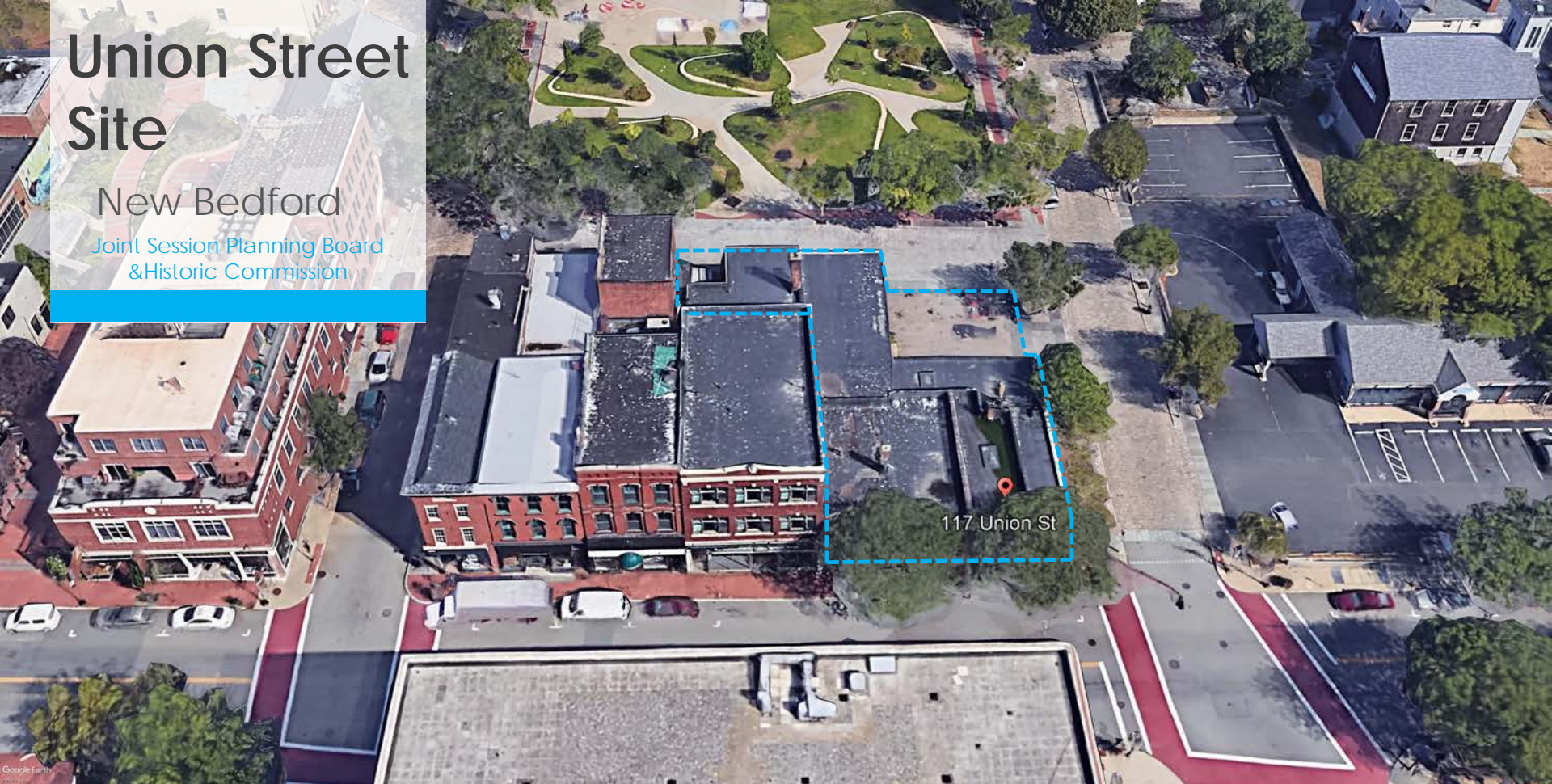


# Union Street Site

New Bedford

Joint Session Planning Board  
& Historic Commission





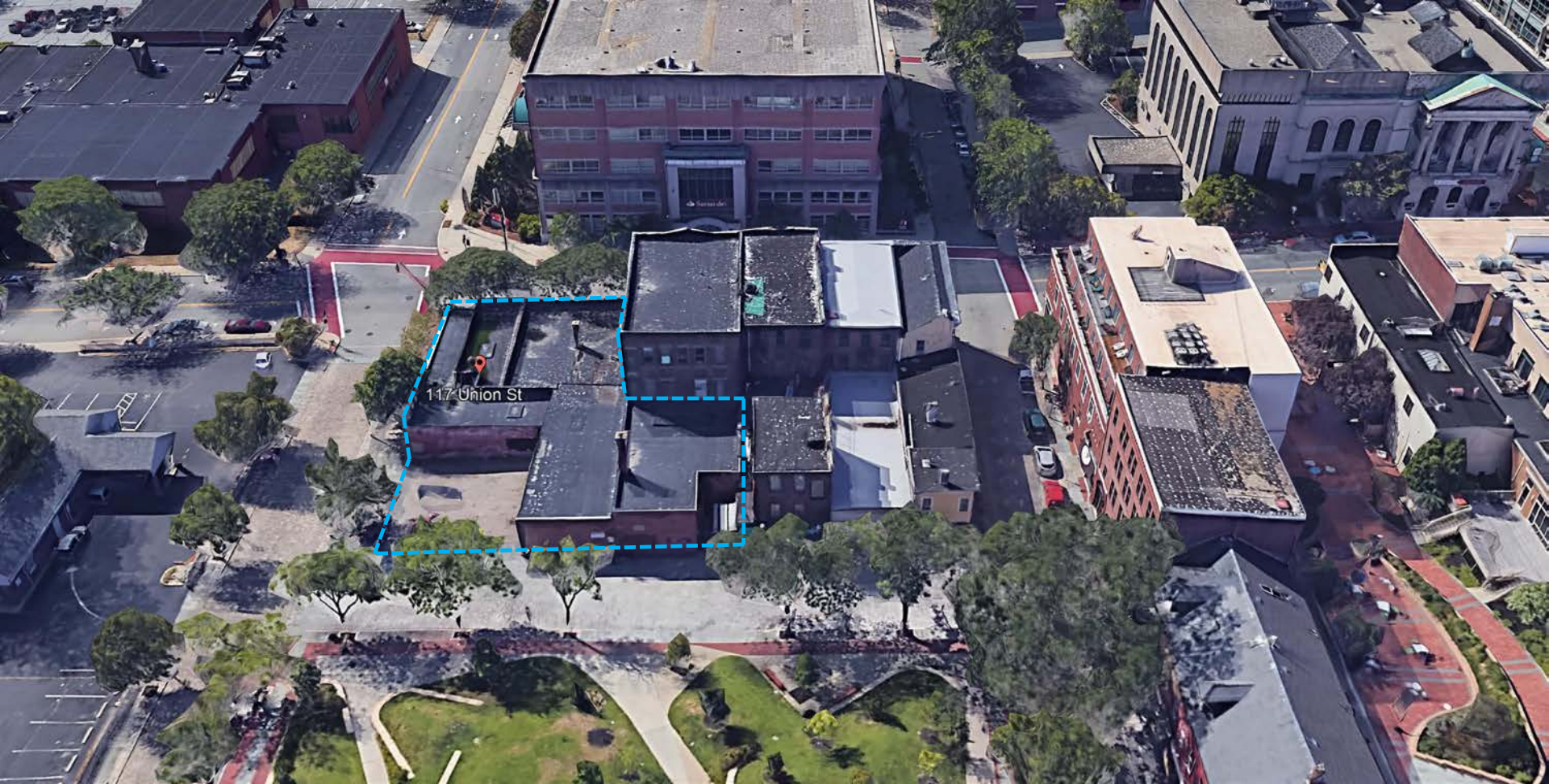
## Union Street Project Mission Statement:

To develop a high quality, transformative, energy efficient, sustainable, mixed use building that compliments the historical character of downtown New Bedford and becomes home to many working individuals, seniors and families for years to come.









