



PLANNING BOARD SUBMITTAL SELF STORAGE FACILITY 8 WASHBURNST. NEW BEDFORD, MASS.

e: h o w d y @ d i v e l e p t . c o m p: 8 0 1 - 6 8 0 - 4 4 8 5 w: w w w . d i v e l e p t . c o m

OWNER

, LLC ATTN: DANIEL LYMAN 101 S 200 E, STE. 200 SALT LAKE CITY, UT 84111

ARCHITECT / APPLICANT

DI'VELEPT DESIGN, LLC ATTN: JAROD HALL 454 N 600 W SALT LAKE CITY, UT 84116 801-680-4485

CIVIL ENGINEER

BRACKEN ENGINEERING ATTN: DON BRACKEN 49 HERRING POND ROAD BUZZARDS BAY, MA

ZONING ANALYSIS

 FRONT YARD
 25'
 0' EXISTING

 SIDE YARD
 25'
 0' EXISTING

 REAR YARD
 25'
 0' EXISTING

 MAXIMUM BLDG COVERAGE
 50% (34,630 SF)
 77.7% (53,790 SF)

 MINIMUM LANDSCAPE AREA
 20% (13,852 SF)
 4.7% (3,225 SF)

 PARKING SPACES
 12 + 1 ACCESSIBLE

OWNER:

PROJECT ADDRESS:

8 WASHBURN
NEW BEDFORD, MA 02740

ARCH PROJECT #:

18-18

A.O.R:

JDH

PHASE:

INITIAL SUBMITTAL

PHASE PUBLISH DATE:

07 MARCH 2019

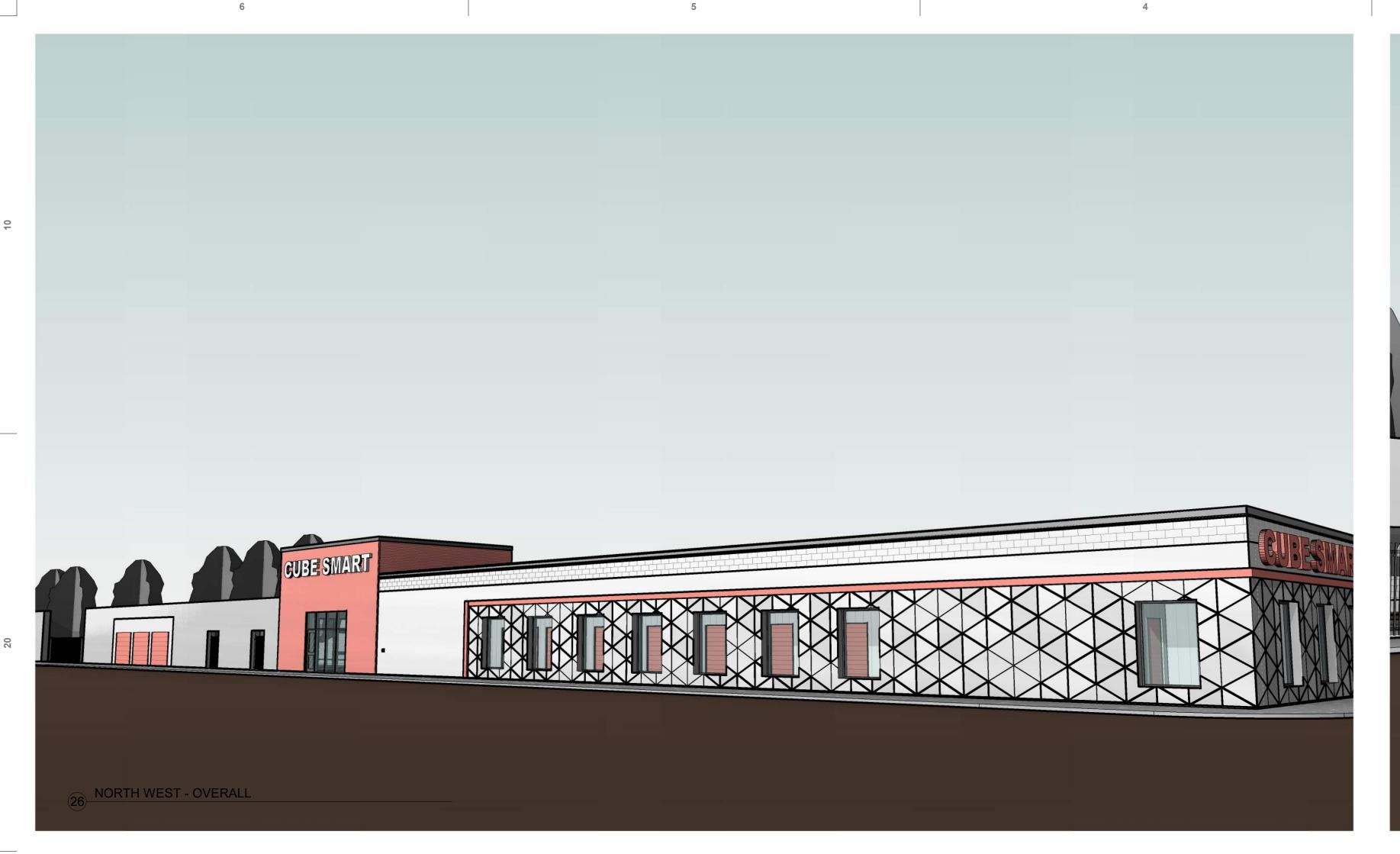
SHEET NAME:

