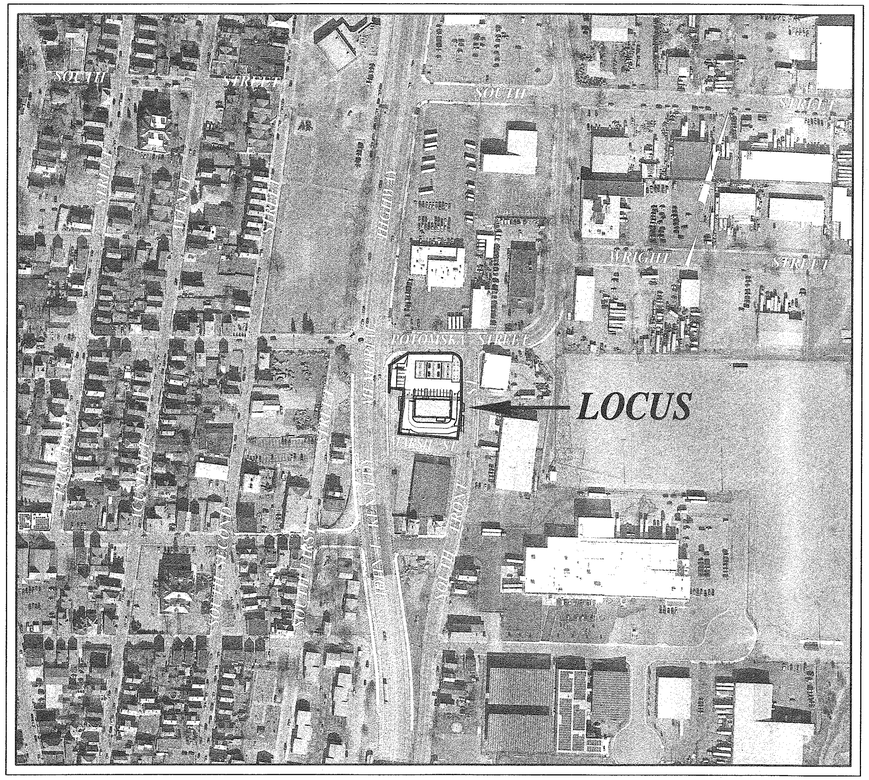
PROPOSED CONVENIENCE STORE / GAS STATION
56 POTOMSKA STREET
NEW BEDFORD, MASSACHUSETTS

SITE SUMMARY

ASSESSORS MAP 31 LOTS 232 & 239
ZONING DISTRICT: INDUSTRIAL B
CURRENT USE: CONVENIENCE STORE/GAS STATION
WAREHOUSE
PROPOSED USE: CONVENIENCE STORE/GAS STATION
WITH DRIVE-THRU
DEED REFERENCE: LOT 232 BOOK 10633, PAGE 111
LOT 239 BOOK 10633, PAGE 91

ZONING REQUIREMENTS TABLE

	REQUIRED	PROPOSED
LOT AREA	———	41,035 SF
LOT FRONTAGE	0'	181.13' (POTOMSKA ST.) 257.47' (SO. FRONT ST.) 165.30' (MARSH ST.)
FRONT SETBACK (BLDG.) SIDE SETBACK (BLDG.) REAR SETBACK (BLDG.)	25' 25' 25'	129' 27' 55'
FRONT SETBACK (PARKING) SIDE SETBACK (PARKING) REAR SETBACK (PARKING)	0' 0' 0'	0' 10' 8'
BUILDING HEIGHT	100'	29.75'
LOT COVERAGE (BY BUILDING)	50%	12%
GREEN SPACE	20%	EXISTING – 2% PROPOSED – 12%
SCREENING BUFFERS	N/A	N/A
OFF STREET PARKING	25	18 SPACES 16 PUMP ISLAND SPACES



LOCUS MAP

0' 200' 300' 400'
SCALE: 1"=200'±

PLAN INDEX

SHEET NO.	TITLE	DATE	REVISED
——	COVER SHEET	OCTOBER 29, 2018	
1 OF 10	SITE LAYOUT	OCTOBER 29, 2018	
2 OF 10	LOCUS MAP	OCTOBER 29, 2018	
3 OF 10	SITE GRADING	OCTOBER 29, 2018	
4 OF 10	LANDSCAPING/LIGHTING PLAN	OCTOBER 29, 2018	
5 OF 10	SITE UTILITIES	OCTOBER 29, 2018	
6 OF 10	EXISTING CONDITIONS	OCTOBER 29, 2018	
7 OF 10	DEMOLITION PLAN	OCTOBER 29, 2018	
8 OF 10	EROSION CONTROL PLAN	OCTOBER 29, 2018	
9 OF 10	DETAIL SHEET #1	OCTOBER 29, 2018	
10 OF 10	DETAIL SHEET #2	OCTOBER 29, 2018	
——	BUILDING ELEVATIONS	DECEMBER 3, 2018	
——	FLOOR PLAN	DECEMBER 3, 2018	

OWNER:

LOT 232 ALEXANDRE EL TOM, TRUSTEE
ZGA REALTY TRUST
56 POTOMSKA STREET
NEW BEDFORD, MA 02740

LOT 239 ALEXANDRE EL TOM, TRUSTEE
NB18 REALTY TRUST
56 POTOMSKA STREET
NEW BEDFORD, MA 02740

APPLICANT:

