TRIGGERED BY FIRE MARSHALL OR LOCAL/STATE AHJ):

1. ALL PULL-STATIONS MUST MEET ADA REQUIREMENTS OR LOCAL/STATE AHJ IF MORE STRINGENT. ADA ALLOWS A MAX. REACH HEIGHT OF 48" AS LONG AS THE REACH IS NOT OVER AN OBSTRUCTION GREATER THAN 10" DEEP. THE MAX. REACH HEIGHT TO THE OPERABLE MECHANISM ALLOWED FOR COMPLIANCE WITH 2010 ADA STANDARDS WHEN REACH IS OVER AN OBSTRUCTION (TRASH RECEPTACLE, DISPLAY, ETC.) IS 46" A.F.F.
   CONSIDER LOCATION OF DECOR ITEMS, TRASH/TRAY RECEPTACLES TO LOCATE THE PULL STATIONS WHERE THEY WILL NOT BE BLOCKED BY THESE ITEMS. ENSURE FIRE ALARM CONTRACTOR HAS A COPY OF THE FINAL DECOR PLAN FOR COORDINATION.
2. A/V DEVICES MUST BE INSTALLED PER ADA REQUIREMENTS OR LOCAL/STATE AHJ IF MORE STRINGENT. ADA/NFPA72 REQUIRES STROBES TO BE MOUNTED AT 80" A.F.F. (TO A PORTION OF THE CLEAR LENS OF THE STROBE) UNLESS A LOW-CEILING CONDITION EXISTS, WHERE A MIN. OF 6" BELOW THE CEILING PLANE IS REQUIRED FOR VISIBILITY THROUGH SMOKE.

IMPORTANT NOTE: McDONALD'S ISSUED A CLARIFICATION IN WHICH MANDATES WALL-MOUNTED A/V DEVICES. IF LOCAL/STATE AHJ REQUIRES CEILING-MOUNTED A/V DEVICES IN PUBLIC AREAS (DINING ROOMS, RESTROOMS, PLAYPLACE, ETC.) THEN WALL-MOUNTED A/VS MUST BE INSTALLED IN ADDITION TO THE CEILING UNITS PER #2 ABOVE.

REV	DATE	DESCRIPTION	BY
1	05.24.19	FOR FILING	CPC
0	02.01.19	FOR FILING	

COMMONWEALTH OF MASSACHUSETTS
SHAUN TIMOTHY McGRATH
CIVIL
NO. 54148
REGISTERED PROFESSIONAL ENGINEER

PREPARED BY:
SkyBorne Technologies
P.O. BOX 875
Westford, MA 01886

PREPARED FOR:
McDonald's USA, LLC

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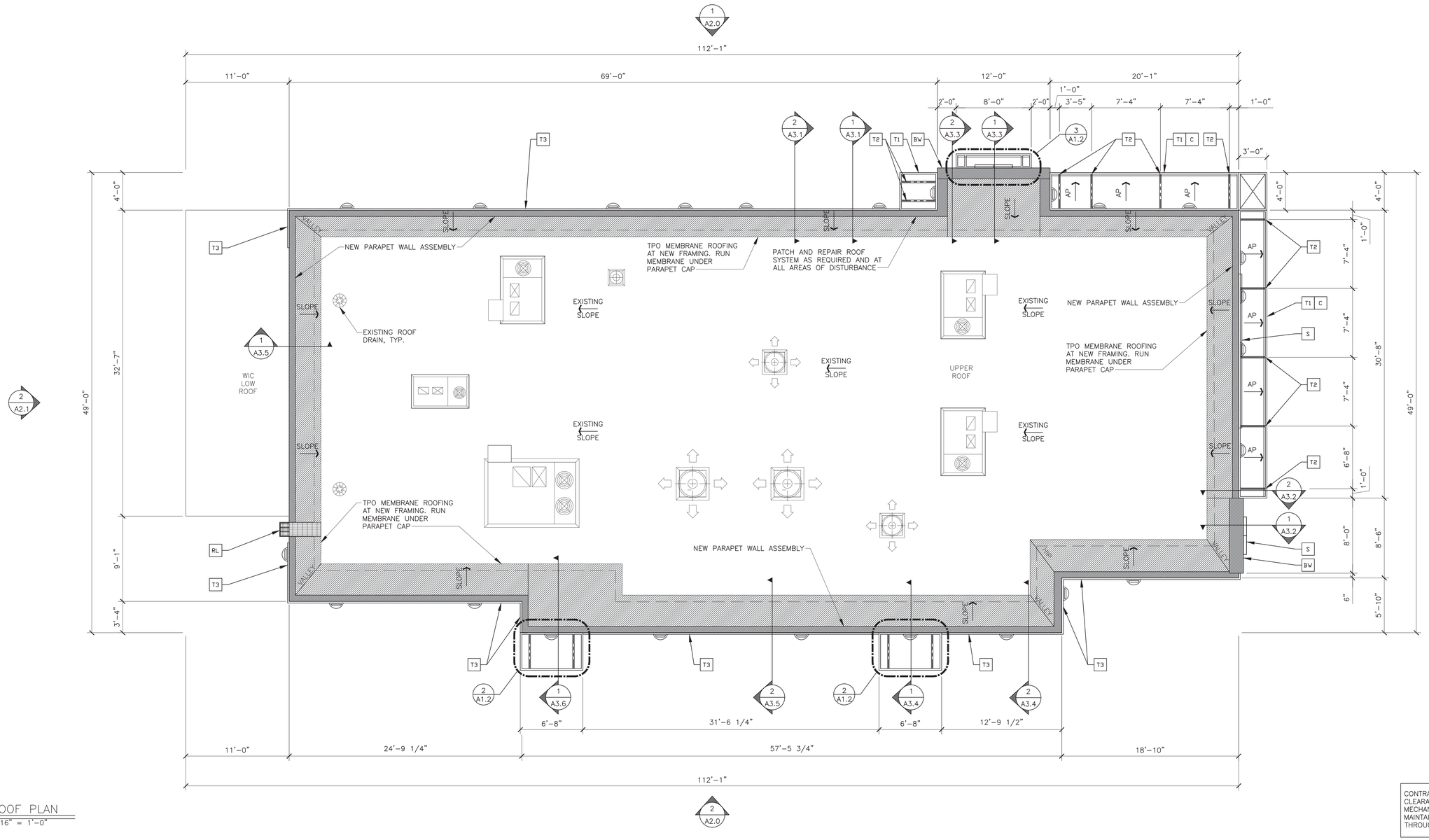
STD. ISSUE DATE FEB 2017
REVIEWED BY PM
DATE ISSUED 11/09/2018

SHEET NO. TITLE
FLOOR PLAN

DESCRIPTION
REMODEL DESIGN PER 2017 MRP CRITERIA SET
CORE 16 EXTERIOR - NON PLAYPLACE

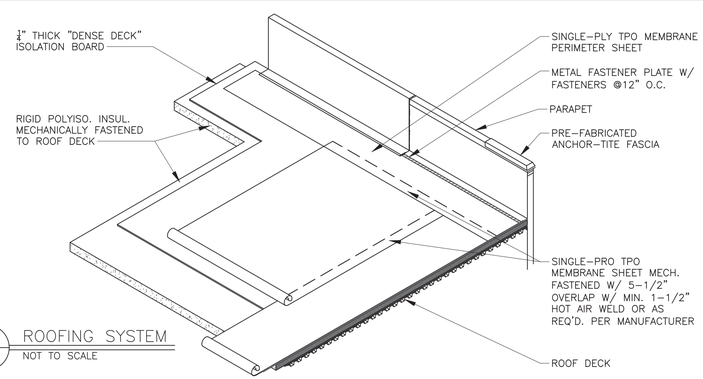
SITE ID 20-02293
SITE ADDRESS 159 MATHAWAY ROAD, NEW BEDFORD, MA.

PROJ.# XXXXXX
A1.0
FLOOR PLAN



1 A1.1 ROOF PLAN
3/16" = 1'-0"

CONTRACTOR TO FIELD VERIFY CLEARANCES AROUND MECHANICAL EQUIPMENT AND MAINTAIN CLEARANCE TO THROUGHOUT CONSTRUCTION.



2 A1.1 ROOFING SYSTEM
NOT TO SCALE

ROOFING SYSTEM:

1. MANUFACTURERS AND PRODUCTS:
   A. CARLISLE SYNTEC, INC. SURE-WELD TPO ROOFING SYSTEM
   B. JOHNS MANVILLE ULTRAGARD SRT-60

   NO SUBSTITUTIONS ALLOWED

2. SPECIFIED ROOFING SYSTEMS (AS SHOWN):
   HEAT-WELDABLE SINGLE-PLY 60 MIL TPO ROOFING SYSTEM, INSTALLED OVER RIGID INSULATION ON METAL ROOF DECK HAVING A SLOPE OF 3/8"/FT. MATERIALS SHALL BE AS FOLLOWS:
   A. TPO ROOFING SYSTEM AS MANUFACTURED BY ONE OF THE TWO MANUFACTURERS LISTED ABOVE TO COMPLY WITH ASTM D-6878, AND FMG I-90 FOR WIND UPLIFT.
   B. FASTENERS: METAL FASTENERS AND PLATES AS PER MANUFACTURER.
   C. ACCESSORIES: PRE-FABRICATED CURBS, FLASHING, CORNERS, TERMINATION BARS, PIPE FLASHING, VENT FLASHING ETC. AS PER MANUFACTURER.

3. WALKWAYS:
   A. 34" WIDE WALKWAY ROLL, HOT AIR WELDED TO MEMBRANE.
   B. PROVIDE WALKWAY FROM ROOF LADDER EXIT TO ALL ROOF TOP EQUIPMENT AS PER ROOF PLAN ABOVE.
   C. INSTALL WALKWAY ACCORDING TO WALKWAY PAD MANUFACTURER'S WRITTEN INSTRUCTION.

4. RIGID INSULATION:
   PROVIDE REQUIRED LAYERS OF POLYISOCYANURATE INSULATION W/ COVER BOARD TO MEET A MINIMUM CONTINUOUS R-25 VALUE – THICKNESS AS REQUIRED. PROVIDE POSITIVE SLOPE TO ALL ROOF DRAINS (SEE ROOF PLAN). PROVIDE TOP LAYER PROTECTION MATERIAL AS PER MANUFACTURERS RECOMMENDATIONS. BOTTOM LAYER OF s INSULATION OVER " TYPE "X" EXTERIOR GRADE GYPSUM s BOARD. ASSEMBLY SHALL COMPLY WITH UL 1256 OR FMG 4450.

5. TAPERED INSULATION:
   PROVIDE TAPERED INSULATION AS REQUIRED FOR POSITIVE DRAINAGE TO ROOF DRAINS AS INDICATED PER ROOF PLAN 1 ABOVE. " PER FOOT MIN. REQUIRED.

6. EXHAUST FANS:
   PROVIDE ADDITIONAL LAYER OF ROOF MEMBRANE AROUND EXHAUST FANS AS INDICATED PER ROOF PLAN ABOVE.

SYMBOL LEGEND:

AP	TRELLIS/CANOPY SYSTEM WITH ALUMINUM INFILL PANELS. SLOPE TO EDGE @1/4" PER FT.
SLOPE	DIRECTION OF DRAINAGE

KEY NOTES:

- C — NEW ALUMINUM CANOPY FASCIA SEE ELEVATIONS FOR COLOR
- L — NEW WALL SCONCE FIXTURE SEE ELEVATIONS & ELECTRICAL FOR UP/DOWN & COLOR
- RL — ROOF LADDER (EXISTING)
- S — NEW McDONALD'S SIGNAGE BY OTHERS, SEE ELEVATIONS
- T1 — NEW ALUMINUM TRELLIS SYSTEM SEE ELEVATIONS FOR COLOR
- T2 — NEW ALUMINUM TRELLIS TIE-BACK SEE ELEVATIONS FOR COLOR
- T3 — NEW ALUMINUM TRELLIS 2x8 WALL FASCIA SEE ELEVATIONS FOR COLOR
- BW — NEW BRAND WALL SEE ELEVATIONS FOR COLOR

ROOFING NOTES:

1. SINGLE-PLY ROOFING SYSTEM WITH BASE FLASHING SHEET EXTENDING UP PARAPET AND TERMINATED UNDER COPING HOT WELDED TO SEALING STRIP SECURED TO WOOD BLOCKING.
2. INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND PER DETAIL 2/A1.1
3. PROVIDE PREFABRICATED METAL CURBS. COORDINATE SIZE, LOCATION AND INSTALLATION REQUIREMENTS W/ M, E, P & S SHEETS. PROVIDE SHIMS TO LEVEL CURB IN AREAS WHERE ROOF DECK IS PITCHED.
4. FOR EXACT LOCATION OF EXHAUST FANS, HVAC UNITS, AND ROOF HATCH. REFER TO STRUCTURAL DRAWINGS.
5. CRICKETS MUST BE INSTALLED AT ALL ROOF CURBS & EQUIPMENT PLATFORMS BY GENERAL CONTRACTOR.

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0	02.01.19	FOR FILING	

COMMONWEALTH OF MASSACHUSETTS
SHAUN TIMOTHY McGRATH
CIVIL
NO. 54149
REGISTERED PROFESSIONAL ENGINEER

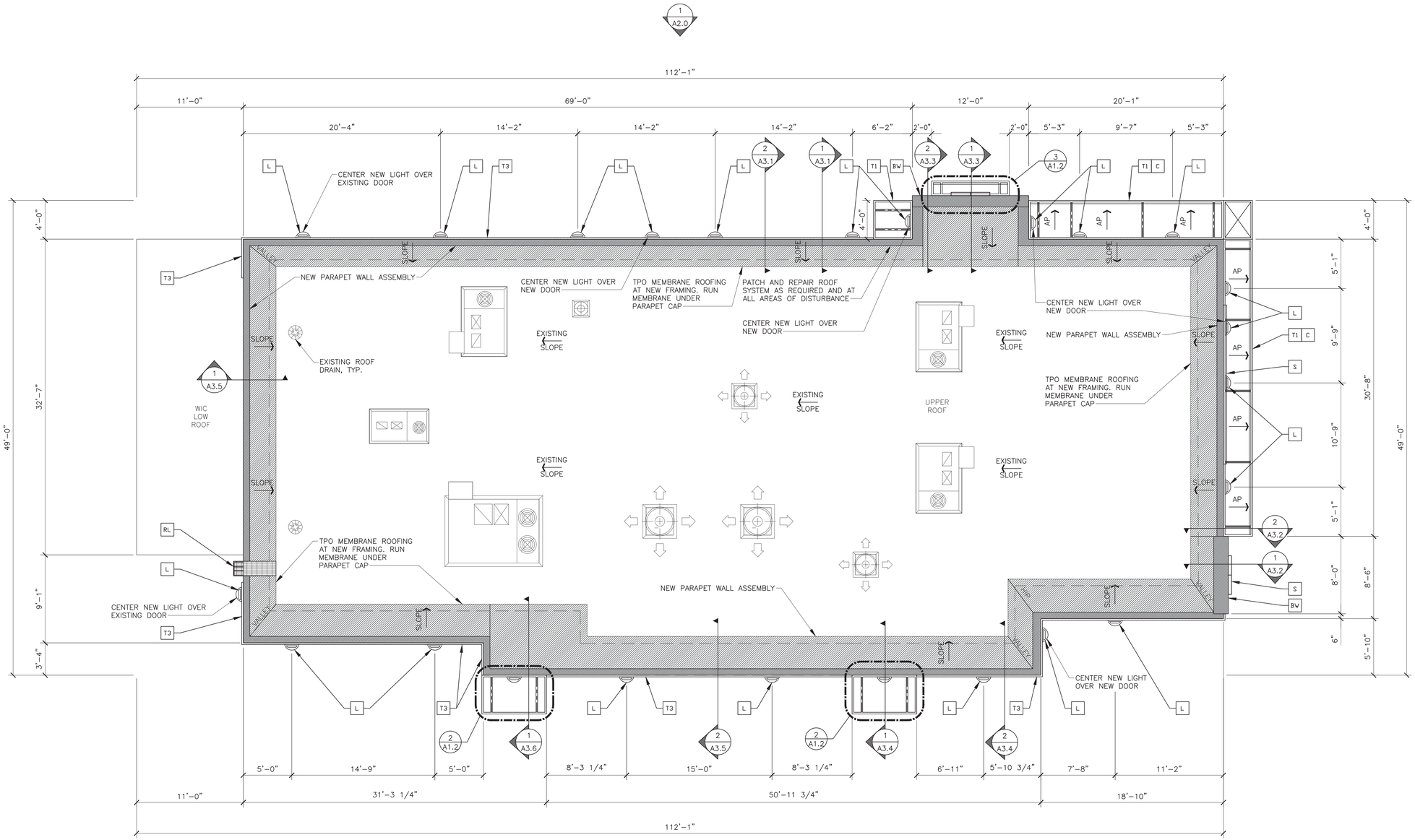
PREPARED BY:
SkyBorne Technologies
P.O. BOX 875
Westford, MA 01886

PREPARED FOR:
McDonald's USA, LLC

DRAWN BY: TAB
STD ISSUE DATE: FEB 2017
REVIEWED BY: PM
DATE ISSUED: 11/09/2018

TITLE: ROOF PLAN
DESCRIPTION: REMODEL DESIGN PER 2017 MRP CRITERIA SET
CORE 16 EXTERIOR – NON PLATPLACE
SITE ID: 20-0293
SITE ADDRESS: 159 HATHAWAY ROAD, NEW BEDFORD, MA.

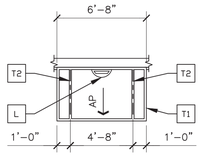
SHEET NO. A1.1
PROJ.# XXXXXX
ROOF PLAN



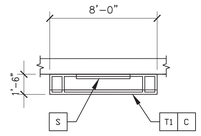
1 A1.2 ROOF LIGHTING PLAN
3/16" = 1'-0"

CONTRACTOR TO FIELD VERIFY CLEARANCES AROUND MECHANICAL EQUIPMENT AND MAINTAIN CLEARANCE TO THROUGHOUT CONSTRUCTION.

NOTE:
THE CANOPY SHALL BE CENTERED ABOVE THE DRIVE-THRU WINDOW.



2 A1.2 DETAIL – TYPICAL DRIVE-THRU CANOPY
3/16" = 1'-0"



3 A1.2 DETAIL – ENTRY BRAND WALL CANOPY
3/16" = 1'-0"

ROOFING SYSTEM

SEE 2/A1.1 FOR ROOFING SYSTEM NOTES

SYMBOL LEGEND

AP — TRELLIS/CANOPY SYSTEM WITH ALUMINUM INFILL PANELS. SLOPE TO EDGE @1/4" PER FT.

SLOPE — DIRECTION OF DRAINAGE

KEY NOTES

- C — NEW ALUMINUM CANOPY FASCIA SEE ELEVATIONS FOR COLOR
- L — NEW WALL SCONCE FIXTURE SEE ELEVATIONS & ELECTRICAL FOR UP/DOWN & COLOR
- RL — ROOF LADDER (EXISTING)
- S — NEW McDONALD'S SIGNAGE BY OTHERS, SEE ELEVATIONS
- T1 — NEW ALUMINUM TRELLIS SYSTEM SEE ELEVATIONS FOR COLOR
- T2 — NEW ALUMINUM TRELLIS TIE-BACK SEE ELEVATIONS FOR COLOR
- T3 — NEW ALUMINUM TRELLIS 2x8 WALL FASCIA SEE ELEVATIONS FOR COLOR
- BW — NEW BRAND WALL SEE ELEVATIONS FOR COLOR

ROOFING NOTES

1. SINGLE-PLY ROOFING SYSTEM WITH BASE FLASHING SHEET EXTENDING UP PARAPET AND TERMINATED UNDER COPING HOT WELDED TO SEALING STRIP SECURED TO WOOD BLOCKING.
2. INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND PER DETAIL 2/A1.1
3. PROVIDE PREFABRICATED METAL CURBS. COORDINATE SIZE, LOCATION AND INSTALLATION REQUIREMENTS W/ M, E, P & S SHEETS. PROVIDE SHIMS TO LEVEL CURB IN AREAS WHERE ROOF DECK IS PITCHED.
4. FOR EXACT LOCATION OF EXHAUST FANS, HVAC UNITS, AND ROOF HATCH. REFER TO STRUCTURAL DRAWINGS.
5. CRICKETS MUST BE INSTALLED AT ALL ROOF CURBS & EQUIPMENT PLATFORMS BY GENERAL CONTRACTOR.

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COMMONWEALTH OF MASSACHUSETTS — SHAUN TIMOTHY MCGRATH — CIVIL — NO. 54149 — REGISTERED PROFESSIONAL ENGINEER

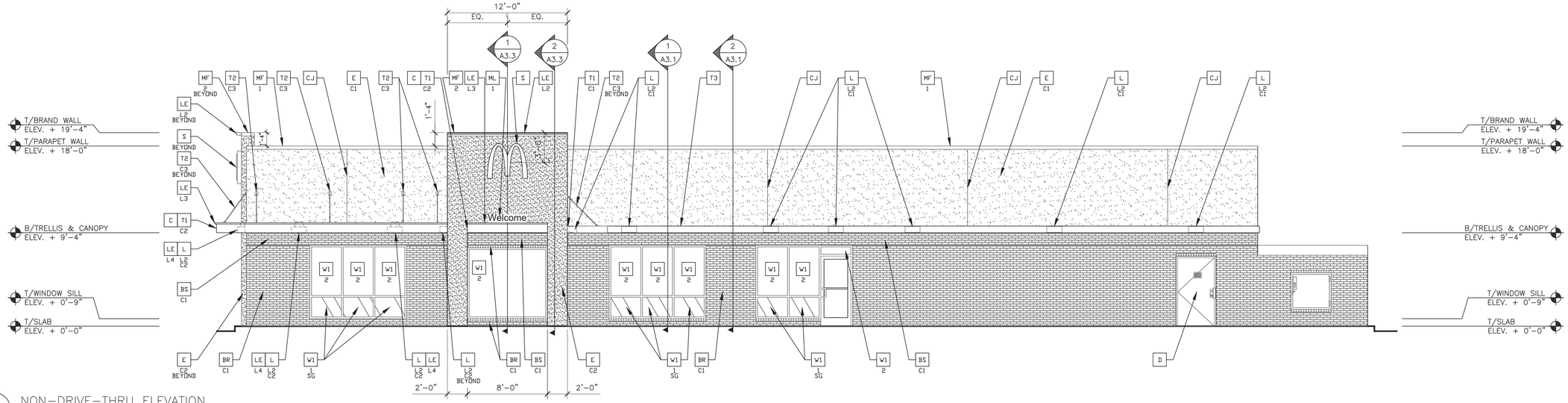
PREPARED BY:
SkyBorne Technologies
P.O. BOX 875
Westford, MA 01886

PREPARED FOR:
McDonald's USA, LLC

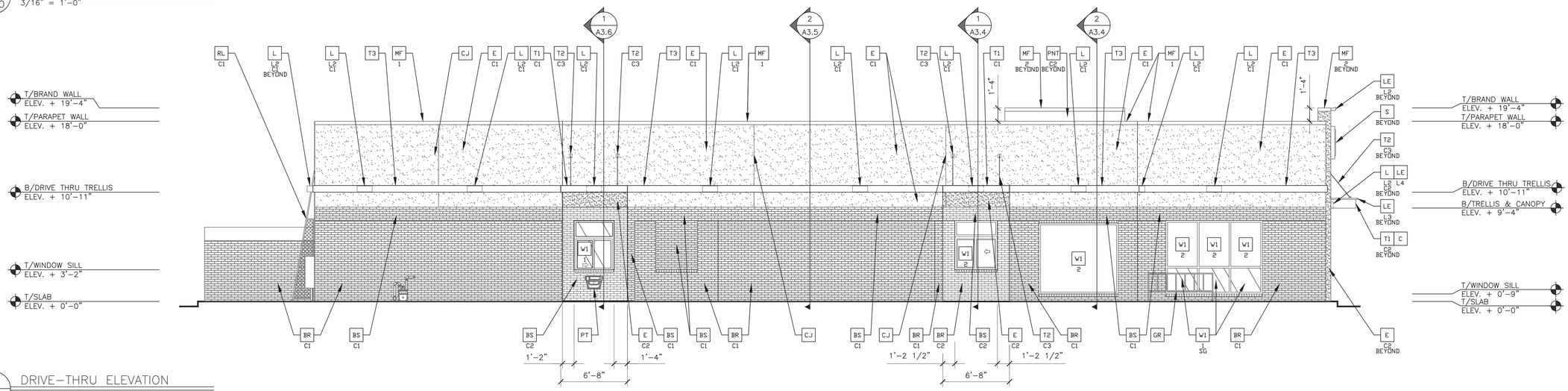
DRAWN BY: TAB
STD. ISSUE DATE: FEB 2017
REVIEWED BY: PM
DATE ISSUED: 11/09/2018

TITLE: ROOF LIGHTING PLAN
DESCRIPTION: REMODEL DESIGN PER 2017 MRP CRITERIA SET
CORE 16 EXTERIOR – NON PLAYPLACE
SITE ID: 20-0293
SITE ADDRESS: 159 MATHEWAY ROAD, NEW BEDFORD, MA.

SHEET NO. A1.2
PROJ.# XXXXXX
ROOF LIGHTING PLAN



1 A2.0 NON-DRIVE-THRU ELEVATION
3/16" = 1'-0"



2 A2.0 DRIVE-THRU ELEVATION
3/16" = 1'-0"

COLOR SCHEME: 'MODERN' SCHEME
(SEE ELEVATION KEYNOTES FOR MATERIALS AND COLOR SPECIFICATIONS)

KEY NOTES:

BR FACE BRICK
XX—TYPE:
C1 = PAINTED MASONRY—COLOR: CHELSEA GRAY
C2 = PAINTED MASONRY—COLOR: IRON MOUNTAIN

C ALUMINUM CANOPY FASCIA SYSTEM
COLOR: WHITE

T1 ALUMINUM TRELLIS SYSTEM
XX—COLOR:
C1 = CITYSCAPE
C2 = WHITE

T2 ALUMINUM TRELLIS TIE—BACK SYSTEM
XX—COLOR:
C3 = CHARCOAL

T3 ALUMINUM TRELLIS 2"x8" WALL FASCIA SYSTEM
COLOR: CITYSCAPE

RL ROOF LADDER
XX—COLOR:
C1 = CHELSEA GRAY HC—168 BY BENJAMIN MOORE

PNT PAINT EXISTING
MATCH TO BENJAMIN MOORE OR EQUAL
XX—COLOR:
C1 = CHELSEA GRAY HC—168 BY BENJAMIN MOORE
C2 = IRON MOUNTAIN 2134—30 BY BENJAMIN MOORE

CJ CONTROL JOINT

L LIGHT FIXTURE — SEE ELECTRICAL
XX— TYPE:
L2 = DOWN ONLY FIXTURE
L3 = RECESSED DOWN FIXTURE
COLOR:
C1 = SILVER
C2 = WHITE

LE ACCENT LIGHTING — SEE ELECTRICAL
XX—LED LIGHT:
L2 = DOWN ONLY FIXTURE
L3 = INTEGRAL CANOPY FIXTURE
L4 = FLOOD LIGHT

MF METAL FASCIA (COLOR: CITYSCAPE)
XX—TYPE:
1 = PRE—FAB ANCHOR—TITE FASCIA
2 = PRE—FAB CUSTOM ARCADE FASCIA

ML METAL LETTERING — BY OTHERS
X —TYPE:
1 = 'WELCOME' — COLOR: SILVER

W1 STOREFRONT AND GLAZING
X— 1 = NEW STOREFRONT AND GLAZING — SEE ASSEMBLY NOTES
2 = EXISTING WINDOW TO REMAIN
SG = SAFETY GLASS

SG SAFETY GLASS

GR GUARDRAIL — SCRAPE AND PAINT

PT PASS—THRU COIN COLLECTOR (RMHC) — NEW

S McDONALD'S SIGNAGE BY OTHERS — UNDER SEPARATE PERMIT.

D HOLLOW METAL DOOR — PAINT TO MATCH COLOR OF SURROUNDING MATERIAL

E HIGH IMPACT ZONES: 'PANZER 20' ULTRA HIGH IMPACT MESH EXTERIOR
XX INSULATION FINISH SYSTEM (E.I.F.S.) 'OUTSULATION PLUS MD' BY DRYVIT OR EQUAL ASSEMBLY FOR EIFS AREAS WITHIN 8'—0" OF GRADE.
FINISH: HYDROPHOBIC TEXTURE: SANDPEBBLE

COLOR: STATOTONE HIGH PERFORMANCE COLORANT —MATCH TO BENJAMIN MOORE OR EQUAL
C1 = CHELSEA GRAY HC—168 BY BENJAMIN MOORE
C2 = IRON MOUNTAIN 2134—30 BY BENJAMIN MOORE

BS PAINTED NICHIHA "PLYMOUTH BRICK" SIDING, MATCH
XX ADJACENT BRICK SIZE AND PATTERN
COLOR:
C1 = CHELSEA GRAY HC—168 BY BENJAMIN MOORE
C2 = PAINTED MASONRY—COLOR: IRON MOUNTAIN 2134—30

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COMMONWEALTH OF MASSACHUSETTS
SHAUN TIMOTHY MCGRATH
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P.O. BOX 875
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PREPARED FOR:
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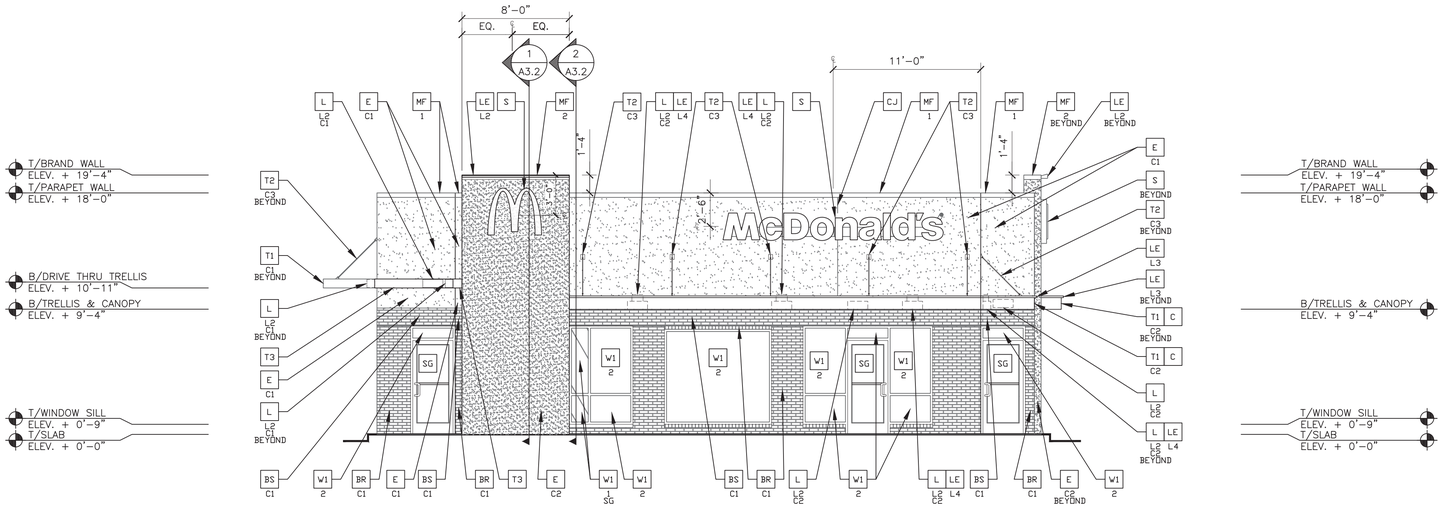
DRAWN BY TAB
STD ISSUE DATE FEB 2017
REVIEWED BY PM
DATE ISSUED 11/09/2018

TITLE ELEVATIONS

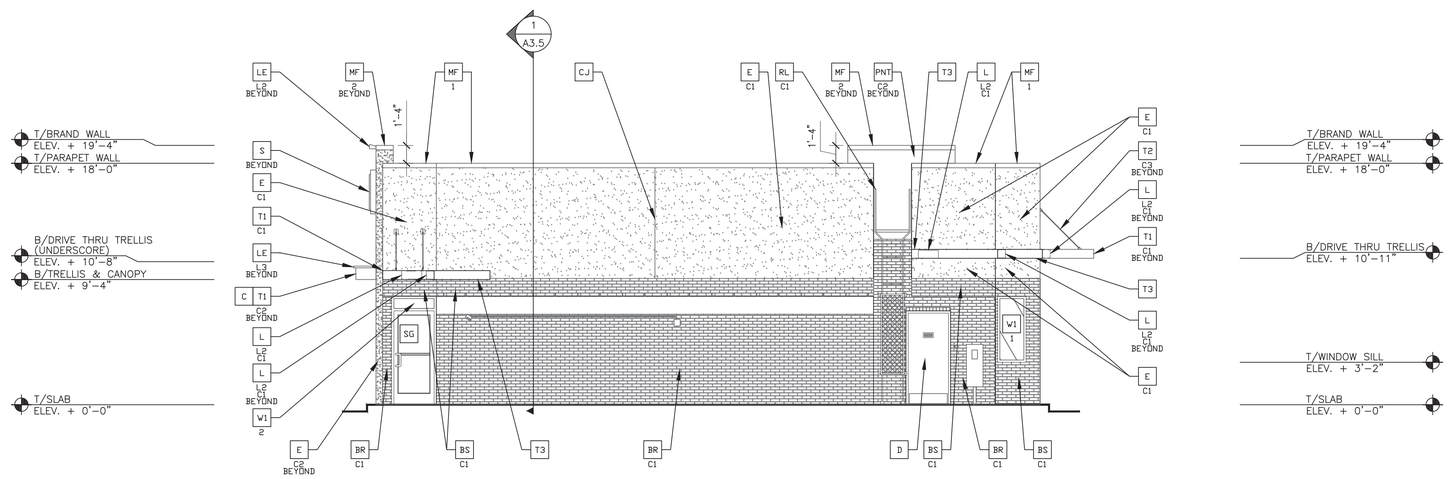
DESCRIPTION
REMODEL DESIGN PER 2017 MRP CRITERIA SET
CORE 16 EXTERIOR - IRON PLATPLACE

SITE ID 20-0293
SITE ADDRESS 159 MATHAWAY ROAD, NEW BEDFORD, MA.

SHEET NO. A2.0
PROJ.# XXXXXX
ELEVATIONS



1 / A2.1 FRONT ELEVATION
3/16" = 1'-0"



2 / A2.1 REAR ELEVATION
3/16" = 1'-0"

COLOR SCHEME: 'MODERN' SCHEME
(SEE ELEVATION KEYNOTES FOR MATERIALS AND COLOR SPECIFICATIONS)

KEY NOTES:

BR FACE BRICK
XX—TYPE:
C1 = PAINTED MASONRY—COLOR: CHELSEA GRAY
C2 = PAINTED MASONRY—COLOR: IRON MOUNTAIN

C ALUMINUM CANOPY FASCIA SYSTEM
COLOR: WHITE

T1 ALUMINUM TRELLIS SYSTEM
XX—COLOR:
C1 = CITYSCAPE
C2 = WHITE

T2 ALUMINUM TRELLIS TIE—BACK SYSTEM
XX—COLOR:
C3 = CHARCOAL

T3 ALUMINUM TRELLIS 2"x8" WALL FASCIA SYSTEM
COLOR: CITYSCAPE

RL ROOF LADDER
XX—COLOR:
C1 = CHELSEA GRAY HC—168 BY BENJAMIN MOORE

PNT PAINT EXISTING
MATCH TO BENJAMIN MOORE OR EQUAL
XX—COLOR:
C1 = CHELSEA GRAY HC—168 BY BENJAMIN MOORE
C2 = IRON MOUNTAIN 2134—30 BY BENJAMIN MOORE

CJ CONTROL JOINT

L LIGHT FIXTURE — SEE ELECTRICAL
XX—TYPE:
L2 = DOWN ONLY FIXTURE
L3 = RECESSED DOWN FIXTURE
COLOR:
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LE ACCENT LIGHTING — SEE ELECTRICAL
XX—LED LIGHT:
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MF METAL FASCIA (COLOR: CITYSCAPE)
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W1 STOREFRONT AND GLAZING
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2 = EXISTING WINDOW TO REMAIN
SG = SAFETY GLASS

SG SAFETY GLASS

GR GUARDRAIL — SCRAPE AND PAINT

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FINISH: HYDROPHOBIC TEXTURE: SANDPEBBLE
XX
COLOR: STATOTONE HIGH PERFORMANCE COLORANT —MATCH TO BENJAMIN MOORE OR EQUAL
C1 = CHELSEA GRAY HC—168 BY BENJAMIN MOORE
C2 = IRON MOUNTAIN 2134—30 BY BENJAMIN MOORE

BS PAINTED NICHIHA "PLYMOUTH BRICK" SIDING, MATCH ADJACENT BRICK SIZE AND PATTERN
XX
COLOR:
C1 = CHELSEA GRAY HC—168 BY BENJAMIN MOORE
C2 = PAINTED MASONRY—COLOR: IRON MOUNTAIN 2134—30

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COMMONWEALTH OF MASSACHUSETTS
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DRAWN BY: TAB
STD ISSUE DATE: FEB 2017
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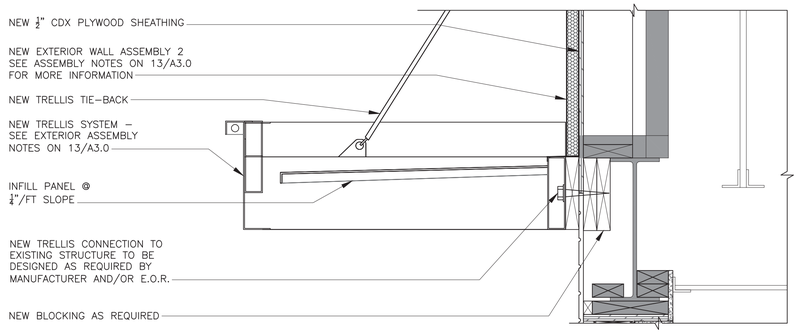
TITLE: ELEVATIONS

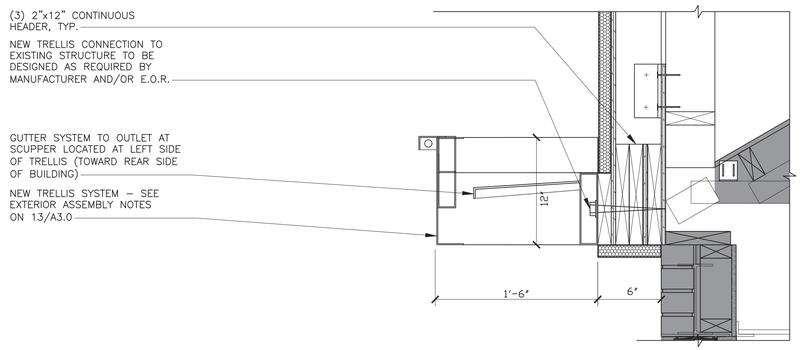
DESCRIPTION: REMODEL DESIGN PER 2017 MRP CRITERIA SET
CORE 16 EXTERIOR - NON PLATPLACE

SITE ID: 20-0293
SITE ADDRESS: 159 MATAMAY ROAD, NEW BEDFORD, MA.

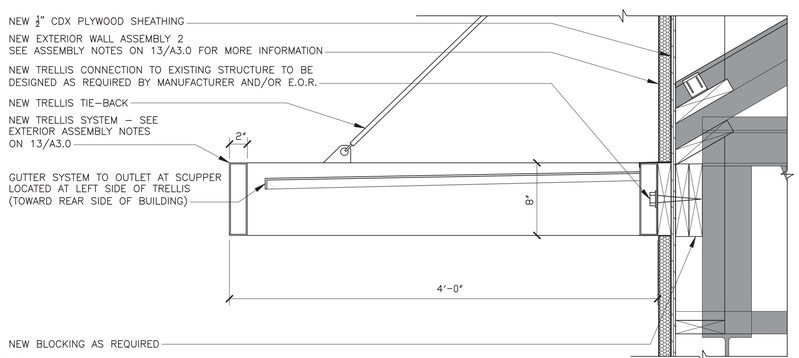
SHEET NO. A2.1
PROJ.# XXXXXX
ELEVATIONS



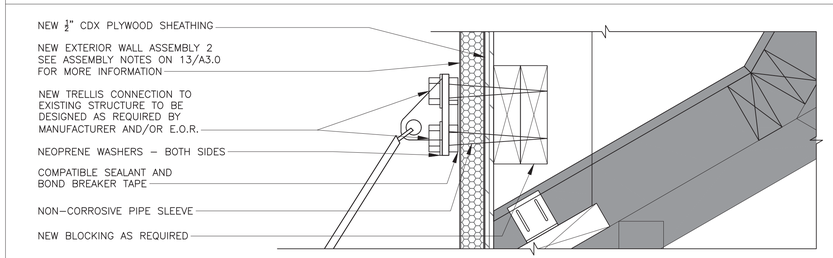
4 A3.0 DETAIL – TRELLIS SYSTEM
1 1/2" = 1'-0"



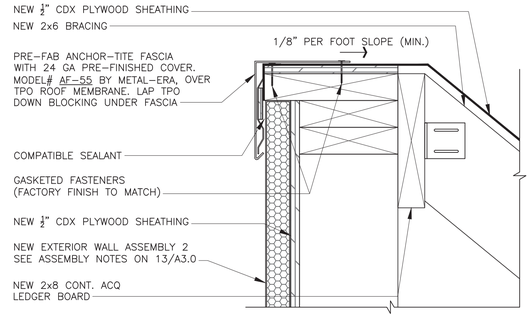
3 A3.0 DETAIL – TRELLIS @ ENTRY BRAND WALL
1 1/2" = 1'-0"



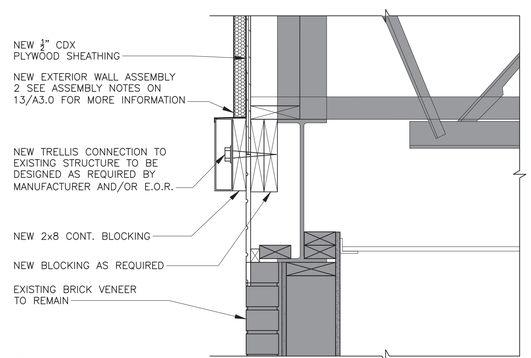
2 A3.0 DETAIL – DRIVE THRU TRELLIS
1 1/2"=1'0"



1 A3.0 DETAIL – TRELLIS TIE-BACK
3" = 1'-0"



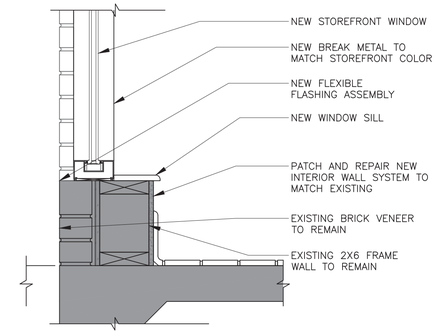
8 A3.0 DETAIL – FASCIA @ PARAPET – EIFS
3" = 1'-0"



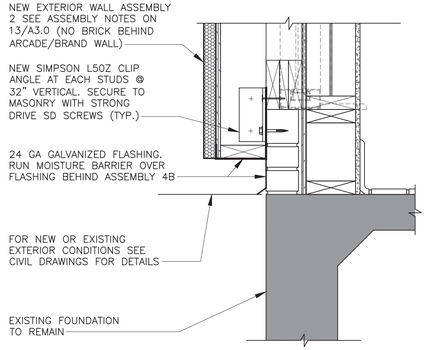
6 A3.0 DETAIL – TRELLIS FASCIA BAND
1 1/2"=1'0"

7 A3.0 NOT USED
NO SCALE

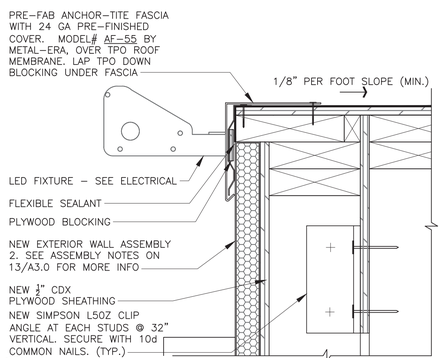
5 A3.0 NOT USED
NO SCALE



12 A3.0 DETAIL – WINDOW SILL
1 1/2" = 1'-0"



11 A3.0 DETAIL – BRAND WALL BASE
1 1/2" = 1'-0"



10 A3.0 DETAIL – LED FIXTURE
3" = 1'-0"

9 A3.0 NOT USED
NO SCALE

SEE ELEVATIONS FOR COLOR OF ALL CANOPY FASCIA, TRELLIS AND TIE-BACK COMPONENTS.

PROVIDE SLEEVES ON ALL FASTENERS OF TRELLIS AND/OR CANOPY CONNECTIONS TO PROVIDE CONSISTENT AND UNIFORM ATTACHMENT THROUGH BUILDING EXTERIOR WALL FINISH.

EXIST EXTERIOR WALL ASSEMBLY 1

FROM EXTERIOR TO INTERIOR:

1. 4" FACE BRICK
2. PERMEABLE BUILDING WRAP OVER EXTERIOR GRADE PLYWOOD. INSTALL PER LOCAL CODES AND MANUFACTURERS SPECIFICATIONS.
3. 2x6 WOOD STUD FRAMING @ 16" O.C. (WITH CONTINUOUS DRAFTSTOP/FIRESTOP BLOCKING AT FINISH CEILING LEVEL).
4. KRAFT FACED BATT INSULATION (R VALUE = 19).
5. IMPERMEABLE VAPOR BARRIER (REVISE PER REGIONAL REQUIREMENTS.)
6. WALL BASE: 1/2" CEMENT BOARD 12" IN HEIGHT. ABOVE BASE EXTENDING TO STRUCTURE ABOVE: 1/2" USG "SHEETROCK BRAND MOLD TOUGH" GYPSUM PANELS OR 1/2" PLYWOOD BACKUP AS INDICATED ON THE ROOM FINISH SCHEDULE. ANY GYP PANEL SUBSTITUTIONS MUST SCORE 10 PER ASTM D3273.
7. SEE FINISH & PARTITION SCHEDULE.

NEW EXTERIOR WALL ASSEMBLY 2

FROM EXTERIOR TO INTERIOR:

1. DRAINAGE E.I.F.S. SYSTEM (NOT BARRIER) CONSISTING OF 1-1/2" INSULATION MECHANICALLY FASTENED OVER PERMEABLE MEMBRANE WITH OPEN WEAVE HIGH IMPACT FIBER REINFORCING MESH OVER EXTERIOR GRADE PLYWOOD. PROVIDE CORRUGATED PLASTIC DRAINAGE STRIP AT BOTTOM OF THE PANEL WITH PVC J CHANNELS WITH WEEP HOLES. INSTALL PER LOCAL CODES AND MANUFACTURERS SPECIFICATIONS.
2. 2x6 PRESSURE TREATED STUD FRAMING @ 16" O.C. ANCHORED TO EXTERIOR WALL ASSEMBLY 1 – SEE STRUCTURAL DRAWINGS FOR ANCHORAGE DETAILS.

NEW EXTERIOR WALL ASSEMBLY 4

BRAND WALL ASSEMBLY. SEE DETAILS 1/A4.0 AND 2/A4.0 FOR MORE INFO.

TRELLIS & CANOPY SYSTEMS

TRELLIS & CANOPY INFORMATION SHOWN IN CONSTRUCTION DOCUMENTS IS FOR DESIGN INTENT ONLY. APPROVED MANUFACTURERS SHALL PROVIDE A COMPLETE AND CODE COMPLIANT FINAL DESIGN.

1. FASCIA (TRELLIS): CONT. 2"X8" ANODIZED ALUM. TUBE
   FASCIA (CANOPY): CONT. 12"H WHITE PAINTED ALUM. W/ LED DOWN-LIGHT FIXTURE OVER 2"X8" ALUM. TUBE.
2. OUTRIGGERS (TRELLIS): ANODIZED 2"X8" ALUMINUM TUBE
   OUTRIGGERS (CANOPY): PAINTED 2"X8" ALUMINUM TUBE
3. TIE-BACKS (TRELLIS): ANODIZED ALUM. THREADED RODS BY MFR.
   TIE-BACKS (CANOPY): PAINTED ALUM. THREADED RODS BY MFR. LOCATIONS AS INDICATED ON ROOF PLAN. FINAL LOCATIONS AND QUALITY SHALL BE AS INDICATED ON TRELLIS INSTALLATION DRAWINGS. MATERIAL COLOR PER ELEVATIONS.
4. WHERE INDICATED ON ROOF PLAN, PROVIDE ANODIZED ALUM. PANEL INFILL (TRELLIS) WHITE PAINTED ALUM. PANEL INFILL (CANOPY) TO PROVIDE POSITIVE SLOPE FOR DRAINAGE.
5. SYSTEM SHALL ALLOW FOR MOVEMENT AT EXPANSION JOINTS AND FOR MOVEMENT OF EXTERIOR WALL SYSTEM ON WHICH THE TRELLIS OR CANOPY IS MOUNTED.
6. STRUCTURAL ATTACHMENTS & LOAD CALCULATIONS SHALL BE FURNISHED BY TRELLIS OR CANOPY SYSTEM DESIGNER OF RECORD. SUPPLIER'S DESIGNER OF RECORD SHALL DESIGN PER PREVAILING CODES.
7. TRELLIS SYSTEM MAY BE SELECTED FROM ONE OF THE SUPPLIERS LISTED BELOW.
8. MANUFACTURER SHALL PROVIDE INSTALLER WITH INSTALLATION INSTRUCTIONS. MANUFACTURER SHALL DESIGN TRELLIS IN ACCORDANCE WITH THE WALL SYSTEM AND BLOCKING AS INDICTED IN THE CONSTRUCTION DOCUMENTS.
9. INSTALLER SHALL NOTIFY TRELLIS & CANOPY DESIGNER OF RECORD, McDONALD'S ACM, G.C. AND ARCHITECT OF ANY DEFICIENCIES THAT WOULD NOT ALLOW FOR THE PROPER INSTALLATION OF THE TRELLIS. TRELLIS SHALL NOT BE INSTALLED UNTIL DEFICIENCIES HAVE BEEN CORRECTED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND THE TRELLIS MANUFACTURER'S INSTALLATION INSTRUCTIONS.

13 A3.0 WALL ASSEMBLY NOTES
NO SCALE

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0	02.01.19	FOR FILING	

COMMONWEALTH OF MASSACHUSETTS
SHAUN TIMOTHY McGRATH
CIVIL
NO. 54149
REGISTERED PROFESSIONAL ENGINEER

PREPARED BY:
SkyBorne Technologies
P.O. BOX 875
Westford, MA 01886

PREPARED FOR:
McDonald's USA, LLC

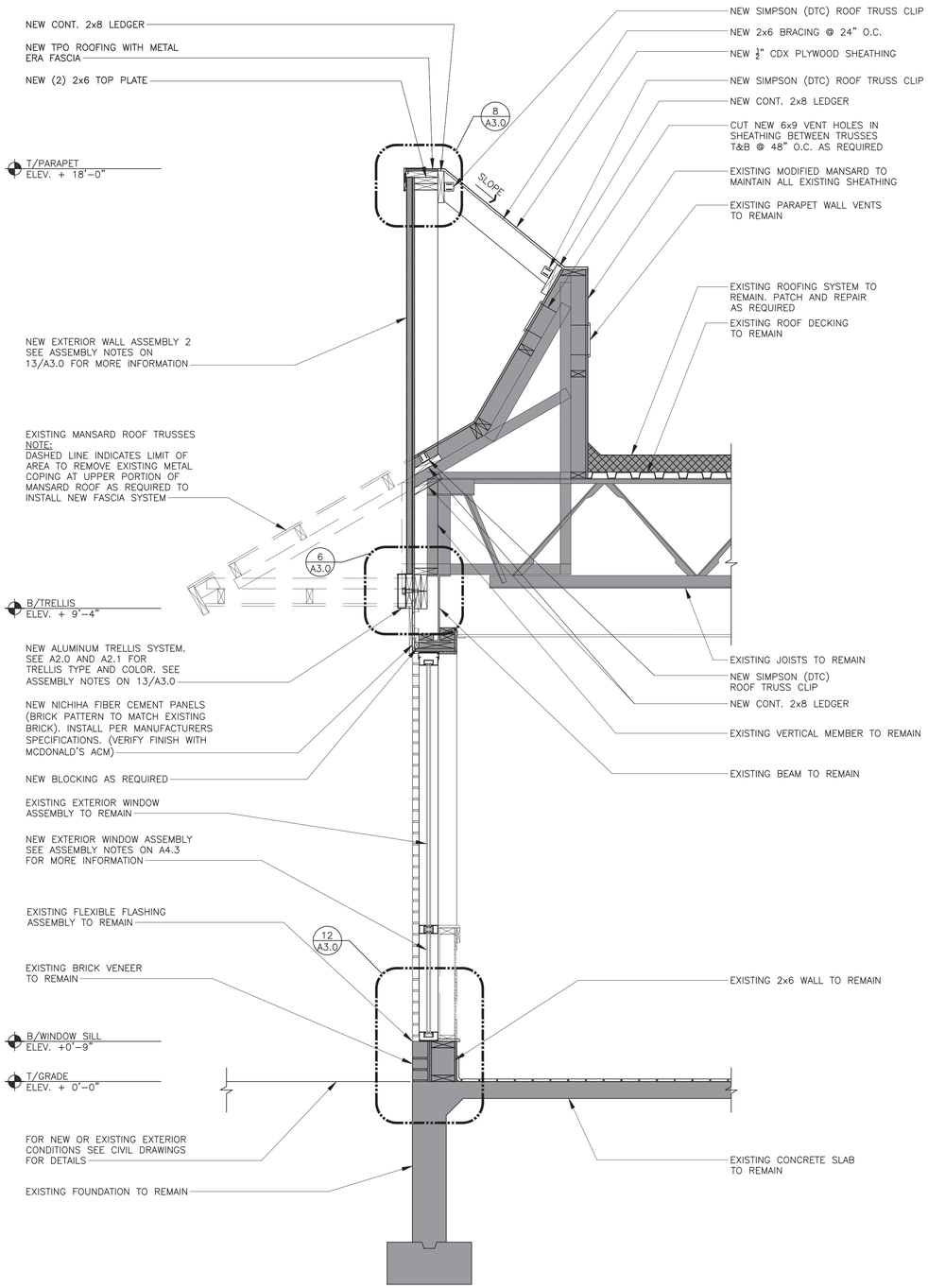
DRAWN BY TAB
STD ISSUE DATE FEB 2017
REVIEWED BY PM
DATE ISSUED 11/09/2018

TITLE: WALL SECTION DETAILS

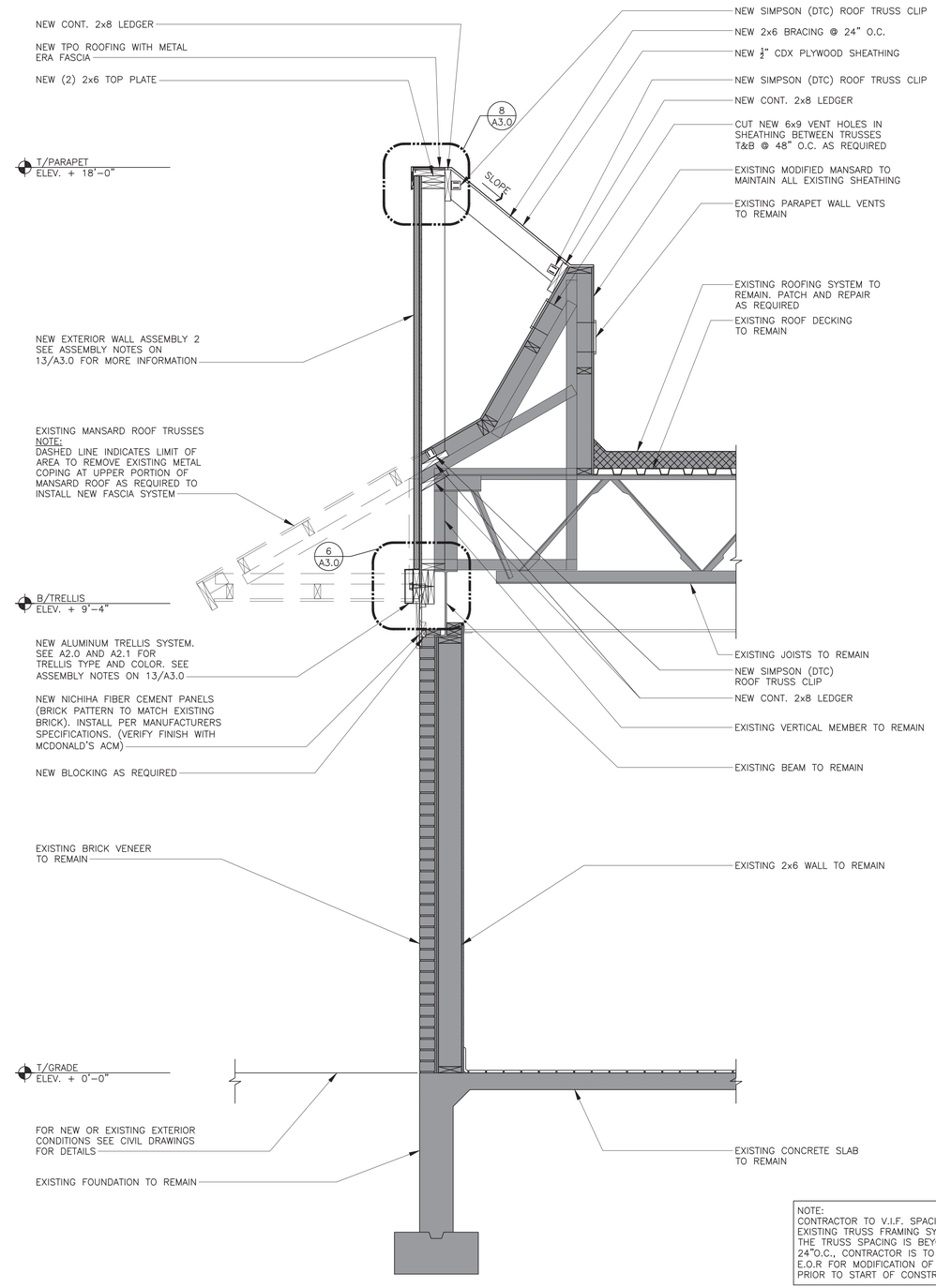
DESCRIPTION: REMODEL DESIGN PER 2017 MRP CRITERIA SET
CORE 16 EXTERIOR – NON PLAYPLACE

SITE ID: 20-0293
SITE ADDRESS: 159 MATHAWAY ROAD, NEW BEDFORD, MA.

