

Proposed Commercial/ Residential Development

117 Union Street

New Bedford, MA 02740

DRAWING LIST	
NO.	DRAWING NAME
CIVIL	
C-1	EXISTING CONDITIONS & DEMOLITION PLAN
C-2	SITE LAYOUT & UTILITIES PLAN
C-3	SITE DETAILS
C-4	SITE DETAILS
ARCHITECTURE	
A-101	FLOOR PLAN - LEVEL 1
A-102	FLOOR PLAN - LEVEL 2
A-103	FLOOR PLAN - LEVEL 3
A-104	FLOOR PLAN - LEVEL 4
A-105	FLOOR PLAN - LEVEL 5
A-106	ROOF PLAN
A-201	ELEVATIONS - NORTH & SOUTH
A-202	ELEVATIONS - EAST & WEST
A-211	BUILDING SECTIONS

ZONING TABLE

- Mixed Use Business
- Downtown Business Overlay District
- New Bedford Landing Waterfront Historic District

	Existing	Allowed/Required	Proposed
Lot Area (sq ft)	10,173 s.f.	15,000 s.f.	10,173 s.f.
Lot Width (ft)	70 ft	0 s.f.	70 ft
Number of Dwelling Units Max.	0	No standard	42
Total Gross Floor Area (sq ft)	8,157 s.f.	N/A	42,650 s.f.
Residential Gross Floor Area (sq ft)	0 s.f.	N/A	33,265 s.f.
Non-Residential Gross Floor Area (sq ft)	8,157 s.f.	N/A	8,497 s.f.
Building Height (ft)	15 ft	100 ft	61 ft
Front Setback (ft)	0 ft	0 ft	0 ft
Side Setback (ft)	N/A	10 ft	N/A
Side Setback (ft)	N/A	12 ft	N/A
Rear Setback (ft)	0 ft	30 ft	0 ft
Max. Lot Coverage by Buildings (% of Lot Area)	80.2%	40 %	91.6%
Min. Permeable Open Space (% of Lot Area)	0%	40%	0%
Min. Green Space (% of Lot Area)	0%	0%	0%
Off-Street Parking Spaces	5	106	1
Van Accessible Handicap	0	1	1
Long-Term Bicycle Parking Spaces	0	0	20
Short-Term Bicycle Parking Spaces	0	0	20
Loading Bays	0	2	0

PROJECT TEAM

DEVELOPER:

117 Union Street, LLC
128 Union Street, Fourth Floor
New Bedford, MA 02740

Contact:

Michael Galasso
tel: (619) 316-5895
email: mbgalasso@baronegalasso.com

ARCHITECT:

STANTEC
Stantec Architecture and Engineering P.C.
311 Summer Street
Boston, MA 02210-1723

Contact:

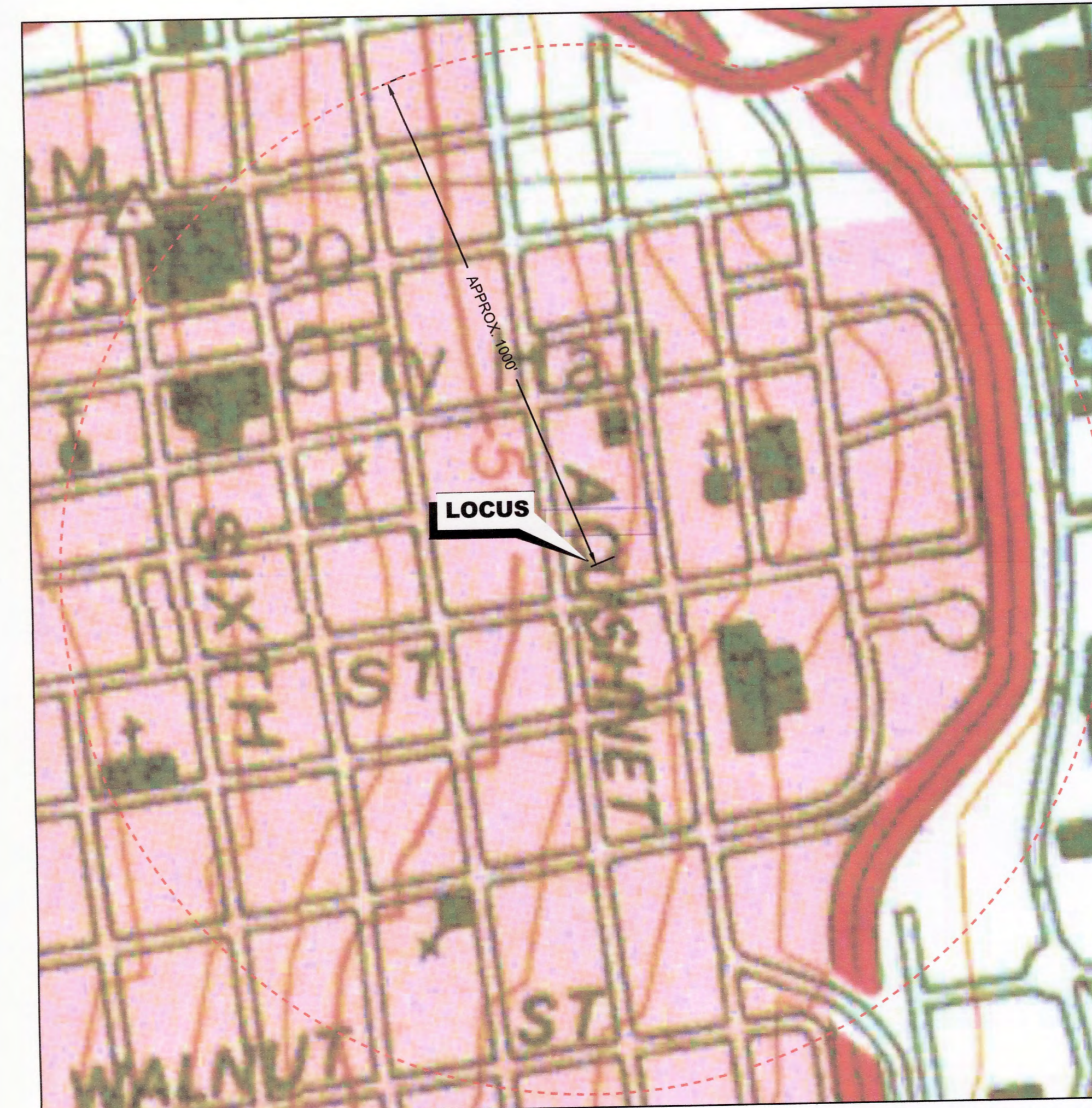
Louis Kraft
tel: (617) 234-3149
email: louis.kraft@stantec.com

ENGINEER:

PRIME ENGINEERING
P.O. BOX 1088
Lakeville, MA 02347

Contact:

Richard Rheume, P.E.
tel: (508) 947-0050
email: rich@primeengineering.org



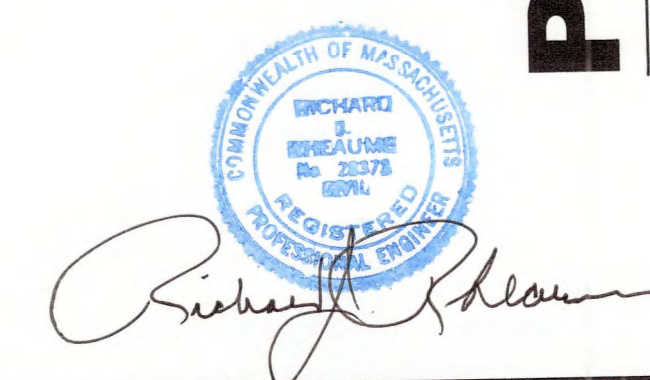
Site Locus is 117 Union Street
Assessor's Map 53, Lots 40, 41, 215, 216 & PORTIONS OF 146
Registry of Deeds Book 1838 Page 1144 & Book 1707 Page 903
Owners: Paul A. Piva and Gail Florek

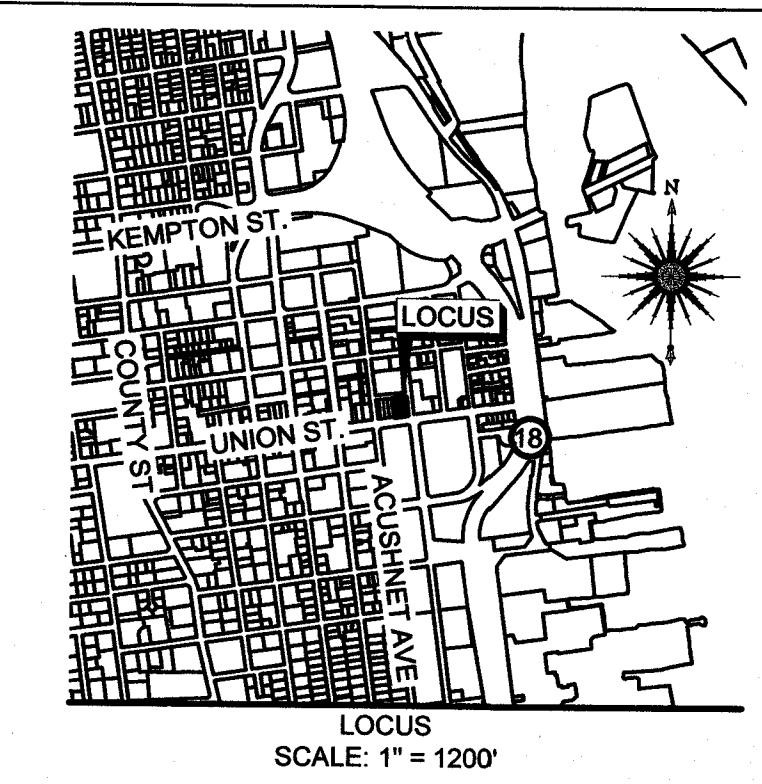
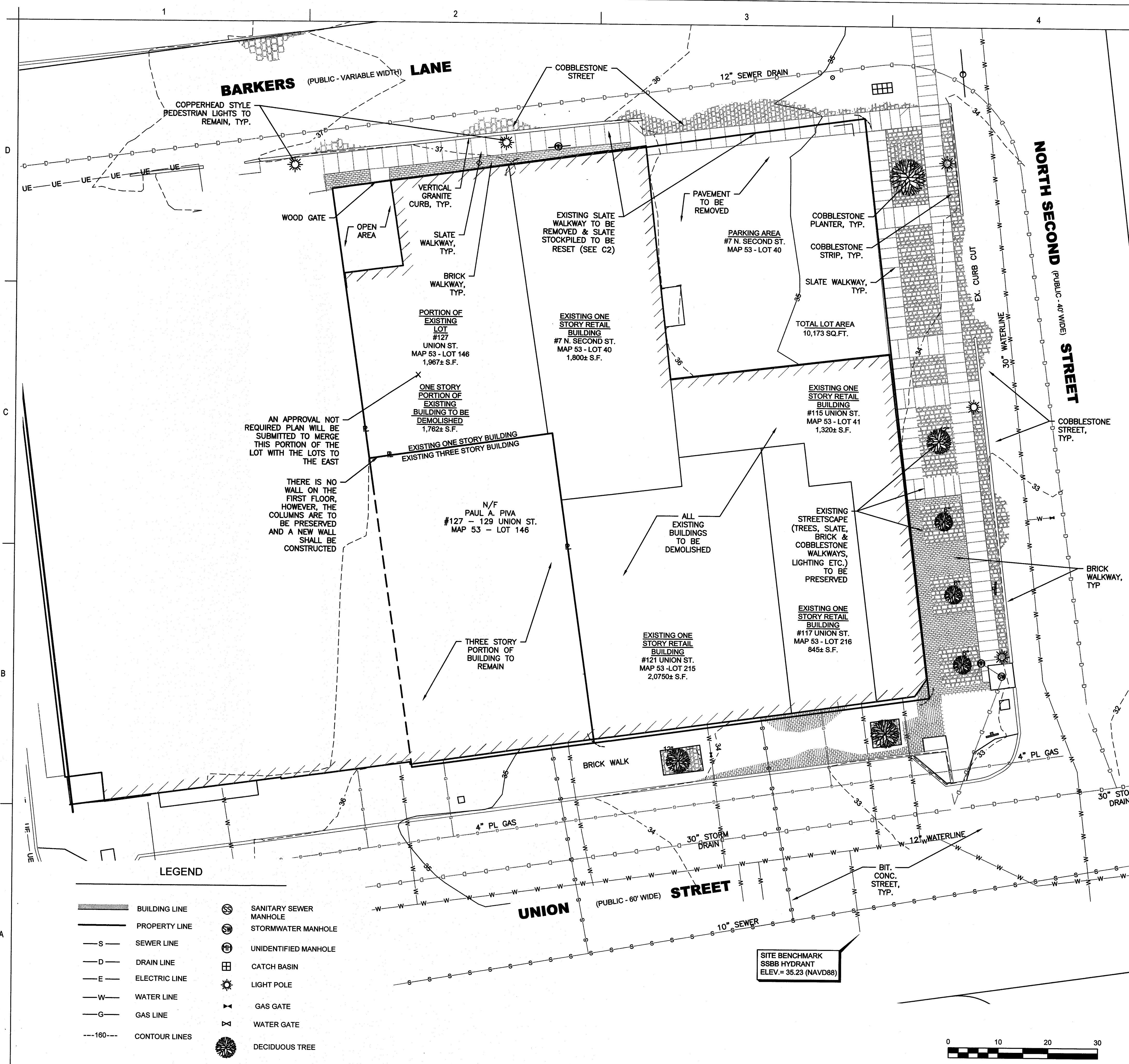
SITE LOCUS

APPROX. SCALE: 1"=200'