ZGA REALTY TRUST
56 POTOMSKA STREET
NEW BEDFORD, MA 02740

DATE: OCTOBER 29, 2018

COMMONWEALTH OF MASSACHUSETTS
STEVEN D. BIOIOSA
CIVIL
No. 32125
REGISTERED PROFESSIONAL ENGINEER

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FAX (508) 998-7554
WWW.SITEC-ENGINEERING.COM

ACAD NO. 18-7018 COVER SHEET.DWG

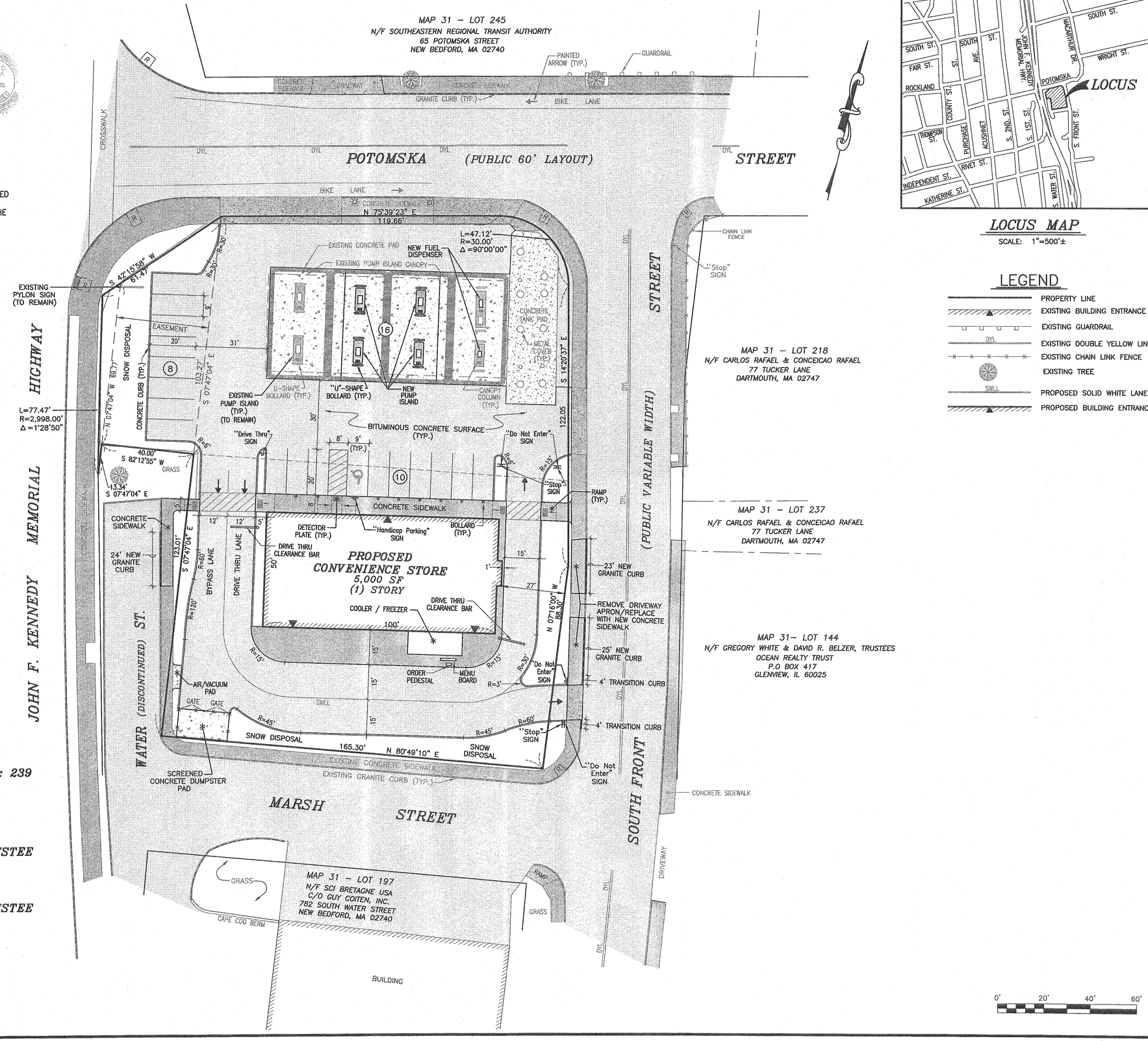
NOTES:

1. I HEREBY CERTIFY THAT THE PROJECT AS DESIGNED MEETS THE APPLICABLE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD.

STEVEN D. GIOIOSA CIVIL No. 32165 REGISTERED PROFESSIONAL ENGINEER

12.6.18
DATE

2. DRIVEWAY PERMIT SUBJECT TO TRAFFIC COMMISSION APPROVAL.
3. PERMITS FOR SIDEWALK, DRIVEWAYS, WATER & SEWER MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC INFRASTRUCTURE ENGINEERING DIVISION.
4. ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY PLANNER AND CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY PLANNER AND CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
5. ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
6. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
7. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS.
8. EXCESS SNOW SHALL BE REMOVED FROM THE SITE.



