

ACTIVEDAY ADULT DAY CARE

34 WELBY ROAD

NEW BEDFORD, MASSACHUSETTS

SITE SUMMARY

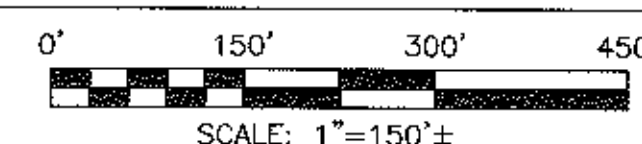
ASSESSORS MAP 132E LOT 99
 ZONING DISTRICT: INDUSTRIAL A
 EXISTING USE: OFFICE
 PROPOSED USE: OFFICE/ADULT DAY CARE
 DEED REFERENCE: BOOK 8691, PAGE 62

ZONING REQUIREMENTS TABLE

	REQUIRED	EXISTING	PROPOSED
	IND A		
LOT AREA	—	1.23 ACRES	1.23 ACRES
LOT FRONTAGE	0' 0'	163.22' 81.53'	163.22' DOREEN ST. 81.53' WELBY ROAD
FRONT SETBACK (BLDG.)	25'	49'	49'
SIDE SETBACK (BLDG.)	25'	40'/168'	40'/148'
REAR SETBACK (BLDG.)	25'	25'	25'
FRONT SETBACK (PARKING)	0'	16'	16'
SIDE SETBACK (PARKING)	0'	6'	6'
REAR SETBACK (PARKING)	0'	7'	7'
BUILDING HEIGHT	100'	30.5'	30.5'
LOT COVERAGE	50%	14%	14%
GREEN SPACE	20%	32%	30%
SCREENING BUFFERS	5'	7'	5'
OFF STREET PARKING	58	69	64



LOCUS MAP



PLAN INDEX

SHEET NO.	TITLE	DATE	REVISED
—	COVER SHEET	JUNE 5, 2019	
1 OF 6	SITE LAYOUT	JUNE 5, 2019	
2 OF 6	LOCUS MAP	JUNE 5, 2019	
3 OF 6	SITE GRADING	JUNE 5, 2019	
4 OF 6	EXISTING CONDITIONS	JUNE 5, 2019	
5 OF 6	DEMOLITION PLAN	JUNE 5, 2019	
6 OF 6	DETAIL SHEET #1	JUNE 5, 2019	
—	BUILDING ELEVATIONS	DEC. 5, 2017	
—	FLOOR PLAN	DEC. 5, 2017	

OWNERS/APPLICANT:
WELBY PARK ASSOCIATES, LLC
 1 WELBY ROAD
 NEW BEDFORD, MA 02745

DATE: JUNE 5, 2019



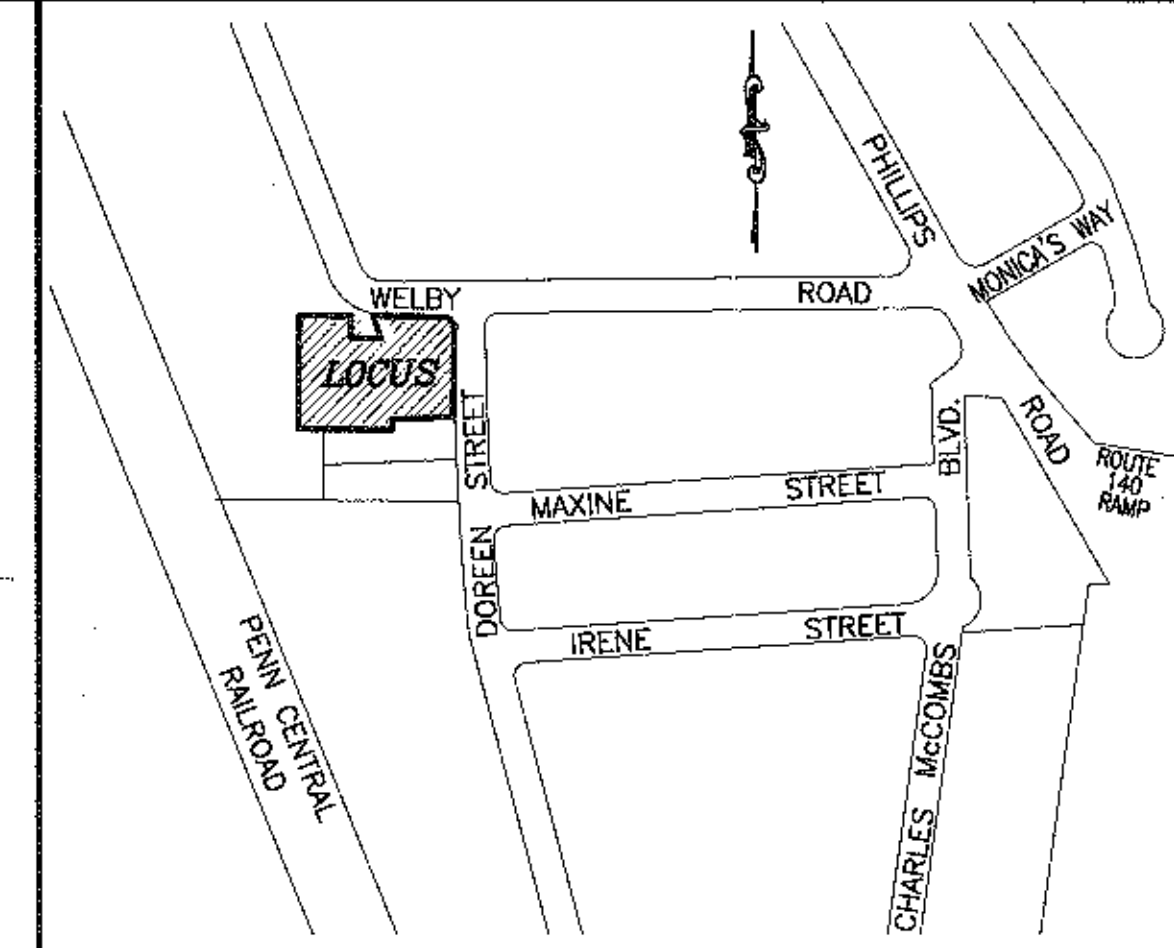
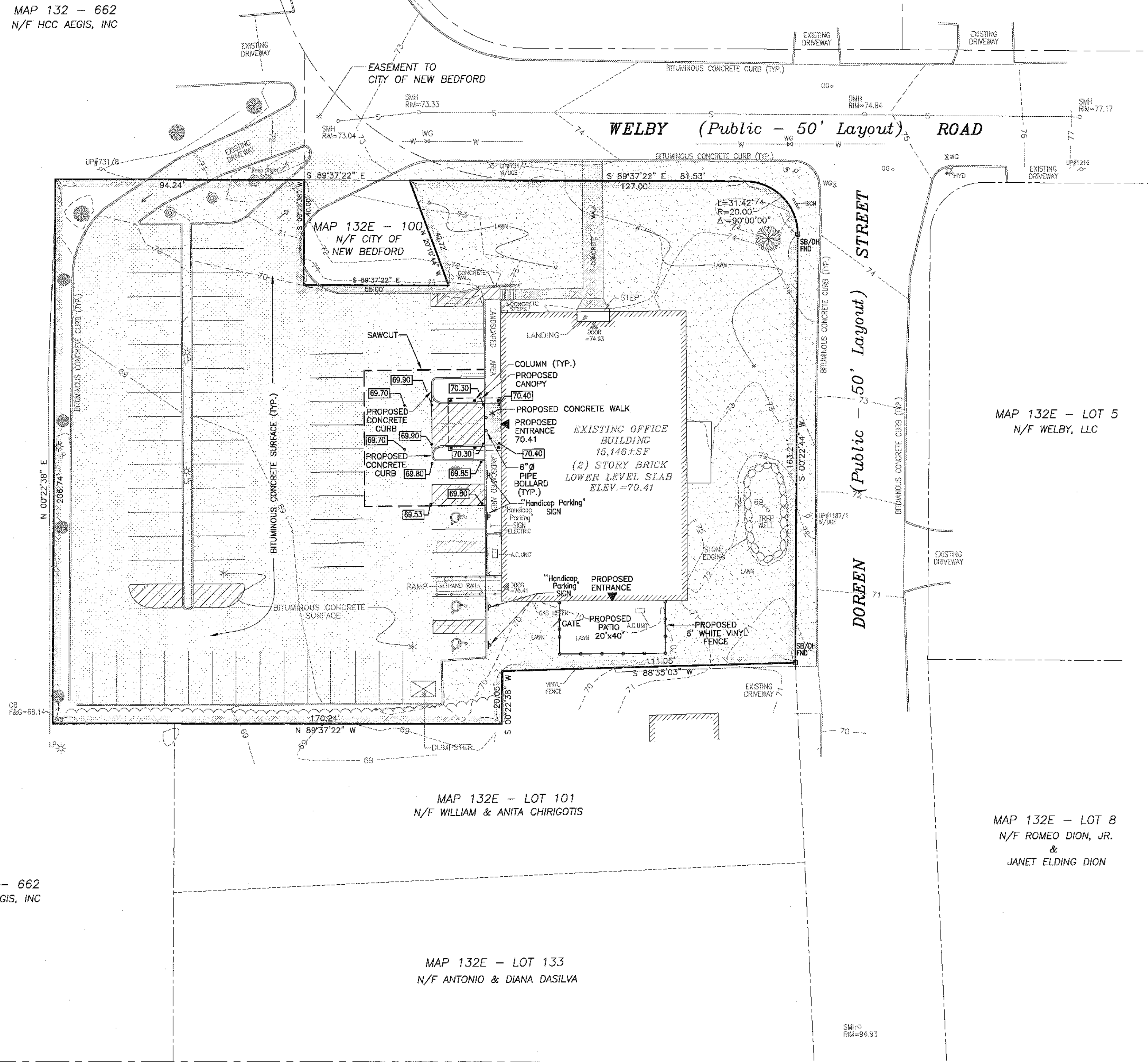
SITEC