APRIL 29, 2019





SITE ADDRESSES
 7 NORTH SECOND STREET
 115 UNION STREET
 121 UNION STREET
 117 UNION STREET

125-127 UNION STREET ASSESSORS REFERENCES
 MAP 53 - LOT 40
 MAP 53 - LOT 41
 MAP 53 - LOT 215
 MAP 53 - LOT 216
 MAP 53 - LOT 146

CURRENT OWNERS
 PAUL A. PIVA & GAIL FLOREK
 10 PEQUOD ROAD
 FAIRHAVEN, MA 02719

DEED REFERENCE
 BK 1838 - PG. 1144
 BK. 903 - PG. 1865

HORIZONTAL DATUM SHOWN
 NAD83 - MA MAINLAND

VERTICAL DATUM SHOWN
 NAVD88

CITY OF NEW BEDFORD ZONING DISTRICT
 MUB - MIXED USE BUSINESS
 BEDFORD LANDING - WATERFRONT HISTORIC DISTRICT
 DOWNTOWN BUSINESS OVERLAY DISTRICT

FEMA FLOODZONE DESIGNATION
 ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. AS SCALED FROM FIRM PANEL 25005-C-0393G, EFFECTIVE DATE: 7/18/2014

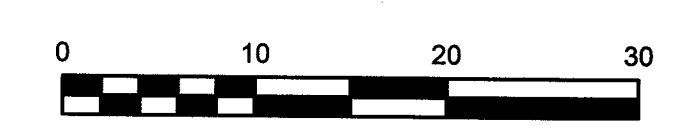
NOTE:
 1. THE SUBSURFACE UTILITIES SHOWN ARE APPROXIMATE ONLY AND ARE BASED ON CITY OF NEW BEDFORD RECORDS, DIGSAFE MARKINGS, AND OBSERVATIONS MADE FROM THE GROUND SURFACE. PRIME ENGINEERING INC. MAKES NO CERTIFICATION AS TO THE EXISTENCE OR NON-EXISTENCE OF ANY CONDITIONS BELOW THE GROUND SURFACE. THE INFORMATION SHOWN HEREON IS APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE SITE CONTRACTOR TO CONTACT DIGSAFE (811) PRIOR TO PERFORMING ANY SUBSURFACE OR ONSITE WORK.
 2. THE INTERIOR BUILDING LINES AS SHOWN ARE BASED ON EXTERIOR MEASUREMENTS AND PLANS OF RECORD. NO INTERIOR BUILDING WALLS WERE MEASURED BY PRIME ENGINEERING INC.
 3. BASED ON AN ON THE GROUND SURVEY BY PRIME ENGINEERING INC. IN DEC. 2018 AND JAN. 2019.

- GENERAL NOTES:**
- UNLESS OTHERWISE NOTED ALL CONSTRUCTION ABOVE 3HR HORIZONTAL PODIUM SHALL BE TYPE 5A COMBUSTIBLE (WOOD FRAMED) CONSTRUCTION.
 - CONSTRUCTION BELOW 3HR HORIZONTAL PODIUM SHALL BE TYPE 1A NON-COMBUSTIBLE CONSTRUCTION.
 - ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
 - ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
 - ALL HANDICAP PARKING, RAMPS, AND ACCESS SHALL CONFORM TO AAB & MAAB REQUIREMENTS.
 - ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO THE CITY OF NEW BEDFORD CONSERVATION COMMISSION REQUIREMENTS AS STATED IN THE ORDER OF CONDITIONS. (REFER TO EROSION CONTROL PLAN)
 - ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS. DRIVEWAY PERMITS ARE SUBJECT TO TRAFFIC COMMISSION APPROVAL.
 - PERMITS FOR SIDEWALK, DRIVEWAYS, WATER, SEWER AND STORM DRAIN MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC INFRASTRUCTURE ENGINEERING DIVISION.

- DEMOLITION NOTES:**
- ALL EXISTING BUILDINGS ARE TO BE DEMOLISHED.
 - PRIOR TO DEMOLITION, AN ASBESTOS AND LEAD ASSESSMENT SHALL BE COMPLETED. ALL ASBESTOS SHALL SUBSEQUENTLY ABATED BY A LICENSED CONTRACTOR AND CERTIFICATION THAT THE ASBESTOS HAS BEEN REMOVED SHALL BE SUBMITTED TO THE NEW BEDFORD BUILDING DEPARTMENT. ANY REQUIRED LEAD ABATEMENT SHALL ALSO BE CONDUCTED BY A LICENSED CONTRACTOR WITH NOTIFICATION OF COMPLETION SUBMITTED TO THE NEW BEDFORD BUILDING DEPARTMENT.
 - A LICENSED VERMIN EXTERMINATOR SHALL COMPLETE A PRE-DEMOLITION VERMIN CONTROL PROGRAM.
 - SIGNAGE AND SAFETY BARRIER SHALL BE ERECTED AND MAINTAINED IN ORDER TO ASSURE SAFE CONDITIONS THROUGHOUT THE CONSTRUCTION.
 - CONTRACTOR TO BE RESPONSIBLE FOR DUST CONTROL THROUGHOUT THE DEMOLITION PROCESS.

LEGEND

	BUILDING LINE		SANITARY SEWER MANHOLE
	PROPERTY LINE		STORMWATER MANHOLE
	SEWER LINE		UNIDENTIFIED MANHOLE
	DRAIN LINE		CATCH BASIN
	ELECTRIC LINE		LIGHT POLE
	WATER LINE		GAS GATE
	GAS LINE		WATER GATE
	CONTOUR LINES		DECIDUOUS TREE



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 Lakeville, MA 02447
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REVISION	DATE	BY	APP'D
1	2019.05.19	JAG	BY
2	2019.05.19	JAG	BY
3	2019.05.19	JAG	BY
4	2019.05.19	JAG	BY
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100	2019.05.19	JAG	BY

Permit/Seal

Richard R. Piva
 State of Massachusetts
 No. 218421128

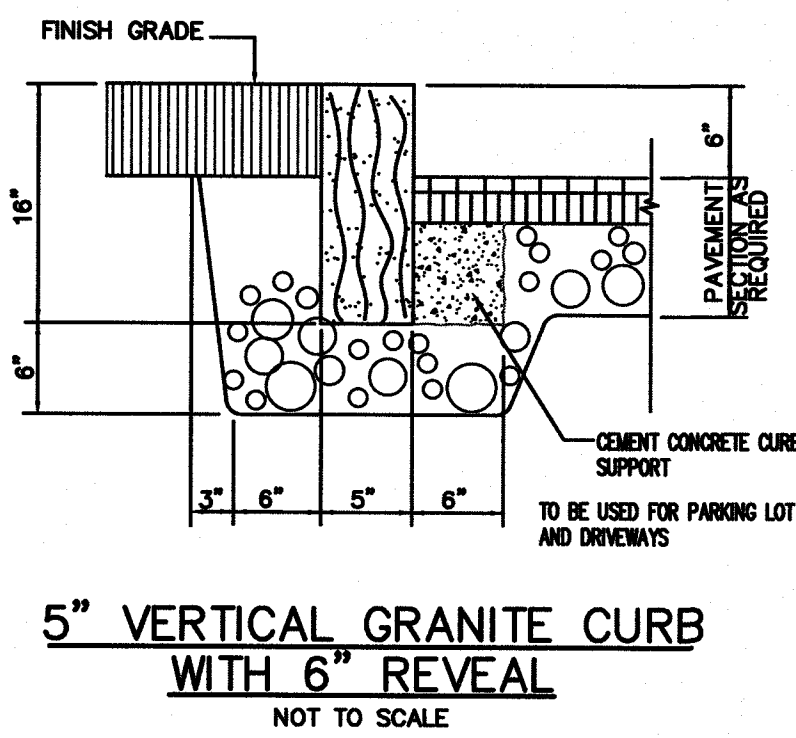
Client/Project
 117 Union Street, LLC

117 Union Street
 New Bedford, MA 02740

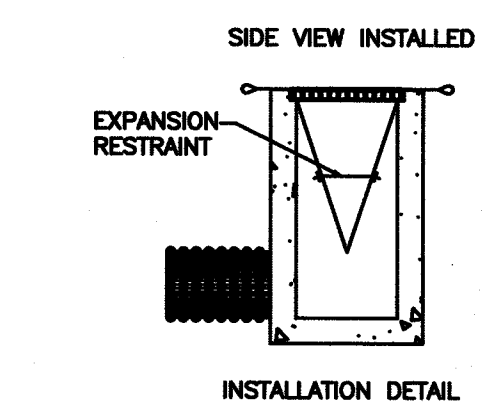
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 File Name: N/A
 Scale: 1"=10'
 Author Designer Checker 02/05/19
 Dwn. Dgn. Chkd. YYYY.MM.DD

Title
EXISTING CONDITIONS & DEMOLITION PLAN

Revision:
 Drawing No.
C-1



5" VERTICAL GRANITE CURB WITH 6" REVEAL
NOT TO SCALE



NOTE: THE SILTSACK® WILL BE MANUFACTURED FROM A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS.

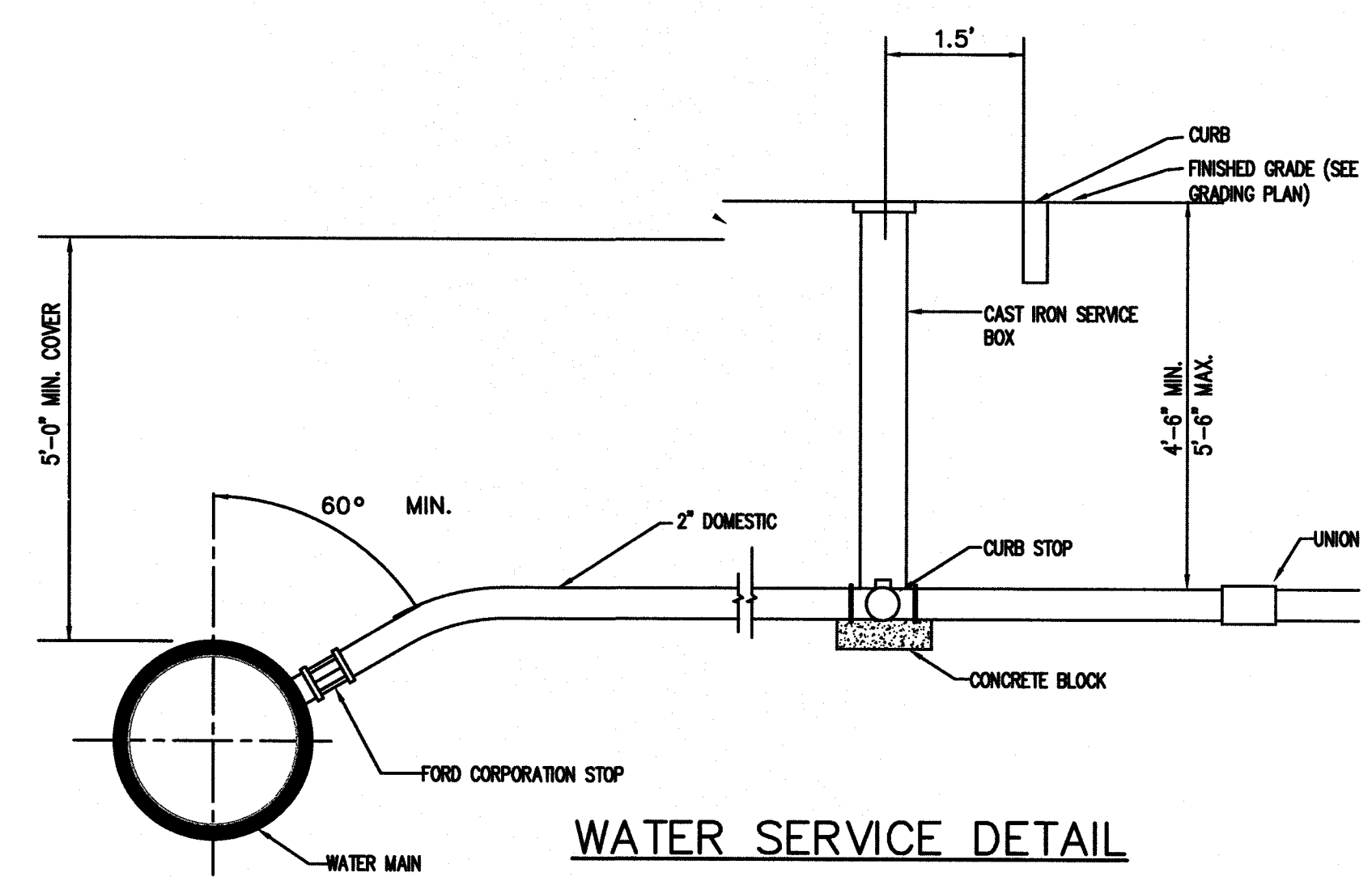
REGULAR FLOW SILTSACK®
(FOR AREAS OF LOW TO MODERATE PRECIPITATION AND RUN-OFF)

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
TENSILE ELONGATION	ASTM D-4632	20%
PUNCTURE MULLEN	ASTM D-3786	800 PSI
BURST TRAPEZOID	ASTM D-4533	120 LBS
TEAR UV RESISTANCE	ASTM D-4355	80%
APPARENT OPENING	ASTM D-4751	40 US SIEVE
SIZE FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT 0.55
PERMITTIVITY	ASTM D-4491	SEC -1

HI-FLOW SILTSACK®
(FOR AREAS OF MODERATE TO HEAVY PRECIPITATION AND RUN-OFF)