PLANNING
COVER SHEET

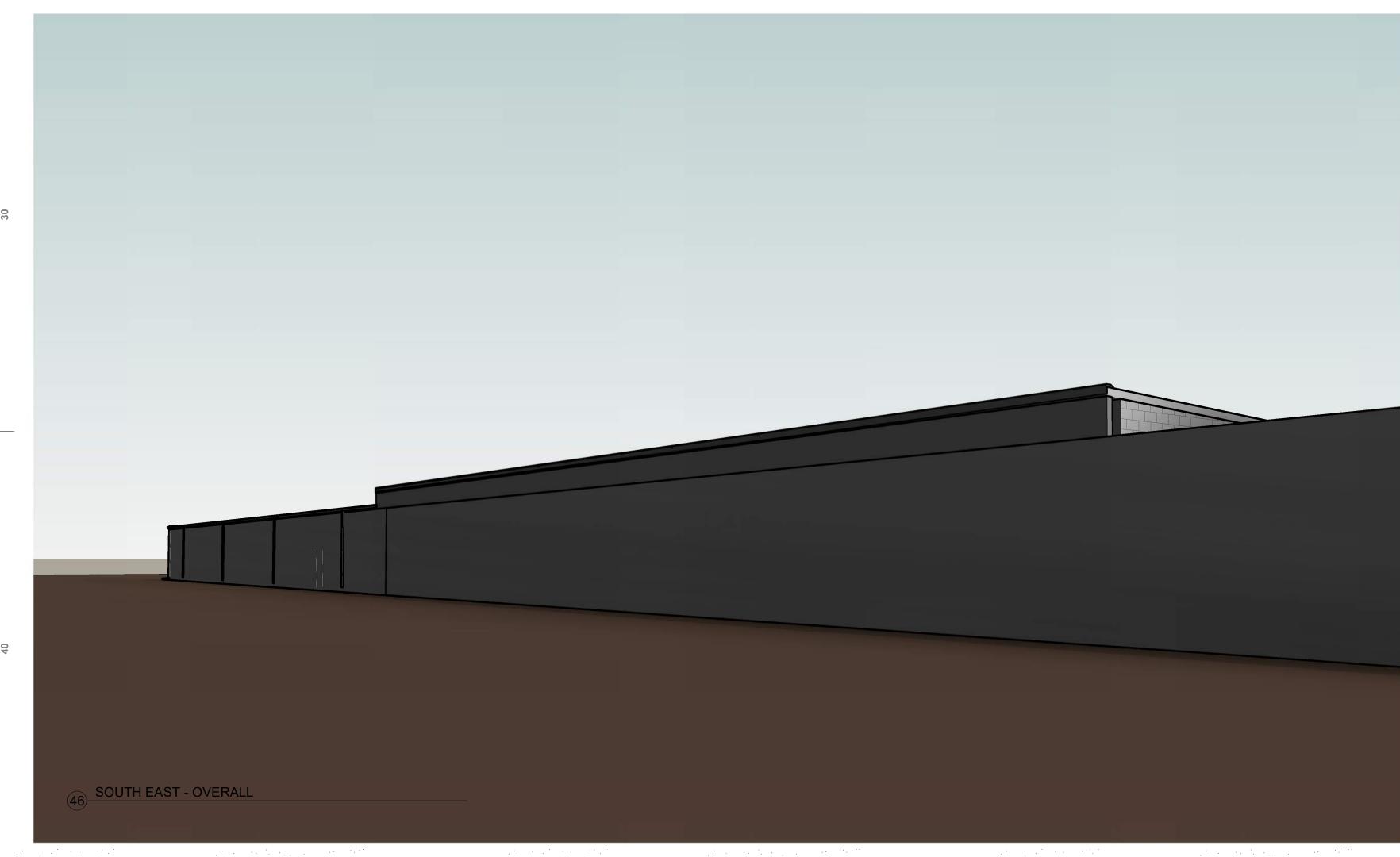
SHEET NUMBER:

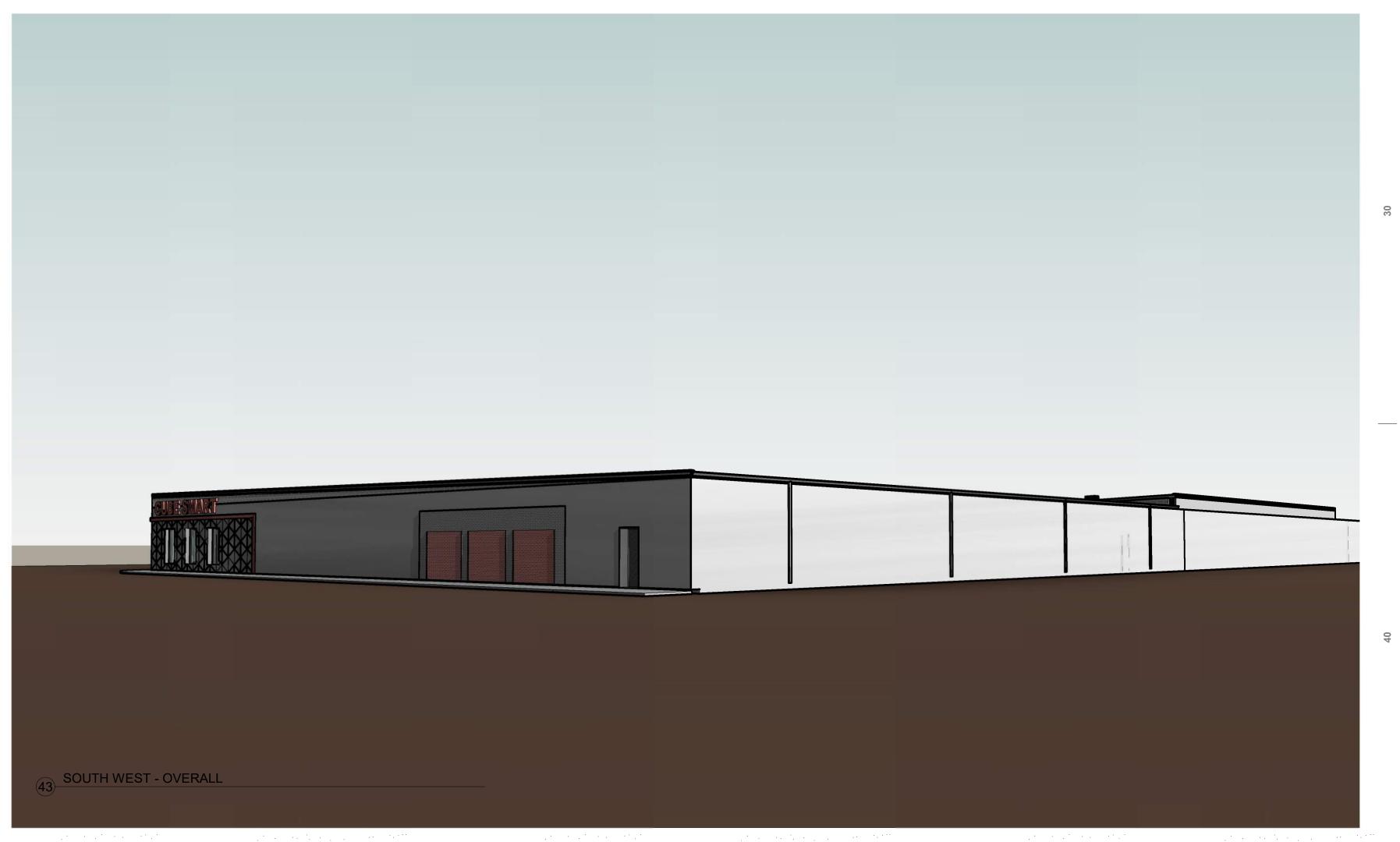
SHEET NUMBER:

DI'VELEPT DESIGN LLC (C) 2018



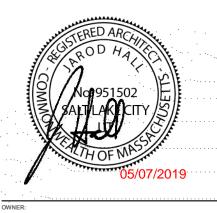






454 N 600 W, SLC, UT 84116 e: howdy@divelept.com p: 801-680-4485 w: www.divelept.com

o. Date Description



OWNER:

PROJECT ADDRESS:

8 WASHBURN

NEW BEDFORD, MA 02740

ARCH PROJECT #: 18-18

A.O.R: JDH

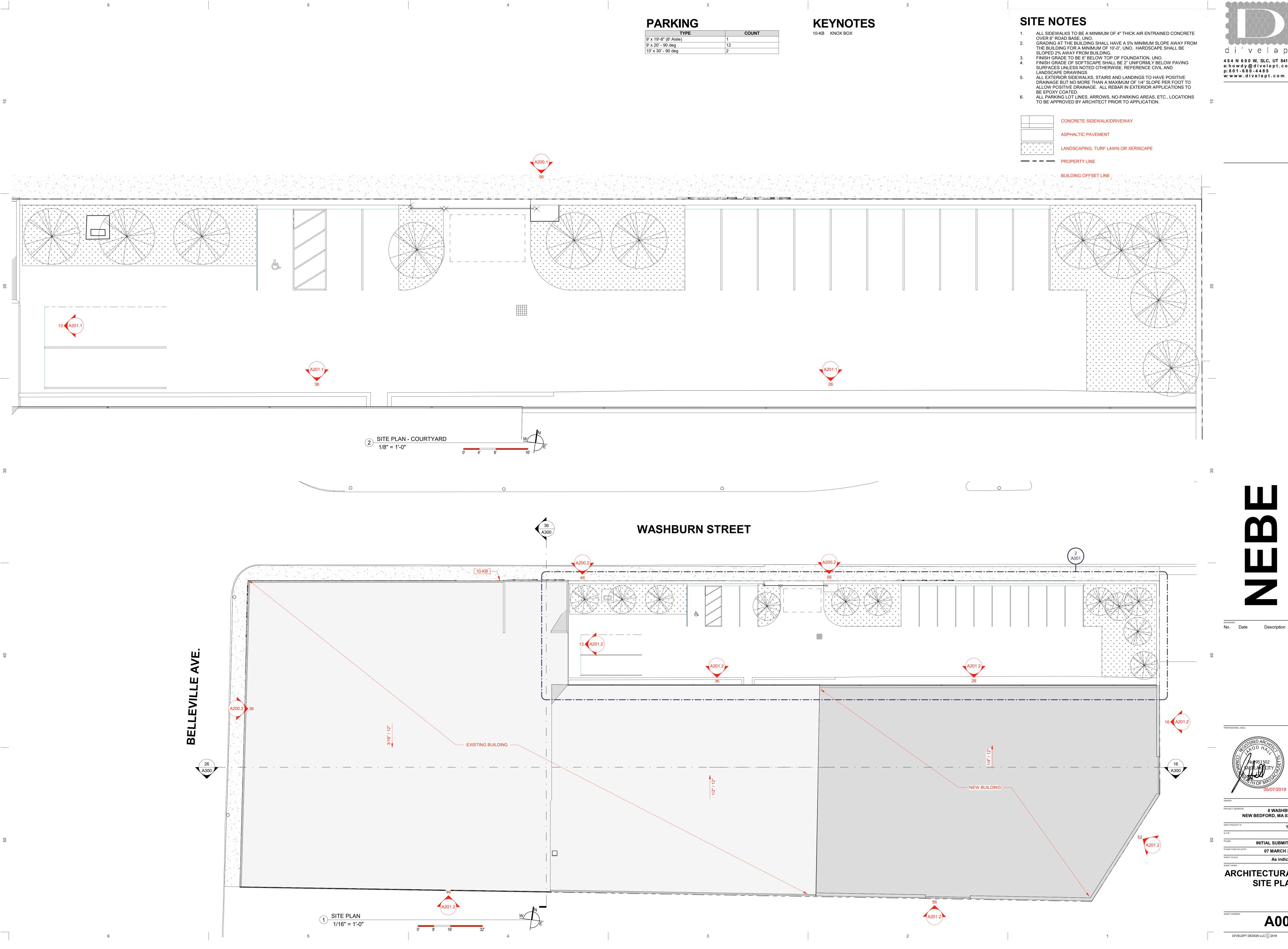
PHASE: INITIAL SUBMITTAL

PHASE PUBLISH DATE: 07 MARCH 2019

3D VIEWS

DI'VELEPT DESIGN LLC © 2018

G300 gg





di'veləpt 4 5 4 N 6 0 0 W, SLC, UT 84116 e: h o w d y @ d i v e l e p t . c o m p: 8 0 1 - 6 8 0 - 4 4 8 5