Civil and Environmental Engineering
 Land Use Planning
 449 Faunce Corner Road
 Dartmouth, MA 02747
 (508) 998-2125
 FAX (508) 998-7554
 WWW.SITEC-ENGINEERING.COM
 ACAD NO. NB 16-6935 COVER SHEET.DWG

MAP 132 - 662
N/F HCC AEGIS, INC

MAP 132 - LOT 817
N/F JAYMI REALTY, LLC

MAP 132E - LOT 95
N/F LIFESTREAM, INC



LOCUS MAP
SCALE: 1"=350'±

FLOOD ZONE: THE EXISTING SITE IS LOCATED IN A FEMA ZONE 'A' AS SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM) #25005 C 0379F DATED JULY 7, 2009.

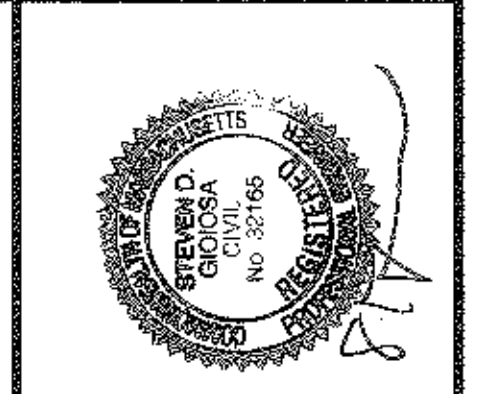
LEGEND

- PROPERTY LINE
- BUILDING ENTRANCE
- EXISTING CONTOUR
- EXISTING STOCKADE FENCE
- EXISTING CHAIN LINK FENCE
- EXISTING OVERHEAD WIRES
- EXISTING GAS MAIN
- EXISTING DRAINAGE LINE
- EXISTING WATER MAIN
- EXISTING SEWER LINE
- EXISTING WATER GATE VALVE
- EXISTING FIRE HYDRANT
- GAS GATE VALVE
- EXISTING CATCH BASIN
- EXISTING DRAIN MANHOLE
- EXISTING SEWER MANHOLE
- EXISTING LIGHT POLE
- EXISTING UTILITY POLE
- EXISTING TREE AND BRUSH LINE
- EXISTING TREES
- EXISTING SHRUB
- 70.40 — PROPOSED ELEVATION

UTILITY COMPANIES
 SANITARY SEWER - NEW BEDFORD DPI
 WATER SUPPLY - NEW BEDFORD DPI (508) 979-1550
 GAS - EVERSOURCE GAS (855) 645-2427
 ELECTRIC - EVERSOURCE ELECTRIC (888) 633-3797
 CABLE - COMCAST (800) 934-6489

SURVEY DATE: MAY 22, 2019
PARCEL AREA: 53,740 SF

BENCHMARK: SOUTH SIDE BONNET BOLT ON HYDRANT LOCATED ON WELBY ROAD IN FRONT OF 50 WELBY ROAD - ELEV.=73.11 NAVD



No.	Date	Revision Description

Scale: 1"=20'
 Date: JUNE 5, 2019
 Drawn: BPL
 Checked: SDG
 Approved: SDG
 Sheet: 3 of 6
 Drawing Number: SG-1

Project: ASSESSOR'S MAP 132E LOT 99
 34 WELBY ROAD
 NEW BEDFORD, MASSACHUSETTS
 Client: WELBY PARK ASSOCIATES, LLC
 Drawing Title: SITE GRADING

SITEC, Inc.
 1000
 Danvers, MA 01923
 (508) 998-3125
 FAX (508) 998-7554
 WWW.SITEC-ENGINEERING.COM

SITEC
 Civil and Environmental Engineering
 Land Use Planning

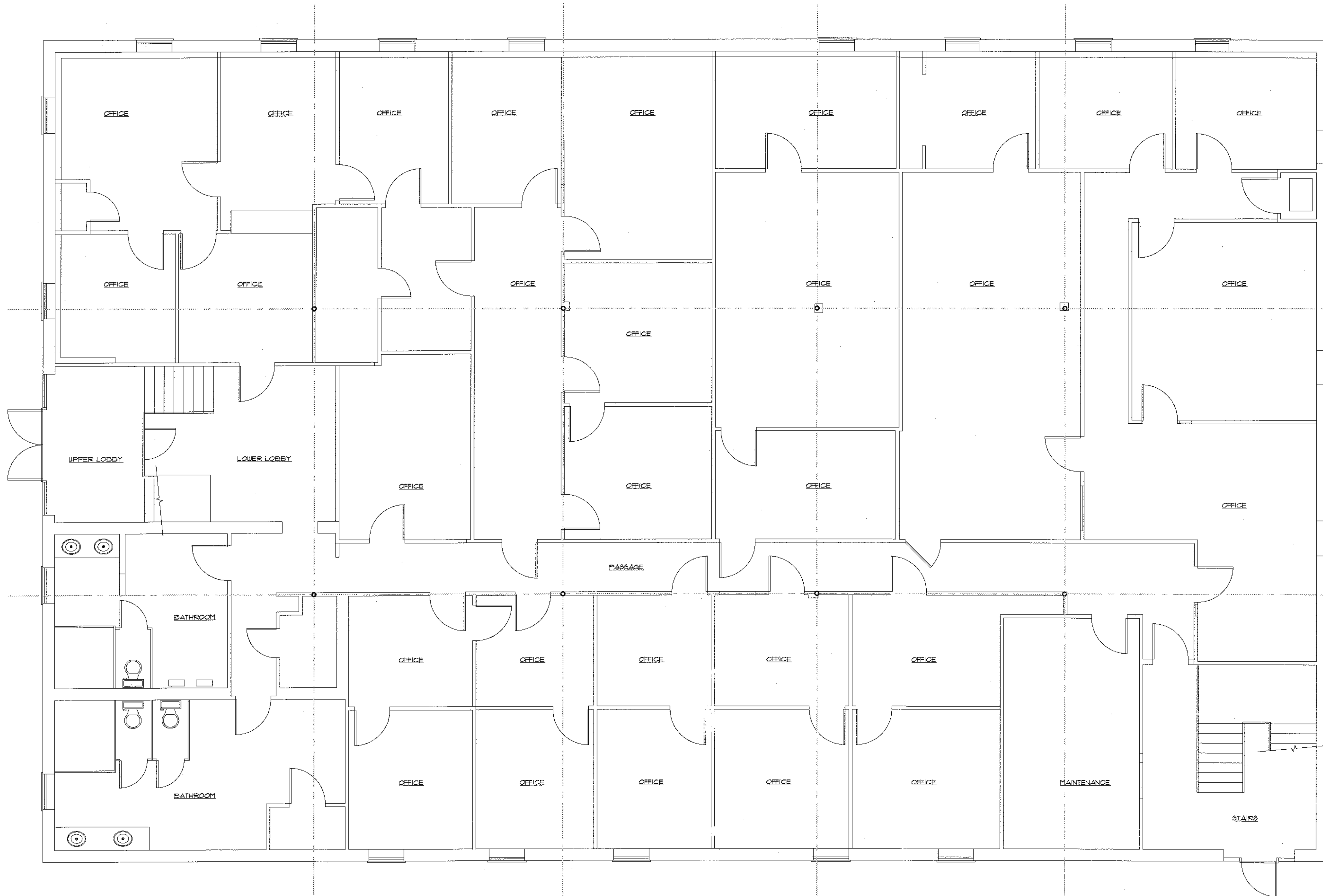
Acad No. NB 18-6935 SG.DWG
 File No. 18-6935