LOCUS MAP

SCALE: 1"=500'±

LEGEND

- PROPERTY LINE
- EXISTING BUILDING ENTRANCE
- EXISTING GUARDRAIL
- DYL — EXISTING DOUBLE YELLOW LINE
- EXISTING CHAIN LINK FENCE
- SWL — EXISTING TREE
- PROPOSED SOLID WHITE LANE LINE
- PROPOSED BUILDING ENTRANCE

LOCUS: ASSESSORS MAP 31, LOTS 232 & 239
PARCEL AREA: 41,035 SF
ZONING DISTRICT INDUSTRIAL B

OWNER:

LOT 232 *ALEXANDRE EL TOM, TRUSTEE*
ZGA REALTY TRUST
56 POTOMSKA STREET
NEW BEDFORD, MA 02740

LOT 239 *ALEXANDRE EL TOM, TRUSTEE*
NB18 REALTY TRUST
56 POTOMSKA STREET
NEW BEDFORD, MA 02740

DEED REFERENCE: *LOT 232*
BOOK 10633 PAGE 111
LOT 239
BOOK 10633 PAGE 91

No.	Date	Revision Description	Chkd. by	Appvd. by

scale: 1"=20'
date: OCT. 29, 2018
drawn: NAD
checked: SDG
approved: SDG
sheet 1 of 10
drawing number: SL-1

project: ASSESSOR'S MAP 31 LOTS 232 & 239
56 POTOMSKA STREET
NEW BEDFORD, MASSACHUSETTS
client: ZGA REALTY TRUST
drawing title: SITE LAYOUT

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SITEC
Civil and Environmental Engineering
Land Use Planning

Acad No. NB 18-7018 SL.DWG
File No. 18-7018

0' 100' 200' 300'
SCALE: 1"=100'±

File No. 18-7018	Acad No. 18-7018 LOCUS MAP.DWG	

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project:
ASSESSOR'S MAP 31 LOTS 232 & 239
56 POTOMSKA STREET
NEW BEDFORD, MASSACHUSETTS

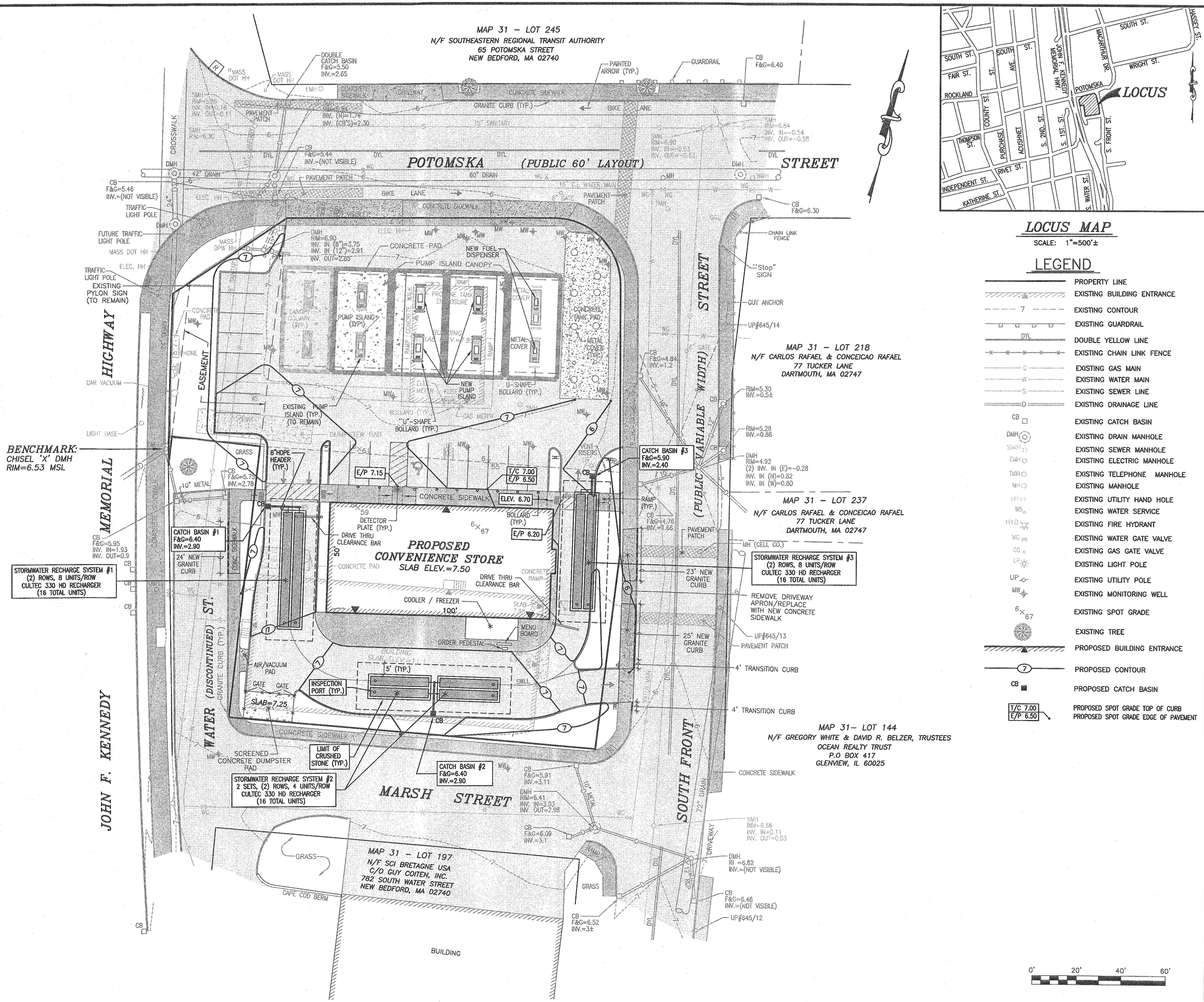
client:
ZGA REALTY TRUST

drawing title:
LOCUS MAP

scale: AS NOTED
date: OCT. 29, 2018
drawn: NAD
checked: SDG
approved: SDG
sheet 2 of 10
drawing number: LOCUS-1