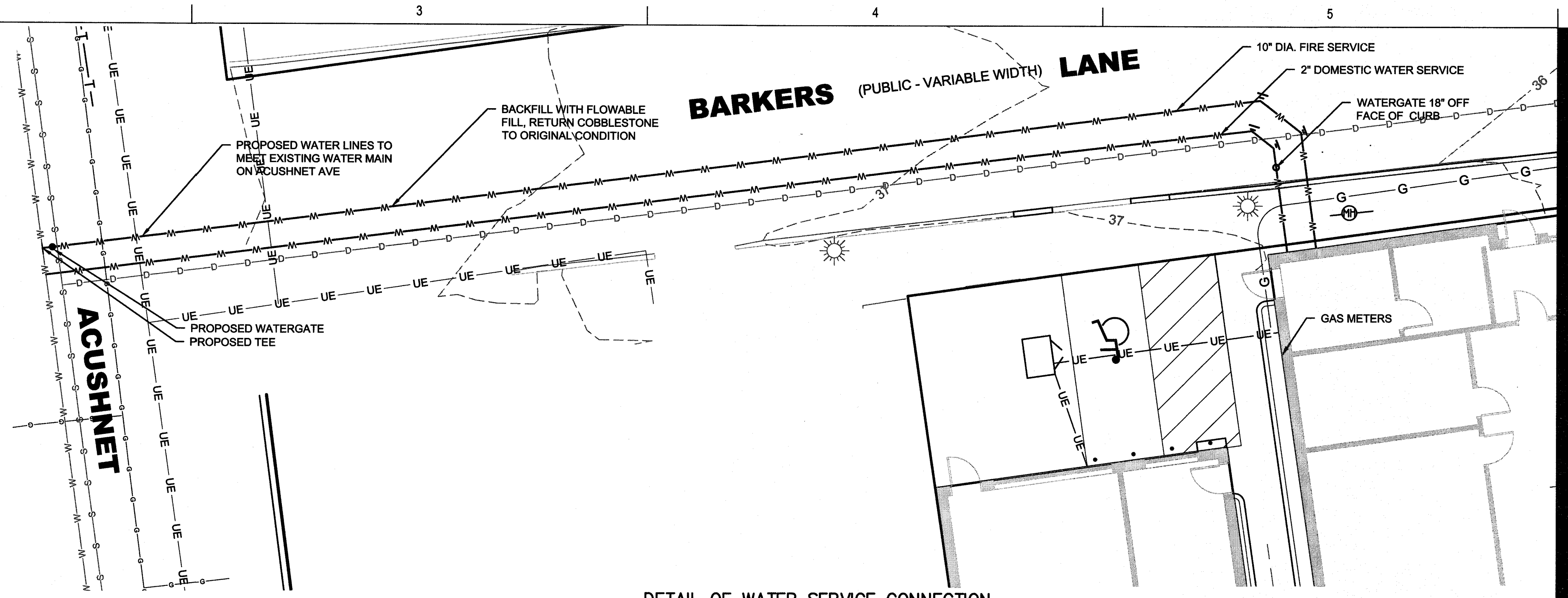
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	285 LBS
TENSILE ELONGATION	ASTM D-4632	20%
PUNCTURE MULLEN	ASTM D-3786	420 PSI
BURST TRAPEZOID	ASTM D-4533	45 LBS
TEAR UV RESISTANCE	ASTM D-4355	90%
APPARENT OPENING	ASTM D-4751	20 US SIEVE
SIZE FLOW RATE	ASTM D-4491	200 GAL/MIN/SQ FT 1.5
PERMITTIVITY	ASTM D-4491	SEC -1

DETAIL OF INLET SEDIMENT CONTROL DEVICE WITH CURB DEFLECTOR ("SILT SACK")
NOT TO SCALE

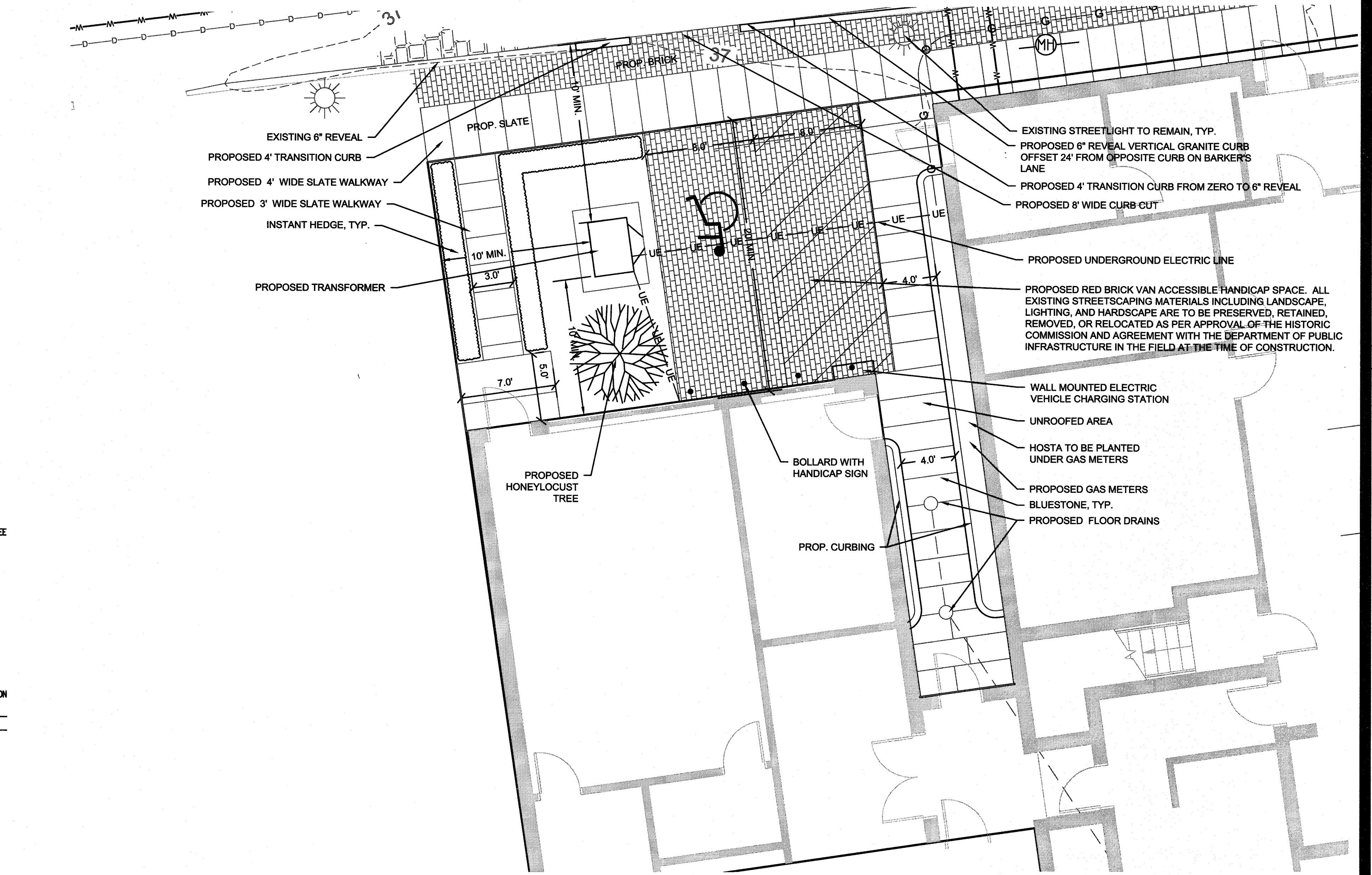


WATER SERVICE DETAIL
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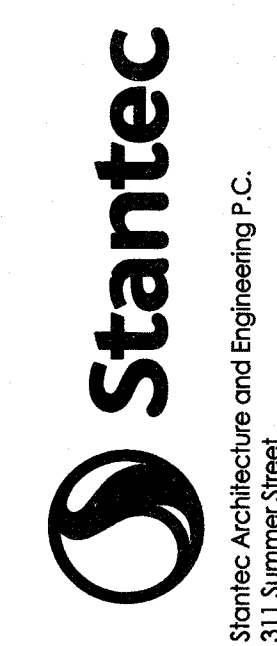
NOTE: CURB STOPS TO BE PLACED 18 INCHES FROM FACE OF CURB



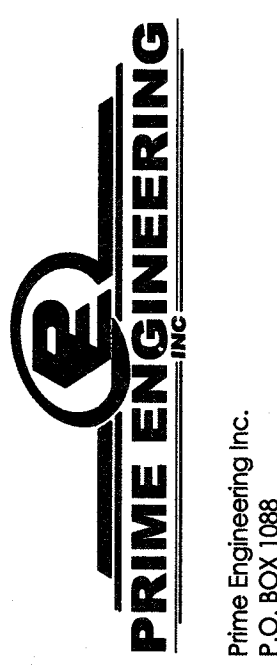
DETAIL OF WATER SERVICE CONNECTION
N.T.S.



DETAIL OF PARK
N.T.S.



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REVISION	DATE	BY	APP'D
ISSUE/REVISION	2018.04.22	JAG	YTY/AM/DD
PERMIT APPLICATION	2018.04.22	JAG	YTY/AM/DD
PERMIT APPLICATION	2018.04.22	JAG	YTY/AM/DD

Permit/Seal

 Richard E. Reame

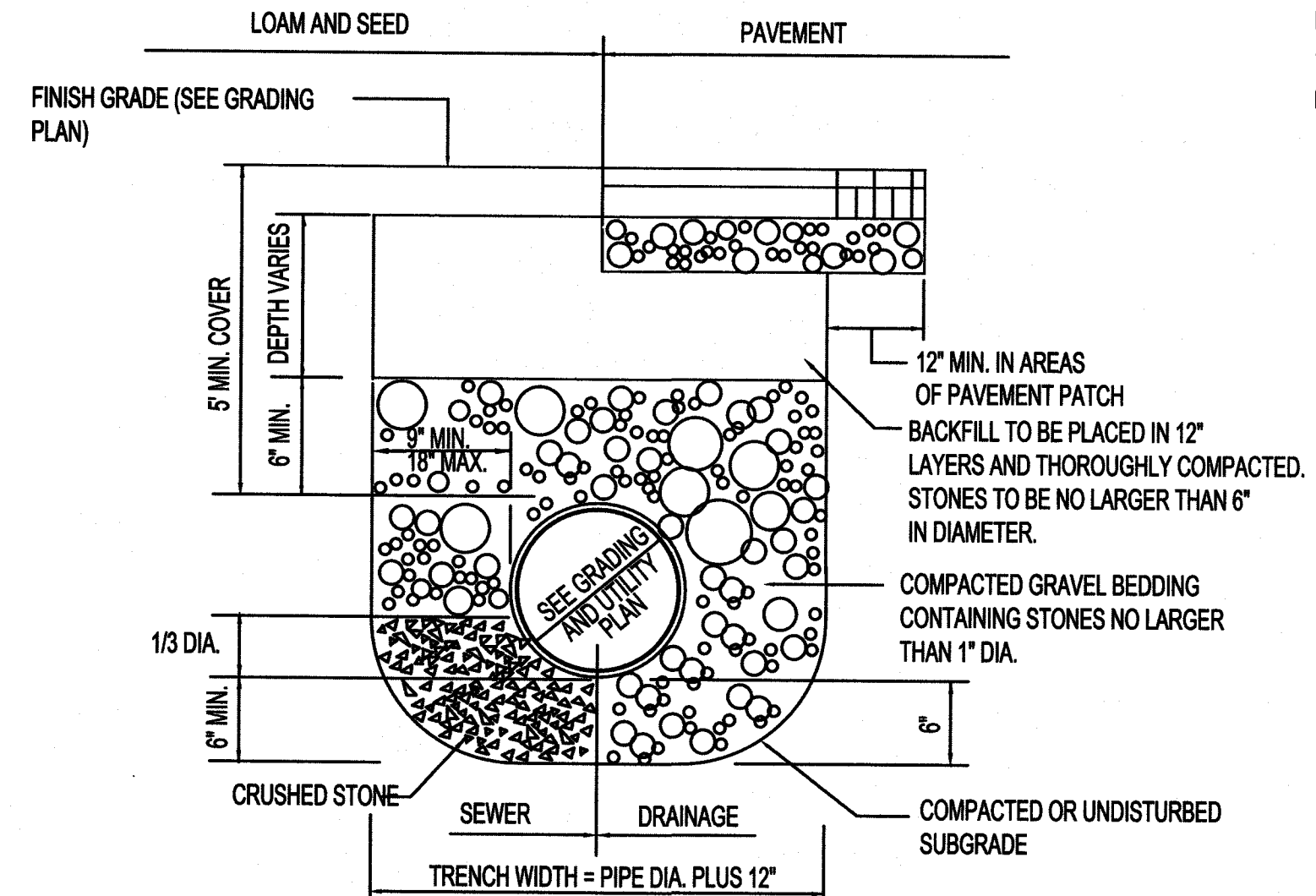
Client/Project
117 Union Street, LLC
117 Union Street
128 Union Street
New Bedford, MA 02740

Project No.: 218421128
File Name: N/A
Scale: 1"=10'
Author: Dwn. Designer: Chkd. 02/05/19
Dwn. Dgn. Chkd. YTY/AM/DD