MAP 132 - 662
N/F HCC AEGIS, INC

MAP 132E - LOT 101
N/F WILLIAM & ANITA CHIRIGOTIS

MAP 132E - LOT 8
N/F ROMEO DION, JR.
&
JANET ELIDING DION

MAP 132E - LOT 133
N/F ANTONIO & DIANA DASILVA



EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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PROPOSED
Tenant Buildout

Description	PROPOSED Tenant Buildout	Date
Approved	<input type="checkbox"/>	Approved on Noted
By		

COMPREHENSIVE DESIGN/BUILD SERVICES
100 BEECH STREET
SUITE 200
NEW BEDFORD, MA 01945-0272
PHONE: 508.231.1041
FAX: 508.231.1041
email: arnold@comdesignbuild.com

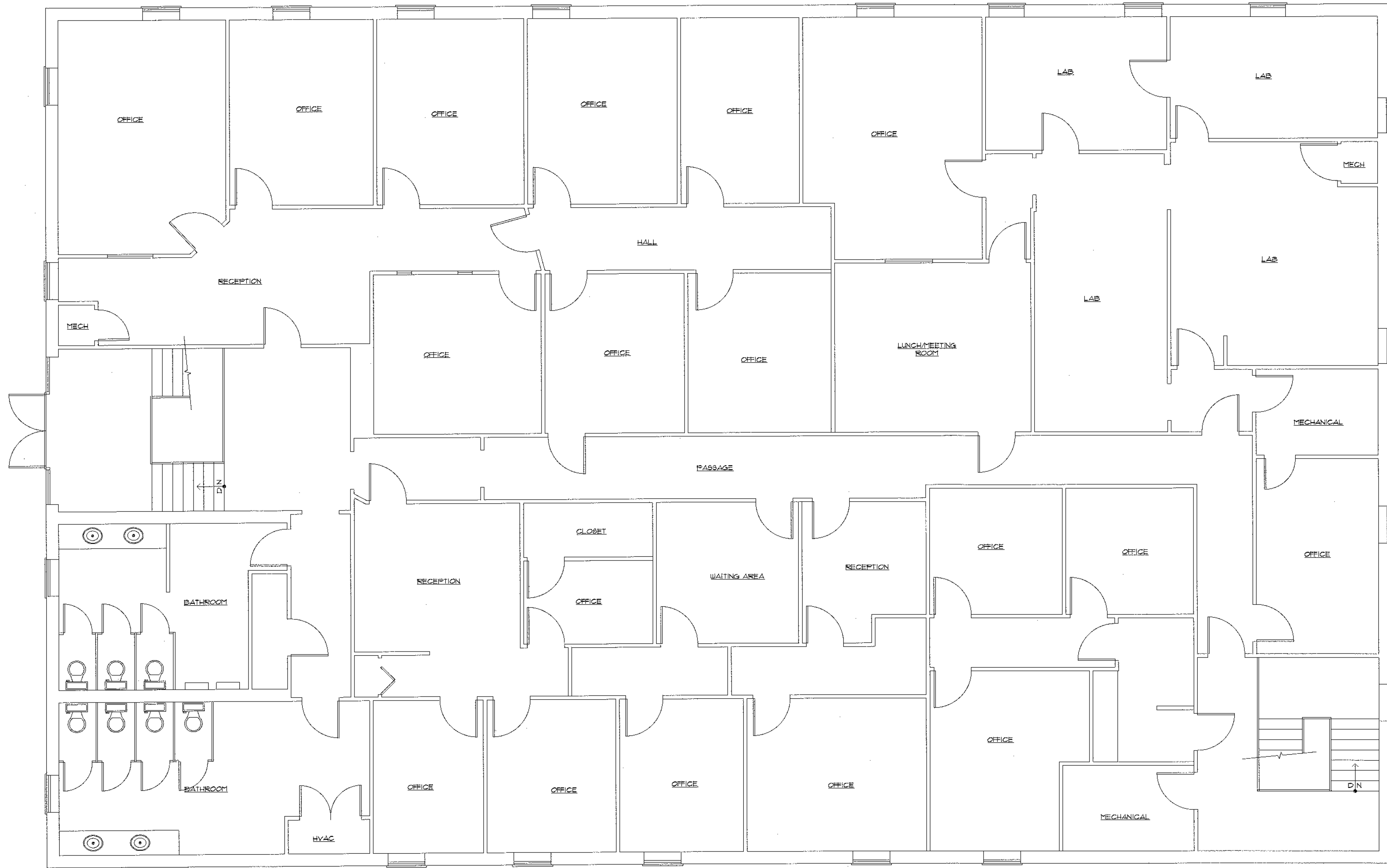
No.	Date	Revision

Drawing Title
EXISTING
FIRST FLOOR PLAN

DATE: 03/28/2017
SCALE: AS SHOWN
DESIGNED BY: [Signature]
CHECKED BY: [Signature]

PROJECT NO.: EX1.1
DATE: 03/28/2017

PROPOSED
At:
34 Welby Rd.
NEW BEDFORD, MA



EXISTING SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

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PROPOSED
 Tenorit Buildout

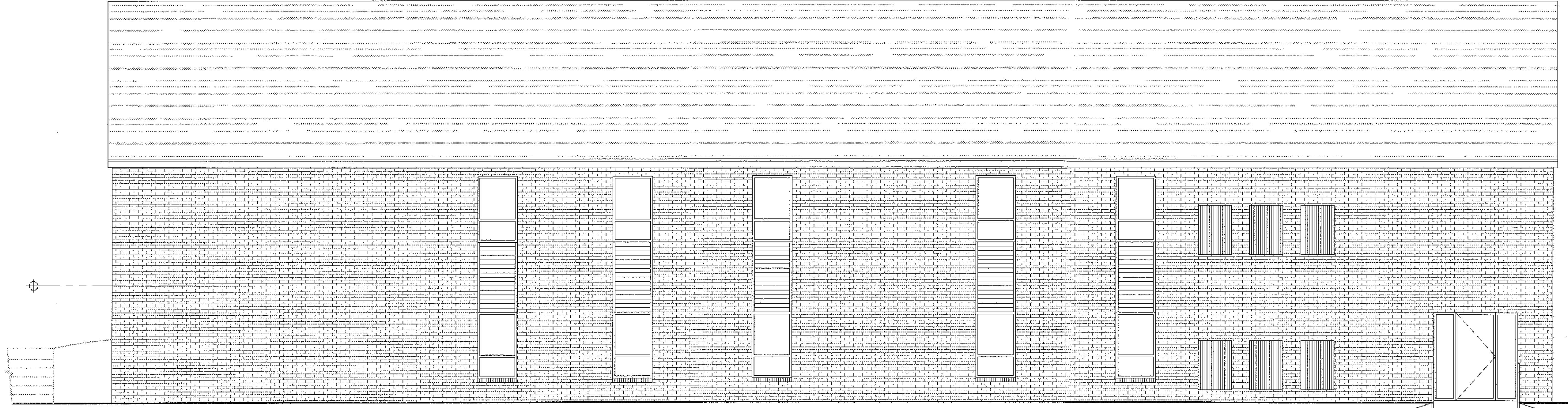
Description	PROPOSED Tenorit Buildout	Approved	Date
		by	