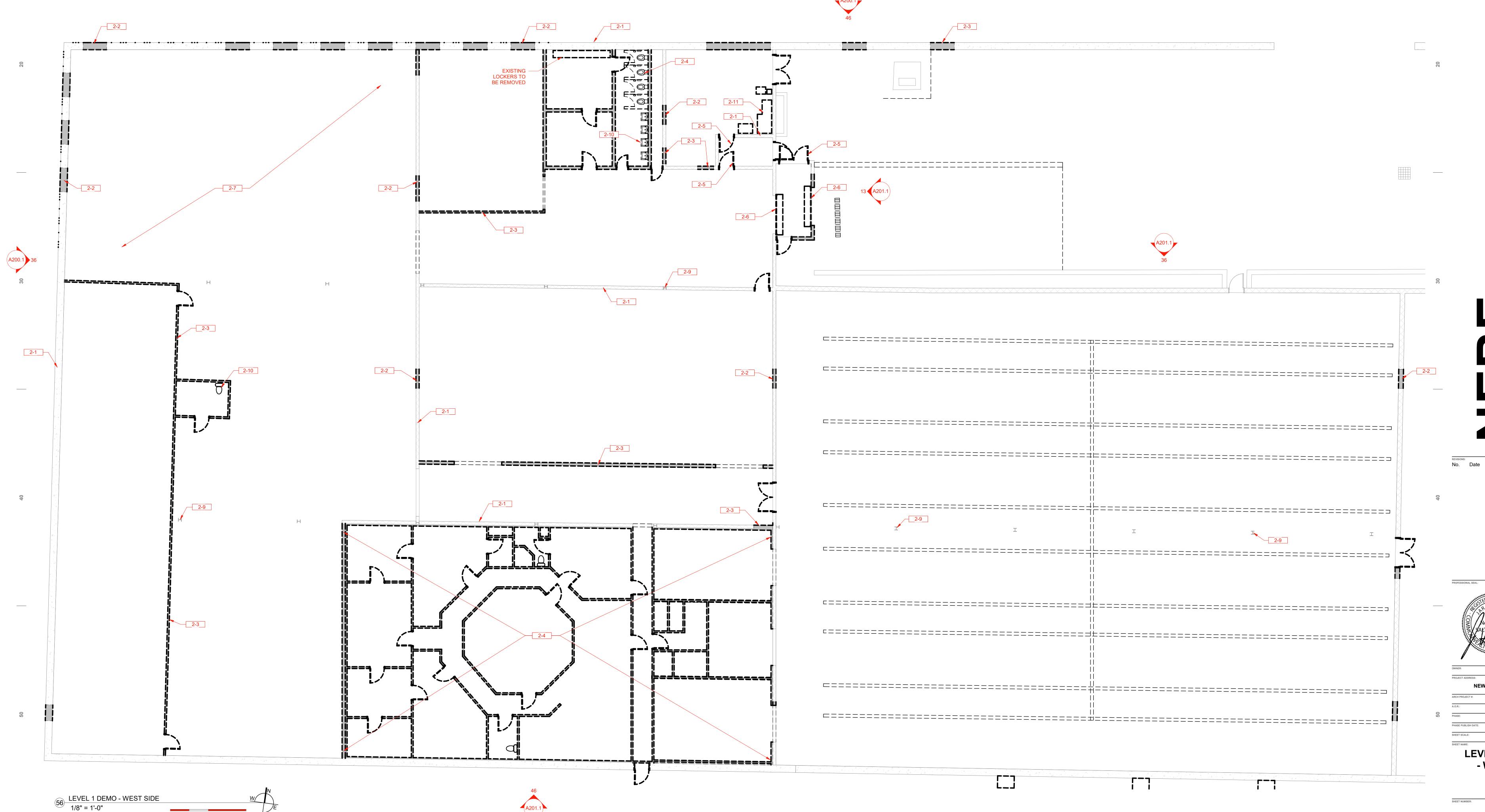
ARCHITECTURAL SITE PLAN

KEYNOTES

- EXISTING WALL CONSTRUCTION, PROTECT WHERE NOT CALLED OUT FOR DEMOLISHING CUT OPENING IN EXISTING CONCRETE WALL. PATCH AND REPAIR EDGES AS
- REQUIRED TO PREPARE FOR NEW PAINT AT JAMBS REMOVE EXISTING WALL CONSTRUCTION
- REMOVE EXISTING OFFICE AREA IN ITS ENTIRETY, INCLUDING, BUT NOT LIMITED; TO WALLS, FLOORS, CEILING, ELECTRICAL DEVICES AND RACEWAYS, PLUMBING FIXTURES AND PIPES
- REMOVE EXISTING DOOR AND FRAME
- REMOVE EXISTING OVERHEAD COILING DOOR
- EXISTING CONCRETE FLOOR, PROTECT FROM DAMAGE EXISTING BUILDING COLUMN, PROTECT FROM DAMAGE
- REMOVE EXISTING PLUMBING FIXTURES AND ABOVE SLAB PIPES. CAP BELOW SLAB PIPES BELOW FLOOR. PATCH FLOOR AS REQUIRED TO PROVIDE SMOOTH SURFACE
- 2-11 REMOVE EXISTING UTILITY EQUIPMENT