117 Union St



An aerial photograph of a city, likely New York City, showing a dense urban area with a river (the Hudson River) and a major highway (the George Washington Bridge) running through it. The text "SITE PLAN" is overlaid in the center.

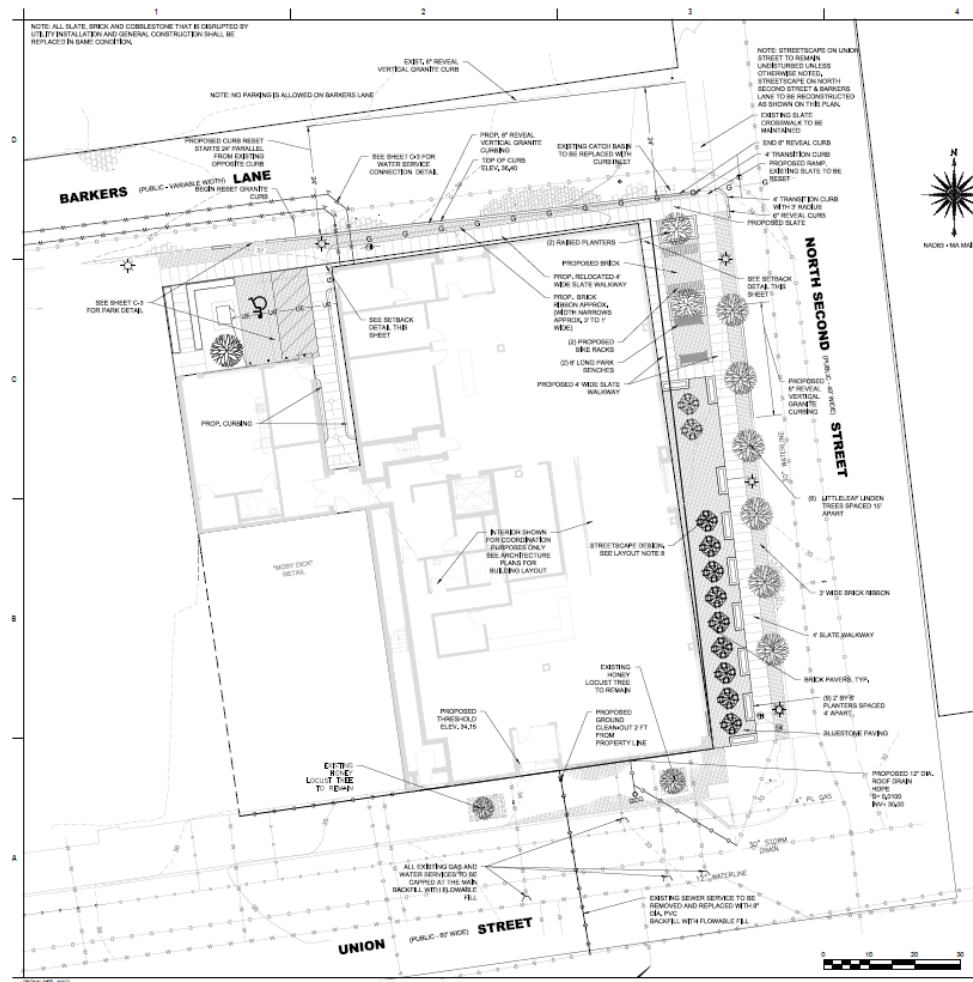
# SITE PLAN







NOTE: ALL SLATE, BRICK AND COBBLESTONE THAT IS DISRUPTED BY UTILITIES INSTALLATION AND GENERAL CONSTRUCTION SHALL BE REPLACED IN BARE CONDITION.

