

# Bank of America



CBRE Project Name: ATM Install  
145 Cove Street New Bedford MA

Manhattan ID: MA6-185  
Project No.: 02819P181905

02/13/2019 CONSTRUCTION DOCUMENTS

BISBANO Project No.: 2018.107

## ZONING REQUIREMENTS

MIXED USE BUSINESS "MUB"

LOT AREA	8,000 SF (FOR USES ALLOWED IN RA) 10,000 SF (FOR 3-FAMILY UNITS) 15,000 SF (FOR 3-FAMILY UNITS)
LOT FRONTAGE	75 FEET (FOR USES ALLOWED IN RA) 100 FEET (FOR 2-FAMILY UNITS) 150 FEET (FOR 3-FAMILY UNITS) 0 FEET (FOR OTHER ALLOWED USES)
BUILDING HEIGHT (FEET)	45 FEET (FOR SINGLE OR 2-FAMILY) 60 FEET (FOR 3-FAMILY) 100 FEET (FOR OTHER ALLOWED USES)
BUILDING HEIGHT (STORIES)	2.5 (FOR USES ALLOWED IN RESIDENCE A OR B) 4 (FOR 3-FAMILY OR MORE) 7 (FOR OTHER ALLOWED USES)
BUILDING COVERAGE	30% 40% ON CORNER LOTS FOR USES ALLOWED IN RESIDENTIAL DISTRICTS 0% FOR OTHER USES
GREEN SPACE	35% FOR USES ALLOWED IN RESIDENTIAL DISTRICTS 0% FOR OTHER USES
FRONT YARD	20 FEET (FOR USES ALLOWED IN RESIDENTIAL DISTRICT) 0 FEET (FOR OTHER ALLOWED USES)
SIDE YARD	10 FEET ON ONE SIDE, 12 FEET ON THE OTHER (FOR USES ALLOWED IN RESIDENTIAL DISTRICT) FOR ALL OTHER USES, 10 FEET ON ANY SIDE WHERE ADJACENT LOT IS IN A RESIDENTIAL DISTRICT OR USED FOR RESIDENTIAL PURPOSES
REAR YARD	30 FEET (FOR USES ALLOWED IN RESIDENTIAL DISTRICT) FOR ALL OTHER USES 10 FEET FOR 1-2 STORY BUILDINGS, 20 FEET FOR 3 OR MORE STORIES

## DRAWING INDEX

### SITE

CERTIFIED PLOT PLAN

C01.01 SITE PLAN

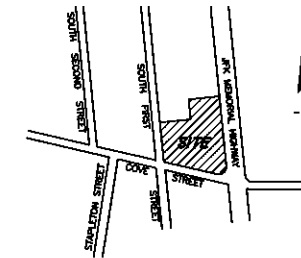
### ARCHITECTURAL

A00.30 LOCUS MAP, PROJECT INFORMATION, NOTES

A00.31 SCHEDULES, NOTES & LEGENDS

A01.01 DEMOLITION PLAN, FLOOR PLAN, POWER & COMMUNICATION PLAN & EQUIPMENT PLANS

A08.01 ENLARGED PLAN, ELEVATIONS & DETAILS



LOCUS MAP - NTS

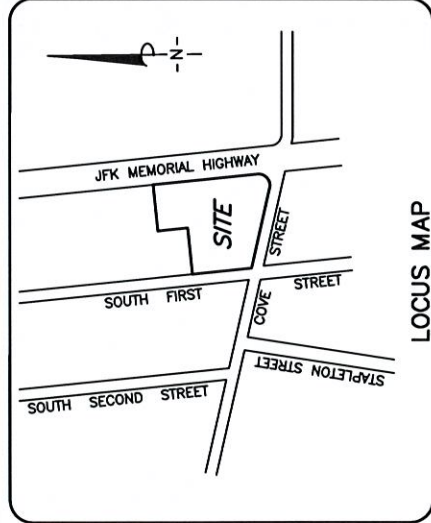


BISBANO + ASSOCIATES, INC.  
RISING SUN MILLS, 188 VALLEY STREET PROVIDENCE, RI 02909-2402  
VOICE 401.404.8310 FAX 401.404.8511 WWW.BISBANO.COM

ARCHITECTURE  
INTERIOR ARCHITECTURE  
SPACE PLANNING  
FACILITIES MANAGEMENT  
PROJECT MANAGEMENT

ARCHITECT  
BISBANO + ASSOCIATES, INC.  
RISING SUN MILLS, 188 VALLEY STREET  
PROVIDENCE, RI 02909-2464  
OFFICE: 401.404.8310  
CONTACT: BRUCE BISBANO

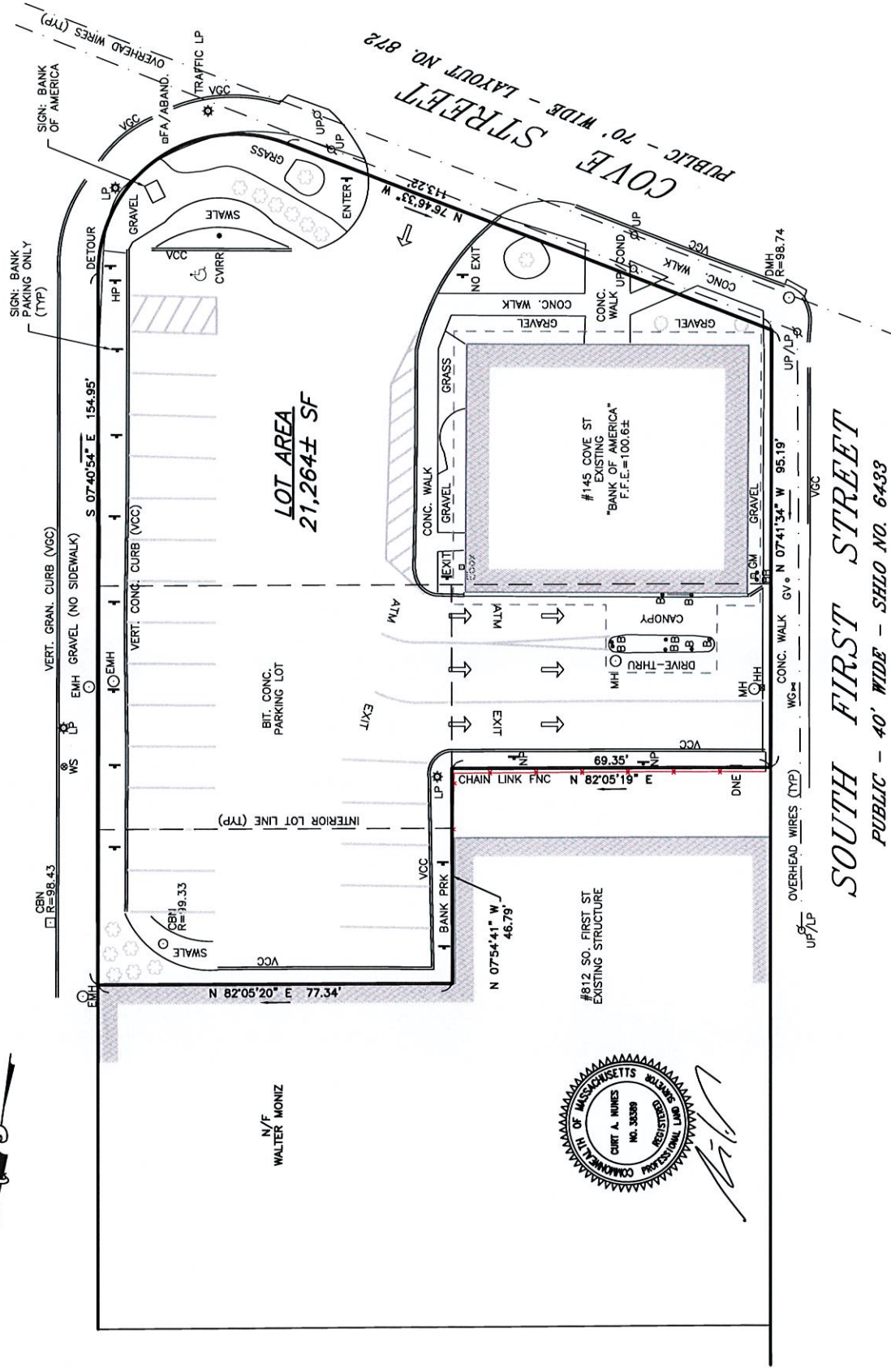
FACILITY PARTNER  
CBRE | GLOBAL CORPORATE SERVICES  
FRANK CEFALI, PROJECT MANAGER  
1025 MAIN STREET, MA6-536-02-01  
WALTHAM, MA 02451