DEMO PLAN NOTES

- THE CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS AND CONDITIONS INCLUDING EXISTING UTILITIES PRIOR TO BIDDING AS THE LOCATIONS SHOWN IN THE DOCUMENTS ARE APPROXIMATED. ALL VARIANCES FROM WHAT IS SHOWN IN THE DRAWINGS SHALL BE BROUGHT TO THE
- ATTENTION OF THE OWNER AND ARCHITECT PRIOR TO BID. CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PROTECT THE EXISTING STRUCTURE, FINISHES, AND SITE ELEMENTS NOT CALLED FOR DEMOLITION DURING WORK.
- AFTER DEMOLITION AND PRIOR TO FINISH, PATCH AND REPAIR ALL EXISTING WALLS AND FLOORS AS NECESSARY TO PROVIDE SMOOTH SURFACE SUITABLE FOR NEW FINISHES. ANY ELECTRICAL AND/OR MECHANICAL DEVICES OR OTHER ITEMS
- REMOVED DURING DEMOLITION SHOULD BE SALVAGED AND REINSTALLED, UNLESS NOTED OTHERWISE. WHERE ELECTRICAL FIXTURES ARE TO BE REMOVED, REMOVE
- ASSOCIATED CIRCUITS TO PANEL, INCLUDING BUT NOT LIMITED TO. DEVICES, WIRES, CONDUIT, AND JUNCTION BOXES.
- WHERE EXISTING PLUMBING IS TO BE REMOVED, REMOVE ANY ASSOCIATED ABOVE SLAB LINES BACK TO NEAREST LINE THAT WILL STILL BE IN USE. CAP BELOW GRADE LINES BELOW THE SLAB AND REPAIR/FILL
- SLAB TO A SMOOTH FLAT FINISH. WHERE EXISTING MECHANICAL EQUIPMENT IS TO BE REMOVED, REMOVE ASSOCIATED DUCTS AND GAS LINES BACK TO NEAREST POINT THAT IS
- STILL IN USE. ANY DAMAGE SHOULD BE REPORTED IMMEDIATELY SO THAT THEY MAY BE EASILY CORRECTED BEFORE PROBLEMS DEVELOP.
- REMOVE CEILING AND HEADERS AS REQUIRED IN REMODELED AREAS.
- PREP EXTERIOR FOR NEW PAINT, REMOVE ALL STAY OBJECTS ATTACHED TO BUILDING, REMOVED PEELING/CHIPPING PAINT, REPOINT BRICK WHERE
- REMOVE ALL EXTERIOR LIGHT FIXTURES AND PREP FOR A NEW FIXTURE IN SAME LOCATION.