No.	Date	Revision Description	Chkd. by	Appvd. by

COMMONWEALTH OF MASSACHUSETTS



LOCUS MAP

SCALE: 1"=500'±

LEGEND

- PROPERTY LINE
- EXISTING BUILDING ENTRANCE
- EXISTING CONTOUR
- EXISTING GUARDRAIL
- DYL — DOUBLE YELLOW LINE
- EXISTING CHAIN LINK FENCE
- G — EXISTING GAS MAIN
- W — EXISTING WATER MAIN
- S — EXISTING SEWER LINE
- D — EXISTING DRAINAGE LINE
- CB — EXISTING CATCH BASIN
- DMH — EXISTING DRAIN MANHOLE
- SMH — EXISTING SEWER MANHOLE
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- TMH — EXISTING TELEPHONE MANHOLE
- MH — EXISTING MANHOLE
- UHH — EXISTING UTILITY HAND HOLE
- WS — EXISTING WATER SERVICE
- HYD — EXISTING FIRE HYDRANT
- WG — EXISTING WATER GATE VALVE
- GG — EXISTING GAS GATE VALVE
- LP — EXISTING LIGHT POLE
- UP — EXISTING UTILITY POLE
- MW — EXISTING MONITORING WELL
- 6×67 — EXISTING SPOT GRADE
- EXISTING TREE
- PROPOSED BUILDING ENTRANCE
- 7 — PROPOSED CONTOUR
- CB — PROPOSED CATCH BASIN
- T/C 7.00 / E/P 6.50 — PROPOSED SPOT GRADE TOP OF CURB / PROPOSED SPOT GRADE EDGE OF PAVEMENT

No.	Date	Revision Description	Chkd. by	Apprvd. by

scale: 1"=20'
date: OCT. 29, 2018
drawn: NAD
checked: SDG
approved: SDG
sheet 3 of 10
drawing number: SG-1

project: ASSESSOR'S MAP 31 LOTS 232 & 239
56 POTOMSKA STREET
NEW BEDFORD, MASSACHUSETTS

client: ZGA REALTY TRUST

drawing title: SITE GRADING

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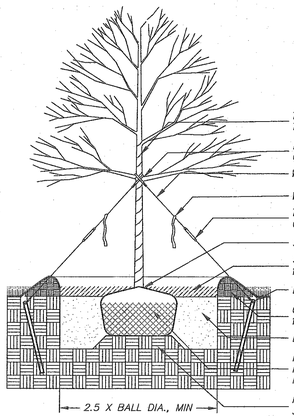
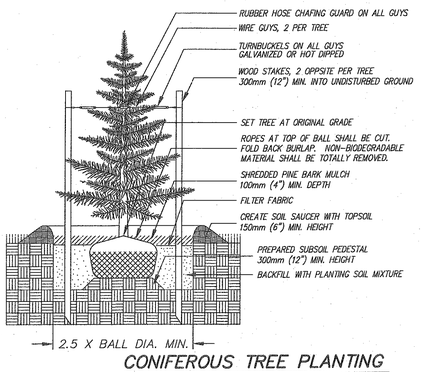
Acad No. NB 18-7018 SG.DWG

File No. 18-7018



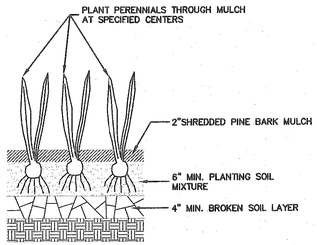
DECIDUOUS TREE PLANTING

NOT TO SCALE

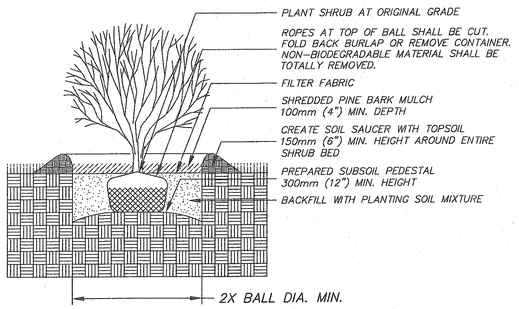


CONIFEROUS TREE PLANTING

NOT TO SCALE



PERENNIAL PLANTING



SHRUB PLANTING

NOT TO SCALE

JOHN F. KENNEDY MEMORIAL HIGHWAY

MAP 31 – LOT 245
N/F SOUTHEASTERN REGIONAL TRANSIT AUTHORITY
65 POTOMSKA STREET
NEW BEDFORD, MA 02740

POTOMSKA (PUBLIC 60' LAYOUT) STREET

PAINTED ARROW (TYP.) · GUARDRAIL · CONCRETE SIDEWALK · DRIVEWAY · GRANITE CURB (TYP.) · BIKE LANE · CROSSWALK · PAVEMENT PATCH · CONCRETE SIDEWALK · CHAIN LINK FENCE · "Stop" SIGN

EXISTING PYLON SIGN (TO REMAIN) · EASEMENT · LAWN (TYP) · EXISTING CONCRETE PAD · NEW FUEL DISPENSER · EXISTING PUMP ISLAND CANOPY · METAL COVER (TYP.) · CANOPY COLUMN (TYP.) · AIR/VACUUM PAD · EXISTING PUMP ISLAND (TYP.) (TO REMAIN) · U-SHAPE BOLLARD (TYP.) · "U"-SHAPE BOLLARD (TYP.) · NEW PUMP ISLAND · FOOTCANDLES (TYP) · GRASS · CONCRETE SIDEWALK · RAMP (TYP.) · DETECTOR PLATE (TYP.) · BOLLARD (TYP.) · DRIVE THRU CLEARANCE BAR · DRIVE THRU LANE · GRASS LANE · 24' NEW GRANITE CURB · 23' NEW GRANITE CURB · 25' NEW GRANITE CURB · PAVEMENT PATCH · LAWN (TYP) · 4' TRANSITION CURB