**SURVEY NOTES**

1. LOCUS LIES IN F.I.R.M. ZONE X AND X (AREA WITH REDUCED FLOOD RISK DUE TO LEVEE) AS SHOWN ON COMMUNITY PANEL NO. 25005C0481G DATED JULY 16, 2014.
2. THIS SURVEY IS BASED ON A FIELD SURVEY CONDUCTED BY ROMANELLI ASSOCIATES, INC. ON JANUARY 26, 2019.
3. OWNER OF RECORD:  
 NEW BEDFORD INSTITUTION OF SAVINGS  
 174 UNION STREET  
 NEW BEDFORD, MA 02740  
 ASSESSOR'S PARCEL #20-104-158  
 DEED BOOK: 1814, PAGE: 305  
 PLAN BOOK: 4, PAGE: 62  
 ASSESSOR'S PARCEL #20-102  
 DEED BOOK: 1968, PAGE: 73  
 ASSESSOR'S PARCEL #20-103  
 DEED BOOK: 1884, PAGE: 422

**JFK HIGHWAY (RTE. 18)**  
**MARCH 18, 1981 CITY LAYOUT**  
**(LAYOUT NO. 6433)**



**ZONING REQUIREMENTS**  
 MIXED USE BUSINESS "MUB"

LOT AREA	8,000 SF (FOR USES ALLOWED IN RA) 10,000 SF (FOR 2-FAMILY UNITS) 15,000 SF (FOR 3-FAMILY UNITS)
LOT FRONTAGE	75 FEET (FOR USES ALLOWED IN RA) 100 FEET (FOR 2-FAMILY UNITS) 150 FEET (FOR 3-FAMILY OR MORE) 0 FEET (FOR OTHER ALLOWED USES)
BUILDING HEIGHT (FEET)	45 FEET (FOR SINGLE OR 2-FAMILY) 60 FEET (FOR 3-FAMILY) 100 FEET (FOR OTHER ALLOWED USES)
BUILDING HEIGHT (STORIES)	2.5 (FOR USES ALLOWED IN RESIDENCE A OR B) 4 (FOR 3-FAMILY OR MORE) 7 (FOR OTHER ALLOWED USES)
BUILDING COVERAGE	30% 40% ON CORNER LOTS FOR USES ALLOWED IN RESIDENTIAL DISTRICTS 0% FOR OTHER USES
GREEN SPACE	35% FOR USES ALLOWED IN RESIDENTIAL DISTRICTS 0% FOR OTHER USES
FRONT YARD	20 FEET (FOR USES ALLOWED IN RESIDENTIAL DISTRICT) 0 FEET (FOR OTHER ALLOWED USES)
SIDE YARD	10 FEET ON ONE SIDE, 12 FEET ON THE OTHER (FOR USES ALLOWED IN RESIDENTIAL DISTRICT) FOR ALL OTHER USES, 10 FEET ON ANY SIDE WHERE ADJACENT LOT IS IN A RESIDENTIAL DISTRICT OR USED FOR RESIDENTIAL PURPOSES
REAR YARD	30 FEET (FOR USES ALLOWED IN RESIDENTIAL DISTRICT) FOR ALL OTHER USES, 10 FEET FOR 1-2 STORY BLDGS; 20 FEET FOR 3 OR MORE STORIES