SHEET NO. A3.0
PROJ.# XXXXXX
WALL SECTION DETAILS



1 / A3.1 SECTION – DINING ROOM SIDE (WINDOW)
3/4" = 1'-0"



2 / A3.1 SECTION – SIDE (WALL)
3/4" = 1'-0"

NOTE:
CONTRACTOR TO V.I.F. SPACING OF EXISTING TRUSS FRAMING SYSTEM. IF THE TRUSS SPACING IS BEYOND 24"O.C., CONTRACTOR IS TO CONTACT E.O.R FOR MODIFICATION OF FRAMING PRIOR TO START OF CONSTRUCTION

SEE ELEVATIONS FOR COLOR OF ALL CANOPY FASCIA, TRELLIS AND TIE-BACK COMPONENTS.

NOTE:
CONTRACTOR TO INSTALL STRAPPING/ HANGERS/SUPPORTS AS REQUIRED BY CODE.

TRELLIS VENDOR TO PROVIDE FULL SHOP DRAWINGS SHOWING ATTACHMENT POINTS AND ASSEMBLY OF TRELLIS & UNDERSCORE.

NOTE:
CONTRACTOR TO V.I.F. SIZE OF EXISTING HEADER IF EXISTING STRUCTURE IS NOT ADEQUATE THEY ARE TO NOTIFY E.O.R. FOR REQUIRED NEW HEADER.

PROVIDE SLEEVES ON ALL FASTENERS OF TRELLIS AND/OR CANOPY CONNECTIONS TO PROVIDE CONSISTENT AND UNIFORM ATTACHMENT THROUGH BUILDING EXTERIOR WALL FINISH.

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0	02.01.19	FOR FILING	

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DATE ISSUED 11/09/2018

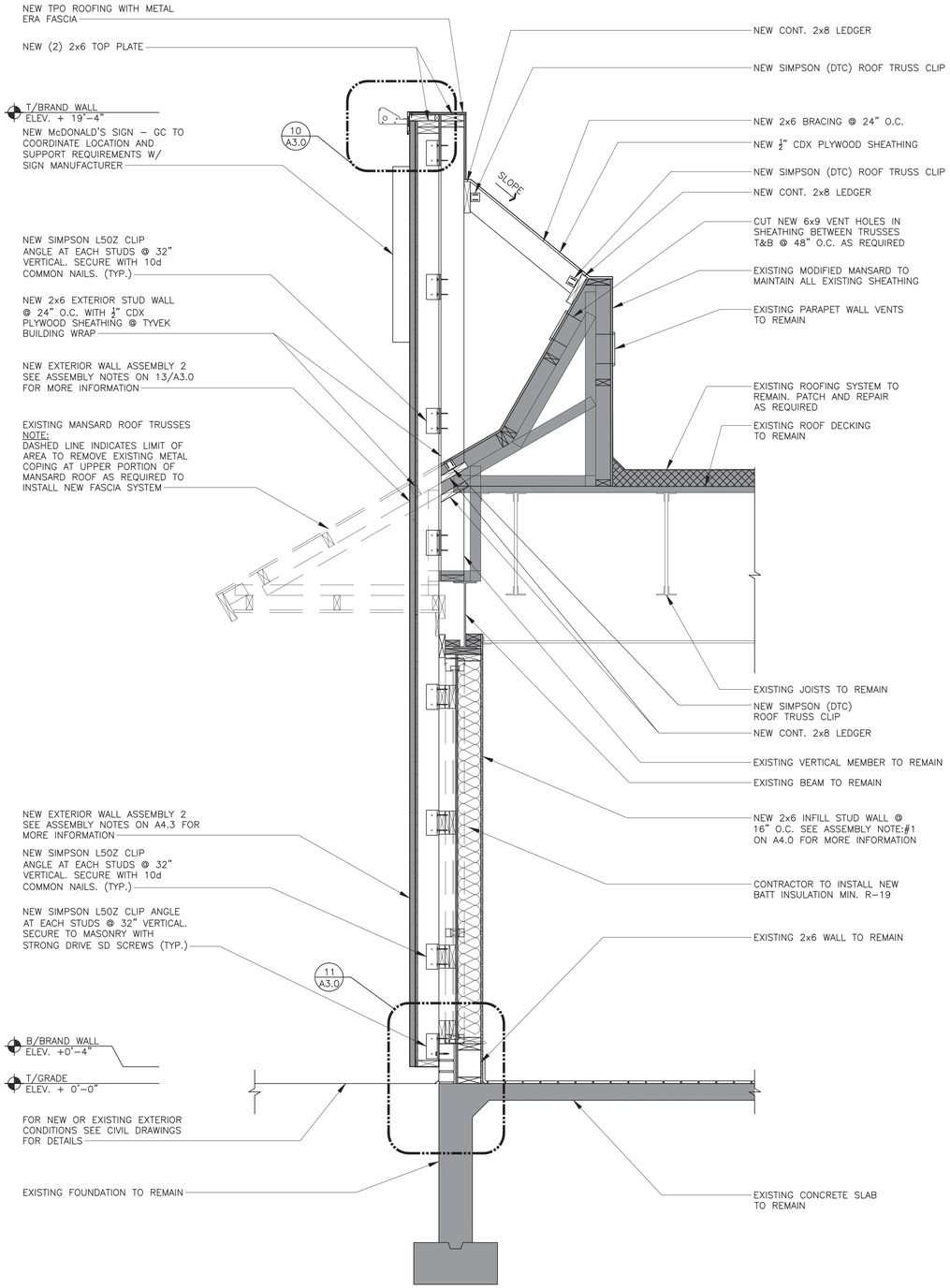
TITLE: WALL SECTIONS

DESCRIPTION: REMODEL DESIGN PER 2017 MRP CRITERIA SET CORE 16 EXTERIOR – NON PLATPLACE

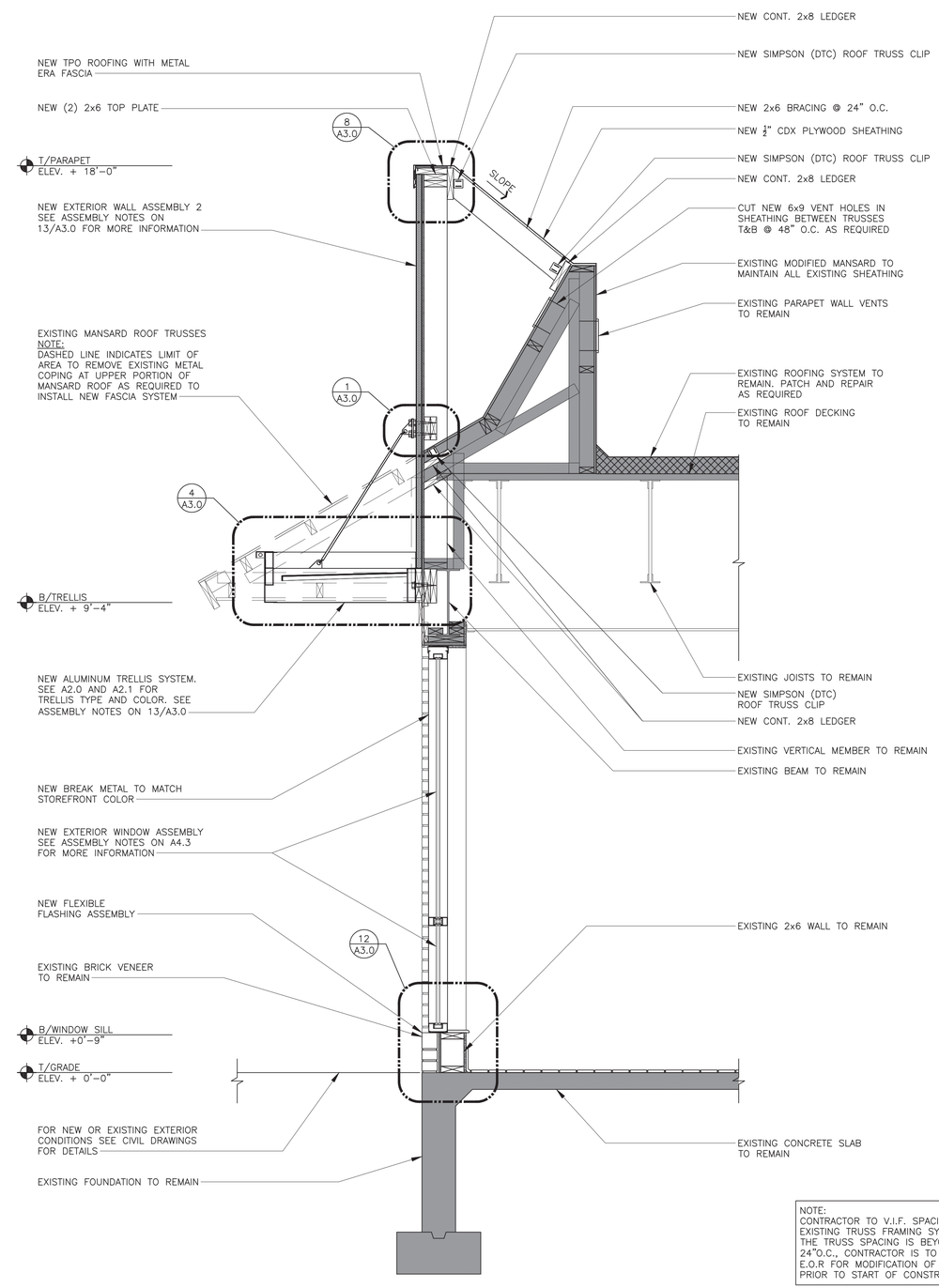
SITE ID: 20-0293
SITE ADDRESS: 159 HATHAWAY ROAD, NEW BEDFORD, MA.

SHEET NO.: A3.1
WALL SECTIONS

PROJ.# XXXXXX



1 / A3.2 SECTION – FRONT BRAND WALL
3/4" = 1'-0"



2 / A3.2 SECTION – FRONT DINING ROOM (WINDOW)
3/4" = 1'-0"

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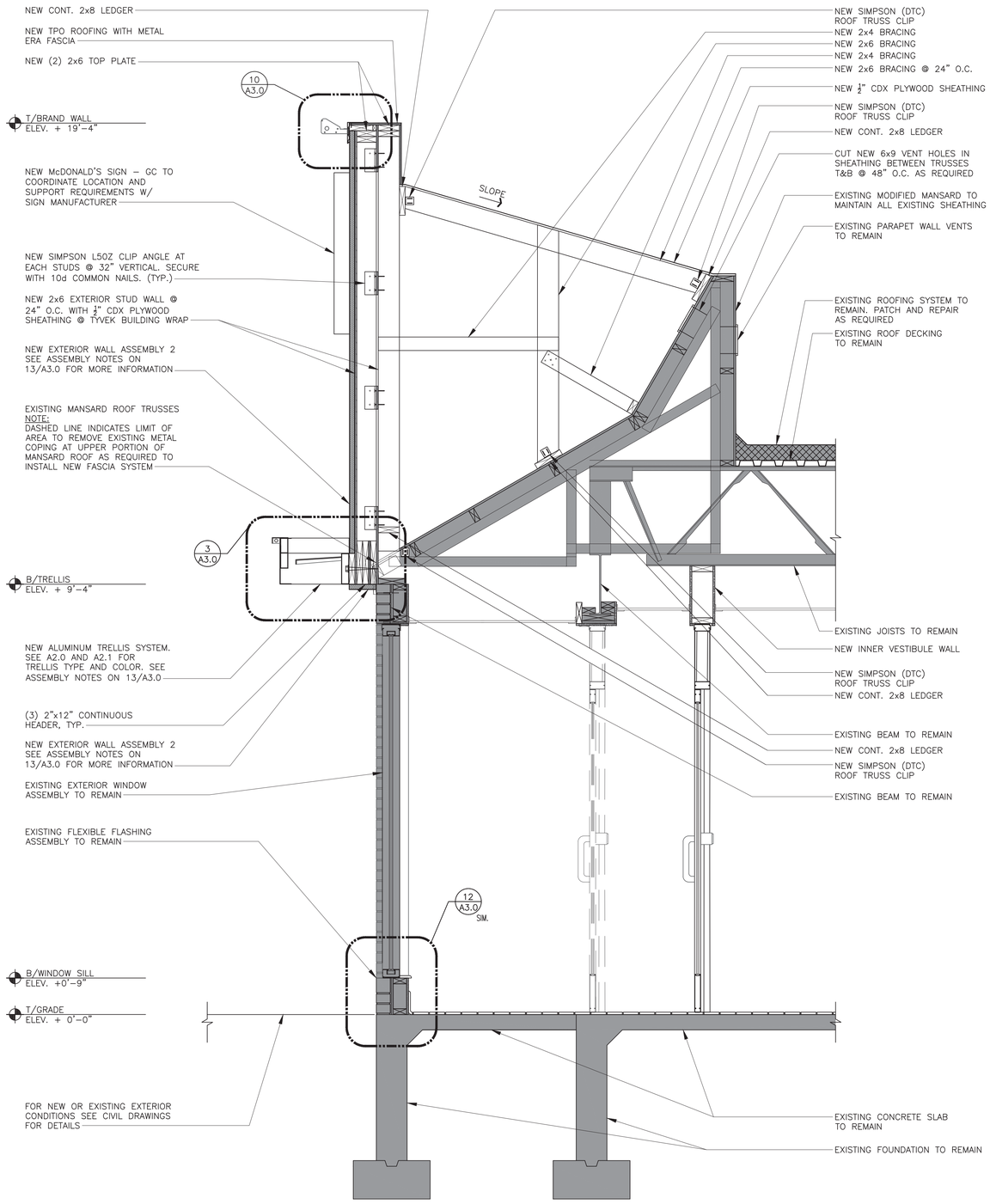
DRAWN BY: TAB
STD. ISSUE DATE: FEB 2017
REVIEWED BY: PM
DATE ISSUED: 11/09/2018

TITLE: WALL SECTIONS

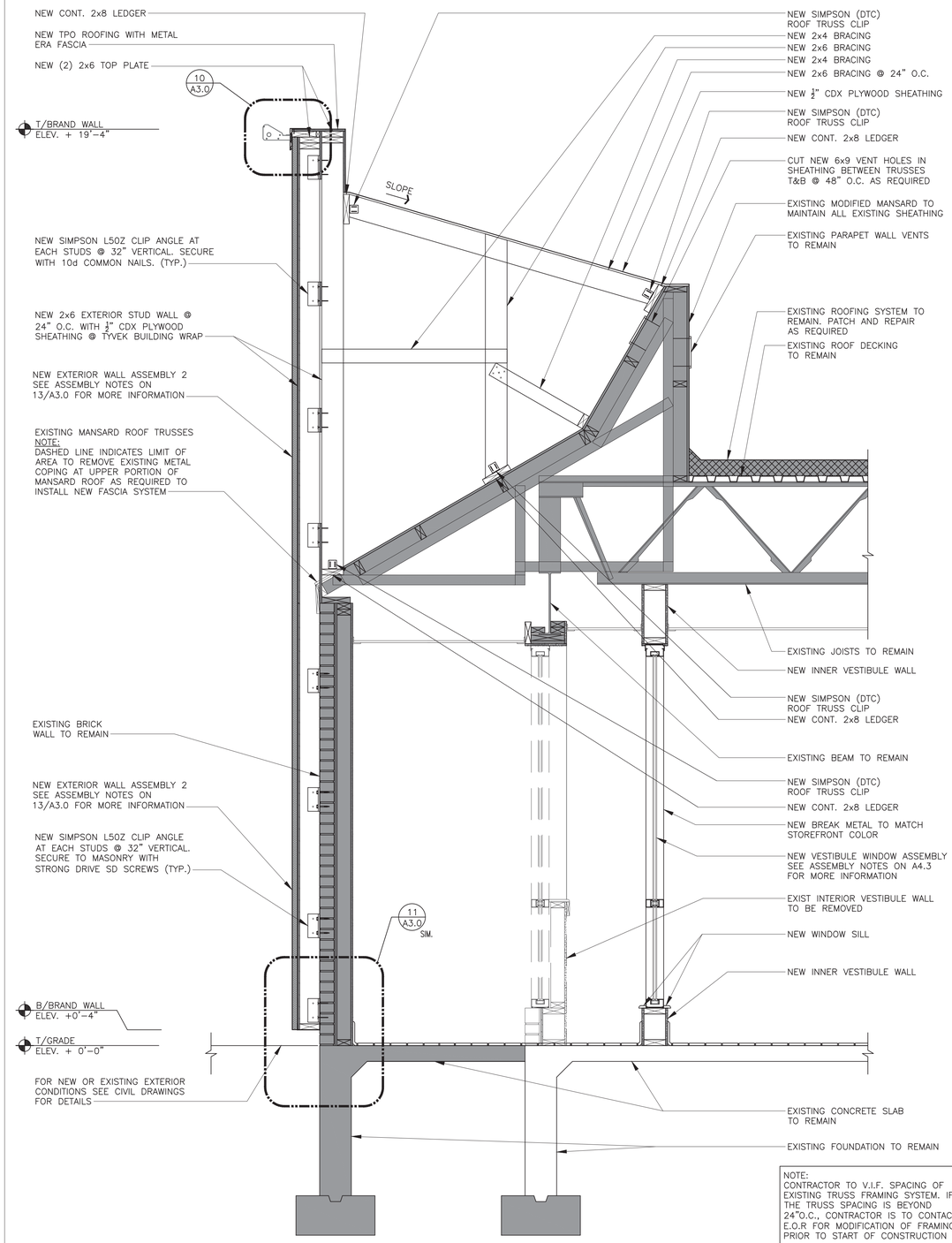
DESCRIPTION: REMODEL DESIGN PER 2017 MRP CRITERIA SET
CORE 16 EXTERIOR – NON PLAYPLACE

SITE ID: 20-0293
SITE ADDRESS: 159 HATHAWAY ROAD, NEW BEDFORD, MA.

SHEET NO. A3.2
PROJ.# XXXXXX
WALL SECTIONS



1 A3.3 SECTION – ENTRY SIDE BRAND WALL (WINDOW)
3/4" = 1'-0"



2 A3.3 SECTION – ENTRY SIDE BRAND WALL (WALL)
3/4" = 1'-0"

NOTE:
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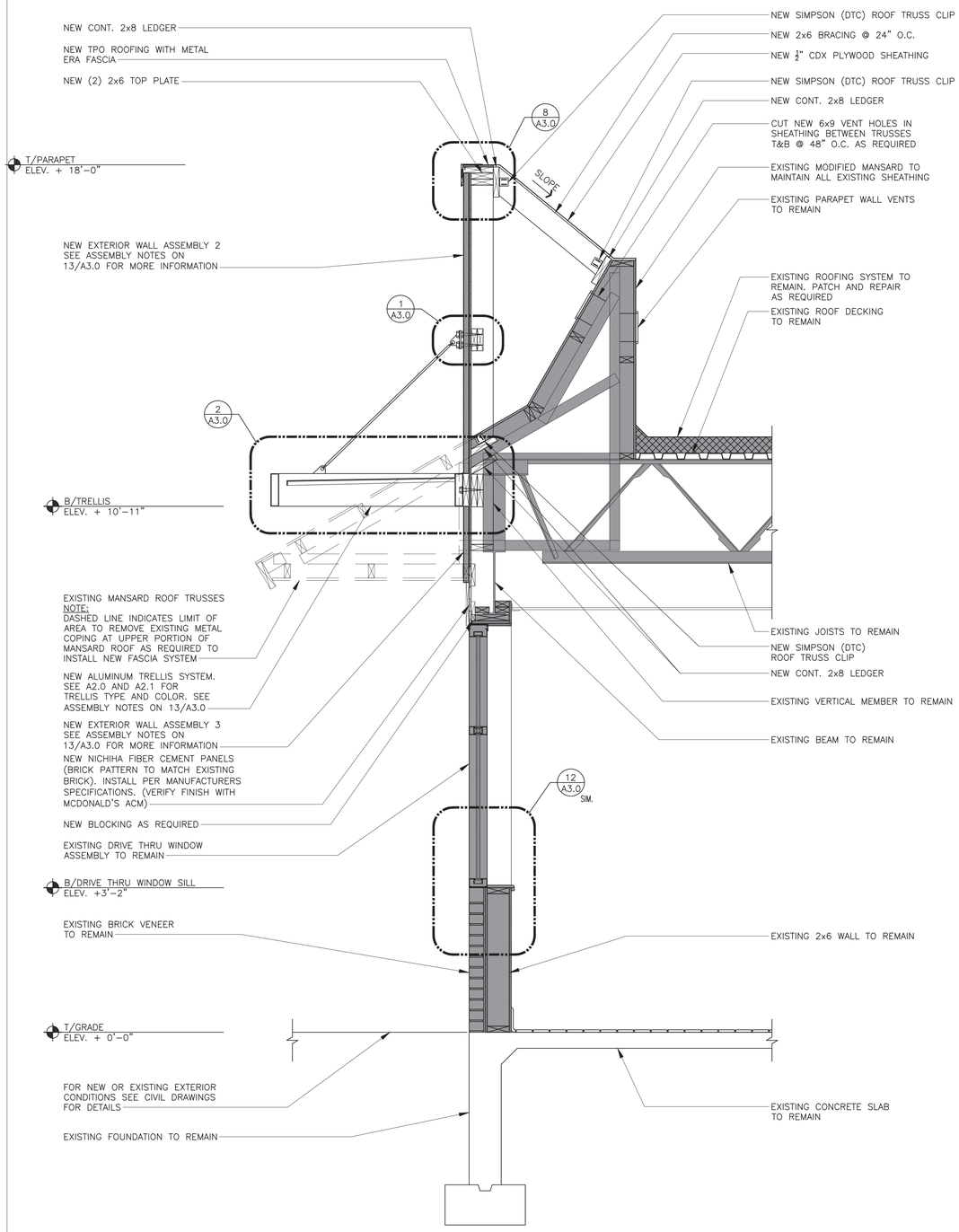
TITLE: WALL SECTIONS

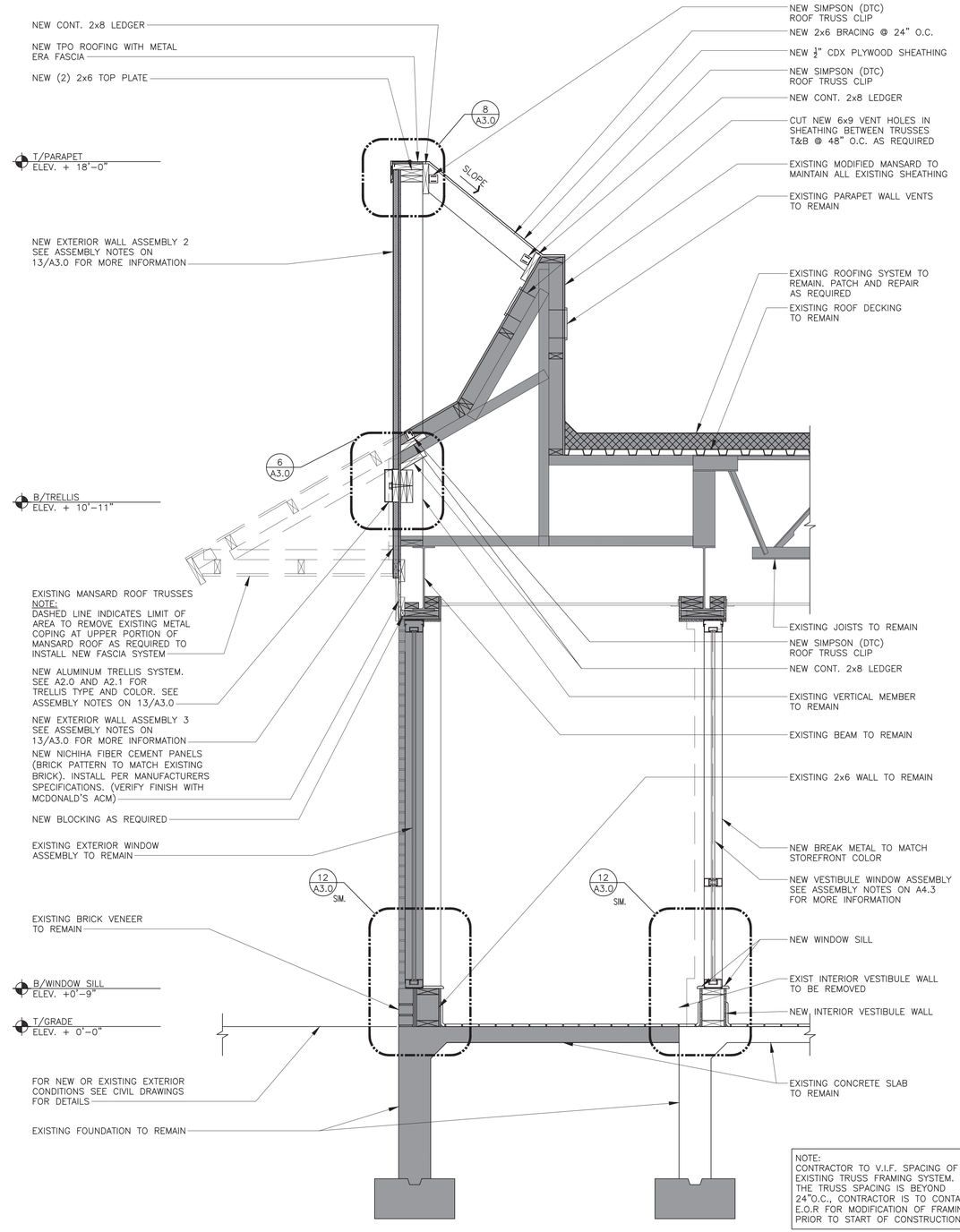
DESCRIPTION: REMODEL DESIGN PER 2017 MRP CRITERIA SET
CORE 16 EXTERIOR - NON PLATPLACE

SITE ID: 20–0293
SITE ADDRESS: 159 HATHAWAY ROAD, NEW BEDFORD, MA.

SHEET NO. A3.3
PROJ.# XXXXXX
WALL SECTIONS



1 / A3.4 SECTION – DRIVE THRU (WINDOW)
3/4" = 1'-0"



2 / A3.4 SECTION – DRIVE THRU SIDE VESTIBULE (WINDOW)
3/4" = 1'-0"

NOTE:
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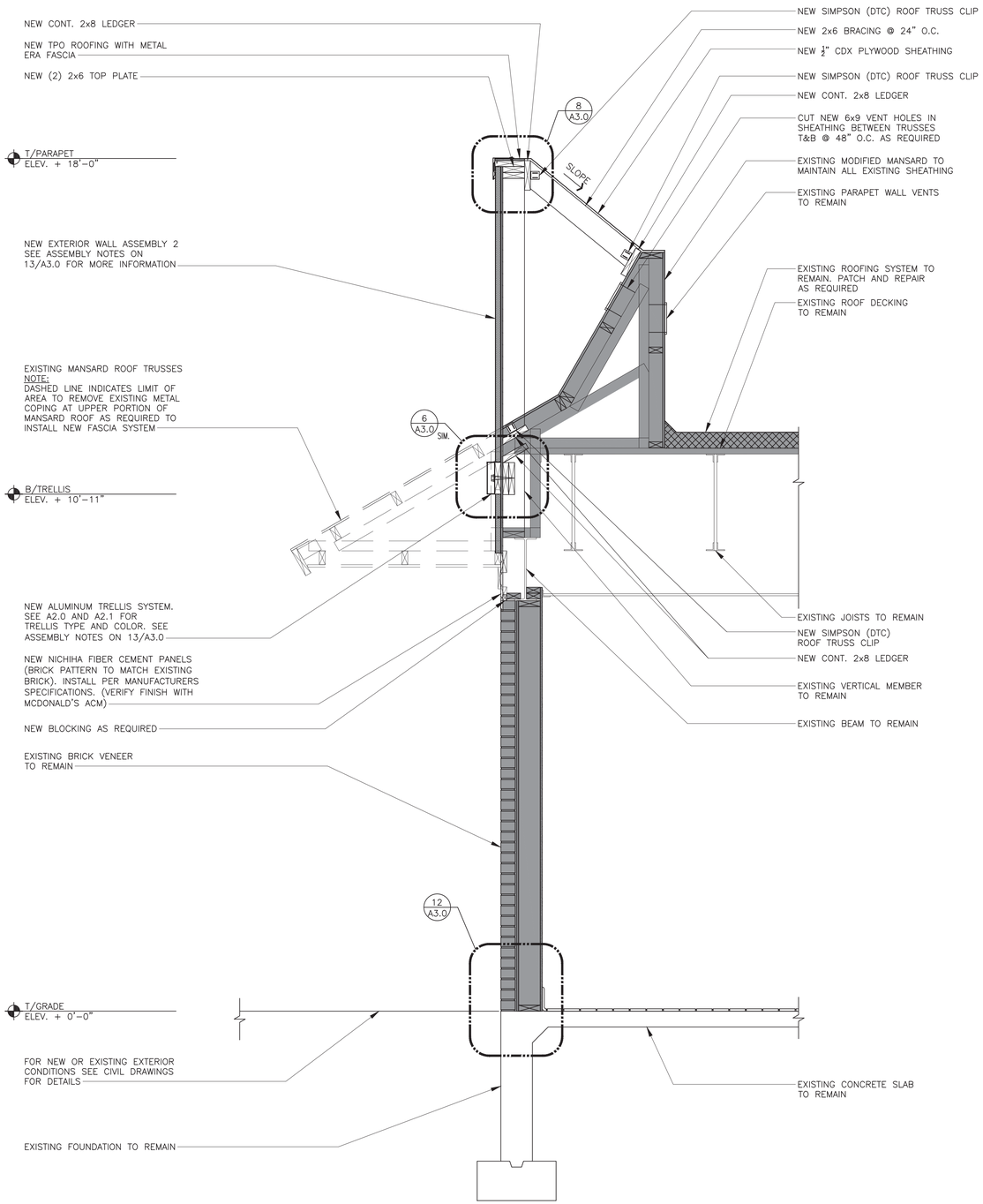
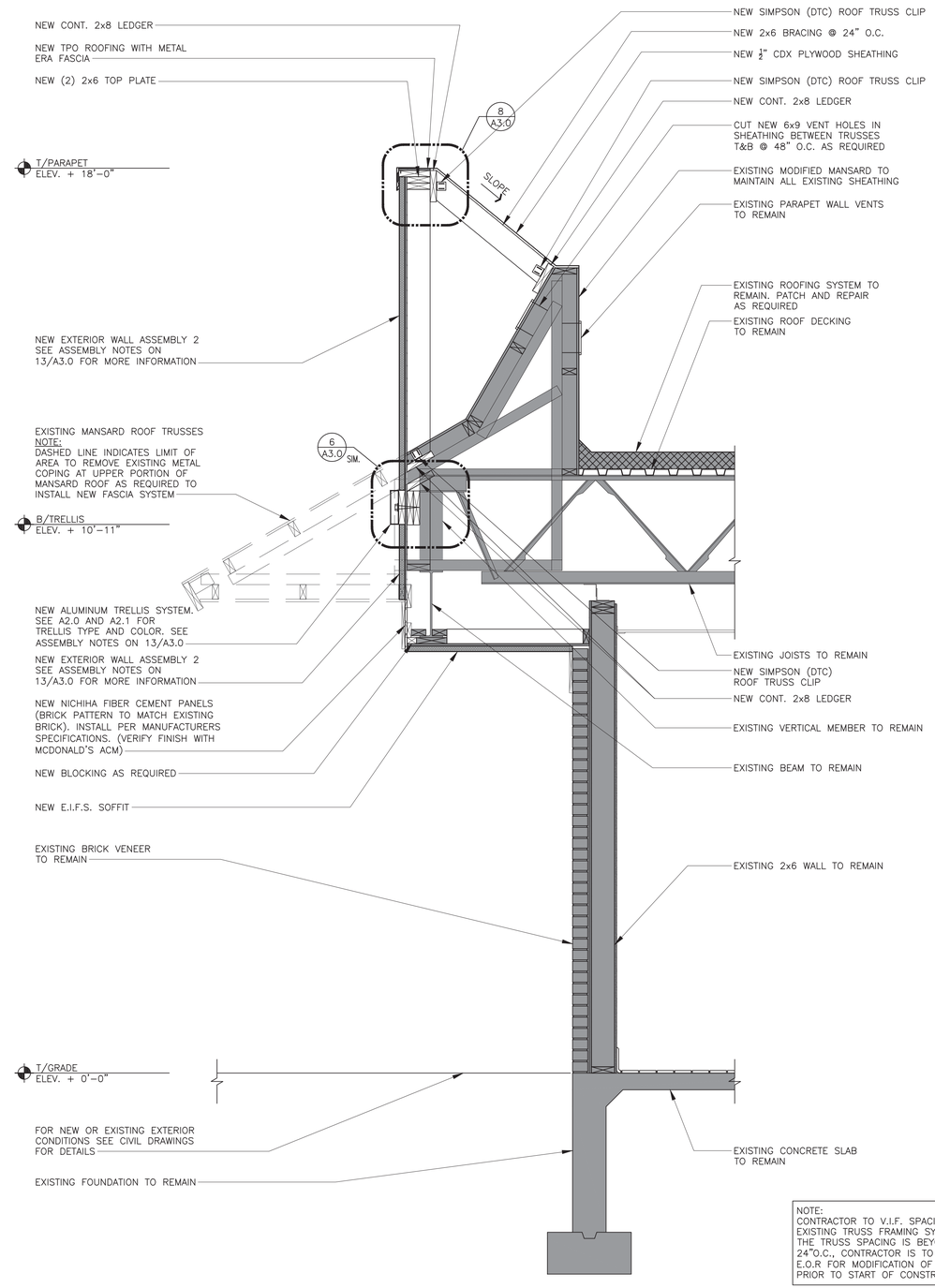
CORE 16 EXTERIOR – NON PLATPLACE

SITE ID: 20-0293
SITE ADDRESS: 159 HATHAWAY ROAD, NEW BEDFORD, MA.

SHEET NO. A3.4
PROJ.# XXXXXX
WALL SECTIONS



1 / A3.5 SECTION – REAR WALL
3/4" = 1'-0"



2 / A3.5 SECTION – WALL BETWEEN DRIVE THRU WINDOWS
3/4" = 1'-0"

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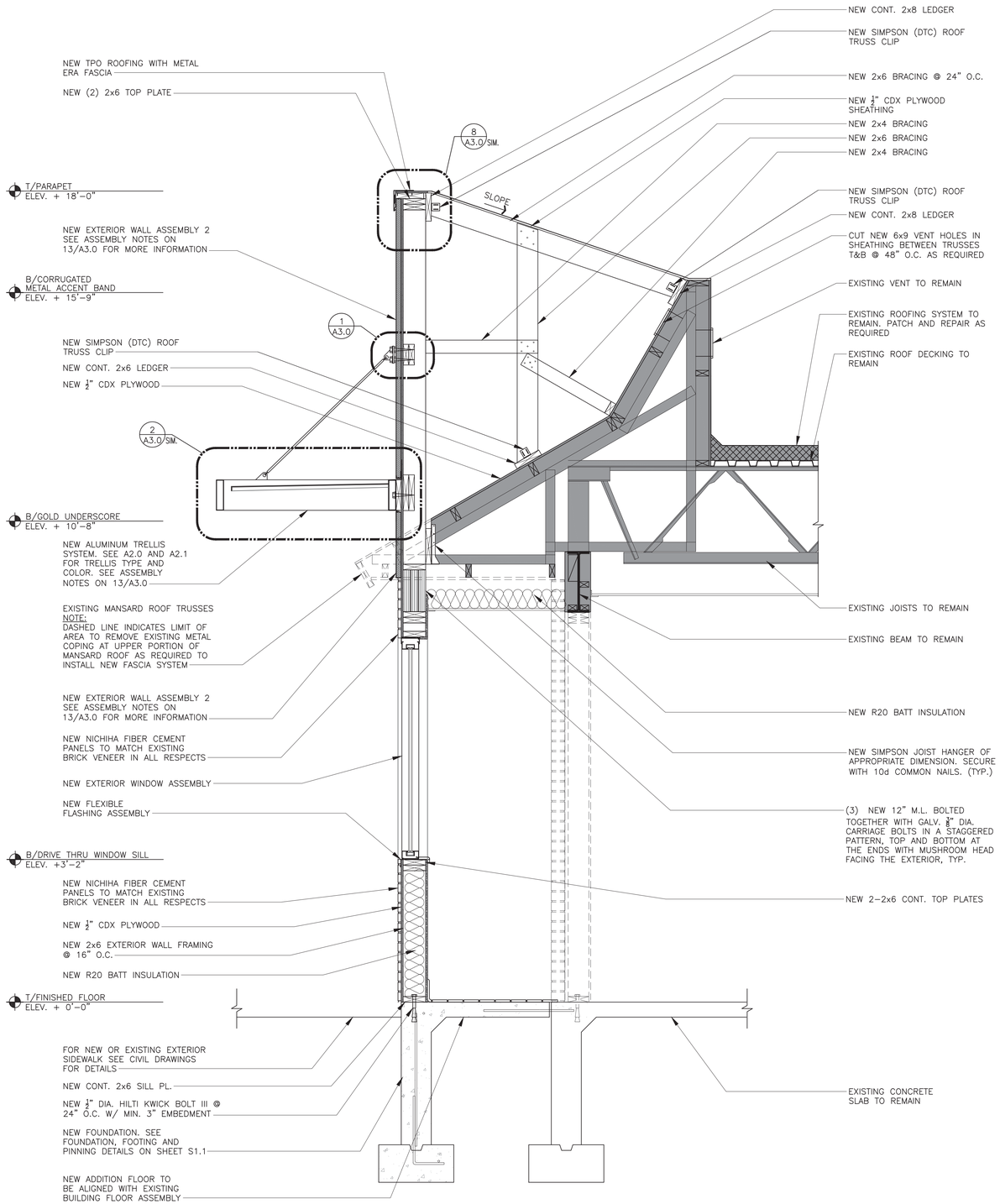
TITLE: WALL SECTIONS
DESCRIPTION: REMODEL DESIGN PER 2017 MRP CRITERIA SET CORE 16 EXTERIOR – NON PLATPLACE
SITE ID: 20-0293
SITE ADDRESS: 159 HATHAWAY ROAD, NEW BEDFORD, MA.

SHEET NO. A3.5
PROJ.# XXXXXX
WALL SECTIONS



1 A3.6 SECTION – DRIVE THRU (ORDER WINDOW)
3/4" = 1'-0"

2 A3.6 NOT USED
NO SCALE

NOTE:
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TRELLIS VENDOR TO PROVIDE FULL SHOP DRAWINGS SHOWING ATTACHMENT POINTS AND ASSEMBLY OF TRELLIS & UNDERSCORE.

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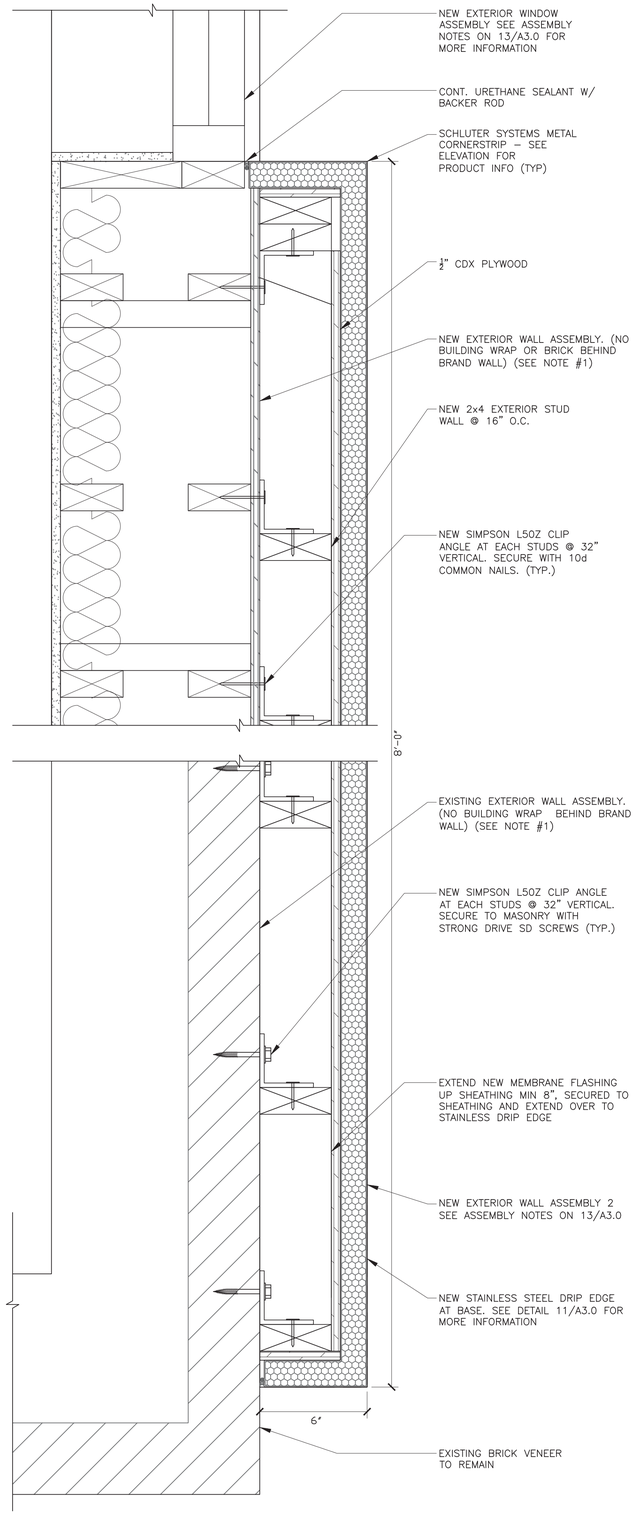
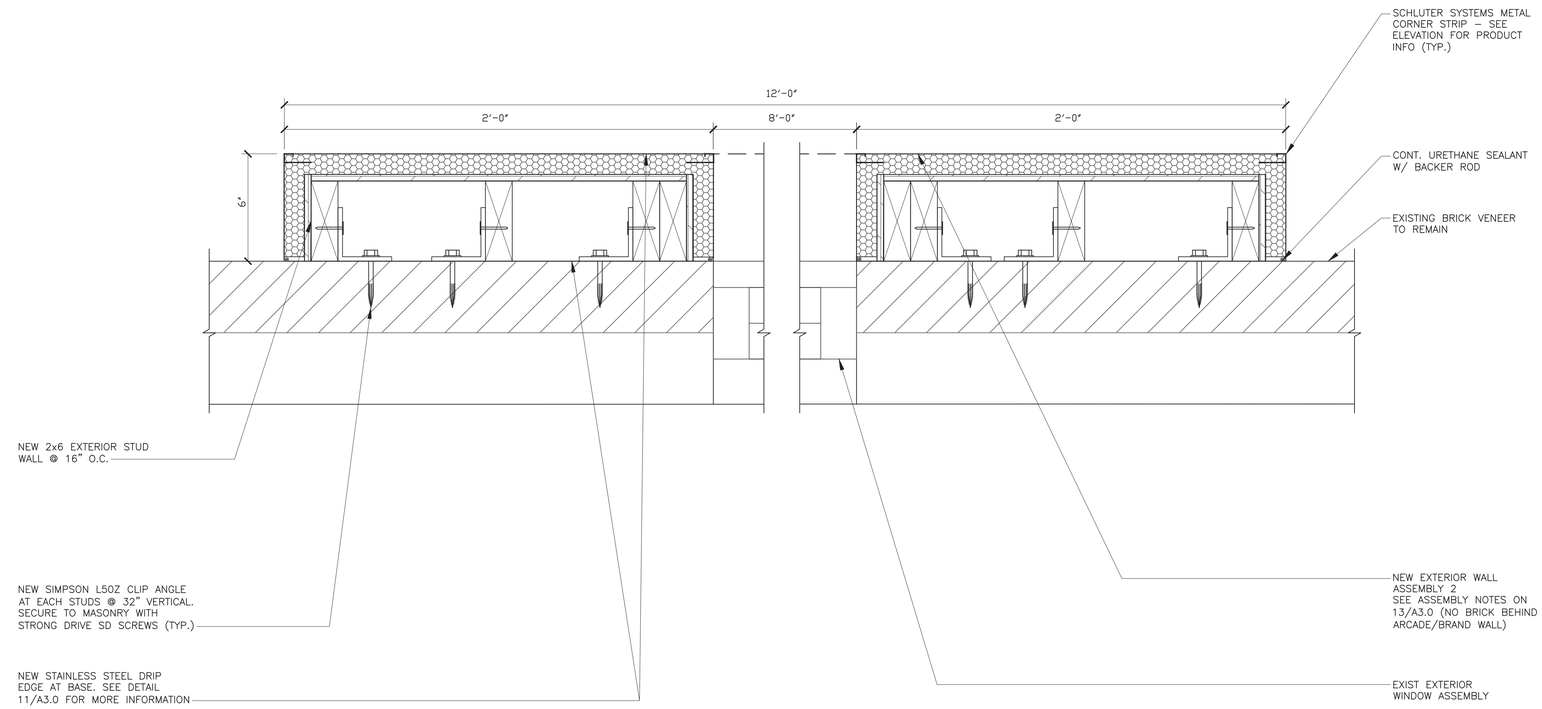
DESCRIPTION REMODEL DESIGN PER 2017 MRP CRITERIA SET CORE 16 EXTERIOR – NON PLATPLACE
SITE ID 20-0293
SITE ADDRESS 159 HATHAWAY ROAD, NEW BEDFORD, MA.

SHEET NO. A3.6
WALL SECTIONS
PROJ.# XXXXXX



1 A4.0 DETAIL AT BRAND WALL
3" = 1'-0"



2 A4.0 DETAIL AT BRAND WALL VESTIBULE
3" = 1'-0"

BRAND WALL FINISH NOTE:
DRAINAGE E.I.F.S. SYSTEM (NOT BARRIER) CONSISTING OF 1–1/2" INSULATION MECHANICALLY FASTENED OVER PERMEABLE MEMBRANE WITH OPEN WEAVE HIGH IMPACT FIBER REINFORCING MESH OVER EXTERIOR GRADE PLYWOOD. PROVIDE CORRUGATED PLASTIC DRAINAGE STRIP AT BOTTOM OF THE PANEL WITH PVC J CHANNELS WITH WEEP HOLES. INSTALL PER LOCAL CODES AND MANUFACTURERS SPECIFICATIONS.

NOTE:#1
NEW WALL ASSEMBLY:
1. PERMEABLE BUILDING WRAP OVER ½" EXTERIOR GRADE PLYWOOD. INSTALL PER LOCAL CODES AND MANUFACTURERS SPECIFICATIONS.
2. 2X4 WOOD STUD FRAMING @ 16" O.C.
3. KRAFT FACED BATT INSULATION (R VALUE = 19).
4. IMPERMEABLE VAPOR BARRIER (REVISE PER REGIONAL REQUIREMENTS.)
5. WALL BASE: 1/2" CEMENT BOARD 12" IN HEIGHT. ABOVE BASE EXTENDING TO STRUCTURE ABOVE: 1/2" USG "SHEETROCK BRAND MOLD TOUGH" GYPSUM PANELS OR 1/2" PLYWOOD BACKUP AS INDICATED ON THE ROOM FINISH SCHEDULE. ANY GYP PANEL SUBSTITUTIONS MUST SCORE 10 PER ASTM D3273.
6. SEE FINISH & PARTITION SCHEDULE.

NOTE:
SEE FLOOR PLANS FOR ADDITIONAL DIMENSIONS.

NOTE:
REVISE AND/OR ADJUST PER FIELD/DESIGN REQUIREMENTS.

REV	DATE	DESCRIPTION	BY
1	05.24.19	FOR FILING	CPC
0	02.01.19	FOR FILING	

COMMONWEALTH OF MASSACHUSETTS
SHAUN TIMOTHY McGRATH
CIVIL
No. 54148
REGISTERED PROFESSIONAL ENGINEER

PREPARED BY:
SkyBorne Technologies
P.O. BOX 875
Westford, MA 01886

PREPARED FOR:
McDonald's USA, LLC

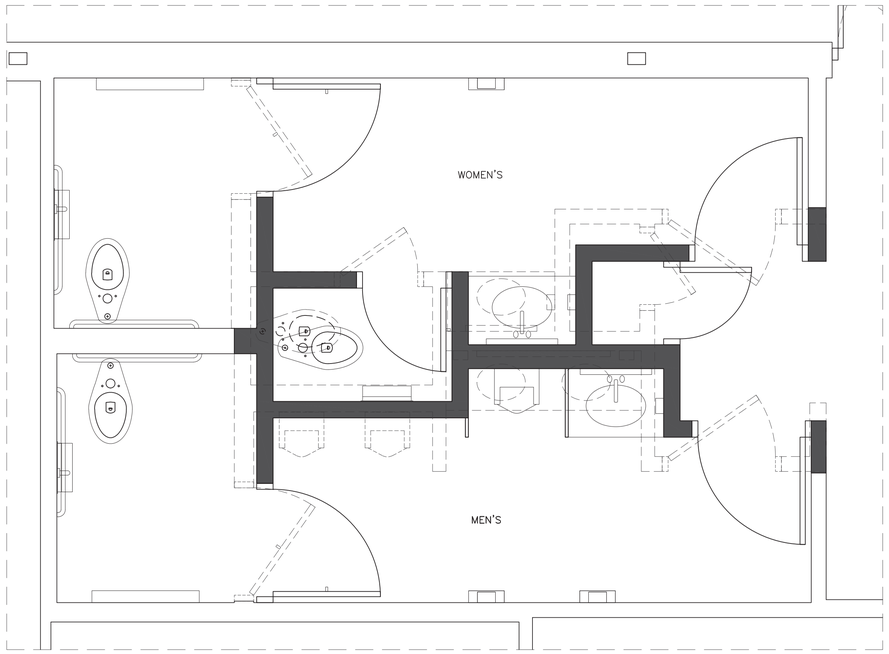
DRAWN BY: TAB
STD ISSUE DATE: FEB 2017
REVIEWED BY: PM
DATE ISSUED: 11/09/2018

TITLE: BRAND WALL DETAILS

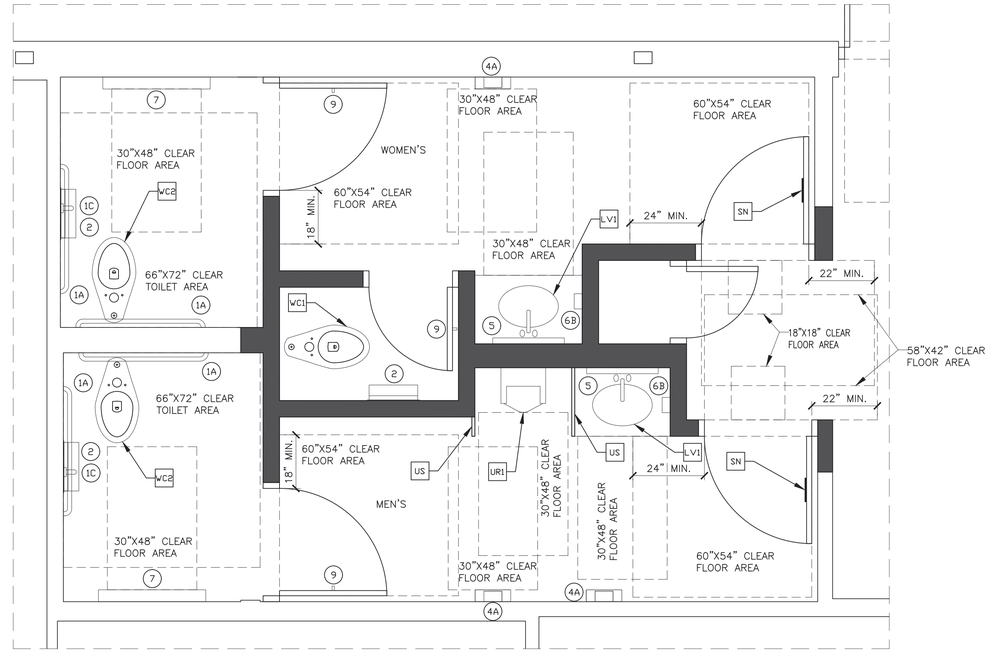
DESCRIPTION: REMODEL DESIGN PER 2017 MRP CRITERIA SET
CORE 16 EXTERIOR – NON PLAYPLACE

SITE ID: 20–0293
SITE ADDRESS: 159 MATHMAN ROAD, NEW BEDFORD, MA.