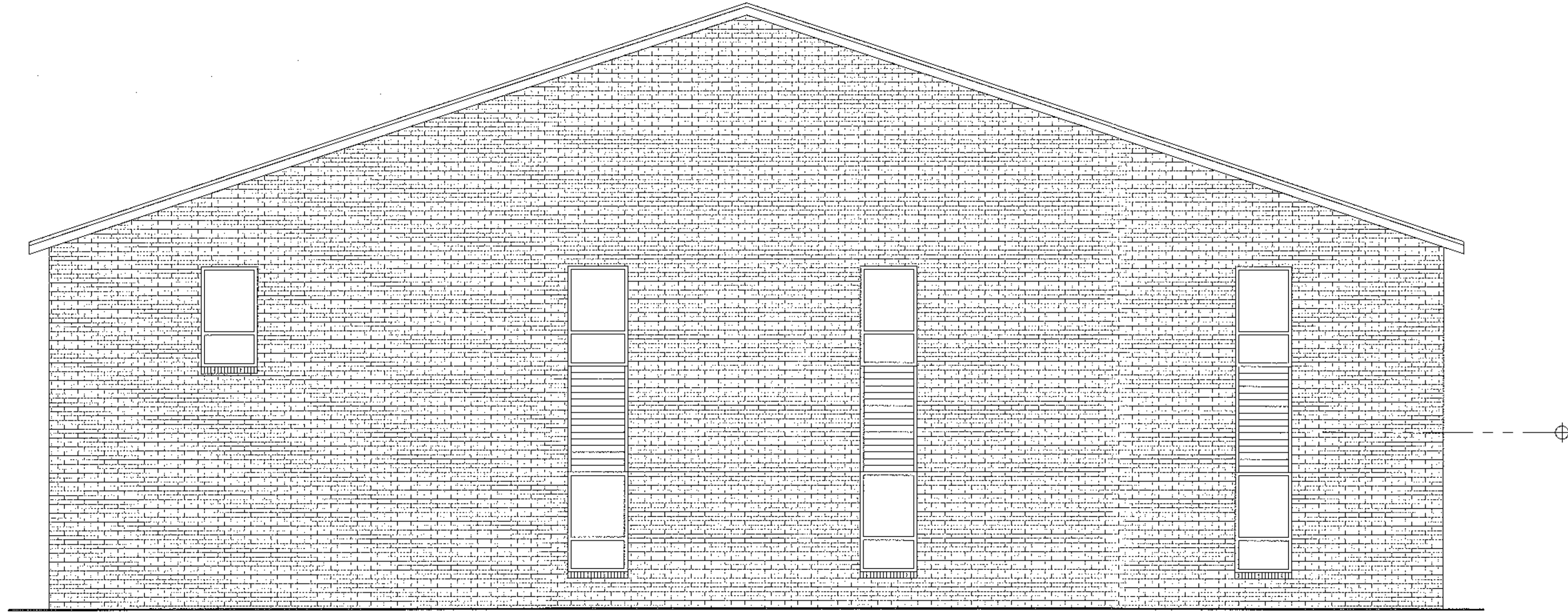
No.	Date	Revision

Drawing Title: EXISTING SECOND FLOOR PLAN
 Drawing No.: EX12
 Date: 2017-03-28

Project: PROPOSED Active Day
 At: 34 Wally Rd.
 NEW BEDFORD, MA



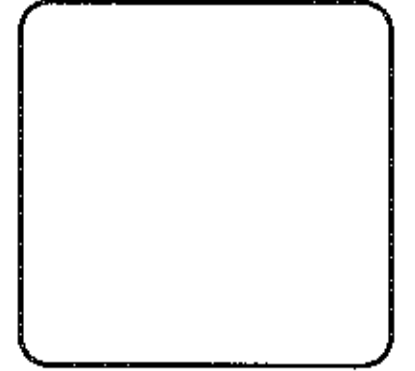
A EXISTING REAR ELEVATION
 EXI.3 SCALE: 1/4" = 1'-0"



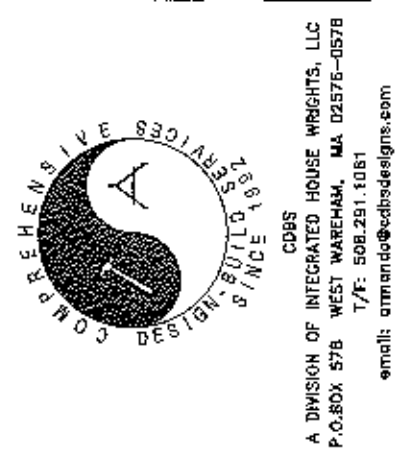
B EXISTING LEFT SIDE ELEVATION
 EXI.3 SCALE: 1/4" = 1'-0"

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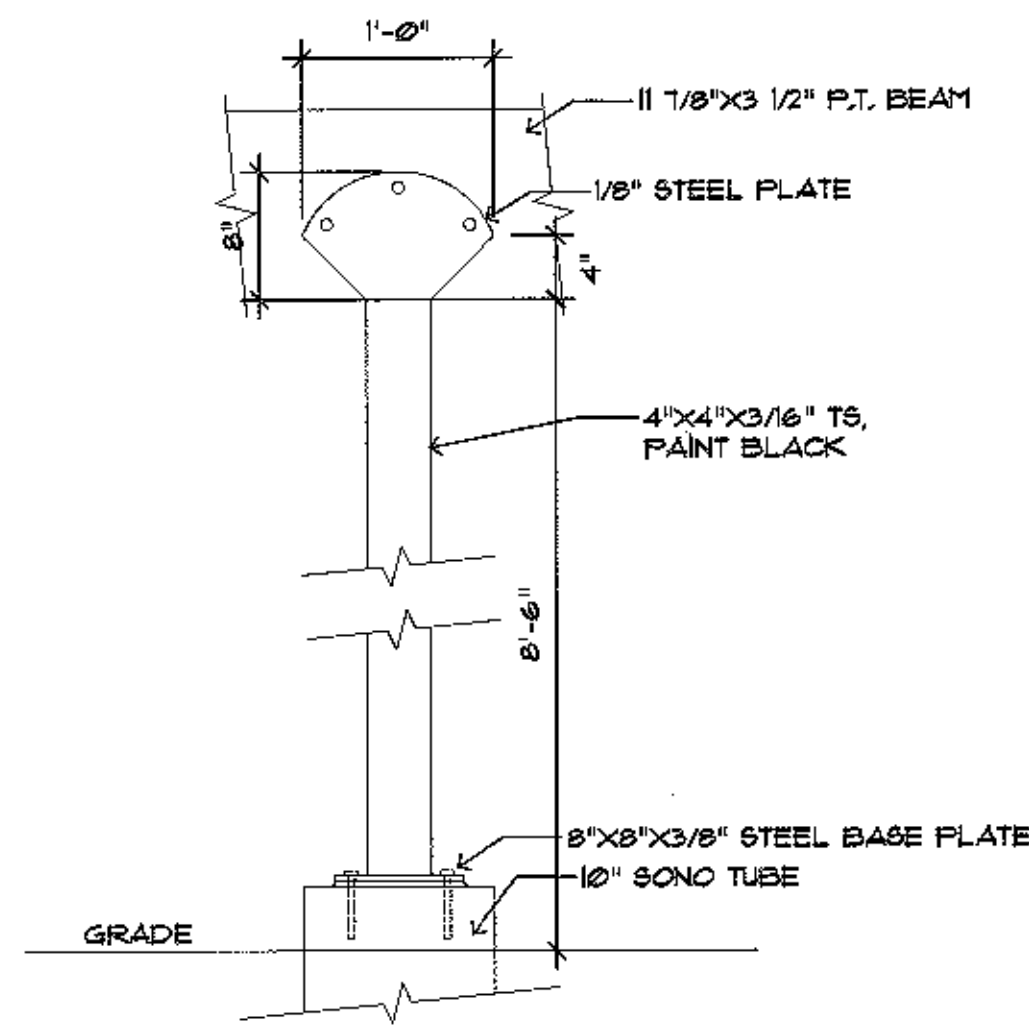
PROPOSED
 Tenant Buildout
 Approved as Noted
 Date: 04/11/2017



