

# PROPOSED COMMERCIAL DEVELOPMENT BRALEY ROAD NEW BEDFORD, MASSACHUSETTS

## SITE SUMMARY

ASSESSORS MAP 136 LOT 309

ZONING DISTRICT: MIXED USE BUSINESS

PROPOSED USE: RESTAURANT/RETAIL  
WITH DRIVE-THRU

DEED REFERENCE: BOOK 5577, PAGE 11

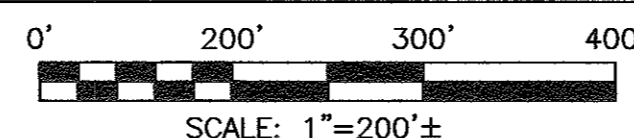
PLAN REFERENCE: PLAN BOOK 165, PAGE 63

## ZONING REQUIREMENTS TABLE

	REQUIRED	PROPOSED
LOT AREA	—	30,130 SF
LOT FRONTAGE	0'	227.18' (BRALEY ROAD) 150.16' (BRALEY ROAD EXT.)
FRONT SETBACK (BLDG.)	0'	68'
SIDE SETBACK (BLDG.)	0'	84' LT, 49' RT.
REAR SETBACK (BLDG.)	10'	23'
FRONT SETBACK (PARKING)	0'	1'
SIDE SETBACK (PARKING)	0'	3'
REAR SETBACK (PARKING)	0'	5'
BUILDING HEIGHT	100'	25'
LOT COVERAGE		40%
GREEN SPACE	0	60%
SCREENING BUFFERS	N/A	N/A
OFF STREET PARKING	14	22



## LOCUS MAP



## PLAN INDEX

SHEET NO.	TITLE	DATE
—	COVER SHEET	MARCH 27, 2019
1 OF 8	SITE LAYOUT	MARCH 27, 2019
2 OF 8	LOCUS MAP	MARCH 27, 2019
3 OF 8	GRADING & UTILITIES	MARCH 27, 2019
4 OF 8	LANDSCAPING/LIGHTING PLAN	MARCH 27, 2019
5 OF 8	EXISTING CONDITIONS	MARCH 27, 2019
6 OF 8	EROSION CONTROL PLAN	MARCH 27, 2019
7 OF 8	DETAIL SHEET #1	MARCH 27, 2019
8 OF 8	DETAIL SHEET #2	MARCH 27, 2019
—	BUILDING ELEVATIONS	FEBRUARY 25, 2019
—	FLOOR PLAN	FEBRUARY 25, 2019

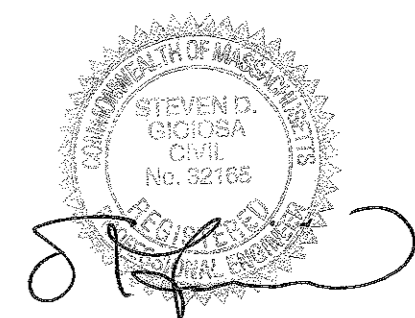
### OWNER:

**BRALEY NORTH REALTY TRUST**  
70 LAMBETH STREET  
NEW BEDFORD, MA 02745

### APPLICANT:

**BRALEY NORTH REALTY TRUST**  
70 LAMBETH STREET  
NEW BEDFORD, MA 02745

DATE: MARCH 27, 2019



## SITEC

Civil and Environmental Engineering  
Land Use Planning

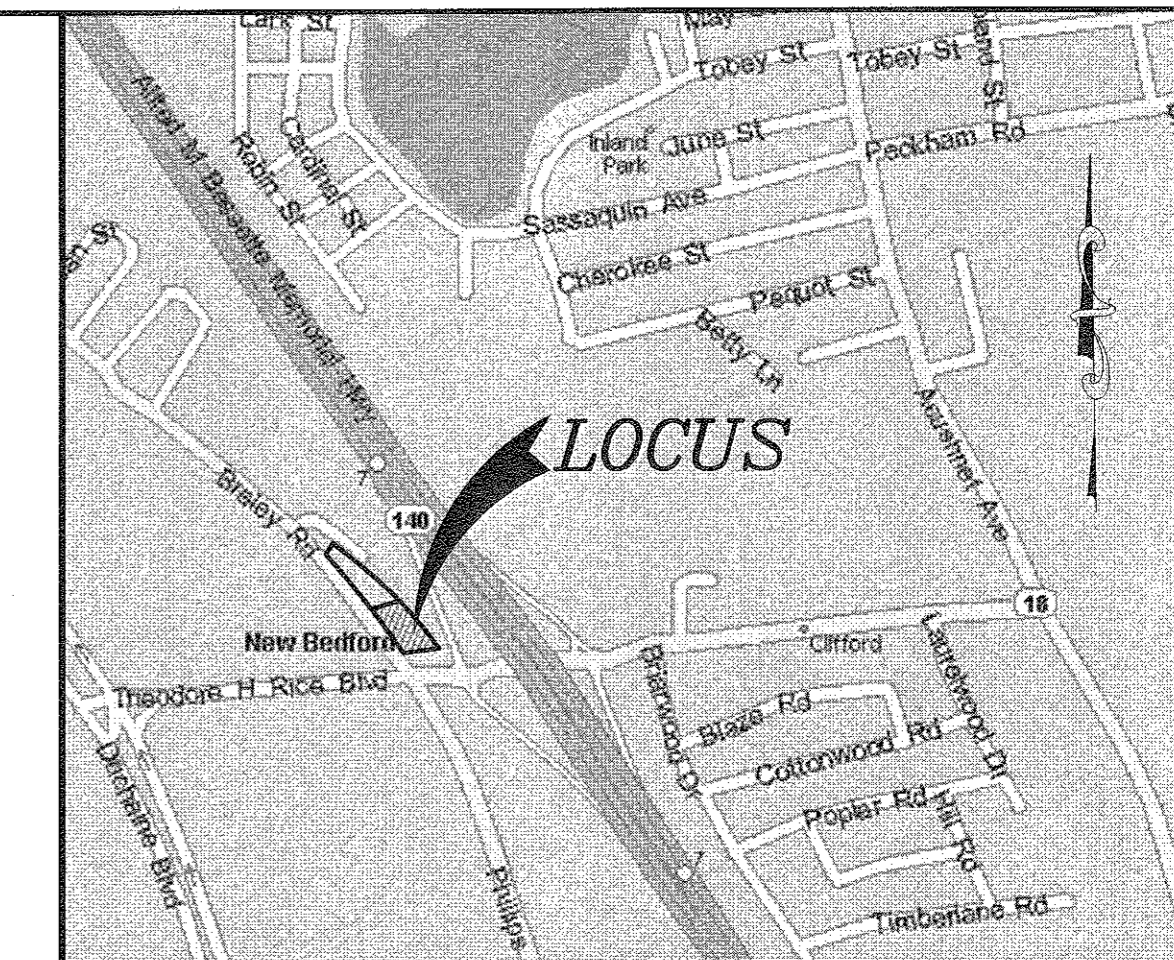
449 Faunce Corner Road  
Dartmouth, MA 02747  
(508) 998-2125  
FAX (508) 998-7554  
WWW.SITEC-ENGINEERING.COM  
ACAD NO. 07-4084 COVER SHEET.DWG

**NOTES:**

1. I HEREBY CERTIFY THAT THE PROJECT AS DESIGNED MEETS THE APPLICABLE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD.

*[Signature]* 5-6-19  
DATE

- DRIVEWAY PERMIT SUBJECT TO TRAFFIC COMMISSION APPROVAL.
- PERMITS FOR SIDEWALK, DRIVEWAYS, WATER & SEWER MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC INFRASTRUCTURE ENGINEERING DIVISION.
- ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY PLANNER AND CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY PLANNER AND CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
- ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
- ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS.



**LOCUS MAP**  
SCALE: 1"=800'±

**LEGEND**

- PROPERTY LINE
- \* \* \* \* \* EXISTING CHAIN LINK FENCE
- - - - - OHW EXISTING OVERHEAD WIRES
- UP ○ EXISTING UTILITY POLE
- WF#S10 WF#S11 EDGE OF BORDERING VEGETATED WETLANDS
- LP\* PROPOSED LIGHT POLE
- (8) PROPOSED NUMBER OF PARKING SPACES
- [R] PROPOSED HANDICAP RAMP
- DYL PROPOSED DOUBLE YELLOW LINE

**SITE SUMMARY**

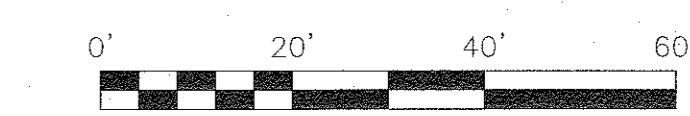
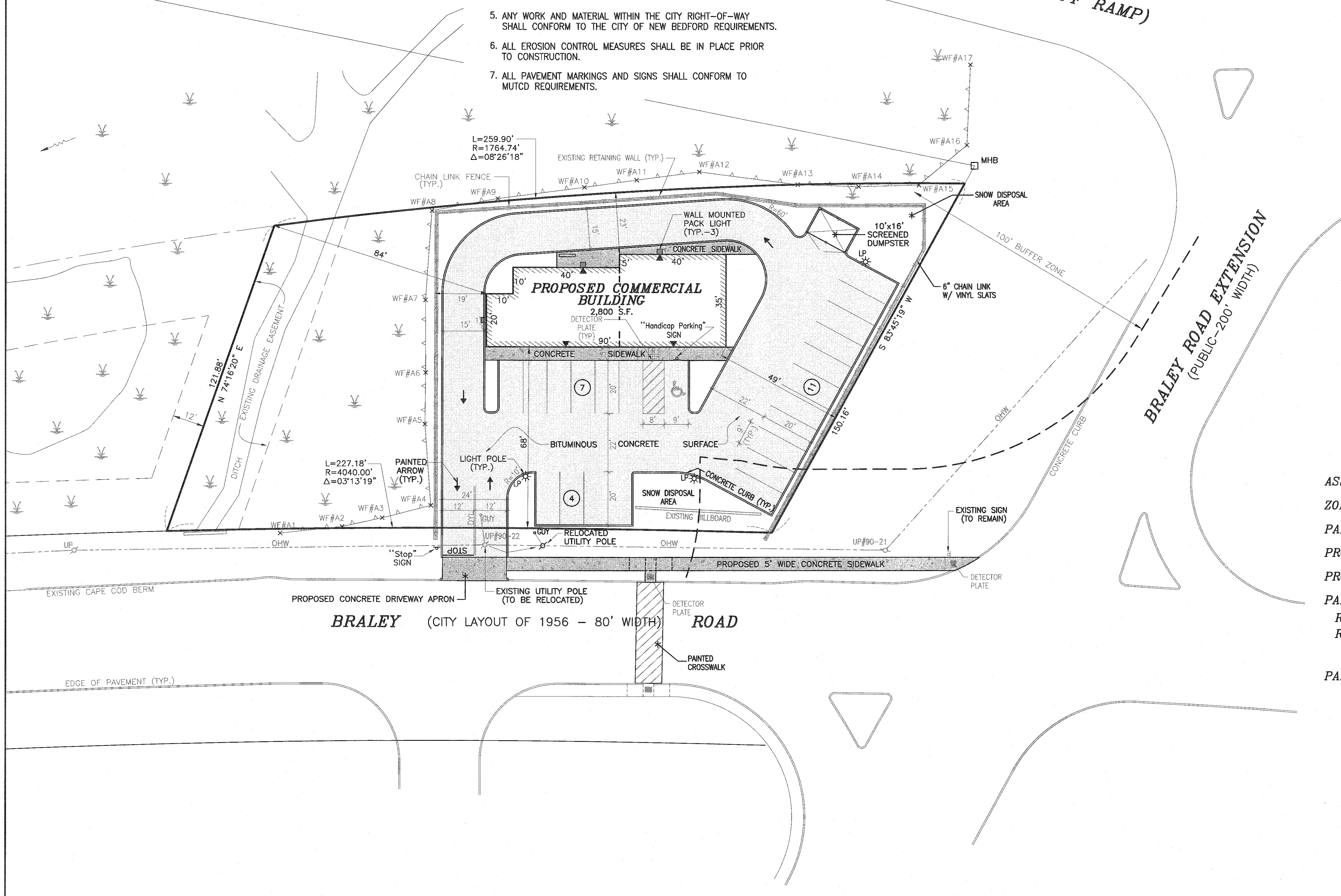
ASSESSORS: MAP 136 LOT 309  
 ZONING DISTRICT - MIXED USE BUSINESS  
 PARCEL AREA - 30,130 SQ. FT. (20,383 SF UPLAND)  
 PROPOSED USE - RETAIL/RESTAURANT  
 PROPOSED BUILDING AREA - 2,800 SQ. FT.  
 PARKING REQUIRED:  
 RESTAURANT: 1,400 SF X 1 SPACE/200 SF = 7 SPACES  
 RETAIL: 1,400 SF X 1 SPACE/200 SF = 7 SPACES  
 TOTAL = 14 SPACES  
 PARKING PROVIDED: 22 SPACES

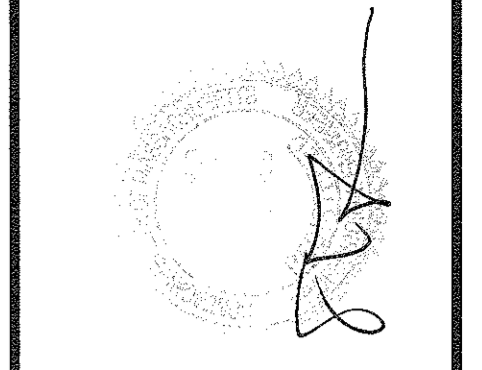
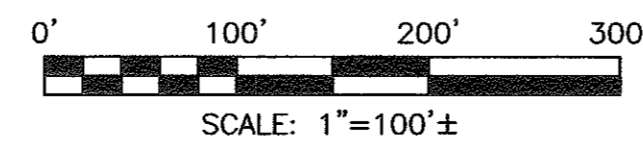
**OWNER/APPLICANT**

**BRALEY NORTH REALTY TRUST**  
 70 LAMBETH STREET  
 NEW BEDFORD, MA 02745

Project:	PLAT 136 - LOT 309
Date:	MARCH 27, 2019
Drawn:	KPM
Checked:	SDG
Approved:	SDG
Sheet:	1 of 8
Drawing Number:	SP-1
Project:	PLAT 136 - LOT 309
Proposed:	PROPOSED COMMERCIAL DEVELOPMENT
Client:	NEW BEDFORD, MASSACHUSETTS
Client:	BRALEY NORTH REALTY TRUST
Drawing Title:	SITE LAYOUT
Scale:	1"=20'
Date:	MARCH 27, 2019
Drawn:	KPM
Checked:	SDG
Approved:	SDG
Sheet:	1 of 8
Drawing Number:	SP-1
Project:	PLAT 136 - LOT 309
Proposed:	PROPOSED COMMERCIAL DEVELOPMENT
Client:	NEW BEDFORD, MASSACHUSETTS
Client:	BRALEY NORTH REALTY TRUST
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Scale:	1"=20'
Date:	MARCH 27, 2019
Drawn:	KPM
Checked:	SDG
Approved:	SDG
Sheet:	1 of 8
Drawing Number:	SP-1

N/F  
COMMONWEALTH OF MASSACHUSETTS





No.	Date	Revision Description	Checked by	App'd by

scale: 1" = 100' ±  
 date: MARCH 27, 2019  
 draw: KPM  
 check: SDG  
 approve: SDG  
 sheet 2 of 8  
 drawing number: LOCUS-1

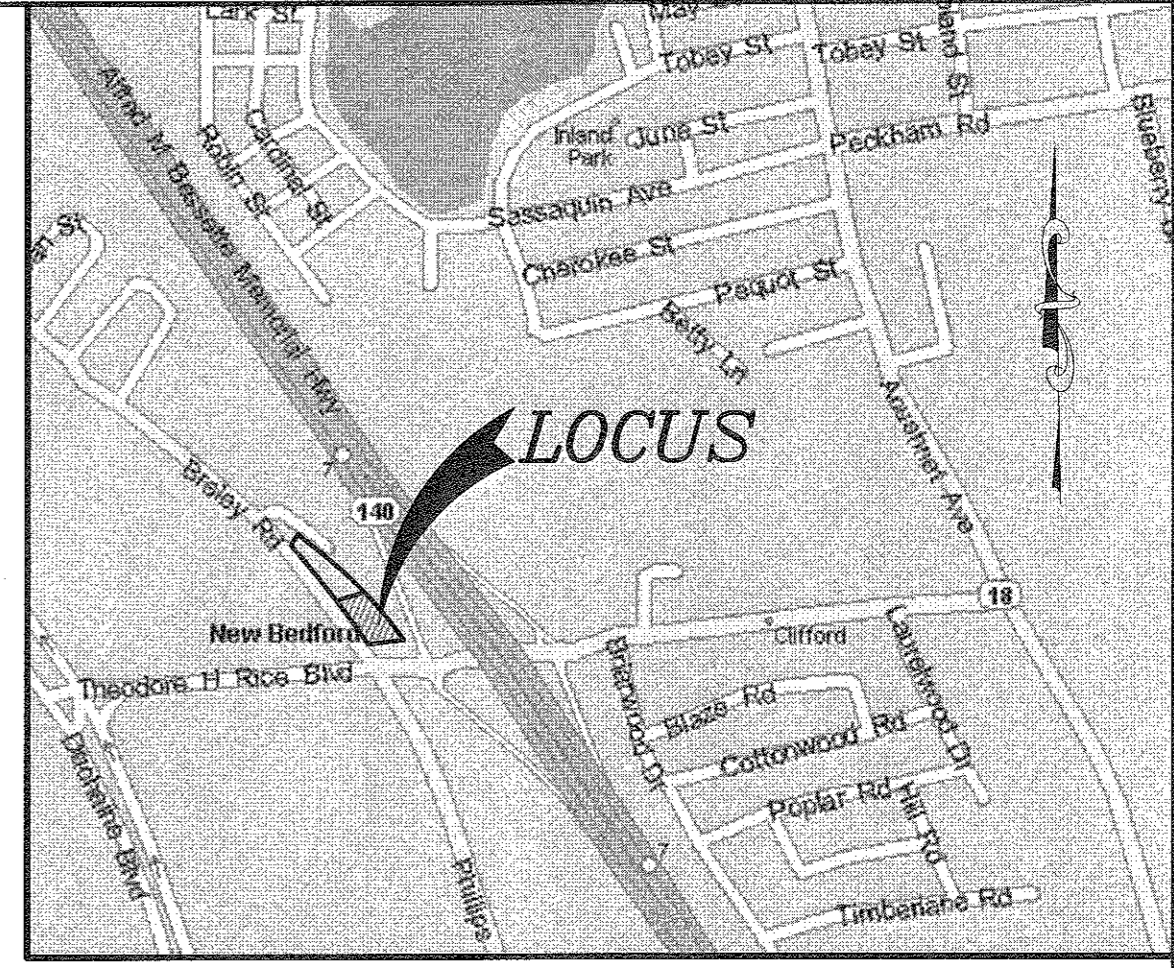
**Project:** PLAT 136 - LOT 309  
 PROPOSED COMMERCIAL DEVELOPMENT  
 NEW BEDFORD, MASSACHUSETTS  
**Client:** BRALEY NORTH REALTY TRUST  
 drawing title: LOCUS MAP