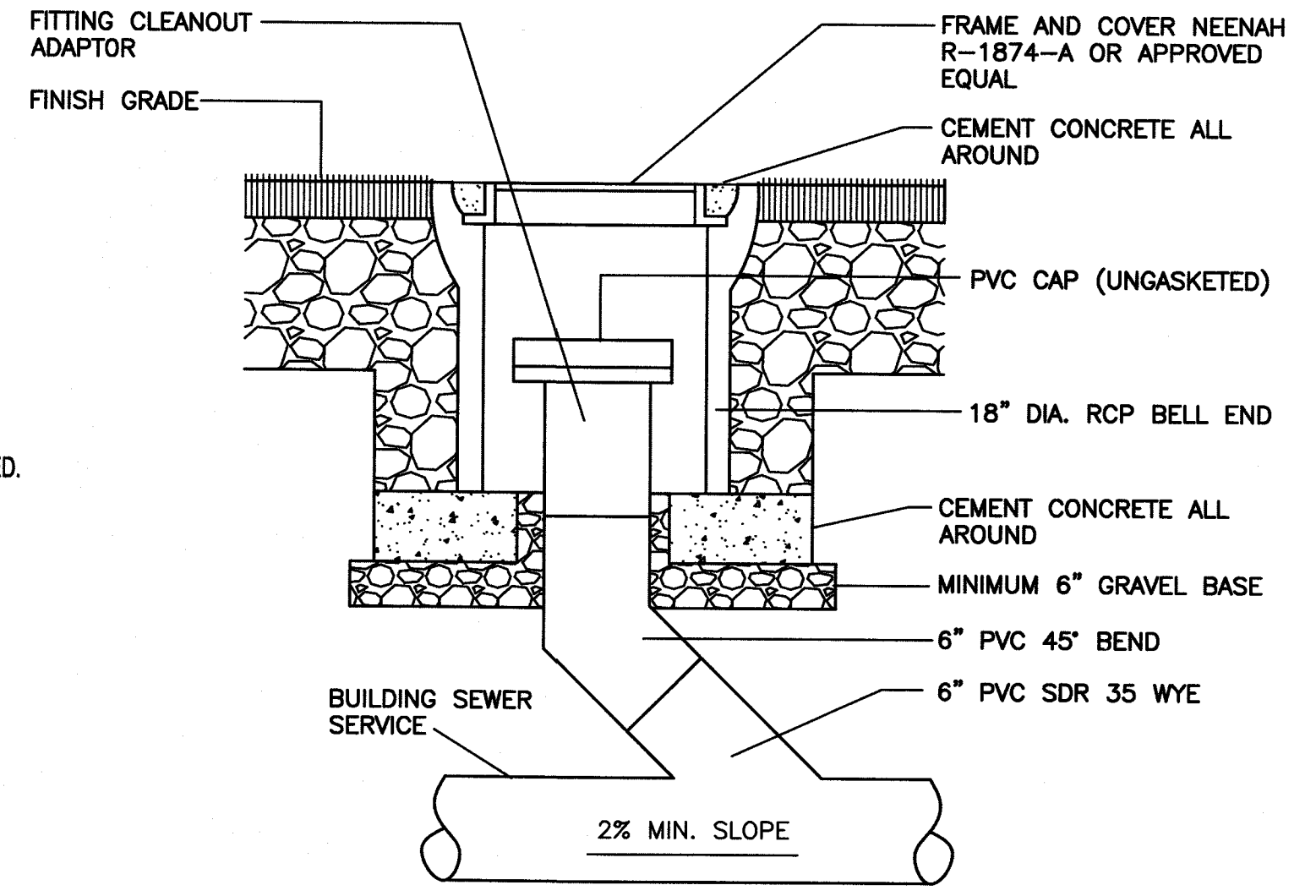
Title
DETAILS

Revision:
Drawing No.

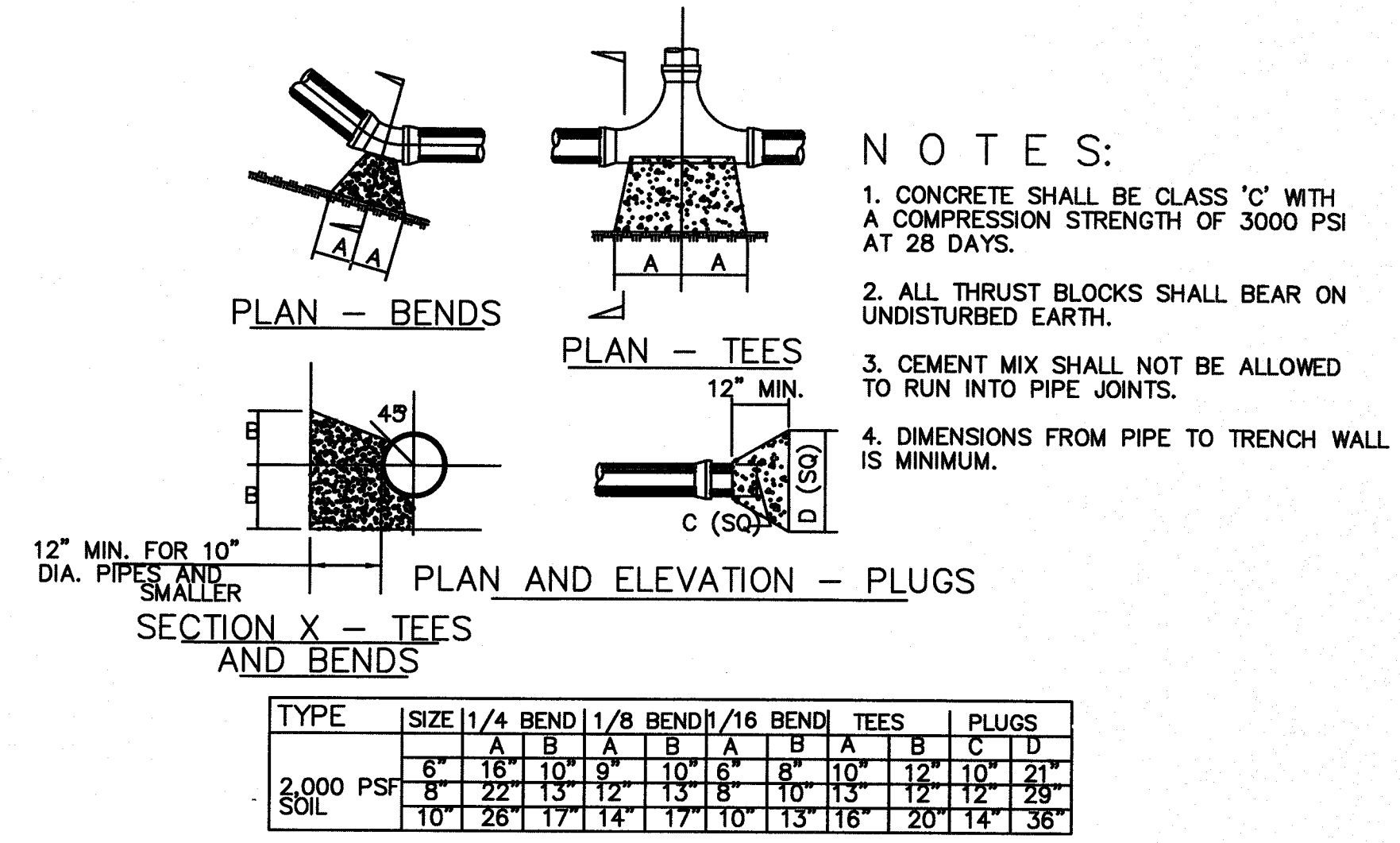
C-3



PIPE TRENCH DETAIL
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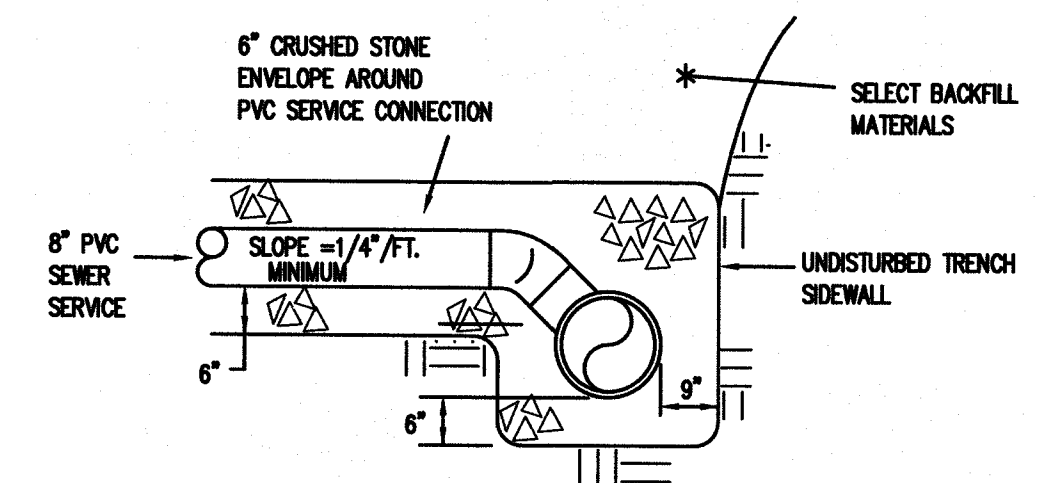


STANDARD SEWER SERVICE CLEANOUT DETAIL
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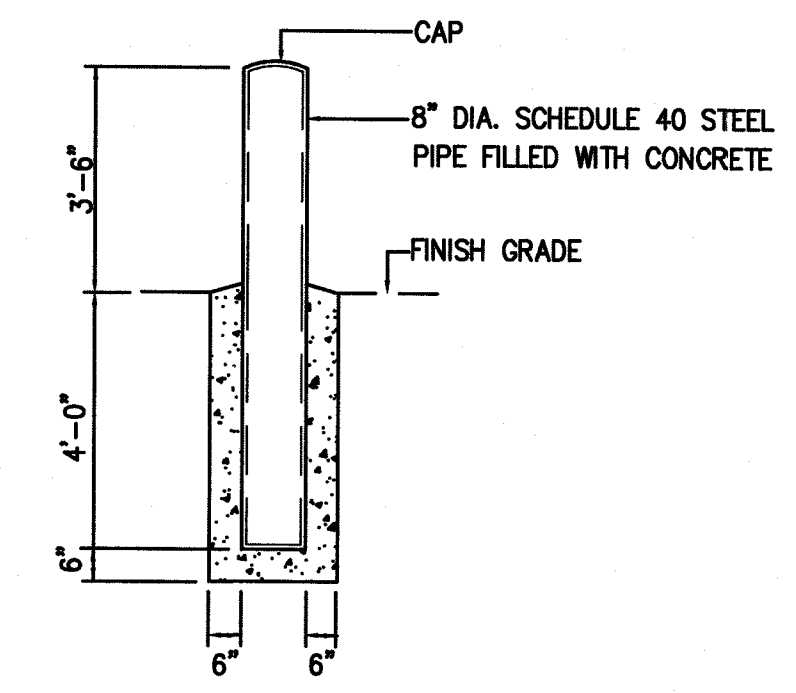


TYPE	SIZE 1/4 BEND		1/8 BEND		1/16 BEND		TEES		PLUGS		
	A	B	A	B	A	B	A	B	C	D	
2,000 PSF SOIL	6"	16"	10"	9"	10"	6"	8"	10"	12"	10"	21"
	8"	22"	13"	12"	13"	8"	10"	13"	12"	12"	29"
	10"	26"	17"	14"	17"	10"	13"	16"	20"	14"	36"