SHEET NO. A4.0
PROJ.# XXXXXX
BRAND WALL DETAILS



1 A4.1 ENLARGED RESTROOM DEMO PLAN
1/2" = 1'-0"



2 A4.1 ENLARGED RESTROOM PLAN ADA COMPLIANCE
1/2" = 1'-0"

	ITEM (SEE NOTE 2)	MANUF. MODEL #	SUPPLIER	BACKUP SUPPORT (SEE NOTE 3)
1A	GRAB BAR 42"	BRADLEY 812-001-42	HUGHES SUPPLY (866) 310-3576 McDONALD@HAJOCA.COM	FIRE TREATED WOOD BLOCKING OR 14GA STEEL FLAT STOCK BACKING
1B	NOT USED			
1C	VERTICAL GRAB BAR 24"	812-001-24		
2	TOILET TISSUE DISPENSER, JUMBO, SURFACE MOUNTED	BRADLEY 5424	HUGHES SUPPLY (866) 310-3576 McDONALD@HAJOCA.COM	
3	NOT USED			
4A	HAND DRYER, ENERGY EFFICIENT MODEL ADA, ALUMINUM BRUSHED	WORLD DRYER L-971 SlimDri	HUGHES SUPPLY (866) 310-3576 McDONALD@HAJOCA.COM	
5	MIRROR, CHANNEL FRAME	BRADLEY #781 24"x36"	HUGHES SUPPLY (866) 310-3576 McDONALD@HAJOCA.COM	
6B	SOAP DISPENSER, WALL-MOUNTED	BRADLEY 6542	HUGHES SUPPLY (866) 310-3576 McDONALD@HAJOCA.COM	
7	BABY CHANGING STATION, HORIZONTAL, SURFACE MOUNT, ADA COMPLIANT	KOALA KB110-SSWM	HUGHES SUPPLY (866) 310-3576 McDONALD@HAJOCA.COM	FIRE TREATED WOOD BLOCKING OR 14GA STEEL FLAT STOCK BACKING
7B	NOT USED			
8	NOT USED			
9	COAT HOOK	BRADLEY 923		COAT HOOK INSIDE FACE OF DOOR @ 48" AFF. MAX. TO TOP OF THE HIGHEST OPERABLE PART

NOTES:

1) SEE 2/A4.3 SHEET FOR ACCESSORY MOUNTING HEIGHTS
2) SELECT ONE ITEM FROM ITEM GROUPS 4 & 6, VERIFY WITH AREA CONSTRUCTION MANAGER.
3) GC TO COORDINATE ALL FINAL SELECTIONS WITH McDONALD'S CONSTRUCTION MANAGER PRIOR TO PURCHASING.
4) GC TO PROVIDE ADA SIGNAGE PACKAGE AND INSTALL SIGNS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES.

COORDINATE WITH DECOR DRAWINGS FOR LIMIT OF DEMOLITION OF FINISHES.

NOTE:
ALL CLEARANCES, ACCESSIBLE PATHS, REACH RANGES, AND ALL OTHER ADA REGULATED ITEMS TO BE COMPLIANT WITH THE 2010 ADA STANDARDS AND MASSACHUSETTS 521 CMR. CONTRACTOR TO NOTIFY THE E.O.R. OF ANY DISCREPANCIES BETWEEN THE PLANS SHOWN AND CODES REFERENCED ABOVE PRIOR TO THE START OF CONSTRUCTION.

PLUMBING FIXTURE CALCULATION:

CLASSIFICATION – ASSEMBLY OCCUPANCY A-2 TOTAL OCCUPANTS – EXIST. NO CHANGE

MEN'S RESTROOM

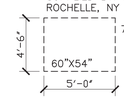
FIXTURE TYPE:	REQUIRED	PROVIDED
WATER CLOSETS: (1 PER 75 OCCUPANTS)	1	1 WATER CLOSET 1 URINAL
LAVATORIES: (1 PER 200 OCCUPANTS)	1	1

WOMEN'S RESTROOM

FIXTURE TYPE:	REQUIRED	PROVIDED
WATER CLOSETS: (1 PER 75 OCCUPANTS)	1	2 WATER CLOSETS
LAVATORIES: (1 PER 200 OCCUPANTS)	1	1

ADA NOTES:

1. NEW RESTROOM LAYOUT TO BE UPDATED TO COMPLY WITH 2010 ADA STANDARDS, ADA, MA CMR 521 AND ANSI REQUIREMENTS. CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND FIELD CONDITIONS, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, CONFLICT, AND/OR OMISSIONS WHICH WOULD INTERFERE WITH THE 2010 ADA STANDARDS, ADA, MA CMR 521 AND ANSI REQUIREMENTS. SHOULD HE FAIL TO FOLLOW THIS PROCEDURE AND CONTINUE WITH THE WORK, HE SHALL ASSUME ALL RESPONSIBILITY AND LIABILITY ARISING THEREFROM.
2. ALL NEW PLUMBING FIXTURES AND RESTROOM ACCESSORIES TO COMPLY WITH 2010 ADA STANDARDS, ADA, MA CMR 521 AND ANSI REQUIREMENTS.
3. "CLEAR MIN." DIMENSIONS ARE TO BE CLEAR OF ANY WALLS, STRUCTURE OR FINISHES (CORRIGAN CAPS, CHAIR RAIL, CORNER GUARDS, BASE TILES ELECTRICAL PANEL DOORS EQUIPMENT AND ETC.).
4. AFTER AIR BALANCING IS COMPLETED AND PRIOR TO OPENING STORE, ADJUST ALL DOORS OPENING FORCE PRIOR TO OPENING OF STORE. ALL INTERIOR DOORS' OPENING FORCE SHALL BE 5# MAX. AND ALL EXTERIOR DOORS OPENING FORCE IS ADVISED TO BE 8.5# MAX.
5. CLOSING SPEED OF DOORS WITH CLOSER SHALL BE MIN. 5 SECONDS (FROM OPEN POSITION 90° TO POSITION OF 12°).
6. GC TO PROVIDE ADA SIGNAGE PACKAGE AND INSTALL SIGNS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES. SIGNAGE PACKAGE SUPPLIED BY: FORREST PERMA-SIGN 1-800-214-8765 9292 1ST ST., BOX 588, NEW ROCHELLE, NY 10802 www.forrestpermasigns.com



7. ADA REQUIRED MANEUVERING CLEARANCE AT MANUAL SWINGING DOOR. NOTE: ENSURE NO EQUIPMENT OR FURNITURE IMPEDES ON REQUIRED FLOOR SPACE IN FRONT OF THE DOOR.

MARK	FIXTURE TYPE	DESCRIPTION
WC1	WATER CLOSET	WATER CLOSET: TOTO # CT705EN#01, ZURN Z5655 1.28 GPF FLUSH VALVE: TOTO TET1LN32#CP ZURN ZTR6200EV-LL 1" I.P.S., 1-1/2" TOP SPUD FLUSH VALVE OPERATION: SENSOR SEAT: BEMIS MODEL 2155CT
WC2	ADA WATER CLOSET	WATER CLOSET: TOTO # CT705ELN#01, ZURN Z5665 1.28 GPF FLUSH VALVE: TOTO TET1LN32#CP ZURN ZTR6200EV-LL 1" I.P.S., 1-1/2" TOP SPUD FLUSH VALVE OPERATION: SENSOR SEAT: BEMIS MODEL 2155CT
LV1	ADA LAVATORY (WALL HUNG)	NOTE: NEW LAVATORY TO BE FLOATING STYLE AND TO McDONALD'S STANDARDS FOR FINISHES AND INSTALLATION. CONTRACTOR TO COORDINATE WITH McD ACM FOR LAVATORY MODEL # AND COLOR.
UR1	ADA URINAL	WATER CLOSET: TOTO UT447E VITREOUS CHINA, COMPACT WITH CONCEALED INTEGRAL TRAP, 0.5 GPF, MEET AND EXCEEDS ASME A112.19.2, 2 YEAR WARRANTY FLUSH VALVE: TOTO TEU1LN12#CP

GENERAL NOTES:

1. NEW RESTROOM LAYOUT TO BE UPDATED TO COMPLY WITH 2010 ADA STANDARDS, ADA, MA CMR 521 AND ANSI REQUIREMENTS. CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND FIELD CONDITIONS, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, CONFLICT, AND/OR OMISSIONS WHICH WOULD INTERFERE WITH THE 2010 ADA STANDARDS, ADA, MA CMR 521 AND ANSI REQUIREMENTS. SHOULD HE FAIL TO FOLLOW THIS PROCEDURE AND CONTINUE WITH THE WORK, HE SHALL ASSUME ALL RESPONSIBILITY AND LIABILITY ARISING THEREFROM.
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4. FOR RESTROOM FINISH SCHEDULE REFER TO JBI DRAWINGS INCLUDED IN THIS PACKAGE.
5. FOR INTERIOR SEATING LAYOUT, FRONT COUNTER, CEILING FINISHES, HEIGHTS AND FLOOR FINISHES SEE JBI DRAWINGS.
6. SWING DOOR AND GATE SURFACES WITHIN 10" OF THE FINISH FLOOR OR GROUND MEASURED VERTICALLY SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR OR GATE. PARTS CREATING HORIZONTAL OR VERTICAL JOINTS IN THESE SURFACES SHALL BE WITHIN 1/16" OF THE SAME PLANE AS THE OTHER AND BE FREE OF SHARP OF ABRASIVE EDGES. CAVITIES CREATED BY ADDED KICK PLATES SHALL BE CAPPED.

KEY NOTES:

- SN — NEW ADA SIGNAGE – SEE 1/A4.3 FOR MORE INFO.
- US — NEW URINAL SCREEN – TOILET PARTITION STYLE: SCRANTON PRODUCTS HINEY HIDERS, COLOR: TBD
- TP — TOILET PARTITION – TOILET PARTITION STYLE: SCRANTON PRODUCTS HINEY HIDERS, COLOR: TBD
- X — NEW WALL PARTITION. FOR INTERIOR WALL ASSEMBLY TYPE, SEE NOTES A4.3

REV	DATE	DESCRIPTION	BY
1	05.24.19	FOR FILING	CPC
0	02.01.19	FOR FILING	

COMMONWEALTH OF MASSACHUSETTS
SHAUN TIMOTHY McGRATH
CIVIL
NO. 54148
REGISTERED PROFESSIONAL ENGINEER

PREPARED BY:
SkyBorne Technologies
P.O. BOX 875
Westford, MA 01886

PREPARED FOR:
McDonald's USA, LLC

DRAWN BY: TAB
STD ISSUE DATE: FEB 2017
REVIEWED BY: PM
DATE ISSUED: 11/09/2018

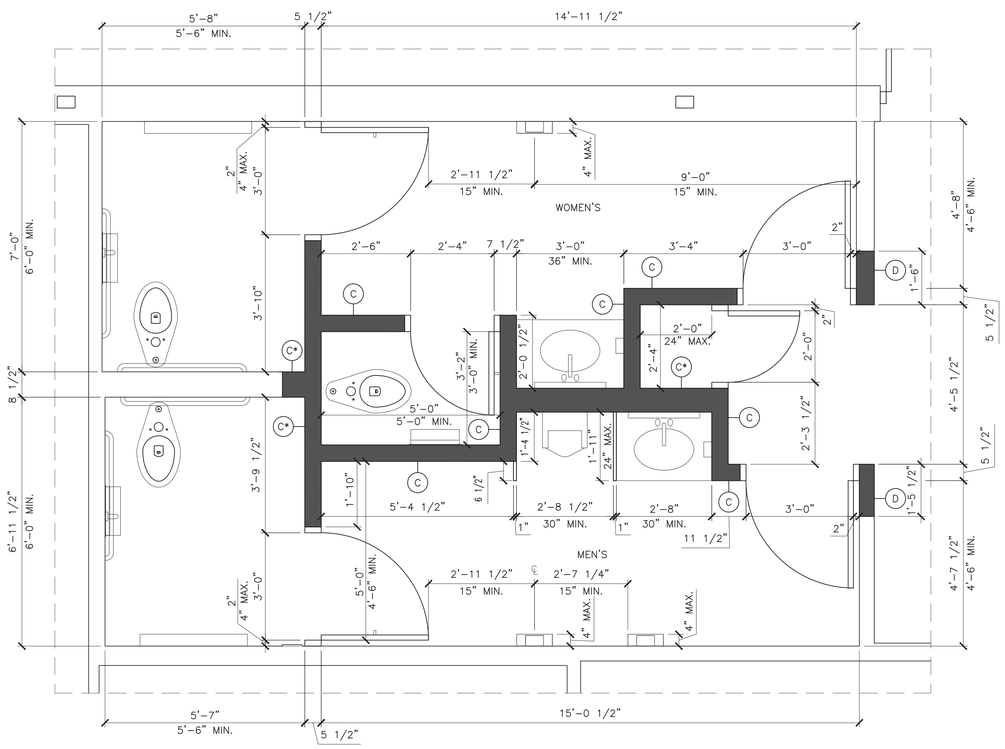
TITLE: ENLARGED RESTROOM PLAN

DESCRIPTION: REMODEL DESIGN PER 2017 MRP CRITERIA SET CORE 16 EXTERIOR – NON PLATPLACE

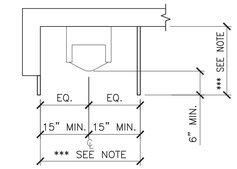
SITE ID: 20-0293

SITE ADDRESS: 159 HATHWAY ROAD, NEW BEDFORD, MA.

SHEET NO. A4.1 PROJ.# XXXXXX
ENLARGED RESTROOM PLAN

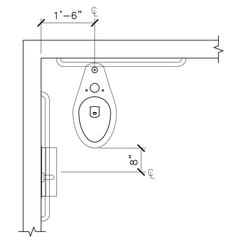


1 A4.2 ENLARGED RESTROOM CONSTRUCTION PLAN
1/2" = 1'-0"

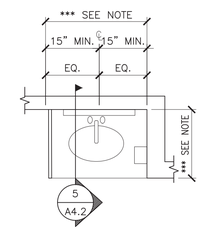


***NOTE:
IF URINAL IS RECESSED IN AN ALCOVE GREATER THAN 24" DEEP IT MUST BE AT LEAST 36" WIDE

2 A4.2 DETAIL – TYPICAL RESTROOM CONDITIONS – URINAL
1/2" = 1'-0"



3 A4.2 DETAIL – TYPICAL RESTROOM CONDITIONS – WATER CLOSET
1/2" = 1'-0"



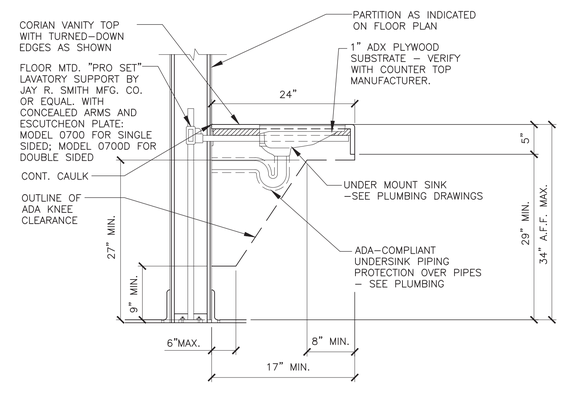
***NOTE:
IF LAVATORY IS RECESSED IN AN ALCOVE GREATER THAN 24" DEEP IT MUST BE AT LEAST 36" WIDE

4 A4.2 DETAIL – TYPICAL RESTROOM CONDITIONS – MIRROR/VANITY
1/2" = 1'-0"

NOTE:
ALL CLEARANCES, ACCESSIBLE PATHS, REACH RANGES, AND ALL OTHER ADA REGULATED ITEMS TO BE COMPLIANT WITH THE 2010 ADA STANDARDS AND MASSACHUSETTS 521 CMR. CONTRACTOR TO NOTIFY THE E.O.R. OF ANY DISCREPANCIES BETWEEN THE PLANS SHOWN AND CODES REFERENCED ABOVE PRIOR TO THE START OF CONSTRUCTION.

NOTE:
ALL DIMENSIONS SHOWN ARE TAKEN FROM FINISHED FACE OF WALL AT THE NARROWEST POINT

NOTE:
CONTRACTOR TO INSTALL ALL GRAB BARS, FIXTURES, AND DISPENSERS TO ADA REQUIREMENTS AS INDICATED ON SHEET A1.0 UPON INSTALLATION OF NEW FINISHES.



5 A4.2 SECTION @ LAVATORY
1" = 1'-0"

GENERAL NOTES:

1. NEW RESTROOM LAYOUT TO BE UPDATED TO COMPLY WITH 2010 ADA STANDARDS, ADA, MA CMR 521 AND ANSI REQUIREMENTS. CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND FIELD CONDITIONS, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, CONFLICT, AND/OR OMISSIONS WHICH WOULD INTERFERE WITH THE 2010 ADA STANDARDS, ADA, MA CMR 521 AND ANSI REQUIREMENTS. SHOULD HE FAIL TO FOLLOW THIS PROCEDURE AND CONTINUE WITH THE WORK, HE SHALL ASSUME ALL RESPONSIBILITY AND LIABILITY ARISING THEREFROM.
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KEY NOTES:

SN NEW ADA SIGNAGE – SEE 1/A4.3 FOR MORE INFO.

US NEW URINAL SCREEN – TOILET PARTITION STYLE: SCRANTON PRODUCTS HINEY HIDERS, COLOR: TBD

TP TOILET PARTITION – TOILET PARTITION STYLE: SCRANTON PRODUCTS HINEY HIDERS, COLOR: TBD

(X) NEW WALL PARTITION. FOR INTERIOR WALL ASSEMBLY TYPE, SEE NOTES A4.3

REV	DATE	DESCRIPTION	BY
1	05.24.19	FOR FILING	CPC
0	02.01.19	FOR FILING	

COMMONWEALTH OF MASSACHUSETTS
SHAUN TIMOTHY MCGRATH
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PREPARED BY:
SkyBorne Technologies
P.O. BOX 875
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PREPARED FOR:
McDonald's USA, LLC

DRAWN BY: TAB
STD. ISSUE DATE: FEB 2017
REVIEWED BY: PM
DATE ISSUED: 11/09/2018

TITLE: ENLARGED RESTROOM CONSTRUCTION PLAN

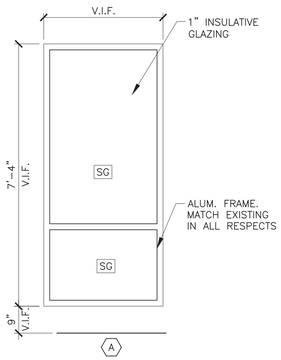
DESCRIPTION: REMODEL DESIGN PER 2017 MRP CRITERIA SET
CORE 16 EXTERIOR – NON PLAYPLACE

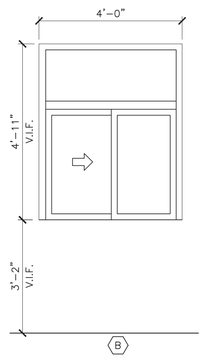
SITE ID: 20-02293
SITE ADDRESS: 159 HATHAWAY ROAD, NEW BEDFORD, MA.

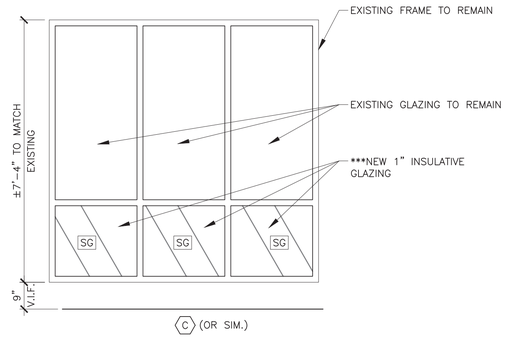
PROJ.# XXXXXX

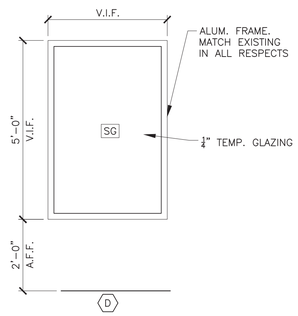
SHEET NO. A4.2
ENLARGED RESTROOM CONSTRUCTION PLAN

WINDOW TYPES:









SG = SAFETY GLASS

NOTE:
COORDINATE ALL DESIGN W/ McDONALD'S CONSTRUCTION MANAGER AND OWNER OPERATOR.

NOTE:
SEE ELEVATION SHEET A2.0 AND A2.1 FOR SAFETY GLASS LOCATIONS

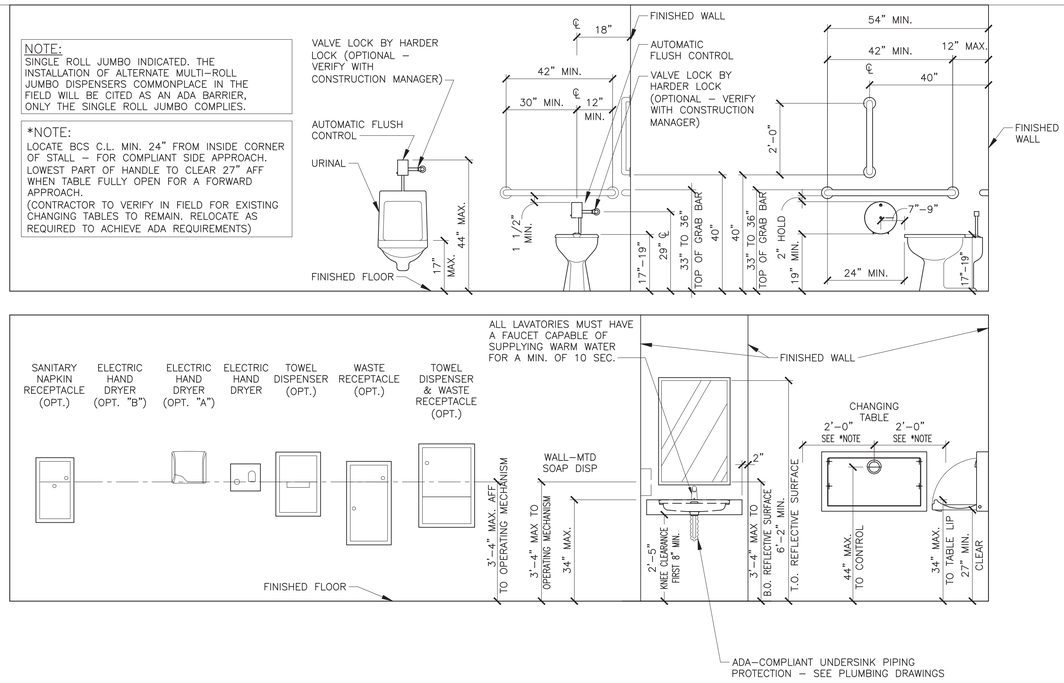
***NOTE:
CONTRACTOR TO CONFIRM WITH McD ACM AND O/O IF EXISTING INTERIOR WALLS BEHIND EXISTING LOGO PANELS TO BE REMOVED OR NON-TRANSPARENT GLASS PANELS TO BE USED FOR EX. LOGO REPLACEMENT

NEW EXTERIOR WINDOW ASSEMBLY:
(STOREFRONT & ENTRANCE SYSTEM)

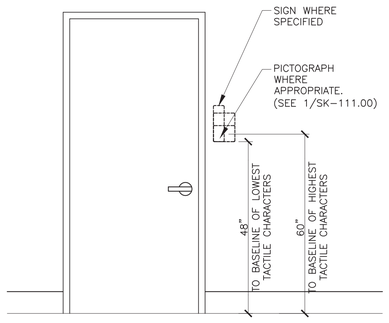
1. MATCH EXISTING ALUMINUM FRAME FINISH. THERMALLY BROKEN WITH HEAD RECEIVER CHANNEL.
2. 1" INSULATED GLAZING – SET EXT ELEVATIONS FOR LOCATION OF SAFETY GLASS.
3. PROVIDE FLASHING AT HEAD & SILL – CONTINUOUS SEALANT.
4. PROVIDE METAL CAP @ EXTERIOR BRICK SILL.
5. 1/2" CORIAN SILL AT INTERIOR.

NOTE:
SINGLE ROLL JUMBO INDICATED. THE INSTALLATION OF ALTERNATE MULTI-ROLL JUMBO DISPENSERS COMMONPLACE IN THE FIELD WILL BE CITED AS AN ADA BARRIER, ONLY THE SINGLE ROLL JUMBO COMPLIES.

*NOTE:
LOCATE BCS C.L. MIN. 24" FROM INSIDE CORNER OF STALL – FOR COMPLIANT SIDE APPROACH. LOWEST PART OF HANDLE TO CLEAR 27" AFF WHEN TABLE FULLY OPEN FOR A FORWARD APPROACH.
(CONTRACTOR TO VERIFY IN FIELD FOR EXISTING CHANGING TABLES TO REMAIN. RELOCATE AS REQUIRED TO ACHIEVE ADA REQUIREMENTS)



2 / A4.3 TYPICAL RESTROOM FIXTURE AND ACCESSORY ELEVATIONS
1/2" = 1'-0"



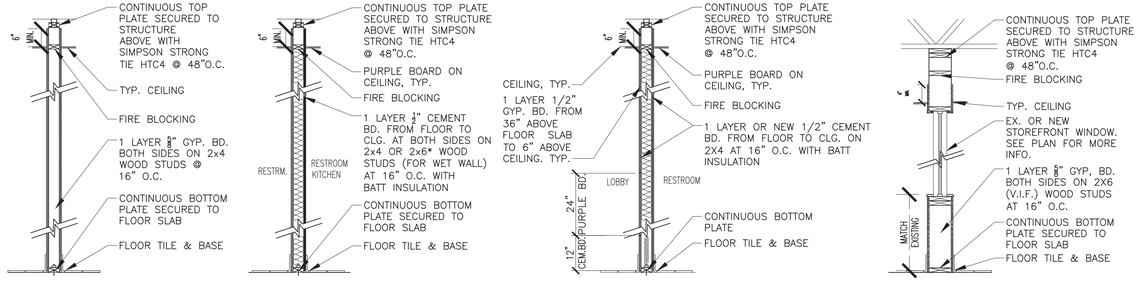
NOTES:
1. MOUNT SIGNAGE WITH DOUBLE FACE FOAM TAPE AT BACK OF IT AS REQUIRED.
2. SIGNAGE SHALL BE MOUNTED ON THE LATCH SIDE OF DOOR. WITH AN 18"x18" CLEAR FLOOR SPACE.
3. SIGNAGE TO BE INSTALLED PER ADA STANDARDS.

1 / A4.3 ADA SIGNAGE DETAIL
1/2" = 1'-0"

2 / A4.3 NOT USED
NO SCALE

INTERIOR WALL TYPES:

(A) FOR EXTERIOR WALL ASSEMBLY TYPE SEE 13/A3.0



DOOR HARDWARE SCHEDULE:

DOOR #1 – ENTRY DOOR
1. 1 EA CLOSER LCN 4021 x 18
2. 3 EA HINGES OFFSET PIVOT ANSI –A–156.4 GRADE 1; PROVIDE EXPOSED PARTS OF CAST ALUMINUM ALLOY, AS SUPPLIED BY DOOR MANUFACTURER.
3. 1 EA (DOOR #1 ONLY) PULL HANDLE ROCKWOOD MFG. MODEL: RM3301. SIZE: 1–1/4" DIA. CTC: 6'–0". FINISH: CLEAR ANODIZED ALUM. MOUNTING: TYPE 1HD – THRU BOLT HEAVY DUTY
4. 1 EA PANIC HARDWARE ADAMS RITE MFG. CO. 8800 SERIES WITH OUTSIDE CYLINDER (FINISH TO MATCH STOREFRONT DOOR)
5. 1 EA THRESHOLD NATIONAL GUARD PRODUCTS, INC. SADDLE TYPE THRESHOLD 325, 36" WIDE x 1/2" RISE (ADA ACCESSIBLE).
6. 1 EA WEATHER STRIPPING: PROVIDE COMPRESSION WEATHER STRIPPING AGAINST FIXED STOPS. AT OTHER EDGES PROVIDE SLIDING WEATHER STRIPPING RETAINED IN ADJUSTABLE STRIP MORTISED INTO DOOR EDGE. PROVIDE EPDM OR VINYL GASKET WEATHER STRIPPING IN BOTTOM DOOR RAIL ADJUSTABLE FOR CONTACT W/ THRESHOLD.
7. 1 EA SIGN MOUNT ONTO DOOR, TO READ "THIS DOOR MUST REMAIN UNLOCKED WHENEVER THE BUILDING IS OCCUPIED/DURING BUSINESS HOURS."

DOOR #2 – VESTIBULE
1. 1 EA CLOSER LCN 4041 x 18
2. 3 EA HINGES OFFSET PIVOT ANSI –A–156.4 GRADE 1; BY DOOR MANUFACTURER.
3. 1 EA PUSH/PULL HANDLE HAGER PUSH/PULL SET 164D/V/B

DOOR #3 – RESTROOM ENTRY
1. 3 EA HINGE BB1279 4 ½ X 4 ½ US26D HAGER
2. 1 EA CLOSER LDPA4031 SNB ALUM LCN
3. 1 EA PUSH PLATE 30S 4 X 16 US28 HAGER
4. 1 EA PULLPLATE H33E 4 X 16 US28 HAGER
   OPTION: 1 EA PULLPLATE SANITGRASP
5. 2 EA KICKPLATE 190S 8 X 34 US28 HAGER
6. 1 EA DOOR STOP 236W US32D HAGER
7. 1 EA FINGER GRD MKIA PUSH SIDE BRN F.SAFE
8. 1 EA FINGER GRD MKIB PULL SIDE BRN F.SAFE
9. 1 EA STEPNPULL PULL SIDE (OPTIONAL)

DOOR #4 – ADA STALL
1. 2 EA HINGE 1250 4 ½ X 4 ½ US26D HAGER
2. 1 EA HINGE BB1279 4 ½ X 4 ½ US26D HAGER
3. 1 EA DEADBOLT 3215 MODIFIED 626 HAGER
4. 2 EA PULL PLATE CA09 CFC 2 1/8 US32D HAGER
5. 1 EA ROBE HOOK 932 BRADLEY
6. 1 EA DOOR STOP 236W US32D HAGER

DOOR #5 – STANDARD STALL
1. 2 EA HINGE 1250 4 ½ X 4 ½ US26D HAGER
2. 1 EA HINGE BB1279 4 ½ X 4 ½ US26D HAGER
3. 1 EA DEADBOLT 3215 MODIFIED 626 HAGER
4. 2 EA PULL PLATE CA09 CFC 2 1/8 US32D HAGER
5. 1 EA ROBE HOOK 932 BRADLEY
6. 1 EA DOOR STOP 236W US32D HAGER

DOOR #6 – DINING ROOM CLOSET
1. 3 EA HINGE BB1279 4 ½ X 4 ½ US26D HAGER
2. 1 EA LOCK ND80PD RHO 626 SCHLAGE

FLOOR TILE SCHEDULE:

ROOM NAME	FLOOR	BASE	MORTAR SETTING BED	GROUT
CUSTOMER SERVICE	PORCELAIN FLOOR TILE (NOTE 1)	NONE – WALL TILE	LATEX–PORTLAND CEMENT THIN SET (MEDIUM BED)	HIGH PERFORMANCE CEMENT GROUT
DINING	PORCELAIN FLOOR TILE (NOTE 1)	NONE – WALL TILE	LATEX–PORTLAND CEMENT THIN SET (MEDIUM BED)	HIGH PERFORMANCE CEMENT GROUT
WOMEN'S TOILET	PORCELAIN FLOOR TILE (NOTE 1)	NONE – WALL TILE (NOTE 2A)	LATEX–PORTLAND CEMENT THIN SET (MEDIUM BED)	HIGH PERFORMANCE CEMENT GROUT
MEN'S TOILET	PORCELAIN FLOOR TILE (NOTE 1)	NONE – WALL TILE (NOTE 2A)	LATEX–PORTLAND CEMENT THIN SET (MEDIUM BED)	HIGH PERFORMANCE CEMENT GROUT
VESTIBULE	PORCELAIN FLOOR TILE (NOTE 1)	NONE – WALL TILE	LATEX–PORTLAND CEMENT THIN SET (MEDIUM BED)	HIGH PERFORMANCE CEMENT GROUT

TILE NOTES:

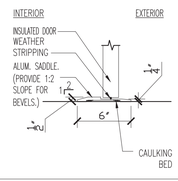
REFERENCE: 2013 McDONALDS'S PROJECT MANUAL – SECTION 09300

1. FLOOR TILE:
   MAIN & ACCENT: 6"x36",12"x24" OR 13"x20" (SIZE & SERIES MAY VARY). USE ONLY APPROVED TILE SERIES AND COLORS BY DALTILE, CROSSVILLE & EUROWEST. VERIFY COLOR AND PATTERN PER INTERIOR DECOR DRAWINGS.
   A. MUST BE PER McDONALD'S USA: STANDARDS FOR INTERIOR FLOOR TILE & APPROVED TILE LIST.
   B. MUST BE NO LARGER THAN 6"x36", 12"x24" OR 13"x20".
   C. MUST MEET THE FOLLOWING:
      STATIC COEFFICIENT OF FRICTION (PER ASTM F1667–96)
      LEVEL SURFACES: MINIMUM 0.50 DRY AND WET (McDONALD'S STANDARD)
      DYNAMIC COEFFICIENT OF FRICTION (PER ANSI A137.1 2012)
      LEVEL SURFACES: MINIMUM 0.5 DRY AND WET (McDONALD'S STANDARD)
2. TILE TRANSITION AND EDGE PROTECTION:
   A. TILE BASE (RESTROOM ONLY): SCHLUTER DILEX–AHK SERIES, BRUSHED STAINLESS STEEL.
   B. TILE EDGE PROTECTION (WALL TRANSITION): SCHLUTER–RONDEC–DB, SATIN ANODIZED ALUM.
   C. TILE CORNER PROTECTION (OUTSIDE CORNER): SCHLUTER–RONDEC–AE, SATIN ANODIZED ALUM.
   D. SEE INTERIOR DECOR DRAWINGS FOR ALL LOCATIONS.

BEFORE FINAL INSPECTION

3. REMOVE PROTECTIVE COVERINGS AND PERFORM FINAL CLEANING. TILE CLEANER: DETERDEK, BY FILA SURFACE CARE PRODUCTS – NO SUBSTITUTIONS ALLOWED CAN BE ORDERED BY EUROWEST, DALTILE, OR DIRECT FROM MANUFACTURER: FILA/DETEREK
4. POST INSTALLATION CLEANING REQUIRED ON ALL FLOOR TILE.
5. INSTALLATIONS PRIOR TO RESTAURANT TURN OVER.
   APPLY CLEANER PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
   REFERENCE: 2013 McDONALD'S PROJECT MANUAL – SECTION 09300 TILING INTERIOR.
   GROUT COLOR AND MANUFACTURER AS INDICATED ON SHEET A1.0 AND INTERIOR DECOR DRAWINGS.

TYP. THRESHOLD DETAIL:



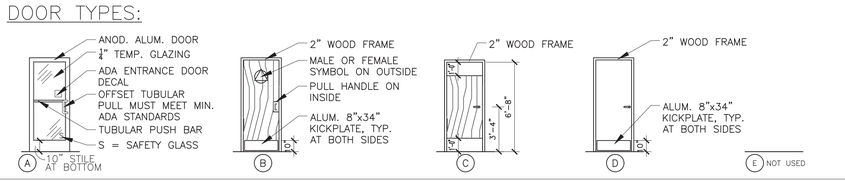
DOOR SCHEDULE:

(X)	DOOR MATERIAL	DOOR SIZE	DOOR TYPE	FRAME MATL.	FRAME NOTES
1	ALUM.	3'–0"x7'–0"x1 3/4"	A	ALUM.	(NOTE #1)
2	ALUM.	3'–0"x7'–0"x1 3/4"	A	ALUM.	(NOTE #2)
3	S.C. WOOD W/LAM.	3'–0"x6'–8"x1 3/4"	B	WOOD	(NOTE #3)
4	S.C. WOOD W/LAM.	3'–0"x4'–8"x1 3/4"	C	WOOD	(NOTE #4)
5	S.C. WOOD W/LAM.	2'–4"x4'–8"x1 3/4"	C	WOOD	(NOTE #5)
6	S.C. WOOD W/LAM.	2'–0"x6'–8"x1 3/4"	D	WOOD	(NOTE #6)

DOOR NOTES:

1. ALL EXIT DOORS SHALL BE KEYLESS IN THE DIRECTION OF EGRESS.
2. THE OPENING FORCE OF ALL EXT. PUSH/PULL DOORS SHALL NOT EXCEED 8 1/2 LBS.
3. THE OPENING FORCE OF ALL INTERIOR PUSH/PULL DOORS SHALL NOT EXCEED 5 LBS.
4. PROVIDE PANIC HARDWARE FOR ALL EXTERIOR DOORS AS NOTED ON THE DOOR SCHEDULE.
5. ALL DOOR HARDWARE SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE.
6. ALL STOREFRONT DOORS TO HAVE OFFSET WIRE PULLS.
7. ALL THRESHOLDS TO BE 1/2" HIGH MAXIMUM WITH 1:2 BEVEL
8. ALL STOREFRONT DOORS SHALL HAVE 10" BASE STYLES

DOOR TYPES:



DATE	DESCRIPTION	BY
05.24.19	FOR FILING	CPC
02.01.19	FOR FILING	

REV	DATE
1	05.24.19
0	02.01.19

COMMONWEALTH OF MASSACHUSETTS SHAUN TIMOTHY McGRATH CIVIL No. 54148 REGISTERED PROFESSIONAL ENGINEER

PREPARED BY:
SkyBorne Technologies
P.O. BOX 875
Westford, MA 01886

PREPARED FOR:
McDonald's USA, LLC

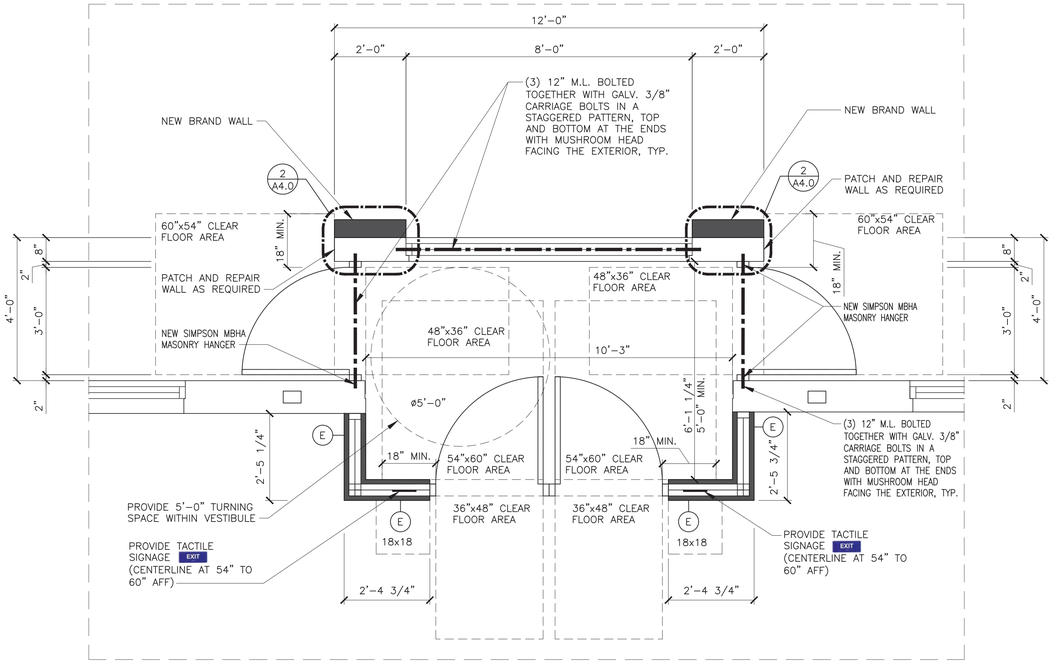
DRAWN BY: TAB
STD ISSUE DATE: FEB 2017
REVIEWED BY: PM
DATE ISSUED: 11/09/2018

DESCRIPTION: REMODEL DESIGN PER 2017 MRP CRITERIA SET
CORE 16 EXTERIOR – NON PLATPLACE

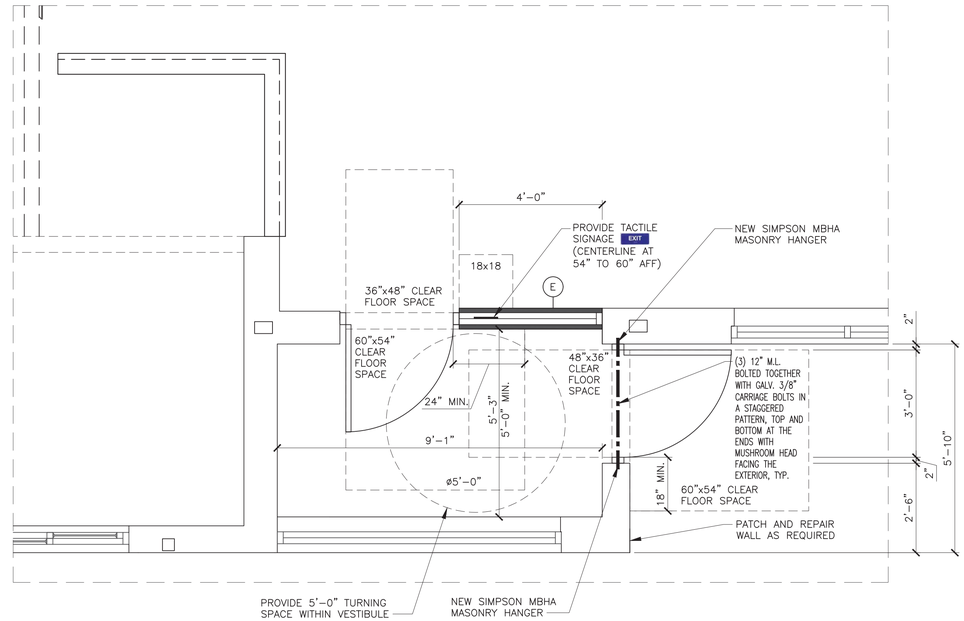
SITE ID: 20–0293
SITE ADDRESS: 159 HATHAWAY ROAD, NEW BEDFORD, MA.

TITLE: DETAILS, NOTES, & SCHEDULES

SHEET NO. A4.3
PROJ.# XXXXXX
DETAILS, NOTES, & SCHEDULES



1 A4.4 ENLARGED VESTIBULE PLAN (ENTRY)
1/2" = 1'-0"



2 A4.4 ENLARGED VESTIBULE PLAN (DRIVE-THRU)
1/2" = 1'-0"

NOTE:
ALL CLEARANCES, ACCESSIBLE PATHS, REACH RANGES, AND ALL OTHER ADA REGULATED ITEMS TO BE COMPLIANT WITH THE 2010 ADA STANDARDS AND MASSACHUSETTS 521 CMR. CONTRACTOR TO NOTIFY THE E.O.R. OF ANY DISCREPANCIES BETWEEN THE PLANS SHOWN AND CODES REFERENCED ABOVE PRIOR TO THE START OF CONSTRUCTION.

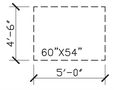
CONTRACTOR TO VERIFY ALL FINISHES WITH MCDONALD'S ACM PRIOR TO ORDERING. ALL AREAS OF NEW WORK ARE TO BE PREPPED IN FINISHES AREA TO BE INSTALLED AS PER MANUFACTURES RECOMMENDATIONS

SYMBOL LEGEND:

X — WALL TAG: INTERIOR WALL ASSY, SEE NOTES A4.3
EXTERIOR WALL ASSY, SEE NOTES 13/A3.0

GENERAL NOTES:
1. DIMENSIONS ARE SHOWN:
   A. EXTERIOR WALLS: FROM INTERIOR FACE OF GYPSUM BOARD TO THE EXTERIOR FACE OF PLYWOOD.
   B. INTERIOR WALLS: FROM THE FACE OF FINISH WALL TO THE FACE OF FINISH WALL, U.N.O.
2. SEE 13/A3.0 FOR EXTERIOR WALL ASSEMBLY TYPES.
3. SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES.
4. SEE SITE PLAN FOR SIDEWALKS, RAMPS, ETC.
5. GC TO PROVIDE ADA SIGNAGE PACKAGE AND INSTALL SIGNS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES. SIGNAGE PACKAGE SUPPLIED BY: FORREST PERMA-SIGN 1-800-214-8765 9292 1ST ST., BOX 588, NEW ROCHELLE, NY 10802 www.forrestpermasigns.com
6. SEE SHEET A/4.3 FOR FLOORING SCHEDULE AND NOTES.
7. SEE SHEET A/4.3 FOR DOOR SCHEDULE AND NOTES.

ADA NOTES:
1. NEW RESTROOM LAYOUT TO BE UPDATED TO COMPLY WITH 2010 ADA STANDARDS, ADA, MA CMR 521 AND ANSI REQUIREMENTS. CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND FIELD CONDITIONS, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, CONFLICT, AND/OR OMISSIONS WHICH WOULD INTERFERE WITH THE 2010 ADA STANDARDS, ADA, MA CMR 521 AND ANSI REQUIREMENTS. SHOULD HE FAIL TO FOLLOW THIS PROCEDURE AND CONTINUE WITH THE WORK, HE SHALL ASSUME ALL THE RESPONSIBILITY AND LIABILITY ARISING THEREFROM.
2. ALL NEW PLUMBING FIXTURES AND RESTROOM ACCESSORIES TO COMPLY WITH 2010 ADA STANDARDS, ADA, MA CMR 521 AND ANSI REQUIREMENTS.
3. "CLEAR MIN." DIMENSIONS ARE TO BE CLEAR OF ANY WALLS, STRUCTURE OR FINISHES (CORRIGAN CAPS, CHAIR RAIL, CORNER GUARDS, BASE TILES, ELECTRICAL PANEL DOORS, EQUIPMENT, ETC.)
4. AFTER AIR BALANCING IS COMPLETED AND PRIOR TO OPENING STORE, ADJUST ALL DOORS' OPENING FORCE PRIOR TO OPENING OF STORE. ALL INTERIOR DOORS' OPENING FORCE SHALL BE 5# MAX. AND ALL EXTERIOR DOORS' OPENING FORCE IS ADVISED TO BE 8.5# MAX.
5. CLOSING SPEED OF DOORS WITH CLOSER SHALL BE MIN. 5 SECONDS (FROM OPEN POSITION OF 90° TO POSITION OF 12°).
6. GC TO PROVIDE ADA SIGNAGE PACKAGE AND INSTALL SIGNS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES. SIGNAGE PACKAGE SUPPLIED BY: FORREST PERMA-SIGN 1-800-214-8765 9292 1ST ST., BOX 588, NEW ROCHELLE, NY 10802 www.forrestpermasigns.com
7. EXTERIOR DOOR BELLS AND BUZZERS AT DELIVERY DOORS (IF INSTALLED OR MODIFIED DUE TO FACADE WORK) MUST COMPLY WITH REACH-RANGE MAX. HEIGHTS FOR ACCESSIBILITY. TOP OF BUTTON/ACTUATOR IS NOT TO EXCEED 48" AFF.



8. ADA REQUIRED MANEUVERING CLEARANCE AT MANUAL SWINGING DOOR. NOTE: ENSURE NO EQUIPMENT OR FURNITURE IMPEDES ON REQUIRED CLEAR FLOOR SPACE IN FRONT OF THE DOOR.

FIRE ALARM NOTES:
(IF REQUIRED/ADDED/TRIGGERED BY FIRE MARSHALL OR LOCAL/STATE AHJ):
1. ALL PULL-STATIONS MUST MEET ADA REQUIREMENTS OR LOCAL/STATE AHJ IF MORE STRINGENT. ADA ALLOWS A MAX. REACH HEIGHT OF 48" AS LONG AS THE REACH IS NOT OVER AN OBSTRUCTION GREATER THAN 10" DEEP. THE MAX. REACH HEIGHT TO THE OPERABLE MECHANISM ALLOWED FOR COMPLIANCE WITH 2010 ADA STANDARDS WHEN REACH IS OVER AN OBSTRUCTION (TRASH RECEPTACLE, DISPLAY, ETC.) IS 46" A.F.F. CONSIDER LOCATION OF DECOR ITEMS, TRASH/TRAY RECEPTACLES TO LOCATE THE PULL STATIONS WHERE THEY WILL NOT BE BLOCKED BY THESE ITEMS. ENSURE FIRE ALARM CONTRACTOR HAS A COPY OF THE FINAL DECOR PLAN FOR COORDINATION.
2. A/V DEVICES MUST BE INSTALLED PER ADA REQUIREMENTS OR LOCAL/STATE AHJ IF MORE STRINGENT. ADA/NFPA72 REQUIRES STROBES TO BE MOUNTED AT 80" A.F.F. (TO A PORTION OF THE CLEAR LENS OF THE STROBE) UNLESS A LOW-CEILING CONDITION EXISTS, WHERE A MIN. OF 6" BELOW THE CEILING PLANE IS REQUIRED FOR VISIBILITY THROUGH SMOKE.

IMPORTANT NOTE: McDONALD'S ISSUED A CLARIFICATION IN WHICH MANDATES WALL-MOUNTED A/V DEVICES. IF LOCAL/STATE AHJ REQUIRES CEILING-MOUNTED A/V DEVICES IN PUBLIC AREAS (DINING ROOMS, RESTROOMS, PLAYPLACE, ETC.) THEN WALL-MOUNTED A/VS MUST BE INSTALLED IN ADDITION TO THE CEILING UNITS PER #2 ABOVE.

REV	DATE	DESCRIPTION	BY
1	05.24.19	FOR FILING	CPC
0	02.01.19	FOR FILING	

COMMONWEALTH OF MASSACHUSETTS
SHAUN TIMOTHY MCGRATH
CIVIL
No. 54148
REGISTERED PROFESSIONAL ENGINEER

PREPARED BY:
SkyBorne Technologies
P.O. BOX 875
Westford, MA 01886

PREPARED FOR:
McDonald's USA, LLC

DRAWN BY: TAB
STD ISSUE DATE FEB 2017
REVIEWED BY: PM
DATE ISSUED 11/09/2018

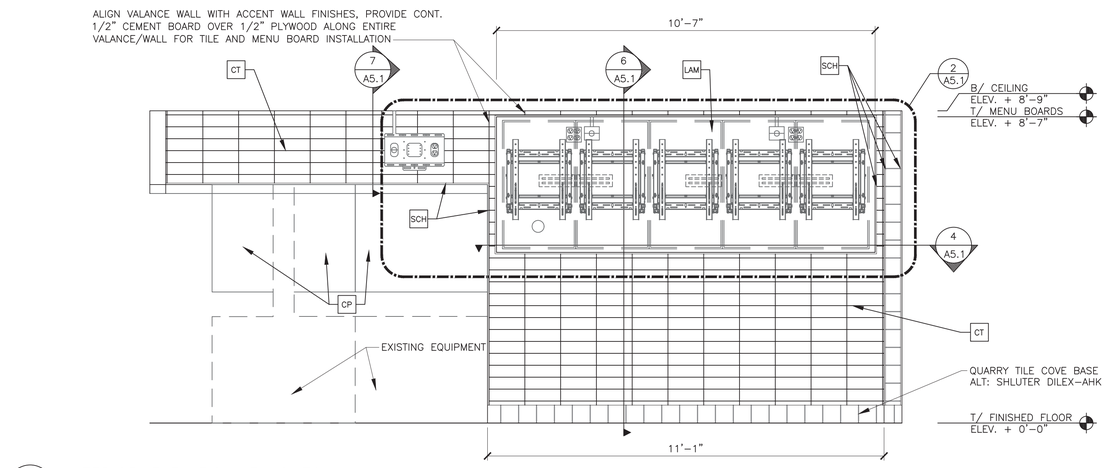
TITLE: ENLARGED VESTIBULE PLAN

DESCRIPTION: REMODEL DESIGN PER 2017 MRP CRITERIA SET
CORE 16 EXTERIOR - NON PLAYPLACE

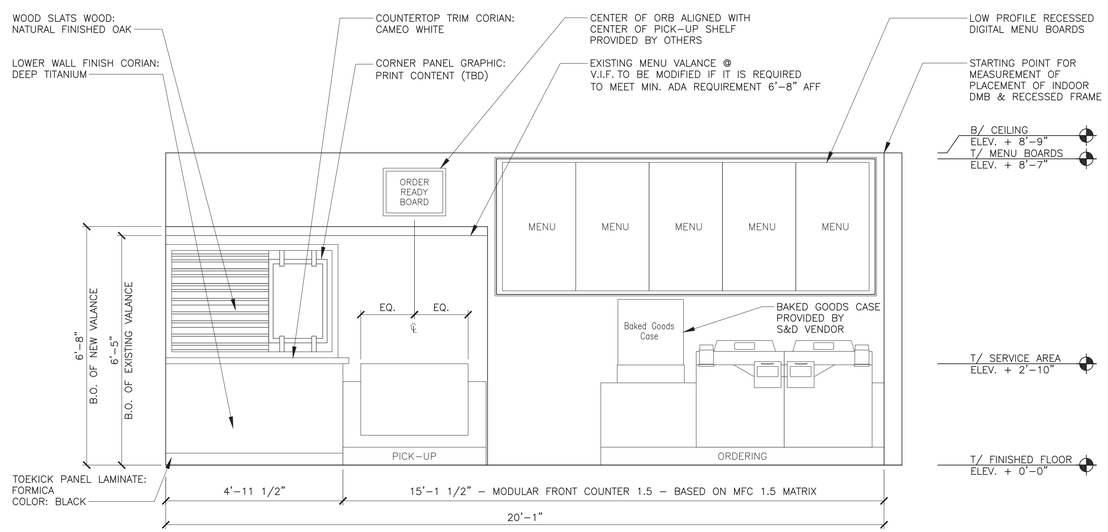
SITE ID: 20-0293
SITE ADDRESS: 159 HATHWAY ROAD, NEW BEDFORD, MA.