**SITEC, Inc.**  
 449 Fauce Corner Road  
 Dornmouth, MA 02747  
 (508) 998-2125  
 FAX (508) 998-7354  
 WWW.SITEC-ENGINEERING.COM

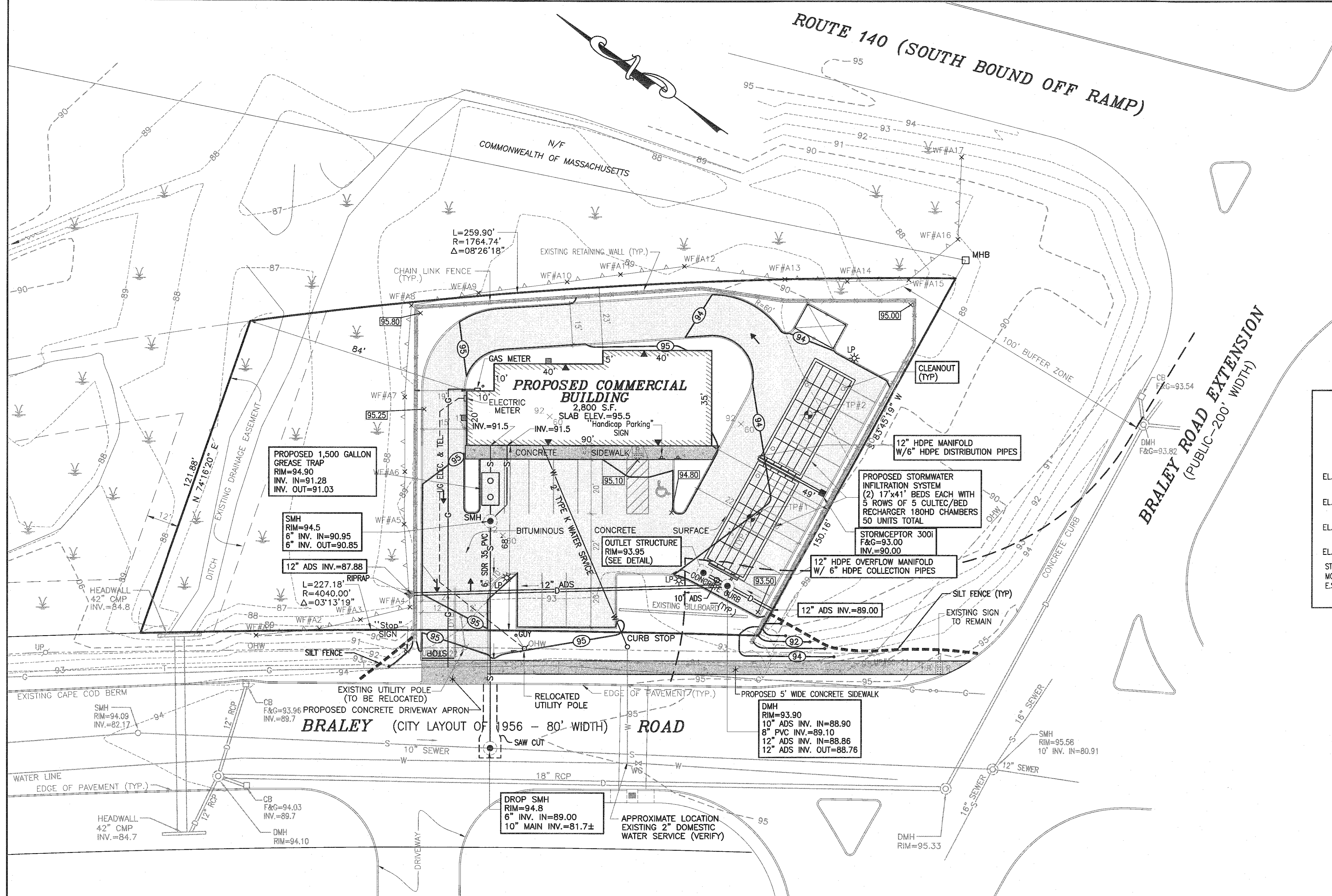
**SITEC**  
 Civil and Environmental Engineering  
 Land Use Planning

Acad No. NB 07-4084  
 LOCUS MAP.DWG  
 File No. 07-4084

ROUTE 140 (SOUTH BOUND OFF RAMP)



LOCUS MAP  
SCALE: 1"=800'±



**SOIL TEST DATA**  
SOIL TESTING AND EVALUATION BY: ALAN W. LOOMIS;  
DATE: 1/14/04

TP 1 EL. 88.4 (EXISTING GRADE)		TP 2 EL. 89.90 (EXISTING GRADE)	
EL.=87.73	A HORIZON SANDY LOAM 10YR 2/1	EL.=89.40	A HORIZON SANDY LOAM 10YR 2/1
EL.=86.98	B1 HORIZON SANDY LOAM 10YR 4/4	EL.=88.06	B1 HORIZON SANDY LOAM 10YR 4/6
EL.=85.98	B2 HORIZON LOAMY SAND 10YR 4/3	EL.=87.57	B2 HORIZON SANDY LOAM 10YR 4/4
EL.=84.48	C1 HORIZON SAND 2.5Y 4/4	EL.=84.90	C1 HORIZON SAND 2.5Y 4/4

STANDING WATER OBSERVED: 43" (EL.=84.82)  
MOTTLING OBSERVED: 25" (EL.=86.32)  
E.S.H.G.W.: EL.=86.32

STANDING WATER OBSERVED: 60" (EL.=84.90)  
MOTTLING OBSERVED: 36" (EL.=86.90)  
E.S.H.G.W.: EL.=86.90  
PERC. RATE: <2 MPI @ 42" (EL.=86.40)

**CONSTRUCTION INSPECTION SCHEDULE**  
FOR CONSTRUCTION OF THE RETAIL FACILITY

THE CONSERVATION AGENT IS TO BE NOTIFIED FOR AN INSPECTION WHEN THE EROSION CONTROLS HAVE BEEN INSTALLED AND PRIOR TO ANY OTHER EARTHWORK.

**LEGEND**

- PROPERTY LINE
- - - B9 EXISTING CONTOUR
- x - x - x - EXISTING CHAIN LINK FENCE
- - - QHW EXISTING OVERHEAD WIRES
- G - EXISTING GAS MAIN
- W - EXISTING WATER MAIN
- S - EXISTING SEWER LINE
- D - EXISTING DRAINAGE LINE
- T - EXISTING UNDERGROUND TELEPHONE
- CB □ EXISTING CATCH BASIN
- DMH ○ EXISTING DRAIN MANHOLE
- SMH ○ EXISTING SEWER MANHOLE
- HYD ○ EXISTING FIRE HYDRANT
- WG ○ EXISTING WATER GATE VALVE
- GG ○ EXISTING GAS GATE VALVE
- UP ○ EXISTING UTILITY POLE
- TP ○ EXISTING TEST PIT
- WF#S10, WF#S11 ○ EDGE OF BORDERING VEGETATED WETLANDS
- LP \* ○ PROPOSED LIGHT POLE
- CB □ PROPOSED CATCH BASIN
- DMH ○ PROPOSED DRAIN MANHOLE
- SMH ○ PROPOSED SEWER MANHOLE
- G - PROPOSED GAS MAIN
- W - PROPOSED WATER MAIN
- S - PROPOSED SEWER LINE
- D - PROPOSED DRAINAGE LINE
- 94 ○ PROPOSED CONTOUR
- 95.25 ○ PROPOSED SPOT GRADE
- PROPOSED HANDICAP RAMP

**REVISIONS**

No.	Date	Revision Description

Scale: 1"=20'

DATE: MARCH 27, 2019

PROJECT: PLAT 136 - LOT 523 PROPOSED COMMERCIAL DEVELOPMENT NEW BEDFORD, MASSACHUSETTS

CLIENT: BRALEY NORTH REALTY TRUST

DRAWING TITLE: GRADING & UTILITIES

DRAWING NUMBER: GU-1

PROJECT: PLAT 136 - LOT 523 PROPOSED COMMERCIAL DEVELOPMENT NEW BEDFORD, MASSACHUSETTS

CLIENT: BRALEY NORTH REALTY TRUST

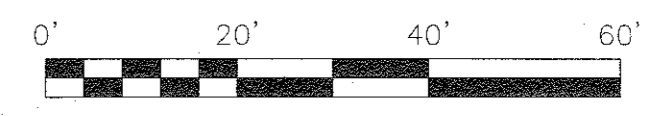
DRAWING TITLE: GRADING & UTILITIES

DRAWING NUMBER: GU-1

SITEC, Inc.  
440 Fource Corner Road  
New Bedford, MA 01947  
(508) 998-3132  
FAX (508) 998-7554

**SITEC**  
Civil and Environmental Engineering  
Land Use Planning

Acad. No. NB 07-4084 GU.DWG  
File No. 07-4084

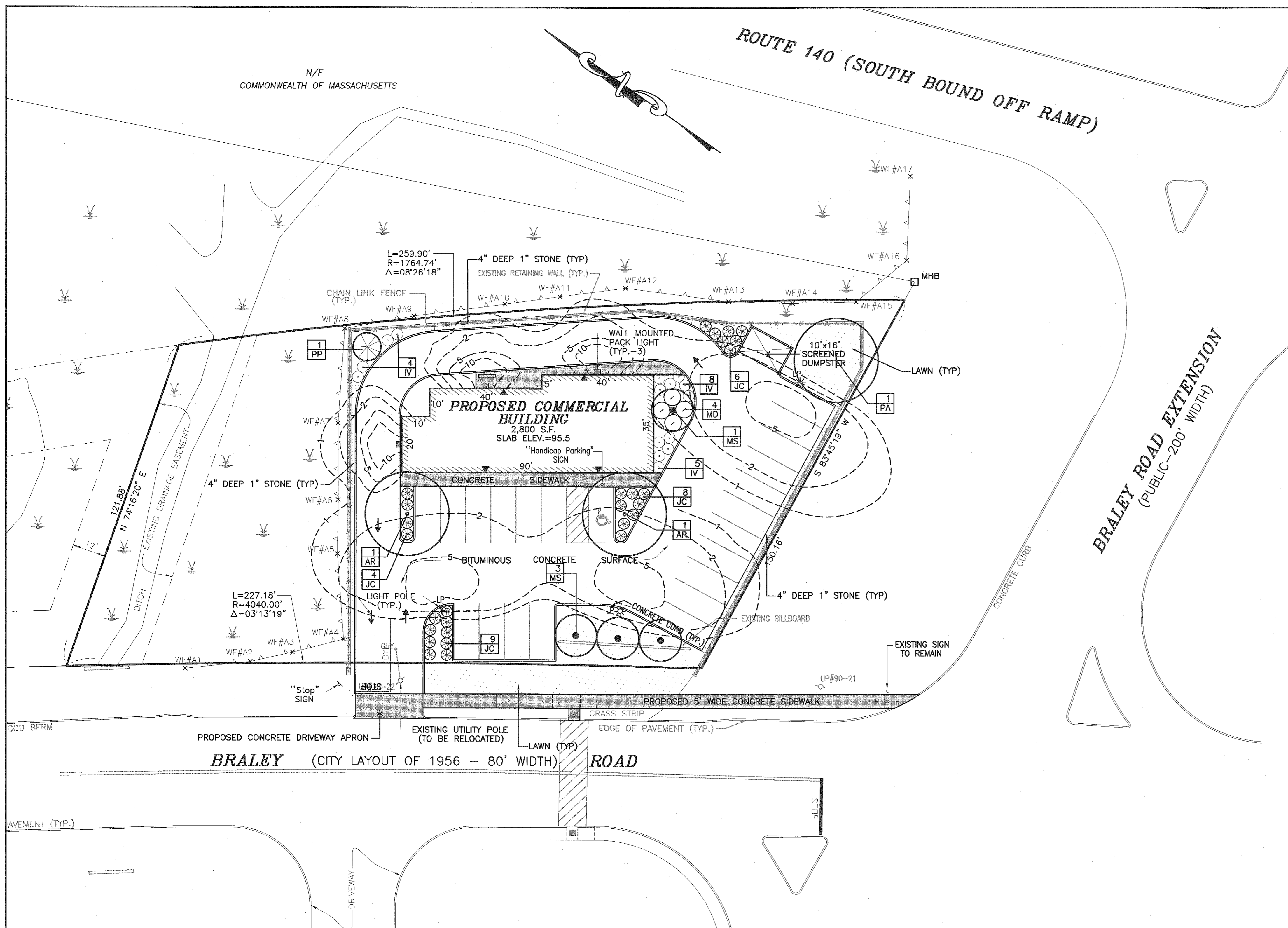


N/F  
COMMONWEALTH OF MASSACHUSETTS

ROUTE 140 (SOUTH BOUND OFF RAMP)

**PLANTING NOTES**

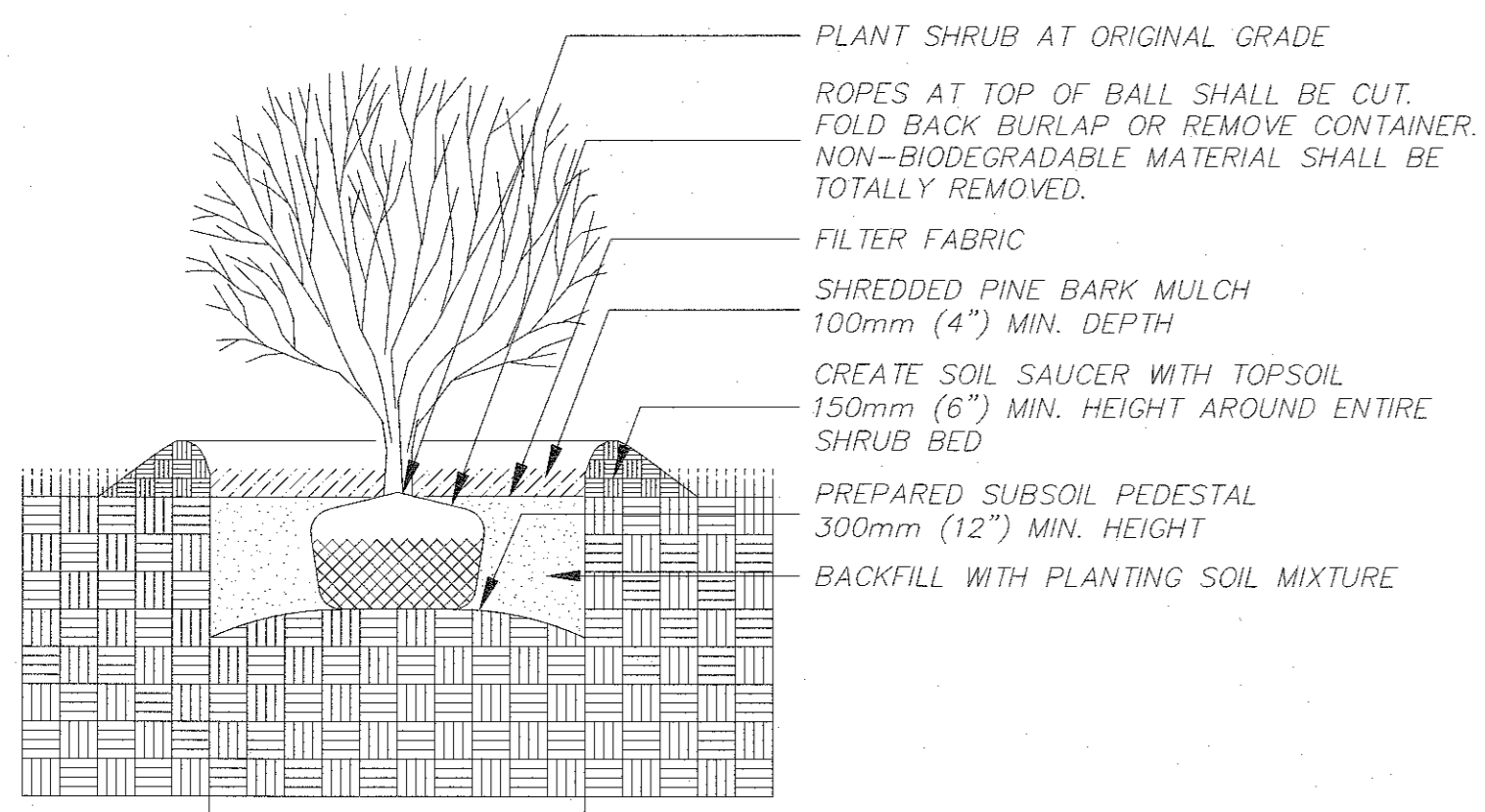
- All new lawn areas shall receive a minimum of 6 inches topsoil of the proper pH and organic content suitable for the healthy growth of lawns. These areas shall be seeded with a fine blade lawn grass seed.
- All tree and shrub pits shall be at least 2 feet wider and 1 foot deeper than the tree or shrub root ball to be planted in it. Backfill shall be high quality loam of the proper pH and organic content suitable for the healthy growth of plant materials.
- All areas to be mulched shall receive 4 inches minimum 100% shredded bark mulch within 48 hours of planting. Unless otherwise noted in planting details.
- All plants shall be nursery grown and conform to the latest edition of "ANSI Z60.1, American Standard for Nursery Stock."
- Plants shall conform to the botanical name as indicated in the latest edition of "American Joint Committee of Horticultural Nomenclature, Standardized Plant Names."
- Plants shall be handled at all times in accordance with the best horticultural practices. Plants in-leaf shall be sprayed with anti-desiccant before digging. Plants shall be dug with firm natural balls and shall conform to the ratios and sizes specified in ANSI Z60.1. B & B plants shall be wrapped in burlap and tied firmly. Plant materials shall be delivered immediately prior to placement, shall be kept moist and shall be protected from sun and wind. Plants having broken or cracked balls prior to or during planting will not be accepted.
- All trunks of deciduous trees shall be wrapped immediately after planting with tree wrap. Wrap shall be wound spirally, from the bottom of the trunk to the second branches. All trees shall be staked or guyed immediately after planting in accordance with best horticultural practices.
- The periods for planting shall be from March 15 to May 15 and from September 15 to November 15, weather permitting.
- All disturbed areas shall be loamed and seeded as directed in note #1 above.
- All locations of existing utilities may not be shown on this plan. See other plan sheets for utility locations. Contractor shall be solely responsible for determining actual locations of existing utilities. Utility conflicts may require adjustments to proposed construction. Contractor shall be responsible for repair of any utilities damaged during construction.