**CERTIFIED PLOT PLAN**

**BANK OF AMERICA**  
 145 COVE STREET  
 IN  
**NEW BEDFORD, MA**

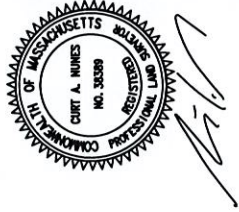
SCALE: AS NOTED DATE: FEBRUARY 12, 2019

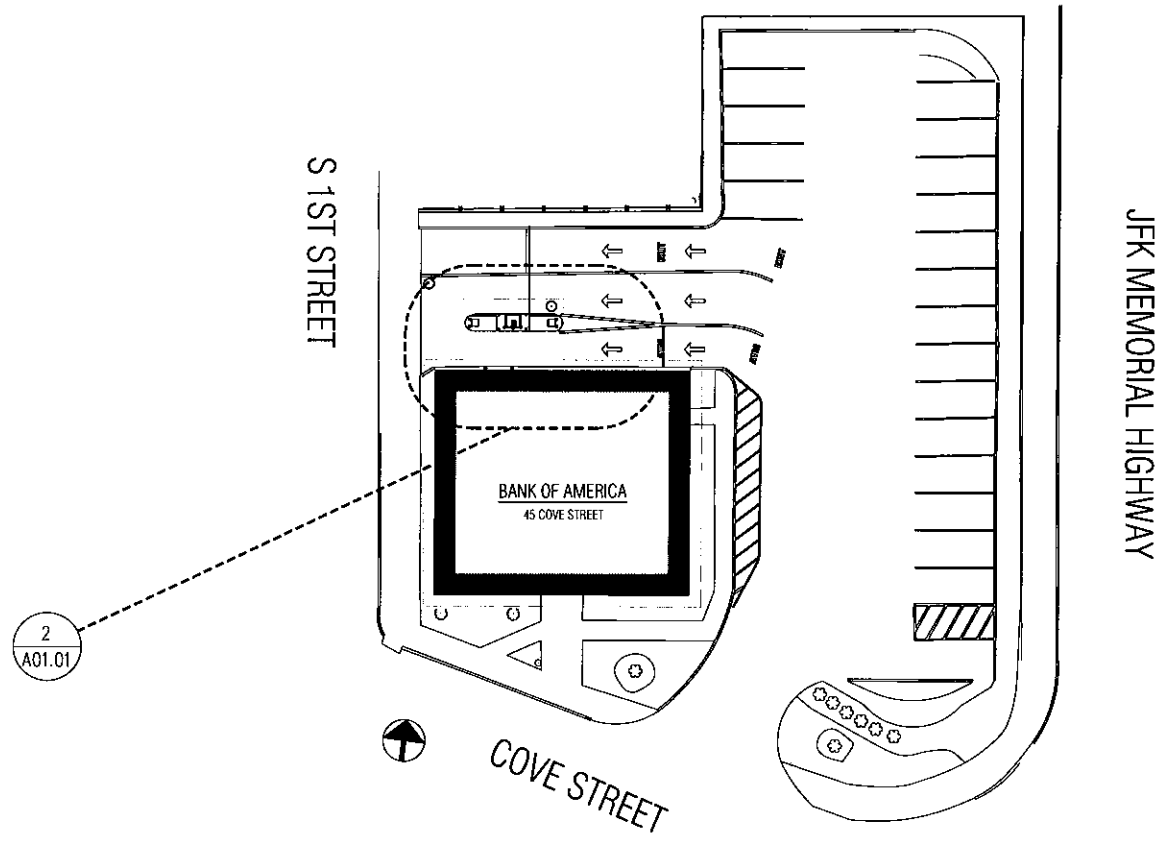


ROMANELLI ASSOCIATES INC.  
 PROFESSIONAL LAND SURVEYORS  
 1162 Rockdale Ave. New Bedford, MA 02740  
 Phone (508) 995-0100 - (508) 995-6678  
 WWW.ROMANELLI-INC.COM

Revisions:

Drawn By:	DB	Checked By:	CAN
File Name	19-019.DWG	Job No.	19-019






SITE PLAN


 ARCHITECTURE  
 INTERIOR ARCHITECTURE  
 SPACE PLANNING  
 FACILITIES MANAGEMENT  
 PROJECT MANAGEMENT  
**BISCHOFF + ASSOCIATES, INC.**  
1000 STATE STREET, NEW BEDFORD, MA 02744  
 PHONE: 401.404.8118 FAX: 401.404.8111 WWW.BISCHOFF.COM

**Bank of America**  
  
 145 COVE STREET  
 NEW BEDFORD, MA 02744

SITE PLAN

ISSUE TYPE: CONSTRUCTION DOCUMENTS	REVISIONS:
ISSUE DATE: 02/13/2013	
DRAWN BY: BS SMC	
	SCALE: 1/16" = 1'-0" BAC PROJECT NO. 02812P181905
<b>C01.01</b>	

**ABBREVIATIONS**

ACCES	ACCESSORY	INSTRUM	INSTRUMENT(A)TION
ACOUS	ACOUSTIC(AL)	INSUL	INSULATION
AFF	ABOVE FINISHED FLOOR	INTLK	INTERLOCK(ING)
AL	ALUMINUM	INT	INTERIOR
ALT	ALTERNATE	INFILTR	INFILTRATION
ANNUNCI	ANNUNCIATOR	JAN	JANITOR
ANDOD	ANDODZED	JAN	JANITOR
APPL	APPLIANCE	KIT	KITCHEN
ARCH	ARCHITECT(URAL)	LAV	LAVATORY
AUTO	AUTOMATIC	LB	LOAD BEARING
AVG	AVERAGE	LT	LIGHT
&		LVC	LEVELING
BLDG	BUILDING	LVR	LOUVER
BOLD	BOLLARD	MAX	MAXIMUM
BO	BOARD	MFD	MANUFACTURED
BLKG	BLOCKING	MFR	MANUFACTURER
BRODM	BROADLOOM	MECH	MECHANICAL
BU	BUILT UP	MET	METAL
CAB	CABINET	MEMB	MEMBRANE
CPT	CARPET	MEZZ	MEZZANINE
CEM	CEMENT(ITIOUS)	MIN	MINIMUM
CER	CERAMIC	MISC	MISCELLANEOUS
CLG	CEILING	MLWK	MILLWORK
COATG	COATING	MOIST	MOISTURE
CONC	CONCRETE	MOT	MOTOR(ZED)
CONSTR	CONSTRUCTION	MTD	MOUNTED
CONT	CONTINUOUS(A)TION	NIC	NOT IN CONTRACT
CONTR	CONTRACT(OR)	NO	NUMBER
COV	COVER	HTS	NOT TO SCALE
CMJ	CONCRETE MASONRY UNIT	OVFL	OVERFLOW
CMF	COLD FORMED METAL FRAMING	OVHD	OVERHEAD
		OPNG	OPENING(S)
		OPR	OPERABLE
		PTN	PARTITION
		PBD	PARTICLE BOARD
		PNL	PANEL
		POLYST	POLYSTYRENE
		PORT	PORTABLE
		PREFIN	PREFINISHED
		PREFAB	PREFABRICATED
		PLAM	PLASTIC LAMINATE
		PLAS	PLASTER
		PLSTC	PLASTIC
		PLYWD	PLYWOOD
		RDR	READER
		RECES	RECESSED
		RECP	RECEPTACLE
		REF	REFERENCE
		REFL	REFLECTED
		REFR	REFRIGERATOR
		REQD	REQUIRED
		RESIS	RESISTANT(IVE)
		REINF	REINFORCE(D)ING(MENT)
		RESIL	RESILIENT
		RFG	ROOFING
		RM	ROOM
		RO	ROUGH OPENING
		SCR	SCRIBE
		SECUR	SECURITY
		SF	SQUARE FEET
		SQL	SINGLE
		SN	SMALL
		SST	STAINLESS STEEL
		STD	STANDARD
		STL	STEEL
		STRFR	STOREFRONT
		STRUCT	STRUCTURAL
		SURF	SURFACE
		SUSP	SUSPENDED
		SYS	SYSTEM(S)
		THK	THICK
		TLT	TOILET
		TRANS	TRANSPARENT
		TRTD	TREATED
		T&G	TONGUE AND GROOVE
		TYP	TYPICAL
		UNDRLAY	UNDERLAYMENT
		UTIL	UTILITY
		UNO	UNLESS NOTED OTHERWISE
		VERT	VERTICAL
		VF	VERIFY IN FIELD
		W/	WITH
		WC	WATER CLOSET
		WD	WOOD
		WOW	WINDOW
		W/O	WITHOUT
		WT	WEIGHT
		WTRPRF	WATERPROOFING
GA	GAUGE		
GFR	GLASS FIBER REINFORCED CONCRETE		
GFRG	GLASS FIBER REINFORCED GYPSUM		
GFRP	GLASS FIBER REINFORCED PLASTER		
GL	GLASS		
GR	GRADE(ING)		
GWB	GYPSUM BOARD		
HD	HEAD		
HDWD	HARDWOOD		
HW	HARDWARE		
HM	HOLLOW METAL		
HORIZ	HORIZONTAL		
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING		
INFO	INFORMATION		