PROJ.# XXXXXX

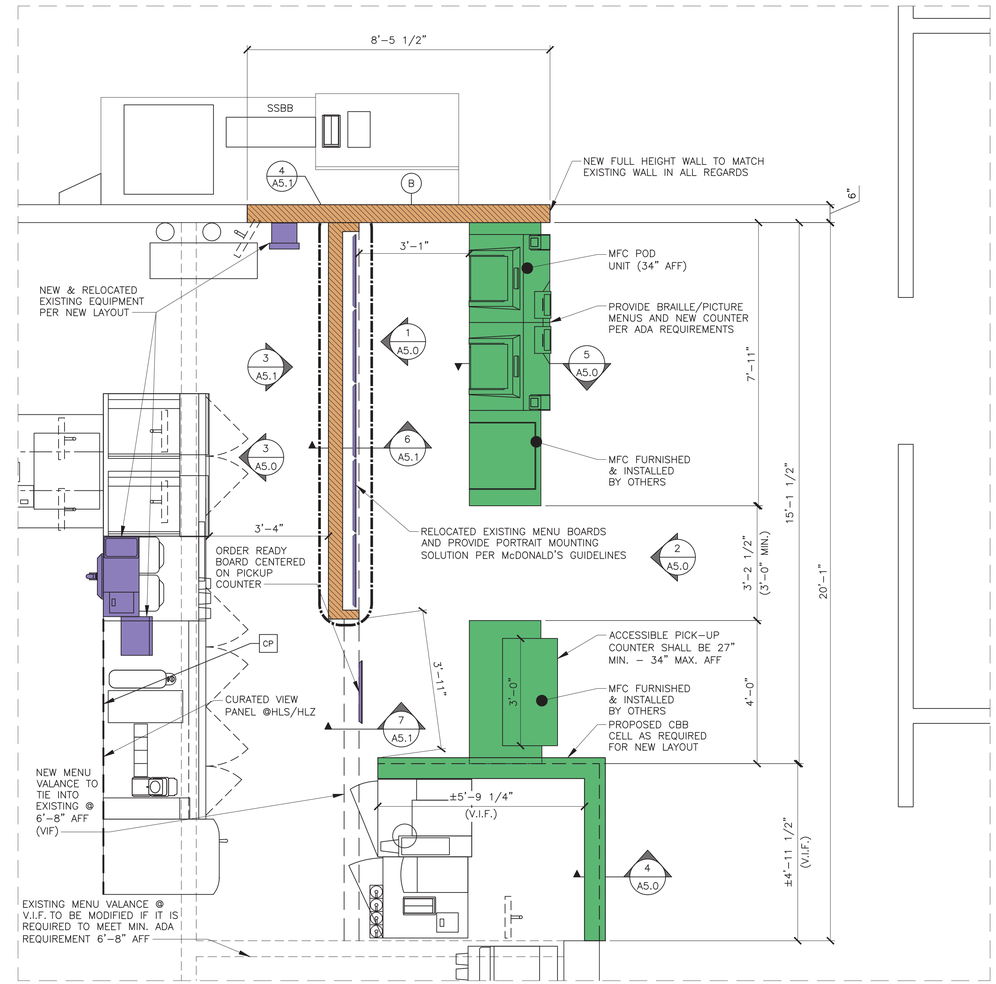
SHEET NO. A4.4
ENLARGED VESTIBULE PLAN



1 A5.0 INTERIOR ELEVATION—FINISHES
1/2" = 1'-0"



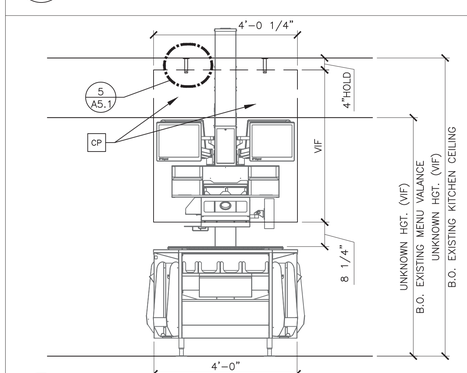
2 A5.0 INTERIOR ELEVATION
1/2" = 1'-0"



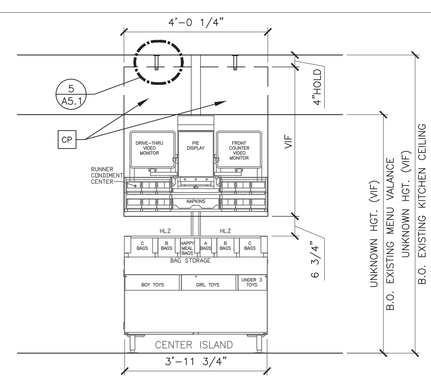
6 A5.0 FRONT COUNTER PLAN
1/2" = 1'-0"

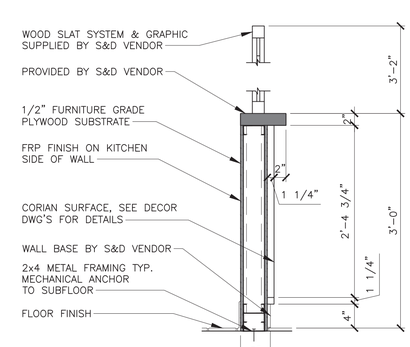
NOTE:
PROVIDE ELECTRICAL AND DATA RECEPTACLES AS REQUIRED BY McDONALDS'S GUIDELINES AND THE CURRENT CODE OF THE AHJ. EXTEND EXISTING CIRCUITS AS REQUIRED.

LEGEND:
- WOOD/METAL FRAMING
- EQUIPMENT
- MODULAR FRONT COUNTER/CBB

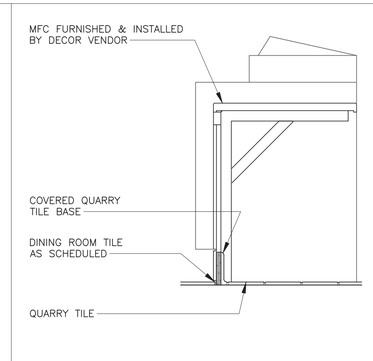


3 A5.0 CURATED VIEW PANEL @ HLS/HLZ
1/2" = 1'-0"





4 A5.0 CBB WALL SECTION
1" = 1'-0"

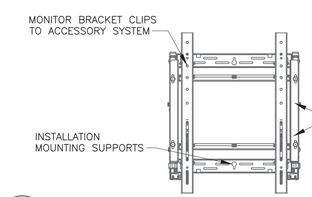


5 A5.0 MODULAR FRONT COUNTER SECTION
1" = 1'-0"

KEY NOTES: ** COORDINATE ALL FINISHES WITH McDONALDS ACM PRIOR TO INSTALLATION

- CT PORCELAIN WALL TILE: EUROWEST COLOR NOIR 4"x12" PATTERN: STACK BOND GROUT: MAPEI-47 CHARCOAL – JOINT TO BE 1/16" MAX
- CP CURATED VIEW PANEL: COLOR: WILSON ART – STEEL MESH 4879-38
- LAM LAMINATE: COLOR: MARLITE S-807N SMOOTH BLACK
- SCH SHLUTER: DARK SHLUTER 1/2" QUADEC TRENDLINE COLOR: TUSCAN PEWTER

SYMBOL LEGEND:
- (X) WALL TAG: INTERIOR WALL ASSY, SEE NOTES A4.3
  EXTERIOR WALL ASSY, SEE NOTES 13/A3.0



NOTE:
*SECURE TO EXISTING STUDS OR 3/4" PLYWOOD BACKING
*REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS

7 A5.0 DIGITAL MENU BOARD BRACKET DETAIL
1" = 1'-0"

REV	DATE	DESCRIPTION	BY
1	05.24.19	FOR FILING	CPC
0	02.01.19	FOR FILING	

COMMONWEALTH OF MASSACHUSETTS SHAUN TIMOTHY McGRATH CIVIL NO. 54149 REGISTERED PROFESSIONAL ENGINEER

PREPARED BY:
SkyBorne Technologies
P.O. BOX 875
Westford, MA 01886

PREPARED FOR:
McDonald's USA, LLC

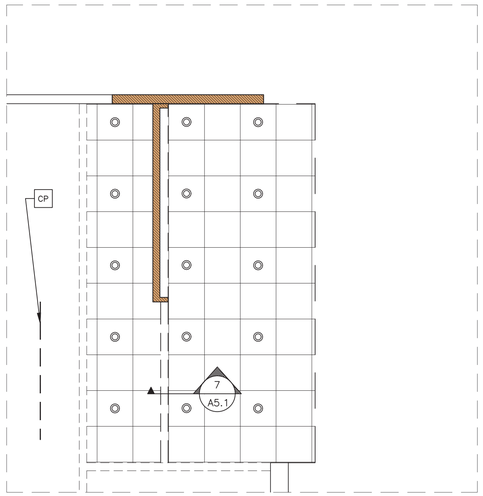
DRAWN BY	STD ISSUE DATE
TAB	FEB 2017
REVIEWED BY	DATE ISSUED
PM	11/09/2018

TITLE: SAM DETAILS AND SECTIONS

DESCRIPTION: REMODEL DESIGN PER 2017 MRP CRITERA SET
CORE 16 EXTERIOR – NON PLAYPLACE

SITE ID: 20-0293
SITE ADDRESS: 159 HATHAWAY ROAD, NEW BEDFORD, MA.

SHEET NO. A5.0
PROJ.# XXXXXX
SAM DETAILS & SECTIONS

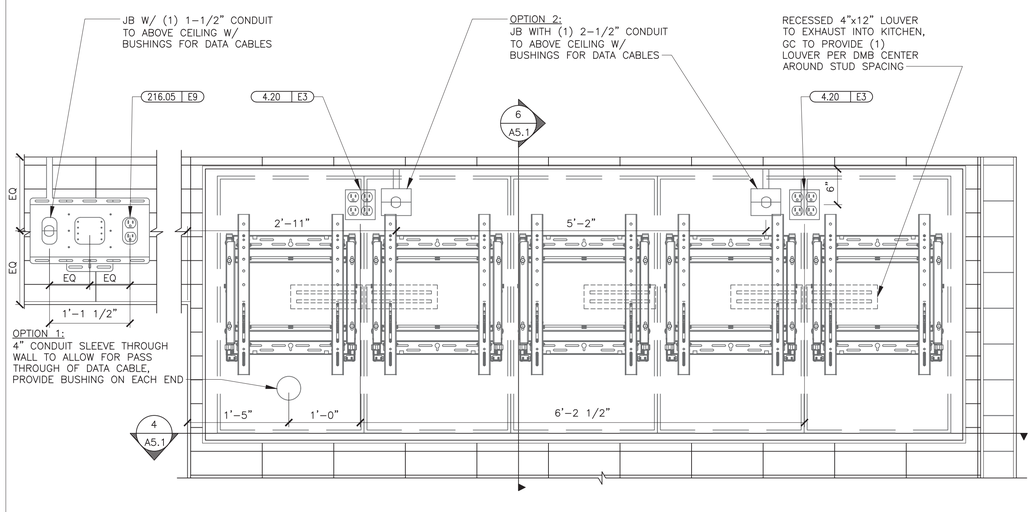


1 A5.1 FRONT COUNTER RCP
1/4" = 1'-0"

PB = Pullbox
JB = Junction Box
EC = Electrical Contractor
VIF = Verify in Field

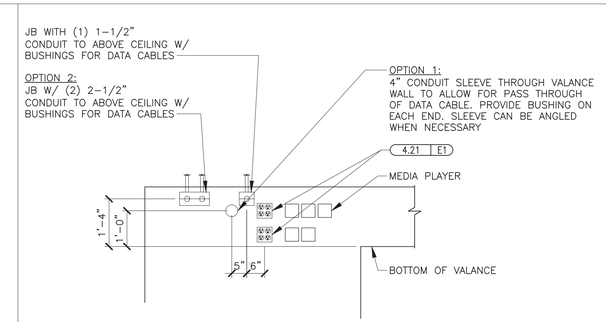
ELECTRICAL SCHEDULE

TAG #	QTY	DESCRIPTION	VOLT/PH	FLA	BRK SIZE	COND/WIRE	PNL/CCT	RECEP TYPE	HGT AFF	REQUIREMENTS & REMARKS
004.20E3	2	MENU BOARD – DIGITAL	120/1 ISOLATED	5.3	20A	–	–	(2) IG5262	SEE PLAN	SEE LAYOUT FOR GANGED OUTLET CONFIGURATION
004.21E1	2	MENU BOARD – DIGITAL – MEDIA PLAYER	120/1 ISOLATED	1.0	20A	–	–	(2) IG5262	SEE PLAN	SEE LAYOUT FOR GANGED OUTLET CONFIGURATION
216.05E9	1	ORB MONITOR	120/1 ISOLATED	1.5EA	20A	–	–	(1) IG4700	SEE PLAN	SEE LAYOUT FOR GANGED OUTLET CONFIGURATION



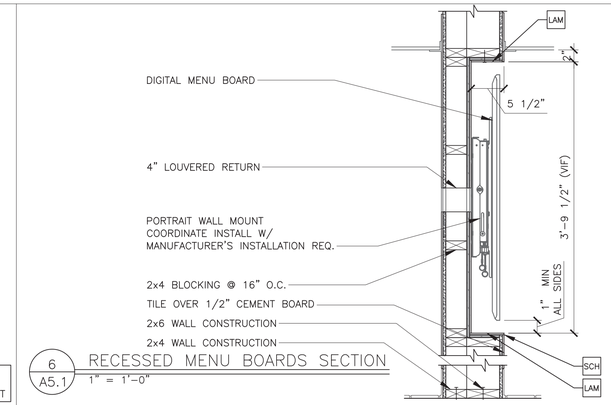
2 A5.1 RECESSED MENU BOARDS
1" = 1'-0"

NOTE:
OPTION 1 IS PREFERRED IF AREA BEHIND BOARDS IS A NON-CUSTOMER AREA AND MEDIA PLAYERS WON'T BE INSTALLED ABOVE FOOD PREP. SLEEVES SHOULD NOT BE INSTALLED WITHIN CUSTOMER VIEW. IF AREA BEHIND MENU BOARDS IS DINING, RESTROOMS, OR OTHER CUSTOMER-FACING LOCATION, USE OPTION 2.

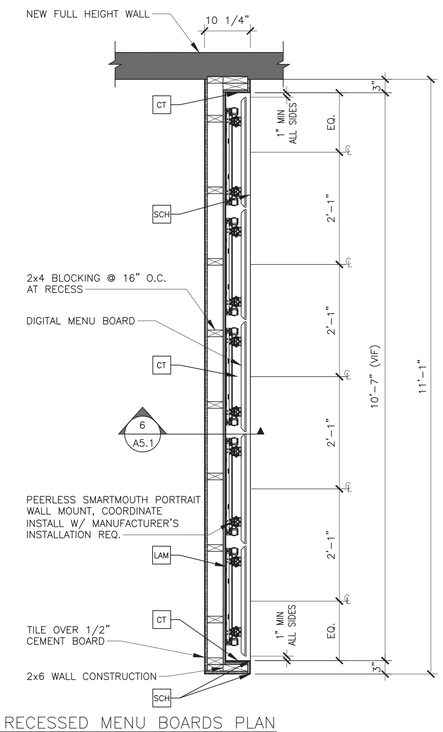


3 A5.1 BACK OF WALL VALANCE
1/2" = 1'-0"

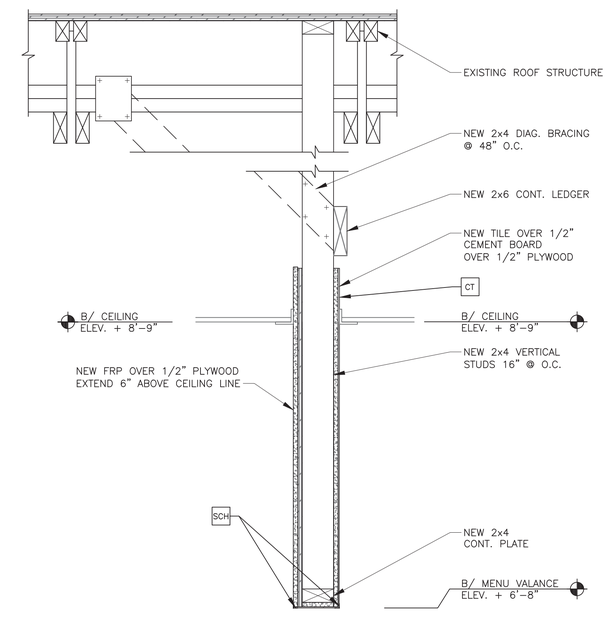
NOTE:
HORIZONTAL DIMENSIONS REFERENCED FROM LEFT



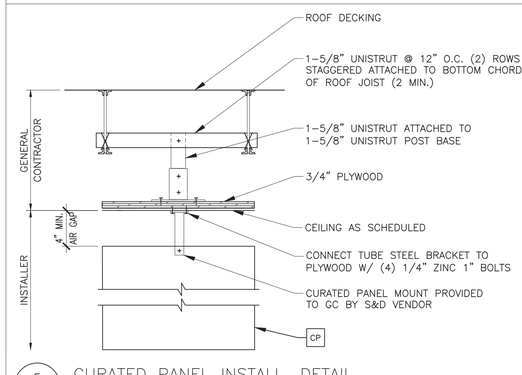
6 A5.1 RECESSED MENU BOARDS SECTION
1" = 1'-0"



4 A5.1 RECESSED MENU BOARDS PLAN
3/4" = 1'-0"



7 A5.1 VALANCE SECTION
1 1/2" = 1'-0"



5 A5.1 CURATED PANEL INSTALL. DETAIL
1 1/2" = 1'-0"

KEY NOTES:

1. THIS SLIP SHEET IS PROVIDED FOR ELECTRICAL ROUGH-IN PREPARATION AND GENERAL DIGITAL MENU BOARD MOUNTING GUIDELINES. EVALUATE EXISTING VALANCE WALL STRUCTURE AND BACKING MATERIALS TO ENSURE ADEQUATE SUPPORT OF EQUIPMENT.
2. ALL HEADER AND WALL PENETRATIONS FOR CONDUITS OR OTHER ELECTRICAL ROUTING MUST BE SEALED TIGHT.

DIGITAL MENU BOARD (DMB) INSTALLATION NOTES:

- DMB SUPPORT EQUIPMENT INCLUDES:
  - NETWORK MANAGEMENT DEVICE (NMD)
  - 24 PORT ENHANCED WAYPORT SWITCH (EWS) THIS EQUIPMENT IS TYPICALLY MOUNTED IN TECHNOLOGY CLOSET OR IN MANAGER'S OFFICE.
- DMB INSTALLERS TO ROUTE CONTROL WIRES FROM NMD/EWS ABOVE CEILING TO MENU BOARD VALANCE WALL. WIRES TO EXIT WALL VIA J-BOXES.
- EACH DMB SECTION REQUIRES A DEDICATED MEDIA PLAYER.

KEY NOTES: ** COORDINATE ALL FINISHES WITH McDONALDS ACM PRIOR TO INSTALLATION

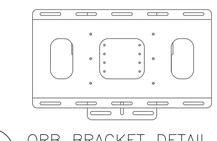
CT PORCELAIN WALL TILE: EUROWEST
COLOR NOIR 4"x12" PATTERN: STACK BOND
GROUT: MAPEI-47 CHARCOAL – JOINT TO BE 1/16" MAX

CP CURATED VIEW PANEL:
COLOR: WILSON ART – STEEL MESH 4879-38

LAM LAMINATE:
COLOR: MARLITE S-807N SMOOTH BLACK

SCH SHLUTER: DARK SHLUTER 1/2" QUADEC TRENDLINE
COLOR: TUSCAN PEWTER

NOTE:
REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS



8 A5.1 ORB BRACKET DETAIL
1 1/2" = 1'-0"

REV	DATE	DESCRIPTION	BY
1	05.24.19	FOR FILING	CPC
0	02.01.19	FOR FILING	

COMMONWEALTH OF MASSACHUSETTS
SHAUN TIMOTHY McGRATH
CIVIL
No. 54146
REGISTERED PROFESSIONAL ENGINEER

PREPARED BY:
SkyBorne Technologies
P.O. BOX 975
Westford, MA 01886

PREPARED FOR:
McDonald's USA, LLC

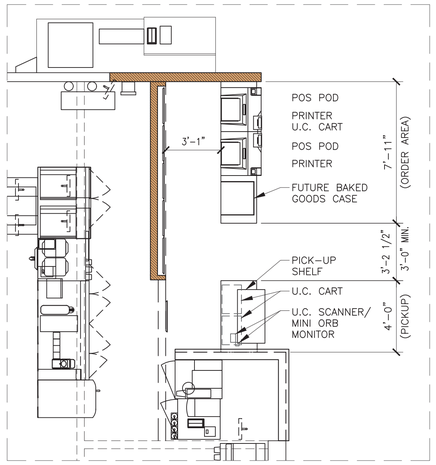
DRAWN BY TAB
STD ISSUE DATE FEB 2017
REVIEWED BY PM
DATE ISSUED 11/09/2018

TITLE: SAM DETAILS AND SECTIONS

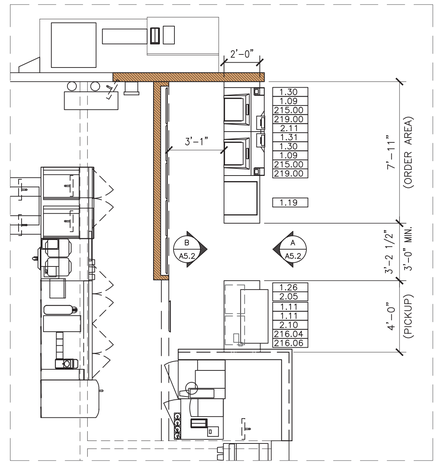
DESCRIPTION: REMODEL DESIGN PER 2017 MRP CRITERIA SET
CORE 16 EXTERIOR – NON PLAYPLACE

SITE ID: 20-02293
SITE ADDRESS: 159 HATHAWAY ROAD, NEW BEDFORD, MA.

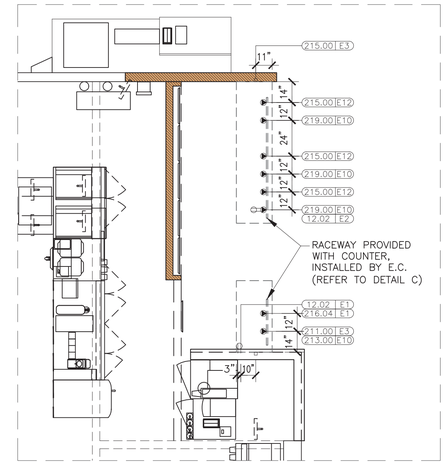
SHEET NO. A5.1
PROJ.# XXXXXX
SAM DETAILS & SECTIONS



1 A5.2 KITCHEN COVER SHEET
NO SCALE

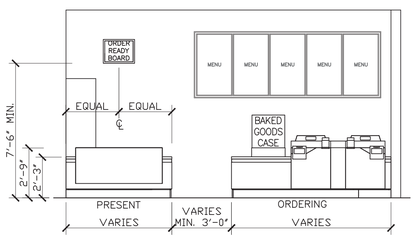


2 A5.2 KITCHEN EQUIPMENT LAYOUT
NO SCALE

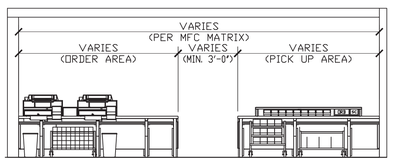


3 A5.2 ELECTRICAL ROUGH-IN PLAN
NO SCALE

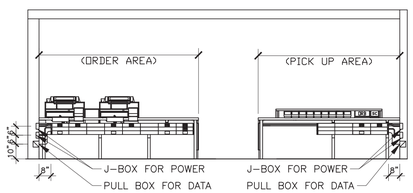
EOTF MODULAR FRONT COUNTER SLIP-SHEET NON-FFDT WITH DELIVERY SYSTEM & FUTURE READY FOR BAKED GOODS



A A5.2 FRONT COUNTER (CUSTOMER SIDE)
NO SCALE



B A5.2 FRONT COUNTER (CREW SIDE)
NO SCALE



C A5.2 MODULAR COUNTER RACEWAY (TYP.)
NO SCALE

SYMBOL	CATALOG #	DESCRIPTION	QUANTITY
	HBLALU57DR & IG4700	RECEPTACLE COVERPLATE WITH ORANGE, TWIST LOCK, ISOLATED GROUND DUPLEX RECEPTACLE	1 PER ISOLATED GROUND RECEPTACLE
	HBLALU57DR & 5-15R	RECEPTACLE COVER-PLATE WITH STRAIGHT BLADE DUPLEX RECEPTACLE	1
	HBLALU57LPB	COMMUNICATIONS COVERPLATE	1 PER REGISTER & 1 FOR DUAL POINT & 1 FOR ANALOG WIRELESS OPTION
	HBLALU57BL	BLANK COVERPLATE	AS NECESSARY TO FILL RACEWAY
	HBLALU5000B02M290	2' SECTION OF RACEWAY. INCLUDES COUPLERS	1 FOR PICK UP COUNTER AND AS NECESSARY TO MAKE ORDER COUNTER RACEWAY 1' LESS THEN COUNTER LENGTH
	HBLALU5000B04M290	4' SECTION OF RACEWAY, INCLUDES COUPLERS	AS NECESSARY TO MAKE ORDER COUNTER RACEWAY 1' LESS THEN COUNTER LENGTH
	HBLALU5000B05M290	5' SECTION OF RACEWAY, INCLUDES COUPLERS	AS NECESSARY TO MAKE ORDER COUNTER RACEWAY 1' LESS THEN COUNTER LENGTH
	HBLALU5010B	BLANK END FITTING	AS NEEDED
	HBLALU5010B2M2	SERVICE ENTRANCE FITTING & BUSHING FOR DATA CABLES	AS NEEDED
N/A	HBLALU5701	COUPLER (INCLUDED WITH RACEWAY SECTION)	RECEIVE 1 PAIR PER RACEWAY SECTION
N/A	HBLALU5709	GROUND ADAPTER	AS NEEDED

THIS DRAWING IS FOR REFERENCE ONLY

THE LAYOUTS SHOWN MAY NOT MATCH SITE SPECIFICS
THIS DESIGN CRITERIA SHOULD BE INCORPORATED
INTO SITE SPECIFIC DRAWING SETS

ELECTRICAL RACEWAY NOTES:

1. RACEWAY AND RECEPTACLES TO BE PROVIDED WITH MODULAR FRONT COUNTER, INSTALLED BY CONTRACTOR.
2. DETAIL SHOWN IS A TYPICAL CONFIGURATION ONLY. SITE SPECIFICS MIGHT CAUSE DEVIATIONS.

X = Optional Equipment
VIF = Verify in Field
GC = General Contractor
R = Relocated Equipment

EQUIPMENT SCHEDULE

ITEM	O	QTY	DESCRIPTION	MANUFACTURER	MODEL #	UL	NSF	FURNISHED	GENERAL REMARKS	SPECIAL REQUIREMENTS
1.09		3	MODULAR FRONT COUNTER POS POD	DECOR	MFC-POS	–	2	GC	–	
1.11		1	MODULAR FRONT COUNTER OVERSHELF – 36"	DECOR	MFC-OS-36	–	2	GC	–	
1.18		1	MODULAR FRONT COUNTER BASE – 84"	DECOR	MFC-84	–	2	GC	–	
1.26		1	MODULAR FRONT COUNTER BASE – 96"	DECOR	MFC-96	–	2	GC	–	
2.05		1	UNDER COUNTER CART – 24"W x 18"D FRONT COUNTER	INTERMETRO	UC18-DMS	–	2	KES	–	
2.10		1	BAG/NAPKIN STOCK CART	INTERMETRO	MCD-DP1430B	–	2	KES	–	
2.11		1	CUP AND LID SLEEVE STOCK CART	INTERMETRO	MCD-DP1830CS	–	2	KES	–	
215.00		3	POS REGISTER – FRONT COUNTER	BY OWNER	BY OWNER	OEM	–	OWNER	INCLUDES MONITOR AND CPU	
216.04		1	ORB MINI MONITOR	BY OWNER	BY OWNER	–	–	OWNER	UNDER COUNTER BRACKET BY POS SUPPLIER	
216.05		1	ORB MONITOR	BY OWNER	BY OWNER	–	–	OWNER	MOUNTING KIT PROVIDED BY KES	
216.06		1	ORB SCANNER	BY OWNER	BY OWNER	–	–	OWNER	UNDER COUNTER BRACKET BY POS SUPPLIER	
219.00		3	POS – RECEIPT PRINTER	BY OWNER	BY OWNER	OEM	–	OWNER	–	

PB = PULL BOX
JB = JUNCTION BOX
EC = ELECTRICAL CONTRACTOR
VIF = VERIFY IN FIELD

ELECTRICAL SCHEDULE

TAG #	QTY	DESCRIPTION	VOLT/PH	FLA	BRK SIZE	COND/WIRE	PNL/CCT	RECEP TYPE	HGT AFF	REQUIREMENTS & REMARKS
004.20E3	2	MENU BOARD – DIGITAL	120/1 ISOLATED	5.3	20A	–	–	(2) IG5262	SEE PLAN	SEE LAYOUT FOR GANGED OUTLET CONFIGURATION
004.21E1	2	MENU BOARD – DIGITAL – MEDIA PLAYER	120/1 ISOLATED	1.0	20A	–	–	(2) IG5262	SEE PLAN	SEE LAYOUT FOR GANGED OUTLET CONFIGURATION
216.05E9	1	ORB MONITOR	120/1 ISOLATED	.5EA	20A	–	–	(1) IG4700	SEE PLAN	SEE LAYOUT FOR GANGED OUTLET CONFIGURATION

ELECTRICAL SCHEDULE NOTES:

1. CIRCUIT NUMBERS SHOWN ARE FOR DESIGN INTENT ONLY. ACTUAL CONDITIONS WILL AFFECT CIRCUITRY.
2. WHEN AVAILABLE ONLY ONE BAKED GOODS CASE WILL BE PROVIDED PER RESTAURANT.

PROJECT	PROJECT	REVISION	DATE ISSUED	BY
MODULAR FRONT COUNTER – NON FFDT	NEW CONSTRUCTION/MRP	–	3/06/2018	USRD

CONSTRUCTION DOCUMENT SLIP SHEET

REV	DATE	DESCRIPTION	BY
1	05.24.19	FOR FILING	CPC
0	02.01.19	FOR FILING	

COMMONWEALTH OF MASSACHUSETTS
SHAUN TIMOTHY McGRATH
CIVIL
No. 54148
REGISTERED PROFESSIONAL ENGINEER

PREPARED BY:
SkyBorne Technologies
P.O. BOX 975
Westford, MA 01886

PREPARED FOR:
McDonald's USA, LLC

DRAWN BY: TAB
STD. ISSUE DATE: FEB 2017
REVIEWED BY: PM
DATE ISSUED: 11/09/2018

TITLE: MODULAR FRONT COUNTER SLIP SHEET
DESCRIPTION: REMODEL DESIGN PER 2017 MRP CRITERIA SET CORE 16 EXTERIOR – NON PLATPLACE
SITE ID: 20-0293
SITE ADDRESS: 159 HATHAWAY ROAD, NEW BEDFORD, MA.

SHEET NO. A5.2
PROJ.# XXXXXX
MODULAR FRONT COUNTER SLIP SHEET

BUILDING CODE:

2011 EDITION OF THE MASSACHUSETTS BUILDING CODE, WITH 2017 AMENDMENTS.

LOADS:
ROOFS:
EXISTING ROOF LIVE LOAD = 20 PSF (REDUCIBLE).
EXISTING ROOF SNOW LOAD = 30 PSF.
EXISTING ROOF DEAD LOAD = 20 PSF.

LATERAL:
WIND:
3 SECOND WIND GUST = 130 MPH.
WIND IMPORTANCE FACTOR = 1.0.
EXPOSURE B.

SEISMIC: WIND GOVERNS OVER SEISMIC BY INSPECTION.

RISK CATEGORY:	II
SEISMIC IMPORTANCE FACTOR, Ie:	1.0
SPECTRAL ACCELERATION SHORT PERIOD, Ss:	0.172g
SPECTRAL ACCELERATION 1-SECOND PERIOD, S1:	0.059g
SITE CLASS:	D
DESIGN SPECTRAL RESPONSE COEFFICIENT, Sds	0.183g
DESIGN SPECTRAL RESPONSE COEFFICIENT, Sd1	0.094g
SEISMIC DESIGN CATEGORY, SDS	B

MASONRY:

GENERAL: HOLLOW CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C90, MEDIUM WEIGHT, GRADE N, F'm = 1,500 PSI, RUNNING BOND, MORTAR TYPE S, 1,800 PSI. GROUT 2,000 PSI. MECHANICALLY VIBRATE GROUT IMMEDIATELY AFTER POURING AND AGAIN 5 TO 10 MINUTES LATER. PROVIDE CLEANOUTS IF GROUT LIFT EXCEEDS 5'-0" IN BLOCK WALLS. MAXIMUM GROUT LIFT SHALL BE 6'-0". WHEN APPROVED BY THE STRUCTURAL ENGINEER AND BUILDING OFFICIAL, GROUT LIFTS MAY BE GREATER THAN 6'-0" IF IT CAN BE DEMONSTRATED BY CONTRACTOR THAT THE GROUT SPACES CAN BE PROPERLY FILLED. FILL CELLS SOLIDLY WITH GROUT IN LIFTS AND STOP POURS 1 1/2" BELOW THE TOP OF A COURSE TO FORM A KEY AT POUR POINTS. UNLESS NOTED OTHERWISE ON THE PLANS, PLACE CONTROL JOINTS IN MASONRY WALLS SUCH THAT NO STRAIGHT RUNS OF WALL EXCEEDS 24'-0". CONTROL JOINTS SHALL NOT OCCUR AT WALL CORNERS, INTERSECTIONS, ENDS, WITHIN 24" OF CONCENTRATED POINTS OF BEARING OR JAMBS, OR OVER OPENINGS UNLESS SPECIFICALLY SHOWN ON THE STRUCTURAL DRAWINGS. ALL MASONRY BELOW FINISHED FLOOR OR GRADE SHALL BE GROUTED SOLID.

VERTICAL REINFORCING: 1 #5 IN CENTER OF GROUT AT CENTER OF WALL, CONTINUOUS FULL HEIGHT OF WALL AT ALL CORNERS, INTERSECTIONS, WALL ENDS, BEAM BEARINGS, JAMBS, EACH SIDE OF CONTROL JOINTS AND AT INTERVALS NOT TO EXCEED 48" O.C., UNLESS NOTED OTHERWISE, TIE AT 8'-0" VERTICALLY, WITH SINGLE WIRE LOOP TIE BY A.A. WIRE PRODUCTS COMPANY. DOWEL VERTICAL REINFORCING TO FOUNDATION WITH DOWELS TO MATCH VERTICAL REINFORCING.

HORIZONTAL REINFORCING: 2 #5 IN MINIMUM 8" DEEP GROUTED CONTINUOUS BOND BEAM AT ELEVATED FRAMING ASSEMBLES. 1 #5 IN MINIMUM 8" DEEP GROUTED CONTINUOUS BOND BEAM AT TOP OF PARAPETS AND FREESTANDING WALLS. PLACE THESE BARS CONTINUOUS THRU CONTROL JOINTS. TO MAINTAIN BOND BEAM CONTINUITY, INSTALL BENT BARS PER TYPICAL DETAILS TO MATCH HORIZONTAL BOND BEAM REINFORCING AT CORNERS AND INTERSECTIONS. STANDARD WEIGHT (NO. 9 GAGE WIRE) DUR-O-WAL OR DUR-O-WIRE (OR EQUIVALENT) LADDER TYPE JOINT REINFORCEMENT AT 16" O.C.

LAP SPLICES:

LAP SPLICES FOR VERTICAL AND HORIZONTAL REINFORCING SHALL BE PER 24" MIN. FOR #4 REINF. AND 32" MIN. FOR #5 REINF. DO NOT SPLICE WITHIN 8'-0" OF CONTROL JOINTS. LAP HORIZONTAL LADDER TYPE JOINT REINFORCING 12" MINIMUM.

FOR ADDITIONAL REINFORCING INFORMATION, SEE REINFORCING SECTION OF G.S.N., PLANS, SCHEDULES AND DETAILS.

REINFORCING:
ALL REINFORCING PER CRSI SPECIFICATIONS AND HANDBOOK. ASTM A615 (Fy = 60 KSI/GRADE 60) DEFORMED BARS FOR ALL BARS #5 AND LARGER (AND FOR ALL CONCRETE WALLS, BEAMS, SLABS AND COLUMN REINFORCING). ASTM A615 (Fy = 40 KSI/GRADE 40) DEFORMED BARS FOR ALL BARS #4 AND

WOOD:

GENERAL: WOOD FRAMING MEMBERS SHALL NOT BE NOTCHED OR DRILLED WITHOUT PRIOR APPROVAL OF THE STRUCTURAL ENGINEER THROUGH THE ARCHITECT. ALL NAILING NOT NOTED SHALL BE PER TYPICAL DETAIL. ALL BOLTING SHALL BE PER STRUCTURAL STEEL SECTION ABOVE. WOOD CONNECTORS SHALL BE AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY, INC. OR OTHER MANUFACTURER WITH CURRENT AND EQUIVALENT ICC APPROVAL. WHERE "TYPE" OF CONNECTOR IS INDICATED ON THE DRAWINGS, THE CONNECTOR AND ATTACHMENT SHALL BE PER THE MAXIMUM MODEL NUMBER BASED ON THE SIZE OF THE MEMBERS CONNECTED.

SAWN LUMBER:

FRAMING LUMBER SHALL COMPLY WITH THE LATEST EDITION OF THE GRADING AGENCY AND SHALL HAVE MINIMUM PROPERTIES WHICH MEET OR EXCEED THE FOLLOWING WOOD TYPES:

JOISTS	WOOD TYPE
2X4	D.F. STND
2X6 OR LARGER	D.F. #2
STUDS	D.F. #2
LEDGERS AND TOP PLATE	D.F. #2

PLYWOOD:

ALL PLYWOOD SHALL BE APA "CDX" RATED SHEATHING OR BETTER AND SHALL BEAR THE STAMP OF AN APPROVED TESTING AGENCY. LAY UP PLYWOOD WITH FACE GRAIN PERPENDICULAR TO SUPPORTS. STAGGER JOINTS. ALL NAILING COMMON NAILS. WHERE SCREWS ARE INDICATED FOR WOOD TO WOOD ATTACHMENTS, USE WOOD SCREWS. ALL PLYWOOD SHALL BE OF THE FOLLOWING NOMINAL THICKNESS, SPAN/INDEX RATIO AND SHALL BE ATTACHED AS FOLLOWS UNLESS NOTED OTHERWISE:

USE	THICKNESS	SPAN/INDEX RATIO	EDGE ATTACHMENT	INTERMEDIATE ATTACHMENT
ROOF	1/2"	32/16	8d AT 6" O.C.	8d AT 12" O.C.
WALL	3/4"	20/0	8d AT 6" O.C.	8d AT 12" O.C.

ALTERNATE: APA PERFORMANCE RATED SHEATHING (ORIENTED STRAND BOARD - OSB) MAY BE USED AS AN ALTERNATE TO PLYWOOD WITH PRIOR APPROVAL OF OWNER, ARCHITECT AND ROOFING CONTRACTOR. WHERE ROOF IS TO BE GUARANTEED, IT MAY NOT BE USED WITHOUT PRIOR APPROVAL FROM ROOF SYSTEM MANUFACTURER. OSB SHEATHING SHALL COMPLY WITH SECTIONS 2302 AND 2303.1.4 OF THE IBC, AND SHALL HAVE A SPAN RATING AND SHEAR VALUES EQUIVALENT TO OR BETTER THAN THE PLYWOOD IT REPLACES. ATTACHMENT AND THICKNESS (WITHIN $\frac{1}{32}$") SHALL BE THE SAME AS THE PLYWOOD IT REPLACES. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

GENERAL NOTES:

THE STRUCTURAL CONSTRUCTION DOCUMENTS REPRESENT THE FINISHED STRUCTURE. EXCEPT WHERE NOTED, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, BRACING, SHORING FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, ETC. THE STRUCTURAL ENGINEER OF RECORD SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S MEANS, METHODS. TECHNIQUES, SEQUENCES FOR PROCEDURE OF CONSTRUCTION, OR THE SAFETY PRECAUTIONS AND THE PROGRAMS INCIDENT THERETO (NOR SHALL OBSERVATION VISITS TO THE SITE INCLUDE INSPECTION OF THESE ITEMS).

WHERE REFERENCE IS MADE TO VARIOUS TEST STANDARDS FOR MATERIALS. SUCH STANDARDS SHALL BE THE LATEST EDITION AND/OR ADDENDA. ANY ENGINEERING DESIGN, PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW, SHALL BEAR THE SEAL OF THE REGISTERED ENGINEER RECOGNIZED BY THE BUILDING CODE JURISDICTION OF THIS PROJECT.

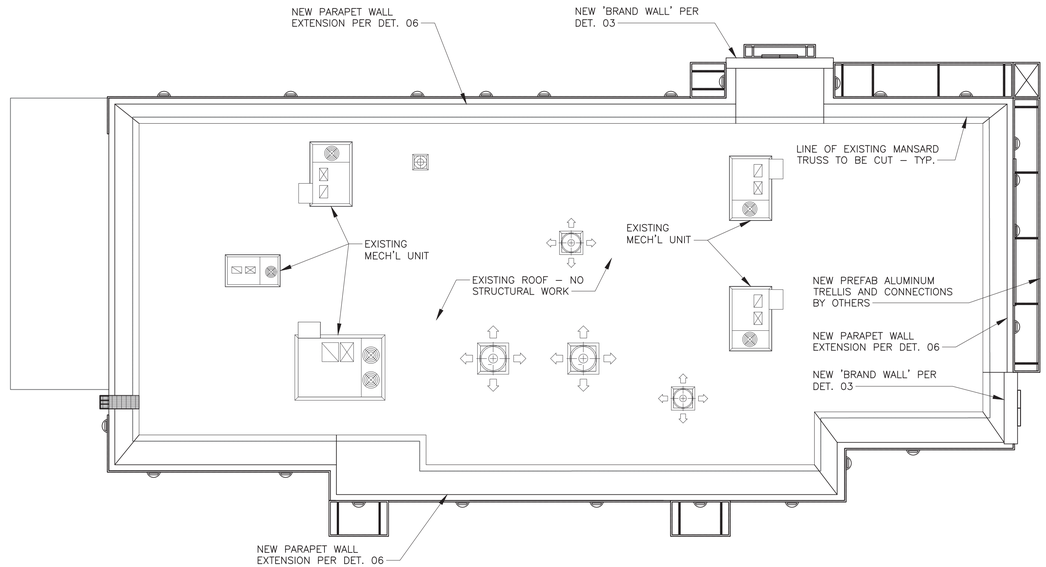
NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT, AND/OR AS PROVIDED FOR IN THE CONTRACT DOCUMENTS. WHERE DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL STRUCTURAL NOTES AND SPECIFICATIONS, THE MOST RESTRICTIVE OR GREATER REQUIREMENTS, AS DETERMINED BY THE STRUCTURAL ENGINEER OF RECORD SHALL GOVERN.

CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO START OF CONSTRUCTION. RESOLVE ANY DISCREPANCY WITH THE ARCHITECT. ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR ARCHITECTURAL, CIVIL, MECHANICAL, PLUMBING AND ELECTRICAL ITEMS WITH THE APPROPRIATE TRADE DRAWINGS AND SUBCONTRACTORS PRIOR TO CONSTRUCTION.

TYPICAL DETAILS MAY NOT NECESSARILY BE CUT ON PLANS, BUT APPLY UNLESS NOTED OTHERWISE.

CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED CONSTRUCTION. LOAD SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT.

OPTIONS ARE FOR CONTRACTOR'S CONVENIENCE. IF AN OPTION IS CHOSE, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY CHANGES, APPROVALS AND THE COORDINATION OF THE WORK WITH ALL RELATED TRADES AND SUPPLIERS.



9 S1.0 PROPOSED ROOF PLAN
1/8" = 1'-0"

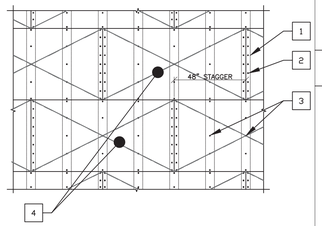
CONNECTION (COMMON NAILS ONLY)	NAILING
JOIST TO SILL OR GIRDER TOENAIL	3-8d
BRIDGING TO JOIST, TOENAIL EACH END	2-8d
PLATE TO JOIST OR BLOCKING, TYP. FACE NAIL PLATE TO JOIST OR BLOCKING, AT WALL PANEL	16d AT 16" o.c. 3-16d PER 16'
TOP PLATE TO STUD, END NAIL	2-16d
STUD TO SOLE PLATE	4-8d, TOENAIL OR, 2-16d, END NAIL
DOUBLED STUDS, FACE NAIL	16d AT 24" o.c.
DOUBLED TOP PLATES, TYPICAL FACE NAIL DOUBLED TOP PLATES, LAP SPLICE	16d AT 16" o.c. 8-16d
BLOCKING BET. JOISTS OR RAFTERS TO TOP PLATE	5-8d TOE NAILS
RIM JOISTS TO TOP PLATE, TOENAIL	8d AT 6" o.c.
TOP PLATE, LAPS AND INTERSECTIONS, FACE NAIL	2-16d
CONTINUOUS HEADER, TWO PIECES	16d AT 16" o.c. ALONG EACH EDGE
CEILING JOISTS TO PLATE, TOENAIL	3-8d
CONTINUOUS HEADER TO STUDS, TOENAIL	4-8d
CEILINGS JOISTS, LAPS OVER PARTITIONS, FACE NAIL	3-16d
CEILINGS JOISTS TO PARALLEL RAFTERS, FACE NAIL	3-16d
RAFTER TO PLATE, TOENAIL	3-8d
BUILT-UP CORNER STUDS	16d AT 24" o.c.
BUILT-UP GIRDER AND BEAMS	20d AT 32" o.c. TOP AND BOTTOM, AND STAGGERED 2-20d EACH END AND SPLICES

1 S1.0 NAILING SCHEDULE - UNO
NO SCALE

KEY NOTES:

1 -FRAMING MEMBER AT PANEL EDGE
2 -EDGE ATTACHMENT
3 -INTERMEDIATE ATTACHMENT TYPICAL EXCEPT AT EDGES
4 -PLYWOOD SHEATHING PANEL - PERPENDICULAR TO FRAMING MEMBERS

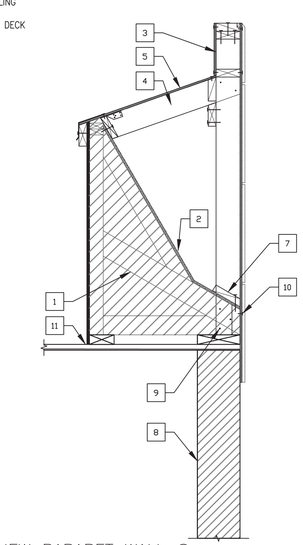
NOTES:
16" o.c. SUPPORT SPACING SIMILAR. FOR ADDITIONAL INFORMATION, SEE PLAN AND G.S.N.



2 S1.0 TYPICAL PLYWOOD SHEATHING LAYOUT - 24" O.C. SUPPORTS
NO SCALE

KEY NOTES:

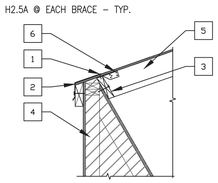
1 -(E) MANSARD TRUSS FRAMING
2 -(E) PLYWOOD SHEATHING TO REMAIN
3 -TOP OF NEW PARAPET WALL
4 -(N) 2x6 WOOD BRACE W/ (2)16d AT EA. STUD
5 -(N) 1/2" PLYWOOD SHEATHING
6 -(N) 2x6 WOOD STUDS @ 24" O.C.
7 -(N) 2x WOOD BLOCKING W/ (3)16d PER BLOCK
8 -(E) MASONRY WALL
9 -(N) (3)16d @ EACH (N) STUD TO (E) TRUSS TYP.
10 -EDGE NAILING
11 -(E) ROOF DECK



6 S1.0 NEW PARAPET WALL @ EXISTING MANSARD TRUSS
NO SCALE

KEY NOTES:

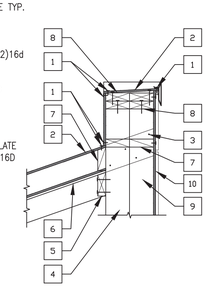
1 -(N) 8d NAILS @ 6" O.C. AS EDGE NAILING
2 -(N) 1/2" PLYWOOD SHEATHING
3 -(N) 2x CONT. WOOD PLATE WITH ø5/16" x3" LAG SCREWS @ EACH EXISTING TRUSS TYP.
4 -(E) MANSARD TRUSS FRAMING
5 -(N) 2x4 WOOD BRACE @ 24" O.C.
6 -(N) SIMPSON H2.5A @ EACH BRACE - TYP.



4 S1.0 WOOD BRACES @ EXISTING MANSARD TRUSS
NO SCALE

KEY NOTES:

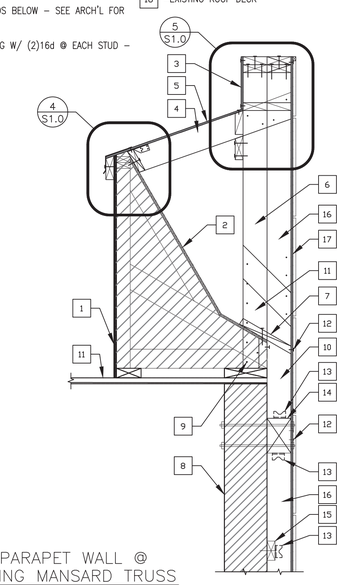
1 -8d NAILS @ 6" O.C.
2 -1/2" PLYWOOD SHEATHING
3 -(2)16d @ EACH STUD OR BRACE TYP.
4 -2x6 WOOD STUDS @ 24" O.C
5 -CONT. 2x6 WOOD MEMBER W/ (2)16d @ EACH STUD
6 -2x6 WOOD BRACE W/ (2)16d @ EACH STUD
7 -2x6 WOOD BLOCKING
8 -DOUBLE CONT. 2x WOOD TOP PLATE W/ (2)16d @ EACH STUD AND 16D @ 12" O.C.
9 -2x4 WOOD STUDS @ 24" O.C.
10 -3/4" PLYWOOD SHEATHING



5 S1.0 TOP OF NEW PARAPET WALL
NO SCALE

KEY NOTES:

1 -(E) MANSARD TRUSS FRAMING
2 -(E) PLYWOOD SHEATHING TO REMAIN
3 -TOP OF NEW PARAPET WALL
4 -(N) 2x6 WOOD BRACE W/ (2)16d AT EA. STUD
5 -(N) 1/2" PLYWOOD SHEATHING
6 -(N) 2x6 WOOD STUDS @ 24" O.C.
7 -(N) 2x WOOD BLOCKING W/ (3)16d PER BLOCK
8 -(E) MASONRY WALL
9 -(N) (3)16d @ EACH (N) STUD TO (E) TRUSS TYP.
10 -EXTEND WOOD STUDS BELOW - SEE ARCH'L FOR BOTTOM STUDS
11 -2x4 WOOD BLOCKING W/ (2)16d @ EACH STUD - BOTH SIDES
12 -EDGE NAILING
13 -SIMPSON A34 @ EACH STUD
14 -CONT. 4x8 WOOD LEDGER W/ ø2-5/8" THRU BOLTS @ 48" O.C. @ TRELLIS LOCATIONS
15 -2x4 WOOD BLOCKING @ 8'-0" O.C. VERTICALLY W/ (3) HILTI X-C ø0.138" SHORT NPINS x 1" MIN. EMBEDMENT TO (E) MASONRY WALL (ICC ESR-1663) @ WOOD STUD WALL ATTACHMENT, USE ø5/16" x 3" LAG SCREWS @ EACH STUD
16 -(N) 2x6 STUDS @ 24" O.C.
17 -3/4" PLYWOOD SHEATHING
18 -EXISTING ROOF DECK



3 S1.0 NEW PARAPET WALL @ EXISTING MANSARD TRUSS
NO SCALE

7 S1.0 TOP OF NEW PARAPET WALL
NO SCALE

8 S1.0 NOT USED
NO SCALE

REV	DATE	DESCRIPTION	CPC	BY
1	05.24.19	FOR FILING		
0	02.01.19	FOR FILING		

COMMONWEALTH OF MASSACHUSETTS
SHAUN TIMOTHY McGRATH
CIVIL
No. 54149
REGISTERED PROFESSIONAL ENGINEER

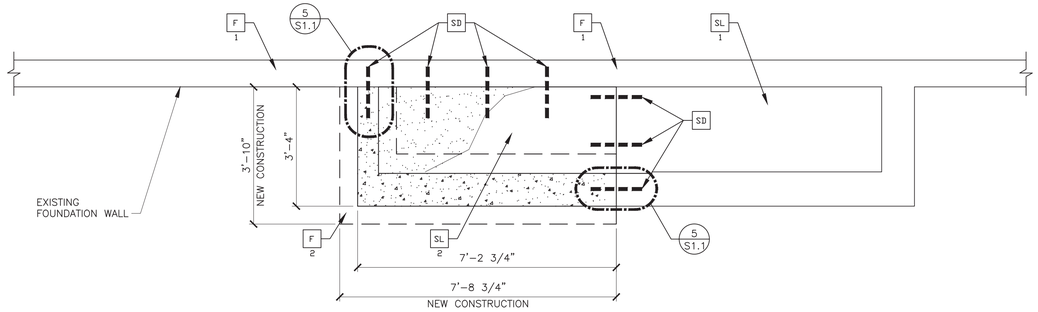
PREPARED BY:
SkyBorne Technologies
P.O. BOX 875
Westford, MA 01886

PREPARED FOR:
McDonald's USA, LLC

TITLE: MANSARD FRAMING DETAILS AND NOTES

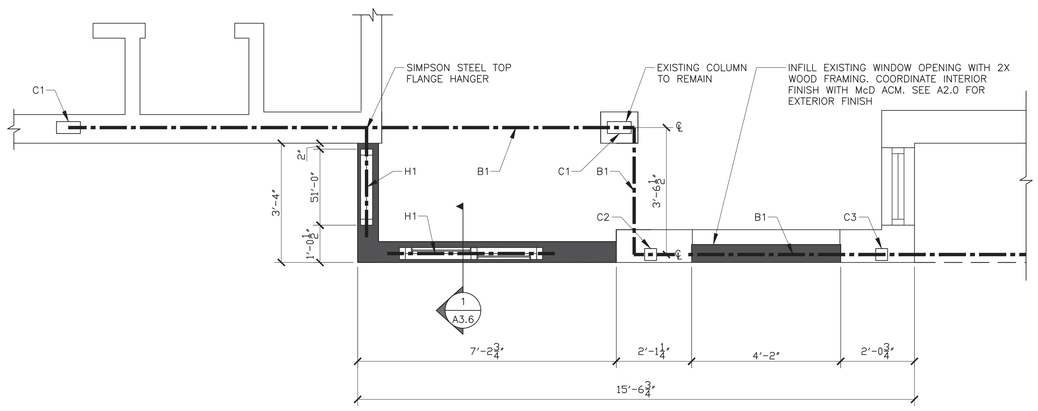
DRAWN BY	TAB
STD ISSUE DATE	FEB 2017
REVIEWED BY	PM
DATE ISSUED	11/09/2018
DESCRIPTION	REMODEL DESIGN PER 2017 MRP CRITERIA SET CORE 16 EXTERIOR - NON PLAYPLACE
SITE ID	20-0293
SITE ADDRESS	159 HATHAWAY ROAD, NEW BEDFORD, MA.