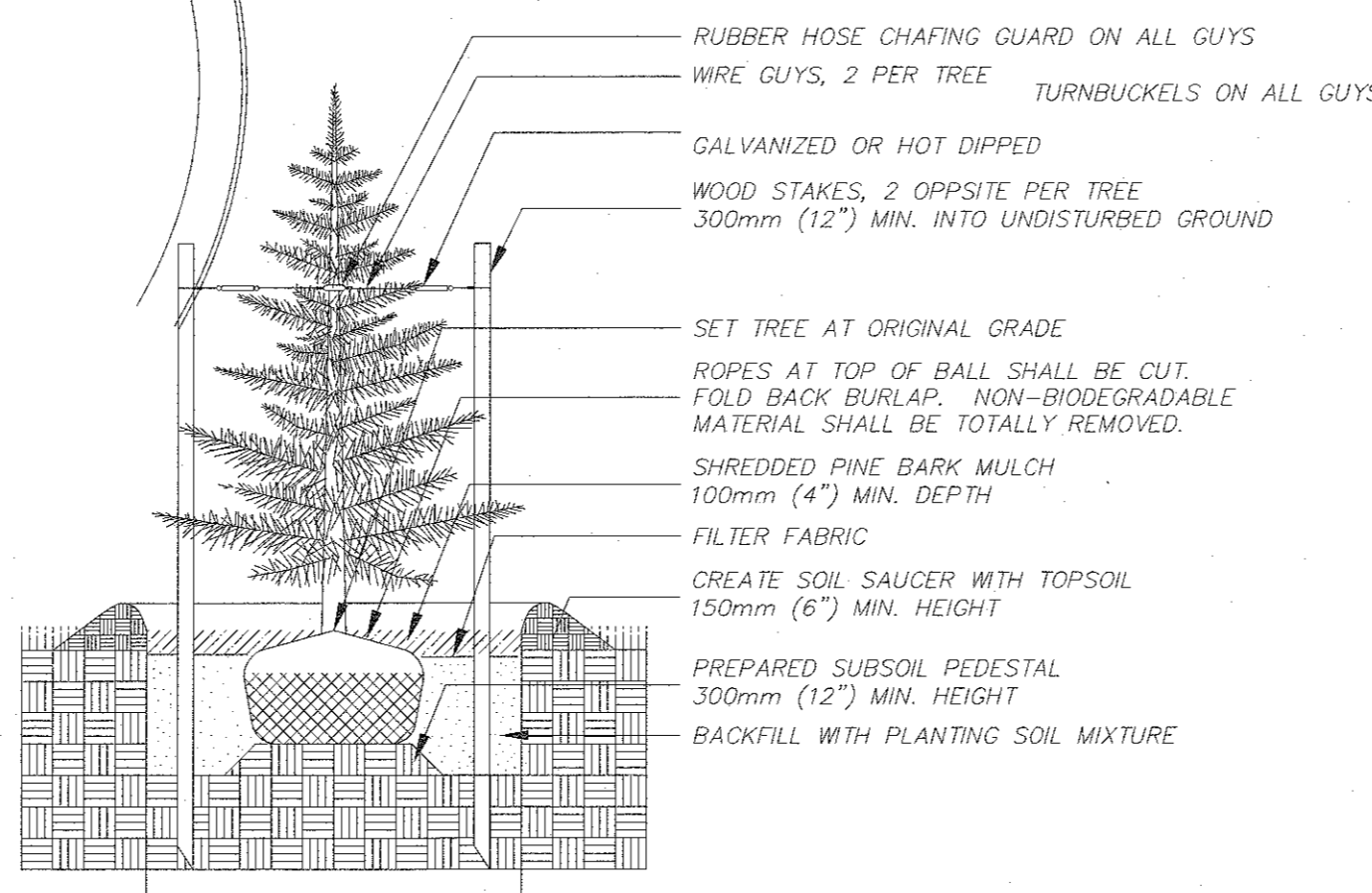
symbol	quantity	name	size
AR	2	ACER RUBRUM 'OCTOBER GLORY'	2" - 2.5" cal.
		October Glory Red Maple	B&B
IV	15	ITEA VIRGINICA 'LITTLE HENRY'	2 gallon container
		Little Henry Virginia Sweetspire	
JC	28	JUNIPERUS CH. 'PFITZERIANA COMPACTA'	2 gallon container
		Compact Pfitzer Juniper	
MS	4	MALLUS SARGENTII	1.5" - 2" cal.
		Sargent Crab	B&B
MD	4	MICROBIOTA DECUSSATA 'CELTIC PRIDE'	2 gallon container
		Celtic Pride Russian Carpet Cypress	
PP	1	PICEA PUNGENS	6' - 7'
		Colorado Blue Spruce	
PA	1	PLATANUS x ACERIFOLIA 'BLOODGOOD'	2" - 2.5" cal.
		Bloodgood London Planetree	B&B

**LIGHTING NOTES:**

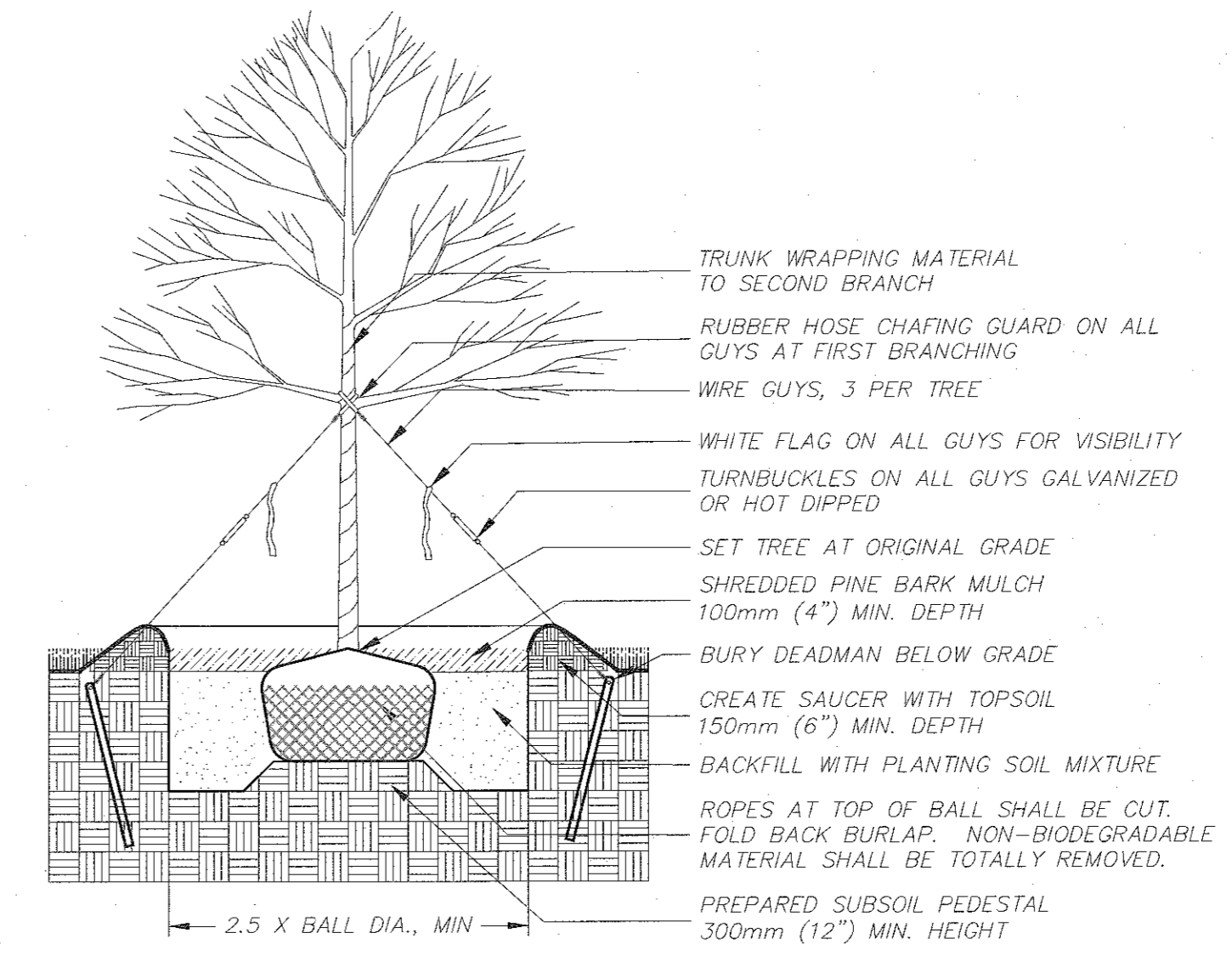
- POLE LIGHTS SHALL BE RAB LIGHTING MODEL #ALED3T105N OR APPROVED EQUAL SET ON BRONZE 15' POLE.
- WALL PACKS SHALL BE EATON LIGHTING MODEL #WPMLD-75-GL-UNV OR APPROVED EQUAL.



**SHRUB PLANTING**  
NOT TO SCALE



**CONIFEROUS TREE PLANTING**  
NOT TO SCALE



**DECIDUOUS TREE PLANTING**  
NOT TO SCALE

Scale: 1" = 20'

Date: \_\_\_\_\_

No. \_\_\_\_\_

Project: PLAT 136 - LOT 523  
PROPOSED COMMERCIAL DEVELOPMENT  
NEW BEDFORD, MASSACHUSETTS

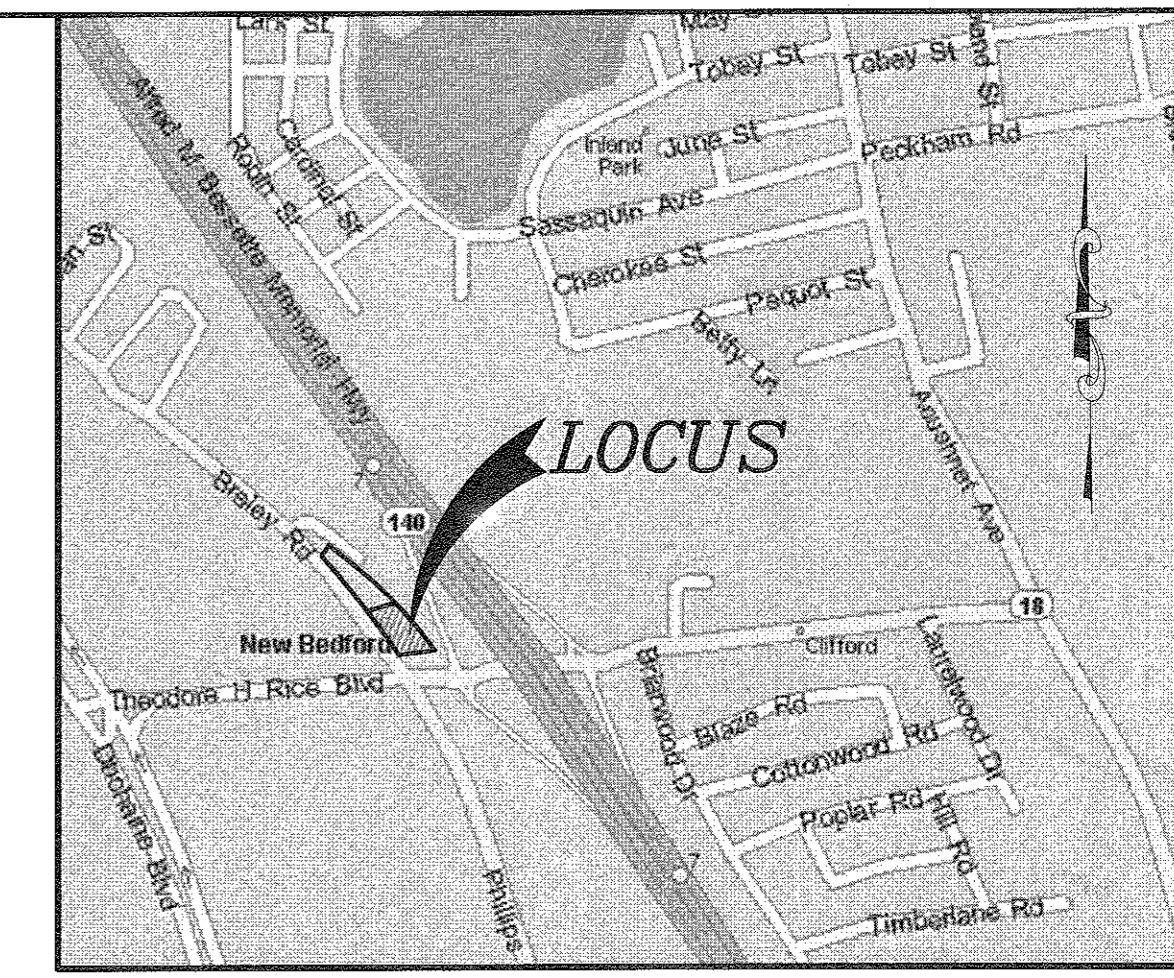
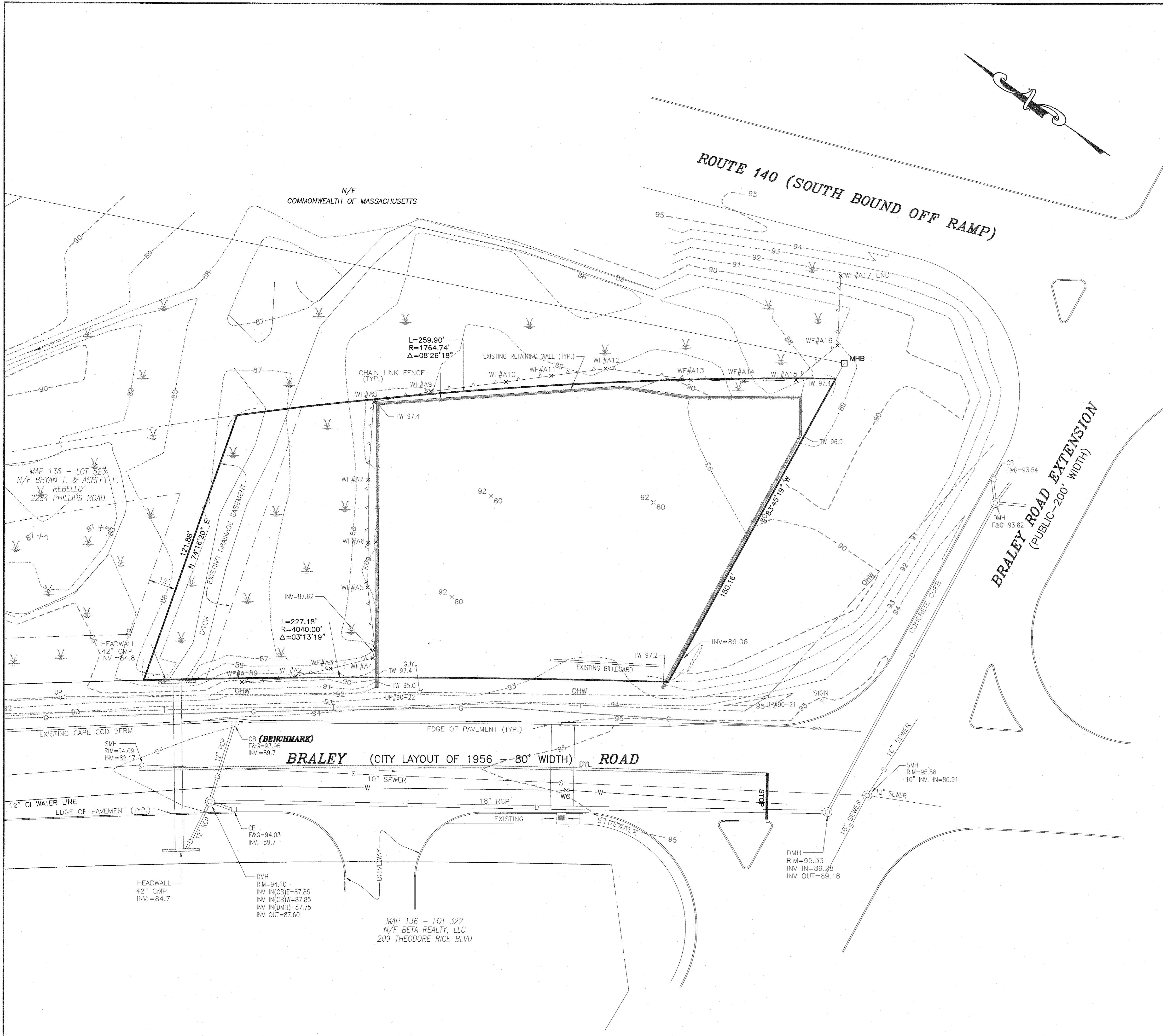
Client: BRALEY NORTH REALTY TRUST