PROPOSED CONVENIENCE STORE

COOLER / FREEZER · DRIVE THRU CLEARANCE BAR · ORDER PEDESTAL · MENU BOARD · SWLL · GATE · GATE · SCREENED CONCRETE DUMPSTER PAD · EXISTING CONCRETE SIDEWALK · EXISTING GRANITE CURB (TYP.) · LAWN (TYP) · CONCRETE SIDEWALK

WATER (DISCONTINUED) 2ST · SOUTH FRONT STREET (PUBLIC VARIABLE WIDTH) · MARSH STREET

MAP 31 – LOT 218
N/F CARLOS RAFAEL & CONCEICAO RAFAEL
77 TUCKER LANE
DARTMOUTH, MA 02747

MAP 31 – LOT 237
N/F CARLOS RAFAEL & CONCEICAO RAFAEL
77 TUCKER LANE
DARTMOUTH, MA 02747

MAP 31– LOT 144
N/F GREGORY WHITE & DAVID R. BELZER, TRUSTEES
OCEAN REALTY TRUST
P.O BOX 417
GLENVIEW, IL 60025

MAP 31 – LOT 197
N/F SCI BRETAGNE USA
C/O GUY COITEN, INC.
782 SOUTH WATER STREET
NEW BEDFORD, MA 02740

GRASS · CAPE COD BERM · BUILDING · RAMP · GRASS · DRIVEWAY

PLANTING NOTES

1. All new lawn areas shall receive a minimum of 6 inches topsoil of the proper pH and organic content suitable for the healthy growth of lawns. These areas shall be seeded with a fine blade lawn grass seed.
2. All tree and shrub pits shall be at least 2 feet wider and 1 foot deeper than the tree or shrub root ball to be planted in it. Backfill shall be high quality loam of the proper pH and organic content suitable for the healthy growth of plant materials.
3. All areas to be mulched shall receive 4 inches minimum 100 % shredded bark mulch within 48 hours of planting. Unless otherwise noted in planting details.
4. All plants shall be nursery grown and conform to the latest edition of "ANSI Z60.1, American Standard for Nursery Stock."
5. Plants shall conform to the botanical name as indicated in the latest edition of "American Joint Committee of Horticultural Nomenclature, Standardized Plant Names."
6. Plants shall be handled at all times in accordance with the best horticultural practices. Plants in-leaf shall be sprayed with anti-desiccant before digging. Plants shall be dug with firm natural balls and shall conform to the ratios and sizes specified in ANSI Z60.1. B & B plants shall be wrapped in burlap and tied firmly. Plant materials shall be delivered immediately prior to placement, shall be kept moist and shall be protected from sun and wind. Plants having broken or cracked balls prior to or during planting will not be accepted.
7. All trunks of deciduous trees shall be wrapped immediately after planting with tree wrap. Wrap shall be wound spirally, from the bottom of the trunk to the second branches. All trees shall be staked or guyed immediately after planting in accordance with best horticultural practices.
8. The periods for planting shall be from March 15 to May 15 and from September 15 to November 15, weather permitting.
9. All disturbed areas shall be loamed and seeded as directed in note #1 above.
10. All locations of existing utilities may not be shown on this plan. See other plan sheets for utility locations. Contractor shall be solely responsible for determining actual locations of existing utilities. Utility conflicts may require adjustments to proposed construction. Contractor shall be responsible for repair of any utilities damaged during construction.

PLANT LIST

symbol	quantity	name	size
BM	22	BUXUS MICROPHYLLA VAR. KOREANA	2 gallon container
		Korean Boxwood	space 36" o.c.
HS	52	HEMEROCALLIS 'GOING BANANAS'	1 gallon container
		Going Bananas Daylily	space 18" o.c.
IV	5	ITEA VIRGINICA 'HENRY'S GARNET'	3 gallon container
		Henry's Garnet Virginia Sweetspire	
JB	14	JUNIPERUS CHINENSIS 'BLUE POINT'	15 gallon container
		Blue Point Juniper	
JC	21	JUNIPERUS CHINENSIS 'PFITZERIANA COMPACTA'	3 gallon container
		Compact Pfitzer Juniper	
JS	4	JUNIPERUS SCOPULORUM 'BLUE ARROW'	10 gallon container
		Blue Arrow Juniper	
MS	3	MALUS x 'SUGAR TYME'	2" - 2.5" cal.
		Sugar Tyme Crab	B&B
MD	40	MICROBIOTA DECUSSATA 'CELTIC PRIDE'	3 gallon container
		Celtic Pride Russian Carpet Cypress	
NF	90	NEPETA FAASENII 'BLUE WONDER'	1 gallon container
		Blue Wonder Nepeta	space 18" o.c.
PA	5	PLATANUS x ACERIFOLIA 'BLOODGOOD'	2" - 2.5" cal.
		Bloodgood London Planetree	B&B
RK	18	ROSA KNOCKOUT PINK DOUBLE	3 gallon container
		Double Pink Knockout Rose	
WF	19	WEIGELA FLORIDA 'FINE WINE'	3 gallon container
		Fine Wine Weigela	
ZS	4	ZELKOVA SERRATA 'GREEN VASE'	2" - 2.5" cal.
		Green Vase Zelkova	B&B

LIGHTING NOTES

1. POLE LIGHTS SHALL BE RAB LIGHTING MODEL #ALED3T1260/D10, BRONZE COLOR, 18' MOUNTING HEIGHT OR APPROVED EQUAL.
2. WALL PACKS (WI) SHALL BE CREE, INC. MODEL #XSPW-A-0-3-M-C-U-XX OR APPROVED EQUAL.