SHEET NO. S1.0 PROJ.# XXXXXX
MANSARD FRAMING DETAILS AND NOTES



1 S1.1 PARTIAL FOUNDATION PLAN
1/2" = 1'-0"

NORTH

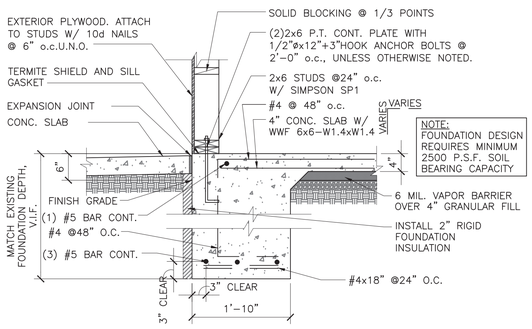


2 S1.1 PARTIAL FRAMING PLAN
1/2" = 1'-0"

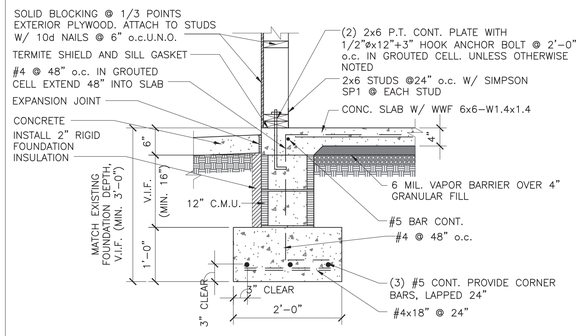
EXISTING BEAM SCHEDULE	
MARK	MEMBER
B1	W16x26 (+10'-0")

EXISTING COLUMN SCHEDULE	
MARK	MEMBER
C1	T.S. 8x4x1/4
C2	T.S. 4x4x1/4
C3	T.S. 4x4x3/8

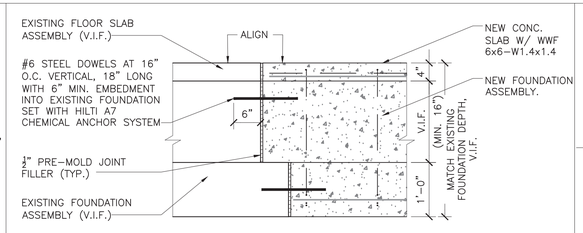
NEW HEADER SCHEDULE	
MARK	MEMBER
H1	(3) 12" M.L. BOLTED TOGETHER WITH GALV. 3/8" CARRIAGE BOLTS IN A STAGGERED PATTERN, TOP AND BOTTOM AT THE ENDS WITH MUSHROOM HEAD FACING THE EXTERIOR, TYP.



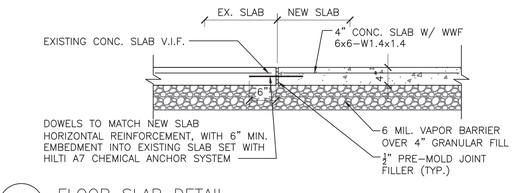
3 S1.1 MONOLITHIC FOOTING OPTION
3/4" = 1'-0"



4 S1.1 WALL FOOTING OPTION
3/4" = 1'-0"



5 S1.1 TYP. EXIST./NEW FOUNDATION CONNECTION DETAIL
3/4" = 1'-0"



6 S1.1 FLOOR SLAB DETAIL
3/4" = 1'-0"

NOTE #1:

CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND JOB CONDITIONS, AND SHALL NOTIFY THE E.O.R. OF ANY DISCREPANCIES, CONFLICTS, AND/OR OMISSIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK. SHOULD HE FAIL TO FOLLOW THIS PROCEDURE AND CONTINUE WITH THE WORK, HE SHALL ASSUME ALL RESPONSIBILITY AND LIABILITY ARISING THEREFROM.

KEY NOTES:

F — FOUNDATION
1 – 1 = EXISTING FOUNDATION ASSEMBLY TO REMAIN
2 = NEW FOUNDATION ASSEMBLY

SL
1 – 1= EXISTING FLOOR CONCRETE SLAB TO REMAIN
2= NEW 4" THICK FLOOR CONCRETE SLAB. SEE DETAIL 5/S1.0 FOR MORE INFO.

SD NEW #6 STEEL DOWELS AT 16" O.C. VERTICAL, 18" LONG WITH 6" MIN. EMBEDMENT INTO EXISTING FOUNDATION SET WITH HILTI A7 CHEMICAL ANCHOR SYSTEM

REV	DATE	DESCRIPTION	BY
1	05.24.19	FOR FILING	CPC
0	02.01.19	FOR FILING	

COMMONWEALTH OF MASSACHUSETTS — SHAUN TIMOTHY McGRATH — CIVIL — NO. 54149 — REGISTERED PROFESSIONAL ENGINEER

PREPARED BY:
SkyBorne Technologies
P.O. BOX 875
Westford, MA 01886

PREPARED FOR:
McDonald's USA, LLC

DRAWN BY: TAB
STD ISSUE DATE: FEB 2017
REVIEWED BY: PM
DATE ISSUED: 11/09/2018

TITLE: FOUNDATION PLAN AND DETAILS

DESCRIPTION: REMODEL DESIGN PER 2017 MRP CRITERIA SET
CORE 16 EXTERIOR – NON PLAYPLACE

SITE ID: 20-0293
SITE ADDRESS: 159 HATHAWAY ROAD, NEW BEDFORD, MA.

SHEET NO. S1.1
PROJ.# XXXXXX
FOUNDATION PLAN AND DETAILS

Top-Flange Hangers HHB/GB/HGB

SIMPSON Strong-Tie®

Beam and Purlin Hangers

See table on p. 178. See Hanger Options on pp. 121–123 for hanger modifications, which may result in reduced loads.

This series of beam and purlin hangers may be used for wood to wood or wood to steel applications. Precision forming provides dimensional accuracy and helps ensure proper bearing area and connection.

Material: See table on p. 178

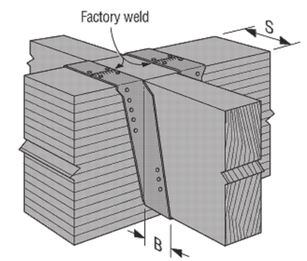
Finish: HHB, GB, HGB, all saddle hangers and all welded sloped and special hangers — Simpson Strong-Tie® gray paint. May be ordered hot-dip galvanized; specify HDG.

Installation:

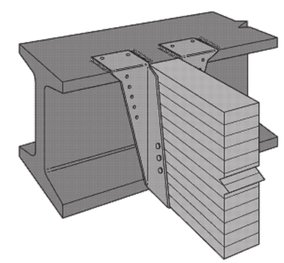
- Use specified fasteners; see General Notes.
- HHB, GB and HGB may be used for weld-on applications. The minimum required weld to the top flanges is 3⁄16" x 2" fillet weld to each side of each top flange tab. Distribute the weld equally on both top flanges. Welding cancels the top and face nailing requirements. Consult the code for special considerations when welding galvanized steel. The area should be well-ventilated. See p. 21, note m for weld information. Weld on applications produce the maximum allowable load listed. Uplift loads do not apply to welded applications.
- Ledgers must be evaluated for each application separately. Check TF dimension, nail length and nail location on ledger.
- For attaching to headers made up of multiple 2xs, refer to technical bulletin T-C-MPLYHEADR at **strongtie.com**.

Options:

- HHB – other widths are available; specify W dimension (the minimum W dimension is 2½").
- Saddle hangers are made to order; add "D" to model (e.g. HHBD3); specify S (for saddle) dimension. It is recommended to add between 1⁄16" and ⅛" to beam dimension. They may be used for most conditions except at end wall locations, and are preferred for nailer applications.
- The coating on special B hangers will depend on the manufacturing process used. Check with your Simpson Strong-Tie representative for details. Hot-dip galvanized available: specify HDG.
- B dimensions may be increased on some models.
- Hangers may be sloped down to a maximum of 45°. Use 70% of table downloads. Use 100% of table uplifts.



Typical HHB, GB and HGB Saddle Installation



HHB, GB and HGB are acceptable for weld-on applications. See Installation Information.

Glulam Beam Connectors

REV	DATE	DESCRIPTION	BY
1	05.24.19	FOR FILING	CPC
0	02.01.19	FOR FILING	

COMMONWEALTH OF MASSACHUSETTS SHAUN TIMOTHY McGRATH CIVIL No. 54146 REGISTERED PROFESSIONAL ENGINEER

PREPARED BY:
SkyBorne Technologies
P.O. BOX 875
Westford, MA 01886

PREPARED FOR:
McDonald's USA, LLC

DRAWN BY: TAB
STD ISSUE DATE: FEB 2017
REVIEWED BY: PM
DATE ISSUED: 11/09/2018

TITLE: CONNECTOR SPECS

DESCRIPTION: REMODEL DESIGN PER 2017 ARP CRITERIA SET
CORE 16 EXTERIOR – NON PLATPLACE

SITE ID: 20–0293
SITE ADDRESS: 159 MATHAWAY ROAD, NEW BEDFORD, MA.

PROJ.# XXXXXX

SHEET NO. S2.0
CONNECTOR SPECS

CONTRACTOR TO FOLLOW MANUFACTURE'S SPECIFICATIONS FOR ALL CONNECTORS.

MECHANICAL NOTES

GENERAL:
1. ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH ALL LOCAL CODES AND ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION.
2. ALL DIMENSIONS, CLEARANCES AND TOLERANCES SHALL BE VERIFIED PRIOR TO INSTALLATION.
3. ALL MATERIALS, FIXTURES AND EQUIPMENT USED SHALL BE IN ACCORDANCE WITH McDONALD'S SPECIFICATIONS. SPECIFICATIONS ARE CONTAINED WITHIN THESE DRAWINGS AND THE McDONALD'S PROJECT MANUAL. ANY CONTRACTOR IN NEED OF A COPY OF THE McDONALD'S PROJECT MANUAL SHALL CONTACT THE McDONALD'S AREA CONSTRUCTION MANAGER. ANY VARIANCE FROM THE McDONALD'S SPECIFICATIONS SHALL BE REVIEWED AND APPROVED BY THE ENGINEER-OF-RECORD.
4. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH ITS LISTING AND/OR THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
5. SEE COORDINATION SCHEDULE FOR ADDITIONAL SCOPE OF WORK.
6. PRIOR TO BUILDING TURNOVER, A COMPLETE START-UP, TEST, ADJUST AND BALANCE SHALL BE PERFORMED ON ALL MECHANICAL SYSTEMS. THIS WORK SHALL BE PERFORMED BY A CERTIFIED TEST AND BALANCE CONTRACTOR. A CERTIFIED TEST AND BALANCE CONTRACTOR CAN BE FOUND BY VISITING:
   HTTP://WWW.AABCHQ.COM/DIRECTORY
   HTTP://WWW.NEBB.ORG/DIRECTORY.HTM
   HTTP://WWW.TABBCERTIFIED.ORG/SITE/CONTENT/CONTRACTORS/SEARCH
7. UPON COMPLETION OF THE PUNCHLIST, THE MECHANICAL CONTRACTOR AND TEST AND BALANCE CONTRACTOR SHALL SUBMIT REDLINED OR AS-BUILT DRAWINGS ALONG WITH THE TEST AND BALANCE REPORT AND ALL EQUIPMENT OPERATION AND MAINTENANCE MANUALS TO THE McDONALD'S AREA CONSTRUCTION MANAGER. A MINIMUM OF TWO (2) COPIES SHALL BE PROVIDED, ONE (1) FOR REGIONAL RECORDS AND ONE (1) FOR THE RESTAURANT.
8. ALL PENETRATIONS OF FIRE-RATED WALLS SHALL BE FIRESTOPPED WITH AN APPROVED AND LISTED FIRESTOPPING SYSTEM.

VENTILATION SYSTEMS:
1. ALL SHEET METAL DUCTWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH LOCAL CODES AND SMACNA STANDARDS.
2. ALL DUCTWORK DIMENSIONS ARE INTERNAL FREE AREA DIMENSIONS AND SIZED FOR 0.1" W.C. PER 100 FT. OF DUCT.
3. ALL SHEET METAL DUCTWORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SMACNA TABLES FOR 2" W.C. AND SHALL BE SUPPORTED WITH AN APPROVED HANGER AT INTERVALS NOT EXCEEDING 10 FT.
4. ALL DUCT DROPS INTO THE BUILDING SHALL BE INSTALLED WITH FLEXIBLE CONNECTIONS TO ISOLATE THE DUCTWORK SYSTEM FROM NOISE AND VIBRATION. FLEXIBLE CONNECTIONS SHALL BE TESTED IN ACCORDANCE WITH UL 181 AND LISTED AS CLASS 0 OR CLASS 1.
5. ALL DUCT DROPS INTO THE BUILDING SHALL BE OFFSET AS NECESSARY TO ALLOW FOR THE CLEAR INSTALLATION OF THE EXTERNAL DUCTWORK INSULATION.
6. ALL DUCTWORK BRANCHES SHALL BE SUPPLIED WITH A VOLUME DAMPER FOR BALANCING. VOLUME DAMPER SHALL HAVE A 2" OFFSET TO ACCOMMODATE EXTERNAL INSULATION.
7. TAKE-OFFS FROM RECTANGULAR TO ROUND DUCT SHALL BE DUCTMATE STRAIGHT-SIDED OR CENTER HIGH-EFFICIENCY TAKE-OFFS WITH A 2" DAMPER STAND-OFF TO ACCOMMODATE FOR EXTERNAL INSULATION.
8. ALL DUCTWORK JOINTS, LONGITUDINAL AND TRANSVERSE SEAMS SHALL BE SEALED WITH WELDS, GASKETS, MASTICS (ADHESIVES), TAPES, ETC. ALL SEALANT MATERIALS SHALL BE LISTED IN ACCORDANCE WITH UL 181A OR 181B.
9. ALL SUPPLY AND RETURN SHEET METAL DUCTWORK LOCATED WITHIN THE CEILING SPACE SHALL BE EXTERNALLY INSULATED. INSULATION SHALL BE 2" THICK MICROLITE XG-100 BY JOHNS MANVILLE OR EQUAL.
10. ALL SUPPLY AND RETURN SHEET METAL DUCTWORK LOCATED OUTSIDE OF THE BUILDING SHALL BE INTERNALLY LINED WITH A 1" THICK FIBERGLASS (MIN. R-4.2) AND EXTERNALLY INSULATED WITH A 1½" THICK RIGID POLYSTYRENE, POLYURETHANE OR POLYISOCYANURATE BOARD (MIN. R-7.5). INTERNAL FIBERGLASS INSULATION SHALL BE LINATEX BY JOHNS MANVILLE OR EQUAL. EXTERNAL RIGID BOARD INSULATION SHALL BE THERMAPINK BY OWENS CORNING OR EQUAL.
11. ALL EXPOSED SPIRAL DUCTWORK SHALL BE INTERNALLY INSULATED TO PREVENT CONDENSATION (MIN. R-4.3). INTERNAL INSULATION SHALL BE 1" THICK SPIRACOUSTIC PLUS BY JOHNS MANVILLE OR EQUAL.
12. ALL DUCTWORK PENETRATIONS THROUGH FIRE-RATED WALLS, BARRIERS OR PARTITIONS SHALL BE PROTECTED WITH A FIRE DAMPER. THE PERIMETER OF THE FIRE DAMPER SHALL BE FIRESTOPPED WITH AN APPROVED AND LISTED FIRESTOPPING MATERIAL.
13. ALL EXTERIOR SHEET METAL DUCTWORK SHALL BE EXTERNALLY WRAPPED WITH AN APPROVED WEATHERPROOFING MATERIAL TO PROTECT AGAINST WATER PENETRATION AND CORROSION. SIDES AND TOP OF EXTERNAL WEATHERPROOFING SHALL BE ALUMAGUARD 60 MIL UV BARRIER BY POLYGUARD OR EQUAL. BOTTOM OF EXTERNAL WEATHERPROOFING SHALL BE VAPORGUARD 5 MIL MEMBRANE BY POLYGUARD OR EQUAL.
14. ALL FLEXIBLE DUCTWORK, METALLIC AND NONMETALLIC, SHALL CONFORM TO THE FOLLOWING:
   A. 2" THICK INSULATION (R-6.0)
   B. INTEGRAL VAPOR BARRIER
   C. LISTED AND LABELED UL 181, CLASS 0 OR CLASS 1
   D. INSTALLED IN ACCORDANCE WITH:
      i. SMACNA STANDARDS,
      ii. AIR DIFFUSION COUNCIL INSTALLATION GUIDELINES, AND/OR
      iii. MANUFACTURER'S INSTALLATION INSTRUCTIONS
14. FLEXIBLE DUCTWORK SHALL NOT PENETRATE WALLS. SHEET METAL DUCTWORK IS REQUIRED AT ALL FIRE-RATED AND DRAFTSTOP WALL PENETRATIONS.
15. ALL COVERINGS, LININGS AND ADHESIVES (TAPES, ETC.) SHALL HAVE A FLAME-SPREAD INDEX NOT GREATER THAN 25 AND A SMOKE-DEVELOPED INDEX NOT GREATER THAN 50.
16. DUCT-MOUNTED SMOKE DETECTORS SHALL BE INSTALLED IN SYSTEMS WITH DESIGN CAPACITY GREATER THAN 2,000 CFM. SEE MECHANICAL DRAWINGS FOR LOCATIONS OF SMOKE DETECTORS. DUCT-MOUNTED SMOKE DETECTORS ARE NOT REQUIRED WHEN THE BUILDING IS PROTECTED THROUGHOUT BY AREA SMOKE DETECTORS CONNECTED TO A FIRE ALARM SYSTEM WHERE THE FIRE ALARM SYSTEM IS DESIGNED TO SHUT DOWN THE ROOFTOP UNITS.
17. ALL SUPPLY AIR DIFFUSERS SHALL BE INSULATED TO PREVENT CONDENSATION.
18. ALL AIR DEVICES LOCATED IN DRYWALL CEILINGS SHALL BE SUPPLIED WITH AN INTEGRAL VOLUME DAMPER ACCESSIBLE FROM THE AIR DEVICE FACE TO FACILITATE BALANCING.
19. ALL OUTDOOR AIR INTAKES SHALL BE LOCATED A MINIMUM OF 10 FT. HORIZONTALLY FROM ANY SOURCE OF CONTAMINATION SUCH AS EXHAUST FANS, PLUMBING VENTS, WATER HEATER FLUES, ETC. WHERE A CONTAMINANT SOURCE IS LOCATED WITHIN 10 FT. OF AN INTAKE, THE INTAKE OPENING SHALL BE LOCATED A MINIMUM OF 2 FT. BELOW THE CONTAMINANT SOURCE.
20. ALL ROOFTOP CONDENSING UNITS THAT DISCHARGE HORIZONTALLY SHALL BE ORIENTED SUCH THAT THE DISCHARGE DOES NOT BLOW IN THE DIRECTION OF AN OUTDOOR AIR INTAKE.

COMMERCIAL KITCHEN EXHAUST SYSTEMS:
1. ALL METAL DUCTWORK USED FOR THE CONVEYANCE OF GREASE-LADEN AIR SHALL BE CONSTRUCTED OF MINIMUM 18 GAUGE STAINLESS STEEL OR 16 GAUGE CARBON STEEL (BLACK IRON).
2. ALL GREASE EXHAUST DUCTWORK JOINTS SHALL BE EITHER TELESCOPING OR BELL TYPE. BUTT-WELDED JOINTS ARE PROHIBITED.
3. ALL GREASE EXHAUST DUCTWORK SEAMS AND JOINTS SHALL BE CONTINUOUSLY WELDED WATER-TIGHT ON THE EXTERNAL SURFACE OF THE DUCT SYSTEM. ALL WELDING SHALL BE PERFORMED BY A CERTIFIED WELDER.
4. ALL GREASE EXHAUST DUCTWORK SHALL BE EXTERNALLY INSULATED WITH A ASTM E2336 LISTED AND LABELED GREASE DUCT ENCLOSURE SYSTEM. INSULATION SHALL BE INSTALLED IN ACCORDANCE WITH ITS LISTING AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
5. ACCESS PANELS SHALL BE PROVIDED AT ALL CHANGES IN DIRECTION OF THE GREASE EXHAUST DUCTWORK SYSTEM. ACCESS PANELS SHALL BE INSTALLED IN ACCORDANCE WITH THE INSULATION MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SHALL BE LABELED AS FOLLOWS: "ACCESS PANEL – DO NOT OBSTRUCT".
6. ALL HORIZONTAL GREASE EXHAUST DUCTWORK SHALL BE INSTALLED WITH A MINIMUM ¼" PER FOOT SLOPE AND SHALL BE PITCHED BACK TOWARD THE HOOD.
7. UPBLAST KITCHEN EXHAUST FANS SHALL BE LOCATED A MINIMUM OF 6 FT. FROM ANY PARAPET WALL OR ADJACENT STRUCTURE AND SHALL TERMINATE A MINIMUM OF 40 INCHES ABOVE THE FINISHED ROOFING MATERIAL.

REFRIGERANT PIPING:
1. ALL REFRIGERATION WORK SHALL BE PERFORMED BY A CERTIFIED REFRIGERATION CONTRACTOR.
2. ALL REFRIGERANT PIPING SHALL BE SEAMLESS COPPER TUBING OF TYPE L IN ACCORDANCE WITH ASTM B 88 AND ALL JOINTS SHALL BE SOLDERED.
3. ALL REFRIGERANT SUCTION LINES SHALL BE INSULATED WITH A MINIMUM 1" FOAM PIPE INSULATION. PIPE INSULATION INSTALLED OUTDOORS SHALL BE PROTECTED WITH AN APPROVED WEATHERPROOFING MATERIAL.
4. ALL SUSPENDED REFRIGERANT PIPING SHALL BE SUPPORTED AS FOLLOWS:

MATERIAL	MAX. HORIZ. SPACING	MAX. VERT. SPACING
COPPER TUBING ≤1⅛"	6 FT.	10 FT.
COPPER TUBING ≥1½"	10 FT.	10 FT.

5. ALL REFRIGERANT PIPING SHALL BE SIZED PER EQUIPMENT MANUFACTURER'S RECOMMENDATIONS.
6. PRE-CHARGED LINESETS ARE NOT PERMITTED AS LINES WILL MOST LIKELY NEED TO BE CUT TO FIT THE APPLICATION AND REFRIGERANT WILL NEED TO BE RECLAIMED.
7. ALL PIPE INSULATION SHALL BE PROTECTED FROM DAMAGE FROM PIPE HANGERS. PROTECTION SHALL BE LIGHT GAUGE GALVANIZED STEEL OR EQUAL.
8. ALL REFRIGERANT PIPING SYSTEMS SHALL BE PRESSURE TESTED FOR LEAKS PRIOR TO START-UP. ALL LEAKS SHALL BE REMEDIED PRIOR TO BUILDING TURNOVER.

CO2 DETECTION EQUIPMENT:
1. THE CO2 DETECTOR SHALL BE HARD-WIRED TO PREVENT TAMPERING AND SHALL BE INSTALLED AT 12" A.F.F. WITHIN A 5 FT. RADIUS OF THE CO2 STORAGE TANKS.
2. ONE (1) AUDIBLE AND ONE (1) VISUAL ALARM SHALL BE INSTALLED A MINIMUM OF 7 FT. A.F.F., IN PLAIN SIGHT IN THE SAME ROOM AS THE CO2 STORAGE TANKS.
3. ONE (1) AUDIBLE AND ONE (1) VISUAL ALARM SHALL BE INSTALLED A MINIMUM OF 7 FT. A.F.F., AT THE BACK OF THE KITCHEN AND IN PLAIN SIGHT FROM THE MAIN SIDE OF THE PREP LINE.

NATURAL GAS SYSTEMS (IF APPLICABLE):
1. ALL GAS PIPING, WATER HEATER VENTS, INTAKES AND FLUES SHALL CONFORM TO THE CURRENT VERSION OF NFPA 54, NATIONAL FUEL GAS CODE, AND ANY LOCAL CODE REQUIREMENTS.
2. THE NATURAL GAS MAIN PIPE SIZING IS BASED ON THE FOLLOWING:
   A. MINIMUM SUPPLY PRESSURE AT THE METER OF 2 PSIG
   B. 1 PSIG PRESSURE DROP FROM METER TO FARTHEST APPLIANCE
   C. 1,000 BTU PER CU. FT. OF NATURAL GAS
3. GAS PIPING RUN-OUTS TO EQUIPMENT ARE SIZED BASED ON THE FOLLOWING:
   A. SUPPLY PRESSURE AT THE REGULATOR OF 10" W.C. (¼ PSIG)
   B. 0.5" W.C. PRESSURE DROP FROM REGULATOR TO FARTHEST APPLIANCE
   C. 1,000 BTU PER CU. FT. OF NATURAL GAS
4. ALL NATURAL GAS PIPE SHALL BE SCHEDULE 40 CARBON STEEL PIPE WITH MALLEABLE IRON FITTINGS AND SHALL BE COMPLY TO ONE OF THE FOLLOWING STANDARDS: ASME B36.10, 10M; ASTM A 53; OR ASTM A 106.
5. NATURAL GAS PRESSURE REGULATORS SHALL BE MAXITROL 325 SERIES OR EQUAL.
6. ALL SUSPENDED STEEL PIPING SHALL BE SUPPORTED AS FOLLOWS:

SIZE	MAX. HORIZ. SPACING	MAX. VERT. SPACING
½"	6 FT.	6 FT.
¾" TO 1"	8 FT.	8 FT.
≥1¼"	10 FT.	10 FT.

7. GAS PIPING SHALL NOT PENETRATE ANY FIRE-RATED CHASE OR SHAFT, DUCTWORK OR PLENUM.
8. ALL NATURAL GAS PIPING INSTALLED OUTDOORS SHALL BE COATED WITH A CORROSION RESISTANT PAINT. PAINT COLOR SHALL BE ORANGE OR YELLOW.
9. ALL INTAKE AND VENT PIPING FOR SEALED-COMBUSTION WATER HEATERS SHALL BE PVC OR ABS, SHALL BE SIZED AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND SHALL BE INSTALLED BY THE PLUMBING CONTRACTOR.
10. ALL WATER HEATER VENTS SHALL BE LOCATED A MINIMUM OF 10 FT. HORIZONTALLY FROM ANY OUTDOOR AIR INTAKE. WHERE A WATER HEATER VENT IS LOCATED WITHIN 10 FT. OF AN INTAKE, THE FLUE OR VENT SHALL TERMINATE A MINIMUM OF 2 FT. ABOVE THE INTAKE.
11. UPON COMPLETION OF INSTALLATION, THE GAS PIPING SYSTEM SHALL BE PURGED OF DELETERIOUS MATERIAL AND SHALL BE PRESSURE TESTED. PRESSURE TESTING SHALL BE PERFORMED WITH THE EQUIPMENT SHUT-OFF VALVES IN THE CLOSED POSITION TO PROTECT EQUIPMENT FROM DAMAGE DUE TO EXCESSIVE PRESSURE.
12. AFTER THE PRESSURE TEST HAS BEEN COMPLETED AND ANY LEAKS REMEDIED, THE INSTALLING CONTRACTOR SHALL MEASURE AND VERIFY THE FOLLOWING GAS PRESSURES WHILE EQUIPMENT IS IN OPERATION:
   A. GRILL – 6" W.C. NATURAL, 14" W.C. L.P.
   B. FRYER – 6" W.C. NATURAL, 14" W.C. L.P.
   C. WATER HEATER – 6" W.C. NATURAL, 14" W.C. L.P.
   D. HVAC UNIT – 6" W.C. NATURAL, 14" W.C. L.P.
13. IF THE MINIMUM PRESSURES ARE NOT MET, THIS SHALL BE IMMEDIATELY REPORTED TO THE MCDONALD'S AREA CONSTRUCTION MANAGER.

CONDENSATE PIPING:
1. CONDENSATE PIPING SHALL BE GALVANIZED STEEL, COPPER OR PVC.
2. PVC PIPE SHALL BE PAINTED WITH WATER BASED LATEX PAINTING TO RESIST DEGRADATION FROM ULTRAVIOLET EXPOSURE.
3. PIPE SUPPORTS SHALL BE RPS MODEL PMP-2 OR EQUAL. QUANTITY AS REQUIRED DEPENDANT UPON PIPING MATERIAL.
4. PIPING SHALL BE SUPPORTED AS FOLLOWS:

MATERIAL	MAX. HORIZ. SPACING	MAX. VERT. SPACING
COPPER PIPE	12 FT.	10 FT.
GALVANIZED STEEL	12 FT.	15 FT.
PVC	4 FT.	15 FT.

5. CONDENSATE PIPING SHALL SLOPE A MINIMUM OF ⅛" PER FOOT.
6. CONDENSATE PIPING SHALL BE SIZED BASED ON THE FOLLOWING:

TOTAL TONS SERVED BY PIPE	MINIMUM PIPE SIZE
<20 TONS	¾"
>20 TONS, <40 TONS	1"
>40 TONS, <125 TONS	1½"

LEGEND

TS	TEMPERATURE SENSOR
ATS	AVERAGING TEMPERATURE SENSOR
CO2	CO2 SENSOR FOR ROOFTOP UNIT DEMAND CONTROL VENTILATION
HS	HUMIDITY SENSOR
T	THERMOSTAT
S	SMOKE DETECTOR
KH 2	EQUIPMENT TAG
R-1 / 1750 CFM / 18"ø	DIFFUSER INFORMATION LINE 1: TAG LINE 2: AIRFLOW LINE 3: NECK SIZE
	SUPPLY AIR DUCT (VERTICAL)
	RETURN OR EXHAUST AIR DUCT (VERTICAL)
	ROUND DUCT (VERTICAL)
SSC	STEADY-STATE SPEED CONTROLLER
	PLAQUE DIFFUSER (SHADED AREA DESIGNATES BLANK-OFF PANEL LOCATION)
	LINEAR SLOT DIFFUSER
	LOUVERED FACE DIFFUSER
	CEILING-MOUNTED EXHAUST FAN
	SPIN-IN COLLAR WITH VOLUME DAMPER
	VOLUME DAMPER
	FLEXIBLE DUCTWORK
	PERFORATED FACE DIFFUSER
	SHEET METAL TEE WITH CAP
	GAS SHUT OFF VALVE
	GAS PRESSURE REGULATING VALVE

ABBREVIATIONS

ACM	AREA CONSTRUCTION MANAGER
B.J.	BELOW JOISTS
BSI	BEVERAGE SYSTEM INSTALLER
DCV	DEMAND CONTROL VENTILATION
E.A.	EXHAUST AIR
EC	ELECTRICAL CONTRACTOR
FAC	FIRE ALARM CONTRACTOR
FOB	FLAT ON BOTTOM
FOT	FLAT ON TOP
FPC	FIRE PROTECTION CONTRACTOR
GC	GENERAL CONTRACTOR
I.D.	INSIDE DIMENSION
KEI	KITCHEN EQUIPMENT INSTALLER
KES	KITCHEN EQUIPMENT SUPPLIER
M.A. (S)	MIXED AIR – SUMMER
M.A. (W)	MIXED AIR – WINTER
MC	MECHANICAL CONTRACTOR
O.A.	OUTDOOR AIR
O.D.	OUTSIDE DIMENSION
O/O	OWNER/OPERATOR
PC	PLUMBING CONTRACTOR
R.A.	RETURN AIR
RC	REFRIGERATION CONTRACTOR
S.A.	SUPPLY AIR
S.P.	STATIC PRESSURE
TAB	TEST AND BALANACE CONTRACTOR

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REV	DATE	DESCRIPTION	BY
1	05.24.19	FOR FILING	CPC
0	02.01.19	FOR FILING	

COMMONWEALTH OF MASSACHUSETTS
SHAUN TIMOTHY McGRATH
CIVIL
No. 54149
REGISTERED PROFESSIONAL ENGINEER

PREPARED BY:
SkyBorne Technologies
P.O. BOX 875
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PREPARED FOR:
McDonald's USA, LLC

DRAWN BY TAB DT
STD. ISSUE DATE FEB 2017
REVIEWED BY PM
DATE ISSUED 11/09/2018

TITLE GENERAL NOTES

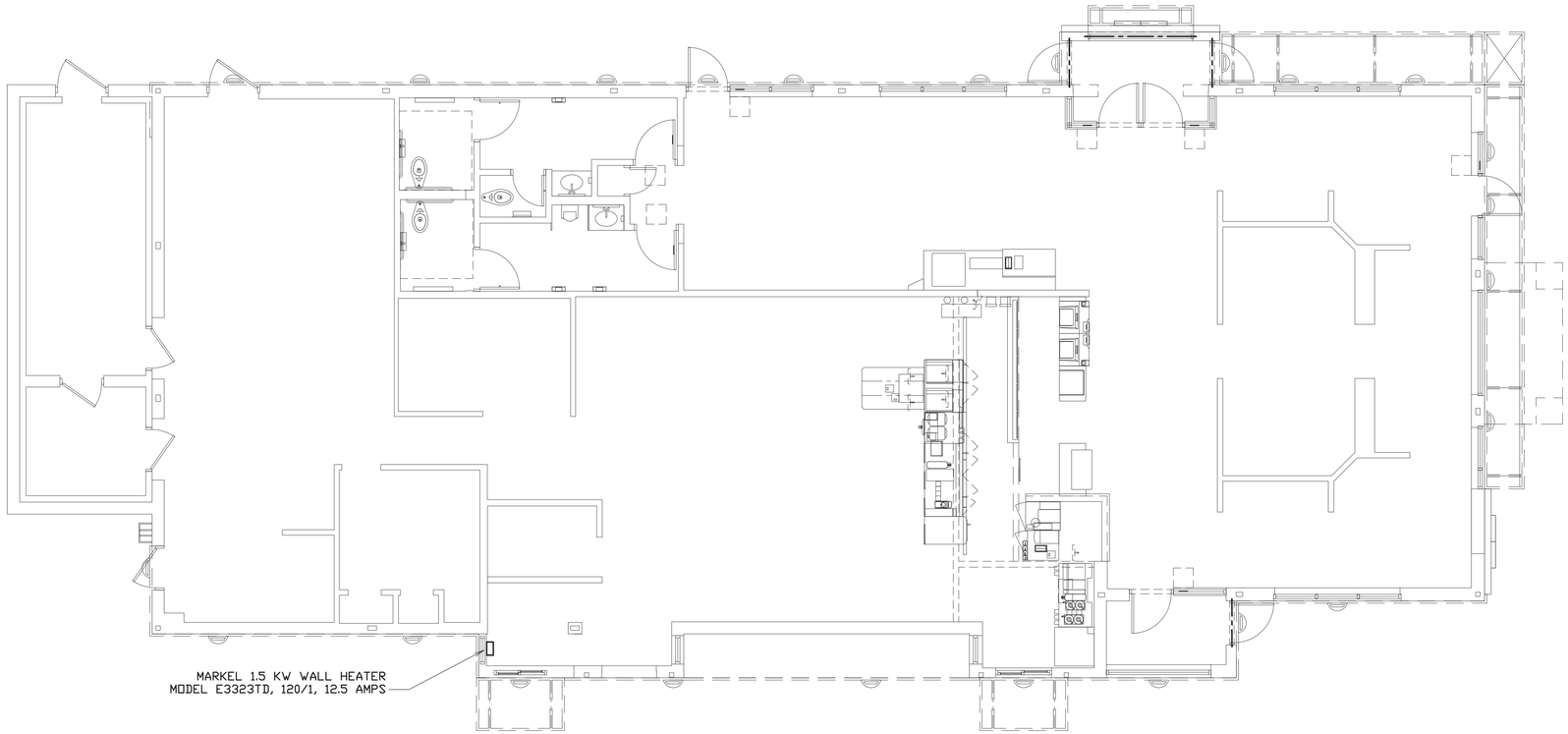
DESCRIPTION REMODEL DESIGN PER 2017 MRP CRITERIA SET
CORE 16 EXTERIOR – NON PLAYPLACE

SITE ID 20-0293

SITE ADDRESS 159 HATHAWAY ROAD, NEW BEDFORD, MA.

PROJ.# XXXXXX

M1.0
GENERAL NOTES



1 / M1.1 MECHANICAL PLAN

SCALE: 3/16" = 1'-0"

DRAWING NOTES

1. ALL DUCTWORK SHALL BE RUN BETWEEN OR THROUGH THE JOISTS UNLESS NOTED OTHERWISE. DUCTWORK DESIGNATED WITH (B.J.) SHALL BE RUN BELOW THE JOISTS.
2. DUCT SIZES SHOWN ARE INTERNAL FREE AREA DIMENSIONS UNLESS NOTED OTHERWISE.
3. ALL SHEET METAL DUCTWORK SHALL BE EXTERNALLY INSULATED. INSULATION IS NOT SHOWN FOR CLARITY. SEE MECHANICAL NOTES FOR INSULATION REQUIREMENTS.
4. DIFFUSERS ARE SPECIFIC TO THE DECOR PLAN SHOWN. DIFFERENT CEILING LAYOUTS MAY REQUIRE A DIFFERENT DIFFUSER TYPES, QUANTITIES, LOCATIONS AND FINISHES/COLORS.
5. ALL DOORS IN AREA OF WORK TO BE UNDERCUT TO ALLOW TRANSFER OF AIR.

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STD ISSUE DATE	FEB 2017
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DATE ISSUED	11/09/2018

TITLE: MECHANICAL PLAN AND NOTES

DESCRIPTION: REMODEL DESIGN PER 2017 MRP CRITERA SET
CORE 16 EXTERIOR – NON PLAYPLACE

SITE ID: 20-0233

SITE ADDRESS: 159 HATHAWAY ROAD, NEW BEDFORD, MA.

PROJ.# XXXXXX

M1.1

FLOOR PLAN & NOTES

ELECTRICAL SPECIFICATIONS AND GENERAL NOTES:

1. THE ELECTRICAL CONTRACTOR (E.C.) SHALL PROVIDE ALL LABOR AND MATERIALS NECESSARY FOR A COMPLETE AND FULLY OPERATIONAL ELECTRICAL SYSTEM/INSTALLATION.

2. MATERIALS AND INSTALLATION SHALL COMPLY WITH ALL CODES, LAWS, AND ORDINANCES OF FEDERAL, STATE, AND LOCAL GOVERNING BODIES HAVING JURISDICTION.

3. ALL MATERIALS AND EQUIPMENT SHALL BE LISTED AND/OR LABELED BY U.L.,ETL, CSA, OR ANOTHER RECOGNIZED TESTING LABORATORY.

4. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, GOVERNMENTAL FEES, TAXES AND LICENSES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF ALL ELECTRICAL WORK.

5. THE CONTRACTOR SHALL PREPARE AND SUBMIT TO GOVERNMENTAL AGENCIES, UTILITY COMPANIES, AND LOCAL CODE OFFICIALS, SHOP DRAWINGS AND/OR INSTALLATION DETAILS WHICH ARE REQUIRED BY THESE AGENCIES FOR THEIR APPROVAL.

6. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, ENGINEER, AND PROJECT MANAGER IN WRITING OF ANY MATERIALS OR APPARATUS BELIEVED TO BE INADEQUATE, UNSUITABLE, IN VIOLATION OF LAWS, ORDINANCES, RULES, OR REGULATIONS OF THE AUTHORITIES HAVING JURISDICTION.

7. THE CONTRACTOR SHALL PREPARE AND SUBMIT TO THE FIRE PREVENTION BUREAU ALL DOCUMENTS, INCLUDING DRAWINGS AND SUBMITTALS, REQUIRED TO OBTAIN APPROVAL OF THE EMERGENCY LIGHTING, LIFE SAFETY, AND EXIT SIGN SYSTEM(S) FOR TYPES AND LOCATIONS. A COPY OF THE APPROVED DRAWINGS SHALL BE PROVIDED TO THE ARCHITECT AND ENGINEER PRIOR TO THE START OF CONSTRUCTION.

8. ALL NEW ELECTRICAL WORK OR MODIFICATIONS TO EXISTING ELECTRICAL DISTRIBUTION PANELS, PANELBOARDS, METERS, ETC. SHALL BE INSTALLED AS INDICATED ON THE ELECTRICAL CONSTRUCTION DOCUMENTS. E.C. SHALL SUBMIT SHOP DRAWINGS OF ALL EQUIPMENT TO BE INSTALLED INDICATING FLOOR PLAN LAYOUT, ELEVATIONS, AND AL DIMENSIONS FOR APPROVAL OF THE ENGINEER PRIOR TO INSTALLATION. CODE REQUIRED CLEARANCES IN FRONT OF ALL ELECTRICAL EQUIPMENT SHALL BE MAINTAINED AT ALL TIMES.

9. THE CONTRACTOR SHALL INCLUDE IN BID AN ALLOWANCE FOR THE FOLLOWING ADDITIONAL LIFE SAFETY DEVICES, INCLUDING INSTALLATION AND ALL CONDUIT AND WIRE, FOR ADDITIONAL DEVICES AS MAY BE REQUIRED BY THE REVIEW OF THE AUTHORITY HAVING JURISDICTION.
   (2) EXIT SIGN FIXTURES
   (2) EMERGENCY LIGHTING FIXTURES

   CONTRACTOR SHALL PROVIDE A UNIT PRICE FOR EACH FOR QUANTITY ADJUSTMENT.

10. THE CONTRACTOR SHALL INCLUDE IN BID ELECTRICAL UNIT PRICES (EUP) TO PROVIDE ADDITIONAL LIFE SAFETY DEVICES WITHIN FINISHED CEILING SYSTEMS, INCLUDING ALL CONDUIT AND WIRE, FOR EACH TYPE OF DEVICE AS SCHEDULED IN NOTE NUMBER 9. THE UNIT PRICE SHALL INCLUDE ALL GENERAL CONTRACTOR ASSOCIATED COSTS TO INSTALL DEVICES WITHIN INSTALLED CEILING SYSTEMS.

11. THE CONTRACTOR SHALL CAREFULLY EXAMINE THE CONTRACT DOCUMENTS, MAKE A SCHEDULED ARRANGEMENT WITH THE PROJECT MANAGER TO VISIT THE SITE, AND THOROUGHLY BECOME FAMILIAR WITH THE BUILDING STANDARDS AND LOCAL CONDITIONS RELATING TO THE WORK. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR OF THE OBLIGATIONS OF THE CONTRACT.

12. THE CONTRACTOR SHALL PROVIDE TEMPORARY POWER AND WIRING FOR THE PERFORMANCE OF ALL TRADES, FOR THE ENTIRE PERIOD OF CONSTRUCTION AND SHALL REMOVE ALL TEMPORARY WIRING AT THE COMPLETION OF CONSTRUCTION. ALL COSTS FOR ESTABLISHING AND REMOVING TEMPORARY POWER SHALL BE INCLUDED IN BID.

13. THE EXISTING POWER, SIGNAL, AND COMMUNICATIONS SYSTEMS ARE TO REMAIN IN SERVICE TO PROVIDE FOR THE OWNER'S EXISTING FUNCTIONS. SHOULD IT BECOME NECESSARY TO SHUT-DOWN ANY SYSTEM OR PORTION OF A SYSTEM, APPROVAL IN WRITING MUST BE OBTAINED FROM THE PROJECT MANAGER AND SHALL BE ONLY FOR THE PERIOD AND TIME AGREED UPON. THE BID IS TO INCLUDE THE COST OF ANY TEMPORARY WIRING AND PREMIUM TIME REQUIRED FOR THE SHUTDOWN.

14. ALL MATERIALS AND EQUIPMENT SHALL BE ERECTED, INSTALLED, TOOLED, CONNECTED, CLEANED, ADJUSTED, TESTED, CONDITIONED, AND PLACED IN SERVICE IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS AND RECOMMENDATIONS.

15. ALL CUTTING, DRILLING, AND PATCHING OF MASONRY, DRYWALL, CONCRETE, STEEL, OR IRON WORK BELONGING TO THE BUILDING SHALL BE DONE BY THIS CONTRACTOR IN ORDER THAT WORK MAY BE PROPERLY INSTALLED. UNDER NO CONDITIONS MAY STRUCTURAL WORK BE CUT. EXCEPT AT THE DIRECTION OF THE ARCHITECT/ENGINEER OR THEIR REPRESENTATIVE.

16. SHOP DRAWINGS SHALL INCLUDE MANUFACTURER'S NAMES, CATALOG NUMBERS, CUTS, DIAGRAMS, AND OTHER SUCH DESCRIPTIVE DATA AS MAY BE REQUIRED TO IDENTIFY AND REVIEW THE EQUIPMENT. SUBMITTALS SHALL BE IN LOGICAL GROUPS (FOR EXAMPLE ALL LIGHTING FIXTURES). PARTIAL SUBMITTALS WILL NOT BE REVIEWED.

17. SUBMIT FOUR (4) COPIES OF THE FOLLOWING SHOP DRAWINGS FOR REVIEW:
   A. LIGHTING FIXTURES AND LAMPS
   B. WIRING DEVICES
   C. LOW VOLTAGE RELAYS AND SWITCHES
   D. DIMMERS AND CONTROLS

18. CONTRACTOR SHALL PROVIDE "AS-BUILT" DOCUMENTATION AND HARD COPY REPRODUCIBLE DRAWINGS AT THE COMPLETION OF THE PROJECT AND SUBMIT TO THE ARCHITECT AND THE ENGINEER. AS-BUILT DRAWINGS SHALL INDICATE EXACT CIRCUIT NUMBERS, LOCATIONS OF ALL DEVICES, CEILING FIXTURES, AND RACEWAY FOR LIGHTING, TELECOMMUNICATIONS AND POWER DISTRIBUTION SYSTEMS AS INSTALLED.

19. ALL MATERIAL, EQUIPMENT, WIRING DEVICES, ETC. SHALL BE NEW AND OF COMMERCIAL GRADE UNLESS SPECIFICALLY INDICATED AS EXISTING TO BE REUSED ON DRAWINGS.

20. EXCEPT AS NOTED OTHERWISE, ALL WORK REQUIRED FOR THE ELECTRICAL INSTALLATION AS SHOWN ON DRAWINGS SHALL INCLUDE ALL LABOR, INSTALLATION METHODS, EQUIPMENT, AND MATERIALS AND SHALL BE IN STRICT COMPLIANCE WITH ALL BUILDING STANDARDS.

21. PROVIDE A COMPLETE METAL RACEWAY SYSTEM, FITTINGS AND ENCLOSURES FOR ALL ELECTRICAL WIRING SYSTEMS TO BE INSTALLED FOR THE PROJECT. SYSTEMS SHALL INCLUDE, BUT NOT BE LIMITED TO POWER, COMMUNICATIONS, SECURITY, PAGING, TEMPERATURE CONTROL AND CONTROLS.

22. NOT USED.

23. MINIMUM CONDUIT SIZE SHALL BE 1/2 INCH FOR GENERAL LIGHTING AND POWER CIRCUITRY UNLESS OTHERWISE INDICATED AND/OR REQUIRED BY CODE.

24. FLEXIBLE CONDUIT CONNECTIONS TO RECESSED LIGHTING FIXTURES SHALL BE MADE WITH FLEXIBLE STEEL CONDUIT, 1/2 INCH MINIMUM, INCLUDING AN INSULATED COPPER GREEN EQUIPMENT GROUNDING CONDUCTOR OR SHALL BE MADE WITH METAL CLAD TYPE CABLE.

25. NOT USED.

26. WIRE NUMBER 8 AND SMALLER FOR USE IN INTERIOR DRY LOCATIONS SHALL BE TYPE THWN THERMOPLASTIC 600 VOLT INSULATED COPPER CONDUCTORS. FEEDERS AND POWER WIRING NUMBER 6 AND LARGER SHALL BE TYPE THW 600 VOLT INSULATED COPPER. WIRE WHICH IS INSTALLED IN RACEWAY IN MOIST OR DAMP LOCATIONS SHALL BE THW, 600 VOLT INSULATED COPPER CONDUCTORS. NO WIRE SMALLER THAN NUMBER 12 AWG SHALL BE USED FOR LIGHTING OR POWER.

27. BRANCH CIRCUIT HOMERUN WIRING:
   A. GENERAL PURPOSE BRANCH CIRCUIT HOMERUNS CONSISTING OF TWO NETWORKS SHALL HAVE PHASE, NEUTRAL AND GROUND CONDUCTORS INCREASED TO NUMBER 10 AWG, THWN AS A MINIMUM. WHERE HOERUN (ONE OR MORE NETWORKS) EXCEEDS 100 LINEAR FEET, CONDUCTOR SIZE SHALL BE INCREASED ONE TRADE SIZE.
   B. ALL BRANCH CIRCUITS, FEEDERS, AND HOMERUNS SHALL BE PROVIDED WITH AN INSULATED COPPER GREEN GROUNDING CONDUCTOR ROUTED IN THE SAME CONDUIT. GROUNDING CONDUCTOR SHALL BE SIZED PER THE REQUIREMENTS OF NEC SECTION 250.
   C. HOMERUN LENGTH SHALL BEGIN AT HE CENTRAL POINT OF ALL DISTRIBUTED CIRCUITS TO THE PANELBOARD CIRCUIT BREAKER.

28. ALL NEW CIRCUIT BREAKERS FOR EXISTING PANELBOARDS AND DISTRIBUTION PANELBOARDS SHALL MATCH EXISTING BUILDING PANELBOARD MANUFACTURER AND CIRCUIT BREAKER TYPE ALL CIRCUIT BREAKERS SHALL BE BOLT ON TYPE. AIC RATING OF NEW CIRCUIT BREAKER SHALL MATCH AIC RATING OF PANELBOARD IN WHICH IT IS INSTALLED. WHERE SERIES RATED TYPE CIRCUIT BREAKERS ARE USED, NEW CIRCUIT BREAKERS SHALL BE INSTALLED SO AS TO MAINTAIN THE UL SERIES RATING OF THE ENTIRE SYSTEM. THE CONTRACTOR SHALL PROVIDE A NEW TYPEWRITTEN PANEL DIRECTORY FOR EACH PANEL CHANGED AT THE COMPLETION OF THE PROJECT. EACH CIRCUIT BREAKER SHALL BE LABELED TO IDENTIFY LOAD TYPE AND LOCATION

29. THE CONTRACTOR SHALL VERIFY THE CEILING CONSTRUCTION TYPE WITH ARCHITECTURAL DETAILS BEFORE ORDERING LIGHTING FIXTURES IN ORDER TO CONFIRM PROPER MOUNTING.

30. EACH SWITCH, LIGHT, RECEPTACLE, OR OTHER MISCELLANEOUS DEVICE SHALL BE PROVIDED WITH A GALVANIZED OR SHERARDIZED PRESSED STEEL OUTLET BOX OF THE KNOCKOUT TYPE, OF NOT LESS THAN NUMBER 14 U.S. GAUGE STEEL. CONDITS SHALL BE FASTENED WITH LOCKNUTS AND BUSHINGS AND ALL UNUSED KNOCKOUTS SHALL BE LEFT SEALED. THERE SHALL BE SUFFICIENT ROOM FOR WIRES AND BUSHINGS AND DEEP BOXES SHALL BE INSTALLED WHERE REQUIRED. BOXES SHALL BE SECURELY AND ADEQUATELY SUPPORTED.

31. NOT USED

32. IN SUSPENDED CEILINGS, SUPPORT CONDUITS AND JUNCTION BOXES DIRECTLY FROM THE STRUCTURAL SYSTEM, DECK OR FRAMING PROVIDED FOR THAT PURPOSE. LIGHTING BRANCH CIRCUIT CONDUITS SHALL NOT BE CLIPPED TO THE CEILING SUPPORT WIRES OR SPLINE UNLESS THE CEILING SYSTEM HAS BEEN SPECIFICALLY DESIGNED FOR THAT PURPOSE AND APPROVAL HAS BEEN GRANTED BY THE ARCHITECT AND THE ENGINEER.

33. E.C. SHALL PROVIDE "3M" FIRESEAL SYSTEMS FOR ALL CORES AND RACEWAY PENETRATIONS IN FIRE RATED WALLS AND PARTITIONS. FIRE RATE WALL AND CEILING PENETRATIONS, ETC. USING "CP-25" CAULK, "303" PUTTY AND/OR "FLAMESEAL" PUTTY AS PER MANUFACTURER'S INSTRUCTIONS TO MAINTAIN EXISTING AND NEW FIRE RATINGS. VERIFY FIRE RATING CONDITIONS AND LOCATIONS PRIOR TO FINAL BIDS. ALL OPEN SLEEVE PENETRATIONS SHALL BE FIRESEALED INSIDE AND OUTSIDE BY E.C. AFTER ALL CABLING IS COMPLETELY INSTALLED. SEALING METHODS SHALL BE PROVIDED BY E.C. AND SHALL BE SUBJECT TO THE APPROVAL OF THE CABLING CONTRACTOR.

34. NOT USED

35. NOT USED

36. NUMBERED CIRCUITS SHOWN ON PLAN ARE FOR THE CONVEYANCE OF DESIGN INTENT ONLY. ACTUAL FIELD CONDITIONS WILL AFFECT CIRCUITRY. INDICATE THE ACTUAL CIRCUIT NUMBERS INSTALLED ON THE "AS-BUILT" DRAWINGS.

37. BUILDING STANDARDS
   A. ALL NEW CONDUIT RACEWAYS AND BOXES FOR ALL SYSTEMS SHALL BE INSTALLED TIGHT-UP TO THE BOTTOM OF THE STRUCTURAL BEAMS WHERE REQUIRED AND PROPERLY SUPPORTED FROM STRUCTURAL MEMBERS.

   B. ALL NEW CONDUIT RUNS SHALL BE INSTALLED ABOVE AND OVER THE TOP OF ALL NEW AND/OR EXISTING DUCTWORK, PIPING, CONDUITS, PULLBOXES, ETC. E.C. SHALL PROVIDE ALL NECESSARY ACCESSIBLE PULLBOXES. CONDUIT BENDS SHALL NOT EXCEED CODE REQUIREMENTS WITHIN A SINGLE RUN. E.C. SHALL PROVIDE ALL PULLBOXES AS REQUIRED.