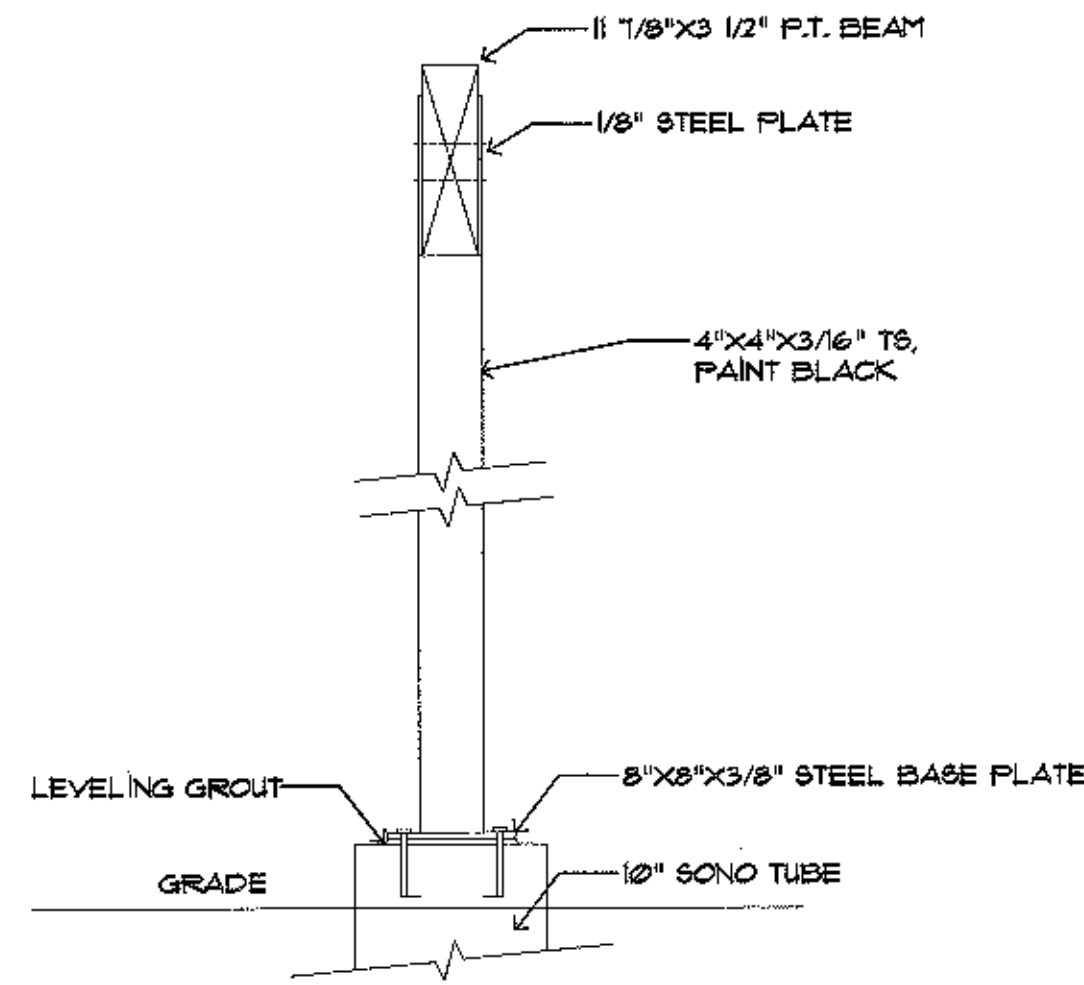
No.	Date	Revision
1		
2		
3		
4		
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Drawing Title: EXISTING ELEVATIONS
 Drawing No: EXI.3
 Date: 04/11/2017
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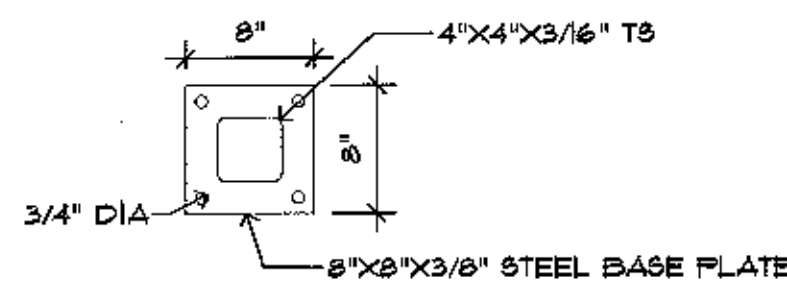
Project: PROPOSED
 At: Active Day
 34 Webby Rd.,
 NEW BEDFORD, MA



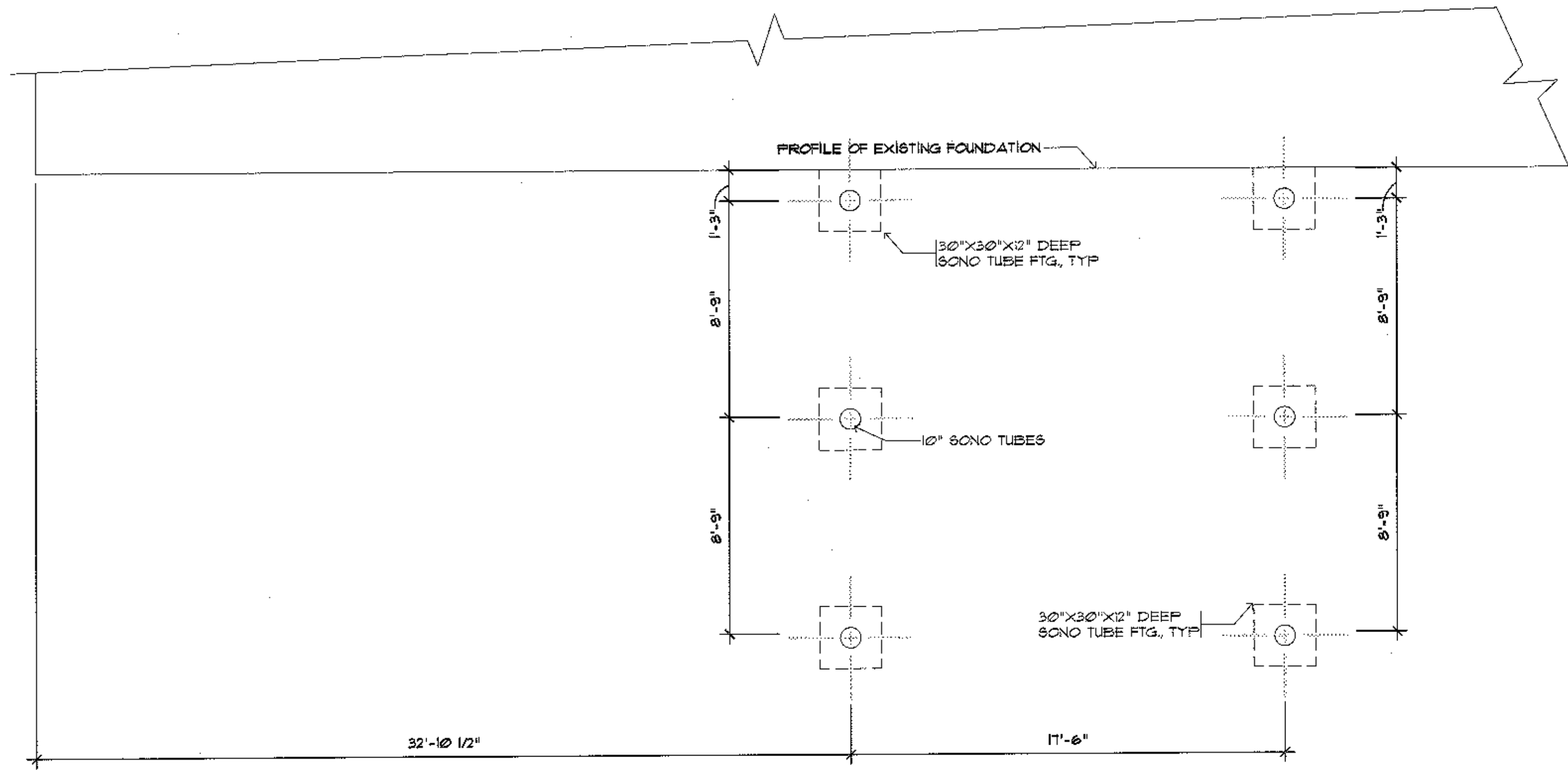
C POST DETAIL
SCALE: 1" = 1'-0"