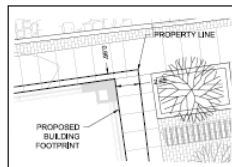


#### LAYOUT NOTES:

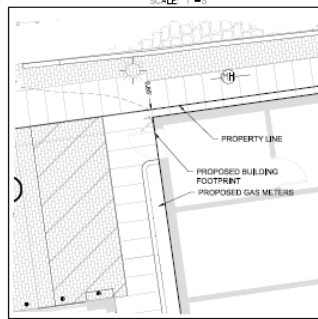
1. ANY WORK MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
2. ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
3. ALL HANDICAP PARKING, RAMPS, AND ACCESS SHALL CONFORM TO AAS & MANS REQUIREMENTS.
4. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO THE CITY OF NEW BEDFORD OR.
5. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS.
6. DRIVEWAY PERMITS ARE SUBJECT TO TRAFFIC COMMISSION APPROVAL.
7. PERMITS FOR SIDEWALK, DRIVEWAYS, WATER, SEWER AND STORM DRAIN MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC INFRASTRUCTURE ENGINEERING DIVISION.
8. ALL EXISTING STREETSCAPE MATERIALS INCLUDING LANDSCAPE, LIGHTING, AND HARDSCAPE ARE TO BE PRESERVED, RETAINED, REMOVED, OR RELOCATED AS PER APPROVAL OF THE HISTORIC COMMISSION AND AGREEMENT WITH THE DEPARTMENT OF PUBLIC INFRASTRUCTURE IN THE FIELD AT THE TIME OF CONSTRUCTION.

#### UTILITY NOTES:

1. THE CONTRACTOR SHALL OBTAIN A STREET DISTURBANCE AND OBSTRUCTION PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE RIGHT-OF-WAY.
2. ALL WATER AND SEWER MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
3. ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF NEW BEDFORD PRIOR TO BEING BACKFILLED.
4. THE CITY SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE REQUIRED INSPECTIONS.
5. A 15 FOOT MINIMUM SEPARATION BETWEEN THE WATER AND SEWER SERVICES IS REQUIRED.
6. DEVELOPER AND SITE CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE DEPARTMENT OF PUBLIC INFRASTRUCTURE PRIOR TO THE START OF CONSTRUCTION.
7. THE CONTRACTOR SHALL DEVELOP AN EROSION CONTROL PLAN, TO BE APPROVED BY DR PRIOR TO IMPLEMENTATION, FOR EACH PHASE OF THE PROJECT.
8. AN AS BUILT DRAWING PREPARED BY AN ENGINEER SHALL BE SUBMITTED TO DR PRIOR TO A CERTIFICATE OF OCCUPANCY BEING ISSUED.



NORTHEAST BUILDING SETBACK DETAIL  
SCALE: 1"=0'



NORTHWEST BUILDING SETBACK DETAIL  
SCALE: 1"=0'



Stantec Architecture and Engineering P.C.  
1288 Union Street  
New Bedford, MA 02740  
Phone: 508.457.1222  
Fax: 508.457.1223  
Email: info@stantec.com  
www.stantec.com



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www.primeeng.com

DATE	BY	DESCRIPTION
10/1/2024	DR	PRELIMINARY
10/1/2024	DR	REVISION 1
10/1/2024	DR	REVISION 2
10/1/2024	DR	REVISION 3
10/1/2024	DR	REVISION 4
10/1/2024	DR	REVISION 5
10/1/2024	DR	REVISION 6
10/1/2024	DR	REVISION 7
10/1/2024	DR	REVISION 8
10/1/2024	DR	REVISION 9
10/1/2024	DR	REVISION 10
10/1/2024	DR	REVISION 11
10/1/2024	DR	REVISION 12
10/1/2024	DR	REVISION 13
10/1/2024	DR	REVISION 14
10/1/2024	DR	REVISION 15
10/1/2024	DR	REVISION 16
10/1/2024	DR	REVISION 17
10/1/2024	DR	REVISION 18
10/1/2024	DR	REVISION 19
10/1/2024	DR	REVISION 20

Form/Sheet

Client/Project  
117 Union Street, LLC  
117 Union Street  
New Bedford, MA 02740  
Project No.: 2401108  
Date: 10/1/2024  
Scale: 1"=10'  
Title: SEE LAYOUT & UTILITIES PLAN

Revision:  
Drawing No.:  
C-2













Brick HC markings



Transformer



Future art wall  
Art TBD





Google



An aerial photograph of a city, likely Vancouver, showing a dense urban area with a river and industrial zones. The image is faded to serve as a background for the title.

# HISTORIC DISTRICT HEIGHT STUDY





View from Historic District : Building  
Height : # of Floors







An aerial photograph of a city, likely Vancouver, showing a dense urban area with a river and a highway. The text "PARKING ANALYSIS" is overlaid in the center.

# PARKING ANALYSIS

## New Bedford Automobile Ownership

Source: American Community Survey 2012-2016

Metropolitan Area Planning Council /Mass Smart Growth

% Rental Households with 0 Vehicles	<b>32%</b>
% Rental Households with 1 Vehicle	<b>49%</b>
% Rental Households with 2 Vehicles	16%
% Rental Households with 3 Vehicles	3%

**In New Bedford, 81% of Rental Households have 0 or just 1 vehicle.**



New Bedford Parking Requirement for 43 apartments at 117 Union Street = **86 spaces**

Potential Parking Demand For 117 Union Street based on ACS 2012-2016

32% of 43 Households with 0 cars = 0 cars

49% of 43 Households with 1 car = 21 cars

16% of 43 Households with 2 cars = 14 cars

3 % of 43 Households with 3 cars = 4 cars

Total Potential Demand = **39 cars**

## 117 Union Street

New Bedford, Massachusetts, 02740

Commute to **Downtown New Bedford**

🚗 1 min 🚎 2 min 🚲 1 min 🚶 3 min View Routes

📌 Favorite 🗺 Map 🔍 Nearby Apartments

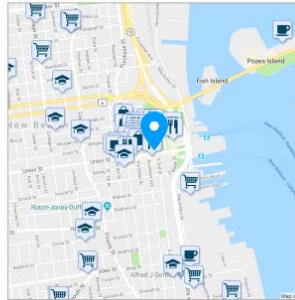
Looking for a home for sale in New Bedford? 🏠