   C. NEW CONDUIT RUNS OR PULLBOXES SHALL NOT BE INSTALLED LESS THAN 2 INCHES ABOVE RECESSED LIGHTING FIXTURES UNLESS APPROVED BY THE ENGINEER.

   D. NEW CONDUIT RUNS OR PULLBOXES SHALL NOT BLOCK OR PREVENT FULL AND COMPLETE ACCESS AND OPERATION OF NEW OR EXISTING HVAC EQUIPMENT, ACCESS DOORS, PIPING VALVES, JUNCTION BOXES, DUCT HEATERS, MAIN SUPPLY AND RETURN AIR DUCTS, PULLBOXES, CLEANOUTS, ETC.

   E. NEW CONDUIT AND PULLBOXES TO BE INSTALLED BELOW NEW OR EXISTING DEUCTWORK SHALL BE MOUNTED TIGHT UP TO BOTTOM OF DUCT WITH 90 DEGREE BENDS UP SIDEWALL OF DUCT TO MEET REQUIREMENTS OF LETTER C ABOVE. SUPPORTS SHALL NOT PRENETRATE DUCTWORK, AND SHALL BE INDEPENDENT OF ALL DUCTWORK SUPPORTS. DIRECT CONTACT OF CONDUIT RACEWAY SYSTEMS WITH DUCTWORK OR PIPING SHALL BE PROVIDED WITH VIBRATION SEPARATION METHOD APPROVED BY THE ENGINEER.

   F. NEW CONDUIT AND BOXES TO BE INSTALLED WITHIN ALL EXISTING FINISHED BUILDING DRYWALL, FURRED BUILDING WALLS, PARTITIONS, AND COLUMNS SHALL BE INSTALLED WITH EMT AND FLEXIBLE RACEWAYS NOT MORE THAN 6'-0" LONG. ELECTRICAL CONTRACTOR SHALL INCLUDE ALL COSTS FOR DRYWALL ACCESS, CUTTING, PATCHING, PAINTING, ETC. IN BIDS FOR SUCH CONDITIONS. FIELD VERIFY ALL LOCATIONS ON SITE PRIOR TO FINAL BIDS. EXCEPTIONS DURING BIDS SHALL BE SUBMITTED IN WRITING.

   G. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE HELD RESPONSIBLE TO HAVE EXAMINED THE CONSTRUCTION SITE WITH RESPECT TO CONSTRUCTION DRAWINGS, ACTUAL FIELD CONDITIONS, DOOR FRAME HEIGHTS, PIPING OBSTRUCTIONS, DUCTWORK HEIGHTS AND LEVELS, FLOOR LEVELS, CEILING HEIGHTS, ETC. PRIOR TO FINAL BIDS.

   H. ALL NEW BUILDING STANDARD EQUIPMENT, DEVICES, AND MATERIALS SHALL BE EQUAL TO OR GREATER IN QUALITY TO EXISTING APPROVED BUILDING STANDARD MATERIALS PRESENTLY INSTALLED IN BUILDING. EQUIPMENT, DEVICES AND MATERIALS SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT, PROJECT MANAGER, AND THE ENGINEER.

   I. ALL EMERGENCY AND EXIT SIGN JUNCTION BOXES SHALL BE PAINTED RED. PANEL TAG AND CIRCUIT NUMBER FOR ALL WIRING WITHIN JUNCTION BOX SHALL BE INDICATED ON COVER.

   J. ALL JUNCTION BOXES SERVING LIGHTING AND POWER SHALL HAVE CIRCUIT NUMBERS AND PANEL TAGS FOR ALL WIRING WITHIN JUNCTION BOX SHALL BE INDICATED ON COVERS.

38. A NEW PANELBOARD COPPER GROUND BUS SHALL BE INSTALLED FOR EQUIPMENT GROUNDING REQUIREMENTS FOR ALL PANELBOARDS LACKING A GROUND BUS.

39. PERFORM ALL WORK OF A DEMOLITION NATURE THAT MAY BE REQUIRED OR NECESSARY FOR THE FULL AND COMPLETE EXECUTION OF THE WORK, WHETHER EXPLICITLY SHOWN AND/OR SPECIFIED OR NOT. EXACT EXTENT OF DEMOLITION WILL NOT BE FULLY INDICATED BY DRAWINGS. DETERMINE THE NATURE AND EXTENT OF DEMOLITION THAT WILL BE NECESSARY BY COMPARING THE CONTRACT DOCUMENTS WITH ARCHITECTURAL AND DEMOLITION DRAWINGS TO EXISTING CONDITIONS. ELECTRICAL EQUIPMENT WHICH WILL NOT BE REUSED SHALL BE TURNED OVER TO THE OWNER OR REMOVED FROM THE PREMISES AS DETERMINED BY THE PROJECT MANAGER.

40. ANY EXISTING ELECTRICAL MATERIAL AND EQUIPMENT WHICH INTERFERES WITH THE NEW ADDITION OR THE REMOVAL OF EXISTING WALLS SHALL BE REMOVED OR RELOCATED BY THE CONTRACTOR. VERIFY REMOVAL AND NEW LOCATION OF EQUIPMENT WITH THE PROJECT MANAGER AND THE ARCHITECT/ENGINEER PRIOR TO WORK.

41. VERIFY CLEARANCES FOR ALL NEW OR EXISTING RELOCATED ELECTRICAL WORK BEFORE PROCEEDING WITH CONSTRUCTION. COORDINATE USAGE OF AVAILABLE SPACE WITH ALL TRADES. IN THE EVENT OF CONFLICTS, NOTIFY THE ARCHITECT AND ENGINEER BEFORE PROCEEDING WITH THE WORK.

42. WHERE EXISTING CONDUIT IS SHOWN ON THE DRAWINGS, IT IS SHOWN DIAGRAMMATICALLY. THE EXACT ROUTING OF THE EXISTING CONDUIT SHALL BE DETERMINED ON THE JOB SITE BY THE CONTRACTOR.

43. NOT USED

44. ALL HANGER AND/OR ROD SUPPORT SYSTEMS SHALL BE SUPPORTED TO THE BOTTOM RIB OF THE METAL DECK, WHERE APPLICABLE.

45. PROVIDE A WRITTEN GUARANTEE THAT THE ELECTRICAL INSTALLATION IS FREE FROM MECHANICAL AND ELECTRICAL DEFECTS. CONTRACTOR AT THEIR COST SHALL REPLACE AND/OR REPAIR, TO THE SATISFACTION OF THE OWNER AND/OR THE MANUFACTURER'S INSTALLATION INSTRUCTIONS, ANY PARTS OF THE INSTALLATION WHICH MAY FAIL WITHIN A PERIOD OF 12 MONTHS FROM CONSTRUCTION ACCEPTANCE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, PROVIDED THAT SUCH FAILURE IS DUE TO DEFECTS IN MATERIAL, WORKMANSHIP, OR FAILURE TO FOLLOW THE SPECIFICATIONS, MANUFACTURER'S INSTALLATION INSTRUCTIONS AND/OR DRAWINGS.

46. CONTRACTOR SHALL PROVIDE ALL NECESSARY PROPERLY SIZED WALL OR MILLWORK MOUNTED BOXES, RINGS, SUPPORTS, AND DEVICES AS REQUIRED VIA COORDINATION WITH ARCHITECTURAL WALL SECTIONS, AND MILLWORK DETAILS.

47. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS. WHERE MORE STRINGENT REQUIREMENTS THAN THOSE DESCRIBED HEREIN OR AS SET FORTH UNDER CODES, LAWS, AND ORDINANCES OF FEDERAL, STATE, AND LOCAL GOVERNING BODIES HAVING JURISDICTION, THOSE GREATER REQUIREMENTS SHALL BE ADHERED TO.

48. ALL NEW EMERGENCY LIGHTING FIXTURES AND EXIT SIGNS SHALL BE PROVIDED WITH AN INTEGRAL EMERGENCY BACKUP BALLAST TO ILLUMINATE THE FIXTURES IN THE EVENT OF A POWER FAILURE. ALL COMPONENTS SHALL BE IN COMPLIANCE WITH NFPA 101 AND NFPA 70 SECTION700. BALLAST BATTERY SHALL MAINTAIN 87.5% OF THE NOMINAL BATTERY VOLATAGE AFTER 1.5 HOURS TO COMPLY WIT HNEC SECTION700 AND UL 924.

49. IDENTIFICATION OF ELECTRICAL ITEMS

   A. PROVIDE PERMANENT IDENTIFICATION MARKING AND NAMEPLATES FOR ALL CONDUCTORS AND EACH ITEM OF ELECTRICAL APPARATUS AND ASSOCIATED CONTROLLED EQUIPMENT, WITH THE SAME INSCRIPTIONS AS SHOWN ON THE DRAWINGS. ALL IDENTIFICATION MARKINGS SHALL BE CLEARLY AND NEATLY APPLIED.

   B. APPLY ENGRAVED PLASTIC LAMINATE NAMEPLATES WITH NON-CORRODING TYPE SCREW FASTENERS OR RIVETS TO ALL MOTOR STARTERS, DISCONNECT SWITCHES, RELAYS, REMOTE CONTROL PANELS, PUSH BUTTON STATIONS, PANELBOARDS, SWITCHBOARDS, TRANSFORMERS, AND OTHER ELECTRICAL APPARATUS. NAMEPLATES SHALL BE WHITE WITH BLACK CORE, 1-1/4" X 3" MINIMUM WITH 3/16" HIGH LETTERING. THE NAMEPLATE SHALL IDENTIFY:
      -NAME OF DEVICE OR
      -LOAD THE DEVICE IS SERVING

   C. PROVIDE A TYPEWRITTEN DIRECTORY OF CIRCUITS IN LIGHTING AND POWER PANELS AND PROVIDE PANEL IDENTIFICATION IN BLACK ALKYD PAINT STENCILED INSCRIPTIONS ON THE INSIDE OF THE DOOR, DIRECTLY ABOVE THE CENTERLINE OF THE DIRECTORY FRAME, OR ON THE VERTICAL AND HORIZONTAL CENTERLINE OF DOORS WITHOUT DIRECTORY FRAMES.

   D. PROVIDE ON DEVICE PLATES FOR LOCAL TOGGLE SWITCHES, TOGGLE SWITCH MANUAL STARTERS, PILOT LIGHTS AND OTHER ELECTRICAL ITEMS, WHOSE FUNCTION IS NOT READILY APPARENT, ENGRAVED SUITABLE INSCRIPTIONS OR PLASTIC LAMINATE NAMEPLATES DESCRIBING THE EQUIPMENT CONTROLLED OR INDICATED.

   E. EMBOSSED SELF-ADHERING PLASTIC TAPE LABELS WILL NOT BE ACCEPTED.

50. ELECTRICAL CONTRACTOR SHALL COORDINATE ALL EXISTING OR NEW NON-ACCESSIBLE SYSTEM DEVICES, PULLBOXES, AND EQUIPMENT, ETC. FOR RELOCATION TO ACCESSIBLE CEILING AREAS. E.C. SHALL INCLUDE ALL COMPLETE COSTS FOR RELOCATION AND VERIFY SUCH CONDITIONS WITH ARCHITECTURAL CEILING PLANS PRIOR TO FINAL BIDS.

51. EXISTING CONDITIONS OF ALL EXISTING BUILDING EQUIPMENT, DEVICES, FIXTURES, AND SYSTEMS THAT REQUIRE REWIRING, REUSE, RELOCATION, OR REFURBISHING AS PER DRAWINGS AND SPECIFICATIONS SHALL BE FIELD VERIFIED BY THE E.C. PRIOR TO COMMENCEMENT OF ANY WORK TO BE COMPLETELY OPERATIONAL. E.C. SHALL SUBMIT A WRITTEN STATEMENT AND ITEMIZED LISTING OF ALL EXISTING CONDITIONS OF THE FOLLOWING, ALTHOUGH NOT LIMITED TO THOSE LISTED:

   A. HVAC EQUIPMENT
   B. EXIT SIGNS AND EMERGENCY LIGHTING FIXTURES
   C. LIFE SAFETY/FIRE ALARM SYSTEM DEVICES
   D. LIGHTING AND RECEPTACLE DEVICES.

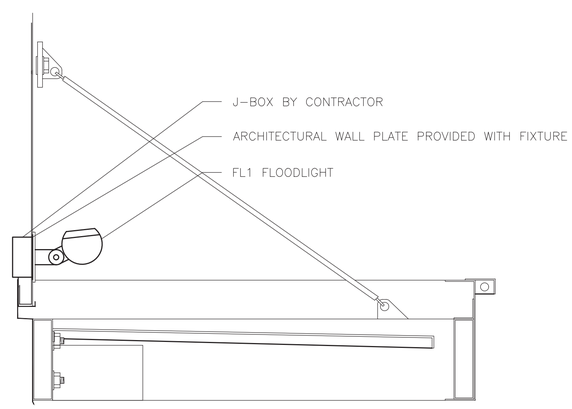
   THE WRITTEN STATEMENT SHALL BE SUBMITTED TO THE PROJECT MANAGER, ARCHITECT, AND ENGINEER PRIOR TO WORK. IN THE EVENT THAT THE CONTRACTOR COMMENCES WORK WITHOUT SUBMITTAL, THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY AND COST TO MAINTAIN THE ABOVE IN GOOD WORKING ORDER AND CONDITION.

52. E.C. SHALL REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS OF ALL ELECTRICAL AND COMMUNICATIONS OUTLETS. ELECTRICAL ENGINEERING DRAWINGS SHALL BE USED FOR CIRCUITING INFORMATION ONLY.

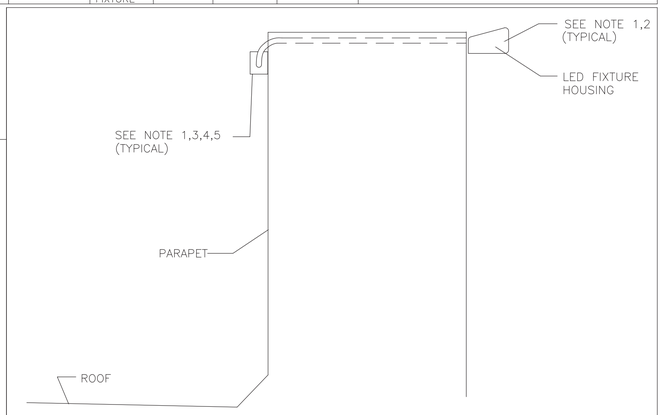
53. E.C. SHALL REFER TO MECHANICAL AND PLUMBING ENGINEERING DRAWINGS FOR EXACT LOCATIONS OF ALL MECHANICAL AND PLUMBING EQUIPMENT.

LIGHTING FIXTURE SCHEDULE:

MARK	SYMBOL	DESCRIPTION	DIFFUSER	LAMPS WATTS	LAMPS TYPE	BALLAST	MOUNTING	MANUFACTURER AND CATALOG NUMBER
F2		2' X 4' GRID TROFFER	PRISMATIC ACRYLIC	45W	LED	–	RECESSED	SECURITY LIGHTING: # SLLJT24-35MLG-FSA12-EU-WP
F7		1' X 4' GRID TROFFER	PRISMATIC ACRYLIC	35W	LED	–	RECESSED	SECURITY LIGHTING # SLLT14-35HLG-FSA12F-EU-WP
F12S		6" LED DOWN LIGHT	–	12W	LED	–	RECESSED	SECURITY LIGHTING #LB6LEDA10L-35K-9-SA/DBXQL
F12SA		6" LED ADJUSTABLE DOWN LIGHT	–	12W	LED	–	RECESSED	SECURITY LIGHTING #LB6LEDA10L-35K-9-WW-SA/DBXQL
F12T		6" LED DOWN LIGHT – SHALLOW HOUSING	–	12W	LED	–	RECESSED	SECURITY LIGHTING #LB6LEDA10L-50K-9-WH/IBXS
F20		EXIT SIGN WITH BATTERY BACKUP	–	1.8W	LED	–	SURFACE	SECURITY LIGHTING: PRB. SEE NOTE LS2 ON THIS SHEET
F21		2 HEADED EMERGENCY BATTERY LIGHT	–	–	LED	–	SURFACE TO WALL OR CEILING	SECURITY LTG. #EV4D
F22		EMERG BATTERY & 2 REMOTE HEADS	–	–	LED	–	SURFACE TO WALL OR SOFFIT	SECURITY LTG. #EV4D-02L-0/EVODB
F23		2 HEADED EMERG LIGHT & 2 REMOTE HEAD IF REQ'D	–	–	LED	–	SURFACE TO WALL OR SOFFIT	SECURITY LTG. #EV4D/EVODB
S1H		"DOWN ONLY" RADIAL WALL SCONCE – SILVER FINISH	TEMPERED GLASS	(1)-14W	LED	–	WALL	SECURITY LIGHTING: #RWSC-36L-5K-DO-U-PS
S2H		"UP/DOWN" RADIAL WALL SCONCE – SILVER FINISH	TEMPERED GLASS	(1)-25W	LED	–	WALL	SECURITY LIGHTING: #RWSC-72L-5K-UD-U-PS
S1W		"DOWN ONLY" RADIAL WALL SCONCE – WHITE FINISH	TEMPERED GLASS	(1)-14W	LED	–	WALL	SECURITY LIGHTING: #RWSC-36L-5K-DO-U-WH
SLED3		DOWN ONLY ACCENT LIGHTING	TEMPERED GLASS	1-30W PER FIXTURE	LED	–	SURFACE	SECURITY LIGHTING: SL-LED-36-DO-120-PS
LED2D-HE		DOWN ONLY ACCENT LIGHTING	TEMPERED GLASS	1-10W PER FIXTURE	LED	–	SURFACE	SECURITY LIGHTING: HIRAF-LED-24-DO-120-PS
LED3D-HE		DOWN ONLY ACCENT LIGHTING	TEMPERED GLASS	1-14W PER FIXTURE	LED	–	SURFACE	SECURITY LIGHTING: HIRAF-LED-36-DO-120-PS
LED4D-HE		DOWN ONLY ACCENT LIGHTING	TEMPERED GLASS	1-19W PER FIXTURE	LED	–	SURFACE	SECURITY LIGHTING: HIRAF-LED-48-DO-120-PS
FL1		UP ONLY ACCENT LIGHTING (SEE PLAN)	TEMPERED GLASS	1-16W PER FIXTURE	LED	–	WALL	SECURITY LIGHTING: EL218-W-5-8L-5K-UV-VWH-JW



FLOODLIGHT LIGHTING DETAIL
SCALE:N.T.S.



BRAND WALL LIGHTING DETAIL
SCALE:N.T.S.

GENERAL NOTES

1. PLACE LED FIXTURE AT DESIRED LOCATION AND INSTALL FIXTURE FROM LEFT TO RIGHT WHEN FACING ARCADE AND ATTACH POWER SUPPLY AND MOUNTING BRACKET AS RECOMMENDED BY MANUFACTURER.
2. EC SHALL CONNECT NEW FIXTURES TO THE NEXT AVAILABLE SPARE 120V CIRCUIT AND MAKE ALL ELECTRICAL CONNECTIONS AS REQUIRED FOR A COMPLETE OPERATING SYSTEM.
3. POWER SUPPLY SHALL ALWAYS BE INSTALLED TO THE LEFT SIDE OF FIXTURE WHEN FACING ARCADE.
4. OVERALL FIXTURE RUN TO BE CENTERED ON OVERALL LENGTH OF WALL.
5. CONNECT NEW LED FIXTURES TO EXISTING LIGHTING CIRCUIT(S) AS REQUIRED. ENSURE THAT CIRCUIT BREAKER AND CONDUCTOR SIZES DO NOT EXCEED 1200 WATTS ON A 15A CIRCUIT AND 1600 WATTS ON A 20A CIRCUIT. VERIFY EXISTING CONDITIONS AND REQUIREMENTS IN FIELD. PROVIDE ADDITIONAL CIRCUITS (C.B.,WIRING,CONDUITS)AS REQUIRED.

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1	05.24.19	FOR FILING		
0	02.01.19	FOR FILING		

COMMONWEALTH OF MASSACHUSETTS
SHAUN TIMOTHY MCGRATH
CIVIL
NO. 54149
REGISTERED PROFESSIONAL ENGINEER

PREPARED BY:
SkyBorne Technologies
P.O. BOX 875
Westford, MA 01886

PREPARED FOR: McDonald's USA, LLC

DRAWN BY: TAB – STD ISSUE DATE FEB 2017
REVIEWED BY: PM
DATE ISSUED: 11/09/2018

TITLE: ELECTRICAL SPECIFICATIONS AND GENERAL NOTES

DESCRIPTION: REMODEL DESIGN PER 2017 MRP CRITERIA SET
CORE 16 EXTERIOR - NON PLAYPLACE

SITE ID: 20-0293
SITE ADDRESS: 159 HATHAWAY ROAD, NEW BEDFORD, MA.

SHEET NO. E1.0
PROJ.# XXXXXX
SPECS, GENERAL NOTES

GENERAL NOTES

1. SEE ELECTRICAL SCHEDULE FOR PANEL & CIRCUIT BREAKER ASSIGNMENT, VOLT/PH, FLA, BREAKER SIZE, COND/WIRE, RECEPTACLE TYPE, HEIGHT ABOVE FINISHED FLOOR, REQUIREMENTS & REMARKS FOR ALL ELECTRICAL EQUIPMENT.

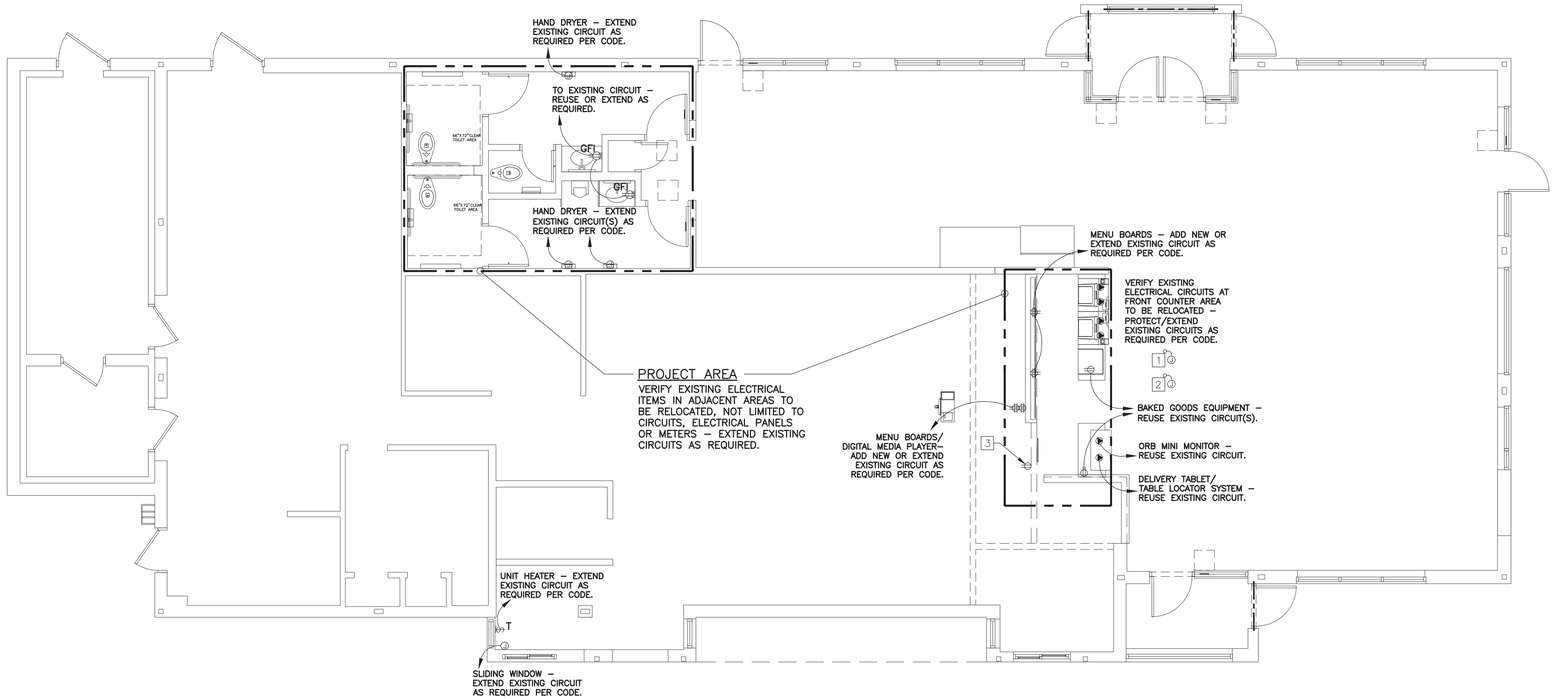
2. VERIFY OEP DROP CORDS DO NOT FALL BELOW HEIGHTS LISTED ON ELECTRICAL SCHEDULE. RECEPTACLES SHOULD BE LOCATED AT HEIGHTS TO AVOID CONTACT WITH HOT APPLIANCES.

KEY NOTES

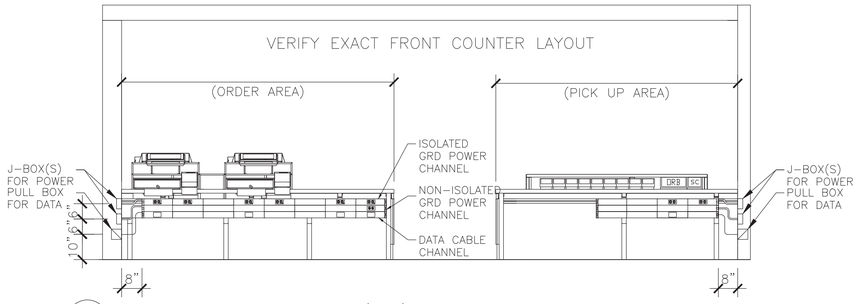
1. PROVIDE POWER WITHIN CEILING FOR CONNECTION TO SELF ORDER KIOSKS. COORDINATE EXACT LOCATION OF KIOSKS WITH DECOR DRAWINGS. PROVIDE 2#12, 1#12 GRD., & 1#12 ISOLATED GROUND ON A 20A DEDICATED CIRCUIT FED FROM THE CP PANEL FOR EVERY ONE (1) DOUBLE SIDED OR TWO (2) SINGLE SIDED KIOSKS. IF RESTAURANT DOES NOT RECEIVE KIOSK, PROVIDE J-BOX AND 1/2" CONDUIT WITH PULL STRINGS TO TWO (2) SPARE 20A/1P BREAKERS WITHIN CP PANEL.

2. PROVIDE AN ALLOWANCE IN BID TO PROVIDE TWO(2) FLEXIBLE POWER CONNECTIONS FOR POWER TO FURNITURE/ FAMILY EXPERIENCE ELEMENTS AS PART OF THE DECOR PACKAGE. VERIFY EXACT LOCATIONS IN FIELD AND WITH DECOR DRAWINGS. PROVIDE ALL NECESSARY MATERIALS AND LABOR FOR A COMPLETE AND FULLY NEC CODE COMPLIANT INSTALLATION. ALL COMPONENTS SHALL BE FED FROM A GFCI TYPE CIRCUIT BREAKER AND BRANCH CIRCUIT SHALL CONTAIN TWO PATHS OF GROUNDING (CONDUIT BODY AND AN INSULATED GROUNDING CONDUCTOR) TO COMPLY WITH McDONALD'S GROUNDING STANDARDS.

3. VERIFY IF OPTIONAL TABLE TRACKER SYSTEM IS TO BE USED. IF USED, PROVIDE 2#12, 1#12 GRD TO AVAILABLE SPARE 20A/1P BREAKER. CONNECT CIRCUIT TO THREE (3) 5-20R RECEPTACLES, ONE (1) RECEPTACLE FOR MODEM/GATEWAY (TYPICALLY LOCATED BEHIND VALENCE AT 7'-9" A.F.F.), ONE (1) RECEPTACLE FOR LOCATOR CHARGER (TYPICALLY LOCATED IN MANAGER'S OFFICE), AND ONE (1) RECEPTACLE FOR MONITOR (TYPICALLY LOCATED AT PICKUP COUNTER). COORDINATE EXACT LOCATION(S) IN THE FIELD.



1 / E1.1 ELECTRICAL ROUGH-IN PLAN
3/16" = 1'-0"



2 / E1.1 MODULAR COUNTER RACEWAY (TYP.)
N.T.S.

SYMBOL	CATALOG #	DESCRIPTION	QUANTITY
	HBLALU57DR & IG4700	RECEPTACLE COVERPLATE WITH ORANGE, TWIST LOCK, ISOLATED GROUND DUPLEX RECEPTACLE	1 PER RECEPTACLE
	HBLALU57DR & IG5262	RECEPTACLE COVERPLATE WITH ORANGE, STRAIGHT BLADE, ISOLATED GROUND DUPLEX RECEPTACLE	1 PER RECEPTACLE
	HBLALU57LPB	COMMUNICATIONS COVERPLATE	1 PER REGISTER & 1 FOR DUAL POINT & 1 FOR ANALOG WIRELESS OPTION
	HBLALU57BL	BLANK COVERPLATE	AS NECESSARY TO FILL RACEWAY
	HBLALU5000B02M290	2' SECTION OF RACEWAY. INCLUDES COUPLERS	1 FOR PICK UP COUNTER AND AS NECESSARY TO MAKE ORDER COUNTER RACEWAY 1' LESS THEN COUNTER LENGTH
	HBLALU5000B04M290	4' SECTION OF RACEWAY, INCLUDES COUPLERS	AS NECESSARY TO MAKE ORDER COUNTER RACEWAY 1' LESS THEN COUNTER LENGTH
	HBLALU5000B05M290	5' SECTION OF RACEWAY, INCLUDES COUPLERS	AS NECESSARY TO MAKE ORDER COUNTER RACEWAY 1' LESS THEN COUNTER LENGTH
	HBLALU5010B	BLANK END FITTING	AS NEEDED
	HBLALU5010B2M2	SERVICE ENTRANCE FITTING & BUSHING FOR DATA CABLES	AS NEEDED
N/A	HBLALU5701	COUPLER (INCLUDED WITH RACEWAY SECTION)	RECEIVE 1 PAIR PER RACEWAY SECTION
N/A	HBLALU5709	GROUND ADAPTER	AS NEEDED

NOTES:
1. RACEWAY AND RECEPTACLES TO BE PROVIDED WITH MODULAR FRONT COUNTER, INSTALLED BY CONTRACTOR.
2. DETAIL SHOWN IS A TYPICAL CONFIGURATION ONLY. SITE SPECIFICS MIGHT CAUSE DEVIATIONS.

SYMBOLS AND ABBREVIATIONS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	SINGLE POLE SWITCH, 3W=THREE WAY SWITCH, K=KEYED SWITCHED	B	BUZZER
T	TRANSFORMER	B	BUTTON FOR BUZZER
	JB WITH DUPLEX CONVENIENCE OUTLET (FLUSH WITH CEILING)		PULLBOX
	JB WITH SINGLE CONVENIENCE OUTLET		PANELBOARD
	JB WITH DUPLEX CONVENIENCE OUTLET		CIRCUIT BREAKER
	JB WITH TWO DUPLEX CONVENIENCE OUTLETS	A	AMPERES
	JB WITH FLUSH FLOOR MOUNTED OUTLET	ACM	AREA CONSTRUCTION MANAGER
	JB WITH SPECIAL PURPOSE OUTLET	AFF	ABOVE FINISHED FLOOR
	JB WITH ISOLATED GROUND OUTLET = IG4710, =IG5261, =IG4700A, =IG5262	C	CONDUIT
		CCT	CIRCUIT
	INTERCOM STATION W/ 3/4"C- TO MAIN STATION	EC	ELECTRICAL CONTRACTOR
	TELEPHONE JACK	GC	GENERAL CONTRACTOR
J	JUNCTION BOX - WALL OR CEILING MOUNTED	GFI/GFCI	GROUND FAULT CIRCUIT INTERRUPTER
	DISCONNECT SWITCH	GND	GROUND
S	STUB UP THRU ROOF	IG	ISOLATED GROUND
T	THERMOSTAT SENSOR W/ 1/2"C- UP TO CEILING SPACE	JB	JUNCTION BOX
M	MOTOR CONNECTION	KES	KITCHEN EQUIPMENT SUPPLIER
	CONDUIT RUN CONCEALED IN CEILING OR WALLS	MLO	MAIN LUGS ONLY
	CONDUIT RUN IN FLOOR SLAB	WP	WEATHERPROOF
T	MANUAL SWITCH (T=THERMAL OVERLOADS)		
X	HOT (SHORT), NEUTRAL (LONG), EQUIP GRD (LONG WITH DOT), & & 'X' DENOTES ISOLATED GRD		
	J-BOX WITH FINAL EQUIPMENT CONNECTION		

PROJECT SPECIFIC NOTES:

1. ALL NOTES CONTAINED IN THIS DOCUMENT APPLY TO THE PROJECT AREAS AS SPECIFIED.
2. ELECTRICAL CONTRACTOR SHALL PROVISION POWER AS NECESSARY FOR A COMPLETE JOB. ADD, REUSE OR EXTEND CIRCUITS AS DIRECTED BY THE PROJECT MANAGER. VERIFY THAT THERE IS SUFFICIENT CAPACITY FOR ADDITIONAL ELECTRICAL LOAD.
3. ALL WIRING SHALL CONFORM TO ALL PROVISIONS OF CURRENT APPLICABLE NEC, GUIDELINES OF LOCAL UTILITY AND CODES/ORDINANCES OF JURISDICTION HAVING AUTHORITY.
4. VERIFY POWER REQUIREMENTS WITH THE OWNER. ARCHITECT SHALL CONFIRM AND COORDINATE RECEPTACLE LOCATIONS AND MOUNTING HEIGHTS WITH THE OWNER/PROJECT MANAGER.
5. FINAL FIXTURE SELECTION AND MOUNTING LOCATIONS SHALL BE SPECIFIED BY THE OWNER AND ARCHITECT.
6. VERIFY TEL/DATA REQUIREMENTS WITH OWNER – PROVIDE RECEPTACLES AS NECESSARY.
7. VERIFY ANY OTHER SPECIAL WIRING REQUIREMENTS (I.E. INTERCOM, SECURITY, SPEAKERS, CONTROLS, FIRE ALARM, ETC.) WITH OWNER AND PROVIDE AS NECESSARY FOR A COMPLETE JOB.
8. REFER TO ARCHITECTURAL DRAWINGS FOR DEMOLITION NOTES.
9. VERIFY ELECTRICAL REQUIREMENTS AND MEANS OF DISCONNECT FOR ELECTRICALLY POWERED ITEMS WITH EQUIPMENT VENDOR(S).

GFCI NOTES:

1. GFCI PROTECTION WILL BE REQUIRED ON ALL NEW/RELOCATED RECEPTACLES WITHIN THE KITCHENS AS PER U.L. REGULATIONS AND CURRENT APPLICABLE NEC.
2. ALL NEW OR RELOCATED SWITCHBOARDS SHALL BE MANUFACTURED BY SQUARE D IN ACCORDANCE WITH GFCI REQUIREMENTS.

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0	02.01.19	FOR FILING	

COMMONWEALTH OF MASSACHUSETTS
SHAUN TIMOTHY McGRATH
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No. 54149
REGISTERED PROFESSIONAL ENGINEER

PREPARED BY:
SkyBorne Technologies
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PREPARED FOR:
McDonald's USA, LLC

DRAWN BY: TAB –
STD ISSUE DATE: FEB 2017
REVIEWED BY: PM
DATE ISSUED: 11/09/2018

TITLE: ELECTRICAL ROUGH-IN PLAN AND NOTES

DESCRIPTION: REMODEL DESIGN PER 2017 MRP CRITERIA SET
CORE 16 EXTERIOR – NON PLAYPLACE

SITE ID: 20-10293
SITE ADDRESS: 159 HATHAWAY ROAD, NEW BEDFORD, MA.

SHEET NO. E1.1
PROJ.# XXXXXX
ROUGH-IN PLAN, NOTES

GENERAL NOTES FOR DRAWING E2.0:

OUTDOORS (FOR PROJECT AREAS ONLY)

P1. E.C. SHALL PROVIDE AN ADDITIVE ALTERNATE COST (ELEC–DT–1) TO PROVIDE POWER FOR A NEW MENU BOARD, POWER AND DATA FEEDS AND CONNECTIONS FOR A NEW COD, AND A LANE MONITOR. COD LOCATIONS SHALL EACH BE PROVIDED WITH A NEW ISOLATED GROUNDING TYPE CIRCUIT, AND A NEW 2" DATA CONDUIT TO NEW LOCATION. ALL WORK AND INSTALLATION LOCATIONS SHALL BE COORDINATED WITH THE MCDONALD'S PROJECT MANAGER PRIOR TO INSTALLATION.

P2. E.C. SHALL PROVIDE POWER FOR NEW EXTERIOR LAWN MOUNTED WALL WASHING LIGHT FIXTURES AS LOCATED ON SITE PLAN.

KEY NOTES (FOR PROJECT AREAS ONLY)

1. EC SHALL INSTALL AND CONFIGURE REMOTE EMERGENCY LIGHTING AT ALL EGRESS EXTERIOR DOORS FOR MAXIMUM ILLUMINATION AT POINTS OF EGRESS. INSTALL WP J–BOX WITHIN SOFFIT TO ALLOW A FLUSH INSTALLATION OF ANY EXTERIOR EMERGENCY EGRESS LIGHTING (TYPICAL).
2. CANOPY LIGHT. EC SHALL VERIFY EXACT SPECIFICATIONS AND LOCATION WITH CANOPY MANUFACTURER. VERIFY EXACT INFEED REQUIREMENTS IN THE FIELD.
3. CENTER PENDANT LIGHTS OVER TABLES (TYPICAL)
4. ALL SOFFIT LOCATIONS, LIGHTING, & SUPPLY GRILLS SHALL BE COORDINATED WITH DECOR COMPANY DRAWING PRIOR TO INSTALLATION.
5. OPTIONAL ADJUSTABLE WALL WASH FIXTURE TO ILLUMINATE LOGO OR GRAPHICS. EC SHALL VERIFY EXACT LOCATION SO AS TO ADEQUATELY ILLUMINATE McDONALD'S ARCH LOGO SIGN AND GRAPHICS.
6. RADIAL WALL SCONCE. SEE ARCHITECTURAL ELEVATIONS (TYPICAL).
7. PROVIDE POWER FOR LIGHT WITHIN TOY DISPLAY. COORDINATE EXACT LOCATION WITH DECOR DRAWINGS.

KEY

DENOTES FIXTURE TYPE — F2

DENOTES CIRCUIT NUMBER ("R" DENOTES EXISTING CIRCUIT TO BE REUSED OR EXTENDED AS REQUIRED). — A1

LIGHTING FIXTURES SHOWN HALF SHADED SHALL BE WIRED TO THE NIGHT LIGHTING CIRCUIT AND PROVIDED WITH A BATTERY TYPE EMERGENCY BALLAST. SEE NOTE EL3 ON THIS SHEET. COORDINATE LOCATION WITH DECOR.

EMERGENCY LIGHTING NOTES

EL1. EC SHALL INSTALL A LOCK ON CIRCUIT BREAKER HANDLE, FOR ALL EMERGENCY LIGHTING CIRCUITS. EC SHALL VERIFY ALL REQUIREMENTS AND FINAL EMERGENCY LIGHTING LOCATIONS WITH LOCAL AUTHORITIES. INCLUDE ALL COSTS IN BASE BID.

EL2. IF NOT INSTALLED BY MANUFACTURER, EC SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF THE EMERGENCY INVERTER BALLAST IN NIGHT LIGHTING FIXTURES SHOWN ON THIS SHEET.

EL3. ALL FIXTURES DENOTED AS NIGHT LIGHTING FIXTURES SHALL BE PROVIDED WITH A BATTERY INVERTER EMERGENCY TYPE BALLAST. EMERGENCY BALLAST SHALL BE A TWO LAMP TYPE OF 600– 700 INITIAL LUMEN RATED (MINIMUM) TO ILLUMINATE FIXTURE IN THE EVENT OF A POWER FAILURE. BALLAST BATTERY SHALL MAINTAIN 87.5% OF THE NOMINAL BATTERY VOLTAGE AFTER 1.5 HOURS TO COMPLY WITH NEC SECTION 700 AND UL924. BALLAST SHALL BE AS MANUFACTURED BY BODINE, (MODEL B60 FOR T8 APPLICATIONS) SECURITY LIGHTING (MODEL UF0120 FOR COMPACT FLUORESCENT APPLICATIONS) OR AN APPROVED EQUAL TO MEET THE SPECIFICATIONS LISTED ABOVE. LED FIXTURES DENOTED AS NIGHT LIGHTING SHALL BE APPROVED WITH DUAL LITE LIGHTING INVERTER MODEL # LG125T. INVERTER SHALL BE CAPABLE OF ILLUMINATING FIXTURE FOR 1.5 HOURS TO COMPLY WITH NEC SECTION 700 AND UL924. E.C. SHALL NOT INSTALL MORE THEN EIGHT FIXTURES TO EACH INVERTER. PROVIDE ADDITIONAL INVERTERS AS NECESSARY.

EL5. EMERGENCY LIGHTING HAS BEEN DESIGNED PER NFPA 101 TO MAINTAIN 1 FC IN PATH OF EGRESS. IF FIELD CONDITIONS REQUIRE ANY CHANGES TO LIGHTING DESIGN, EMERGENCY LIGHTING, SHALL BE INSTALLED TO MEET THE ABOVE REQUIREMENTS.

ADDITIONAL LIGHTING NOTES:

CUSTOM LED DOWNLIGHTING FIXTURES FOR ARCADE WALLS AND HEARTH; ORDERED FROM SECURITY LIGHTING. CONTRACTOR TO FIELD VERIFY FIXTURE MOUNTING HEIGHT, LOCATION, QUANTITY, FIXTURE LENGTHS, AND ALL ELECTRICAL CONNECTION REQUIREMENTS WITH SECURITY LIGHTING AND McDONALD'S AREA CONSTRUCTION MANAGER PRIOR TO ORDERING AND INSTALLATION.

E.C. SHALL PROVIDE A JUNCTION BOX FOR ARCH LOGO / McDONALD'S FASCIA / PLAY–PLACE SIGN. COORDINATE EXACT LOCATION IN FIELD WITH ACM. ALL SIGNS PROVIDED WITH INTEGRAL DISCONNECT SWITCH FROM MANUFACTURER.(TYPICAL)

E.C. SHALL VERIFY FIXTURE CONNECTIONS TO PHOTOCELL WITH PROJECT MANAGER.

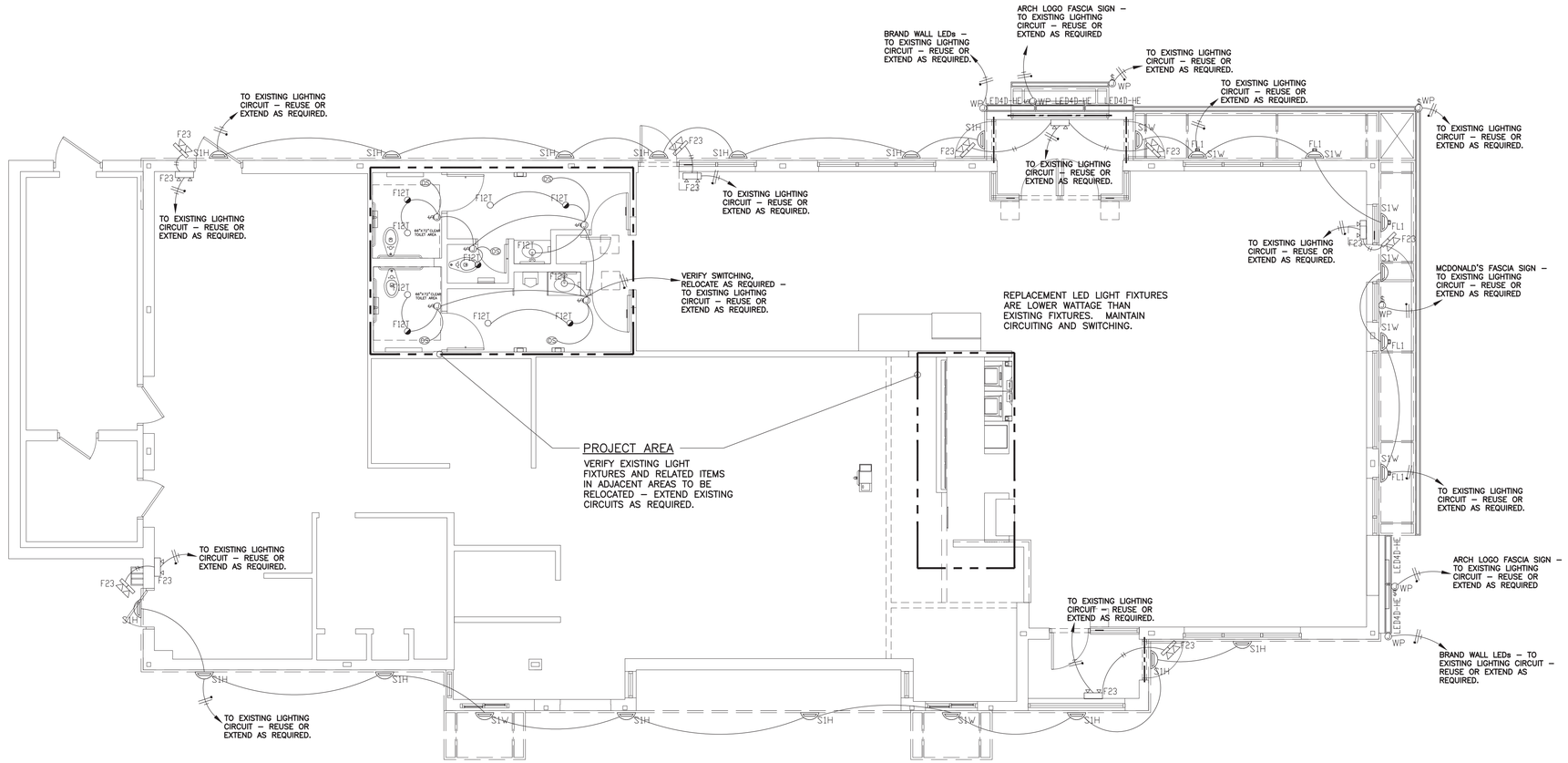
E.C SHALL PROVIDE A WEATHER–PROOF JUNCTION BOX ON INSIDE OF FACE OF PARAPET FOR PHOTOCELL INSTALLATION. MOUNT JB 6" BELOW TOP OF PARAPET. PHOTOCELL FURNISHED AND INSTALLED BY EC. MOUNT FACING NORTH.

ADJUST FIXTURE POSITION TO PROVIDE MAXIMUM ILLUMINATION OF ARCH LOGO.

PER IECC C405.2.2.2 – OCCUPANCY SENSORS INSTALLED IN ALL RESTROOMS, STORAGE ROOMS JANITORIAL CLOSETS AND OTHER SPACES 300 SF OR LESS ENCLOSED BY FLOOR TO CEILING PARTITIONS SHALL BE SET TO VACANCY MODE – ALL OCCUPANCY SENSORS IN OPEN AREAS ARE SET TO OCCUPANCY MODE.

OS (OCCUPANCY SENSOR) – REFER TO MANUFACTURER'S SPECIFICATIONS FOR WIRING DIAGRAMS AND INSTALLATION/MOUNTING RECOMMENDATIONS. INSTALLATION SHALL CONFORM TO ALL PROVISIONS OF CURRENT APPLICABLE NEC AND CODES/ORDINANCES OF JURISDICTION HAVING AUTHORITY.

VERIFY USE OF CEILING MOUNT, WALL MOUNT OR INTEGRATED WALL SWITCH/OCCUPANCY SENSORS WITH ARCHITECT.



1 / E2.0 ELECTRICAL LIGHTING PLAN
3/16" = 1'–0"

SEE DRAWING E1.0 FOR LIGHTING FIXTURE SCHEDULE

GENERAL NOTES FOR DRAWING E2.0:

LIGHTING (FOR PROJECT AREAS ONLY)

1. ALL LIGHT FIXTURES SHALL BE 120 VOLT UNLESS NOTED OTHERWISE.
2. LIGHTING FIXTURES AND LAMPS HAVE BEEN CHOSEN TO ACHIEVE MAXIMUM ENERGY CONSERVATION WHILE MAINTAINING ADEQUATE LEVEL OF ILLUMINATION. LAMP SPECIFICATIONS SHALL BE STRICTLY FOLLOWED. ANY DEVIATION FROM LAMP SPECIFICATIONS SHALL BE APPROVED IN WRITING BY McDONALD'S CORPORATION.
3. PROVIDE A WEATHERPROOF JUNCTION BOX IN PARAPET FOR FASCIA SIGNS. FINAL CONNECTION BY OTHERS. VERIFY EXACT LOCATION OF SIGN WITH McDONALD'S PROJECT MANAGER PRIOR TO INSTALLATION.
4. EC SHALL COORDINATE LOCATION OF ALL EXTERIOR LIGHTS WITH McDONALD'S PROJECT MANAGER TO AVOID INTERFERENCE WITH ANY CORBELS, TRUSSES, BEAMS OR OTHER SPECIAL EXTERIOR TREATMENTS. INSTALL LIGHT FIXTURES WITH CORRECT ORIENTATION PER MANUFACTURER'S INSTRUCTIONS.
5. EC SHALL FIELD VERIFY THAT ALL LIGHT FIXTURES SHOWN ON THIS PLAN DO NOT OBSTRUCT OR CONFLICT WITH THE WORK OF OTHER TRADES. IF A DISCREPANCY IS FOUND, THE EC SHALL IMMEDIATELY NOTIFY THE GC BEFORE THE INSTALLATION OF SUCH FIXTURE(S).
6. ORDER LED EXIT SIGNS WITH LETTER COLORS THAT COMPLY WITH LOCAL CODES FROM SECURITY LIGHTING.
   – FOR RED LETTERS USE #PRB (UNIVERSAL),
   – FOR GREEN LETTERS USE #PGB (UNIVERSAL),

IF THE ABOVE EXIT SIGNS DO NOT COMPLY WITH LOCAL CODES USE: LED SIGN WITH BATTERY BACKUP, LETTER SIZE, COLOR, TYPE & DIRECTIONAL ARROWS AS REQUIRED BY THE LOCAL AUTHORITIES.

INSTALLATION METHODS

7. EC SHALL INSTALL ALL SOFFIT LIGHTING FIXTURES AWAY FROM BUILDING WALL. FIXTURES SHALL BE LOCATED TO AVOID INTERFERENCE WITH STRUCTURAL MEMBERS ABOVE SOFFIT.
8. THE USE OF "MC" CABLE IN LENGTHS OF 6 FEET OR LESS (WHERE PERMITTED BY LOCAL CODES) SHALL BE ALLOWED FOR WIRING TO THE LIGHTING FIXTURES. "ROMEX" OR "BX" SHALL NOT BE USED.
9. EC SHALL VERIFY THAT NOT MORE THAN 3% VOLTAGE DROP EXISTS FROM THE LIGHTING PANEL TO ANY EXTERIOR LIGHTING FIXTURE OR SIGNAGE BALLAST.

SPECIALTY LIGHTING

10. SEE THE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND REQUIREMENTS FOR THE FACADE ARCADE LIGHTING ELEMENTS, AND CANOPY ELEMENTS.

PROJECT DEMOLITION NOTES:

THE FOLLOWING PROVIDES A GENERAL SCOPE OF WORK FOR THE ELECTRICAL CONTRACTOR FOR THE DEMOLITION REQUIREMENTS OF THIS SITE. THIS SECTION IS NOT ALL INCLUSIVE, AND THE CONTRACTOR SHALL VISIT THE SITE AND COMPARE EXISTING CONDITIONS TO THE REQUIREMENTS DENOTED ON THE CONSTRUCTION DOCUMENTS TO DETERMINE THE EXACT EXTENT OF THE DEMOLITION WORK REQUIRED. E.C. SHALL PROVIDE ALL DEMOLITION WORK REQUIRED IN ORDER TO ALLOW FOR THE COMPLETE INSTALLATION AS DENOTED WITHIN THESE DRAWINGS.

OUTDOOR BUILDING LIGHTING/POWER (FOR PROJECT AREAS)

D1. THE ELECTRICAL CONTRACTOR SHALL DISCONNECT AND REMOVE ALL OF THE EXTERIOR ILLUMINATED ROOF BEAMS FROM THE BUILDING. REMOVE ALL FIXTURES, WIRING, WHIPS, AND CONDUIT TO ALLOW FOR THE NEW FACADE INSTALLATION AS DENOTED ON THE PLANS. COORDINATE ALL WORK WITH OTHER TRADES AND WITH THE PROJECT MANAGER.

D2. THE ELECTRICAL CONTRACTOR SHALL DISCONNECT AND REMOVE ALL EXTERIOR ELECTRICALLY POWERED FASCIA SIGNAGE FROM THE BUILDING. REMOVE ALL SIGNAGE, WIRING, WHIPS, AND CONDUIT TO ALLOW FOR THE NEW FACADE INSTALLATION AS DENOTED ON THE PLANS. COORDINATE ALL WORK WITH OTHER TRADES AND WITH THE PROJECT MANAGER.

D3. THE ELECTRICAL CONTRACTOR SHALL RELOCATE ALL EXTERIOR ROOF MOUNTED GENERAL PURPOSE OUTLETS AND ALL PHOTOCELLS AS REQUIRED TO ALLOW FOR THE NEW FACADE INSTALLATION. COORDINATE EXACT EXTENT OF WORK WITH ARCHITECTURAL DRAWINGS AND IN THE FIELD WITH THE PROJECT MANAGER. RECEPTACLES SHALL BE INSTALLED SO AS TO BE WITHIN 25'–0" OF ANY ROOFTOP HVAC EQUIPMENT PER NEC 210.63.

D4. E.C. SHALL VERIFY WHETHER EXISTING OUTDOOR RECEPTACLES ARE GFCI PROTECTED. IF NOT, E.C. SHALL PROVIDE NEW GFCI TYPE PROTECTED RECEPTACLE DEVICES IN PLACE OF EXISTING. E.C. SHALL ALSO PROVIDE WEATHERPROOF COVERS FOR ALL OUTDOOR RECEPTACLES TO COMPLY WITH NEC SECTION 406.8(B).

GENERAL (FOR PROJECT AREAS)

D5. THE ELECTRICAL CONTRACTOR SHALL COORDINATE THE SALVAGE REQUIREMENTS FOR ALL EQUIPMENT REMOVED AS PART OF THE DEMOLITION WORK WITH THE CONSTRUCTION PROJECT MANAGER. ALL EQUIPMENT TO BE SALVAGED AND/OR REUSED SHALL BE PROTECTED FROM DAMAGE UNTIL REINSTALLED OR THE TIME PERIOD WHEN IT IS TURNED OVER TO THE OWNER AND/OR THE PROJECT MANAGER.

D6. SEE THE GENERAL ELECTRICAL SPECIFICATIONS AND NOTES ON SHEET E1.0 FOR ADDITIONAL GENERAL REQUIREMENTS.