LEGEND

- PROPERTY LINE
- EXISTING BUILDING ENTRANCE
- EXISTING GUARDRAIL
- DYL — EXISTING DOUBLE YELLOW LINE
- EXISTING CHAIN LINK FENCE
- EXISTING TREE
- SWLL — PROPOSED SOLID WHITE LANE LINE
- PROPOSED BUILDING ENTRANCE

0' 20' 40' 60'

No.	Date	Revision Description	Chkd. by:	Apprvd. by:

scale: 1"=20'
date: OCT. 29, 2018
drawn: NAD
checked: SDG
approved: SDG
sheet 4 of 10
drawing number: LP-1

project: ASSESSOR'S MAP 31 LOTS 232 & 239
56 POTOMSKA STREET
NEW BEDFORD, MASSACHUSETTS

client: ZGA REALTY TRUST

drawing title: LANDSCAPING / LIGHTING PLAN

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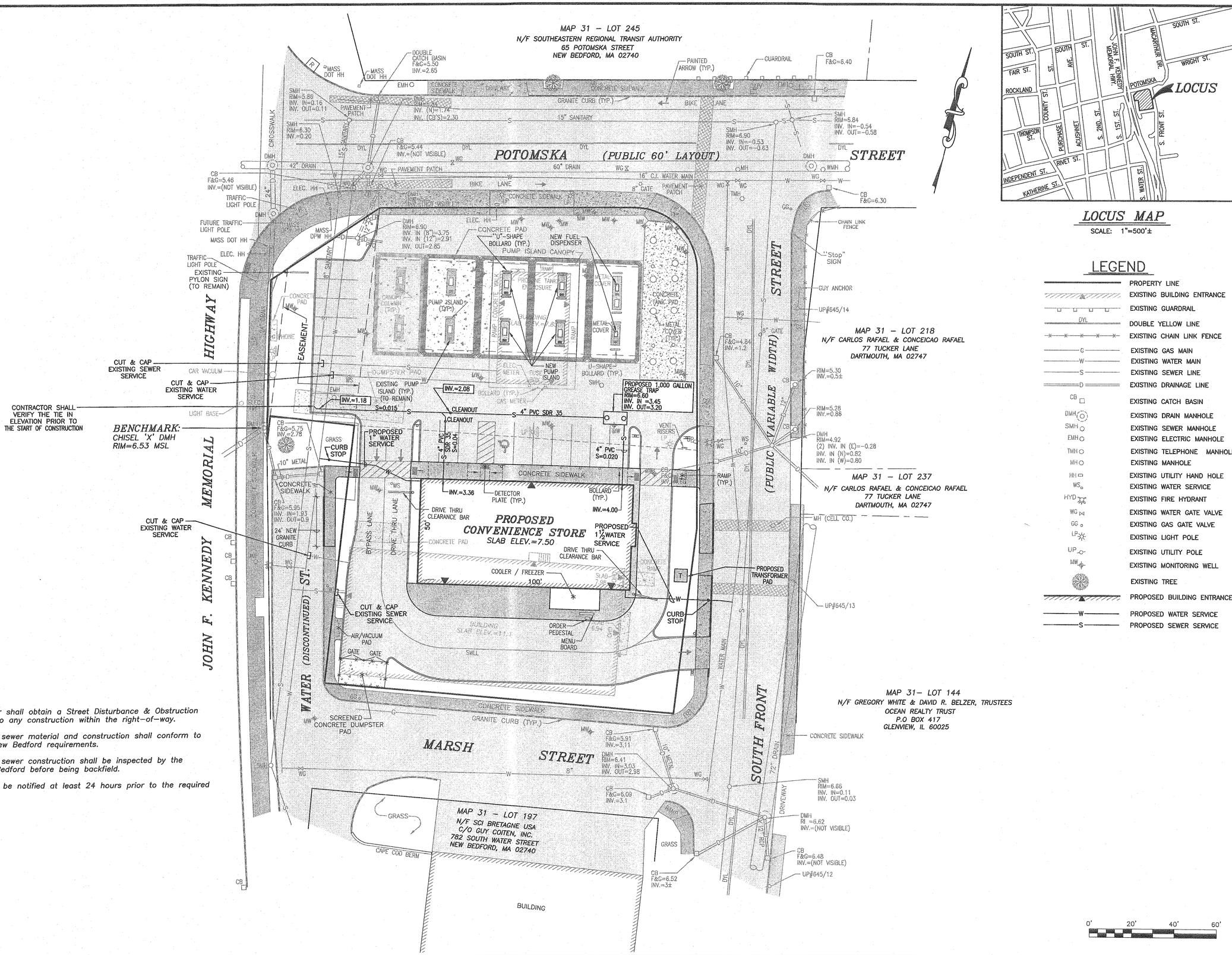
SITEC Civil and Environmental Engineering Land Use Planning