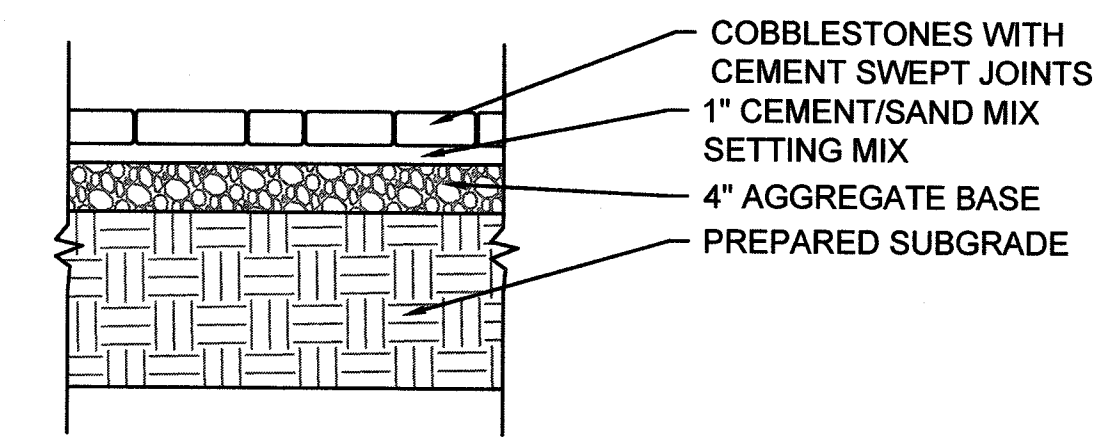
THRUST BLOCK DETAIL
NOT TO SCALE



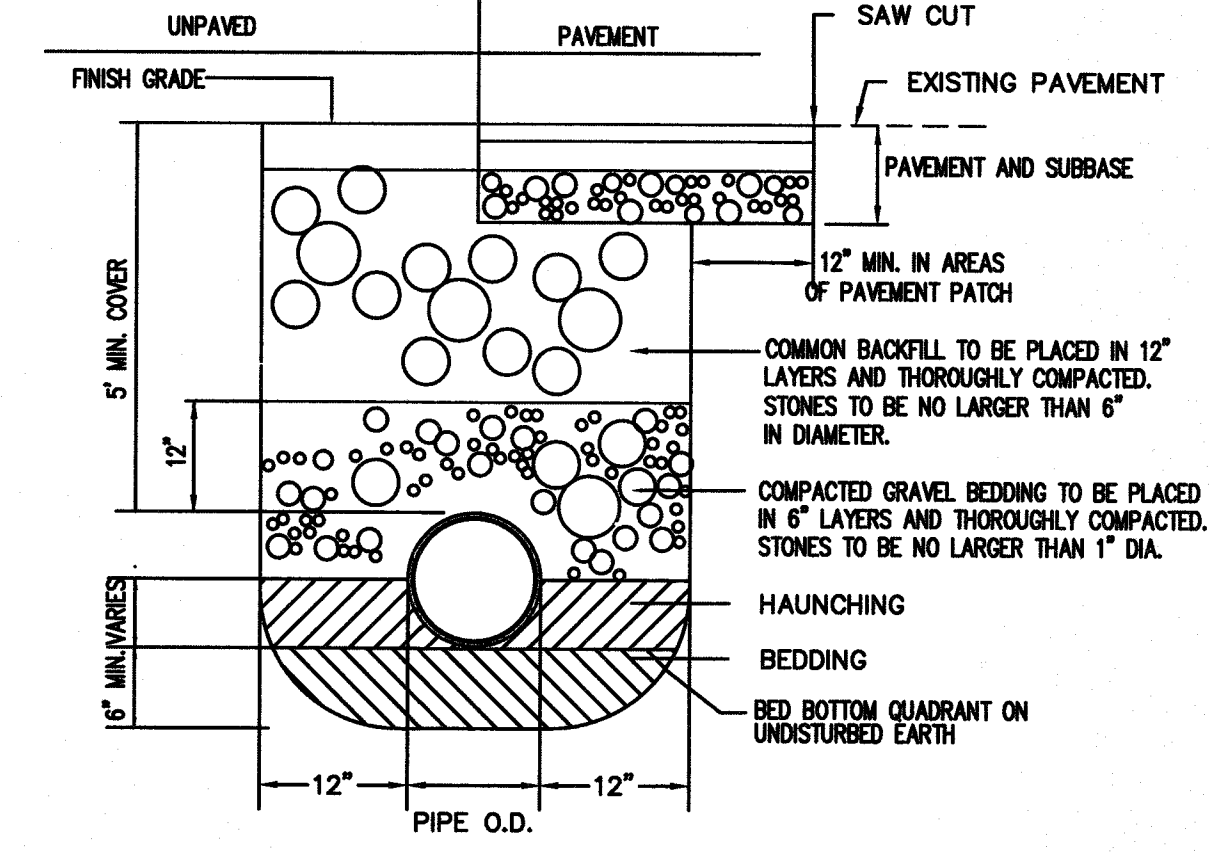
SECTION A - A



BOLLARD DETAIL
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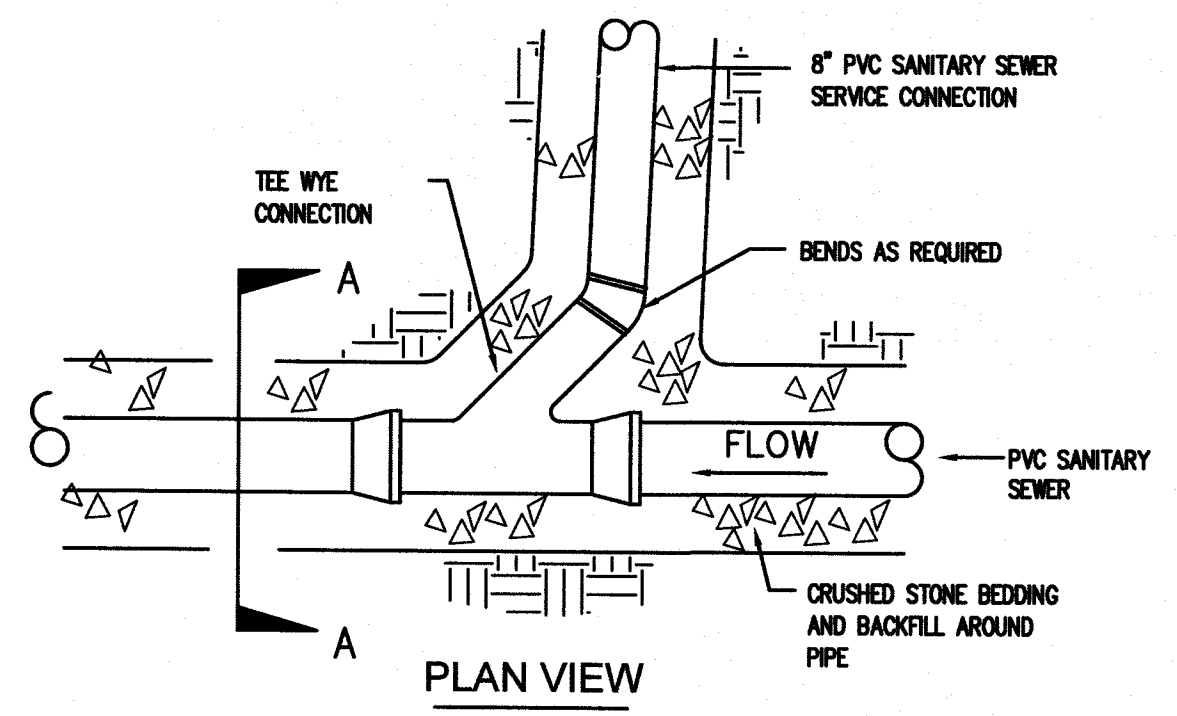


COBBLESTONE PAVEMENT
NOT TO SCALE

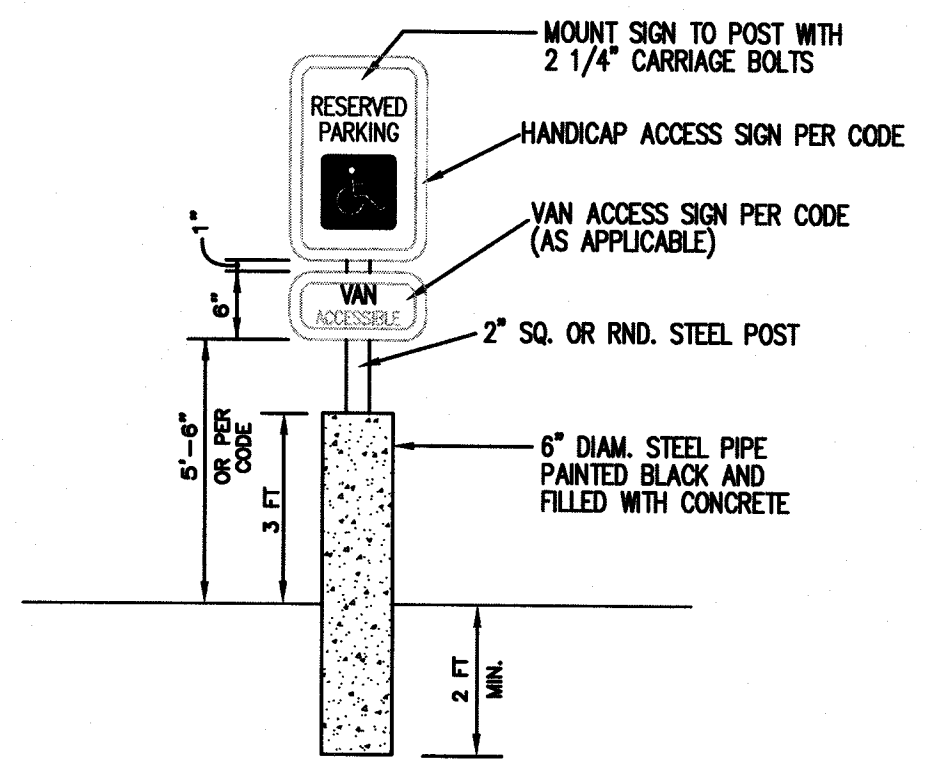


- NOTES:**
- IF LEDGE IS ENCOUNTERED MINIMUM CLEARING BETWEEN PIPE AND LEDGE IS 12".
 - HAUNCHING AND BEDDING TO BE CRUSHED STONE OR GRAVEL BORROW, AS DIRECTED, FOR ALL PIPE EXCEPT DUCTILE IRON. USE COMMON BACKFILL, 5" MAX. STONE SIZE FOR DUCTILE IRON.

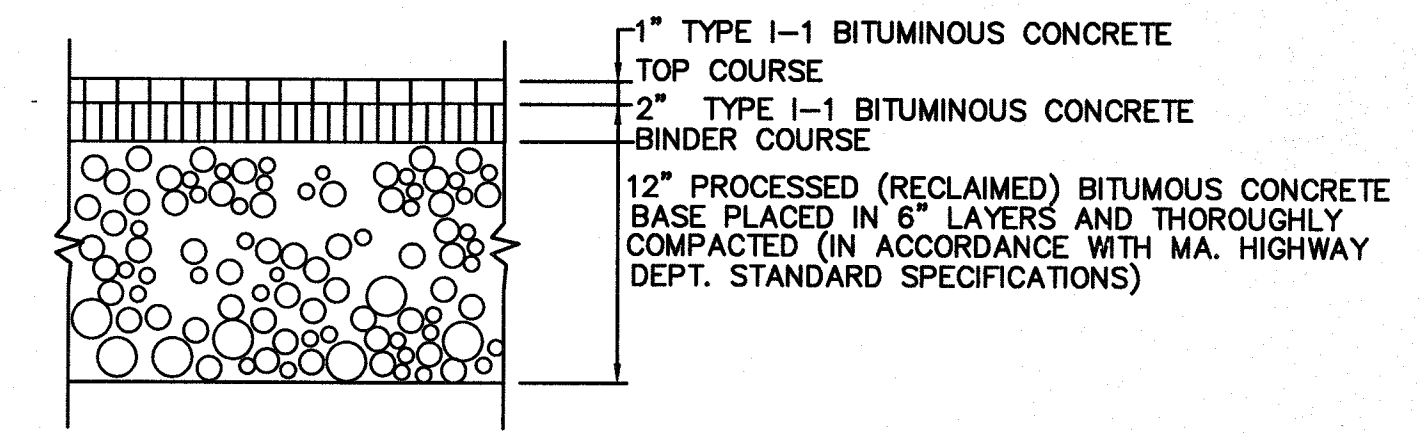
WATER MAIN TRENCH DETAIL
NOT TO SCALE



SANITARY SEWER SERVICE CONNECTION
NOT TO SCALE



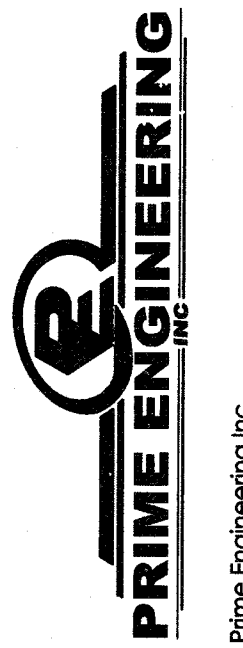
HANDICAP SIGN DETAIL
NOT TO SCALE



BITUMINOUS CONCRETE PAVEMENT
NOT TO SCALE



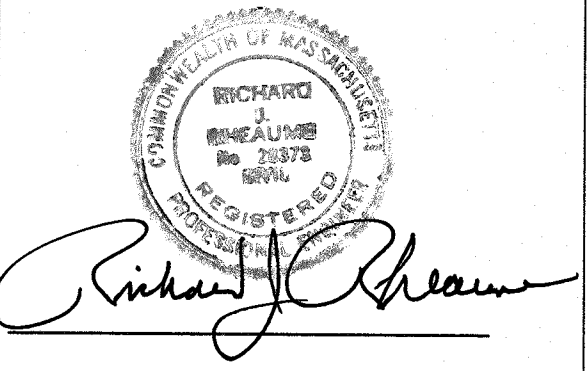
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Lakewood, MA 02347
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The Contractor shall verify the dimensions of all structures. The Contractor shall be responsible for obtaining all necessary permits. The Contractor shall be responsible for obtaining all necessary permits. The Contractor shall be responsible for obtaining all necessary permits.

DATE	BY	REVISION
2015.04.27	JAG	ISSUED FOR PERMIT
2015.04.27	JAG	ISSUED FOR PERMIT
2015.04.27	JAG	ISSUED FOR PERMIT
2015.04.27	JAG	ISSUED FOR PERMIT



Client/Project
117 Union Street, LLC
117 Union Street
128 Union Street
New Bedford, MA 02740

Project No.: 218421128
File Name: N/A
Scale: 1"=10'
Author: Dwn. Designer: Dsgn. Checker: Chtd. 02/05/19

Title
DETAILS

Revision:
Drawing No.