PROJECT SPECIFIC NOTES:

1. ALL NOTES CONTAINED IN THIS DOCUMENT APPLY TO THE PROJECT AREAS AS SPECIFIED.
2. ELECTRICAL CONTRACTOR SHALL PROVISION POWER AS NECESSARY FOR A COMPLETE JOB. ADD, REUSE OR EXTEND CIRCUITS AS DIRECTED BY THE PROJECT MANAGER. VERIFY THAT THERE IS SUFFICIENT CAPACITY FOR ADDITIONAL ELECTRICAL LOAD.
3. ALL WIRING SHALL CONFORM TO ALL PROVISIONS OF CURRENT APPLICABLE NEC, GUIDELINES OF LOCAL UTILITY AND CODES/ORDINANCES OF JURISDICTION HAVING AUTHORITY.
4. VERIFY POWER REQUIREMENTS WITH THE OWNER. ARCHITECT SHALL CONFIRM AND COORDINATE RECEPTACLE LOCATIONS AND MOUNTING HEIGHTS WITH THE OWNER/PROJECT MANAGER.
5. FINAL FIXTURE SELECTION AND MOUNTING LOCATIONS SHALL BE SPECIFIED BY THE OWNER AND ARCHITECT.
6. VERIFY TEL/DATA REQUIREMENTS WITH OWNER – PROVIDE RECEPTACLES AS NECESSARY.
7. VERIFY ANY OTHER SPECIAL WIRING REQUIREMENTS (I.E. INTERCOM, SECURITY, SPEAKERS, CONTROLS, FIRE ALARM, ETC.) WITH OWNER AND PROVIDE AS NECESSARY FOR A COMPLETE JOB.
8. REFER TO ARCHITECTURAL DRAWINGS FOR DEMOLITION NOTES.
9. VERIFY ELECTRICAL REQUIREMENTS AND MEANS OF DISCONNECT FOR ELECTRICALLY POWERED ITEMS WITH EQUIPMENT VENDOR(S).

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1	05.24.19	FOR FILING	CPC
0	02.01.19	FOR FILING	

COMMONWEALTH OF MASSACHUSETTS — SHAUN TIMOTHY McGRATH — CIVIL — No. 54146 — REGISTERED PROFESSIONAL ENGINEER

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DRAWN BY: TAB –
STD ISSUE DATE: FEB 2017
REVIEWED BY: PM
DATE ISSUED: 11/09/2018

TITLE: ELECTRICAL LIGHTING PLAN AND NOTES

DESCRIPTION: REMODEL DESIGN PER 2017 MRP CRITERIA SET CORE 16 EXTERIOR – NON PLAYPLACE

SITE ID: 20–0293

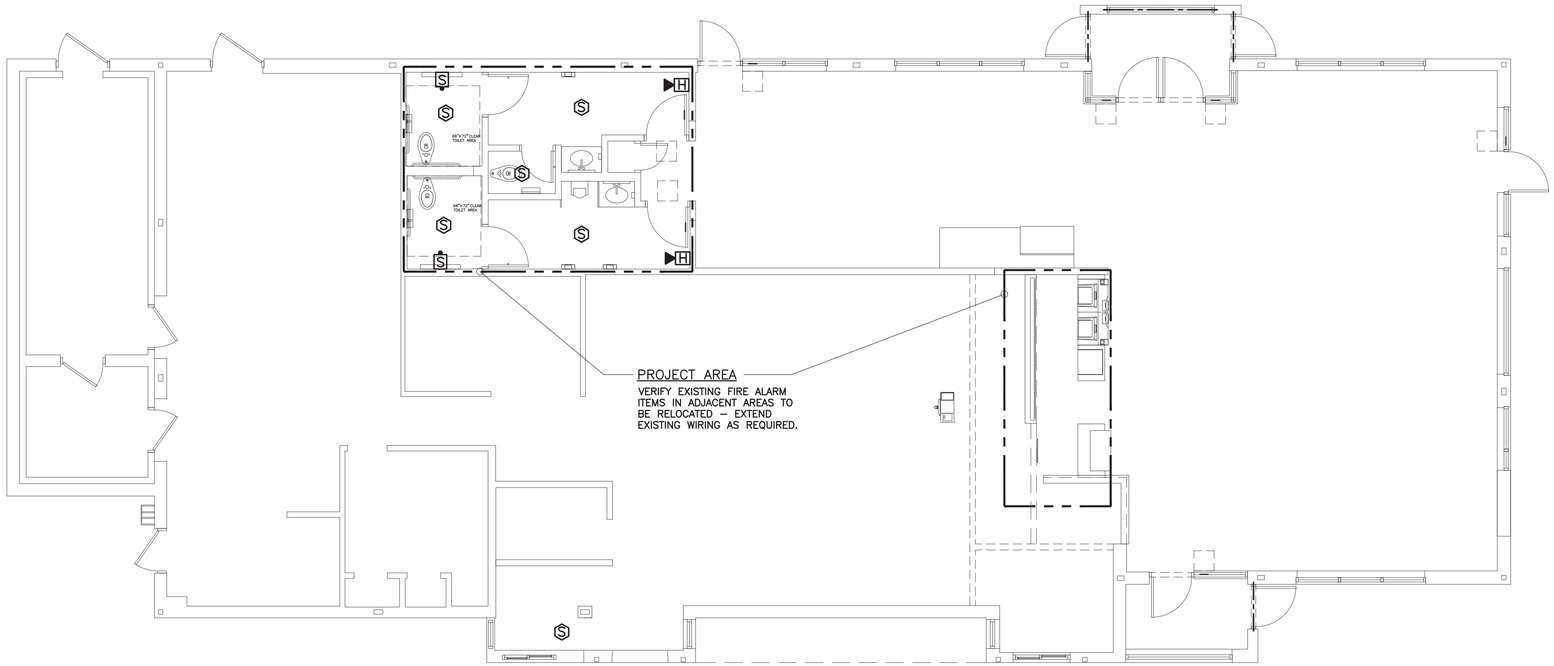
SITE ADDRESS: 159 HATHAWAY ROAD, NEW BEDFORD, MA.

PROJ.# XXXXXX

SHEET NO. E2.0

LIGHTING PLAN, NOTES

NOTE:
PROVIDE NEW AND/OR RELOCATE EXISTING FIRE ALARM DEVICES PER PLAN, CURRENT ADA CODE, NFPA 72 REQUIREMENTS AND LOCAL ORDINANCES. THE ARCHITECT AND/OR FIRE ALARM CONTRACTOR SHALL VERIFY THE REQUIREMENTS FOR THESE DEVICES WITH THE LOCAL AUTHORITY HAVING JURISDICTION. IF THERE IS NO PRE-EXISTING BUILDING FIRE ALARM SYSTEM, THESE ITEMS SHALL BE PROVIDED AND INSTALLED AS PART OF A NEW FIRE ALARM SYSTEM OR CONVERSELY AN EXCEPTION SHALL BE OBTAINED FROM THE AUTHORITY HAVING JURISDICTION WAIVING THE REQUIREMENT FOR A FIRE ALARM SYSTEM – IN THIS CASE, THE EXISTING LOCAL FIRE ALARM DEVICES SHALL BE REUSED, RELOCATED OR REPLACED AS REQUIRED AND AS APPROVED BY THE AUTHORITY HAVING JURISDICTION.



1 / E3.0 FIRE ALARM PLAN
3/16" = 1'-0"

FIRE ALARM LEGEND

SYMBOL	DESCRIPTION
FACP	FIRE ALARM CONTROL PANEL
ANN	FIRE ALARM REMOTE ANNUNCIATOR PANEL
EOL	END OF LINE RESISTOR
FCO	FUSED CUT OUT
S N	SMOKE DETECTOR – "N" INDICATES ZONE
S D	SUPPLY DUCT-MOUNTED SMOKE DETECTOR
S CLG	SMOKE DETECTOR – ABOVE DROP CEILING, REMOTE LAMP)
T	THERMAL DETECTOR, FIXED (195°)
TS	TAMPER SWITCH
FS	FLOW SWITCH
F	FIRE ALARM MANUAL PULL STATION
H	FIRE ALARM HORN/STROBE
S	FIRE ALARM STROBE
WP	WEATHER PROOF
R	REMOTE ALARM LAMP – (LOCATED ON CEILING)
CO	CARBON MONOXIDE DETECTOR

FIRE ALARM NOTES:

1. FIRE ALARM VENDOR MUST PRODUCE A SEPARATE FIXED PRICE TO PERFORM THE SCOPE OF WORK CONTAINED ON THESE DRAWINGS IN CONNECTION WITH THE FIRE ALARM SYSTEM. THESE DRAWINGS ARE PROVIDED FOR BID PURPOSES ONLY AND TO ILLUSTRATE THE SCOPE OF WORK INTENT OF THIS PROJECT. PRIOR TO SUBMISSION OF THE FIRE ALARM SYSTEM BID, THE FIRE ALARM VENDOR IS RESPONSIBLE TO REVIEW ALL DRAWINGS (I.E., MECHANICAL/HVAC, ELECTRICAL, PLUMBING, FIRE SPRINKLER, AND ARCHITECTURAL). UPON SUBMISSION OF THE FIRE ALARM BID, THE FIRE ALARM VENDOR CERTIFIES THAT ALL DRAWINGS HAVE BEEN REVIEWED, THE SITE HAS BEEN VISITED/INSPECTED (IF APPLICABLE), AND THAT ALL LOCAL FIRE MARSHALL REQUIRED ITEMS ARE FULLY UNDERSTOOD AND INCLUDED IN THE BID PRICE (NO CHANGE ORDERS ALLOWED).
2. FIRE ALARM VENDOR MUST ADHERE TO ALL LOCAL CODES AND AUTHORITIES HAVING JURISDICTION (I.E.,BUILDING DEPARTMENT, FIRE MARSHALL, ETC.). THE ENTIRE SYSTEM MUST BE DESIGNED IN ACCORDANCE WITH THESE AUTHORITIES.
3. FIRE ALARM VENDOR MUST SUBMIT TO THE ENGINEER & OWNER FINAL (AS APPROVED BY THE LOCAL BLDG. DEPT. & FIRE MARSHALL) SIGNED AND SEALED (BY ANY LICENSED PE) DESIGN /BUILD DRAWINGS INCLUDING: FIRE ALARM RISER DIAGRAM, LAYOUT, SEQUENCE OF OPERATION, EQUIPMENT LIST & SPECIFICATIONS PRIOR TO START OF INSTALLATION. THE COST OF THE ENGINEERING FEE, PROGRAMMING CHARGE, NEW EQUIPMENT, CONNECTION & TESTING, TROUBLE SHOOTING OF SYSTEM, ATTENDANCE AT THE FIRE ALARM INSPECTION, ETC. ARE TO BE PART OF THE TOTAL PRICE. INSTALLATION OF THE NEW FIRE ALARM SYSTEM CAN BEGIN UPON WRITTEN APPROVAL FROM THE ENGINEER.
4. LOCATION OF ALL FIRE ALARM DEVICES (HORNS, STROBES, ETC.) INDICATED ON THESE DOCUMENTS ARE TO BE USED AS A GUIDE ONLY. DESIGN OF THE ENTIRE SYSTEM MUST BE IN ACCORDANCE WITH THE CURRENT APPLICABLE NFPA 72, STATE BUILDING & FIRE CODES IN ADDITION TO THE LOCAL FIRE MARSHAL'S ORDINANCE. ADDITIONAL DEVICES REQUIRED ABOVE AND BEYOND THESE DOCUMENTS OR DEVICES ADDED AT THE REQUEST OF THE FIRE MARSHAL OR BUILDING DEPARTMENT WILL BE REIMBURSED UNDER CONTRACT UNIT PRICING.

GENERAL FIRE ALARM NOTES:

1. ALL CIRCUITS MUST BE CHECKED FOR OPENS, GROUND FAULTS AND SHORTS BEFORE CONNECTING TO CONTROL PANEL.
2. ALL DETECTION, AUDIBLE/VISUAL AND INITIATION DEVICE CIRCUIT WIRES MUST BE SUPERVISED. THEREFORE, NO PARALLEL BRANCHING OF NON-ADDRESSABLE CIRCUITS IS PERMISSIBLE.
3. DETECTORS SHALL NOT BE LOCATED (WITHIN 3 FEET) IN DIRECT AIR STREAM FROM SUPPLY AIR OUTLETS.
4. ALL SHIELDS TO BE CONTINUOUS AND ISOLATED FROM GROUND.
5. ALL FIRE ALARM WIRING SHALL BE IN MINIMUM 3/4" EMT.
6. ALL DETECTION WIRING SHALL BE CLASS "A".
7. CONTRACTOR IS RESPONSIBLE FOR PERMITTING AND APPROVAL DOCUMENTATION.
8. CONTRACTOR AND VENDOR ARE JOINTLY RESPONSIBLE FOR FINAL TESTING AND SYSTEM ACCEPTANCE.
9. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
10. VERIFY WITH EQUIPMENT VENDOR THE NUMBER OF DEVICES EACH ZONE IS CAPABLE OF ADDRESSING AND RECONFIGURE AS NECESSARY PRIOR TO PRICING.

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COMMONWEALTH OF MASSACHUSETTS
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PREPARED FOR:
McDonald's USA, LLC

DRAWN BY: TAB –
STD ISSUE DATE: FEB 2017
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TITLE: FIRE ALARM PLAN
DESCRIPTION: REMODEL DESIGN PER 2017 MRP CRITERIA SET CORE 16 EXTERIOR – NON PLAYPLACE
SITE ID: 20-0293
SITE ADDRESS: 159 HATHAWAY ROAD, NEW BEDFORD, MA.

SHEET NO. E3.0
FIRE ALARM PLAN
PROJ.# XXXXXX

GENERAL PLUMBING NOTES

GENERAL:

1. ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH ALL LOCAL CODES AND ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION.
2. ALL PLUMBING WORK SHALL BE PERFORMED BY A LICENSED PLUMBER.
3. ALL DIMENSIONS, CLEARANCES AND TOLERANCES SHALL BE VERIFIED PRIOR TO INSTALLATION. ALL ROUGH-IN LOCATIONS SHALL BE COORDINATED WITH THE MANUFACTURER'S SUBMITTAL INFORMATION.
4. ALL DIMENSIONAL INFORMATION IS AS FOLLOWS (UNLESS NOTED OTHERWISE):
   A. UNDERGROUND PIPE IS TO FOUNDATION
   B. OVERHEAD PIPE IS TO FINISHED WALL
   C. ELEVATIONS ARE TO FINISHED FLOOR
5. ALL MATERIALS, FIXTURES AND EQUIPMENT USED SHALL BE IN ACCORDANCE WITH McDONALD'S SPECIFICATIONS. SPECIFICATIONS ARE CONTAINED WITHIN THESE DRAWINGS AND THE McDONALD'S PROJECT MANUAL. ANY CONTRACTOR IN NEED OF A COPY OF THE McDONALD'S PROJECT MANUAL SHALL CONTACT THE McDONALD'S AREA CONSTRUCTION MANAGER. ANY VARIANCE FROM THE McDONALD'S SPECIFICATIONS SHALL BE REVIEWED AND APPROVED BY THE ENGINEER-OF-RECORD.
6. SEE COORDINATION SCHEDULE FOR ADDITIONAL SCOPE OF WORK.
7. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH ITS LISTING AND/OR THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
8. WHERE POOR SOIL CONDITIONS EXIST OR WHERE SUBSTANTIAL SETTLEMENT OF EITHER THE PIPING, THE BUILDING OR ADJACENT WALKS, PLANTERS, ETC., MAY OCCUR, THE CONTRACTOR SHALL PROVIDE ADEQUATE UNDERSLAB STAINLESS STEEL PIPE HANGERS OR APPROVED OTHER SUPPORT.
9. ALL PIPE SLEEVES SHALL BE PROPERLY SEALED AND INSULATED TO PREVENT HEAT LOSS AND SEEPAGE.
10. ALL PIPE INSULATION SHALL BE PROTECTED FROM DAMAGE FROM PIPE HANGERS. PROTECTION SHALL BE LIGHT GAUGE GALVANIZED STEEL OR EQUAL.
11. ALL PENETRATIONS OF FIRE-RATED WALLS SHALL BE FIRESTOPPED WITH AN APPROVED AND LISTED FIRESTOPPING SYSTEM.

SANITARY AND VENT SYSTEMS:

1. THE BUILDING SANITARY PIPE SHALL BE LOCATED A MINIMUM AS REQUIRED BY LOCAL CODES, HEALTH DEPARTMENT AND WATER AUTHORITY. FROM THE INCOMING WATER SERVICE. WHERE A 5 FT. SEPARATION IS NOT POSSIBLE, THE BOTTOM OF THE WATER SERVICE PIPE SHALL BE A MINIMUM AS REQUIRED BY LOCAL CODES, HEALTH DEPARTMENT AND WATER AUTHORITY ABOVE THE TOP OF THE HIGHEST POINT OF THE SANITARY PIPE.
2. ALL SANITARY AND VENT PIPE SHALL BE PVC TYPE DWV, ABS OR CAST-IRON WHERE REQUIRED BY CODE.
3. ALL HORIZONTAL SANITARY PIPE SHALL BE INSTALLED WITH A MINIMUM PITCH AS FOLLOWS:

PIPE SIZE	MIN. SLOPE
2½" OR LESS	¼" PER FT.
3" TO 6"	⅛" PER FT.
8" OR LARGER	1/16" PER FT.

4. CLEANOUTS SHALL BE INSTALLED IN ALL HORIZONTAL DRAINAGE PIPE AND SHALL BE LOCATED NOT MORE THAN 100 FT. APART.
5. CLEANOUTS SHALL BE INSTALLED AT ALL CHANGES OF DIRECTION GREATER THAN 45 DEGREES. WHERE MORE THAN ONE CHANGE OF DIRECTION OCCURS IN A SINGLE PIPE RUN, ONLY ONE (1) CLEANOUT SHALL BE REQUIRED FOR EVERY 40 FEET OF DEVELOPED LENGTH.
6. CLEANOUTS SHALL BE INSTALLED ON PIPES PRIOR TO ANY SLAB PENETRATION.
7. WHERE PIPING IS LOCATED WITHIN WALL CAVITIES, ACCESS TO THE CLEANOUTS SHALL BE PROVIDED.
8. CLEANOUTS ON 6-IN. AND SMALLER PIPES SHALL BE PROVIDED WITH A CLEARANCE OF NOT LESS THAN 18 IN. CLEANOUTS ON 8-IN. AND LARGER PIPE SHALL BE PROVIDED WITH A CLEARANCE OF NOT LESS THAN 36 IN.
9. ALL SUSPENDED SANITARY AND VENT PIPE SHALL BE SUPPORTED AS FOLLOWS:

MATERIAL	MAX. HORIZ. SPACING	MAX. VERT. SPACING
ABS	4 FT.	10 FT.
PVC (TYPE DWV)	4 FT.	10 FT.
CAST-IRON (<10 FT. PIPE SECTIONS)	5 FT.	15 FT.
CAST-IRON (10 FT. PIPE SECTIONS)	10 FT.	15 FT.

10. ALL PLUMBING FIXTURES SHALL BE VENTED AND THE MAXIMUM DISTANCE FROM THE FIXTURE TRAP TO THE VENT SHALL BE AS FOLLOWS:

TRAP SIZE	SLOPE	DISTANCE
1¼"	¼" PER FT.	2'-6"
1½"	¼" PER FT.	3'-6"
2"	¼" PER FT.	5'-0"
3"	⅛" PER FT.	6'-0"
4" & LARGER	⅛" PER FT.	10'-0"

11. ALL PLUMBING VENTS THROUGH THE ROOF SHALL TERMINATE A MINIMUM OF 18 INCHES ABOVE THE ROOF, TO BE VERIFIED WITH LOCAL CODE ENFORCEMENT, AND COMPLY WITH LOCAL CODES AND SHALL BE LOCATED A MINIMUM OF 8 FT. FROM ANY PARAPET WALL. WHERE A VENT TERMINATES WITHIN 8 FT. OF A PARAPET WALL, THE VENT SHALL TERMINATE A MINIMUM OF 6 INCHES ABOVE THE PARAPET.
12. ALL PLUMBING VENTS SHALL TERMINATE A MINIMUM OF 10 FT. HORIZONTALLY FROM ANY OUTDOOR AIR INTAKE. WHERE A PLUMBING VENT IS LOCATED WITHIN 10 FT. OF AN INTAKE, THE VENT SHALL TERMINATE A MINIMUM OF 2 FT. ABOVE THE INTAKE.
13. ALL SIDE WALL VENT TERMINATIONS SHALL BE PROTECTED TO PREVENT BIRDS OR RODENTS FROM ENTERING OR BLOCKING THE VENT OPENING.
14. ALL FLOOR DRAINS THAT DO NOT SERVE EQUIPMENT SHALL BE PROTECTED AGAINST DRYING OUT EITHER THROUGH THE INSTALLATION OF A TRAP PRIMER, DEEP SEAL TRAP OR PROSET TRAP GUARD.
15. ALL APPLIANCES SHALL DRAIN TO AN APPROVED SANITARY WASTE RECEPTOR (FLOOR SINK OR FLOOR DRAIN WITH FUNNEL). INDIRECT DRAINAGE FROM AN APPLIANCE SHALL MAINTAIN AN AIR GAP BETWEEN THE PIPE OUTLET AND THE TOP OF THE RECEPTOR. THE MINIMUM DISTANCE BETWEEN THE PIPE OUTLET AND THE TOP OF THE RECEPTOR SHALL BE TWICE THE DIAMETER OF THE APPLIANCE DRAIN PIPE.

DOMESTIC SUPPLY SYSTEMS:

1. THE INCOMING WATER SERVICE PIPE SHALL BE LOCATED A MINIMUM AS REQUIRED BY LOCAL CODES, HEALTH DEPARTMENT AND WATER AUTHORITY. FROM THE EXITING SANITARY PIPE. WHERE A 5 FT. SEPARATION IS NOT POSSIBLE, THE BOTTOM OF THE WATER SERVICE PIPE SHALL BE A MINIMUM AS REQUIRED BY LOCAL CODES, HEALTH DEPARTMENT AND WATER AUTHORITY. ABOVE THE TOP OF THE HIGHEST POINT OF THE SANITARY PIPE.
2. ALL UNDERGROUND SITE PLUMBING, TO CONFORM AS REQUIRED BY LOCAL CODES, SHALL BE TYPE K COPPER TUBING OR COPPER PIPE, POLYETHYLENE (PE) OR CPVC. IF CPVC IS USED, FOAM INSULATION SHALL BE INSTALLED AT ALL CHANGES OF DIRECTION TO ACCOUNT FOR EXPANSION AND CONTRACTION.
3. INCOMING WATER SERVICE PRESSURE SHOULD BE BETWEEN 45 AND 55 PSI STATIC. WHERE WATER PRESSURE SERVICE EXCEEDS 80 PSI STATIC, AN APPROVED WATER-PRESSURE REDUCING VALVE WITH STRAINER CONFORMING TO ASSE 1003 SHALL BE INSTALLED. WHERE INCOMING WATER PRESSURE IS BELOW 45 PSI STATIC, A PRESSURE BOOSTER SYSTEM SHALL BE INSTALLED.
4. IF THE RESTAURANT HAS A COMBINED WATER AND FIRE SPRINKLER SERVICE, THE INCOMING WATER SERVICE SHALL BE SIZED BASED ON THE FIRE SPRINKLER CONTRACTOR'S HYDRAULIC CALCULATIONS.
5. PROVIDE A MINIMUM ½" ANNULAR CLEARANCE AROUND ALL PIPE SLAB PENETRATIONS.
6. A REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER (RPZ) SHALL BE INSTALLED AT THE INCOMING SERVICE WHERE REQUIRED BY CODE.
7. AN EXPANSION TANK SHALL BE INSTALLED ON THE COLD WATER LINE INLET TO THE WATER HEATER. SEE EXPANSION TANK SCHEDULE.
8. ALL WATER SUPPLY PIPE WITHIN MINIMUM OF THE BUILDING AS REQUIRED BY LOCAL CODES, HEALTH DEPARTMENT AND WATER AUTHORITY AND INSIDE THE BUILDING SHALL COMPLY WITH NSF 61 AND SHALL BE TYPE L COPPER TUBING, COPPER PIPE OR CPVC PIPE.
9. CPVC PIPE SHALL BE FLOWGUARD GOLD OR FLOWGUARD BENDABLE AS MANUFACTURED BY LUBRIZOL.
10. CPVC PIPE SHALL BE CONNECTED WITH FLOWGUARD GOLD YELLOW LOW-VOC SOLVENT CEMENT AS MANUFACTURED BY IPS WELD-ON OR OATEY.
11. ALL CPVC PIPE SHALL BE INSULATED TO PREVENT EXPOSURE TO GREASE.
12. ALL SUSPENDED PIPE SHALL BE SUPPORTED AS FOLLOWS:

MATERIAL	MAX. HORIZ. SPACING	MAX. VERT. SPACING
COPPER PIPE	12 FT.	10 FT.
COPPER TUBING ≤1¼"	6 FT.	10 FT.
COPPER TUBING >1½"	10 FT.	10 FT.
CPVC ≤1"	3 FT.	10 FT.
CPVC ≥1¼"	4 FT.	10 FT.

13. A REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER (RPZ) SHALL BE INSTALLED AT THE INLET TO THE WATER FILTRATION SYSTEM. ALL PIPING DOWNSTREAM OF THE RPZ SHALL BE COPPER OR CROSS-LINKED POLYETHYLENE (PEX).
14. ALL DEVICES, APPLIANCES, AND APPARATUS INTENDED TO SERVE SOME SPECIAL FUNCTION SHALL BE PROVIDED WITH PROTECTION AGAINST BACKFLOW AND CONTAMINATION OF THE WATER SUPPLY SYSTEM. ALL BACKFLOW PREVENTION DEVICES SHALL BE ASSE LISTED AND APPROVED FOR THE DEVICE OR APPLIANCE THEY SERVE.
15. ALL WATER SUPPLY LINES SHALL BE PROVIDED WITH A QUARTER-TURN SHUT-OFF VALVE BEFORE FINAL CONNECTION TO EQUIPMENT.
16. QUARTER-TURN SHUT-OFF VALVES SHALL BE INSTALLED UPSTREAM OF ANY INLINE BACKFLOW PREVENTION DEVICE.
17. ALL VALVES AND BACKFLOW PREVENTION DEVICES SHALL BE INSTALLED WITH FITTINGS THAT FACILITATE REMOVAL IN CASE OF FAILURE.
18. ALL OVERHEAD WATER LINES SHALL BE INSULATED WITH 1" THICK EXTERNAL JACKETED INSULATION AND A MINIMUM INSTALLED R-VALUE OF 3.7.
19. PRIOR TO BUILDING TURNOVER, THE DOMESTIC WATER SUPPLY SYSTEM SHALL BE PURGED OF DELETERIOUS MATERIAL AND DISINFECTED. DISINFECTION SHALL BE DONE IN ACCORDANCE WITH THE LOCAL HEALTH CODE, PLUMBING CODE OR IN ACCORDANCE WITH AWWA C651 OR AWWA C652.

STORM DRAINAGE SYSTEMS:

1. ALL ROOF DRAINS SHALL BE SIZED IN ACCORDANCE WITH LOCAL CODES AND SHALL CONFORM TO ASME A112.21.2M OR A112.3.1.
2. ALL STORM DRAINAGE PIPING SHALL BE ABS, PVC TYPE DWV OR CAST-IRON WHERE REQUIRED BY CODE.
3. ALL SUSPENDED STORM DRAINAGE PIPE SUPPORT REQUIREMENTS SHALL BE THE SAME AS THE SANITARY AND VENT REQUIREMENTS.
4. ALL HORIZONTAL STORM DRAINAGE PIPE PITCH REQUIREMENTS SHALL BE THE SAME AS THE SANITARY AND VENT REQUIREMENTS.
5. ALL HORIZONTAL STORM DRAINAGE PIPE SHALL BE INSULATED WITH 1" THICK EXTERNAL JACKETED INSULATION AND A MINIMUM INSTALLED R-VALUE OF 3.7 TO PROTECT AGAINST CONDENSATION.
6. CLEANOUTS SHALL BE INSTALLED IN ALL HORIZONTAL DRAINAGE PIPE AND SHALL BE LOCATED NOT MORE THAN 100 FT. APART.
7. CLEANOUTS SHALL BE INSTALLED AT ALL CHANGES OF DIRECTION GREATER THAN 45 DEGREES. WHERE MORE THAN ONE CHANGE OF DIRECTION OCCURS IN A SINGLE PIPE RUN, ONLY ONE (1) CLEANOUT SHALL BE REQUIRED FOR EVERY 40 FEET OF DEVELOPED LENGTH.
8. CLEANOUTS SHALL BE INSTALLED ON PIPES PRIOR TO ANY SLAB PENETRATION.
9. WHERE PIPING IS LOCATED WITHIN WALL CAVITIES, ACCESS TO THE CLEANOUTS SHALL BE PROVIDED.
10. ROOF DRAINS AND OVERFLOW ROOF DRAINS SHALL BE PIPED INDEPENDENTLY. OVERFLOW ROOF DRAINS SHALL NOT BE CONNECTED TO THE PRIMARY ROOF DRAINAGE SYSTEM.

LEGEND

	COLD WATER PIPING
	TEMPERED WATER PIPING (110°F)
	HOT WATER PIPING (140°F)
	RECIRCULATED HOT WATER PIPING
	OVERHEAD LINES (BY P.C.)
	UNDERGROUND SANITARY PIPING
	UNDERGROUND GREASE WASTE PIPING
	VENT PIPING
	ABOVE GROUND STORM PIPING
	UNDERGROUND STORM PIPING
	HOSE BIBB
	CHECK VALVE
	BALL VALVE
	THERMOSTATIC MIXING VALVE
	FLOOR DRAIN
	CLEAN-OUT (FLOOR OR YARD)
	FLOOR SINK
	PRESSURE GUAGE
	LOW PRESSURE SWITCH
	HIGH PRESSURE SWITCH
	SOLENOID VALVE
	THREE-WAY VALVE
	PRESSURE REGULATOR
	DUAL CHECK VALVE OR RPZ
	DUAL CHECK VALVE WITH ATMOSPHERIC VENT
	STRAINER
	RELIEF VENT

ABBREVIATIONS

ACM	AREA CONSTRUCTION MANAGER
AVB	ATMOSPHERIC VACUUM BREAKER
BSI	BEVERAGE SYSTEM INSTALLER
CO	CLEAN-OUT
DC	DOWNSPOUT COVER
DFU	DRAINAGE FIXTURE UNIT(S)
EC	ELECTRICAL CONTRACTOR
FAC	FIRE ALARM CONTRACTOR
FCO	FLOOR CLEAN-OUT
FD	FLOOR DRAIN
FPC	FIRE PROTECTION CONTRACTOR
FS	FLOOR SINK
GC	GENERAL CONTRACTOR
GI	GREASE INTERCEPTOR
GPF	GALLONS PER FLUSH
GPM	GALLONS PER MINUTE
GW	GREASE WASTE
HS	HAND SINK
I.P.S.	IRON PIPE SIZE (ALSO NPS)
KEI	KITCHEN EQUIPMENT INSTALLER
KES	KITCHEN EQUIPMENT SUPPLIER
LAV	LAVATORY
MC	MECHANICAL CONTRACTOR
MHT	MALE HOSE THREADS
MS	MOP SINK
NPS	NATIONAL PIPE THREAD STANDARD
NPT	NATIONAL PIPE THREAD TAPERED
O/O	OWNER/OPERATOR
OH	OVERHEAD
P	PUMP
PC	PLUMBING CONTRACTOR
RC	REFRIGERATION CONTRACTOR
RPZ	REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER
SS	SANITARY SEWER
ST	STORM SEWER
SVB	ANTI-SIPHON, SPILL RESISTANT VACUUM BREAKER
TAB	TEST AND BALANACE CONTRACTOR
UG	UNDERGROUND
UR	URINAL
V	VENT
WC	WATER CLOSET
WCO	WALL CLEAN-OUT
WSFU	WATER SUPPLY FIXTURE UNIT(S)
YC	YARD CLEAN-OUT

FREEMAN ENGINEERING, PLLC
MEP Engineers
P: 631-696-0330
F: 631-696-0330
email: freemaneng@optonline.net
19 Bishops Lane, South Setauket, NY 11720

REV	DATE	DESCRIPTION	BY
1	05.24.19	FOR FILING	CPC
0	02.01.19	FOR FILING	

COMMONWEALTH OF MASSACHUSETTS
SHAUN TIMOTHY McGRATH
CIVIL
No. 54149
REGISTERED PROFESSIONAL ENGINEER

PREPARED BY:

SkyBorne Technologies
P.O. BOX 875
Westford, MA 01886

PREPARED FOR:

McDonald's USA, LLC

DRAWN BY TAB –
STD ISSUE DATE FEB 2017
REVIEWED BY PM
DATE ISSUED 11/09/2018

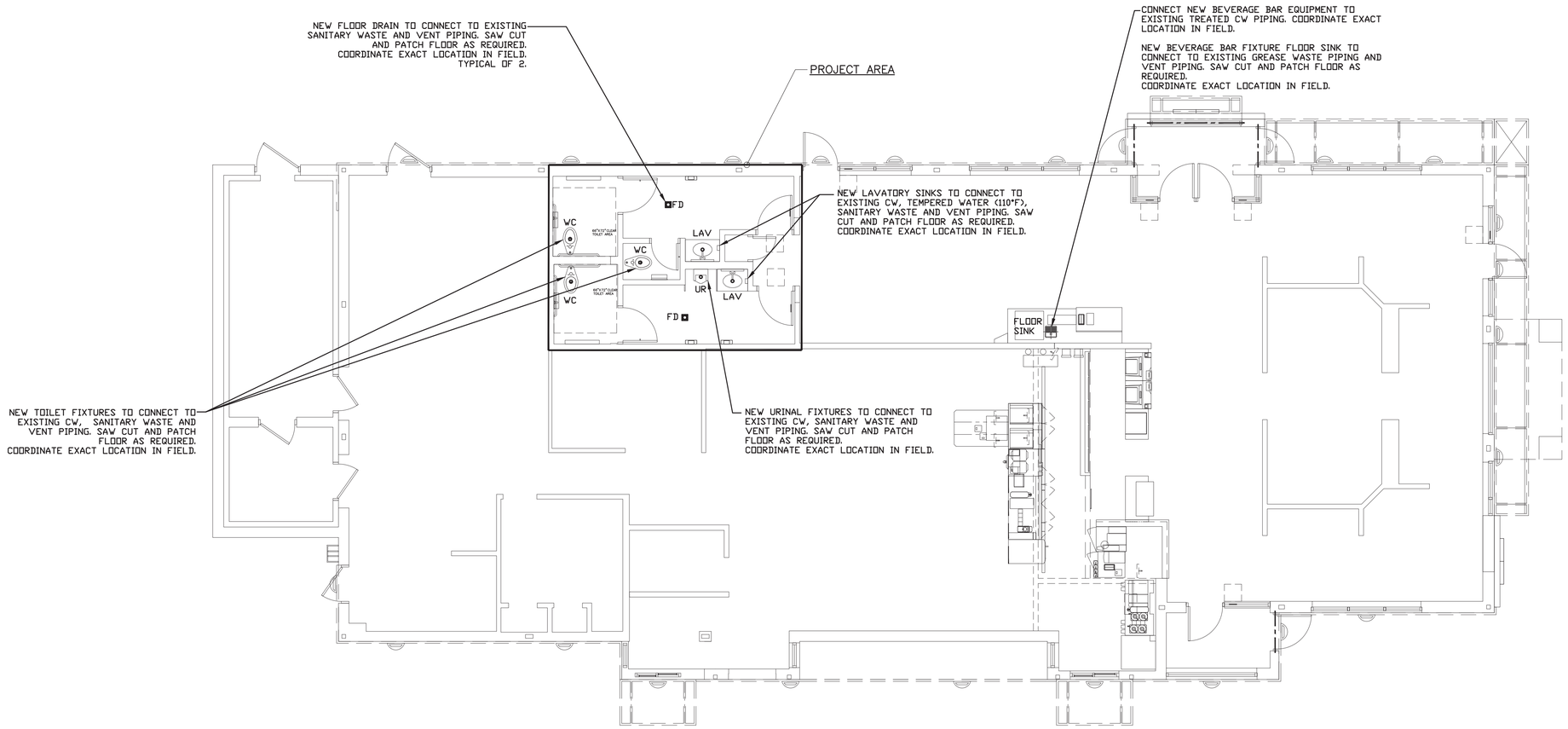
TITLE: GENERAL NOTES

DESCRIPTION: REMODEL DESIGN PER 2017 MRP CRITERIA SET
CORE 16 EXTERIOR – NON PLAYPLACE

SITE ID: 20-0293
SITE ADDRESS: 159 HATHAWAY ROAD, NEW BEDFORD, MA.

PROJ.# XXXXXX

SHEET NO. P1.0
GENERAL NOTES



1 / P2.0 WASTE, VENT & DOMESTIC PIPING

SCALE: 3/16" = 1'-0"

DRAWING NOTES

1. ALL SANITARY AND VENT PIPE SHALL BE CAST-IRON WHERE REQUIRED BY CODE.
2. DOMESTIC WATER SUPPLY SHALL BE TYPE K COPPER TUBING OR COPPER PIPE.
3. ALL WATER DISTRIBUTION PIPING SHALL BE INSULATED. INSULATION NOT SHOWN FOR CLARITY. SEE PLUMBING NOTES FOR INSULATION REQUIREMENTS.
4. PIPING ROUTES ARE GENERAL AND MAY VARY DUE TO FIELD CONDITIONS. COORDINATE ALL PIPE ROUTES WITH OTHER TRADES.
5. PROVIDE PROSET TRAP GUARD® OR TRAP PRIMER FOR FLOOR DRAINS.

WASTE PIPE SIZING - IPC

FIXTURE TYPE	TRAP SIZE	DFU	QUANTITY	TOTAL
URINAL	2 IN.	4	1	4
WATER CLOSET	4 IN.	6	3	18
LAVATORY	1½ IN.	1	2	2
FLOOR DRAIN	3 IN.	5	2	10
FLOOR SINK	3 IN.	5	1	5
			TOTAL	39

VALVE SCHEDULE

MANUFACTURER	MODEL	TEMP. SETTING	LISTING	SERVES
WATTS	L111	104°F	ASSE 1069,1070	LAVS & HAND SINKS MIXING
NIBCO	FP-600A	-	-	RESTROOM SHUT-OFF

FREEMAN ENGINEERING, PLLC
MEP Engineers
P: 631-696-0330
F: 631-696-0330
email: freemanengi@optonline.net
19 Bohwyn Lane, South Setauket, NY 11720

REV	DATE	DESCRIPTION	BY
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0	02.01.19	FOR FILING	

COMMONWEALTH OF MASSACHUSETTS
SHAUN TIMOTHY McGRATH
CIVIL
No. 54146
REGISTERED PROFESSIONAL ENGINEER

PREPARED BY:

SkyBorne Technologies
P.O. BOX 875
Westford, MA 01886

PREPARED FOR:

McDonald's USA, LLC

DRAWN BY TAB –
STD ISSUE DATE FEB 2017
REVIEWED BY PM
DATE ISSUED 11/09/2018

TITLE: WASTE, VENT AND DOMESTIC PIPING PLAN

DESCRIPTION: REMODEL DESIGN PER 2017 MRP CRITERIA SET
CORE 16 EXTERIOR – NON PLAYPLACE

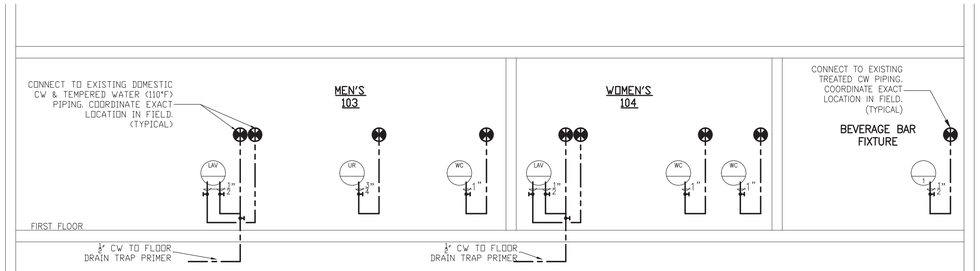
SITE ID: 20-0293

SITE ADDRESS: 159 HATHAWAY ROAD, NEW BEDFORD, MA.

SHEET NO. P2.0

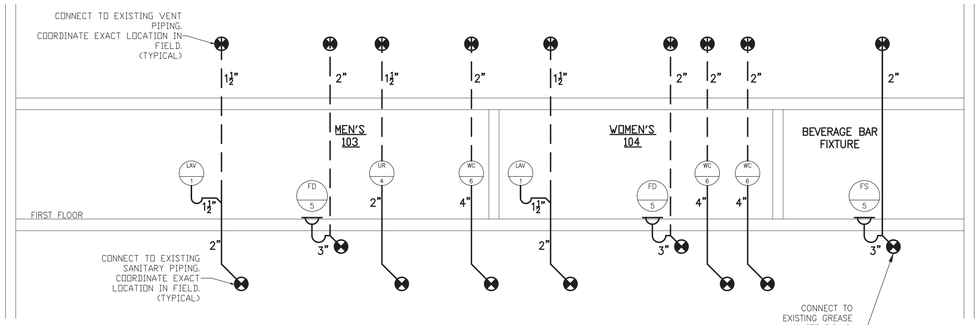
PROJ.# XXXXXX

WASTE, VENT & DOMESTIC



1 / P3.0 DOMESTIC WATER PIPING

SCALE: NONE



2 / P3.0 WASTE & VENT PIPING

SCALE: NONE

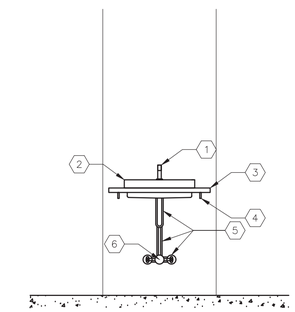
PLUMBING FIXTURE SCHEDULE[1]

TAG	DESCRIPTION	MANUFACTURER	MODEL	WATER USE	ACCESSORIES/COMMENTS	
F-1	FAUCET FOR LAV	TOTO	TEL3GS10#CP	1.0 GPM (0.17 GAL/10 SEC CYCLE)	FAUCET OPERATION: SENSOR	
F-2	FAUCET FOR MS-1	ZURN	Z843M4		FAUCET OPERATION: MANUAL SEE DETAIL 2 ON DRAWING P3.0	5' VINYL HOSE WALL HOOK
LAV	LAVATORY	TOTO	LT191G		FAUCET: F-1 TRUEBRO LAVGUARD2 MODEL #102-E-Z CORIAN COUNTER BY G.C.	SEE NOTE 7 SEE DETAIL 3 ON P3.0
FD	6x6 FLOOR DRAIN	ZURN	Z415-BZ		PIPE SIZE: 3"	FUNNEL: NONE
		JAY R. SMITH	2005		STRAINER SIZE: 6" NICKEL BRONZE	SEE NOTE 6
FS	8x8 FLOOR SINK WITH HALF-GRATE	ZURN	ZN1910		PIPE SIZE: 3" DOME STRAINER: ALUMINUM	GRATE: HALF - NICKEL-BRONZE SEE NOTE 5
		JAY R. SMITH	3415			
UR	ADA WALL-HUNG URINAL	TOTO	UT447E	0.5 GPF	FLUSH VALVE: TOTO TEU1LN12#CP ZURN ZGEN6230EV-EWS ¾" I.P.S., 1" TOP SPUD	FLUSH VALVE OPERATION: SENSOR SEE NOTE 2
		ZURN	Z5750			
		-	-			
WC	ADA WATER CLOSET	TOTO	CT705EL	1.28 GPF	FLUSH VALVE: TOTO TET1LN32#CP ZURN ZGEN6200EV 1" I.P.S., 1½" TOP SPUD	FLUSH VALVE OPERATION: SENSOR SEAT: BEMIS MODEL 2155CT
		ZURN	Z5665			
		-	-			

NOTES:
1. SEE McDONALD'S PROJECT MANUAL FOR ADDITIONAL MANUFACTURERS
2. PLUMBING CONTRACTOR SHALL COORDINATE WITH G.C. TO PROVIDE BLOCKING FOR PROPER URINAL SUPPORT
3. PLUMBING CONTRACTOR SHALL COORDINATE WITH G.C. TO PROVIDE INTERIOR BLOCKING ON W/W BUILDING FOR WALL CLAMP
4. PLUMBING CONTRACTOR SHALL COORDINATE WITH G.C. TO PROVIDE BLOCKING FOR PROPER SINK SUPPORT
5. PLUMBING CONTRACTOR SHALL SPECIFY CONNECTION MATERIAL/TYPE WHEN ORDERING
6. PLUMBING CONTRACTOR SHALL SPECIFY BURY DEPTH WHEN ORDERING
7. PLUMBING CONTRACTOR SHALL PROVIDE GRID DRAIN, P-TRAP AND VALVE STOPS FOR ALL SINKS & LAVS

TO ORDER PLUMBING FIXTURES,
CONTACT HD SUPPLY:
PHONE: (866) 310-3576
E-MAIL: MCDCOORD@HDSUPPLY.COM

KEYED NOTES:
1. FAUCET (SEE PLUMBING FIXTURE SCHEDULE)
2. LAVATORY OR HAND SINK (SEE PLUMBING FIXTURE SCHEDULE)
3. CORIAN COUNTERTOP – TOILET ROOMS ONLY (FURNISHED BY G.C.)
4. LAVATORY CARRIER – TOILET ROOMS ONLY (SEE ARCHITECTURAL DRAWINGS)
5. OUTLINE OF ADA COMPLIANT WRAP (SEE PLUMBING FIXTURE SCHEDULE)
6. THERMOSTATIC MIXING VALVE (SEE VALVE SCHEDULE)



LAVATORY (OR HAND SINK) 3 / P3.0

NOT TO SCALE

FREEMAN ENGINEERING, PLLC
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F: 631-696-0330
MEP Engineers
email: freemanengi@optonline.net
19 Bellwyn Lane, South Setauket, NY 11720

REV	DATE	DESCRIPTION	BY
1	05.24.19	FOR FILING	CPC
0	02.01.19	FOR FILING	

COMMONWEALTH OF MASSACHUSETTS
SHAUN TIMOTHY McGRATH
CIVIL
NO. 54149
REGISTERED PROFESSIONAL ENGINEER

PREPARED BY:
SkyBorne Technologies
P.O. BOX 875
Westford, MA 01886

PREPARED FOR:
McDonald's USA, LLC

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DRAWN BY TAB FP
STD ISSUE DATE FEB 2017
REVIEWED BY PM
DATE ISSUED 11/09/2018

TITLE: PLUMBING RISER, DETAILS AND SCHEDULES

DESCRIPTION: REMODEL DESIGN PER 2017 MRP CRITERIA SET
CORE 16 EXTERIOR – NON PLAYPLACE

SITE ID: 20-0293
SITE ADDRESS: 159 HATHAWAY ROAD, NEW BEDFORD, MA.

SHEET NO. P3.0
PROJ.# XXXXXX
RISER DIAGRAMS

BOHLER ENGINEERING

45 Franklin Street
5th Floor
Boston, MA 02110
PHONE 617.849.8040

July 10, 2019

City of New Bedford
Planning Board
133 William Street, Room 303
New Bedford, MA 02740

Attention: Kathryn Duff, Planning Board Chair

Re: Site Plan Review Application
McDonald's Restaurant (20-0293)
159 Hathaway Road
New Bedford, MA

Dear Ms. Duff:

On behalf of the Applicant McDonald's USA, LLC, Bohler Engineering is pleased to submit the attached Site Plan Review Application for the existing McDonald's restaurant.

Enclosed, please find the following in support of our submission for the above referenced project:

- Sixteen (16) copies of the Completed Application Form;
- Sixteen (16) copies of the Completed Site Plan Review Application Checklist;
- Four (4) sets of full-sized & twelve (12) sets of reduced sized "Site Development Plans", prepared by Bohler Engineering, sheets C1-C9 of 9, revised July 2, 2019;
- Four (4) sets of full-sized & twelve (12) sets of reduced sized "Boundary & Partial Topographic Survey", prepared by Control Point Associates, Inc., sheet 1 of 1, dated August 31, 2017;
- Four (4) sets of full-sized & twelve (12) sets of reduced sized Architectural Drawings, prepared by SkyBorne Technologies, sheets 1-32 of 32, revised May 24, 2019;
- Sixteen (16) copies of the Project Narrative;
- Four (4) copies of Notarized Proof of Ownership and associated documents;
- Sixteen (16) copies of Sign Details;
- Sixteen (16) copies of Lighting specification sheets;
- Sixteen (16) Certified Abutter's Lists pages 1 through 4 of 4;
- Sixteen (16) copies of Rejection Packet;
- One (1) CD with electronic PDF and AutoCAD files; and
- One (1) check in the amount of $600.00 made payable to City of New Bedford for Site Plan Review fee.

I. PROJECT NARRATIVE

In an effort to improve their existing restaurant, McDonald's is proposing upgrades to the drive-thru features, a proposed cash booth addition (minor building addition of 30 square feet), minor site improvements to ensure AAB & MAAB accessibility compliance and exterior/interior building remodel associated with McDonald's re-branding. The upgrades to the drive-thru include replacing the existing menu board and order point with McDonald's current digital features to improve customer visibility and ordering efficiency. Building improvements include updating the architectural style to McDonald's current standards, which have a more contemporary look, and a cash booth building addition to replace the existing cash booth to provide more efficient spacing between the drive-thru windows.

BOHLER™
ENGINEERING

45 Franklin Street
5th Floor
Boston, MA 02110
PHONE 617.849.8040

The proposed site improvements will result in no change in parking count within the lease area (32 spaces). South of the lease area, the existing parking field, currently in use as part of the restaurant's existing operation, will be reconfigured to include two AAB/MAAB compliant spaces, as well as one additional parking space. The proposed site improvements will cause minimal change to the existing drainage patterns and the existing drainage system will remain. The proposed improvements will not affect the existing operation of truck deliveries and movement within the site. Furthermore, the existing snow storage areas on-site will remain unchanged and proposed snow storage areas have been indicated on the Site Plans. The existing lighting fixtures will remain on-site. Additionally, the existing landscaping will remain as is and any minor proposed landscaping will be done by the owner/operator.

Additionally, because the McDonald's restaurant is an existing operation, the proposed improvements will cause minimal change to traffic patterns and will not require a Traffic Impact & Access Study or a Development Impact Statement. The estimated time required to complete the proposed project is projected to be approximately 100-120 days. The estimated project costs are approximately as follows; $373,000 for building cost; $40,000 for electrical, $15,000 for plumbing; and $150,000 for site work.

We respectfully request that the Planning Board review the attached materials and schedule the Applicant to be heard at the Planning Board meeting on August 7th. Should you have any questions or require any further information, please do not hesitate to contact me at (617) 849-8040.