Acad No. NB 18-7018 LANDSCAPING PLAN.DWG
File No. 18-7018



LOCUS MAP

SCALE: 1"=500'±

LEGEND

- PROPERTY LINE
- EXISTING BUILDING ENTRANCE
- EXISTING GUARDRAIL
- DYL — DOUBLE YELLOW LINE
- EXISTING CHAIN LINK FENCE
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- MH — EXISTING MANHOLE
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- WS — EXISTING WATER SERVICE
- HYD — EXISTING FIRE HYDRANT
- WG — EXISTING WATER GATE VALVE
- GG — EXISTING GAS GATE VALVE
- LP — EXISTING LIGHT POLE
- UP — EXISTING UTILITY POLE
- MW — EXISTING MONITORING WELL
- EXISTING TREE
- PROPOSED BUILDING ENTRANCE
- W — PROPOSED WATER SERVICE
- S — PROPOSED SEWER SERVICE

NOTES:

1. The contractor shall obtain a Street Disturbance & Obstruction Permit prior to any construction within the right–of–way.
2. All water and sewer material and construction shall conform to the City of New Bedford requirements.
3. All water and sewer construction shall be inspected by the City of New Bedford before being backfilled.
4. The City shall be notified at least 24 hours prior to the required inspections.

No.	Date	Revision Description	Chkd. by	Apprvd. by

scale: 1"=20'
date: OCT. 29, 2018
drawn: NAD
checked: SDG
approved: SDG
sheet 5 of 10
drawing number: SU–1

project: ASSESSOR'S MAP 31 LOTS 232 & 239
56 POTOMSKA STREET
NEW BEDFORD, MASSACHUSETTS

client: ZGA REALTY TRUST

drawing title: SITE UTILITIES

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SITEC
Civil and Environmental Engineering
Land Use Planning

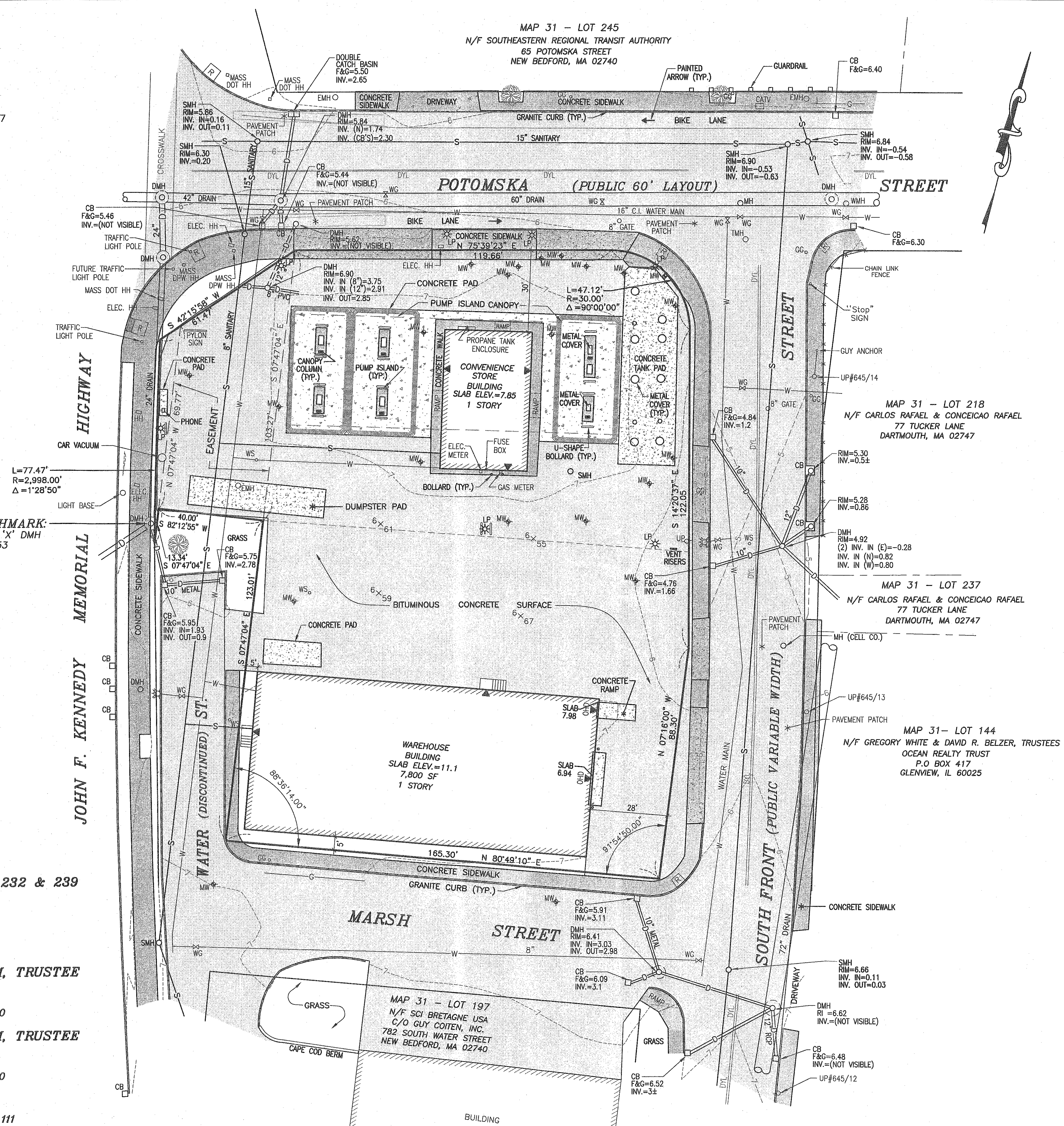
Acad No. NB 18–7018 SU.DWG
File No. 18–7018