Project Title: LANDSCAPING/LIGHTING PLAN

SiteC, Inc.  
449 Florence Corner Road  
Bedford, MA 02717  
Tel: (508) 898-7554  
Fax: (508) 898-7554

SiteC  
Civil and Environmental Engineering  
Land Use Planning

Acad No. NB 07-4084 LP.DWG  
File No. 07-4084



**LOCUS MAP**  
SCALE: 1"=800'±

**LEGEND**

- PROPERTY LINE
- - - - - EXISTING CONTOUR
- \* \* \* \* \* CHAIN LINK FENCE
- - - - - OHW
- G GAS MAIN
- W WATER MAIN
- S SEWER LINE
- - - - - DRAINAGE LINE
- - - - - UNDERGROUND TELEPHONE
- CB CATCH BASIN
- DMH DRAIN MANHOLE
- SMH SEWER MANHOLE
- HYD FIRE HYDRANT
- WG WATER GATE VALVE
- GG GAS GATE VALVE
- UP UTILITY POLE
- 92 x 60 EXISTING SPOT GRADE
- WF#S10 WF#S11 EDGE OF BORDERING VEGETATED WETLANDS
- TW 96.9 TOP OF WALL ELEVATION

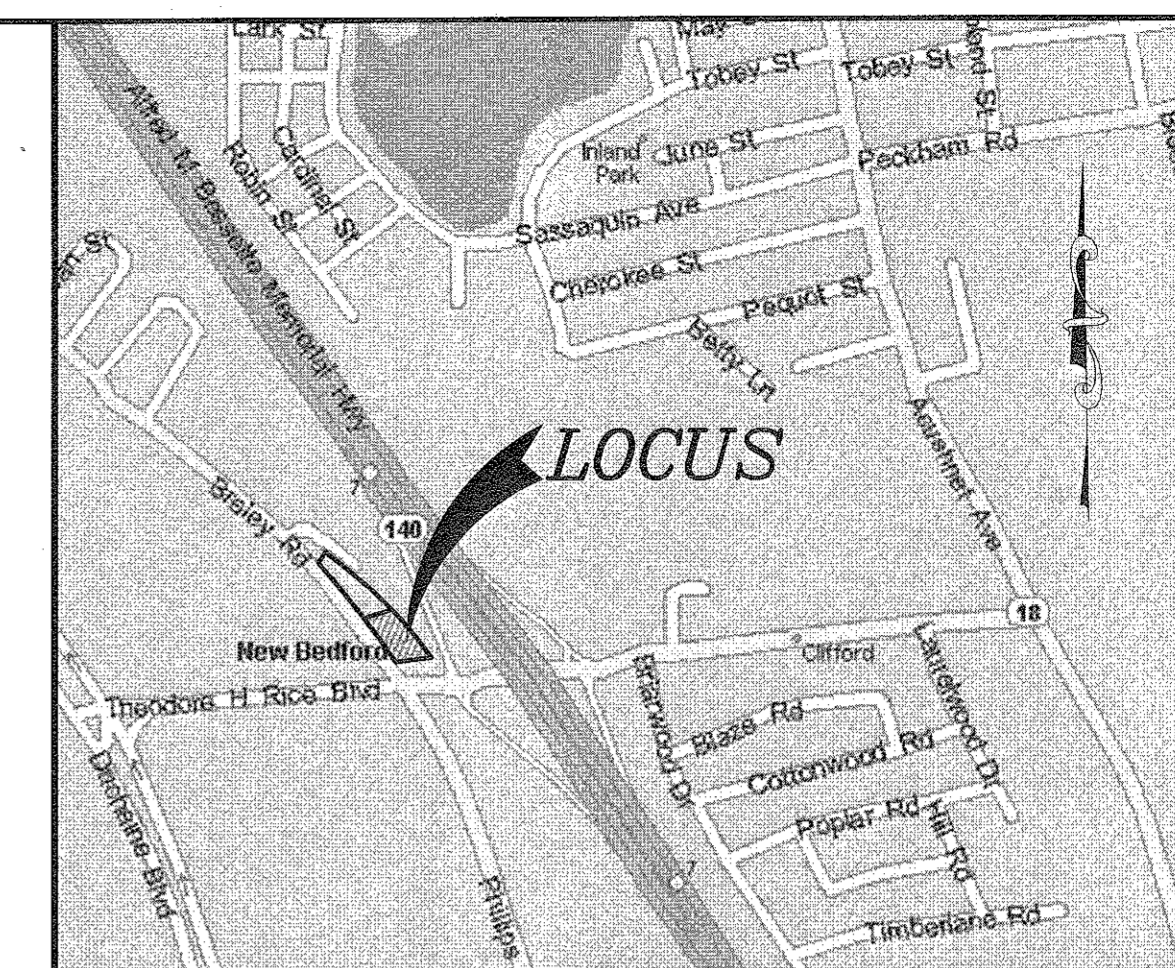
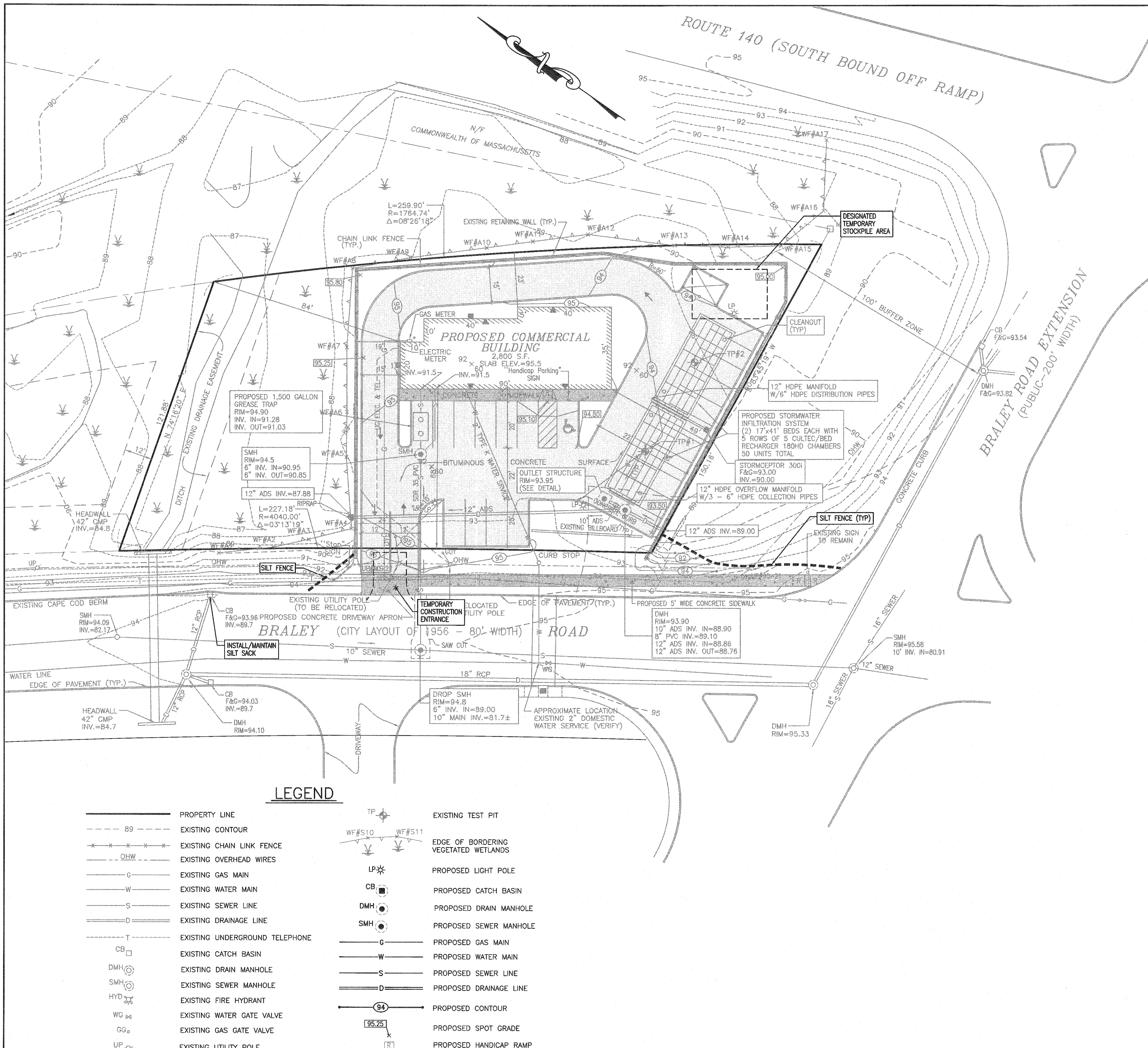
**SURVEY DATE:** JUNE 2007, JANUARY 2019  
**DATUM:** ASSUMED  
**BENCHMARK:** RIM CATCH BASIN - 93.96

**UTILITY COMPANIES**  
SANITARY SEWER - NEW BEDFORD DPI  
WATER SUPPLY - NEW BEDFORD DPI (508) 979-1550  
GAS - EVERSOURCE GAS (855) 645-2427  
ELECTRIC - EVERSOURCE ELECTRIC (888) 633-3799  
CABLE - COMCAST (800) 934-6489

**LOT AREA**  
30,130 SQ. FT.  
0.69 ACRES  
(20,383 SQ. FT. UPLAND)



	SJA
App'd. by	
Chkd. by	
Revision Description	
Date	
No.	
Scale: 1"=20'	
Date: MARCH 27, 2019	
Drawn: NAD	Checked: SDG
Approved: SDG	
Sheet: 5 of 8	Drawing Number: EC-1
Project: PLAT 136 - LOT 523 BRALEY ROAD EXTENSION & BRALEY ROAD NEW BEDFORD, MASSACHUSETTS Client: BRALEY NORTH REALTY TRUST Drawing Title: EXISTING CONDITIONS	
<b>SITEC, Inc.</b> 446 France Corner Road New Bedford, MA 01905 (508) 898-9125 FAX (508) 898-7554 <b>Sitec</b> Civil and Environmental Engineering Land Use Planning Acad. No. NB 07-4084 SLDWG File No. 07-4084	



**LOCUS MAP**  
SCALE: 1"=800'±

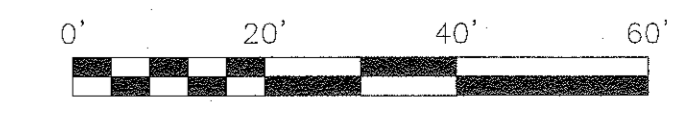
**NOTES:**

1. ALL BMP EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO DEMOLITION OR ANY SITE WORK.
2. EROSION CONTROL BMP'S SHALL CONFORM TO THE US EPA, NPDES, MA DEP AND MASSACHUSETTS EROSION AND SEDIMENTATION CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS.
3. CONTRACTOR SHALL HAVE WATER AVAILABLE FOR DUST CONTROL OR, AS AN ALTERNATIVE, AN APPROVED DUST CONTROL AGENT CAN BE UTILIZED.
4. MATERIAL STOCKPILE SHALL BE AS NOTED. SAFETY FENCING SHALL BE USED AROUND STOCKPILES THAT EXCEED 10' IN HEIGHT.
5. SILT FENCE SHALL BE SET ON DOWNGRADIENT EDGE OF ANY STOCKPILE.

**LEGEND**

— 89 —	PROPERTY LINE	TP	EXISTING TEST PIT
- - - 89 - - -	EXISTING CONTOUR	WF#S10	EDGE OF BORDERING VEGETATED WETLANDS
* * * * *	EXISTING CHAIN LINK FENCE	LP*	PROPOSED LIGHT POLE
- - - OHW - - -	EXISTING OVERHEAD WIRES	CB	PROPOSED CATCH BASIN
G	EXISTING GAS MAIN	DMH	PROPOSED DRAIN MANHOLE
W	EXISTING WATER MAIN	SMH	PROPOSED SEWER MANHOLE
S	EXISTING SEWER LINE	G	PROPOSED GAS MAIN
D	EXISTING DRAINAGE LINE	W	PROPOSED WATER MAIN
T	EXISTING UNDERGROUND TELEPHONE	S	PROPOSED SEWER LINE
CB	EXISTING CATCH BASIN	D	PROPOSED DRAINAGE LINE
DMH	EXISTING DRAIN MANHOLE	94	PROPOSED CONTOUR
SMH	EXISTING SEWER MANHOLE	95.25	PROPOSED SPOT GRADE
HYD	EXISTING FIRE HYDRANT	[ ]	PROPOSED HANDICAP RAMP
WG	EXISTING WATER GATE VALVE		
GG	EXISTING GAS GATE VALVE		
UP	EXISTING UTILITY POLE		

Appd. By	
Chkd. By	
Revision Description	
Date	
No.	
Scale: 1"=20'	
Date: MARCH 27, 2019	
Drawn: KPM	
Checked: SDG	
Approved: SDG	
Sheet number: 6	
Drawing number: ECP-1	
Project: PLAT 136 - LOT 523 PROPOSED COMMERCIAL DEVELOPMENT NEW BEDFORD, MASSACHUSETTS	
Client: BRALEY NORTH REALTY TRUST	
Drawing title: EROSION CONTROL PLAN	
SITEC, Inc. 449 Fournier Center Road New Bedford, MA 01944 (508) 998-2125 FAX (508) 998-7554	
Acad No. NB 07-4084 ECP.DWG File No. 07-4084	

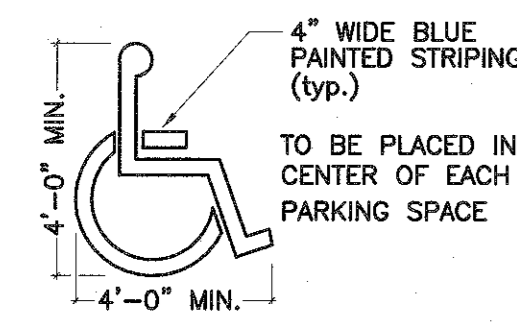


SIGN PANEL SHALL BE FABRICATED FROM ALUMINUM SHEETING ASTM B209 ALLOY 6061-T6, 0.080" THICK. SIGNS SHALL HAVE TYPE D PERMANENTLY APPLIED LEGEND WITH "E" SILK SCREEN PROCESSED LEGEND SUPERIMPOSED THEREON.

INSTALL SIGNS ON 2 SIDES OF POST WHERE PARKING STALLS FACE EACH OTHER.

P-5 CHANNEL POST (AS SPECIFIED IN THE MASS. STANDARD FOR SIGNS AND SUPPORTS).

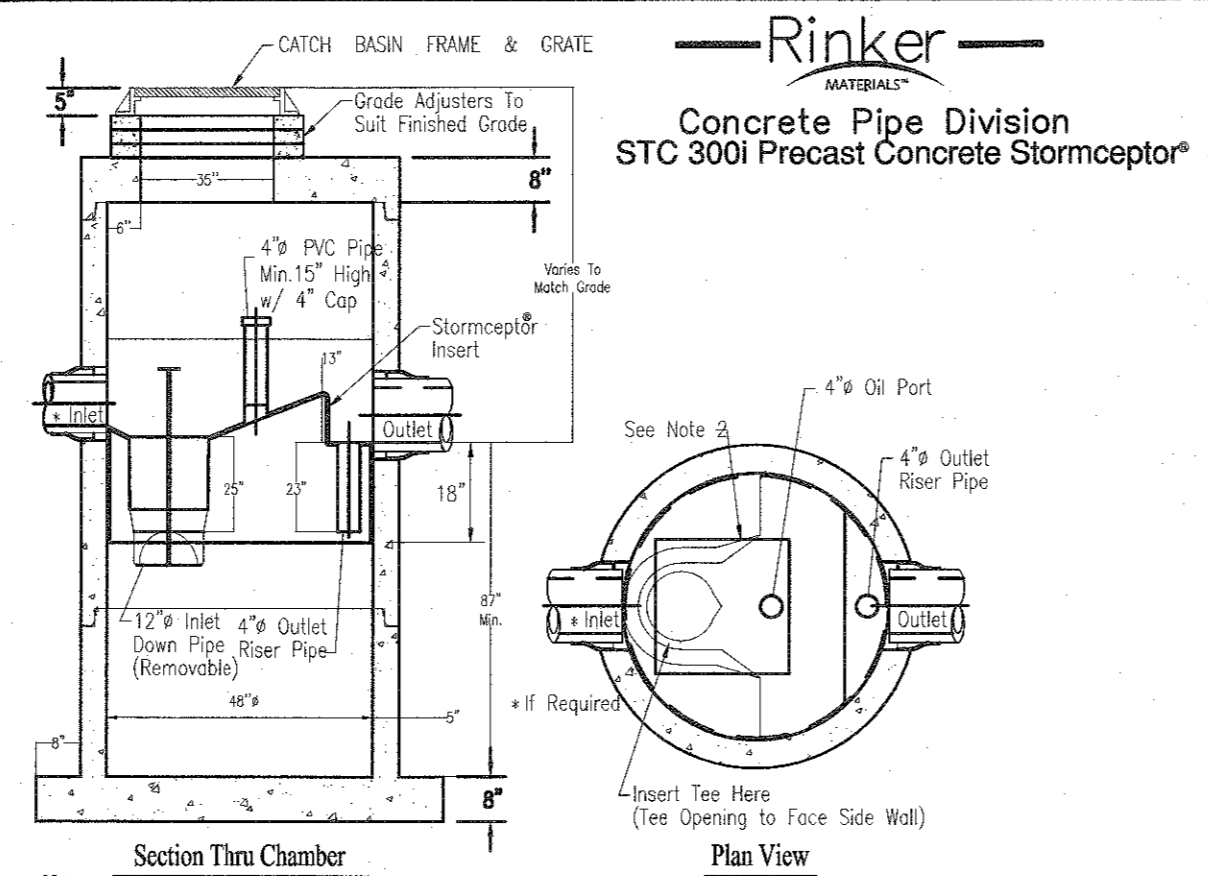
POST TO BE SET IN CONCRETE (18" DIA., MIN. 2 CU. FT.)