Sincerely,

BOHLER ENGINEERING

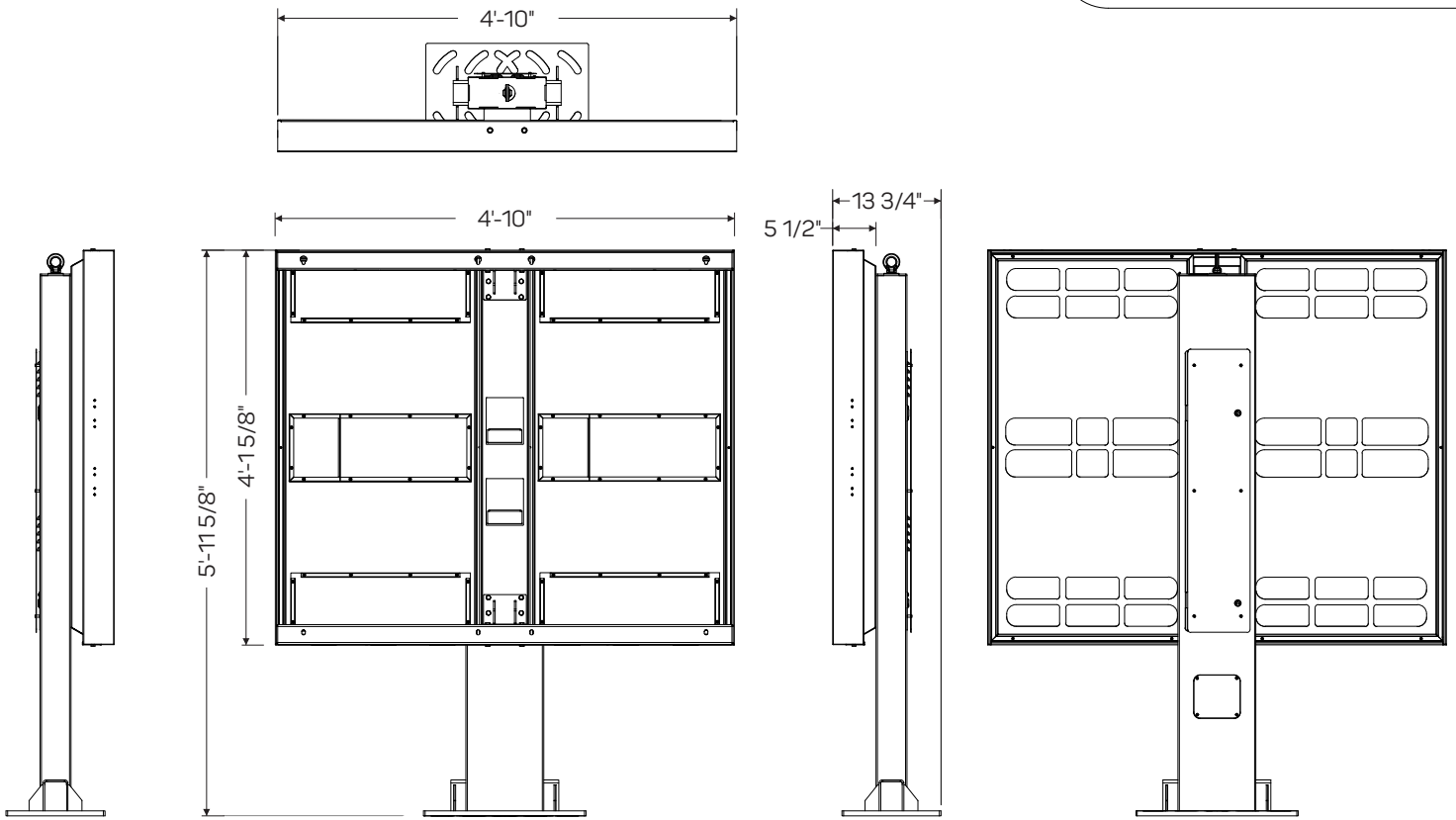
William E. Lucas III

MB

Frame	**Hot dip galvanized + anti-graffiti powder coated steel**
Brackets	**Hot dip galvanized**
Panels	**Aluminium + anti-graffiti powdercoat**
Access fasteners	**Security Torx**
Media player access	**Dual camlock**
Eyebolt	**Stainless crane on**
Baseplate	**McDonalds spec triple mounting pattern option**

ODMB 02 DOUBLE

Displays	**2 x Samsung OH55F**
Hardware	**2 x Stratacache Spectra NG**
Heating/Cooling	**Watlow 100W Heater** **Sunon 120mm AC Fan**
Power Supply Units	**2 x 60W DC Media Player Power Supply**
Power Cables	**2 x IEC Power Cables**
Electrical Components	**Isolated Ground** **2 x IG Receptacles** **20A Circuit Breaker**
Communication Cables	**4 x HDMI** **2 x RS232**
Certification	**UL Certified**



SCALE: 1/2" = 1'-0"

GRAPHIC DETAIL
NOT TO SCALE

Customer:	Date:	Prepared By:	Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.
MCDONALD'S	8-23-18	MR	

Eng: -

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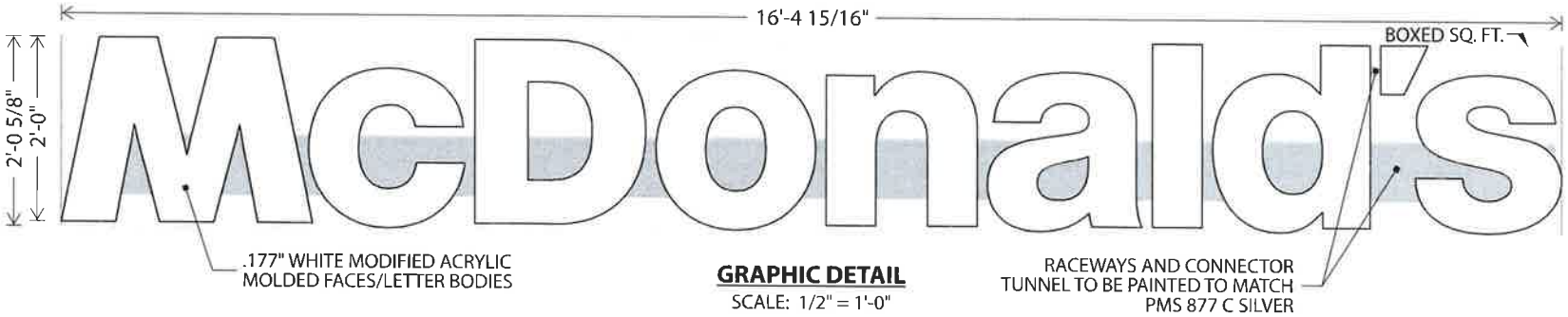
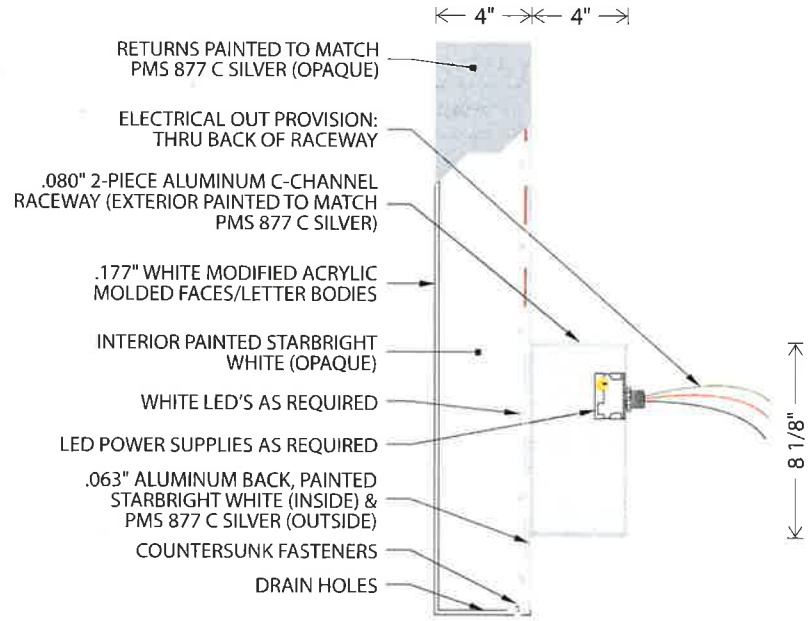


GRAPHIC DETAIL
SCALE: 1/2" = 1'-0"



LETTER PROFILE
SCALE: 1 1/2" = 1'-0"

NOTES:

.177" MOLDED WHITE MODIFIED ACYLIC LETTER BODIES INSTALLED ON ALUMINUM BACKS
EXTERIOR FINISH: MATCH PMS 877 C SILVER (OPAQUE); BACKS PAINTED PMS 877 C SILVER
INTERIOR FINISH: STARBRIGHT WHITE (OPAQUE)
LETTER BODIES REMOVABLE FOR SERVICE ACCESS
ACCESS PANEL BEHIND LETTER "n" FOR RACEWAY ACCESS
U.L. APPROVED
ELECTRICAL: 2.50 AMPS, 120 VOLTS
SQUARE FOOTAGE:
BOXED = 33.38
ACTUAL = 19.53

Customer:	Date:	Prepared By:	Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.
McDONALD'S	07/31/12	RA	
Item Number: MCD-24WORDMARK-S	File Name: MCD 24" WORDMARK		Revision: -

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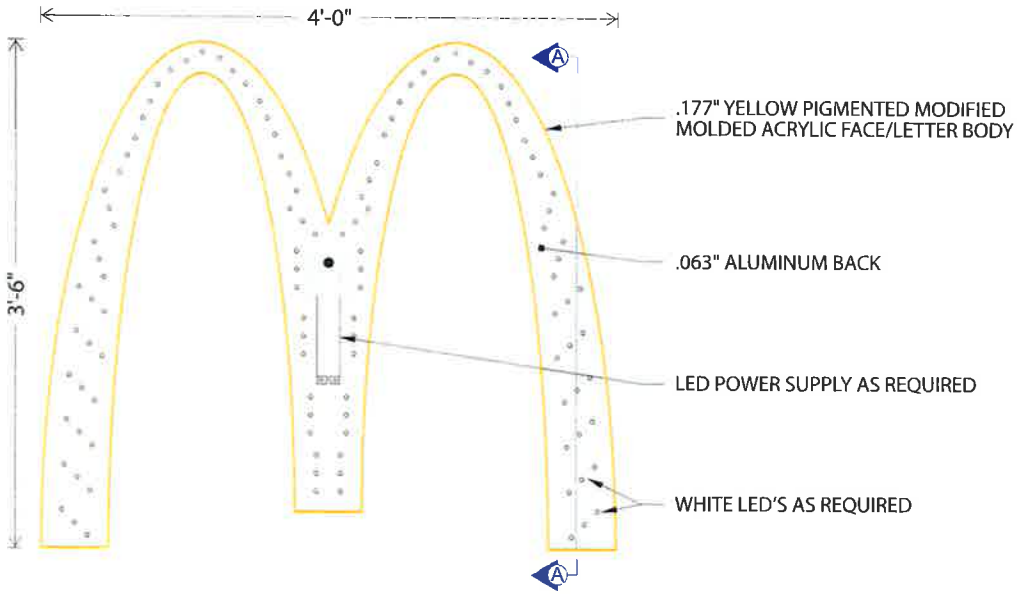
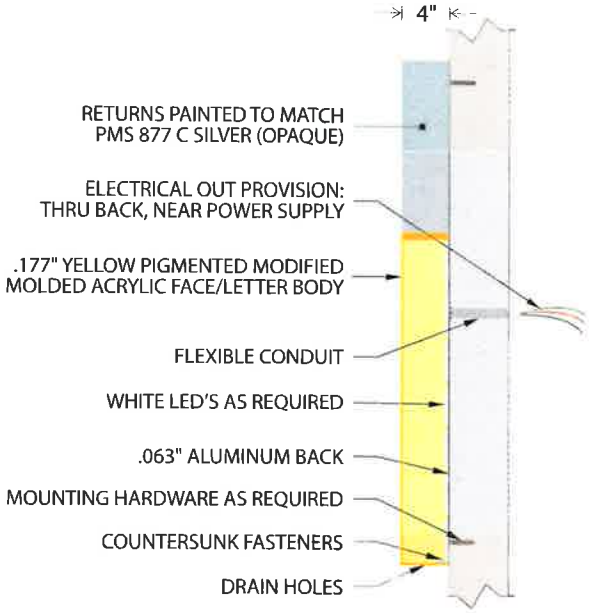


FRAME & LAMP DETAIL
SCALE: 3/4" = 1'-0"



CROSS SECTION A-A
SCALE: 3/4" = 1'-0"

GRAPHIC DETAIL
SCALE: 3/4" = 1'-0"

FRAME DETAIL:
DESIGN FACTOR: TBD
.177" FORMED YELLOW PIGMENTED (PMS 123 C) MODIFIED ACRYLIC FACE/LETTER BODY
EXTERIOR FINISH: PAINTED TO MATCH PMS 877 C SILVER (OPAQUE)
INTERIOR FINISH: PAINTED STARBRIGHT WHITE (OPAQUE)
.063" ALUMINUM BACK - PAINTED STARBRIGHT WHITE
LETTER BODY REMOVABLE FOR SERVICE ACCESS
U.L. APPROVED
ELECTRICAL: 0.85 AMPS, 120 VOLTS
SQUARE FOOTAGE:
BOXED = 14.00
ACTUAL = 4.90

Customer: **McDONALD'S**	Date: **08/01/12**	Prepared By: **RA**	Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.
Item Number: MCD-42WALLARCHNG-S	File Name: **McD 42" Wall Arch (Next Gen)**		Revision: -

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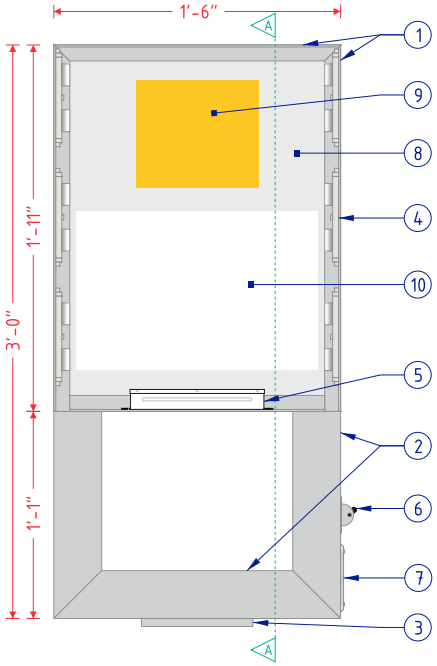
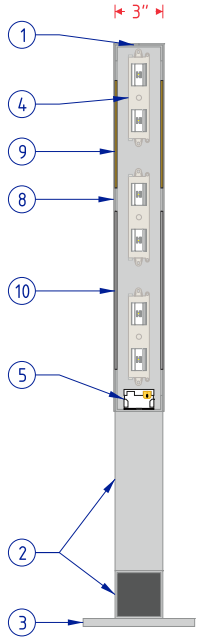
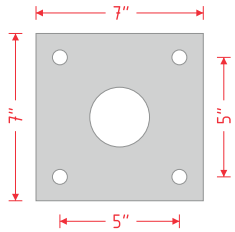


FRAME & LAMP DETAIL
SCALE: 1" = 1'-0"



CROSS SECTION A-A
SCALE: 1" = 1'-0"



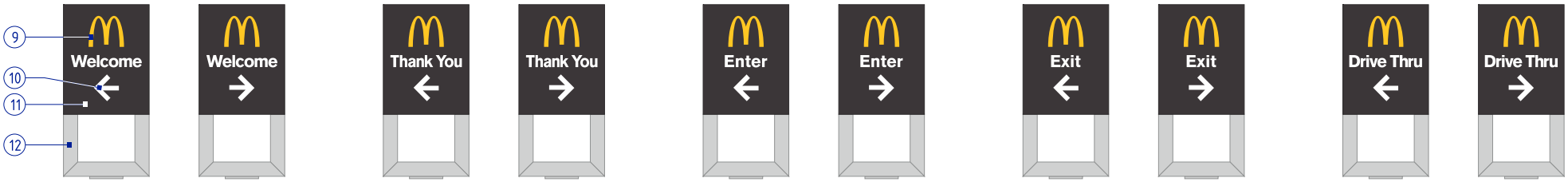
1/2" X 7" X 7" ALUMINUM PLATE
5/8" BOLT HOLES
2 1/2" CENTER HOLE

PLATE DETAIL
SCALE: 1 1/2" = 1'-0"

MCDONALD'S 36" NEXT GEN DIRECTIONAL SPECIFICATIONS	
NO.	PART/DESCRIPTION
1	3" X 1" X 1/8" ALUMINUM C-CHANNEL
2	3" X 3" X 1/8" ALUMINUM TUBE
3	MOUNTING PLATE (SEE PLATE DETAILS)
4	WHITE LED'S AS REQUIRED
5	LED POWER SUPPLIES AS REQUIRED
6	DISCONNECT SWITCH
7	ELECTRICAL CONNECTION ACCESS THROUGH COVER
8	.080" ROUTED ALUMINUM SHOEBOX FACES
9	.118" NG YELLOW SOLAR GRADE POLYCARBONATE BACKER PANEL
10	.118" NG WHITE SOLAR GRADE POLYCARBOANTE BACKER PANEL
11	POWDERCOAT HENTZEN #P90353APC (OR PAINT TO MATCH)
12	PANT TO MATCH SILVER OR METALLIC GRAY

NOTES:

- DESIGN FACTOR: TO BE DETERMINED
- 3" X 1/8" ALUMINUM C-CHANNEL FRAME
- ROUTED ALUMINUM SHOEBOX FACES
- EXTERIOR FINISH:
  FACES - POWDERCOAT HENTZEN #90353APC (OR PAINT TO MATCH)
  TUBES AND PLATE - PAINT SILVER OR METALLIC GRAY
- INTERIOR FINISH: PAINT REFLECTIVE WHITE
- FACES REMOVABLE FOR SERVICE ACCESS
- U.L. LISTED
- ELECTRICAL: 0.30 AMPS/120 VOLTS
- SQUARE FOOTAGE:
  FACE = 2.88
  DISPLAY = 4.50



MCD-NG36DIRARCHWEL-S
MCD-NG36DIRARCHTY-S
MCD-NG36DIRARCHENT-S
MCD-NG36DIRARCHEXIT-S
MCD-NG36DIRARCHDT-S

GRAPHIC DETAIL
SCALE: 3/8" = 1'-0"

Customer: MCDONALD'S	Date: 05/13/16	Prepared By: RA	Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.
Item Number: MCD-NG36DIRARCHWEL-S, MCD-NG36DIRARCHTY-S, MCD-NG36DIRARCHENT-S, MCD-NG36DIRARCHNXT-S, MCD-NG36DIRARCHDT-S	File Name: MCD 36" NEXT GEN DIRECTIONAL SIGN		Revision: -

persōna
SIGNS | LIGHTING | IMAGE
DISTRIBUTED BY SIGN UP COMPANY
700 21st Street Southwest
PO Box 210
Watertown, SD 57201-0210
1.800.843.9888 • www.personasigns.com

DIRECTIONAL ELEVATION
SCALE: 1" = 1'-0"

Customer: MCDONALD'S	Date: 05/13/16	Prepared By: RA	Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.
Item Number: MCD-NG36DIRARCHWEL-S	File Name: MCD 36" NEXT GEN DIRECTIONAL SIGN		Revision: -

persōna
SIGNS | LIGHTING | IMAGE

DISTRIBUTED BY SIGN UP COMPANY
700 21st Street Southwest
PO Box 210
Watertown, SD 57201-0210
1.800.843.9888 • www.personasigns.com

HIRAF HIGH EFFICIENCY LINEAR LED FAÇADE FIXTURE

The HIRAF Linear Facade Lighting System is a holistic LED lighting solution designed from a clean slate to maximize the lighting effect for marketing your building as your brand while keeping energy usage and maintenance to an absolute minimum. Thanks to its intuitive plug and play mounting design with integral driver system, installation is quick and simple and only requires that power be brought to one fixture in each continuous row. The long life LED source minimizes maintenance to only an occasional cleaning of outer lens surfaces. This system is truly a "set it and forget it" solution only from Security Lighting!

FEATURES:

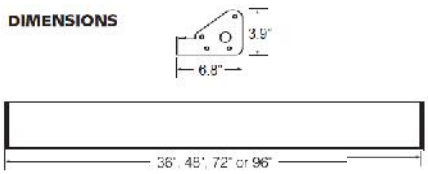
- Extruded aluminum construction, finished in weather proof powder-coat paint
- Tempered glass lenses
- Fully integrated driver for completely self-contained lighting system
- Aluminum mounting brackets are finished in powder-coat paint and each order ships with a formed drilling template
- Power feed required only at beginning of each continuous row, subsequent fixtures plug together in series
- Fixtures available in up and down light, down light only or up light only
- 60,000 hour long life LED illumination
- 5000K color temperature standard +/- 50 CCT
- 80 CRI standard
- Linear Façade Fixture (14 watts per foot)

SAMPLE CATALOG NUMBER

HIRAF-HE- LED-XX – XX – X – XX

Series	Source	Size	Distribution	Voltage	Finish
		48 4-foot 36 3-foot 24 2-foot	UD up and down light (14 watts per foot) DO down light only (8.5 watts per foot) UO up light only (5.75 watts per foot)	U = universal 120 to 277 volt	PS Platinum Silver DB Dark Bronze WH White BK Black RAL and custom color Consult factory

DIMENSIONS



HIRAF HE	HIRAF HE INPUT WATTS	LUMENS/FOOT
HIRAFHELED48DOUPS	17.4	600 Down
HIRAFHELED36DOUPS	13.1	600 Down
HIRAFHELED24DOUPS		
HIRAFHELED48UDUPS	31.1	600 Down 450 Up
HIRAFHELED36UDUPS	23.3	600 Down 450 Up
HIRAFHELED24UDUPS		600 Down 450 Up

NEW ENHANCEMENTS:

- **Increased light uniformity**
- **Low-power LED's to provide 50% reduced energy consumption**
- **Cooler operating temps increases driver life**
- **Ease of Installation**
- **Ease of Serviceability**
- **All new construction and design for enhanced product lifetime performance and reliability.**

Web: www.securitylighting.com
2100 Golf Road, Suite 460, Rolling Meadows, IL 60008-4704
Phone: 1-800-LIGHT IT, 1-800-544-4848, Fax: 847-279-0642

RADIUS LED WALL SCONCE

DESIGNLIGHTS CONSORTIUM
PENDING DOWN LIGHT ONLY

Architectural wallpack with molded contours to accentuate building architecture. Provides excellent illumination with a high efficiency LED light source.

72 or 36 mid-power LEDs deliver up to 2835 lumens and up to 144 lumens per watt.

FEATURES

- Durable cast aluminum housing
- Available in various lighting distributions for maximum versatility
- Integrated design eliminates high angle brightness
- Luminaire finished in weatherproof powder-coat paint
- Completely sealed, flat tempered glass lenses suitable for use in wet location
- Downlight only, full cut-off Dark Sky compliant

Fixture Specifications

Operating Temperature

- -30*c to + 40*c

Electrical:

- 120-227 volt universal driver
- 30w LED Driver 350mA output current – down only
- 50w LED Driver 350mA output current – up/down
- Min-Max temp for drivers
  - -30*c to + 60*c – Operating Temperature
  - 90*C MAX case Temp

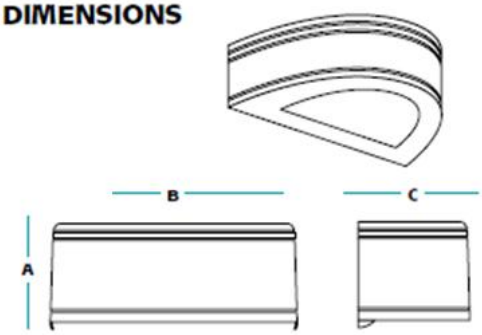
Controls:

- Dimming is an option (consult factory)

Listings:

- UL listed for use in wet locations
- DLC pending, down only

DIMENSIONS



A	B	C
7.25"	18.0"	9.0"

Ordering Information:

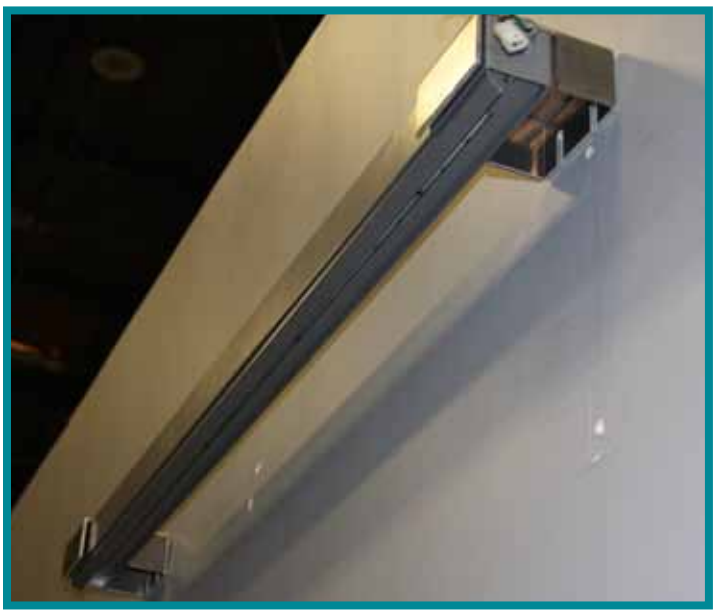
RWSC	-	72L	3K	-	UD	-	U	-	PS	-	
Family		# of LED's	CCT		Distribution		Voltage		Finish		Control Options
RWSC Radius		**36L** 36 Mid-Power LED's	**3K** 3000K		**DO** Down Only		**U** 120-277 Volts		**DB** Dark Bronze		**PC** Photocontrol
		72L 72 Mid-Power LED's	**5K** 5000K		**UD** Up/Down				**BK** Black		**SCO** Motion Sensor
									WH White		
									PS Platinum Silver		

1. 36L Only available in DO distribution
2. 72L Only available in UD distribution

Performance Data:

#of LEDs	Color Temp	Driver Current	System Watts	DIST TYPE	Lumens	LPW
36	3000K	350mA	14W	DOWN ONLY	1,539	110
36	5000K	350mA	14W	DOWN ONLY	1,620	116
72	3000K	350mA	25W	UP/DOWN	1,155 / 1,539 total = 2,694	110
72	5000K	350mA	25W	UP/DOWN	1,215/1,620 total= 2,835	116

SLED LINEAR LED FACADE FIXTURE



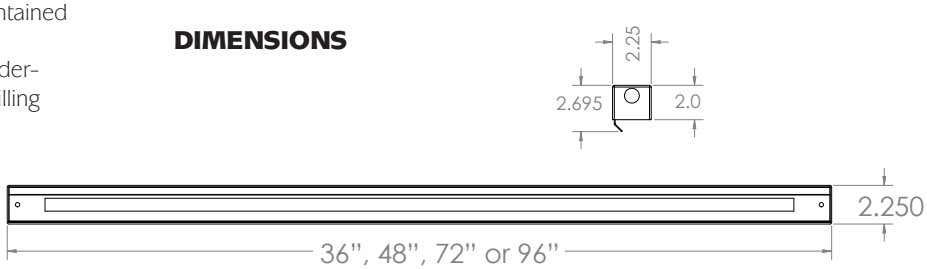
The NEW SLED Linear Facade fixture packs a powerful punch of illumination for the exterior of your restaurant. With the plug and play mounting design, and integral driver system, installation is quick and simple and only requires that power be brought to one fixture in each continuous row. The long life LED source minimizes maintenance to only an occasional cleaning of outer lens surfaces. This system is truly a "set it and forget it" solution, only from Security Lighting!

Fixture Specifications

FEATURES

- Formed aluminum construction, finished in weatherproof powder-coat paint
- Tempered glass lenses
- Power feed required only at beginning of each continuous row; subsequent fixtures plug together in series
- Fully integral driver system for completely self-contained lighting system
- Aluminum mounting brackets are finished in powder-coat paint and each order ships with a formed drilling template for ease of installation
- 70 CRI standard
- 5200K color temperature standard. Consult factory for others.
- 50,000 hour long life LED illumination
- Fixtures available in down light only applications

DIMENSIONS



ORDERING INFORMATION

SAMPLE CATALOG NUMBER

SLED	LED	XX	DO	XXX	PS
Series	Source	Size	Distribution	Voltage	Finish

SERIES

SLED	Linear Façade Fixture

SOURCE

LED	LED

SIZE	WATTS	NUMBER OF LED'S
48 4-Foot	50 W	24 LED
36 3-Foot	30W	18 LED

DISTRIBUTION

DO	Down Light Only

VOLTAGE

120	120-Volt
277	277-Volt

FINISH

Standard:

PS =	Platinum Silver
WH =	White
BL =	Black
DB =	Dark Bronze

Custom Color: Consult Factory

ACCESSORIES

HIRAFLEDWHIPKIT	Power whip kit (one required per row of fixtures or one per fixture if not mounting continuous row)

SECURITY LIGHTING SYSTEMS

A HUBBELL LIGHTING, INC. COMPANY

Performance Designed Lighting Products

www.securitylighting.com

1085 Johnson Drive • Buffalo Grove, IL 60089 • TOLL-FREE: 800-544-4848 • PHONE: 847-279-0627 • FAX: 847-279-0642

City of New Bedford

REQUEST *for a* CERTIFIED ABUTTERS LIST

This information is needed so that an official abutters list as required by MA General Law may be created and used in notifying abutters. You, as applicant, are responsible for picking up and paying for the certified abutters list from the assessor's office (city hall, room #109).

MAY 22 2019

SUBJECT PROPERTY			
MAP #	101	LOT(S)#	14
ADDRESS: 159 Hathaway Road, New Bedford, MA			
OWNER INFORMATION			
NAME: S B Realty LLC			
MAILING ADDRESS: 92 Killburn Street, New Bedford, MA 02740			
APPLICANT/CONTACT PERSON INFORMATION			
NAME (IF DIFFERENT): Doug Fox - Bohler Engineering			
MAILING ADDRESS (IF DIFFERENT): 45 Franklin Street, Floor 5, Boston, MA 02110			
TELEPHONE #	(617) 849-8040		
EMAIL ADDRESS:	dfox@bohlereng.com		

REASON FOR THIS REQUEST: *Check appropriate*	
✓	ZONING BOARD OF APPEALS APPLICATION
✓	PLANNING BOARD APPLICATION
	CONSERVATION COMMISSION APPLICATION
	LICENSING BOARD APPLICATION
	OTHER (*Please explain*):

Once obtained, the Certified List of Abutters must be attached to this Certification Letter.

Submit this form to the Planning Division Room 303 in City Hall, 133 William Street. You, as applicant, are responsible for picking up and paying for the certified abutters list from the assessor's office (city hall, room #109).

Official Use Only:

As Administrative Assistant to the City of New Bedford's Board of Assessors, I do hereby certify that the names and addresses as identified on the attached "abutters list" are duly recorded and appear on the most recent tax.

Carlos Amado	Carlos Amado	5/23/2019
Printed Name	Signature	Date

May 22, 2019
Dear Applicant,

Please find below the List of Abutters within 300 feet of the property known as 159 Hathaway Road (Map: 101, Lot: 14). The current ownership listed herein must be checked and verified by the City of New Bedford Assessor's Office. Following said verification, the list shall be considered a Certified List of Abutters.

Please note that multiple listed properties with identical owner name and mailing address shall be considered duplicates and shall require only 1 mailing. Additionally, City of New Bedford-Owned properties shall not require mailed notice.

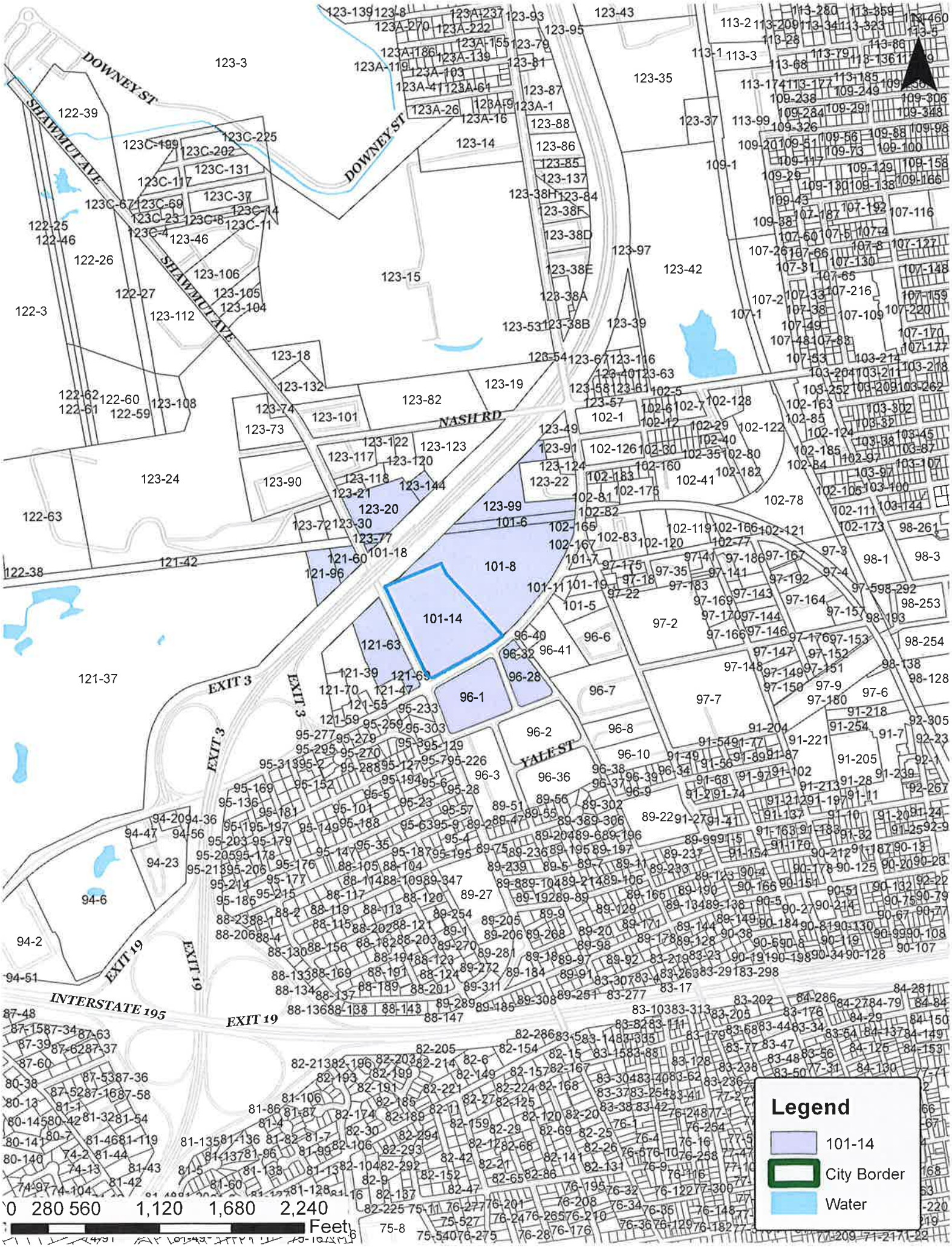
Parcel	Location	Owner and Mailing Address
96-28	413 HIGHLAND ST	N B HOUSING AUTHORITY TR, BRICKENWOOD 134 SO SECOND ST NEW BEDFORD, MA 02740
121-69	953 SHAWMUT AVE	RODNEY STREET REAL ESTATE LLC, 32 PIERCE STREET ROCHESTER, MA 02770
96-1	37 WALKER ST	N B HOUSING AUTHORITY TR, BRICKENWOOD 134 SO SECOND ST NEW BEDFORD, MA 02740
121-60	1069 SHAWMUT AVE	SHAWMUT ASSOCIATES LLC, 1245 SHAWMUT AVENUE NEW BEDFORD, MA 02745
121-96	ROUTE 140	SHAWMUT ASSOCIATES LLC, 1245 SHAWMUT AVENUE NEW BEDFORD, MA 02745
101-18	SHAWMUT AVE	~~BORETTI LISA ANN `TRS`, 19 HATHAWAY ROAD TRUST II~~ Washburn Realty LLC ~~319 LINCOLN STREET~~ 92 Kilburn Street ~~HINGHAM, MA 02043~~ New Bedford, MA 02740
101-6	RIGHT OF WAY	PENN CENTRAL CO, CONSOLIDATED RAIL CORP 500 WATER STREET DEPT J910 JACKSONVILLE, FL 32202
123-20	1080 SHAWMUT AVE	CHARTER REALTY CORP, 1080 SHAWMUT AVE NEW BEDFORD, MA 02746
123-144	NASH RD	CHARTER REALTY CORP, 1080 SHAWMUT AVE NEW BEDFORD, MA 02746
123-99	MT PLEASANT ST	~~BROTHERS REALTY CORP;~~ 479 Mount Pleasant Street LLC 479 MT PLEASANT ST NEW BEDFORD, MA 02746
123-77	RIGHT OF WAY	PENN CENTRAL CO, CONSOLIDATED RAIL CORP 500 WATER STREET DEPT J910 JACKSONVILLE, FL 32202
101-14	133-151 HATHAWAY RD	S B REALTY LIMITED PARTNERSHIP, 92 KILBURN STREET NEW BEDFORD, MA 02740
101-8	19 HATHAWAY RD	~~BORETTI LISA ANN `TRS`, 19 HATHAWAY ROAD TRUST II~~ Washburn Realty LLC ~~319 LINCOLN STREET~~ 92 Kilburn Street ~~HINGHAM, MA 02043~~ New Bedford, MA 02740

May 22, 2019
Dear Applicant,

Please find below the List of Abutters within 300 feet of the property known as 159 Hathaway Road (Map: 101, Lot: 14). The current ownership listed herein must be checked and verified by the City of New Bedford Assessor's Office. Following said verification, the list shall be considered a Certified List of Abutters.

Please note that multiple listed properties with identical owner name and mailing address shall be considered duplicates and shall require only 1 mailing. Additionally, City of New Bedford-Owned properties shall not require mailed notice.

Parcel	Location	Owner and Mailing Address
121-63	969 SHAWMUT AVE	969 SHAWMUT AVENUE LLC, 969 SHAWMUT AVENUE NEW BEDFORD, MA 02746


DOWNEY ST
SHAWMUT AVE
NASH RD
YALE ST
EXIT 3
EXIT 19
INTERSTATE 195
101-14
Legend
101-14
City Border
Water
0 280 560 1,120 1,680 2,240
Feet

IX. HOMEOWNER LICENSE EXEMPTION

Supplement #1
The current exemption for **"homeowner"** was extended to include **owner-occupied dwellings** of two units or less and to allow such homeowners to engage an individual for hire who does not possess a license, **provided that the owner acts as supervisor.** (State Building Code Section 110.5)

DEFINITION OF HOMEOWNER:
Person(s) who own a parcel of land on which he/she resides or intends to reside, on which there is, or is intended to be, a one to two family dwelling, attached or detached structures accessory to such use and /or farm structures. A person who constructs more than one home in a two-year period shall not be considered a homeowner. Such "homeowner shall submit to the Building Official, on a form acceptable to the Building Official, that **he/she shall be responsible for all such work performed under the building permit.** (Section 110.5)

The undersigned "homeowner assumes responsibility for compliance with the State Building Code and other applicable codes, ordinance, rules and regulations, and will comply with the City of New Bedford Building Department minimum inspection procedures and requirements.

HOMEOWNERS SIGNATURE _____

X. CONSTRUCTION DEBRIS DISPOSAL

Supplement #2
In accordance with provisions of Massachusetts General Law C40, S54, debris resulting form this work shall be disposed of in a properly licensed solid waste disposal facility as defined by Massachusetts General Law C111, S150A

The debris will be disposed of in: _____
(Location of Facility)

Signature of Permit Applicant _____ Date _____

XI. HOME IMPROVEMENT CONTRACTOR LAW AFFIDAVIT

(Residential Use Only) Supplement to Permit Application
Supplement #3
MGLc. 142 A requires that the **"reconstruction, alteration, renovation, repair, modernization, conversion, improvement, removal, demolition, or construction of an addition to any pre-existing owner-occupied building containing at least one but not more than four dwelling units... or to structures which are adjacent to such residence of building"** be conducted by registered contractors, with certain exceptions, along with other requirements.

Type of Work: Alterations Est. Cost _____

Address of Work 159 Hathaway Road

Owner Name: _____ Date of Permit Application: _____

I hereby certify that: Registration is not required for the following reason(s):

_____ Work excluded by law _____ Job under $1,000 _____ Building not owner-occupied _____ Owner obtaining own permit

Other (specify) _____

Notice is hereby given that:
OWNERS OBTAINING THEIR OWN PERMIT OR EMPLOYING UNREGISTERED CONTRACTORS FOR APPLICABLE HOME IMPROVEMENT WORK DO NOT HAVE ACCESS TO THE ARBITRATION PROGRAM OF GUARANTY FUND UNDER MGLC. 142A.

signed under penalties of perjury:
I hereby apply for a permit as the agent of the owner:

Date _____ Contractor Signature _____ Registration No. _____

OR:
Notwithstanding the above notice, I hereby apply for a permit as the owner of the above property:

Date _____ Owner Signature _____

XII. BUILDING COMMISSIONERS REVIEW COMMENTS AND CONDITIONS

C. Building Permit Rejected ☒ Site Plan Review – Planning Board

Reason For Rejection:

"See Attachments"

Fee

Permit #

Comments and Conditions:

Signed Jeanette L. Rosnowicz Date: 6/20 20 19

Title Building Commissioner

Not valid unless signed (not stamped) by Building Commissioner

CITY OF NEW BEDFORD
JONATHAN F. MITCHELL, MAYOR

DEPARTMENT OF INSPECTIONAL SERVICES
133 WILLIAM STREET – ROOM 308
NEW BEDFORD, MA 02740

New Bedford Comprehensive Zoning Code Review
Code of Ordinances – Chapter-9

159 Hathaway Road – PLOT: 101 – LOT: 14 – ZONED DISTRICT: IB
Site Plan Review Required from the Planning Board

Zoning Code Review as follows:

Site Plan Review

❖ **SECTIONS**

- **5400 – Site Plan Review**
- **5410 – Purpose**
- **5420 – Applicability**
  - **5423 – Any new construction or expansion of existing construction where a drive-thru window for any service including self-service is proposed; and any expansion of a structure presently containing a drive-thru; or any facility currently containing a drive-thru, at which the owner or operator of the drive-thru is altered or changed; or at which the drive-thru is closed for a period of 10 days or more and to be reopened.**
- **5430-5490B**

5400. - SITE PLAN REVIEW.

5410. Purpose. The purpose of this Section is to provide for individual detailed review of development proposals which have an impact on the natural or built environment of the City in order to promote the health, safety and general welfare of the community; to ensure adequate parking, safe and accessible pedestrian and vehicular circulation; and to minimize traffic impact on City streets.

(Ord. of 12-23-03, § 1)

5420. Applicability. The following types of activities and uses require site plan review by the Planning Board:

5421. Any new industrial or commercial construction or expansion over two thousand (2,000) gross square feet or any new industrial or commercial construction or expansion requiring more than five (5) additional parking spaces;

5422. New multiple-family residential construction of three (3) or more units or expansion of existing multifamily residential structures resulting in the creation of one or more additional units.

5423. Any new construction or expansion of existing construction where a drive-thru window for any service including self-service is proposed; and any expansion of a structure presently containing a drive-thru; or any facility currently containing a drive-thru, at which the owner or operator of the drive-thru is altered or changed; or at which the drive-thru is closed for a period of 10 days or more and to be reopened.

5424. Any residential subdivision which is submitted under the subdivision control process;

5425. New industrial or commercial construction or additions less than two thousand (2,000) square feet if requiring a new curb cut or driveway or if substantially affecting existing internal circulation.

5426. Driveways in residential areas which require more than one new curb cut.

5427. Commercial or industrial ground signs.

(Ord. of 12-23-03, § 1; Ord. of 12-31-08, § 1)

5430. Procedures. Applicants for site plan approval shall submit seventeen (17) copies of the site plan to the Planning Board for distribution to City departments and commissions for their review. The Planning Board shall review and act upon the site plan, with such conditions as may be deemed appropriate and notify the applicant of its decision. In the event two (2) meetings have lapsed after the application for site plan approval is filed, without the Planning Board taking action on said site plan said Applicant may file a statement with the Board that the Board has received complete information in accordance with this Ordinance and has had adequate time to consider the Site Plan. Upon receiving said statement, the Planning Board shall act on said Site Plan at its next meeting, if said Board determines that the Board has, in fact, received complete information in accordance with this Ordinance. The decision of the Planning Board

shall be a vote of a majority of the members of the Planning Board and shall be in writing. No building permit, for activities requiring site plan approval, shall be issued by the Inspector of Buildings without the written approval of the site plan by the Planning Board.

5431. Application for Building Permit. An application for a building permit to perform work as set forth in Section 5410 available as of right shall be accompanied by an approved site plan.

5432. Application for Special Permit or Variance. An application for a special permit or a variance to perform work as set forth in Section 5420 shall be accompanied by an approved site plan; in the alternative, any special permit or variance granted for work set forth in Section 5420 shall contain the following condition and cause the same to be written on such special permit or variance:

> The work described herein requires the approval of a site plan by the New Bedford Planning Board pursuant to Section 5400 of the Zoning Ordinance. Any conditions imposed in such site plan approval shall also be conditions of this special permit/variance.

5433. Where the Planning Board approves a site plan "with conditions", and said approved site plan accompanies a special permit or variance application to the Board of Appeals, the conditions imposed by the Planning Board shall be incorporated into the issuance, if any, of a special permit or variance by the Board of Appeals.

5434. Where the Planning Board serves as the special permit granting authority for proposed work, it shall consolidate its site plan review and special permit procedures.

5435. The applicant may request, and the Planning Board may grant by majority vote of its' membership, an extension of the time limits set forth herein.

5436. No deviation from an approved site plan shall be permitted without modification thereof.

5437. Site plan approval does not constitute a certification that the proposed plan conforms to applicable zoning regulations, wetland regulations and/or any other City, state or federal requirements that must be obtained prior to implementation the of elements of the site plan.

(Ord. of 12-23-03, § 1)

5440. Preparation of Plans. Applicants are invited to submit a pre-application sketch of the proposed project to the Planning Department and are encouraged to schedule a pre-submission meeting with the Planning Department. Site Plans shall be submitted on 24-inch by 36-inch sheets. Plans shall be prepared by a Registered Professional Engineer, Registered Land Surveyor, Architect, or Landscape Architect, as appropriate. Dimensions and scales shall be adequate to determine that all requirements are met and to make a complete analysis and evaluation of the proposal. All plans shall have a minimum scale of 1" = 40'.

(Ord. of 12-23-03, § 1)

5450. Contents of Plan. The contents of the site plan are as follows:

5451. Plan sheets prepared at a scale of one inch equals forty (40) feet or such other scale as may be approved by the Planning Board. The plans are as follows:

5451.a. Site layout, which shall contain the boundaries of the lot(s) in the proposed development, proposed structures, general circulation plan for vehicles and pedestrians, drive-thru windows, curb cut locations, parking, fences, walls, walks, outdoor lighting including proposed fixtures, loading facilities, solid waste storage locations, and areas for snow storage after plowing. The first sheet in this plan shall be a locus plan, at a scale of one inch equals one hundred (100) feet, showing the entire project and its relation to existing areas, buildings and roads for a distance of one thousand (1,000) feet from the project boundaries or such other distance as may be approved or required by the Planning Board.

5451.b. Topography and drainage plan, which shall contain the existing and proposed final topography at two-foot intervals and plans for handling stormwater runoff drainage.

5451.c. Utility plan, which shall include all facilities for refuse and sewerage disposal or storage of all these wastes, the location of all hydrants, fire alarm and firefighting facilities on and adjacent to the site, all proposed recreational facilities and open space areas, and all wetlands including floodplain areas.

5451.d. Architectural plan, which shall include the ground floor plan, proposed exterior building materials, treatments and colors and architectural elevations of all proposed buildings and a color rendering where necessary to determine the proposal's affect on the visual environment.

5451.e. Landscaping plan, showing the limits of work, existing tree lines as well as those tree lines to remain, and all proposed landscape features and improvements including screening, planting areas with size and type of stock for each shrub or tree, and including proposed erosion control measures during construction.

5451.f. Lighting plan showing the location and orientation of all existing and proposed exterior lighting, including building and ground lighting. The plan shall note the height, initial foot-candle readings on the ground and the types of fixtures to be used.

5452. The site plan shall be accompanied by a written statement indicating the estimated time required to complete the proposed project and any and all phases thereof. There shall be submitted a written estimate, showing in detail the costs of all site improvements planned.

5453. A written summary of the contemplated project shall be submitted with the site plan indicating, where appropriate, the number of dwelling units to be built and the acreage in residential use, the evidence of compliance with parking and off-street loading requirements, the forms of ownership

contemplated for the property and a summary of the provisions of any ownership or maintenance thereof, identification of all land that will become common or public land, and any other evidence necessary to indicate compliance with this Ordinance.

5454. The site plan shall be accompanied by drainage calculations by a registered professional engineer as well as wetland delineations, if applicable. Storm drainage design must conform to City of New Bedford subdivision regulations.

5455. The Planning Board may require a DIS as set forth in Section 5300, above.

5456. Certification that the proposal is in compliance with the provisions, if applicable, of the Americans with Disabilities Act and the Massachusetts Architectural Barriers Board.

(Ord. of 12-23-03, § 1)

5460. **Waivers.** The Planning Board may, upon written request of the applicant, waive any of the submittal or technical requirements of Section 5430 and 5440 where the project involves relatively simple development plans.

(Ord. of 12-23-03, § 1)

5470. **Approval.** Site Plan approval shall be granted upon determination by the Planning Board that the plan meets the following objectives: The Planning Board may impose reasonable conditions at the expense of the applicant, including performance guarantees, to promote these objectives. Any new building construction or other site alteration shall provide adequate access to each structure for fire and service equipment and adequate provision for utilities and stormwater drainage consistent with the functional requirements of the Planning Board's Subdivision Rules and Regulations. New building construction or other site alteration shall be designed in the Site Plan, after considering the qualities of the specific location, the proposed land use, the design of building form, grading, egress points, and other aspects of the development, so as to:

5471. Minimize: the volume of cut and fill, the number of removed trees six-inch caliper or larger, the length of removed stone walls, the area of wetland vegetation displaced, the extent of stormwater flow increase from the site, soil erosion, and the threat of air and water pollution;

5472. Maximize: pedestrian and vehicular safety to and from the site;

5473. Minimize obstruction of scenic views from publicly accessible locations;

5474. Minimize visual intrusion by controlling the layout and visibility of parking, storage, or other outdoor service areas viewed from public ways or premises which are residentially used or zoned;

5475. Minimize glare from vehicle headlights and lighting fixtures;

5476. Minimize unreasonable departure from the character, materials, and scale of buildings in the vicinity, as viewed from public ways and places.

5477. Minimize contamination of groundwater from on-site wastewater disposal systems or operations on the premises involving the use, storage, handling, or containment of solid and liquid wastes and hazardous substances;

5478. Ensure compliance with the provisions of this Zoning Ordinance.

5479. Minimize damage to existing adjacent public ways.

5479A. Promote orderly and reasonable internal circulation within the site so as to protect public safety and not unreasonably interfere with access to a public way or circulation of traffic on a public way in general.

(Ord. of 12-23-03, § 1)

5480. Lapse. Site plan approval shall lapse after one year from the final approval if a substantial use in accordance with such approved plans has not commenced except for good cause. Such approval may, for good cause, be extended in writing by the Planning Board upon the written request of the applicant, within this one-year period.

(Ord. of 12-23-03, § 1)

5490. Regulations. The Planning Board may adopt and from time to time amend reasonable regulations for the administration of these Site Plan guidelines.

(Ord. of 12-23-03, § 1)

5490A. Fee. The Planning Board may, from time to time, adopt reasonable administrative fees and technical review fees for site plan review.

(Ord. of 12-23-03, § 1)

5490B. Appeal. Any person aggrieved by a decision of the Planning Board rendered pursuant to Section 5400 may appeal such decision to the Zoning Board of Appeals as provided in M.G.L.A. c. 40A, § 8.

(Ord. of 12-23-03, § 1)

Location: 159 HATHAWAY RD **Parcel ID:** 101 14 **Zoning:** IB **Fiscal Year:** 2019 **Card #: 3**

Current Sales Information:

Sale Date:

Current Owner Information:

S B REALTY LIMITED PARTNERSHIP

92 KILBURN STREET

NEW BEDFORD , MA 02740

Sale Price:

$0.00

Legal Reference:

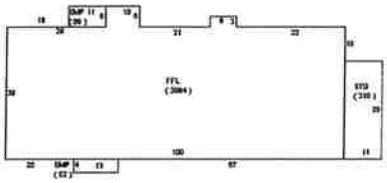
Grantor:

This Parcel has 8 cards :

- 1 - 2 - 3 - 4 - 5 - 6 - 7 - 8 -

This Parcel contains 0.000 acres of land mainly classified for assessment purposes as SHOP CTR with a(n) FAST FOOD style building, built about 1986, having Brick exterior, Tar&Gravel roof cover and 3984 Square Feet, with 1 unit(s), total room(s), total bedroom(s) 0 total bath(s), 0 3/4 baths, and 2 total half bath(s).

Building Value:	**Land Value:**	**Yard Items Value:**	**Total Value:**
624500	0	0	624500



Fiscal Year 2019		**Fiscal Year 2018**		**Fiscal Year 2017**	
Tax Rate Res.:	16.47	Tax Rate Res.:	16.63	Tax Rate Res.:	16.69
Tax Rate Com.:	34.84	Tax Rate Com.:	35.65	Tax Rate Com.:	36.03
Property Code:	323	Property Code:	323	Property Code:	323
Total Bldg Value:	501800	Total Bldg Value:	2383700	Total Bldg Value:	2382200
Total Yard Value:	0	Total Yard Value:	156100	Total Yard Value:	156100
Total Land Value:	0	Total Land Value:	1649200	Total Land Value:	1649200
Total Value:	501800	**Total Value:**	4189000	**Total Value:**	4187500
Tax:	$164,068.53	**Tax:**	$149,337.85	**Tax:**	$150,875.63

Disclaimer: Classification is not an indication of uses allowed under city zoning.
This information is believed to be correct but is subject to change and is not warranteed.

Legend

- Easement
- Planned Subdivision
- Combined Parcels
- Master Parcel Linking to Assessing DB
- Associated Parcels
- Water Bodies
- Town Boundary
- Engineering Lot Number
- Lot Area

1 inch = 60 feet

60 30 0 60 Feet

City of New Bedford
Massachusetts

Map: 101

Fiscal Year 2019

This parcel map should be used for planning and assessment purposes only.

Map Produced By:
City of New Bedford
Department of
Management Information Systems
January 2019


RTE
15
16782
1
106129
17
32150
14
383772
16
18850
SHAWMUT AVE
WALKER ST
IND. B
BUSINESS
BUS.
HA
3
40
69
47
165.82
30
50.05
93.12
124.19
420.44
147.14
349.73
313
153.43
325.97
335.95
740.86
79.02
431.98
70.25

Google Maps 953 Shawmut Ave

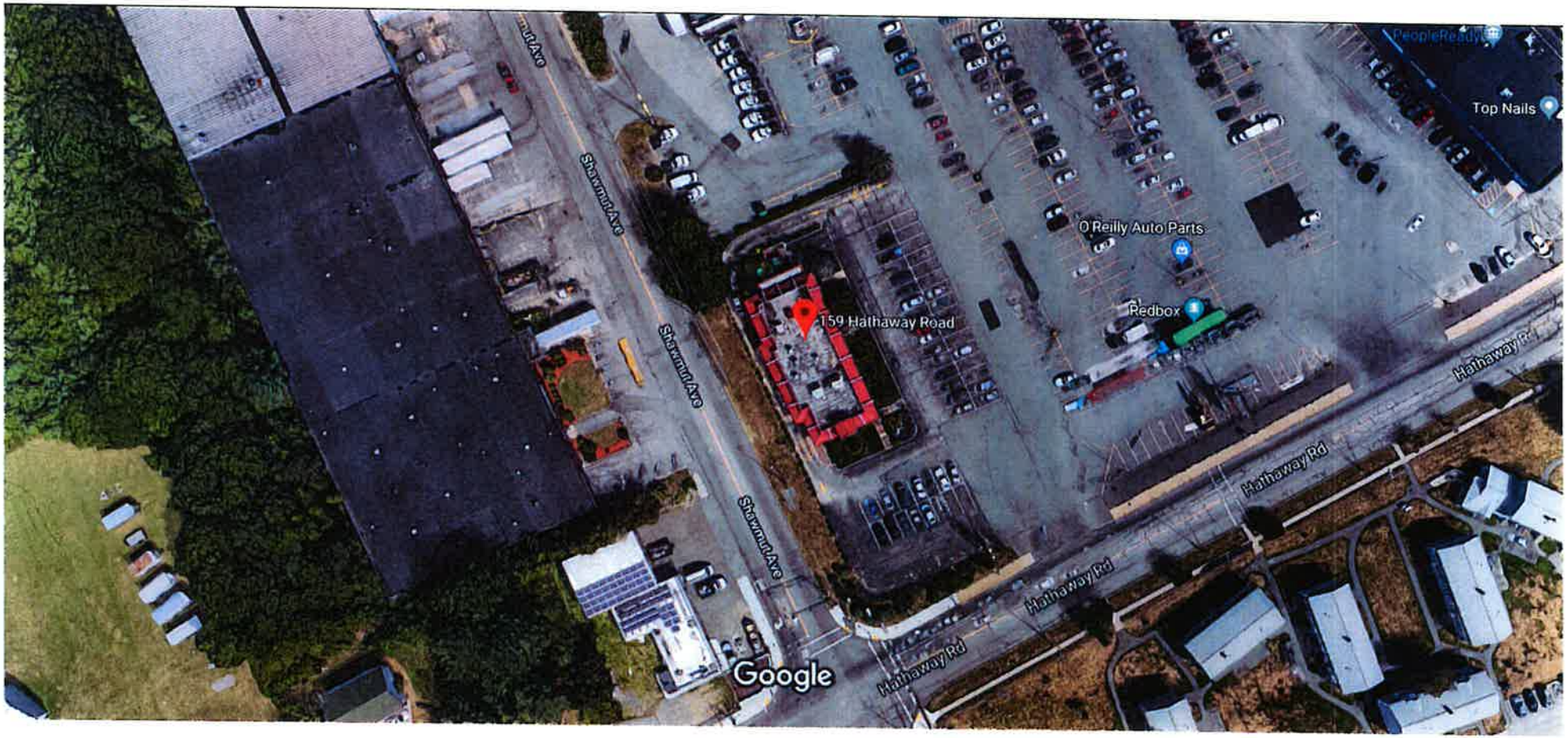
Image capture: Oct 2012 © 2019 Google

New Bedford, Massachusetts

Google

Street View - Oct 2012

Google Maps 159 Hathaway Rd



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