e: h o w d y @ d i v e l e p t . c o m

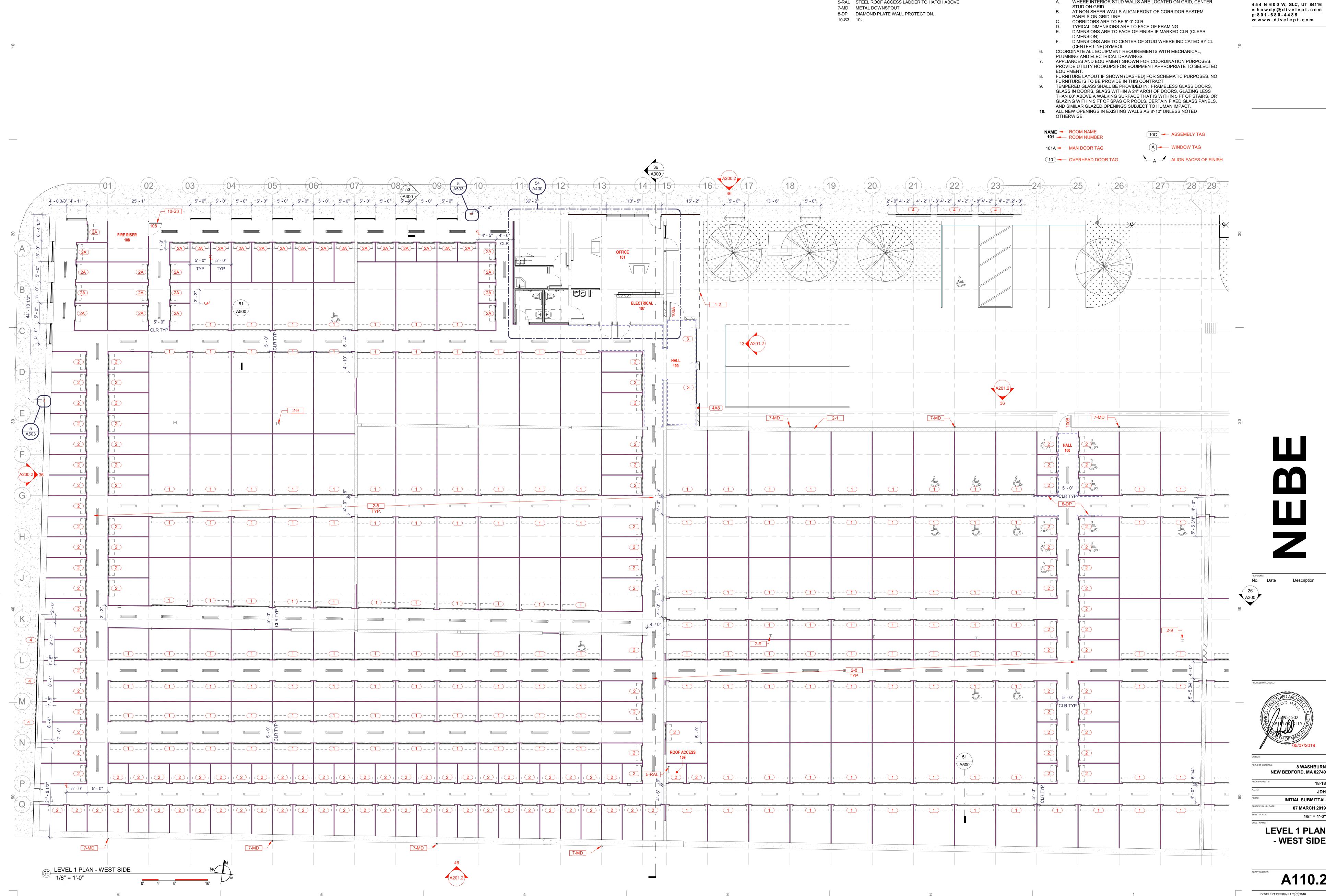
w: w w w . divelept.com

p: 8 0 1 - 6 8 0 - 4 4 8 5



8 WASHBURN NEW BEDFORD, MA 02740 **INITIAL SUBMITTAL** 07 MARCH 2019

LEVEL 1 DEMO - WEST SIDE



PLAN NOTES

KEYNOTES

1-2 LINE OF BUILDING ABOVE

DEMOLISHING

EXISTING WALL CONSTRUCTION, PROTECT WHERE NOT CALLED OUT FOR

2-8 EXISTING CONCRETE FLOOR, PREP HALLWAYS FOR SEALER

2-9 EXISTING BUILDING COLUMN, PROTECT FROM DAMAGE

5-RAL STEEL ROOF ACCESS LADDER TO HATCH ABOVE

- SEE SHEET **A500** FOR ASSEMBLY TYPES AND DETAILS DOORS ARE TO BE 4" FROM HINGE SIDE OPENING TO EDGE OF STUD U.N.O.
 - PROVIDE A TRANSITION STRIP BETWEEN DIFFERENT TYPES OF FLOORING. COORDINATE CASEWORK WITH APPLIANCES BEFORE FABRICATION.
 - WALL DIMENSIONING & ALIGNMENTS UNLESS NOTED OTHERWISE WHERE INTERIOR STUD WALLS ARE LOCATED ON GRID, CENTER STUD ON GRID

di'veləpt



INITIAL SUBMITTAL

LEVEL 1 PLAN - WEST SIDE

A110.2

KEYNOTES

7-MD METAL DOWNSPOUT 8-DP DIAMOND PLATE WALL PROTECTION.

PLAN NOTES

- SEE SHEET **A500** FOR ASSEMBLY TYPES AND DETAILS DOORS ARE TO BE 4" FROM HINGE SIDE OPENING TO EDGE OF STUD U.N.O. PROVIDE A TRANSITION STRIP BETWEEN DIFFERENT TYPES OF FLOORING. COORDINATE CASEWORK WITH APPLIANCES BEFORE FABRICATION.
- WALL DIMENSIONING & ALIGNMENTS UNLESS NOTED OTHERWISE A. WHERE INTERIOR STUD WALLS ARE LOCATED ON GRID, CENTER STUD ON GRID
 - B. AT NON-SHEER WALLS ALIGN FRONT OF CORRIDOR SYSTEM PANELS ON GRID LINE CORRIDORS ARE TO BE 5'-0" CLR
 - TYPICAL DIMENSIONS ARE TO FACE OF FRAMING
 DIMENSIONS ARE TO FACE-OF-FINISH IF MARKED CLR (CLEAR DIMENSION)
- DIMENSIONS ARE TO CENTER OF STUD WHERE INDICATED BY CL (CENTER LINE) SYMBOL 6. COORDINATE ALL EQUIPMENT REQUIREMENTS WITH MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS
- APPLIANCES AND EQUIPMENT SHOWN FOR COORDINATION PURPOSES. PROVIDE UTILITY HOOKUPS FOR EQUIPMENT APPROPRIATE TO SELECTED EQUIPMENT.
- FURNITURE LAYOUT IF SHOWN (DASHED) FOR SCHEMATIC PURPOSES. NO FURNITURE IS TO BE PROVIDE IN THIS CONTRACT TEMPERED GLASS SHALL BE PROVIDED IN: FRAMELESS GLASS DOORS,
- GLASS IN DOORS, GLASS WITHIN A 24" ARCH OF DOORS, GLAZING LESS THAN 60" ABOVE A WALKING SURFACE THAT IS WITHIN 5 FT OF STAIRS, OR GLAZING WITHIN 5 FT OF SPAS OR POOLS, CERTAIN FIXED GLASS PANELS, AND SIMILAR GLAZED OPENINGS SUBJECT TO HUMAN IMPACT. 10. ALL NEW OPENINGS IN EXISTING WALLS AS 8'-10" UNLESS NOTED