**NOTES**

- THIS PLAN IS COPYRIGHTED, AND ALL RIGHTS ARE RESERVED, INCLUDING THE RIGHT OF REPRODUCTION IN WHOLE OR IN PART, EXCEPT BY THE EXPRESS WRITTEN CONSENT OF BISBANO + ASSOCIATES, INC. THIS PLAN IS NOT TO BE REPRODUCED BY ANYONE BY ANY METHOD. THIS PLAN MAY NOT BE USED FOR REPEAT CONSTRUCTION OR FOR ANY OTHER PURPOSE WITHOUT THE CONSENT OF BISBANO + ASSOCIATES, INC.
- CODES AND STANDARDS**  
 - ALL WORKMANSHIP IS TO BE OF A STANDARD EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICE AND ALL APPLICABLE BUILDING CODES AND STANDARDS.  
 - AT THE TIME OF PREPARATION THIS PLAN WAS DRAWN IN ACCORDANCE WITH THE MASSACHUSETTS STATE BUILDING CODE 780 CMR AND INTERNATIONAL BUILDING CODE 2012 WITH MA STATE AMENDMENTS. IT IS THE RESPONSIBILITY OF THE OWNER/BUILDER TO INSURE THAT CHANGES TO THE CODE ARE COMPLIED WITH AND ALL AMENDMENTS ARE INCORPORATED IN THE CONSTRUCTION OF THIS PLAN. ALL WORK SHALL CONFORM TO LOCAL BUILDING ORDINANCES AND BYLAWS WHICH MAY TAKE PRECEDENCE.  
 - PRIOR TO PROCEEDING WITH CONSTRUCTION, THE BUILDER MUST VERIFY ALL INFORMATION, DIMENSIONS AND SPECIFICATIONS OF THIS PLAN. WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED MEASUREMENTS.  
 - ANY VARIANCES TO THE DRAWINGS, SPECIFICATIONS AND/OR CONSTRUCTION SHALL BE REVIEWED AND APPROVED BY THE OWNER/BUILDER AND ARCHITECT. BISBANO + ASSOCIATES, INC. WILL NOT BE RESPONSIBLE FOR ANY VARIANCES IN THE DRAWINGS, SPECIFICATIONS OR CONSTRUCTION WHICH ARE NOT REVIEWED AND APPROVED BY BISBANO + ASSOCIATES, INC.
- CONTRACTOR SHALL BE RESPONSIBLE TO VISIT THE SITE PRIOR TO BID SUBMITTAL TO FAMILIARIZE WITH CONDITIONS OF THE SITE WHICH MAY AFFECT PERFORMANCE OF THE WORK. CONTRACTOR SHALL CALL ANY DISCREPANCIES TO THE BANK PRIOR TO BIDDING. CONTRACTOR AND SUBCONTRACTORS TO SCHEDULE A WALK-THROUGH WITH PROJECT MANAGER AND ARCHITECT PRIOR TO BIDDING.
  - ALL DIMENSIONS ARE BASED ON EXISTING CONDITIONS, DRAWINGS AND/OR FIELD MEASUREMENTS. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS, DIMENSIONS, ETC. AND SHALL INFORM ARCHITECT OF ANY DISCREPANCIES. ARCHITECT SHALL ASSUME NO RESPONSIBILITY FOR ANY DIFFERENCES BETWEEN ACTUAL FIELD DIMENSIONS AND THOSE INDICATED ON THE DRAWINGS.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT THE WORK AND SHALL INFORM THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING THE WORK. DO NOT SCALE DRAWINGS TO DETERMINE LAYOUT MEASUREMENTS. CONSULT ARCHITECT IF THERE ARE ANY QUESTIONS RELATIVE TO DIMENSIONAL LAYOUT. ARCHITECT TO REVIEW TRACK LAYOUT PRIOR TO PROCEEDING WITH INSTALLATION OF STUDS.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL PERMITS AND FEES AS REQUIRED BY STATE AND LOCAL CODES, RULES AND REGULATIONS.
  - CONTRACTOR SHALL MAINTAIN CLEAN AND ORDERLY WORK AREAS AND SHALL NOT ALLOW TRASH AND DEBRIS TO ACCUMULATE. UPON COMPLETION OF THE WORK, ALL SURFACES IN THE WORK AREAS, INCLUDING SURFACES WITH EXISTING FINISHES THAT REMAIN, SHALL BE DUSTED, WASHED OR OTHERWISE CLEANED. THE CONTRACTOR SHALL KEEP THE OFFICE AREAS, CORRIDORS, PUBLIC AREAS, LOADING AREAS, SIDEWALKS AND STREETS CLEAN AT ALL TIMES.
  - ALL WORK SHALL BE ACCOMPLISHED WITH QUALITY WORKMANSHIP OF THE HIGHEST INDUSTRY STANDARDS. ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS. MATERIALS AND METHODS SHALL CONFORM TO THE APPROPRIATE NATIONAL TRADE HANDBOOK.
  - DO NOT SCALE DRAWINGS TO DETERMINE LAYOUT MEASUREMENTS. CONSULT ARCHITECT IF THERE ARE ANY QUESTIONS RELATIVE TO DIMENSIONAL LAYOUT. ARCHITECT TO REVIEW TRACK LAYOUT PRIOR TO PROCEEDING WITH INSTALLATION OF STUDS.
  - COMPLY WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS FOR OCCUPATIONAL HEALTH AND SAFETY.
  - PROVIDE WOOD BLOCKING FOR ALL DOOR FRAMES AND EQUIPMENT REQUIRING WOOD BLOCKING.
  - COORDINATE LOCATIONS OF ALL VEHICLES, DUMPSTERS AND DELIVERY LOADING ZONES WITH THE PROJECT MANAGER.
  - COORDINATE ALL ELECTRICAL, PLUMBING, FIRE PROTECTION AND FIRE ALARM TIE-INS WITH THE PROJECT MANAGER.
  - ALL FLOORING IS TO BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CLEAN, BROOM SWEEP, FLOOR COVERING READY SUBSTRATES.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR MAJOR FLOORING PREPARATION AND/OR LEVELING AND MINOR FLOOR PREPARATION, DEFINED AS EITHER:  
 A) FILLING OF CRACKS AND VOIDS LESS THAN 1/4" X 1/4"
  - CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR, POST FLOORING INSTALLATION PAINT TOUCH UP AND NORMAL, POST CONSTRUCTION CLEAN UP AND JANITORIAL SERVICES, INCLUDING VACUUMING OF CARPET, AND CLEANWASTE OFF OF RESILIENT FLOORING.

**PROJECT INFORMATION**

PROJECT ADDRESS: 145 COVE ST. NEW BEDFORD, MA 02744

PROJECT NAME: BANK OF AMERICA BRANCH BANK ISLAND ATM ADDITION, NEW BEDFORD, MA

PROJECT TYPE: DRIVE THROUGH ATM INSTALLATION

PROJECT DESCRIPTION: DRIVE THROUGH ATM INSTALLATION

PROJECT OCCUPANCY: GROUP B - BUSINESS

CONSTRUCTION TYPE: TYPE 3B - EXISTING

PROJECT SIZE: IMPACTED AREA = 000 SF  
TOTAL FLOOR AREA = 3,250 SF

PROJECT VOLUME: N/A

CODES:  
 BUILDING: IBCB & 780 CMR  
 PLUMBING: 248 CMR  
 MECHANICAL: IMC  
 FIRE: IFC  
 ELECTRICAL: 527 CMR  
 ENERGY: IECC  
 ELEVATOR: 524 CMR  
 ACCESSIBILITY: 521 CMR

OCCUPANCY LOAD: BUSINESS USE 100SF/OCCUPANTS  
1ST FL: 3250 /100 SF/OCC=33 OCCUPANTS  
---49 THEREFORE 1 EXIT REQUIRED.