Walk Score  
**88**

**Very Walkable**  
Most errands can be accomplished on foot.

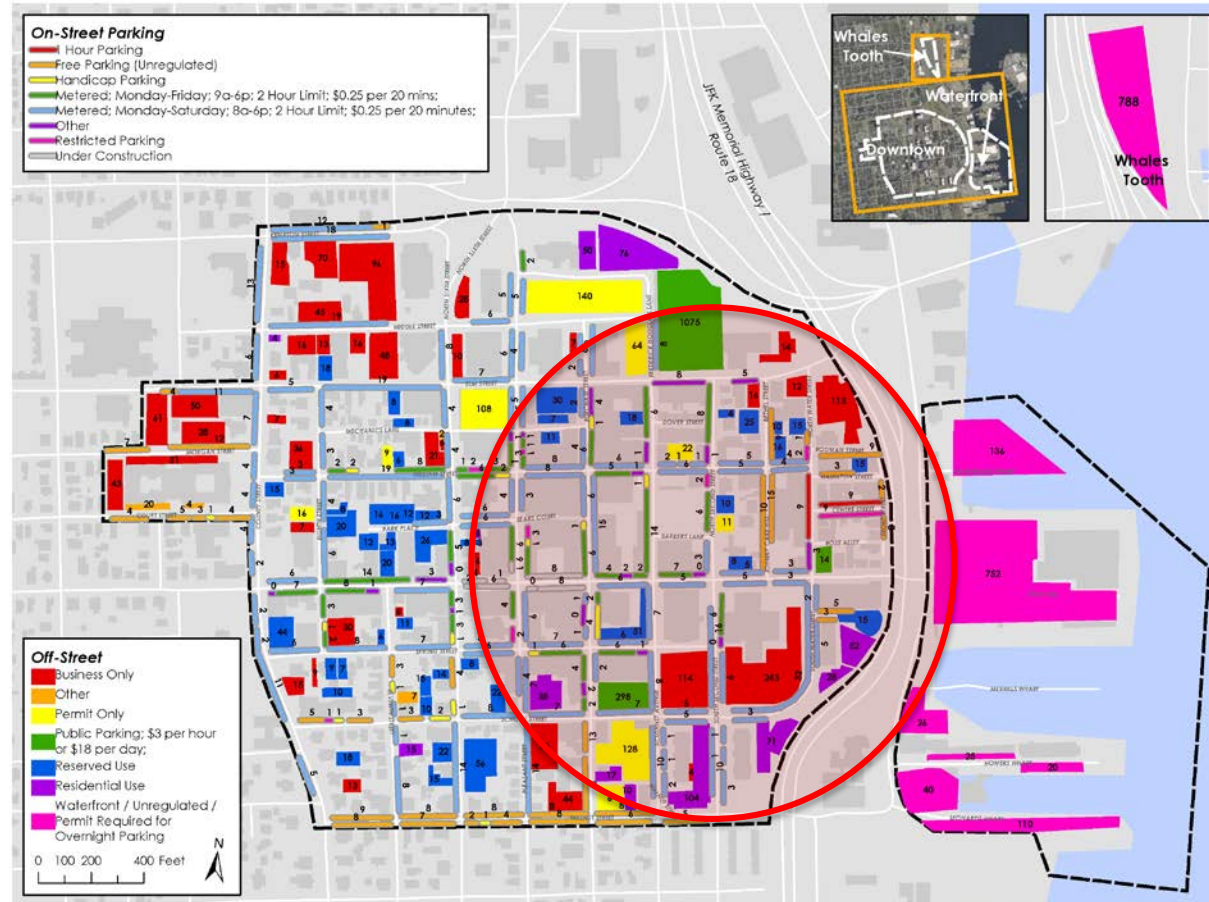
Transit Score  
**46**

**Some Transit**  
A few nearby public transportation options.



[Add scores to your site](#)

[About your score](#)



Available Parking &  
Alternative Transportation



# Transportation Demand Management (TDM) Plan

Full Time TDM Coordinator

Shared Electric Cars

Bicycle Parking and Maintenance Program

Bike Share Program Membership

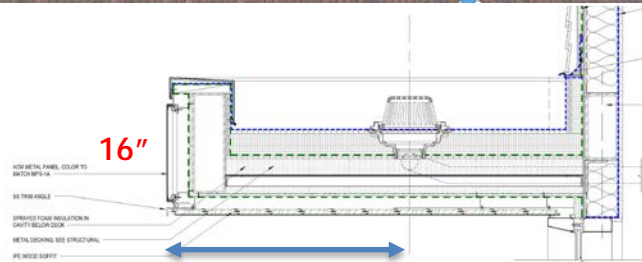
Real Time Transportation Information Displays

On-Site Delivery Support Amenities

An aerial photograph of a city, likely Vancouver, showing a dense urban area with a river and industrial zones. The text "HISTORIC COMMISSION STUDIED ITEMS" is overlaid in the center.

# HISTORIC COMMISSION STUDIED ITEMS





**3' PROJECT  
FROM FACE OF BRICK**





20" Tot.

2" h x 2" d Metal  
Cornice Projection

2" h x 2" d Metal  
Cornice Projection

16" h x 6" d Metal  
Projection

### METAL CORNICE

20" Tot.