NAME - ROOM NAME **101 →** ROOM NUMBER

OTHERWISE

10C ASSEMBLY TAG

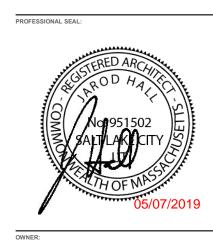
101A — MAN DOOR TAG

A WINDOW TAG

10 OVERHEAD DOOR TAG

ALIGN FACES OF FINISH





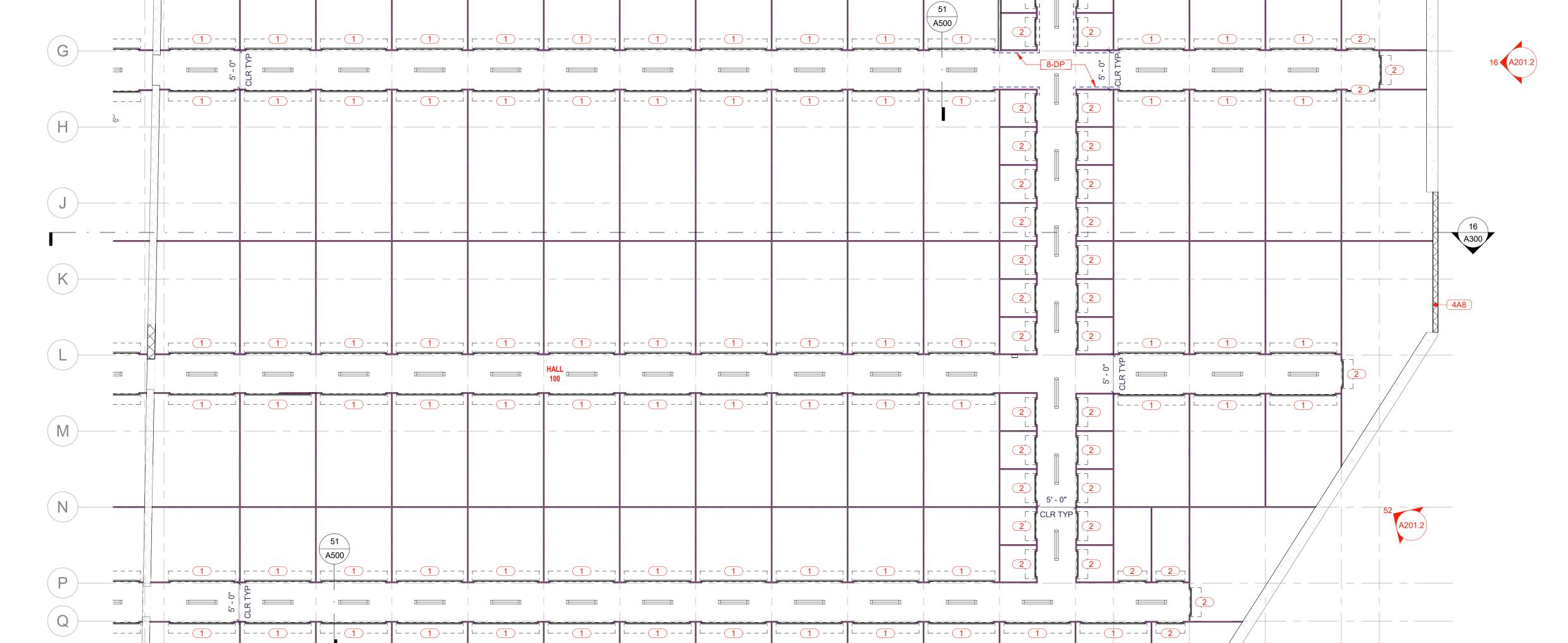
INITIAL SUBMITTAL

LEVEL 1 PLAN - EAST SIDE

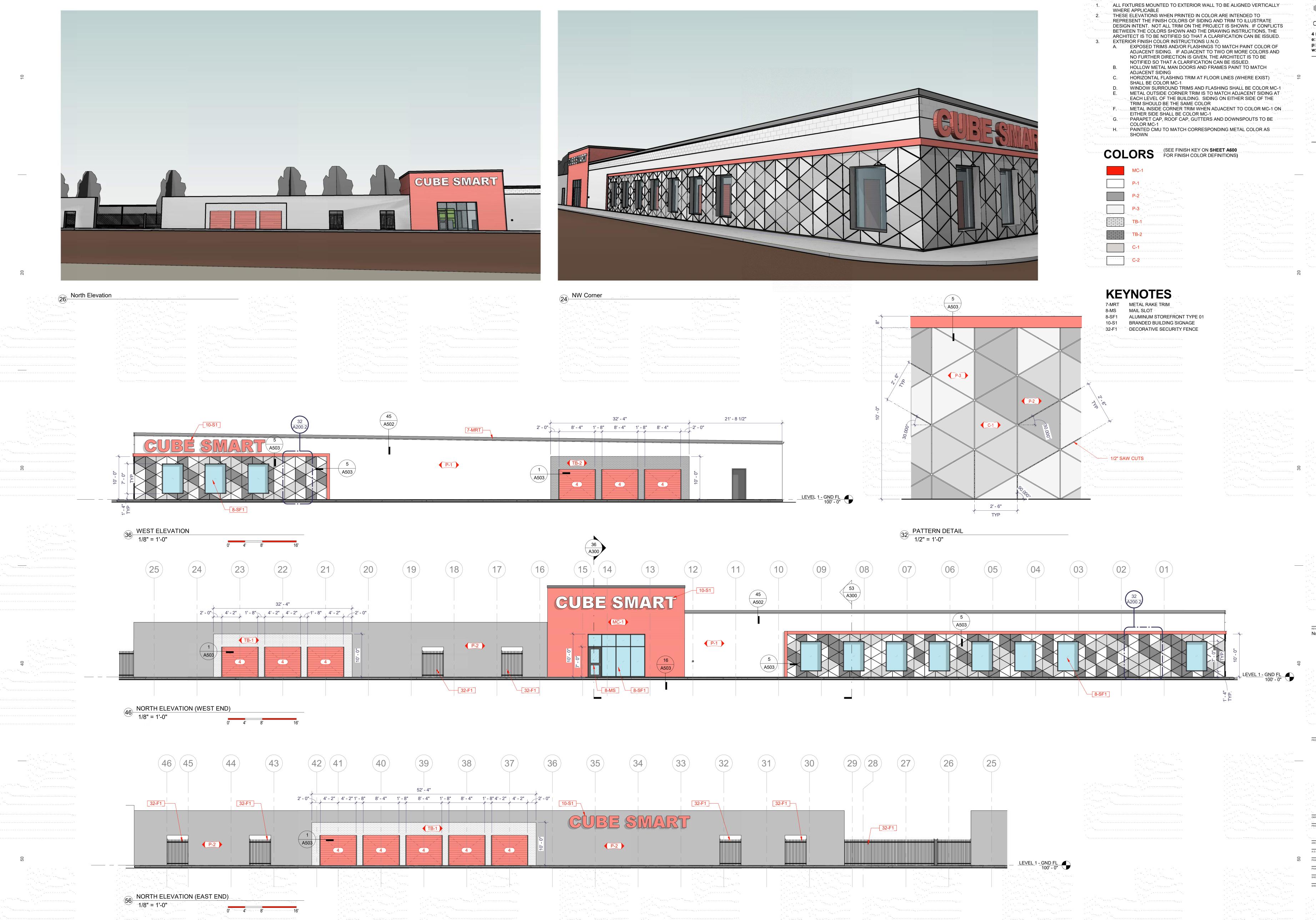
di'veləpt

4 5 4 N 6 0 0 W, SLC, UT 84116 e: h o w d y @ d i v e l e p t . c o m p: 8 0 1 - 6 8 0 - 4 4 8 5