C-4

1

2

3

4

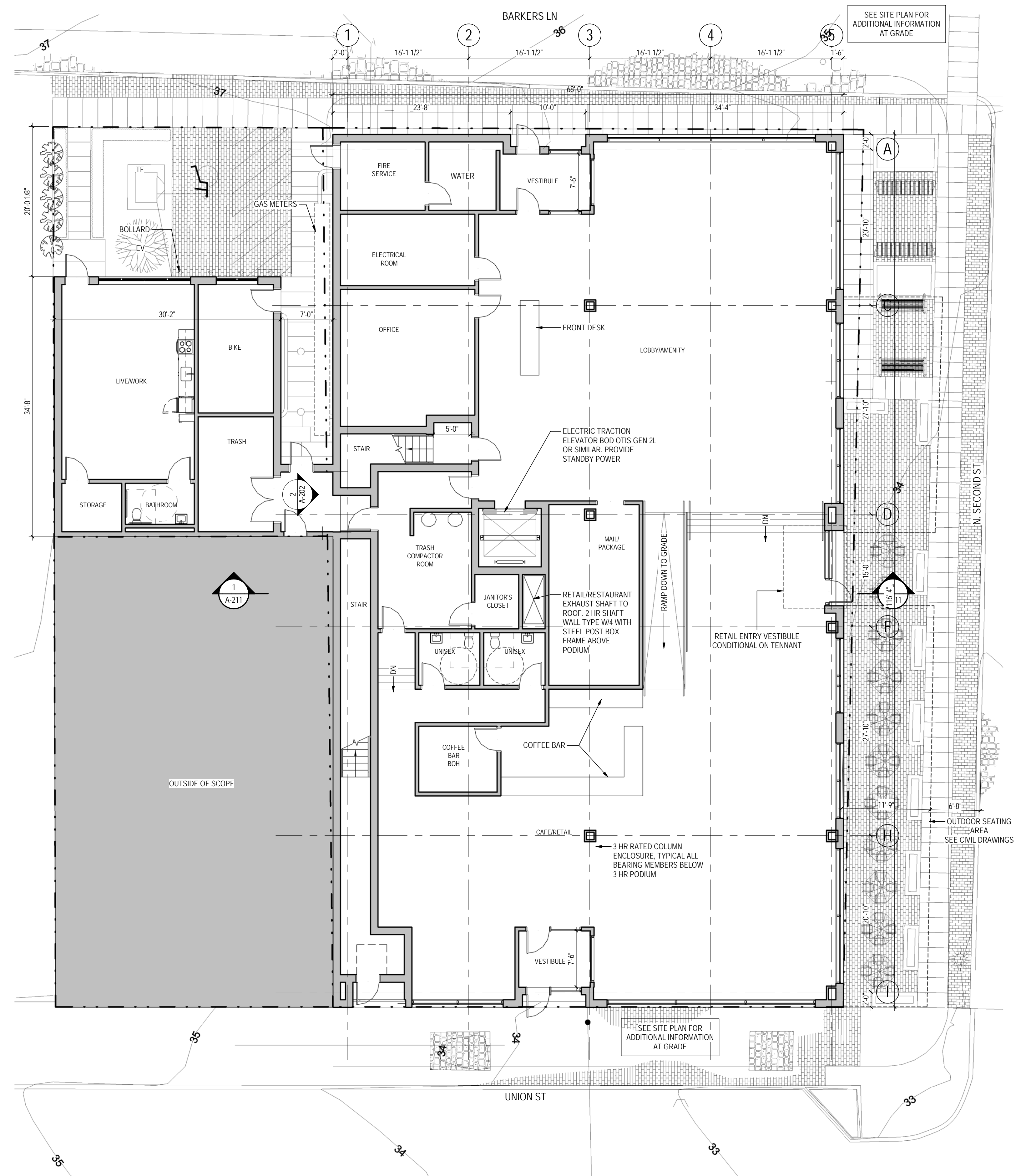
5

D

C

B

A



1
A-101
LEVEL 1
1/8" = 1'-0"

GENERAL NOTE:
UNLESS OTHERWISE NOTED ALL
CONSTRUCTION ABOVE 3 HR HORIZONTAL
PODIUM SHALL BE TYPE 5A COMBUSTIBLE
(WOOD FRAMED) CONSTRUCTION.



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Consultant

NO.	DATE	DESCRIPTION	BY	APP'D
1	06/29/2019	PERMIT APPLICATION		
2	06/29/2019	REVISION		
ISSUED/REVISION				

Permit/Seal

**PRELIMINARY
NOT FOR
CONSTRUCTION**
Not for permits, pricing or other official
purposes. This document has not been
completed or checked and is for general
information or comment only.

Client/Project
117 Union Street, LLC

117 Union Street

117 Union Street
New Bedford, MA 02740

Project No.: 218421128
File Name: N/A

Scale: 1/8" = 1'-0"

Author	Designer	Checker	03/21/19
Dwn.	Dsgn.	Chkd.	YYYY.MM.DD

Title
FLOOR PLAN - LEVEL 1

Revision: 2
Drawing No.

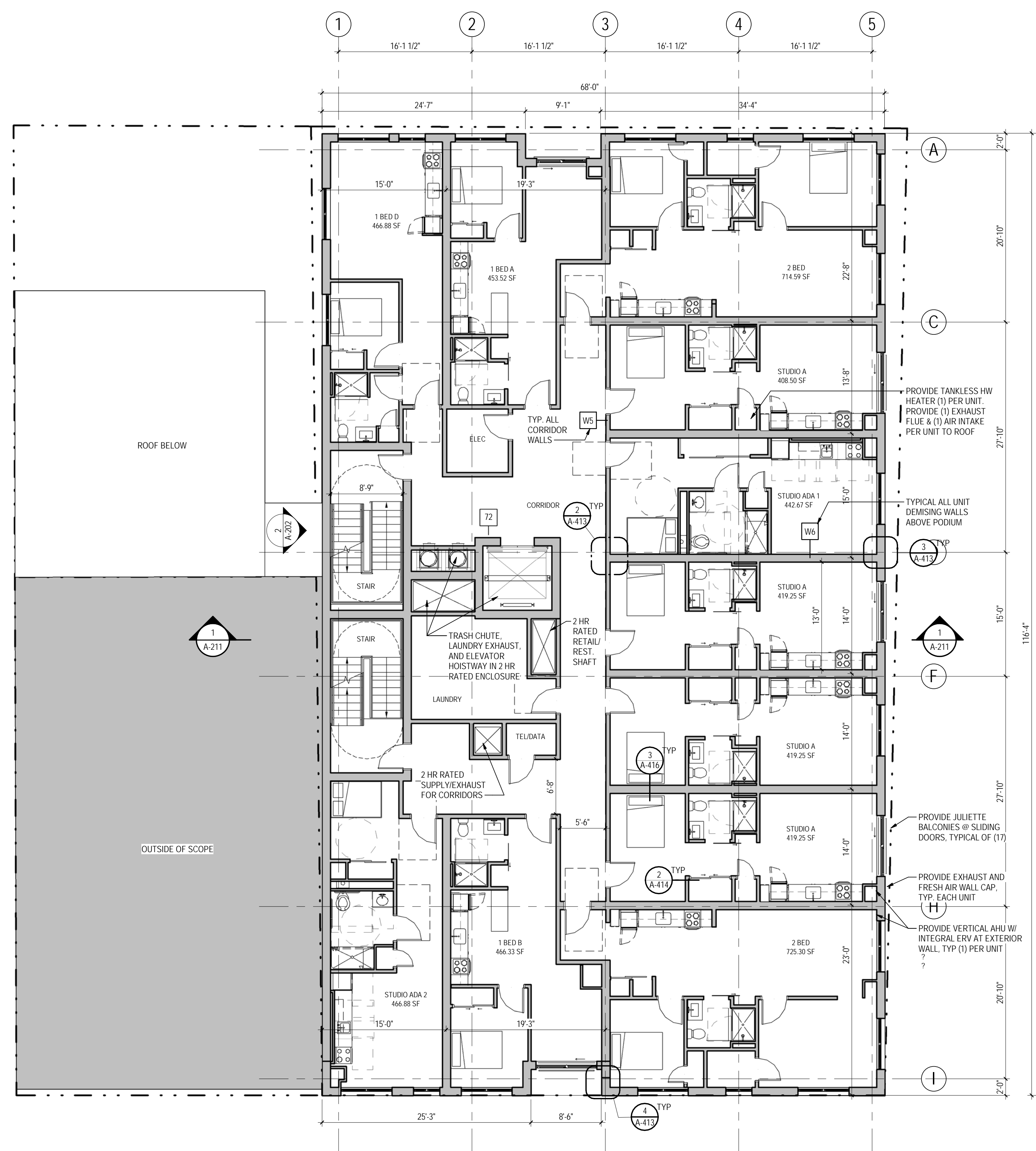
A-101

Revit Architecture Project Information
4/29/2019 11:30:00 AM

ORIGINAL SHEET - ANSI D

1 2 3 4 5

D
C
B
A



1 LEVEL 2
 A-102 1/8" = 1'-0"



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2	06/29/2019	PERMIT APPLICATION		
3	06/29/2019	PERMIT APPLICATION		

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Client/Project
 117 Union Street, LLC
 117 Union Street
 New Bedford, MA 02740

Project No.: 218421128
 File Name: N/A

Scale: 1/8" = 1'-0"

Author	Designer	Checker	03/21/19
Dwn.	Dsgn.	Chkd.	YYYY.MM.DD

Title
 FLOOR PLAN - LEVEL 2

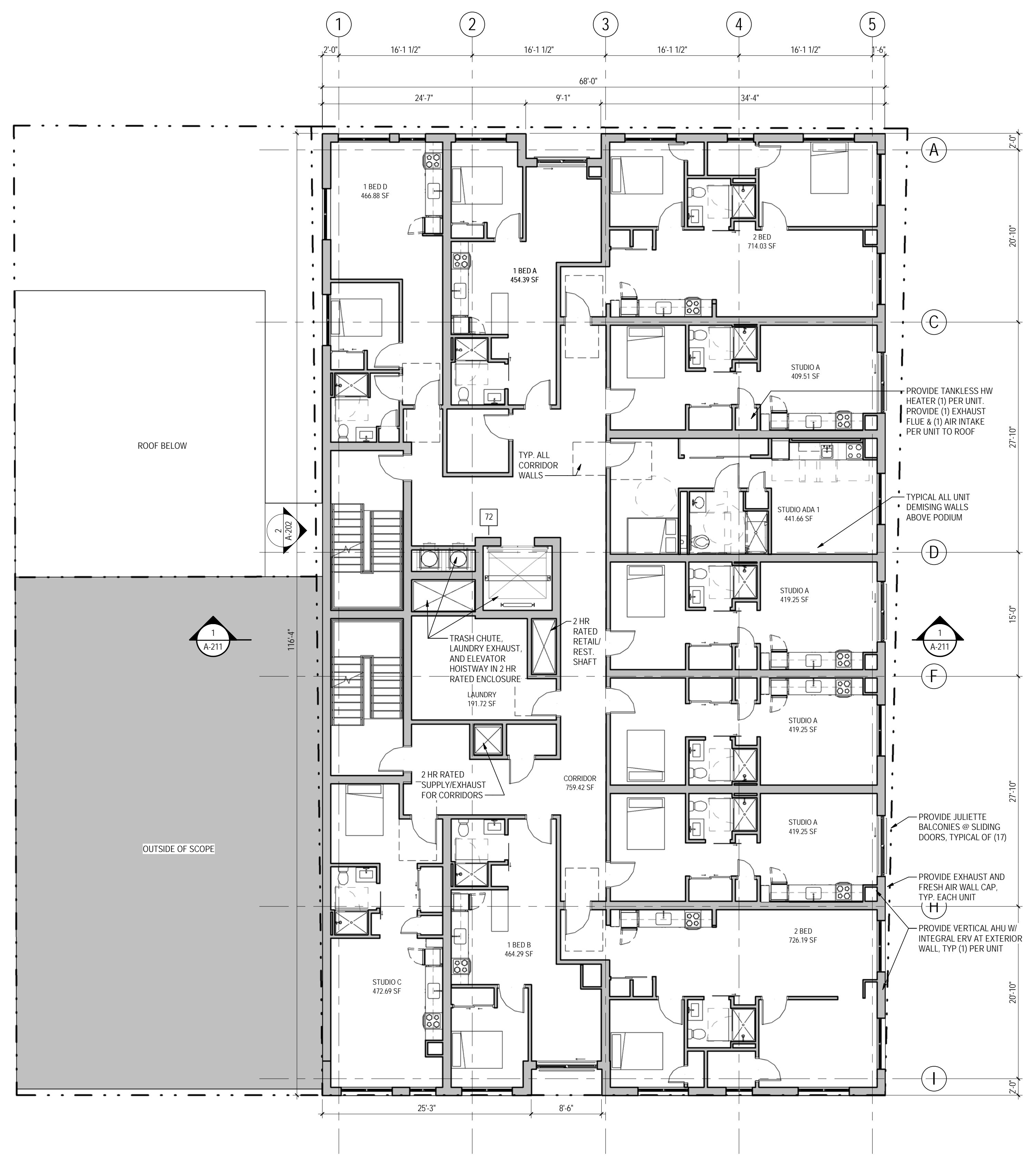
Revision: 2
 Drawing No.

A-102

Revit Architecture Project Information
 4/29/2019 3:13:37 PM

1 2 3 4 5

D
C
B
A



GENERAL NOTE:
UNLESS OTHERWISE NOTED ALL
CONSTRUCTION ABOVE 3 HR HORIZONTAL
PODIUM SHALL BE TYPE 5A COMBUSTIBLE
(WOOD FRAMED) CONSTRUCTION.