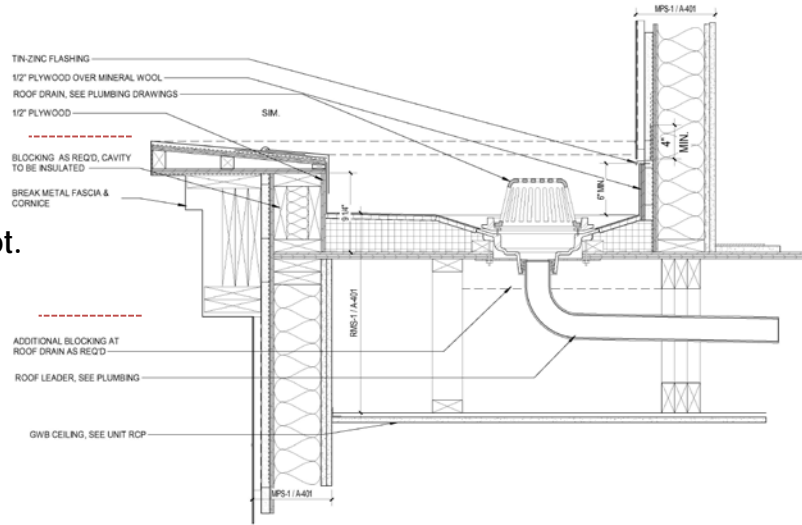
2" h x 2" d Metal  
Cornice Projection

16" h x 3/4" d Brick  
Soldier Projection

### MASONRY CORNICE

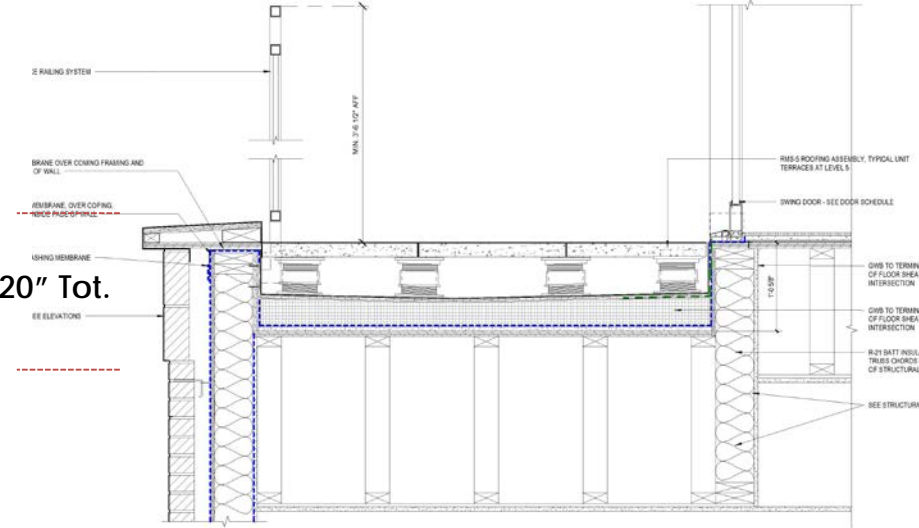


20" Tot.



METAL CORNICE

20" Tot.



MASONRY CORNICE



42" Height. 4" max  
picket spacing

2"x 2" Painted aluminum  
frame + mid-rail. ½"  
round pickets. Mounted  
into jam opening



Balcony rail example





DOOR SHIFTED 1 BAY  
TOWARDS UNION AND  
RECESSED 18"



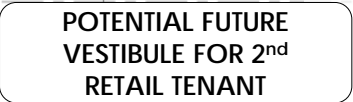




CAFÉ ZONE SEATING AREA AND LANDSCAPE SHOWN  
IN CONCEPTUAL LAYOUT.

FINAL DESIGN SUBJECT TO H.C. STAFF REVIEW DURING  
POST-APPROVALS DOUCMENTATION PHASE



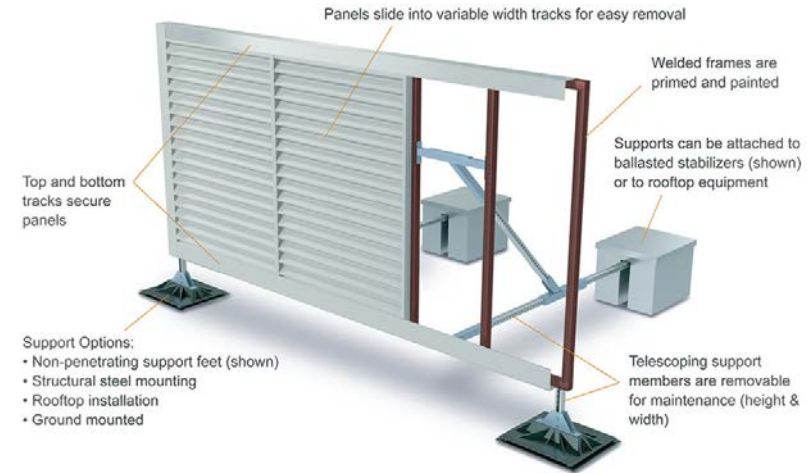






An aerial photograph of a city, likely Vancouver, showing a dense urban area with numerous buildings, streets, and green spaces. A semi-transparent grey overlay covers the entire image, serving as a background for the title text.