w: w w w . divelept.com



55 <u>LEVEL 1 PLAN - EAST SIDE</u> 1/8" = 1'-0"





EXT. ELEVATION NOTES

d i V e apt

454 N 600 W, SLC, UT 84116
e: howdy@divelept.com
p: 801-680-4485
w: www.divelept.com

Mag951502
SALTILARICITY
S
O5/07/2019

JER:

OJECT ADDRESS: 8 WASHBUR
NEW BEDFORD, MA 0274
CH PROJECT #: 18-

THE PROJECT #: 18-18

RE: JDH

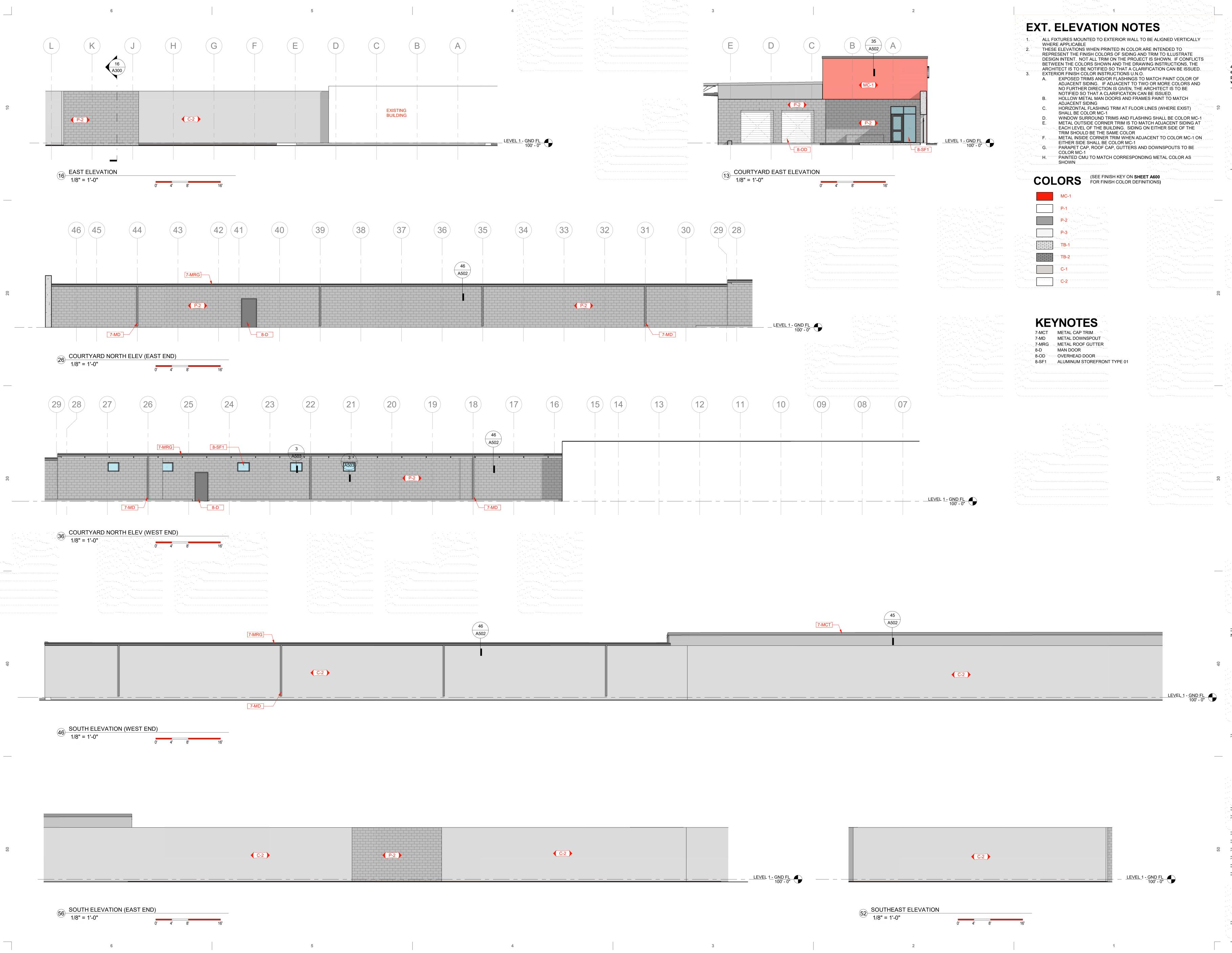
ASE: INITIAL SUBMITTAL

ASE PUBLISH DATE: 07 MARCH 2019

EET SCALE: As indicated

EXTERIOR ELEVATIONS

A200.2





îdii veelle əlipete 4 5 4 N 6 0 0 W, SLC, UT 84116 e: h o w d y @ d i v e l e p t . c o m p: 8 0 1 - 6 8 0 - 4 4 8 5 w: w w w . divelept.com

INITIAL SUBMITTAL 07 MARCH 2019

EXTERIOR ELEVATIONS

DI'VELEPT DESIGN LLC © 2018