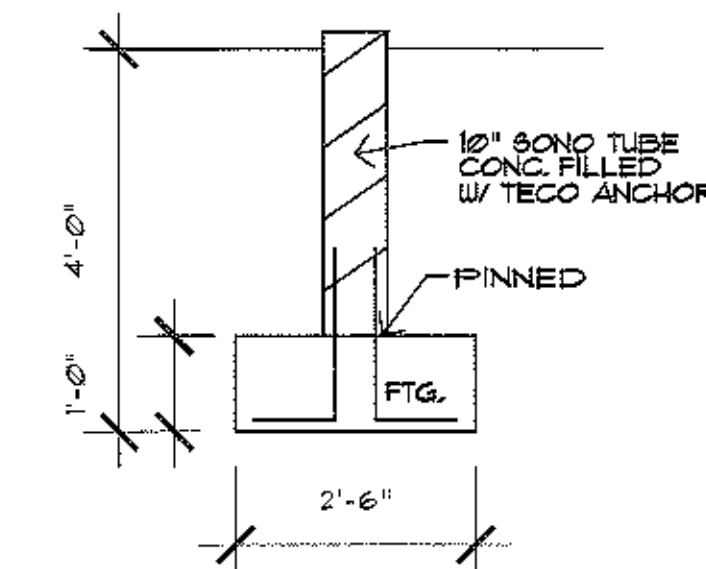
D POST DETAIL
SCALE: 1" = 1'-0"



E PLATE DETAIL
SCALE: 1" = 1'-0"



A PROPOSED FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



B SONO SECTION
SCALE: 1/2" = 1'-0"

GENERAL NOTES:

- CONCRETE**
- 1) ALL CONCRETE WORK AND MATERIALS SHALL COMPLY WITH THE SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301-09).
 - 2) ALL CONCRETE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI, WITH MAXIMUM 1 INCH AGGREGATE AND MAXIMUM 6% AIR ENTRAINMENT FOR EXTERIOR CONCRETE EXPOSED TO MOISTURE.
 - 3) ALL REINFORCING STEEL SHALL BE DEFORMED BARS OF NEW BILLET STEEL CONFORMING TO ASTM A 615 GRADE 60.
 - 4) CONCRETE COVER OF REINFORCING BARS SHALL BE AS FOLLOWS:
A) 3" AT CONCRETE PLACED DIRECTLY AGAINST EARTH.
B) 2" AT ALL OTHER LOCATIONS.
 - 5) NO HORIZONTAL CONSTRUCTION JOINTS ARE ALLOWED, UNLESS SPECIFICALLY SHOWN ON THE DRAWINGS OR ALLOWED IN WRITING BY AN ENGINEER.
 - 6) ALL GROUT FOR BASE FLATES SHALL BE NON-SHRINK AND NON-METALLIC, WITH A MINIMUM COMPRESSIVE STRENGTH OF 5000 PSI.
 - 7) CONSULT OWNER REGARDING CONCRETE ADDITIVE FOR CORROSION PROTECTION OR REINFORCING.

- FOUNDATIONS**
- 1) THE ALLOWABLE PRESUMED SOIL BEARING CAPACITY IS 2000 PSF, WHICH IS TO BE VERIFIED IN THE FIELD BEFORE CONSTRUCTION.
 - 2) FOOTING SHALL BE CARRIED TO LOWER ELEVATION THAN SHOWN ON THE DRAWINGS IF REQUIRED TO REACH PROPER BEARING CAPACITY.
 - 3) WALLS ACTING AS RETAINING WALLS SHALL NOT BE BACKFILLED WITHOUT BRACING UNTIL ALL SUPPORTING SOIL AND SLABS ARE IN PLACE AND AT ADEQUATE STRENGTH.
 - 4) COMPACT ALL FILL UNDER FOOTINGS AND SLABS TO 95% MAXIMUM DRY DENSITY AND VERIFY.
 - 5) PROVIDE 1/2" DIA. x 10" LONG ANCHOR BOLTS WITH 2" HOOK AT 9" O.C.
 - 6) DAMP PROOF EXTERIOR OF FOUNDATION WALL BELOW GRADE.
 - 7) G.C. SHALL INSTALL AND SECURE ALL FIRST FLOOR BRACING MEMBERS PRIOR TO BACK FILLING AGAINST ALL FOUNDATION WALLS.

- COMPACTED FILL:**
- 1) FOOTINGS TO REST ON FIRM UNDISTURBED SOIL OR COMPACTED FILL - 95% OF MAXIMUM DRY DENSITY.
 - 2) ALL SOFT/ORGANIC OR UNSTABLE AREAS SHALL BE REMOVED AND REPLACED WITH COMPACTED FILL.
 - 3) PROVIDE 6 MIL POLY FILM VAPOR BARRIER UNDER CONCRETE SLAB AND AS NOTED ON DRAWINGS.
- PERIMETER FOUNDATION DRAINAGE: (MAY NOT APPLY)**
- 1) CONTRACTOR TO FURNISH AND INSTALL PERIMETER FOUNDATION DRAINAGE SYSTEM SET IN CRUSHED GRAVEL.