TO BE PLACED IN THE CENTER OF EACH HANDICAP PARKING SPACE

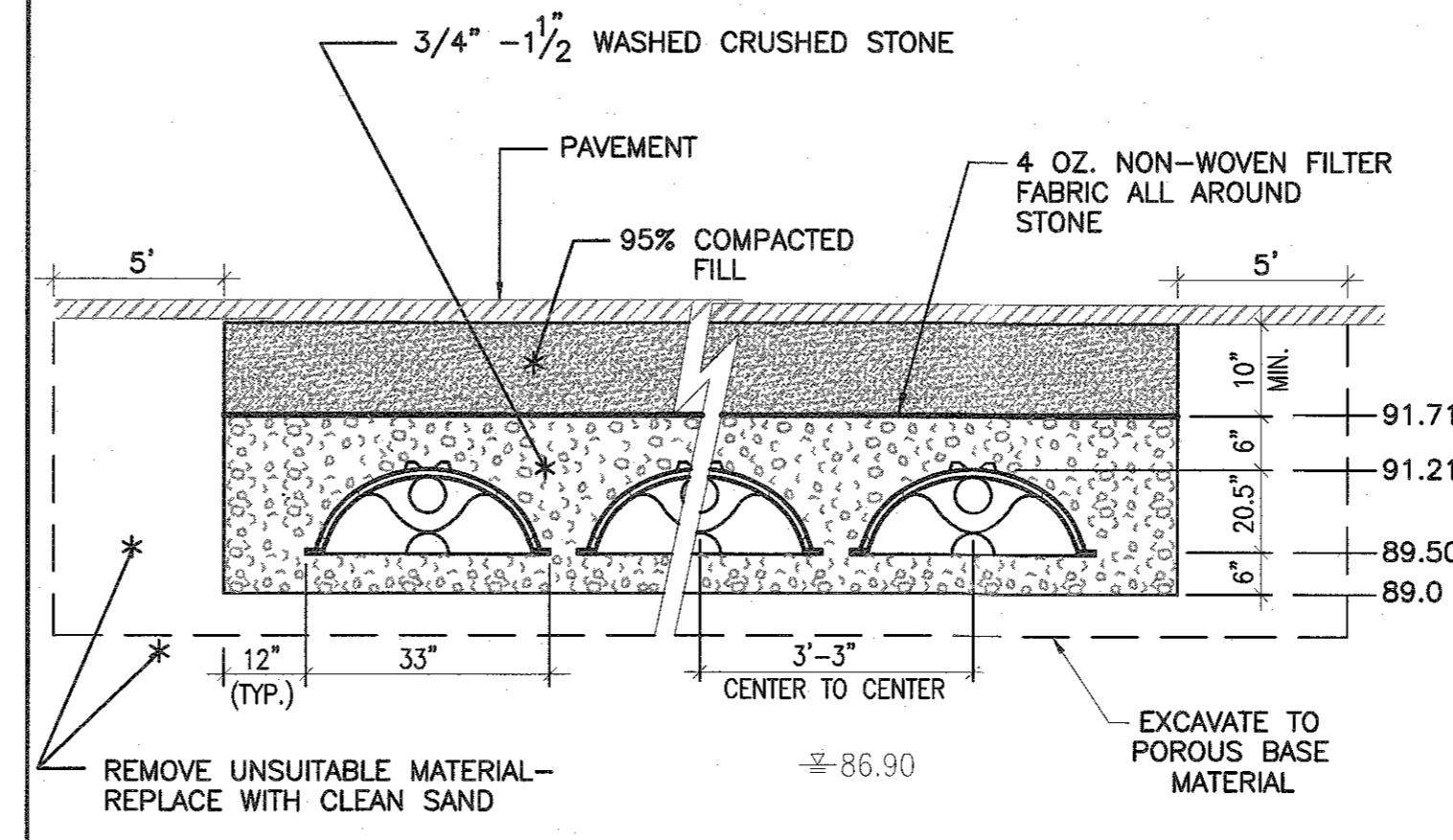
**HANDICAP PARKING SPACE INDICATOR**  
NOT TO SCALE

**HANDICAP PARKING SPACE SIGN**  
NOT TO SCALE



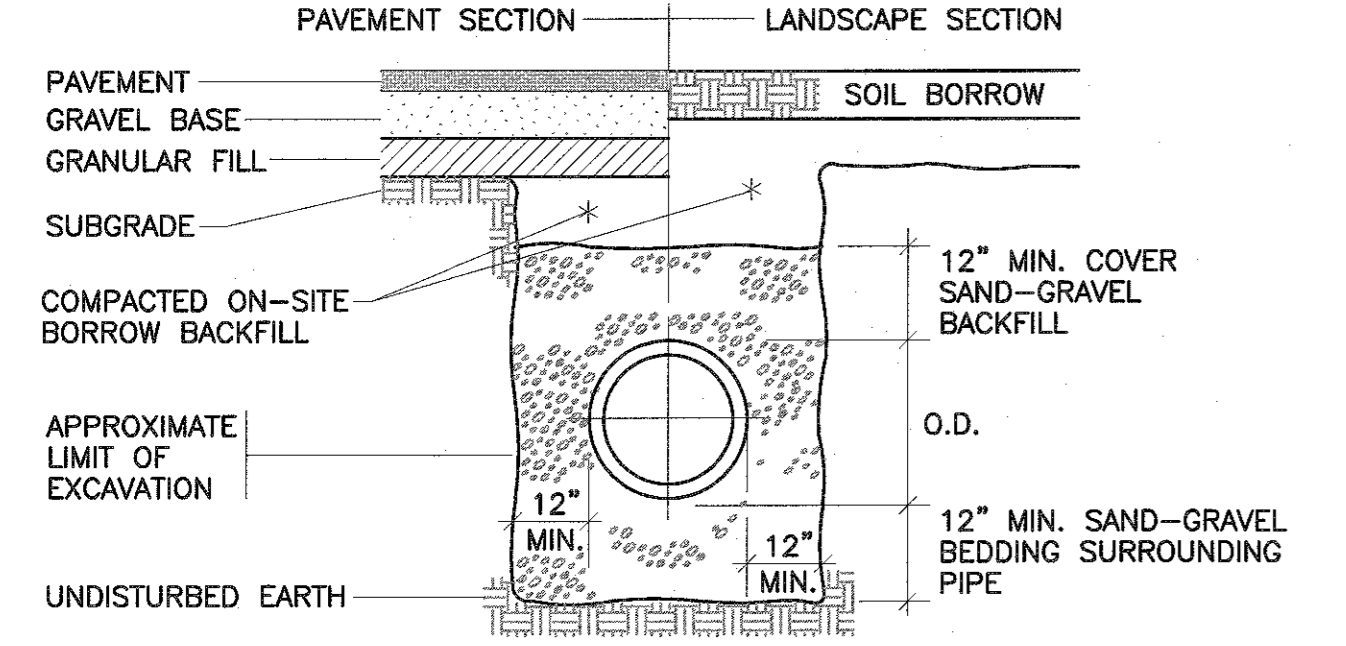
Notes:  
1. The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.  
2. The Cover Should be Positioned Over The Inlet Drop Pipe and The Oil Port.  
3. The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148, #5498331, #5725700, #5753115, #5849181, #6068765, #6371690.  
4. Contact a Concrete Pipe Division representative for further details not listed on this drawing.

**PRECAST STORMCEPTOR SYSTEM**  
(NOT TO SCALE)

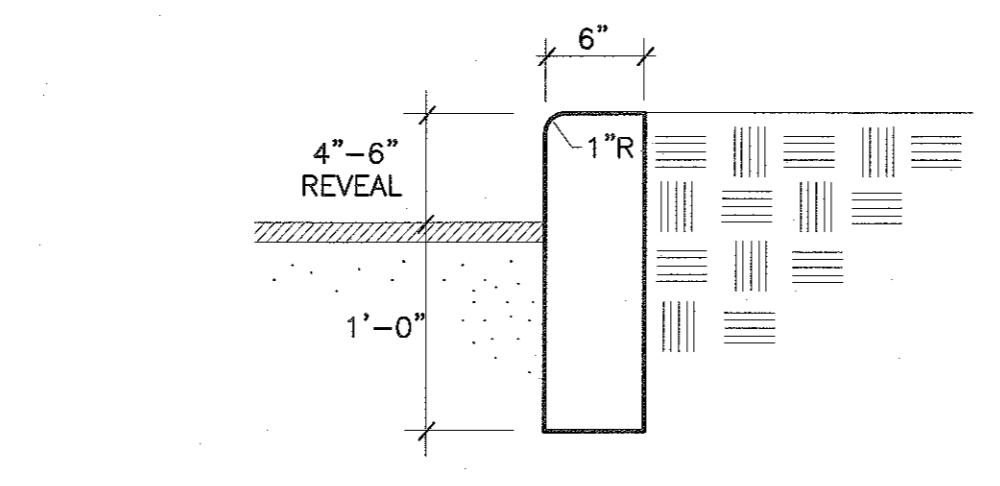


**CULTEC CONTACTOR 180HD  
TYPICAL CROSS SECTION DETAIL  
RECHARGE CHAMBER SYSTEM**  
NOT TO SCALE

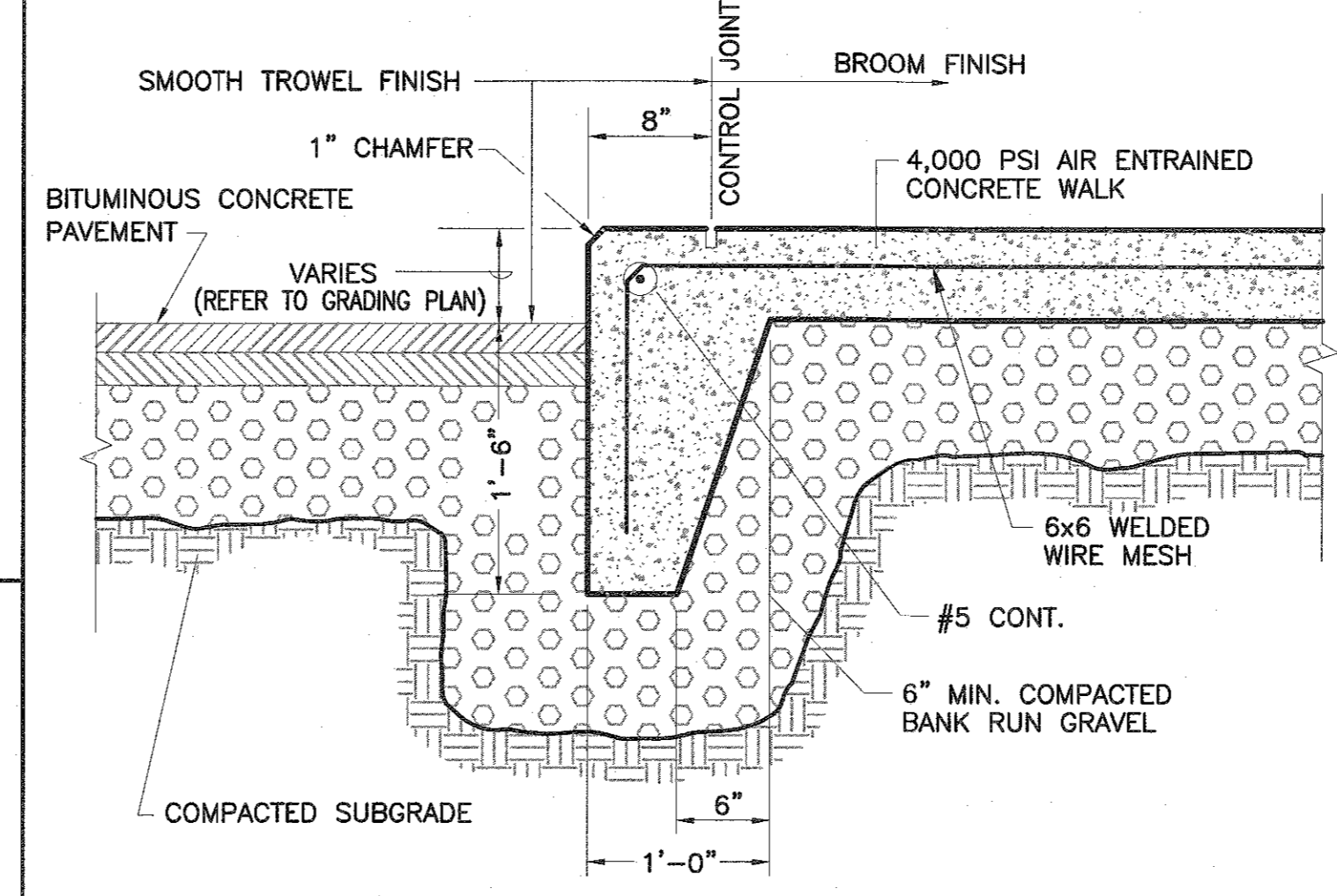
- GENERAL NOTES:**
- CONTRACTOR SHALL NOTIFY DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
  - CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. THESE PLANS ARE BASED ON FIELD AND RECORD INFORMATION AND, THEREFORE, MAY NOT COMPLETELY DEPICT ALL EXISTING UTILITIES.
  - CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IMMEDIATELY IF FIELD CONDITIONS ARE FOUND TO DIFFER WITH THESE DRAWINGS.
  - THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF THE ABUTTING AREA AND UTILITIES IN THE CONSTRUCTION OF THIS SITE. REPAIR OF DAMAGED PROPERTY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO COST TO THE OWNER.
  - THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL CONSTRUCTION.
  - ALL WORK SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF PUBLIC INFRASTRUCTURE CONSTRUCTION SPECIFICATIONS, LATEST REVISION.
  - ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF NEW BEDFORD DPI STANDARDS.
  - DEVELOPER SHALL INSPECT EXISTING WATER AND SEWER SERVICES PRIOR TO USE.
  - THE PROPOSED CONCRETE SIDEWALK AND DRIVEWAY APRONS MUST MEET CURRENT A.D.A. AND CITY STANDARDS. THE PROPOSED DRIVEWAYS SHALL BE 6" CEMENT CONCRETE WITH 6"x6" GAUGE WIRE MESH.
  - ALL DRIVEWAY PERMITS ARE SUBJECT TO TRAFFIC COMMISSION APPROVAL. THE CONTRACTOR SHALL NOTIFY THE ENGINEERING DIVISION 24 HOURS IN ADVANCE TO ENSURE THE PROPOSED SIDEWALK AND DRIVEWAY APRONS AND WHEELCHAIR RAMP WILL MEET THE CURRENT A.D.A. AND CITY OF NEW BEDFORD STANDARDS.
  - PERMITS FOR DRAINAGE, WATER, SIDEWALKS AND DRIVEWAYS MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC INFRASTRUCTURE (DPI) ENGINEERING DIVISION BY OWNER.
  - ALL UTILITY WORK TO BE CONDUCTED PER DPI SPECIFICATION.
  - THE DEVELOPER AND SITE CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE DEPARTMENT OF PUBLIC INFRASTRUCTURE PRIOR TO START OF CONSTRUCTION.
  - UPON COMPLETION OF THE PROJECT, THE ENGINEER MUST SUBMIT AS-BUILT DRAWINGS IN CADD FORMAT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
  - CONTRACTOR SHALL CUT AND CAP UNUSED SEWER AND WATER SERVICES IN ACCORDANCE WITH NEW BEDFORD REGULATIONS.
  - THE OWNER MUST SUBMIT A MAINTENANCE AGREEMENT FOR THE GREASE TRAP TO THE DPI.



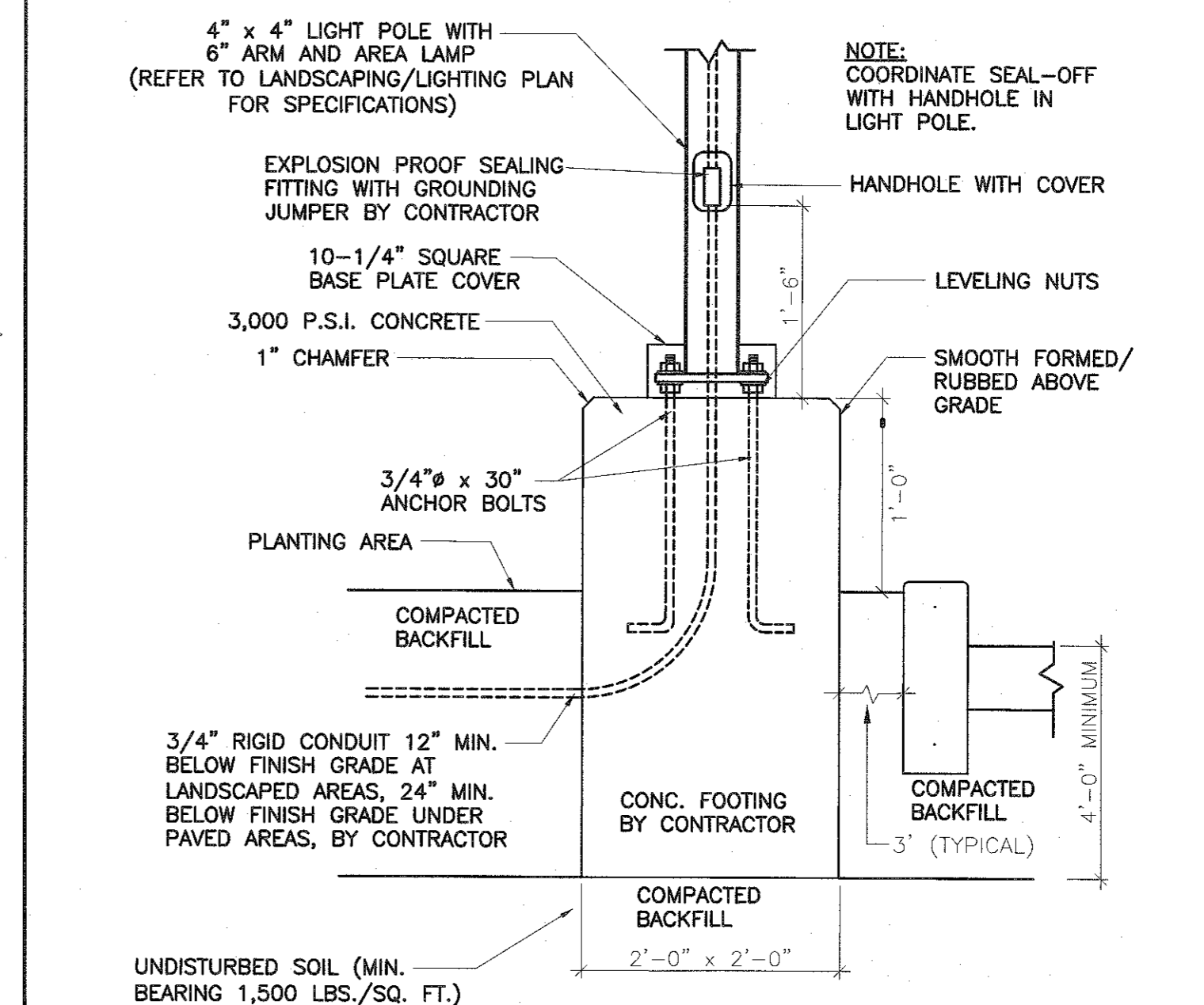
**TYPICAL STORM DRAIN TRENCH SECTION**  
NOT TO SCALE