EGRESS CAPACITY: NO CHANGE TO EXIST.

**MEANS OF EGRESS REQUIREMENTS (BUSINESS - UNSPRINKLERED)**

REQUIRED EXIT ACCESS WIDTH:  
DOOR WIDTH  
NA



**LOCUS MAP**  
NOT TO SCALE

ARCHITECTURAL  
 INTERIOR DESIGN  
 SPACE PLANNING  
 FACILITIES MANAGEMENT  
 PROJECT MANAGEMENT

**BISBANO + ASSOCIATES, INC.**  
 150 SUN VALLEY, 118 VALLEY STREET, PROVIDENCE, RI 02909-2044  
 (401) 451-4011 FAX (401) 451-4011 WWW.BISBANO.COM

**Bank of America**

145 COVE STREET  
 NEW BEDFORD, MA 02744

**LOCATION MAP & PROJECT INFORMATION**

ISSUE TYPE: CONSTRUCTION DOCUMENTS	REVISED:
ISSUE DATE: 02/13/2019	
DRAWN BY: BS SHC	
SCALE: N/A	
BAC PROJECT NO: 02819P181905	
	<b>A00.30</b>

**LEGEND**

XX EQUIPMENT WITHOUT POWER SUPPLY.      XX EQUIPMENT WITH POWER SUPPLY.

NUMBER	DESCRIPTION	MANUF / MODEL NO./COLOR	DIMENSION	NOTES
<b>1. EQUIPMENT BY BANK SECURITY VENDOR: DIEBOLD &amp; NCR</b>				
57	ATM DRIVE-UP ISLAND	NCR 8688 DRIVE UP	--	--
<b>2. EQUIPMENT BY SECURITY VENDOR</b>				
82	POINT OF CONNECTION	--	--	--
87	SECURITY CAMERA (EXT. DOME)	PANASONIC WV-CW545	--	CONFIRM CAMERA WITH SECURITY VENDOR

**NOTES**

THIS PLAN IS COPYRIGHTED, AND ALL RIGHTS ARE RESERVED, INCLUDING THE RIGHT OF REPRODUCTION IN WHOLE OR IN PART, EXCEPT BY THE EXPRESS WRITTEN CONSENT OF BISBANO + ASSOCIATES, INC. THIS PLAN IS NOT TO BE REPRODUCED BY ANYONE BY ANY METHOD. THIS PLAN MAY NOT BE USED BY ANYONE FOR REPEAT CONSTRUCTION OR FOR ANY OTHER PURPOSE WITHOUT THE CONSENT OF BISBANO + ASSOCIATES, INC.

**CODES AND STANDARDS**  
 - ALL WORKMANSHIP IS TO BE OF A STANDARD EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICE AND ALL APPLICABLE BUILDING CODES AND STANDARDS.  
 - AT THE TIME OF PREPARATION THIS PLAN WAS DRAWN IN ACCORDANCE WITH THE RHODE ISLAND STATE BUILDING CODE AND INTERNATIONAL BUILDING CODE 2012 WITH RI STATE AMENDMENTS. IT IS THE RESPONSIBILITY OF THE OWNER/BUILDER TO INSURE THAT CHANGES TO THE CODE ARE COMPLIED WITH AND ALL AMENDMENTS ARE INCORPORATED IN THE CONSTRUCTION OF THIS PLAN. ALL WORK SHALL CONFORM TO LOCAL BUILDING ORDINANCES AND BYLAWS WHICH MAY TAKE PRECEDENCE.  
 - PRIOR TO PROCEEDING WITH CONSTRUCTION, THE BUILDER MUST VERIFY ALL INFORMATION, DIMENSIONS AND SPECIFICATIONS OF THIS PLAN. WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED MEASUREMENTS.  
 - ANY VARIANCES TO THE DRAWINGS, SPECIFICATIONS AND/OR CONSTRUCTION SHALL BE REVIEWED AND APPROVED BY THE OWNER, BUILDER AND ARCHITECT BISBANO + ASSOCIATES, INC. WILL NOT BE RESPONSIBLE FOR ANY VARIANCES IN THE DRAWINGS, SPECIFICATIONS OR CONSTRUCTION WHICH ARE NOT REVIEWED AND APPROVED BY BISBANO + ASSOCIATES, INC.

- CONTRACTOR SHALL BE RESPONSIBLE TO VISIT THE SITE PRIOR TO BID SUBMITTAL, TO FAMILIARIZE WITH CONDITIONS OF THE SITE WHICH MAY AFFECT PERFORMANCE OF THE WORK. CONTRACTOR SHALL CALL ANY DISCREPANCIES TO THE BANK PRIOR TO BIDDING. CONTRACTOR AND SUBCONTRACTORS TO SCHEDULE A WALK-THROUGH WITH PROJECT MANAGER AND ARCHITECT PRIOR TO BIDDING.
- ALL DIMENSIONS ARE BASED ON EXISTING CONDITIONS, DRAWINGS AND/OR FIELD MEASUREMENTS. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS, DIMENSIONS, ETC. AND SHALL INFORM ARCHITECT OF ANY DISCREPANCIES. ARCHITECT SHALL ASSUME NO RESPONSIBILITY FOR ANY DIFFERENCES BETWEEN ACTUAL FIELD DIMENSIONS AND THOSE INDICATED ON THE DRAWINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT THE WORK AND SHALL INFORM THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING THE WORK. DO NOT SCALE DRAWINGS TO DETERMINE LAYOUT MEASUREMENTS. CONSULT ARCHITECT IF THERE ARE ANY QUESTIONS RELATIVE TO DIMENSIONAL LAYOUT. ARCHITECT TO REVIEW TRACK LAYOUT PRIOR TO PROCEEDING WITH INSTALLATION OF STUDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL PERMITS AND FEES AS REQUIRED BY STATE AND LOCAL CODES, RULES AND REGULATIONS.
- CONTRACTOR SHALL MAINTAIN CLEAN AND ORDERLY WORK AREAS AND SHALL NOT ALLOW TRASH AND DEBRIS TO ACCUMULATE. UPON COMPLETION OF THE WORK, ALL SURFACES IN THE WORK AREAS INCLUDING SURFACES WITH EXISTING FINISHES THAT REMAIN, SHALL BE DUSTED, WASHED OR OTHERWISE CLEANED. THE CONTRACTOR SHALL KEEP THE OFFICE AREAS, CORRIDORS, PUBLIC AREAS, LOADING AREAS, SIDEWALKS AND STREETS CLEAN AT ALL TIMES.
- ALL WORK SHALL BE ACCOMPLISHED WITH QUALITY WORKMANSHIP OF THE HIGHEST INDUSTRY STANDARDS. ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS. MATERIALS AND METHODS SHALL CONFORM TO THE APPROPRIATE NATIONAL TRADE HANDBOOK.
- DO NOT SCALE DRAWINGS TO DETERMINE LAYOUT MEASUREMENTS. CONSULT ARCHITECT IF THERE ARE ANY QUESTIONS RELATIVE TO DIMENSIONAL LAYOUT. ARCHITECT TO REVIEW TRACK LAYOUT PRIOR TO PROCEEDING WITH INSTALLATION OF STUDS.
- COMPLY WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS FOR OCCUPATIONAL HEALTH AND SAFETY.
- PROVIDE A MINIMUM OF 4000 PSI CONCRETE MIX. MAINTAIN 4-8" MIN SLUMP STANDARD.