# ROOF SCREEN AND SHADOW STUDY







**12'-0" 'High Screen'**

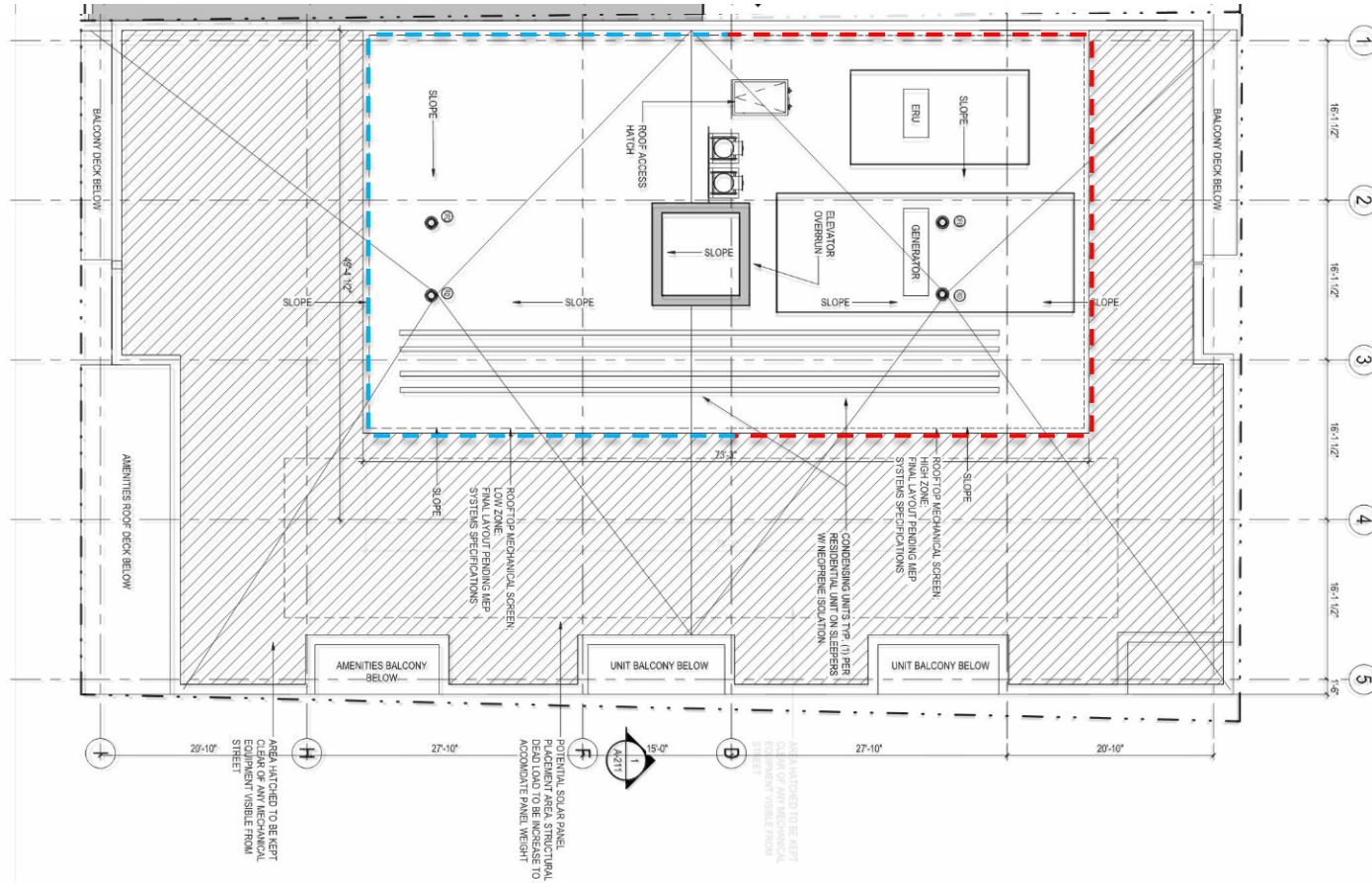
**SOLAR SHOWN IN ALL OPTIONS**



**ROOFTOP MECHANICAL EQUIPMENT SHOWN  
CONCEPTUAL.**

**FINAL DESIGN SUBJECT TO H.C. STAFF REVIEW DURING  
POST-APPROVALS DOUCMENTATION PHASE**