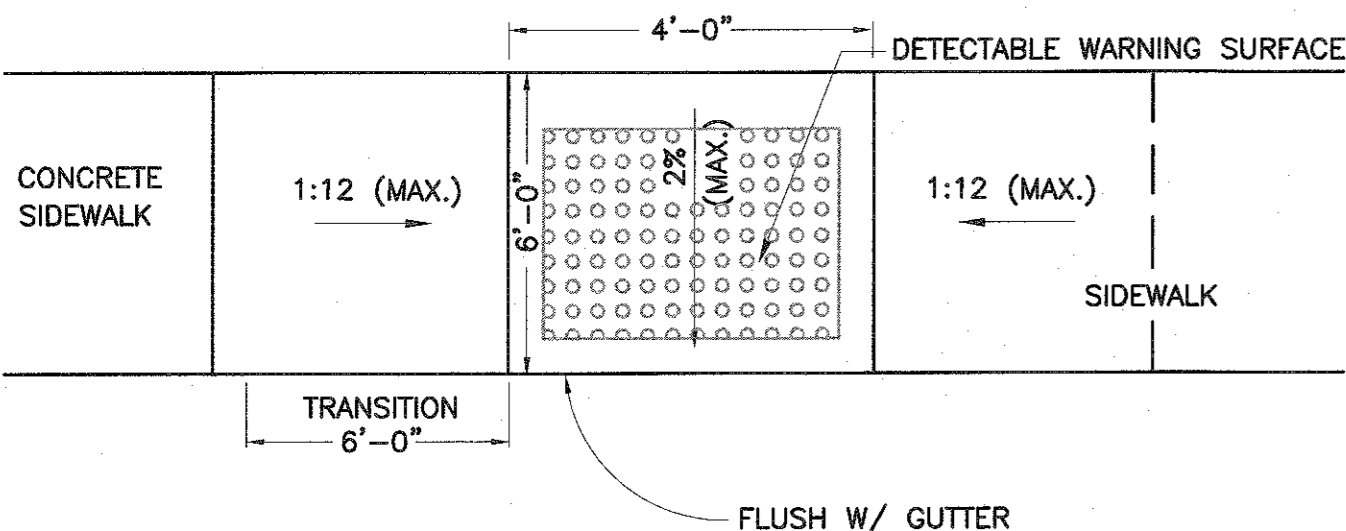
**PRECAST CONCRETE CURB**  
NOT TO SCALE



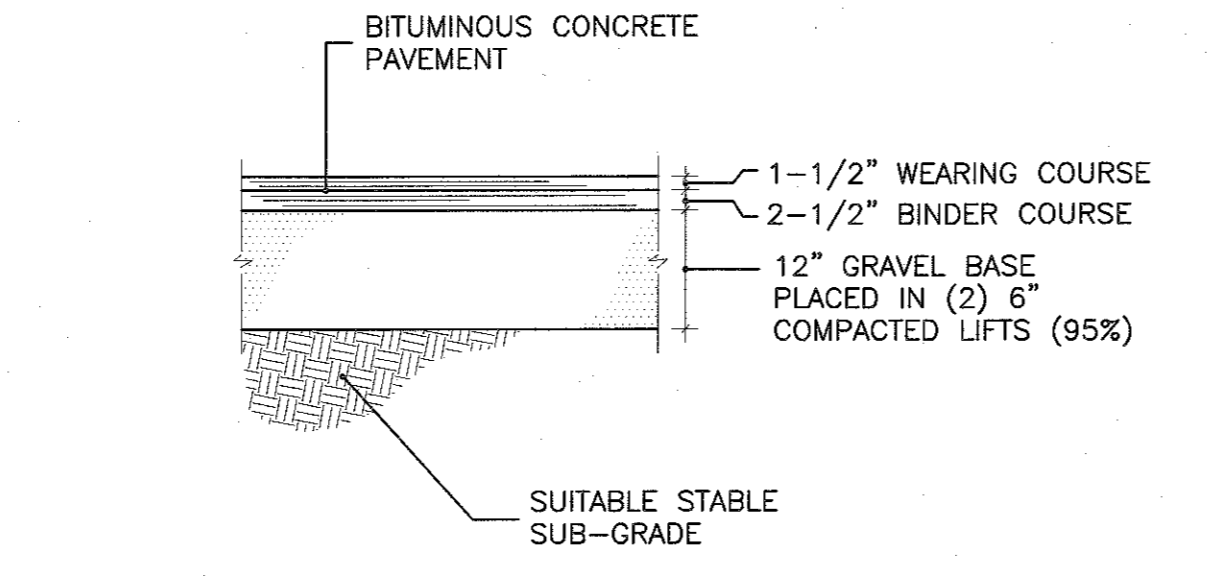
**TYPICAL CONCRETE WALK-CURB DETAIL**  
NOT TO SCALE



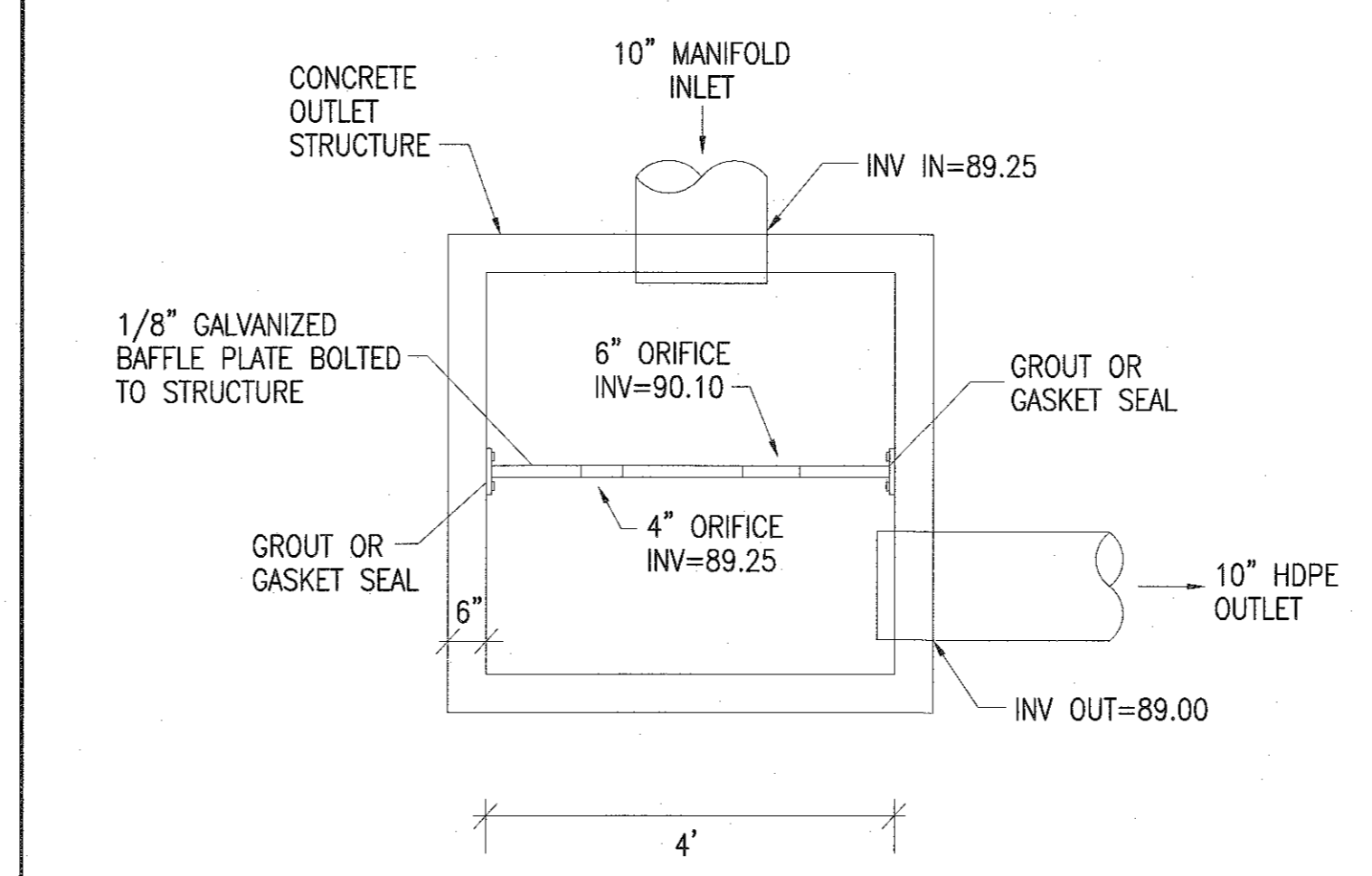
**LIGHT POLE DETAIL**  
NOT TO SCALE



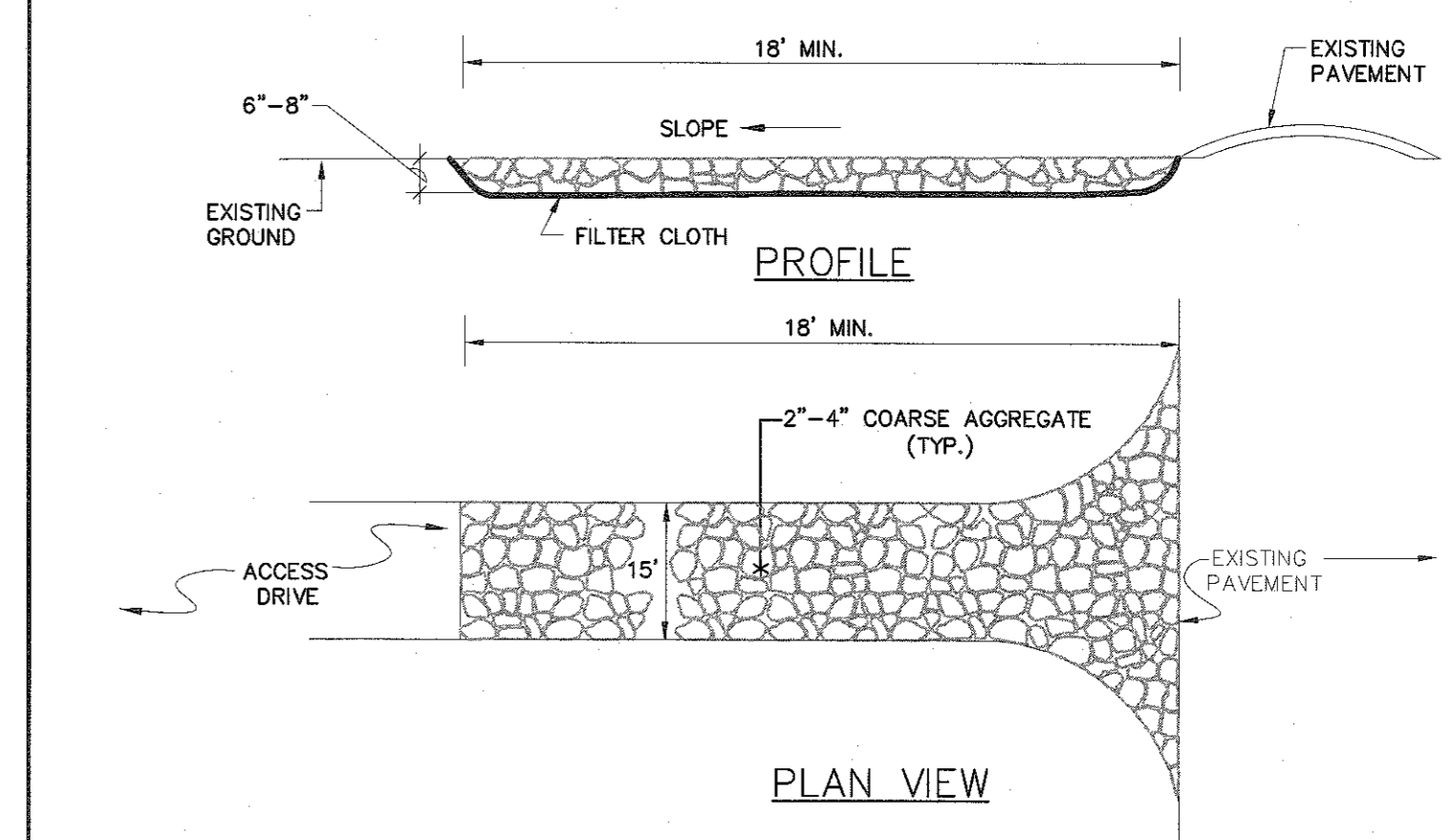
**HANDICAP RAMP DETAIL**  
(NOT TO SCALE)



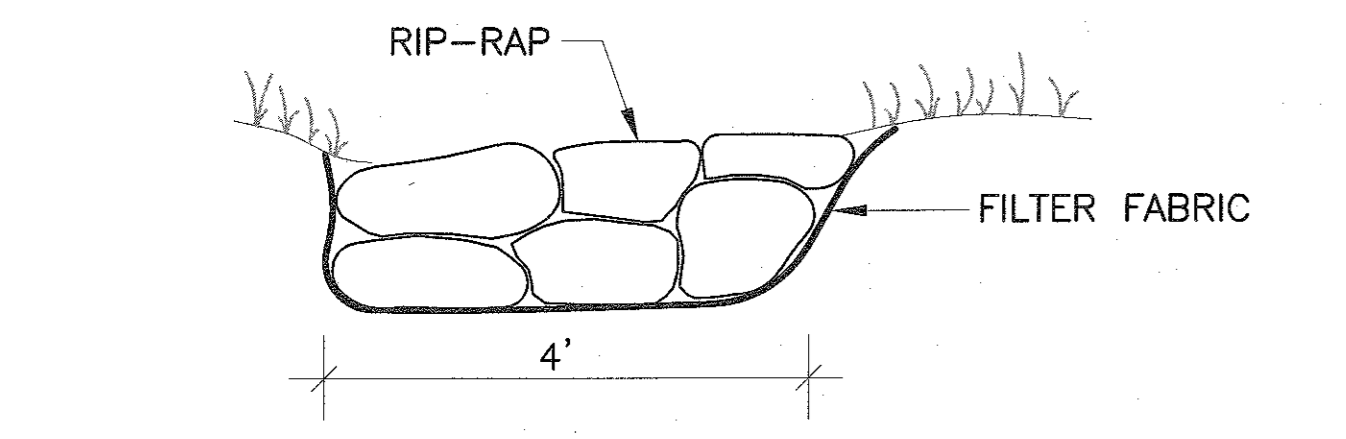
**PAVING SECTION**  
NOT TO SCALE



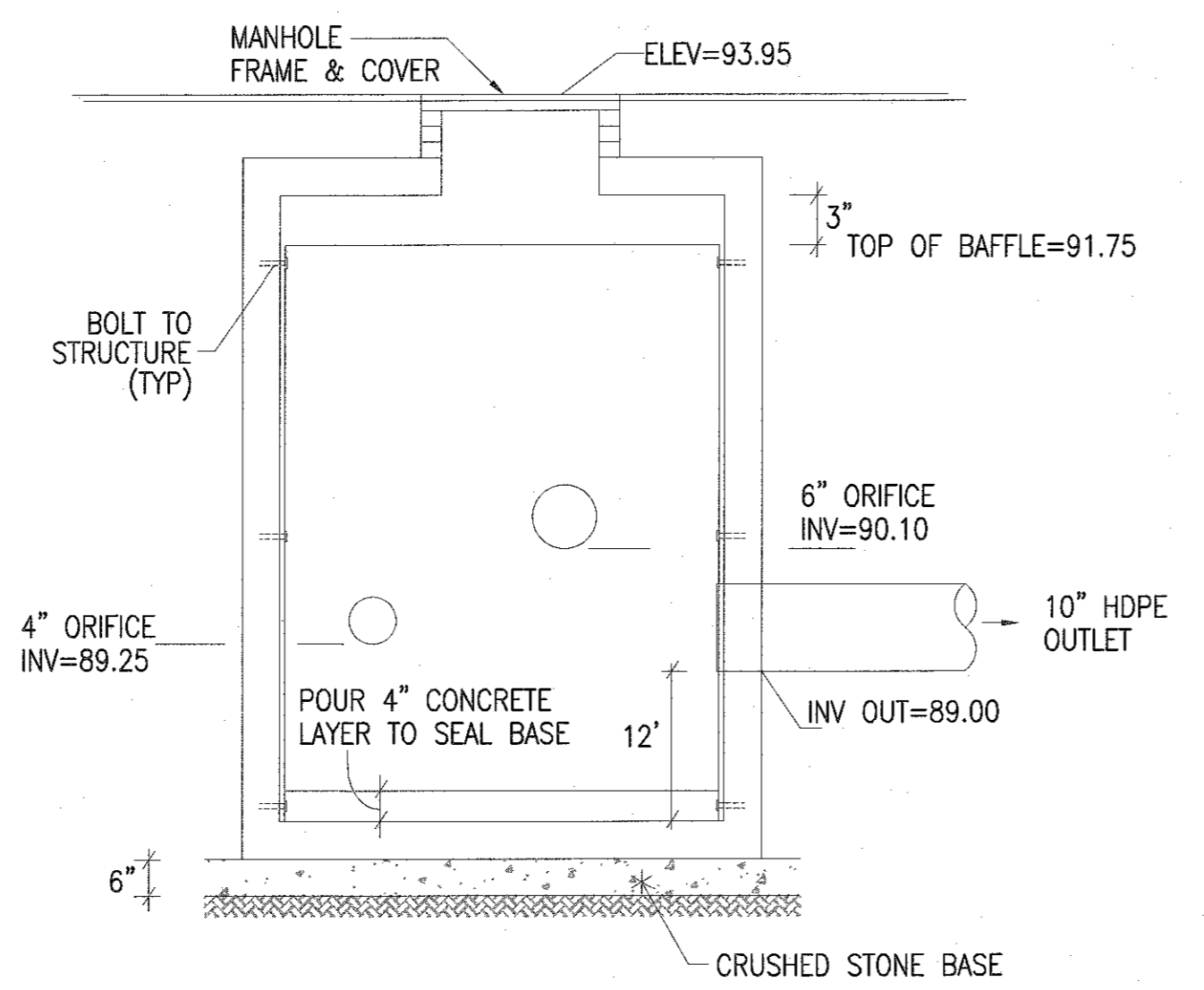
**OUTLET CONTROL STRUCTURE  
PLAN VIEW**  
(NOT TO SCALE)