- MASONRY (MAY NOT APPLY)**
- 1) MASONRY CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530/ASCE 6-08) STRENGTH OF MASONRY Fm = 1500 PSI.
 - 2) VERTICAL REINFORCING OF MASONRY WALLS SHALL BE AS INDICATED ON THE DRAWINGS. ALL CORES OF MASONRY UNITS SHALL BE FILLED WITH GROUT. REINFORCING BAR LAPS SHALL BE 2'-6" MIN.
 - 3) HORIZONTAL JOINT REINFORCING FOR MASONRY SHALL BE EQUAL TO DUR-O-WALL TRIGGS MANUFACTURED WITH WIRE CONFORMING TO ASTM A 82, AND COATED FOR CORROSION PROTECTION IN ACCORDANCE WITH ASTM A 153, CLASS B-2. ALL WIRE SHALL BE 3 GAGE MINIMUM. PROVIDE MINIMUM LAP OF 6" AND USE PREFABRICATED TIES OR CORNER SECTIONS AT ALL WALL INTERSECTIONS.
 - 4) MULTI-WYTHE WALL SHALL HAVE FULLY MORTARED COLLAR JOINTS AND CONTINUOUS HORIZONTAL JOINT REINFORCING BETWEEN WYTHES, OR AS A MINIMUM 3/16" GALVANIZED WALL TIES AT 6" O.C. EACH WYTHE.
 - 5) CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C 90.
 - 6) GROUT SHALL CONFORM TO THE REQUIREMENTS OF ASTM C 146 AND SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI.
 - 7) VERTICAL AND BOND BEAM REINFORCEMENT SHALL CONFORM TO THE REQUIREMENTS OF ASTM A 615.
 - 8) MORTAR SHALL CONFORM TO THE REQUIREMENTS OF ASTM C 212 AND SHALL BE TYPE M.
 - 9) QUALITY ASSURANCE TESTING AND INSPECTION SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF ACI 530/ASCE 6/08.

Notes: The contractor shall be responsible for all specifications and arrangements for use on, and in, the project. The contractor shall be responsible for all specifications and arrangements for use on, and in, the project. The contractor shall be responsible for all specifications and arrangements for use on, and in, the project.

DESCRIPTION: PROPOSED Tenant Bulb-out

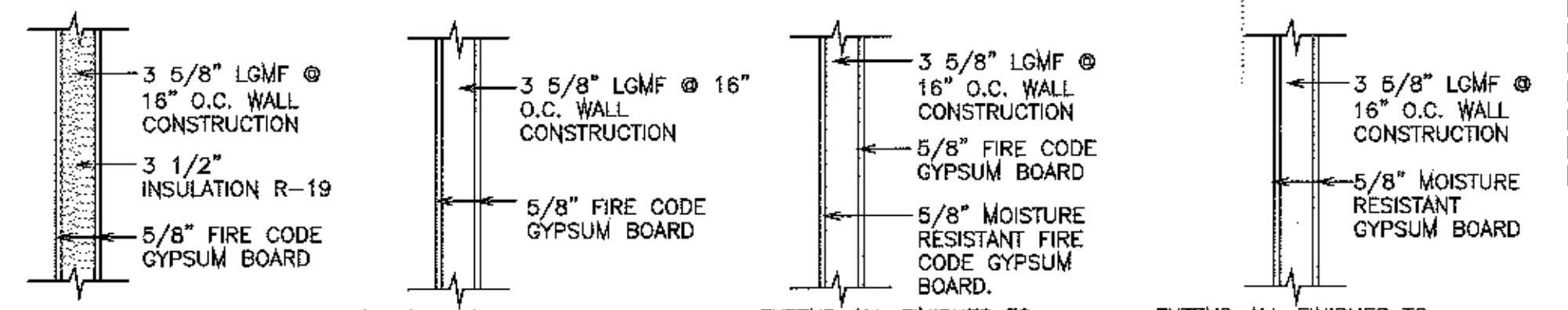
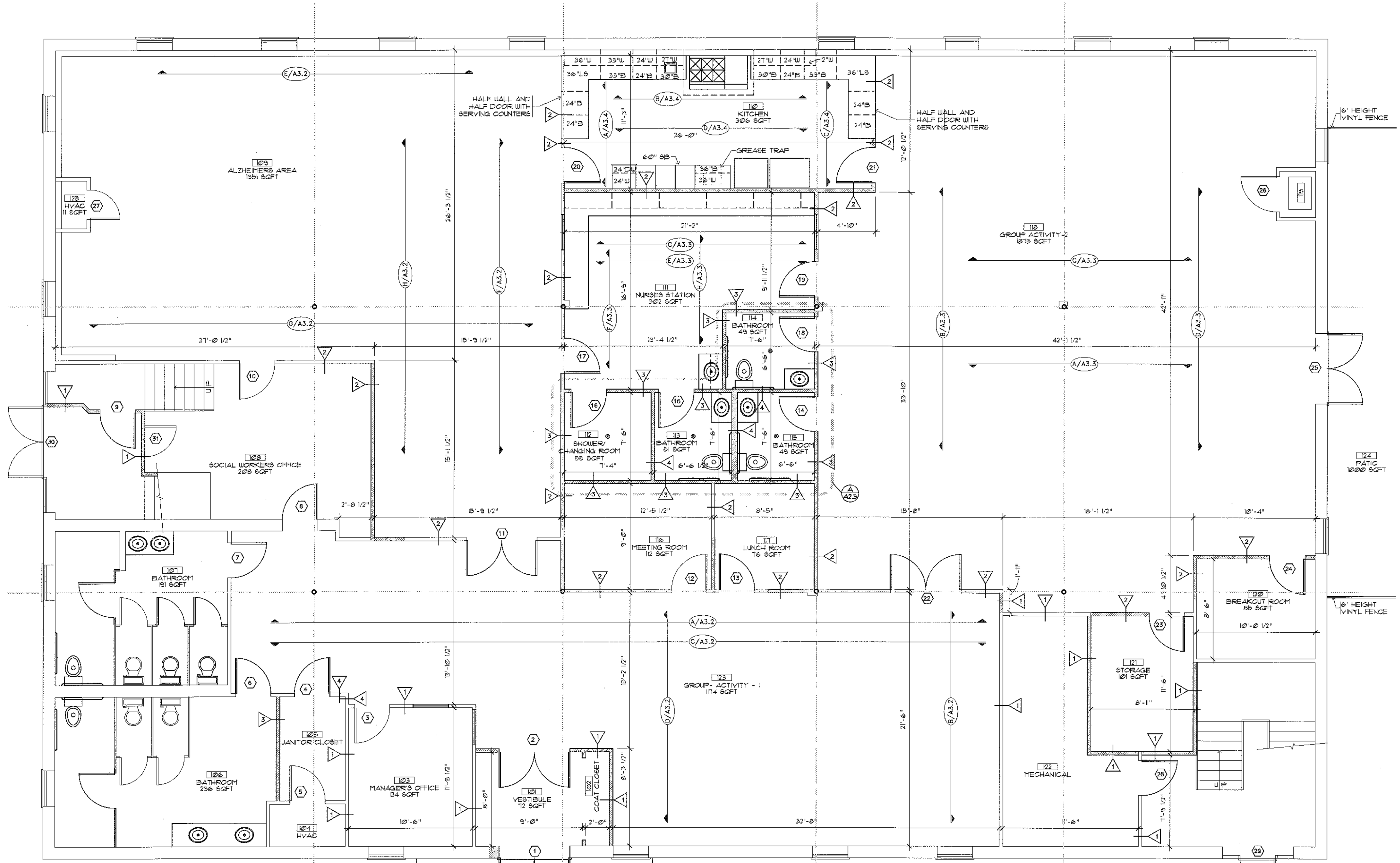
APPROVED: [Signature] DATE: [Date]

CREATIVE DESIGN SOLUTIONS, INC. A DIVISION OF REDWOOD BUILT WEIGHTS, LLC 77 WEST WARDHAM, MA 02778-0278

No.	Date	Revision
1		
2		
3		
4		
5		

Drawing Title: PROPOSED FOUNDATION PLAN, NOTES, AND DETAIL
Drawing No.: A1.1
Scale: 1/4" = 1'-0"

PROJECT: PROPOSED ACTIVE LLOYD
AT: 34 Welby Rd., NEW BEDFORD, MA



EXTEND ALL FINISHES TO UNDERSIDE OF FRAMING ABOVE.
WALL TYPE #1
 SCALE: 3/4" = 1'-0"

EXTEND ALL FINISHES TO UNDERSIDE OF FRAMING ABOVE.
WALL TYPE #2
 SCALE: 3/4" = 1'-0"

EXTEND ALL FINISHES TO UNDERSIDE OF FRAMING ABOVE.
WALL TYPE #3
 SCALE: 3/4" = 1'-0"