1 LEVEL 3
A-103 1/8" = 1'-0"



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Client/Project
117 Union Street, LLC
117 Union Street
117 Union Street
New Bedford, MA 02740

Project No.: 218421128
File Name: N/A

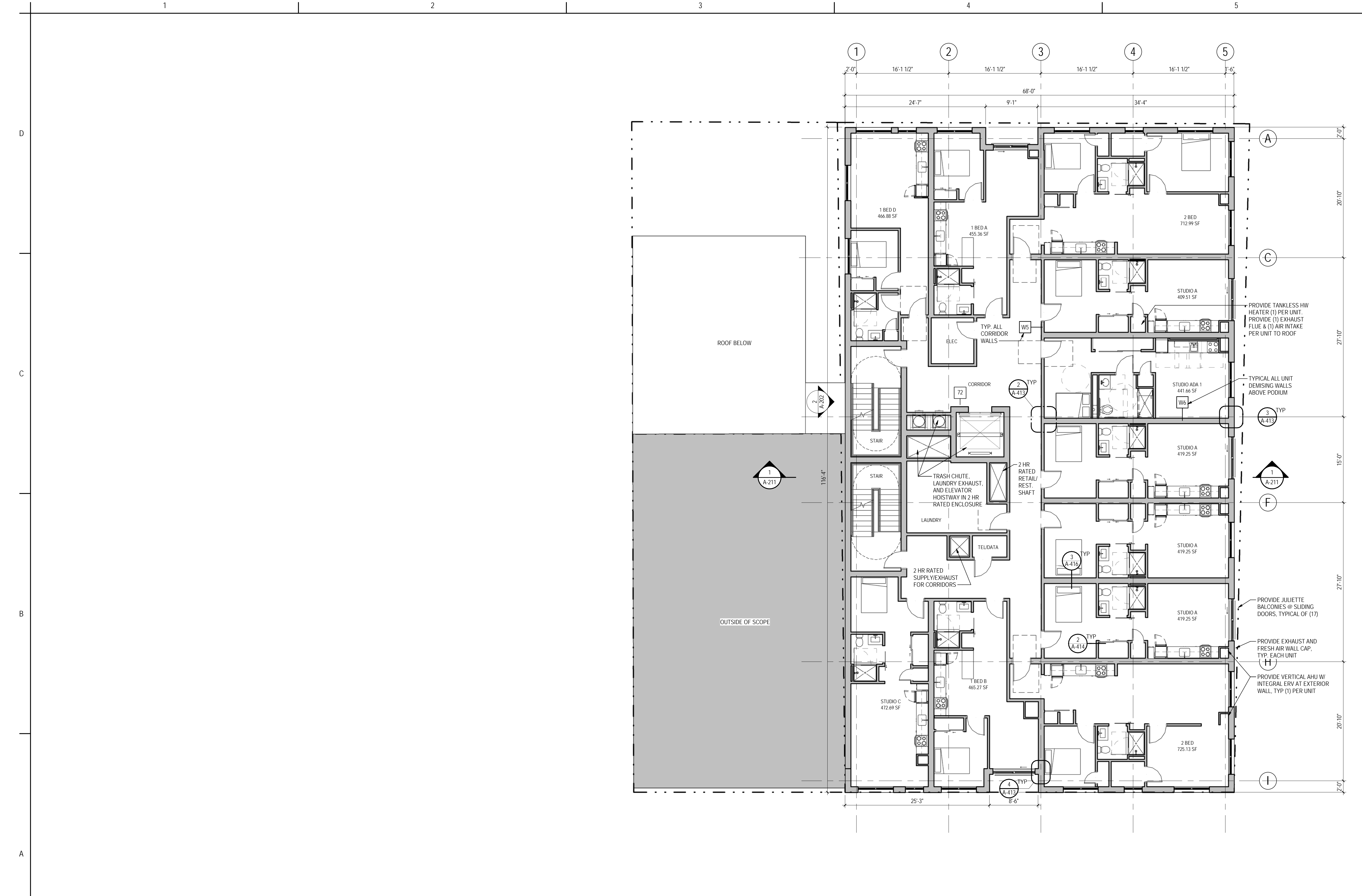
Scale: 1/8" = 1'-0"

Author	Designer	Checker	03/21/19
Dwn.	Dsgn.	Chkd.	YYYYMMDD

Title
FLOOR PLAN - LEVEL 3

Revision: 2
Drawing No.

A-103



1 LEVEL 4
A-104 1/8" = 1'-0"



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2	06/29/2019	PERMIT APPLICATION	YMY/MM/DD	
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New Bedford, MA 02740

Project No.: 218421128
File Name: N/A

Scale: 1/8" = 1'-0"

Author	Designer	Checker	03/21/19
Dwn.	Dsgn.	Chkd.	YYYY.MM.DD

Title
FLOOR PLAN - LEVEL 4

Revision: 2
Drawing No.

A-104

1

2

3

4

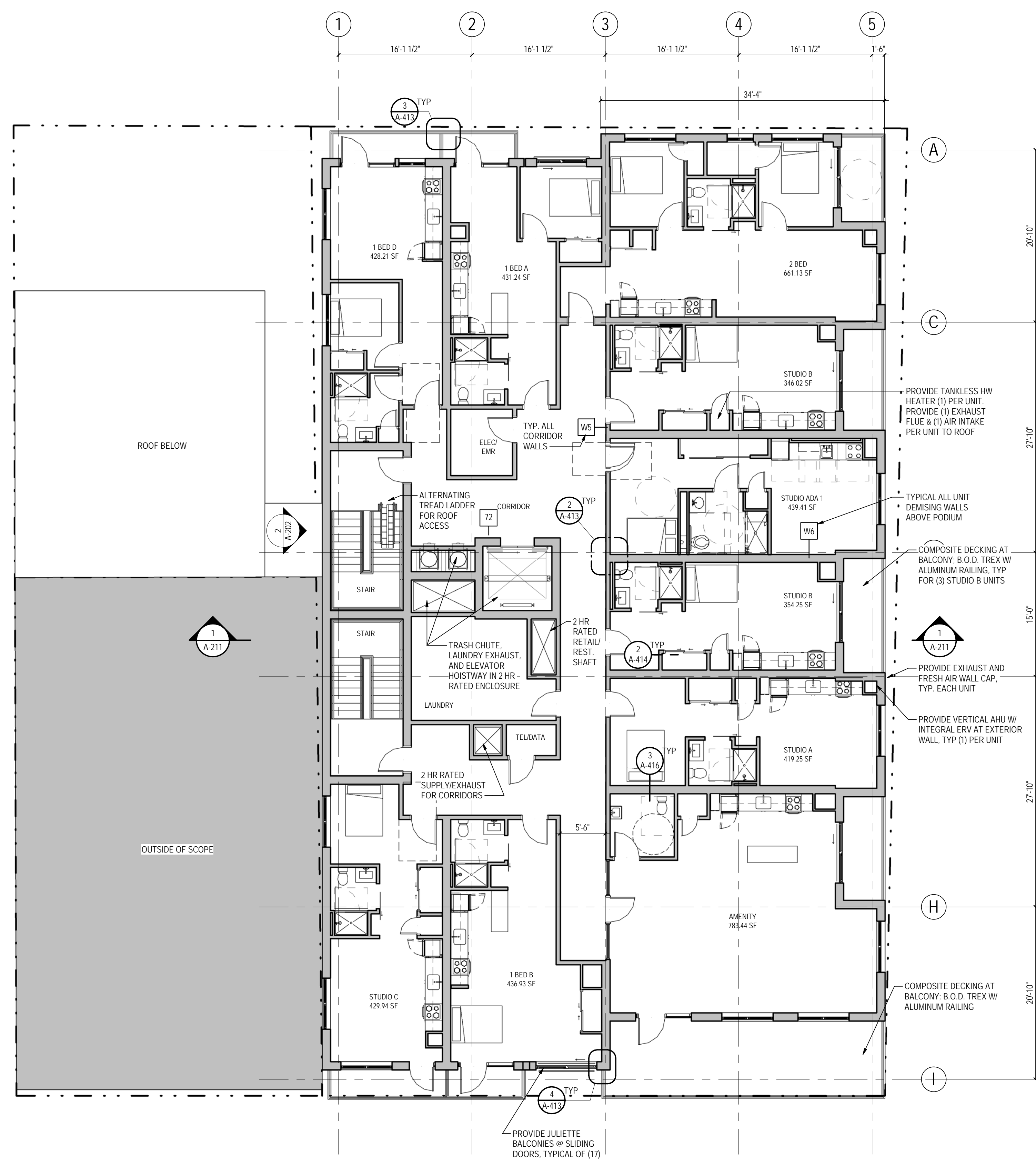
5

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A



PROVIDE TANKLESS HW HEATER (1) PER UNIT. PROVIDE (1) EXHAUST FLUE & (1) AIR INTAKE PER UNIT TO ROOF

TYPICAL ALL UNIT DEMISING WALLS ABOVE PODIUM

COMPOSITE DECKING AT BALCONY: B.O.D. TREX W/ ALUMINUM RAILING, TYP FOR (3) STUDIO B UNITS

PROVIDE EXHAUST AND FRESH AIR WALL CAP, TYP. EACH UNIT

PROVIDE VERTICAL AHU W INTEGRAL ERV AT EXTERIOR WALL, TYP (1) PER UNIT

COMPOSITE DECKING AT BALCONY: B.O.D. TREX W/ ALUMINUM RAILING

GENERAL NOTE:
UNLESS OTHERWISE NOTED ALL CONSTRUCTION ABOVE 3 HR HORIZONTAL PODIUM SHALL BE TYPE SA COMBUSTIBLE (WOOD FRAMED) CONSTRUCTION.

1 LEVEL 5
A-105 1/8" = 1'-0"

Consultant

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3	06/29/2019	PERMIT APPLICATION		
4	06/29/2019	PERMIT APPLICATION		
5	06/29/2019	PERMIT APPLICATION		
6	06/29/2019	PERMIT APPLICATION		
7	06/29/2019	PERMIT APPLICATION		
8	06/29/2019	PERMIT APPLICATION		
9	06/29/2019	PERMIT APPLICATION		
10	06/29/2019	PERMIT APPLICATION		
11	06/29/2019	PERMIT APPLICATION		
12	06/29/2019	PERMIT APPLICATION		
13	06/29/2019	PERMIT APPLICATION		
14	06/29/2019	PERMIT APPLICATION		
15	06/29/2019	PERMIT APPLICATION		
16	06/29/2019	PERMIT APPLICATION		
17	06/29/2019	PERMIT APPLICATION		
18	06/29/2019	PERMIT APPLICATION		
19	06/29/2019	PERMIT APPLICATION		
20	06/29/2019	PERMIT APPLICATION		
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46	06/29/2019	PERMIT APPLICATION		
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49	06/29/2019	PERMIT APPLICATION		
50	06/29/2019	PERMIT APPLICATION		

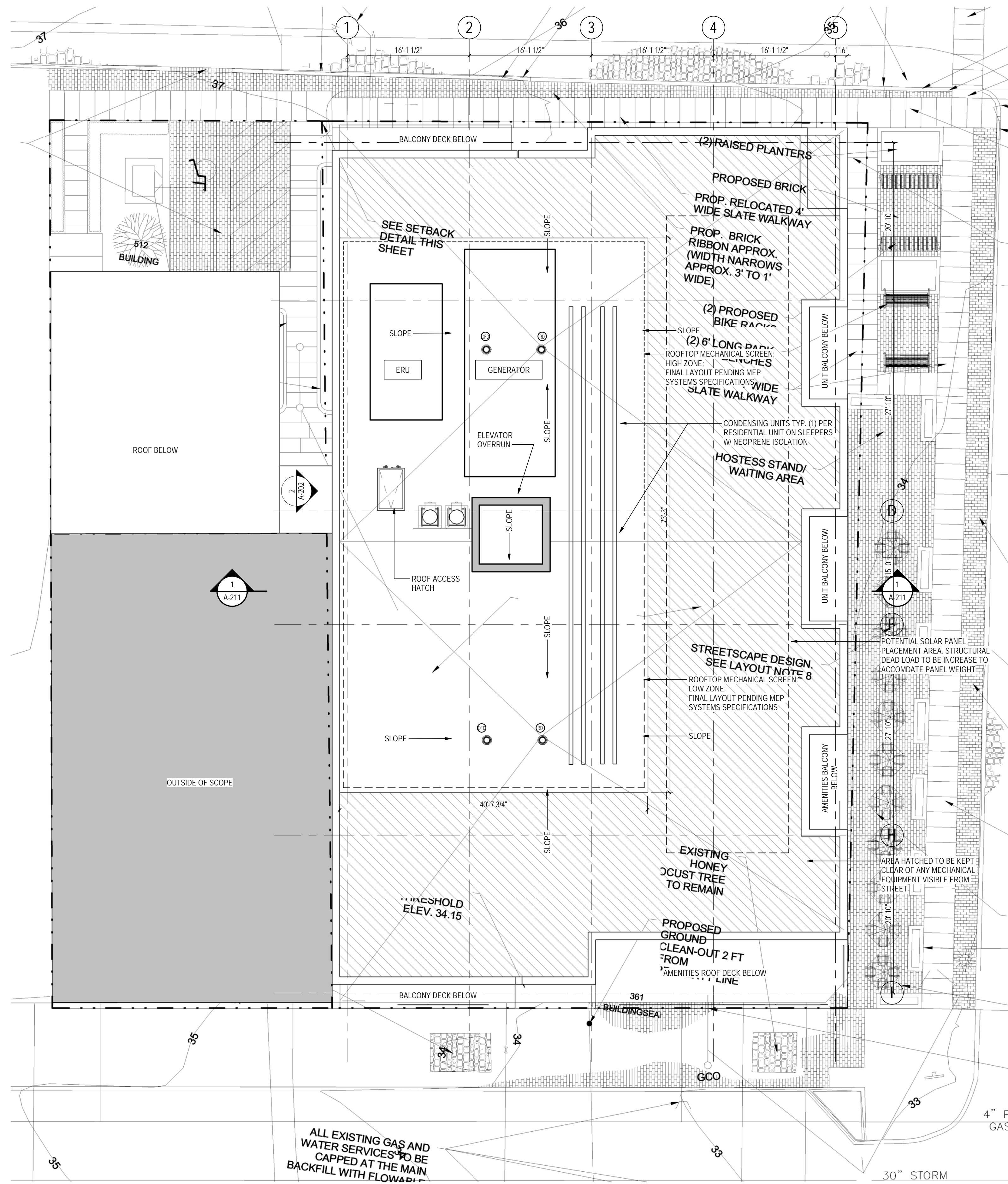
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Client/Project
117 Union Street, LLC
117 Union Street
117 Union Street
New Bedford, MA 02740

Project No.: 218421128
File Name: N/A
Scale: 1/8" = 1'-0"
Author: Dwn. Designer: Dsgn. Checker: Chkd. 03/21/19
Title
FLOOR PLAN - LEVEL 5

Revision: 2
Drawing No.
A-105



1 ROOF
A-106 1/8" = 1'-0"



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Client/Project
117 Union Street, LLC

117 Union Street

117 Union Street
New Bedford, MA 02740

Project No.: 218421128

File Name: N/A

Scale: 1/8" = 1'-0"

Author	Designer	Checker	03/21/19
Dwn.	Dsgn.	Chkd.	YYYY.MM.DD

Title
ROOF PLAN

Revision: 2
Drawing No.