**SYMBOLS LEGEND**

**EXTERIOR ELEVATION INDICATION**

- ROW ON ELEVATION SHEET WHERE SHOWN
- DIRECTION OF ELEVATION
- SHEET WHERE SHOWN

**INTERIOR ELEVATION INDICATION**

- DIRECTION OF ELEVATION
- ROW ON ELEVATION SHEET WHERE SHOWN
- SHEET WHERE SHOWN
- DETAIL NUMBER
- DESCRIPTION OF SIMILAR OR OPPOSITE AREA TO BE DETAILED
- DIRECTION OF SECTION/ELEV. WHERE SHOWN
- SHEET WHERE SHOWN
- COLUMN GRID
- NEW PARTITION
- REFERENCE TO PARTITION TYPE
- ELEVATION DATUM POINT
- OFFICE ROOM NAME
- ROOM NUMBER
- DOOR NUMBER (WITH SCHEDULE)
- ALIGN WITH ESTABLISHED SURFACES
- SHEET NOTE

**MILLWORK**

- MILLWORK SCHEDULE TAG (IF USED)
- PEC-2 FIRE EXTINGUISHER WITHOUT CABINET
- PEC-1 FIRE EXTINGUISHER CABINET
- JAMB CAMERA

**A01.01 SHEET NUMBER**

Sheet No. Sequence  
Sheet Type  
Discipline

CALL NORTH