**TEMPORARY CONSTRUCTION ENTRANCE/EXIT**  
N.T.S.



**RIP-RAP DETAIL**  
(NOT TO SCALE)



**OUTLET CONTROL STRUCTURE**  
(NOT TO SCALE)

Project: PLAT 136 - LOT 523  
PROPOSED COMMERCIAL DEVELOPMENT  
NEW BEDFORD, MASSACHUSETTS

Client: BRALEY NORTH REALTY TRUST

Scale: AS NOTED  
Date: MARCH 27, 2019

Drawn: NAD  
Checked: SDG  
Approved: SDG

Sheet 7 of 8  
Drawing number: DET-1

Project title: DETAIL SHEET #1

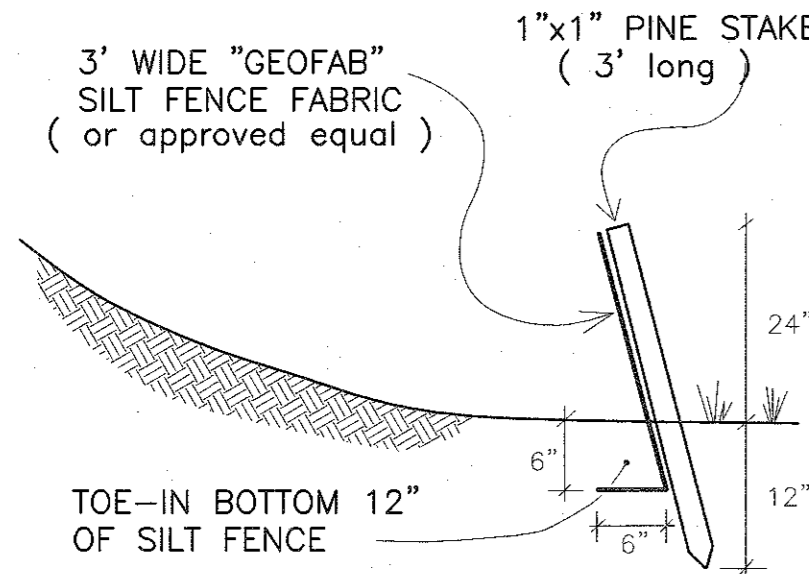
Website: www.sitec-engineering.com

Acad No. NB 07-4084  
File No. 07-4084

**SITEC**  
Civil and Environmental Engineering  
Land Use Planning

THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. INSTALL TOP DRESSING WITH ADDITIONAL STONE AS NECESSARY. TRAPPED SEDIMENT WILL BE CLEANED OUT AS NEEDED. ALL SEDIMENT SPILLED, WASHED OR TRACKED ONTO THE PUBLIC RIGHT-OF-WAY WILL BE REMOVED PROMPTLY.





SILT / EROSION CONTROL FENCING NOT TO SCALE

- 1. Waste Disposal: All waste materials will be collected and stored in a securely lidded metal dumpster...
2. Hazardous Waste: All hazardous waste materials will be disposed of in a manner specified by Local, State, Federal regulation...
3. Sanitary Waste: All sanitary waste will be collected in portable units installed on site...
4. Concrete Waste: All concrete washings will be disposed of in a designated area away from wetlands...
5. Good Housekeeping Practices: Store only enough products on site to do the job...
6. Product Specific Practices: Petroleum Products: Refueling vehicles will be DOT Certified and have SPCC...
7. Spill Control Practices: In addition to the good housekeeping and material management practices...

OPERATION & MAINTENANCE PLAN STORMWATER MANAGEMENT SYSTEM

- 1. Stormwater Management Owner: BRALEY NORTH REALTY TRUST 70 LAMBETH STREET NEW BEDFORD, MA 02745
2. Responsible Parties: During the construction period, the Owner's contractor will be responsible for the Operation/Maintenance of the system...
3. Schedule for Inspection/Maintenance: A. The Stormwater Management System shall be inspected annually and cleared of debris...
4. Access: Access to the stormwater system will be available from the upland portion of the site...
5. Public Safety: The Contractor will comply with all OSHA regulations during construction...
6. Illicit Discharge Compliance: The project, as designed, does not include any illicit discharges to the stormwater management system...
7. Funding for O/M: The cost of maintenance shall be the responsibility of the owner...

EROSION & SEDIMENTATION CONTROL PROGRAM

- 1. All Sediment and Erosion Control measures shall be executed in accordance with the following requirements and the NPDES Stormwater Pollution Prevention Plan. (SWPPP).
2. Those areas undergoing actual construction will be left in an untreated or unvegetated condition for a minimum time...
3. Sediment barriers (Silt Fence) shall be installed prior to any soil disturbance...
4. Construction to commence in a phased manner as appropriate.
5. All control measures will be inspected at least once each week...
6. All measures will be maintained in good working order...
7. Built up sediment will be removed from the erosion control silt fence when it has reached one-third the height...
8. Silt fence will be inspected for depth of sediment, tears and to see if fabric is securely attached...
9. Any temporary sediment basin used will be inspected for depth of sediment...
10. Temporary and permanent seeding and planting will be inspected for bare spots...
11. No slopes, either permanent or temporary, shall be steeper than two to one...
12. If final seeding of the disturbed areas is not completed 45 days prior to the first killing frost...
13. Temporary seeding of disturbed areas that have not been final graded shall be completed 45 days prior to the first killing frost...
14. Revegetation measures will commence upon completion of construction except as noted above...
15. All temporary erosion control measures shall be removed once the site is stabilized...
16. The contractor must repair or reseed any areas that do not develop within the period of one year...
17. The normal acceptable seasonal seeding dates are April 1st through June 15th...
18. Stockpiles of topsoil shall not be located near the wetlands...
19. A maintenance and inspection report will be made after each inspection...
20. Construction site supervisor will be responsible for training workers in all inspection and maintenance practices...

Project: PLAT 136 - LOT 523 PROPOSED COMMERCIAL DEVELOPMENT NEW BEDFORD, MASSACHUSETTS
Client: BRALEY NORTH REALTY TRUST
Drawing title: DETAIL SHEET #2
Scale: AS NOTED
Date: MARCH 27, 2019
Checked: SDG
Approved: SDG
Sheet 8 of 8
Drawing number: DET-2

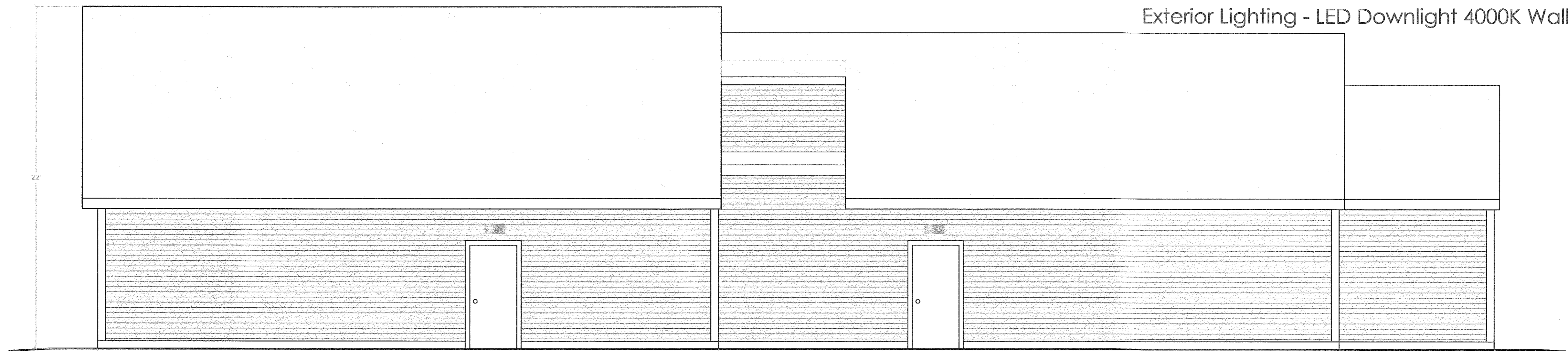
SITEC, Inc. 449 Fauce Corner Road 0747 (508) 946-3127 FAX (508) 938-7554 WWW.SITEC-ENGINEERING.COM
SITC and Environmental Engineering Civil and Environmental Engineering Land Use Planning



Front Elevation

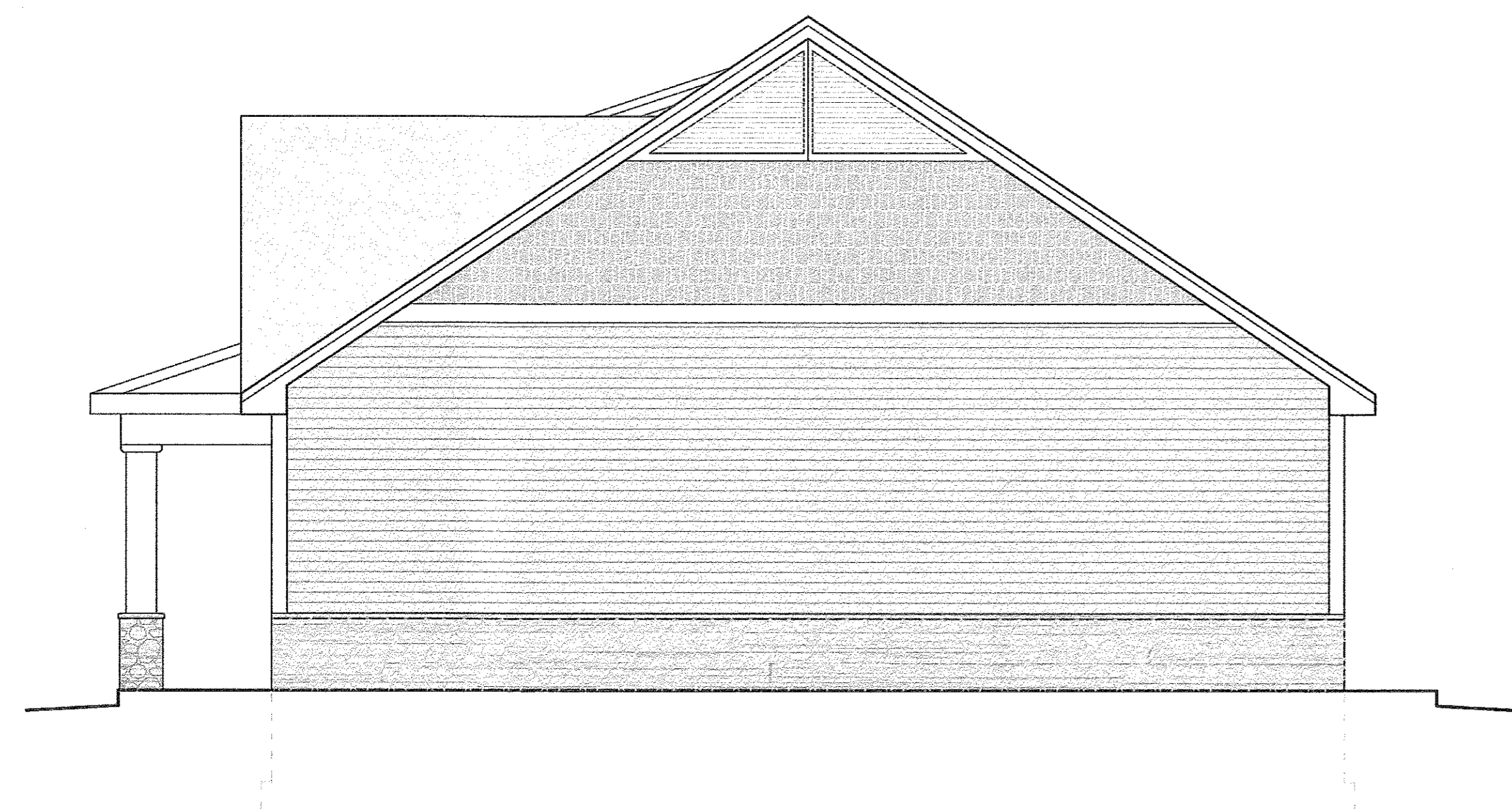
Scale: 1/4" = 1'-0"

Vinyl Siding (Main Body)- Flagstone  
 Vinyl Siding (Accent) - Brownstone  
 Trim Accents - White aluminum or PVC  
 Roofing - (Color- Weathered Wood) Architectural Asphalt Shingle  
 Architectural Stone Color - Nantucket Blend (Stacked)  
 Exterior Lighting - LED Downlight 4000K Wall Pack By all Egress Door



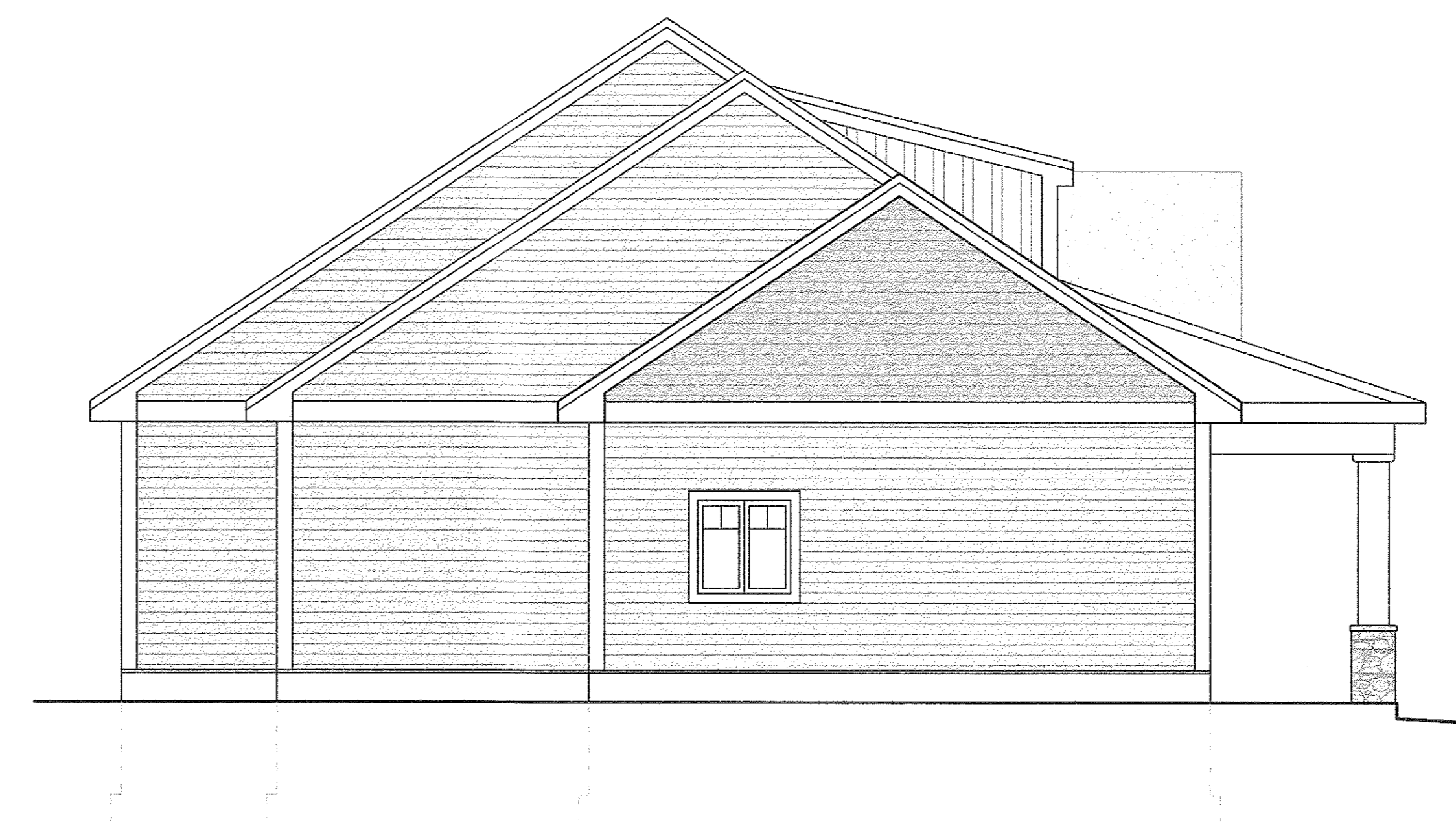
Rear Elevation

Scale: 1/4" = 1'-0"



South-East Elevation

Scale: 1/4" = 1'-0"



North-West Elevation

Scale: 1/4" = 1'-0"

moniz design

Project:  
 Proposed Commercial Building

Revision Date:

Project No.