**12'-0" 'High Screen' to 4'-0" 'Low'**



## VARIABLE SCREEN HEIGHT OPTIONS STUDIED











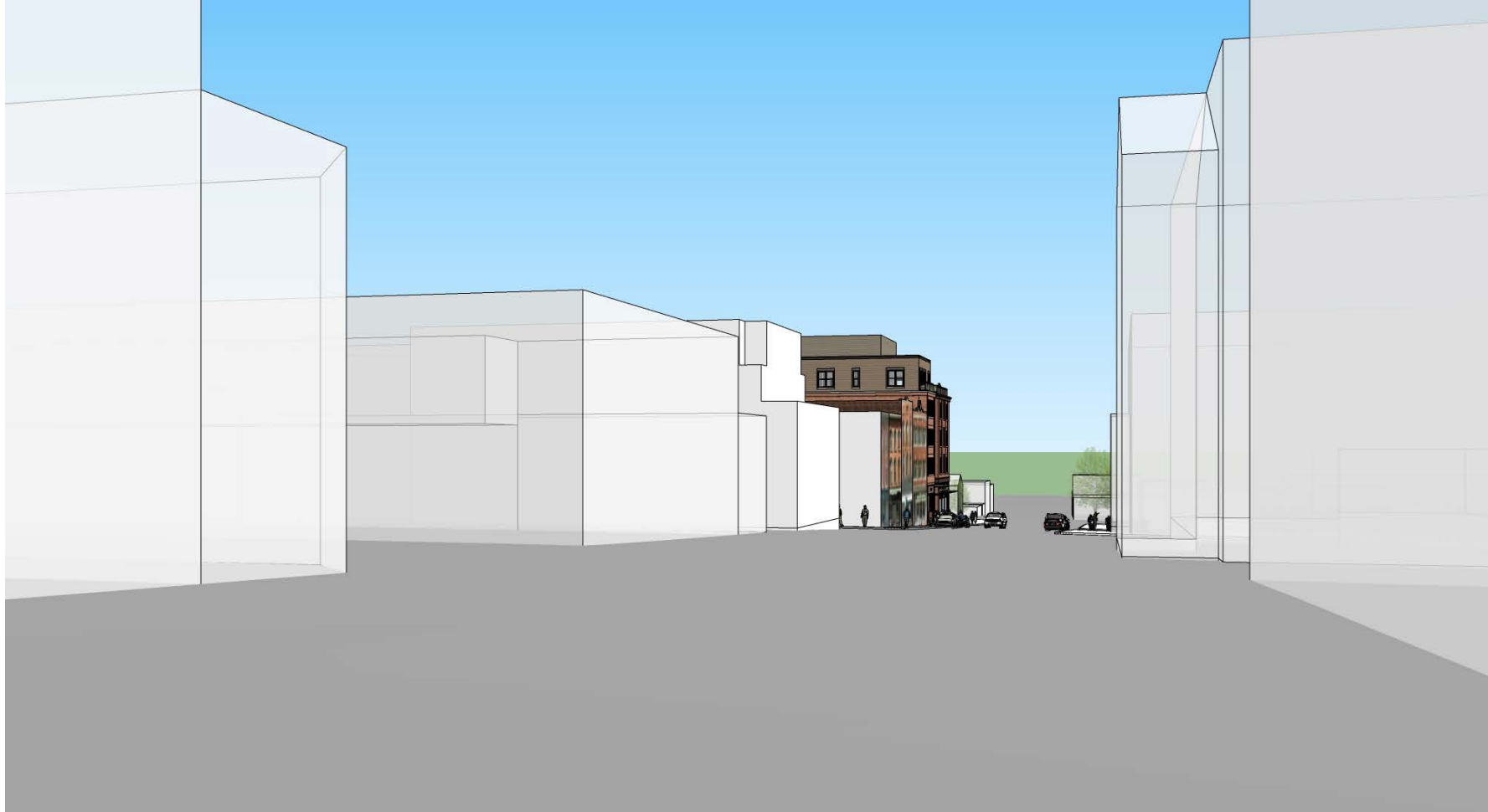


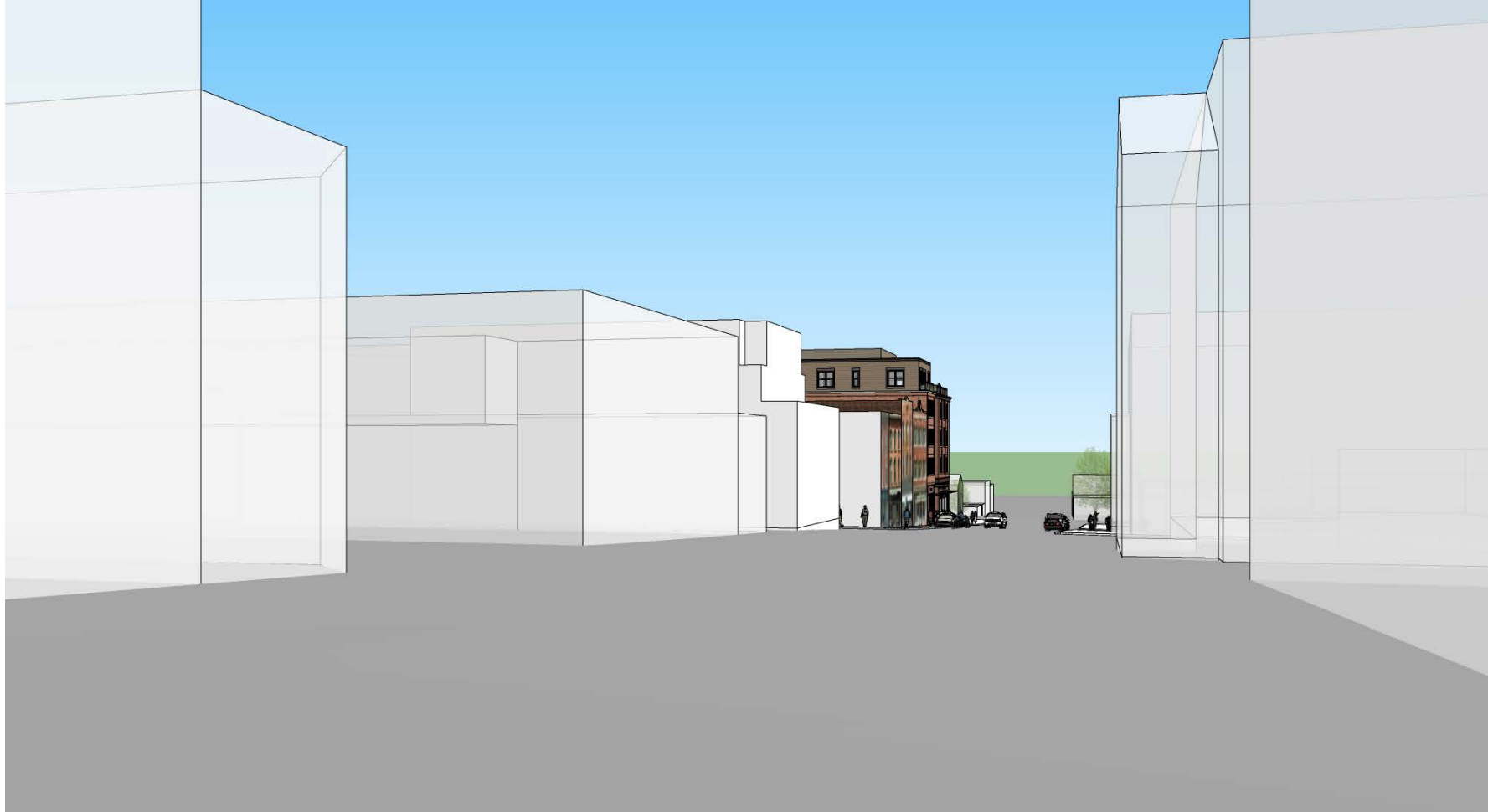








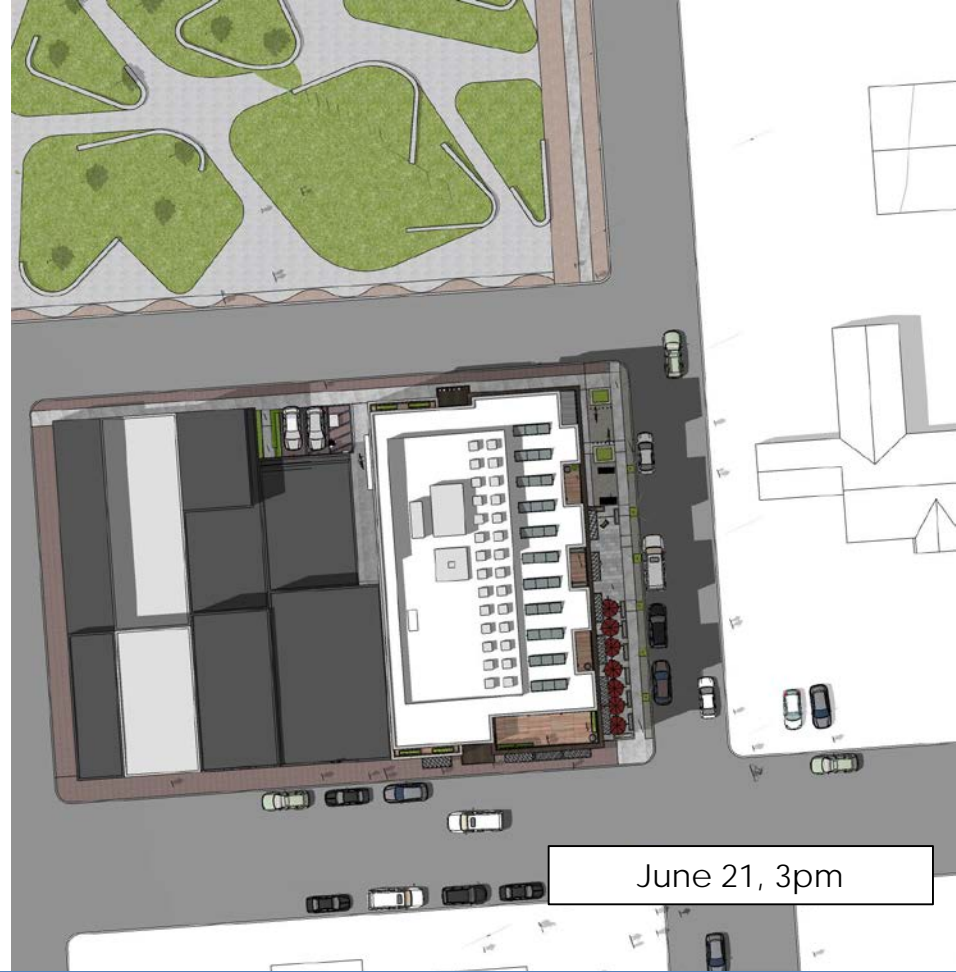




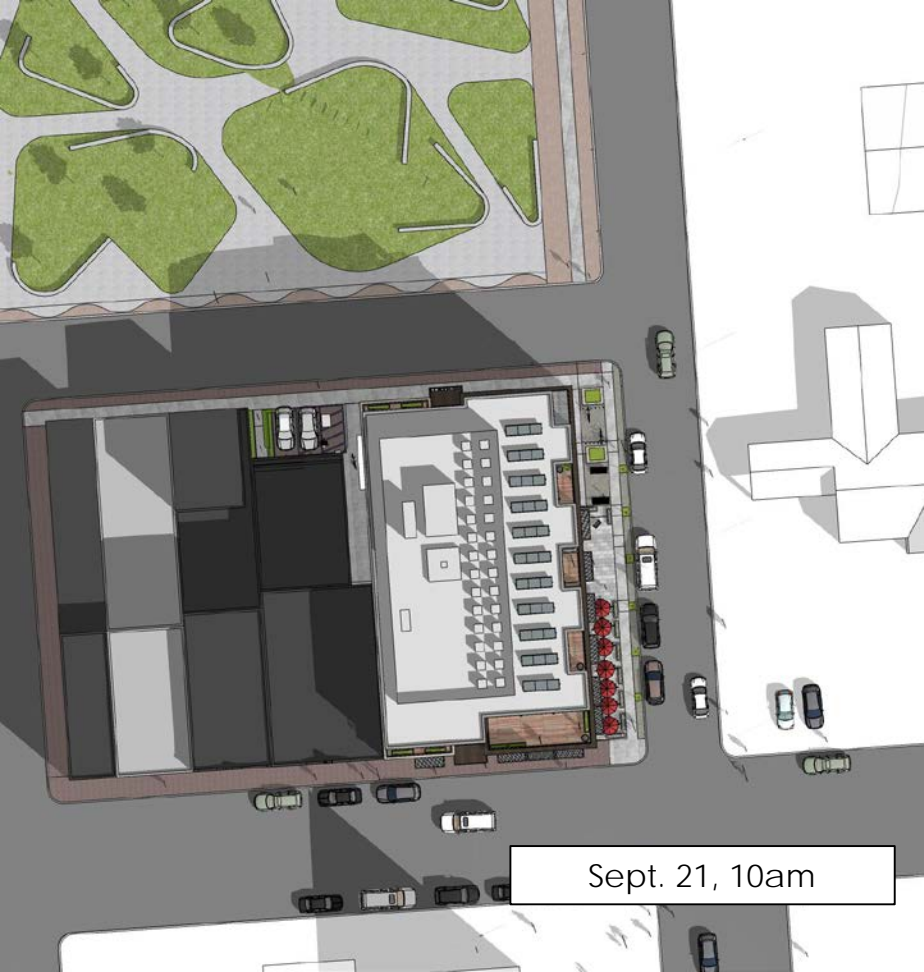




June 21, 10am



June 21, 3pm



Sept. 21, 10am



Sept. 21, 3pm





PLEASE SEE SUBMITTED  
ELEVATIONS,  
MATERIAL CUT SHEETS  
AND SCHEDULE FOR  
REFERENCE.

UNCHANGED FROM  
3/25 HISTORIC COMM  
MEETING

# Questions?

117 Union Street, New Bedford  
Presentation of Submission