145 COVE STREET  
NEW BEDFORD, MA 02744

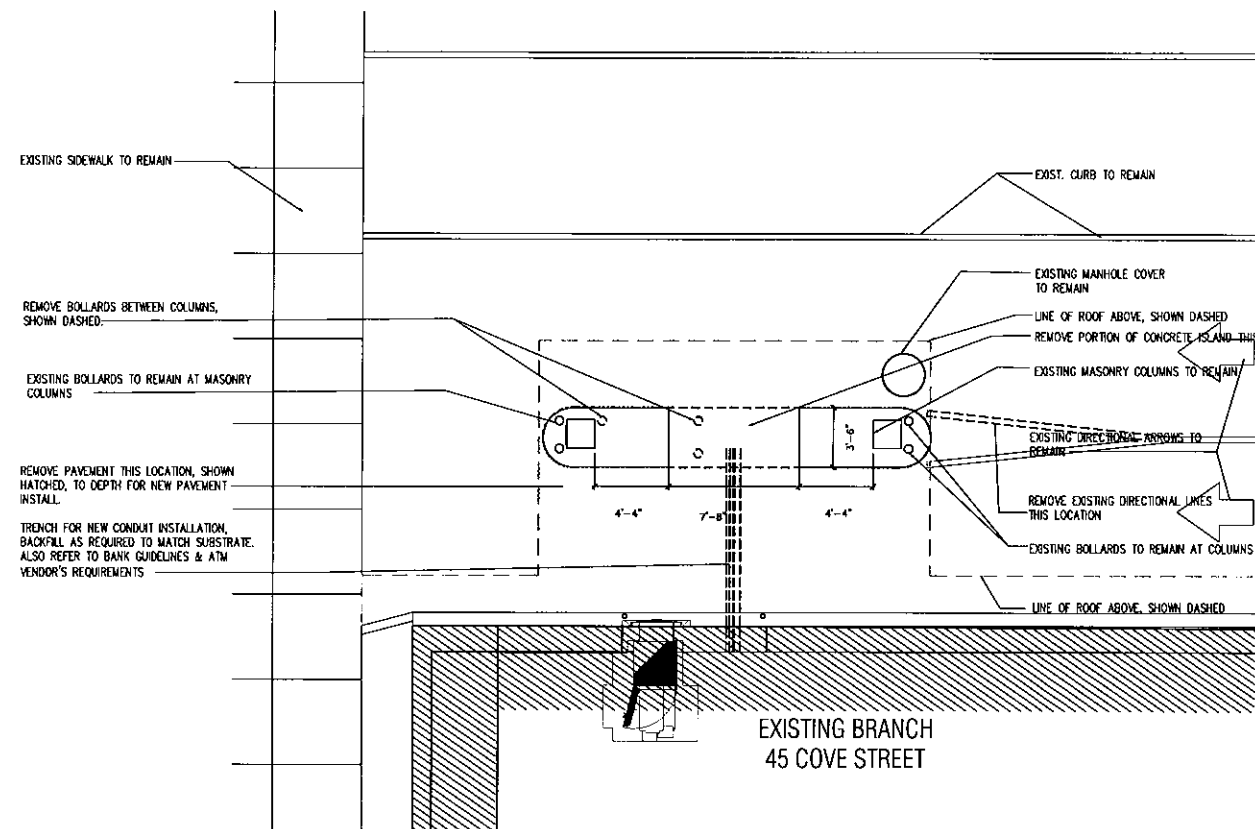
**NOTES & LEGEND**

ISSUE TYPE: CONSTRUCTION DOCUMENTS	REVISED:
ISSUE DATE: 02/13/2019	
DRAWN BY: BS SJC	

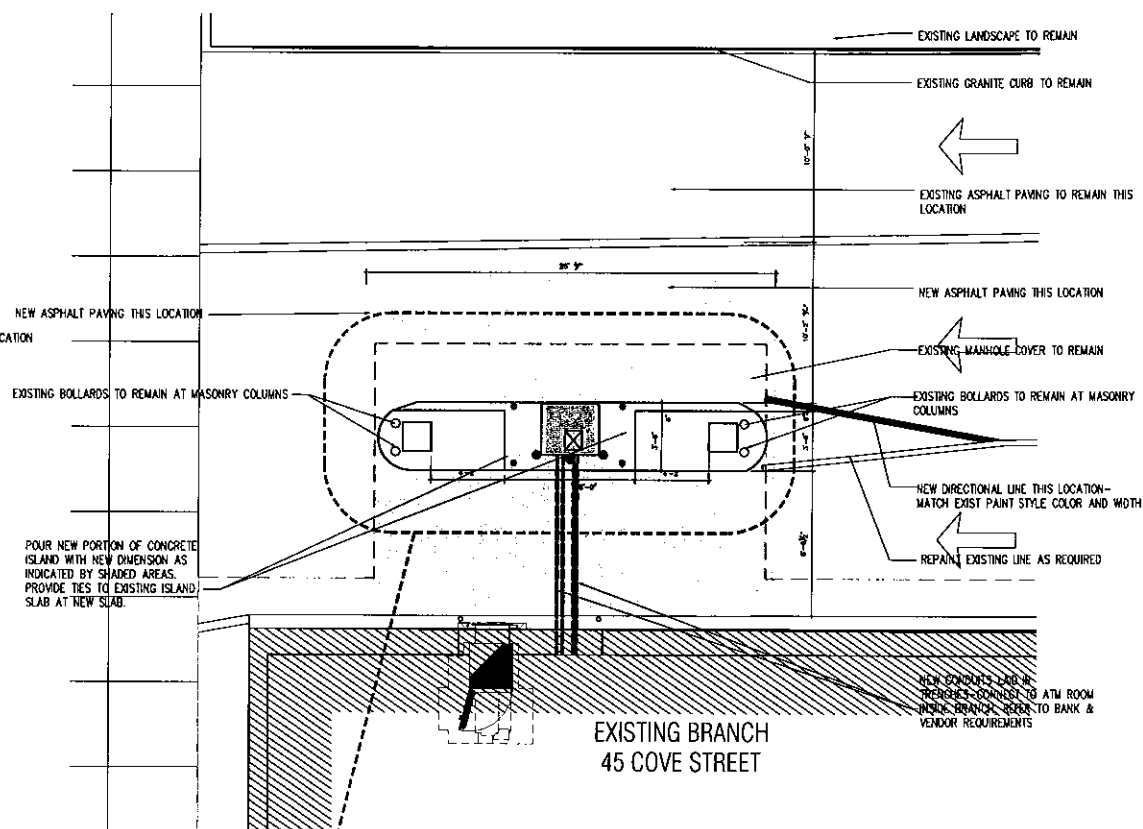
SCALE:  
N/A

ENC PROJECT NO:  
02819P181905

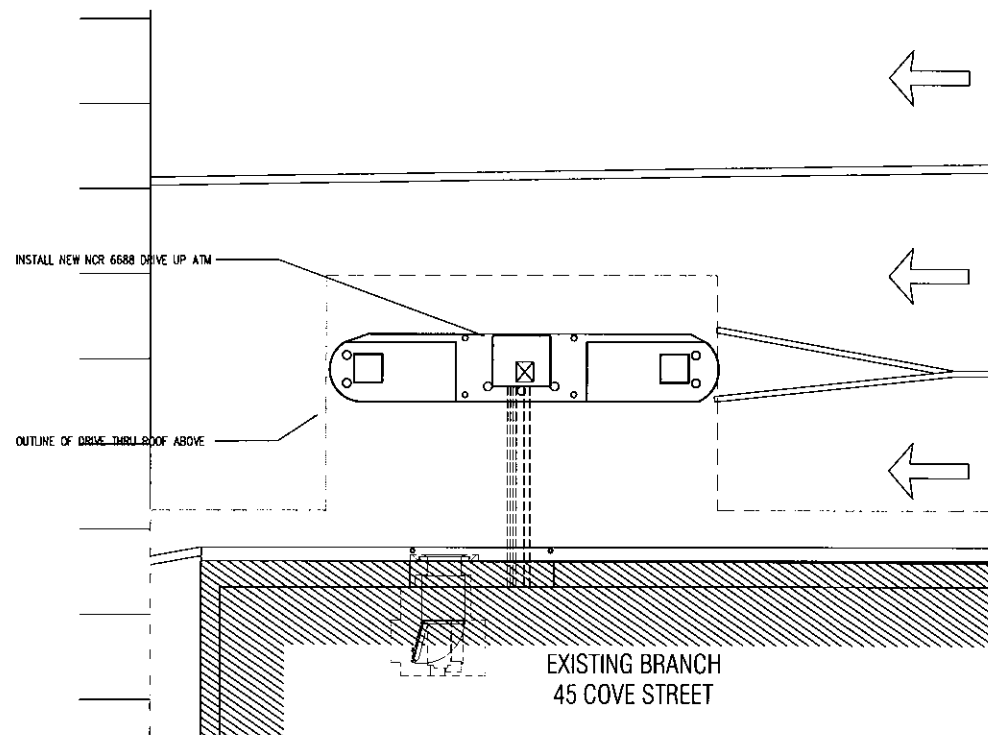
**A00.31**




1 DEMOLITION PLAN  
SCALE: 1/4" = 1'-0"

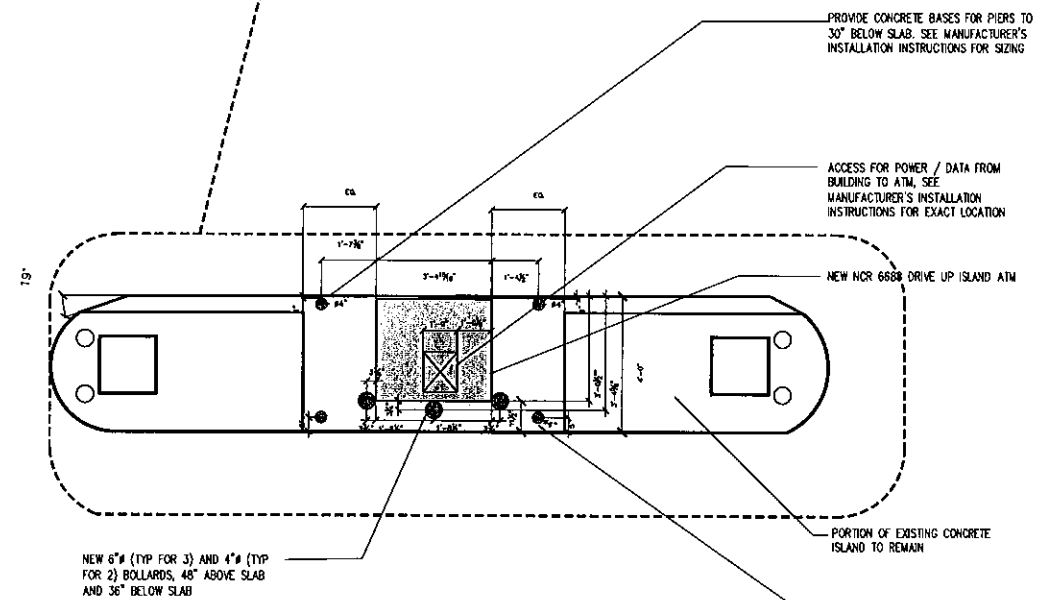


2 SITE PLAN  
SCALE: 1/4" = 1'-0"



3 EQUIPMENT PLAN  
SCALE: 1/4" = 1'-0"

**LEGEND**  
 EQUIPMENT WITH POWER SUPPLY.



4 ENLARGED PLAN AT ATM ISLAND  
SCALE: 1/2" = 1'-0"



**PLANS**

ARCHITECTURE  
 INTERIOR ARCHITECTURE  
 SPACE PLANNING  
 FACILITIES MANAGEMENT  
 PROJECT MANAGEMENT  
**PIZZARO ASSOCIATES, P.C.**  
 NEW BEDFORD, MA 02744  
 TEL: 508.451.1111  
 WWW.PIZZARO.COM