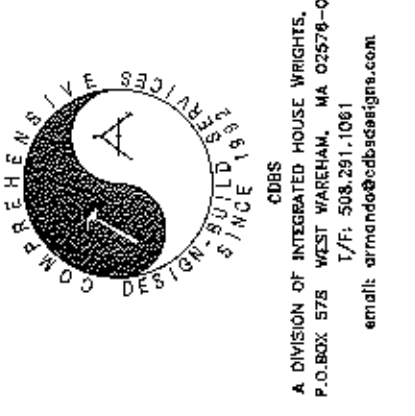
EXTEND ALL FINISHES TO UNDERSIDE OF FRAMING ABOVE.
WALL TYPE #4
 SCALE: 3/4" = 1'-0"

NOTE:
 SEE SHEETS A3.2, A3.3, AND
 A3.4 FOR WALL ELEVATION

PROPOSED FLOOR PLAN - OPTION 1
 SCALE: 1/4" = 1'-0"

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DESCRIPTION
 PROPOSED
 Tenant Building
 DATE
 APPROVED BY
 APPROVED ON BEHALF OF

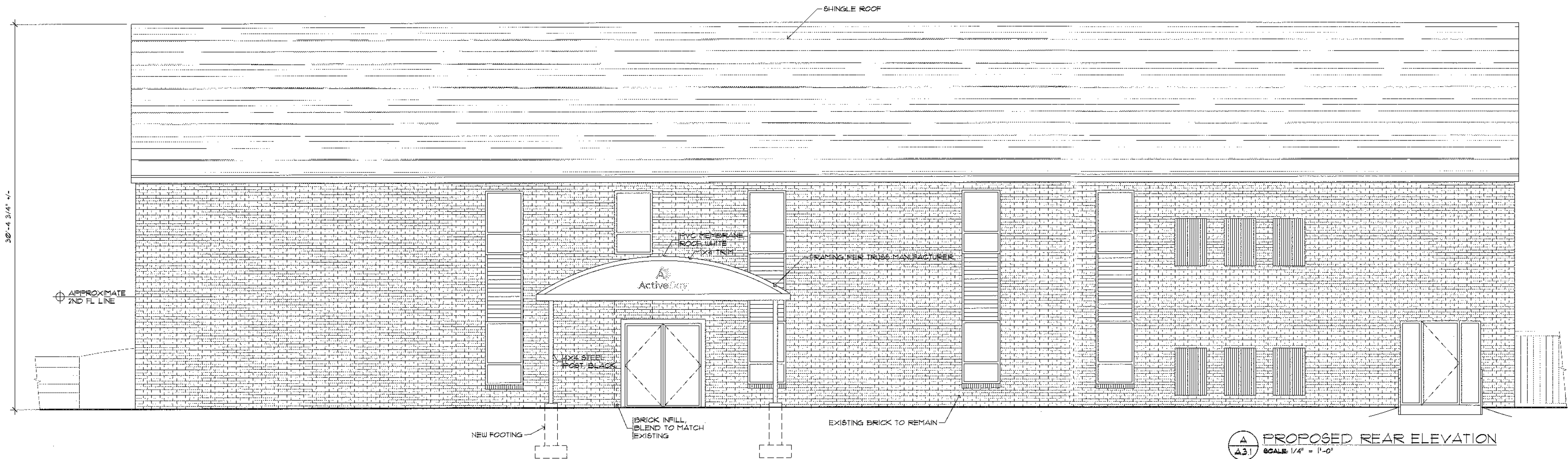


No.	Date	Revision
1		GENERAL REVISION

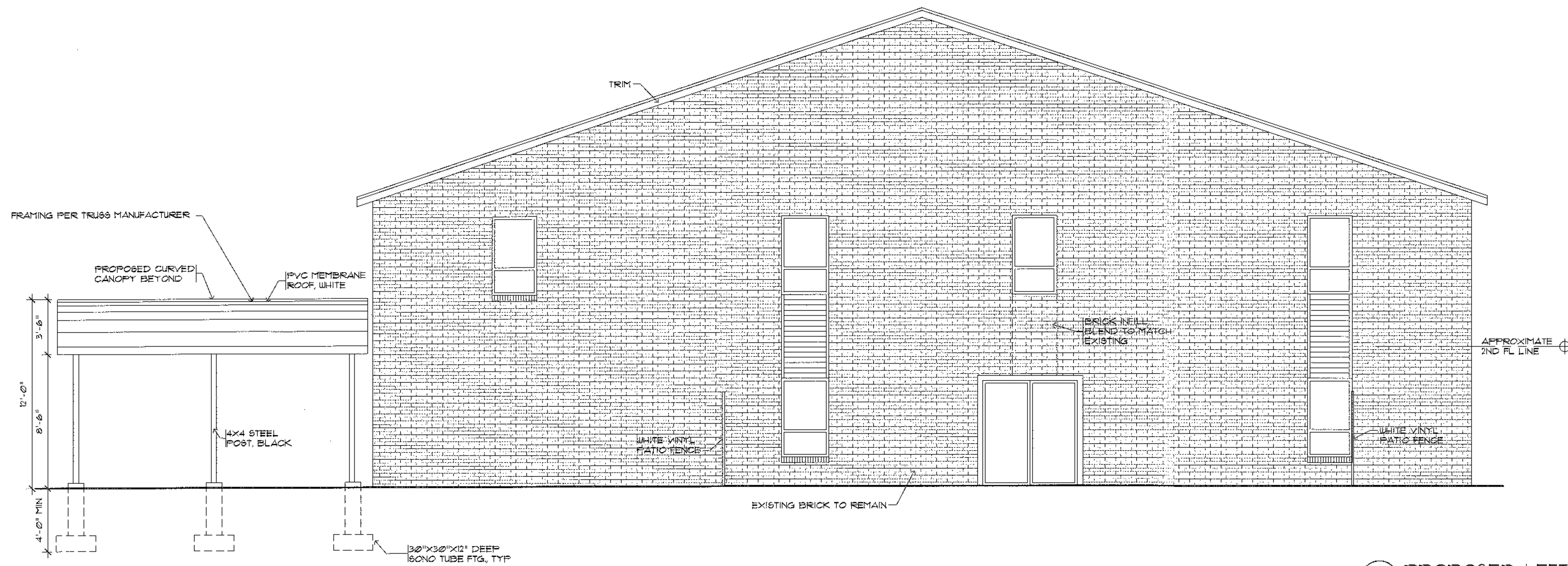
Drawing Title
PROPOSED FLOOR PLAN
 Drawing No.
A2.1
 Scale
 Date
 12.05.2017
 Project
 34 Welby Rd.
 NEW BEDFORD, MA
 01717-1133

PROJECT
 PROPOSED
 ActivityDay
 AT
 34 Welby Rd.
 NEW BEDFORD, MA
 01717-1133

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A
A3.1
PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"



B
A3.1
PROPOSED LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

All notes, drawings, specifications, schedules, and other documents shall be read in conjunction with the contract documents. The contractor shall be responsible for construction means, methods, techniques, or procedures utilized by the contractor, nor for the safety of public or contractor's employees, or for the failure of the contractor to carry out the work in accordance with the contract documents. Comprehensive Design/Build Services limit of liability for the project is limited to the extent of its fee less third party costs.

DESCRIPTION
PROPOSED
Tenant Buildout

DATE
APPROVED BY
APPROVED AS NOTED BY

COMPREHENSIVE DESIGN/BUILD SERVICES
A DIVISION OF INTEGRATED HOUSE WEAPONS, LLC
1000 STATE ST. 1/F, 508.231.1541
www.comdb.com

REV.	DATE	REVISION
1		GENERAL REVISION

DRAWING TITLE
PROPOSED ELEVATIONS

DRAWING NO.
A3.1

DATE
2017-12

PROJECT
PROPOSED
Activity Day
At
34 Wabby Rd.
NEW BEDFORD, MA

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