Scale: As Noted

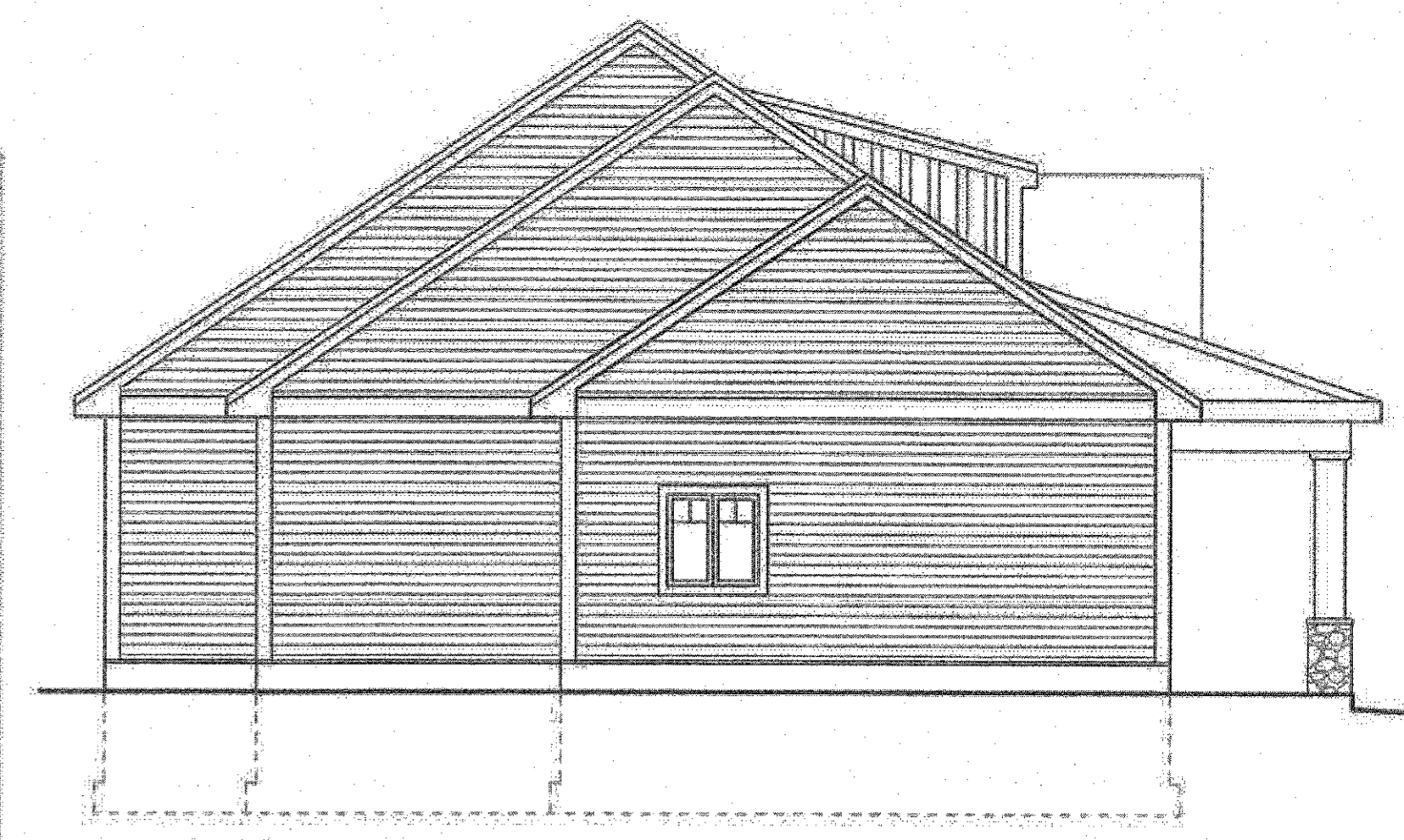
Date: 2/25/2019

Drawn By: C. Moniz

Sheet No.

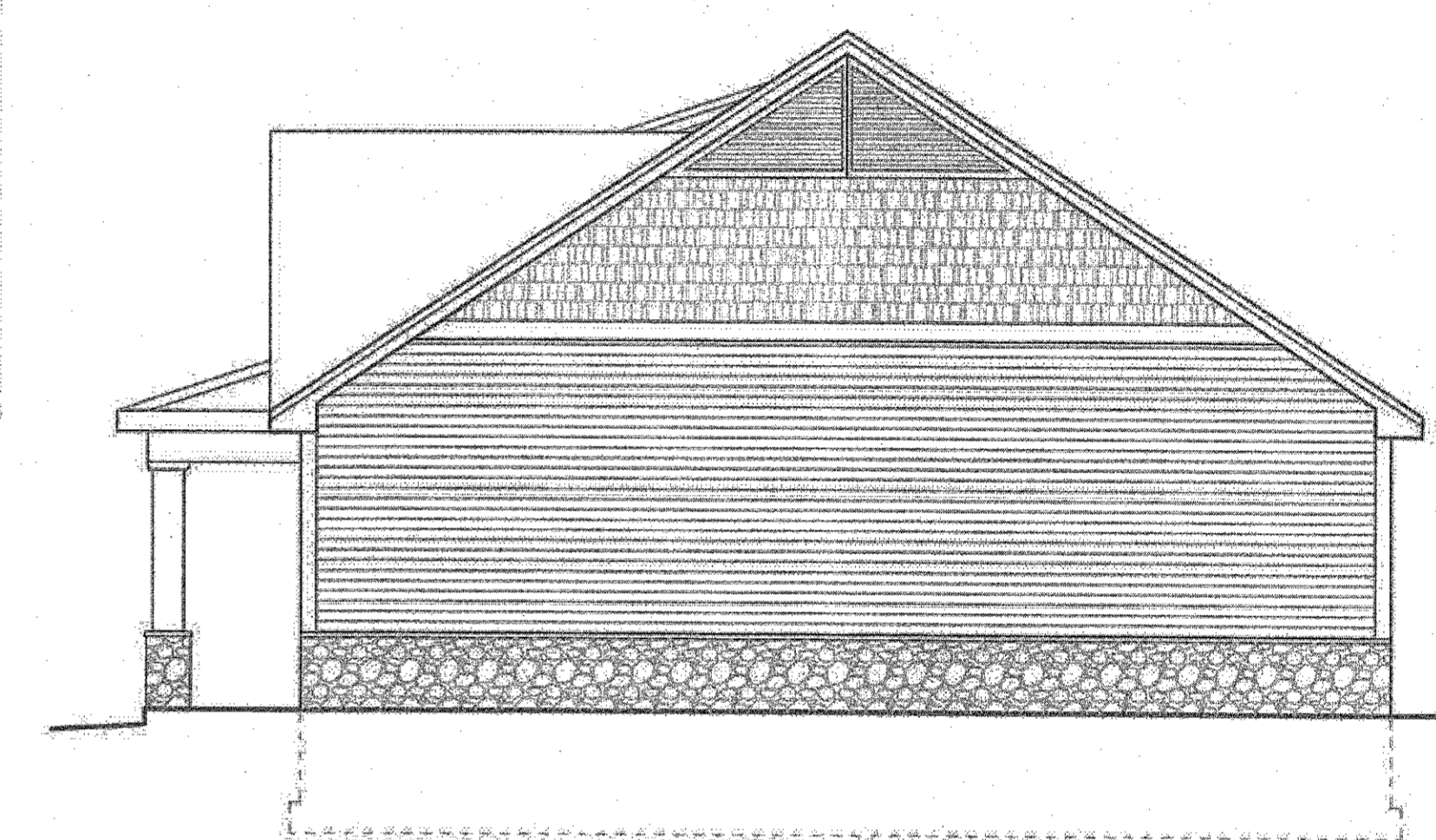
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PRODUCED BY AN AUTODESK STUDENT VERSION



North Elevation

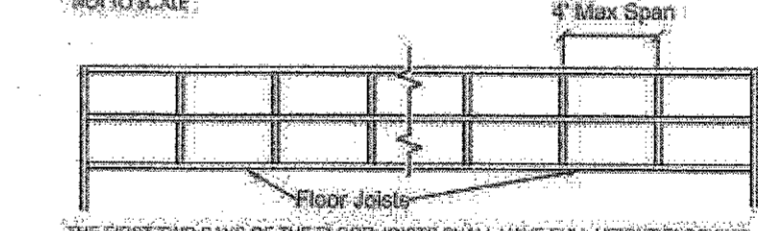
Scale: 3/8" = 1'-0"



South Elevation

Scale: 3/8" = 1'-0"

**GABLE ENDWALL BLOCKING**



THE FIRST TWO BAYS OF THE FLOOR JOISTS SHALL HAVE FULL HEIGHT BLOCKING BETWEEN THE JOISTS INSTALLED AT MAXIMUM OF 48" O.C.

**ROOF & FLOOR SHEATHING NAILING SCHEDULE**

NAILING SCHEDULE FOR FLOOR AND ROOF SHEATHING, TABLE 2 OF WOOD FRAMING CONSTRUCTION MANUAL GUIDE TO WOOD FRAME CONSTRUCTION MANUAL, GUIDE FOR THE AMERICAN FOREST AND PAPER ASSOCIATION (AMERICAN WOOD COUNCIL).

**FLOOR SHEATHING:**  
3/4" OSB OR 1/2" OSB NAILS @ 6" o.c. ALONG PANEL EDGE AND 12" o.c. IN FIELD PANEL.

**GABLE ENDWALL NAILING:**  
3/4" OSB OR 1/2" OSB NAILS @ 6" o.c. ALONG PANEL EDGE AND 12" o.c. IN FIELD PANEL.

**FLOOR SHEATHING:**  
3/4" OSB OR 1/2" OSB NAILS @ 6" o.c. ALONG PANEL EDGE AND 12" o.c. IN FIELD PANEL.

**ROOF TO WALL CONNECTIONS:**  
USE BRACKETS BEYOND THE R.C. HURRICANE TIES AT EACH TRUSS TO WALL CONNECTION WITH 4-36 TO TRUSS AND 4-36 TO PLATE. USE FOR OUTSPOCKED COUNTERS FRAMING AS SHOWN IN SECTION AA, OF FIGURE 20 OF BELOW REFERENCED MANUAL.

**UPlift AND SHEAR REQUIREMENTS BASED UPON TABLE TWELVE OF WOOD FRAME CONSTRUCTION MANUAL, GUIDE FOR 15 MPH WIND SPEED, EXPOSURE B BY THE AMERICAN FOREST AND PAPER ASSOCIATION (AMERICAN WOOD COUNCIL):**

ROOF FRAMING SPAN: 24'-0"  
ROOF FRAMING SPACING: 24" o.c. MAX  
UPlift REQUIRED: 481 LBS.  
LATERAL REQUIRED: 284 LBS.  
SHEAR REQUIRED: 118 LBS.

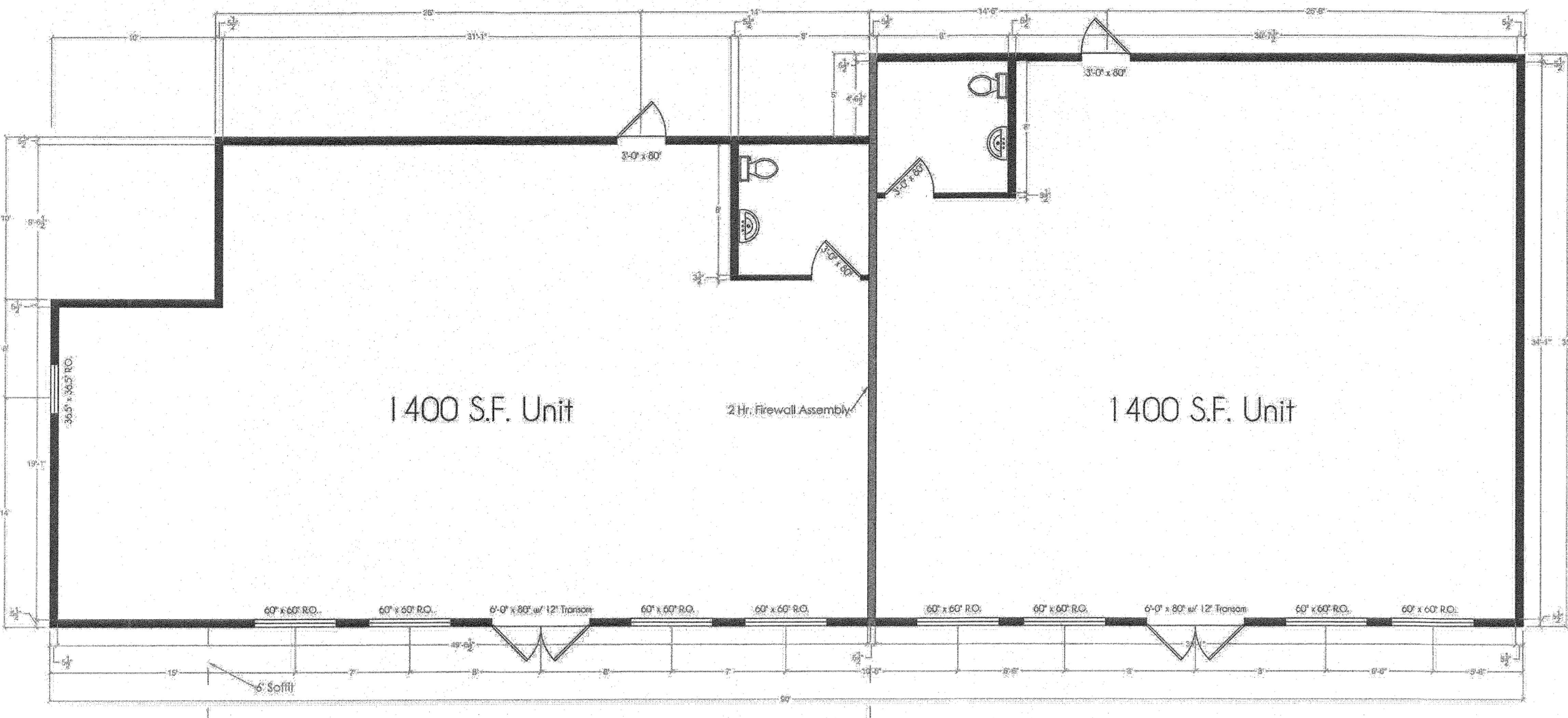
**WIND SPEED:**  
FOR MISSOURI STATE CHECKLIST FOR COMPLIANCE IAWC, GUIDE TO WOOD CONSTRUCTION HIGH WIND AREAS: 150 MPH WIND ZONE BY 750 C.M.S. 6304.2.1.1.

WITH THE USE OF FULL HEIGHT SHEATHING, STEEL HOLD-DOWNS MAY BE ELIMINATED.

WITH 2"x2" STRAPPING @ 16" o.c. USED IN THE CEILING, THE REQUIREMENTS OF 2"x4" LATERAL BRACING INSTALLED ON TOP OF CEILING (BOTTOM CHORD TRUSS) MAY BE ELIMINATED.

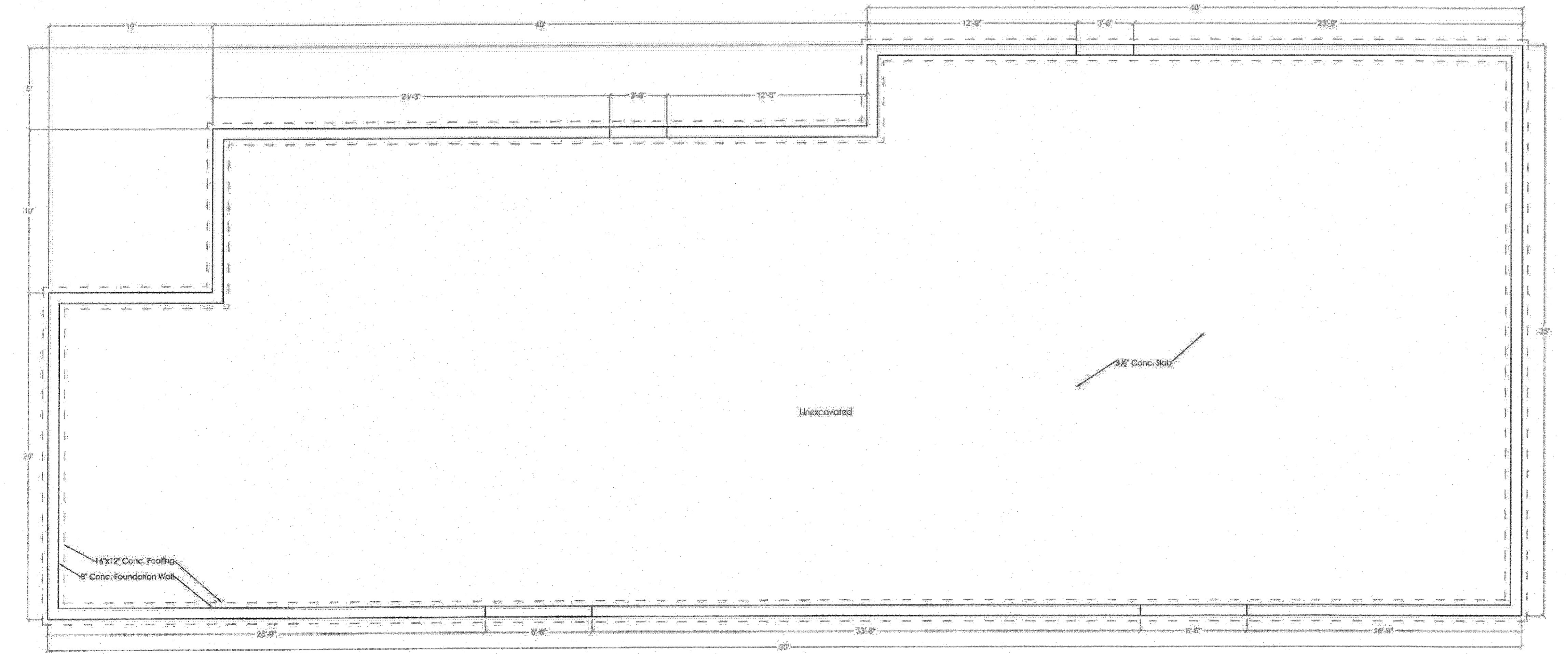
GROUND SNOW LOAD: 50 P.S.F.  
FLOOR LIVE LOAD: 40 P.S.F.  
FLOOR DEAD LOAD: 15 P.S.F.  
ROOF DEAD LOAD: 15 P.S.F.  
GREENHOUSE DEAD LOAD: 10 P.S.F.

BASIC WIND SPEED: 115 M.P.H. EXP. 'B'  
2 STORY DESIGN WITH 0/12 PITCH ROOF NOT EXCEEDS THE 6:12 PITCH PER CHECKLIST.



Ground Floor Plan

Scale: 1/4" = 1'-0"



Foundation Plan

Scale: 1/4" = 1'-0"