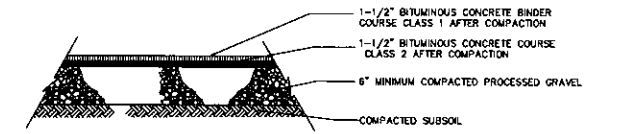
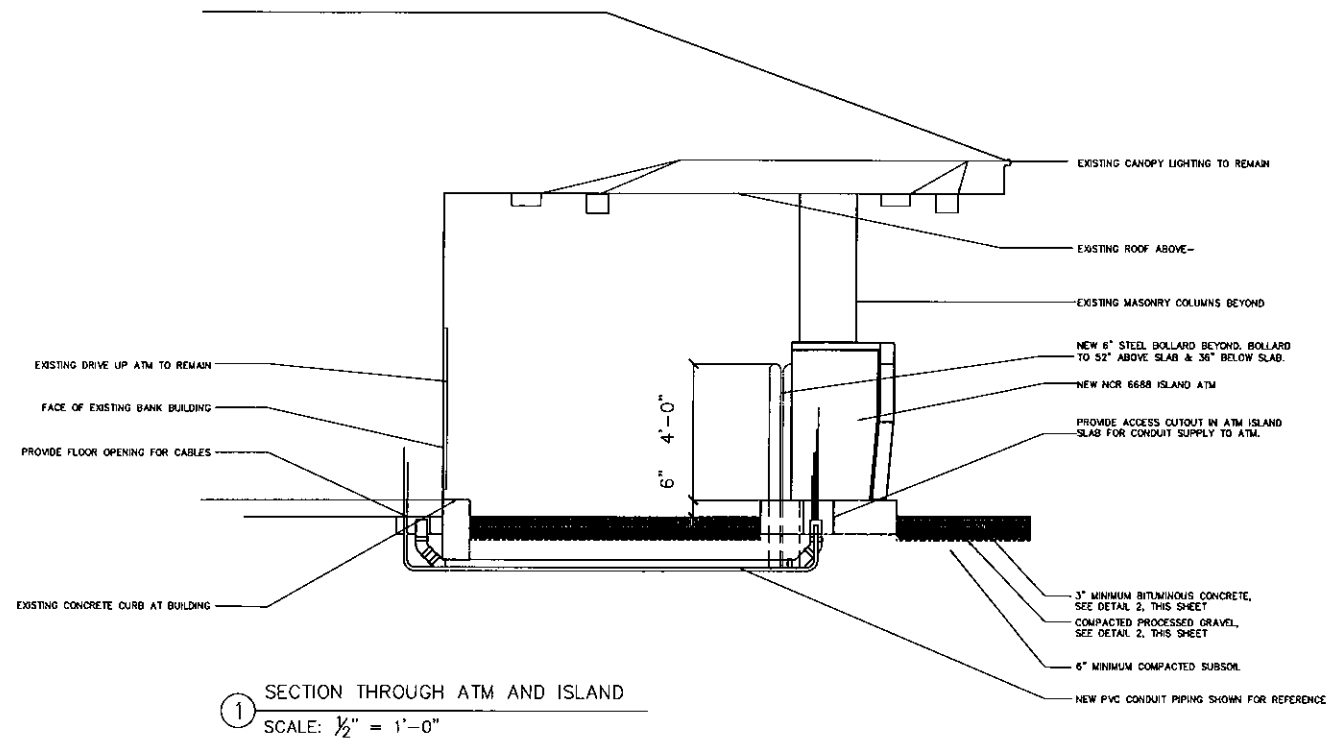


145 COVE STREET  
 NEW BEDFORD, MA 02744

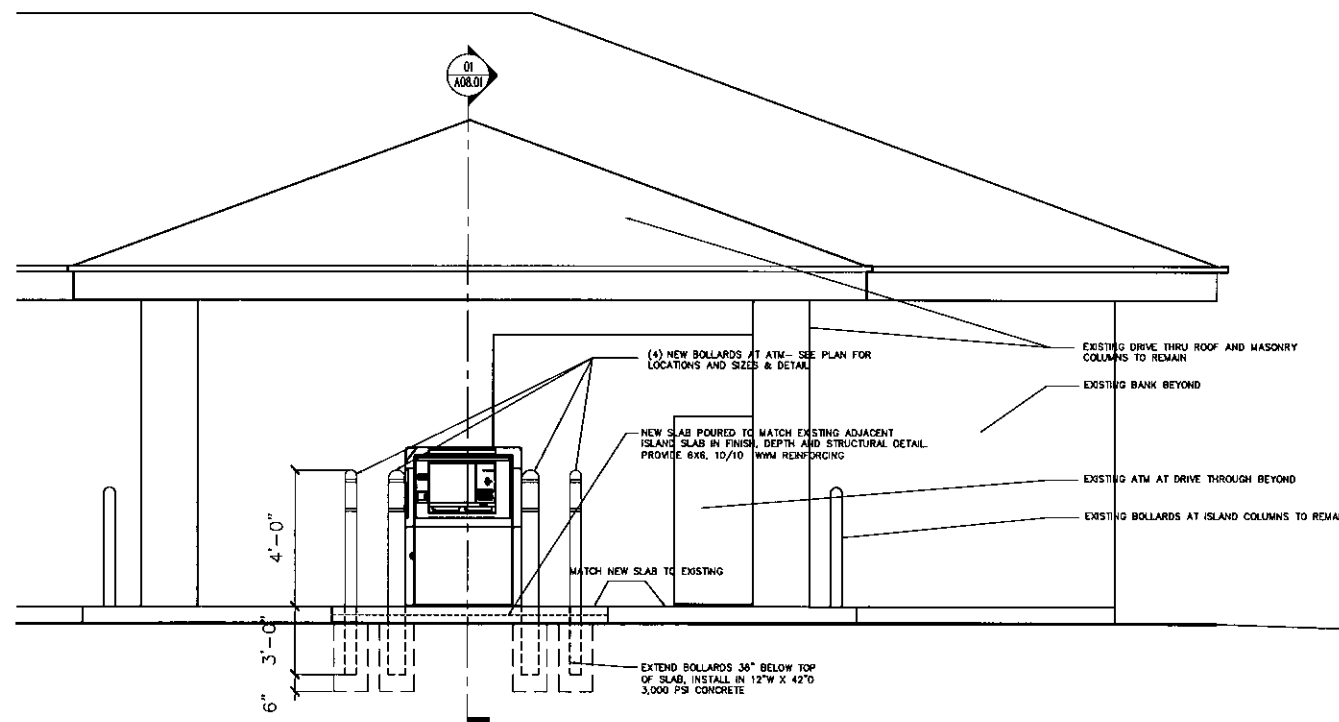
DEMOLITION PLAN,  
 CONSTRUCTION PLAN, &  
 EQUIPMENT PLAN

ISSUE TYPE	CONSTRUCTION DOCUMENTS	REVISED
ISSUE DATE	02/13/2019	
DRAWN BY	BO	
SPC		

SCALE:  
 1/4" = 1'-0"  
 BAC PROJECT NO.  
 02181911005  
**A01.01**



2 BITUMINOUS PAVING DETAIL  
SCALE: 3/4" = 1'-0"



ENLARGED PLAN, SECTIONS AND ELEVATIONS



145 COVE STREET  
NEW BEDFORD, MA 02744

ENLARGED PLAN  
ELEVATIONS & SECTIONS

ISSUE TYPE: CONSTRUCTION DOCUMENTS	REVISED:
ISSUE DATE: 02/13/2019	
DRAWN BY: SB SJC	

	SCALE: 1/4" = 1'-0"
	BAC PROJECT NO. 02519131305
A08.01	