A-106

Consultant

06/29/2019	1	ISSUED FOR PERMIT	BY	APPROVED
06/29/2019	2	PERMIT APPLICATION	BY	APPROVED
06/29/2019	3	REVISION	BY	APPROVED
06/29/2019	4	ISSUED FOR REVISION	BY	APPROVED

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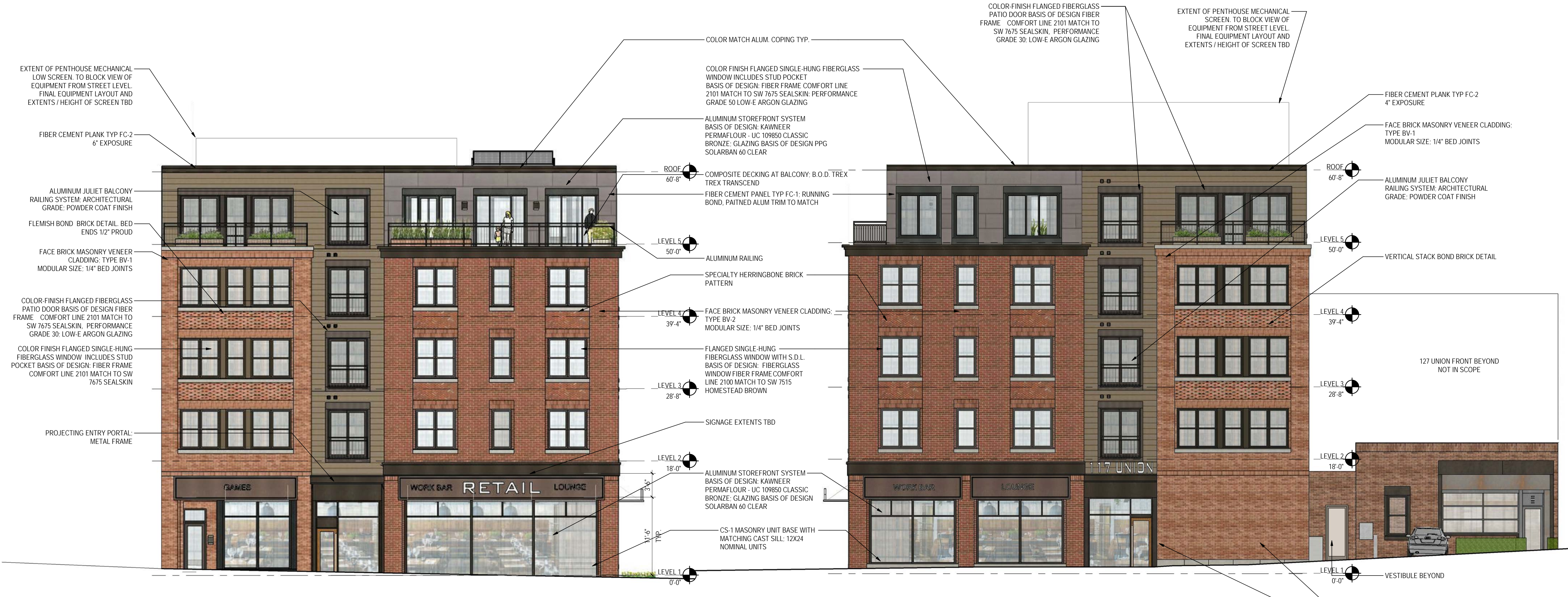
Project No.: 218421128
File Name: N/A

Scale: 1/8" = 1'-0"
Author: Dwn. Dsgn. Chkd. 03/21/19
YYYY.MM.DD

Title
ELEVATIONS - NORTH & SOUTH

Revision: 2
Drawing No.

A-201



3 ELEVATION - SOUTH
A-201 1/8" = 1'-0"

1 ELEVATION - NORTH
A-201 1/8" = 1'-0"

EXTENT OF PENTHOUSE MECHANICAL HIGH-LOW SCREEN. TO BLOCK VIEW OF EQUIPMENT FROM STREET LEVEL. FINAL EQUIPMENT LAYOUT AND EXTENTS / HEIGHT OF SCREEN TBD

COLOR MATCH ALUM. COPING TYP.

FIBER CEMENT PLANK TYP FC-2
6" EXPOSURE

FACE BRICK MASONRY VENEER
CLADDING, TYPE BV-1
MODULAR SIZE: 1/4" BED JOINTS

SIGNAGE EXTENTS TBD

ESTIMATED EXTENTS OF
ADJACENT MOBY DICK
BUILDING

ROOF
60'-8"

LEVEL 5
50'-0"

LEVEL 4
39'-4"

LEVEL 3
28'-8"

LEVEL 2
18'-0"

LEVEL 1
0'-0"

RETAIL ENTRY PORTAL BEYOND
(UNION ST)

INTERIOR VESTIBULE: FINISH TBD

2 ELEVATION - WEST
A-202 1/8" = 1'-0"

EXTENT OF PENTHOUSE MECHANICAL HIGH-LOW SCREEN. TO BLOCK VIEW OF EQUIPMENT FROM STREET LEVEL. FINAL EQUIPMENT LAYOUT AND EXTENTS / HEIGHT OF SCREEN TBD

SEE PLANS FOR EXTERIOR WALL RECESS
AT UPPER LEVEL

COLOR-FINISH FLANGED FIBERGLASS PATIO
DOOR BASIS OF DESIGN: FIBER FRAME
COMFORT LINE 2101 MATCH TO SW
76/5V SEALS/IN:
PERFORMANCE GRADE 30
LOW-E ARGON GLAZING

ALUMINUM JULIET BALCONY
RAILING SYSTEM: ARCHITECTURAL
GRADE: POWDER COAT FINISH

SIGNAGE EXTENTS TBD

RETAIL ENTRY PORTAL BEYOND
(UNION ST)

FIBER CEMENT PANEL TYPE FC-1

ROOF
60'-8"

LEVEL 5
50'-0"

LEVEL 4
39'-4"

LEVEL 3
28'-8"

LEVEL 2
18'-0"

LEVEL 1
0'-0"

ALUMINUM STOREFRONT SYSTEM
BASIS OF DESIGN: KAWNEER 451T
GLAZING BASIS OF DESIGN SOLARBAN 60
CLEAR

ALUMINUM JULIET BALCONY
RAILING SYSTEM: ARCHITECTURAL
GRADE: POWDER COAT FINISH

FACE BRICK MASONRY VENEER CLADDING:
TYPE BV-2
MODULAR SIZE: 1/4" BED JOINTS

COLOR-FINISH FLANGED FIBERGLASS PATIO
DOOR BASIS OF DESIGN: FIBER FRAME
COMFORT LINE 2100 MATCH TO SW 7515
HOMESTEAD BROWN, PERFORMANCE GRADE
30, LOW-E ARGON GLAZING

COLOR FINISH FLANGED SINGLE-
HUNG FIBERGLASS WINDOW
INCLUDES STUD POCKET
BASIS OF DESIGN: FIBER FRAME
COMFORT LINE 2101 MATCH TO SW
7515 HOMESTEAD BROWN
PERFORMANCE GRADE 50
LOW-E ARGON GLAZING

1 ELEVATION - EAST
A-202 1/8" = 1'-0"

Revit Architecture Project Information
4/29/2019 10:24 AM

ORIGINAL SHEET - ANSI D



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Client/Project
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117 Union Street

117 Union Street
New Bedford, MA 02740

Project No.: 218421128

File Name: N/A

Scale: 1/8" = 1'-0"

Author	Designer	Checker	03/21/19
Dwn.	Dsgn.	Chkd.	YYYY.MM.DD

Title
ELEVATIONS - EAST &
WEST

Revision: 2

Drawing No.

A-202

1 2 3 4 5

D
C
B
A

UNIT COUNT BY TYPE	
Name	Count
1 BED A	4
1 BED B	4
1 BED D	4
2 BED	7
STUDIO A	13
STUDIO ADA 1	4
STUDIO ADA 2	1
STUDIO B	2
STUDIO C	3
TOTAL COUNT:	42

UNIT COUNT BY LEVEL		
Name	Level	Count
Level 2		
1 BED A	Level 2	1
1 BED B	Level 2	1
1 BED D	Level 2	1
2 BED	Level 2	2
STUDIO A	Level 2	4
STUDIO ADA 1	Level 2	1
STUDIO ADA 2	Level 2	1
STUDIO C	Level 2	1
11		

UNIT COUNT		
STUDIO	23	55%
1 BED	12	28%
2 BED	7	17%
TOTAL COUNT	42	
GSP	40,430	
FAR	4.94	

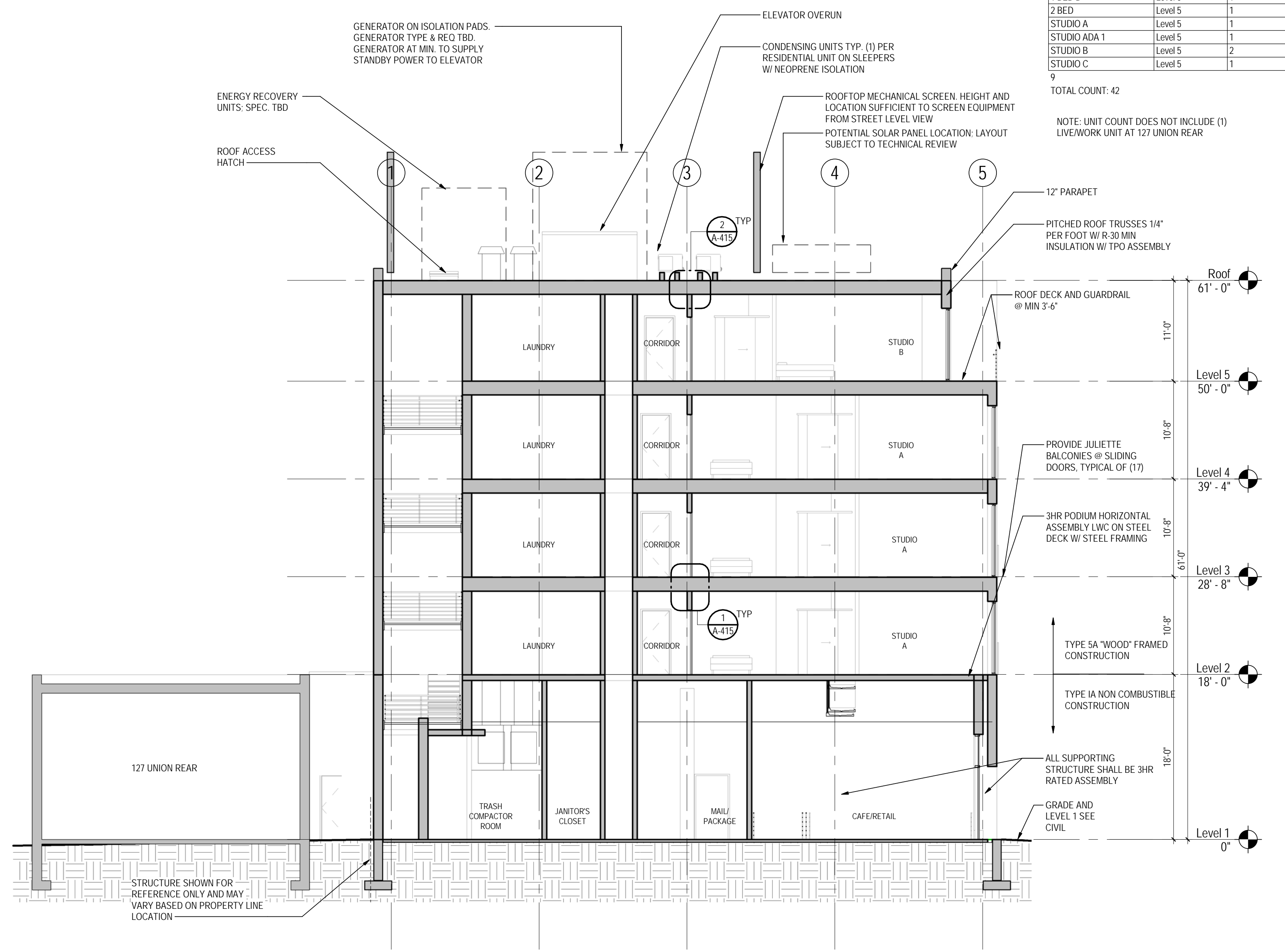
NOTE: UNIT COUNT DOES NOT INCLUDE (1) LIVE/WORK UNIT AT 127 UNION REAR

Level 3		
1 BED A	Level 3	1
1 BED B	Level 3	1
1 BED D	Level 3	1
2 BED	Level 3	2
STUDIO A	Level 3	4
STUDIO ADA 1	Level 3	1
STUDIO C	Level 3	1
11		

Level 4		
1 BED A	Level 4	1
1 BED B	Level 4	1
1 BED D	Level 4	1
2 BED	Level 4	2
STUDIO A	Level 4	4
STUDIO ADA 1	Level 4	1
STUDIO C	Level 4	1
11		

Level 5		
1 BED A	Level 5	1
1 BED B	Level 5	1
1 BED D	Level 5	1
2 BED	Level 5	1
STUDIO A	Level 5	1
STUDIO ADA 1	Level 5	1
STUDIO B	Level 5	2
STUDIO C	Level 5	1
9		

NOTE: UNIT COUNT DOES NOT INCLUDE (1) LIVE/WORK UNIT AT 127 UNION REAR



1 SECTION 1
A-211 1/8" = 1'-0"



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ISSUED/REVISION		

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117 Union Street
New Bedford, MA 02740

Project No.: 218421128
File Name: N/A
Scale: As indicated

Author	Designer	Checker	03/21/19
Dwn.	Dsgn.	Chkd.	YYYY.MM.DD

Title
BUILDING SECTIONS

Revision: 2
Drawing No.

A-211