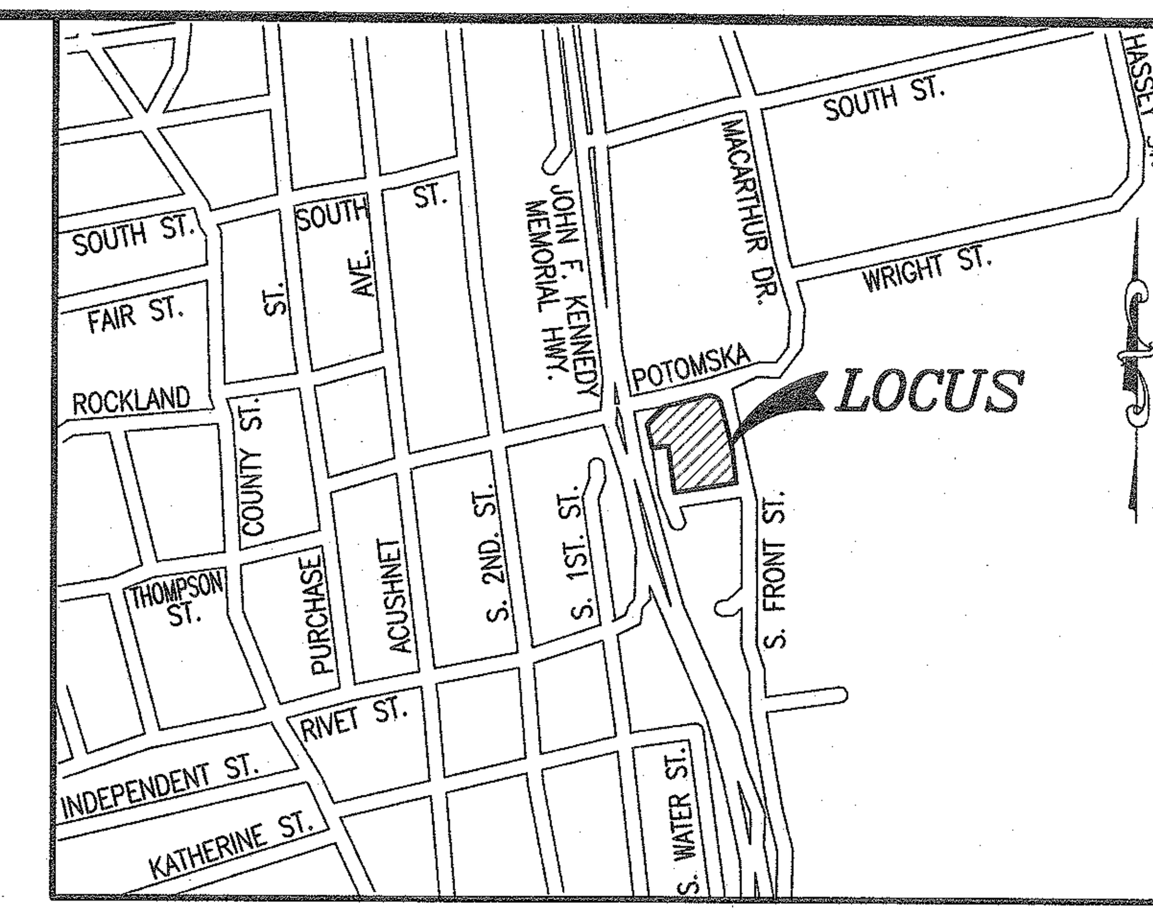
UTILITY COMPANIES

SANITARY SEWER – NEW BEDFORD DPI
WATER SUPPLY – NEW BEDFORD DPI
(508) 979–1550

GAS – EVERSOURCE GAS (855) 645–2427
ELECTRIC – EVERSOURCE ELECTRIC (888) 633–3797

CABLE – COMCAST (800) 934–6489





LOCUS MAP
SCALE: 1"=500'±

LEGEND

- PROPERTY LINE
- BUILDING ENTRANCE
- EXISTING CONTOUR
- GUARDRAIL
- DYL DOUBLE YELLOW LINE
- CHAIN LINK FENCE
- G GAS MAIN
- W WATER MAIN
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- D DRAINAGE LINE
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- GG GAS GATE VALVE
- LP LIGHT POLE
- UP UTILITY POLE
- MW MONITORING WELL
- 6×67 EXISTING SPOT GRADE
- TREE

LOCUS: ASSESSORS MAP 31, LOTS 232 & 239
PARCEL AREA: 41,035 SF
ZONING DISTRICT INDUSTRIAL B

OWNER:
LOT 232 ALEXANDRE EL TOM, TRUSTEE
ZGA REALTY TRUST
56 POTOMSKA STREET
NEW BEDFORD, MA 02740

LOT 239 ALEXANDRE EL TOM, TRUSTEE
NB18 REALTY TRUST
56 POTOMSKA STREET
NEW BEDFORD, MA 02740

DEED REFERENCE: LOT 232
BOOK 10633 PAGE 111

LOT 239
BOOK 10633 PAGE 91

SURVEY DATE: SEPTEMBER 2018

0' 20' 40' 60'

No.	Date	Revision Description	Chkd. by	Appvd. by

scale: 1"=20'
date: OCT. 29, 2018
drawn: NAD
checked: SDG
approved: SDG
sheet 6 of 10
drawing number: EC-1

project: ASSESSOR'S MAP 31 LOTS 232 & 239
56 POTOMSKA STREET
NEW BEDFORD, MASSACHUSETTS

client: ZGA REALTY TRUST

drawing title: EXISTING CONDITIONS

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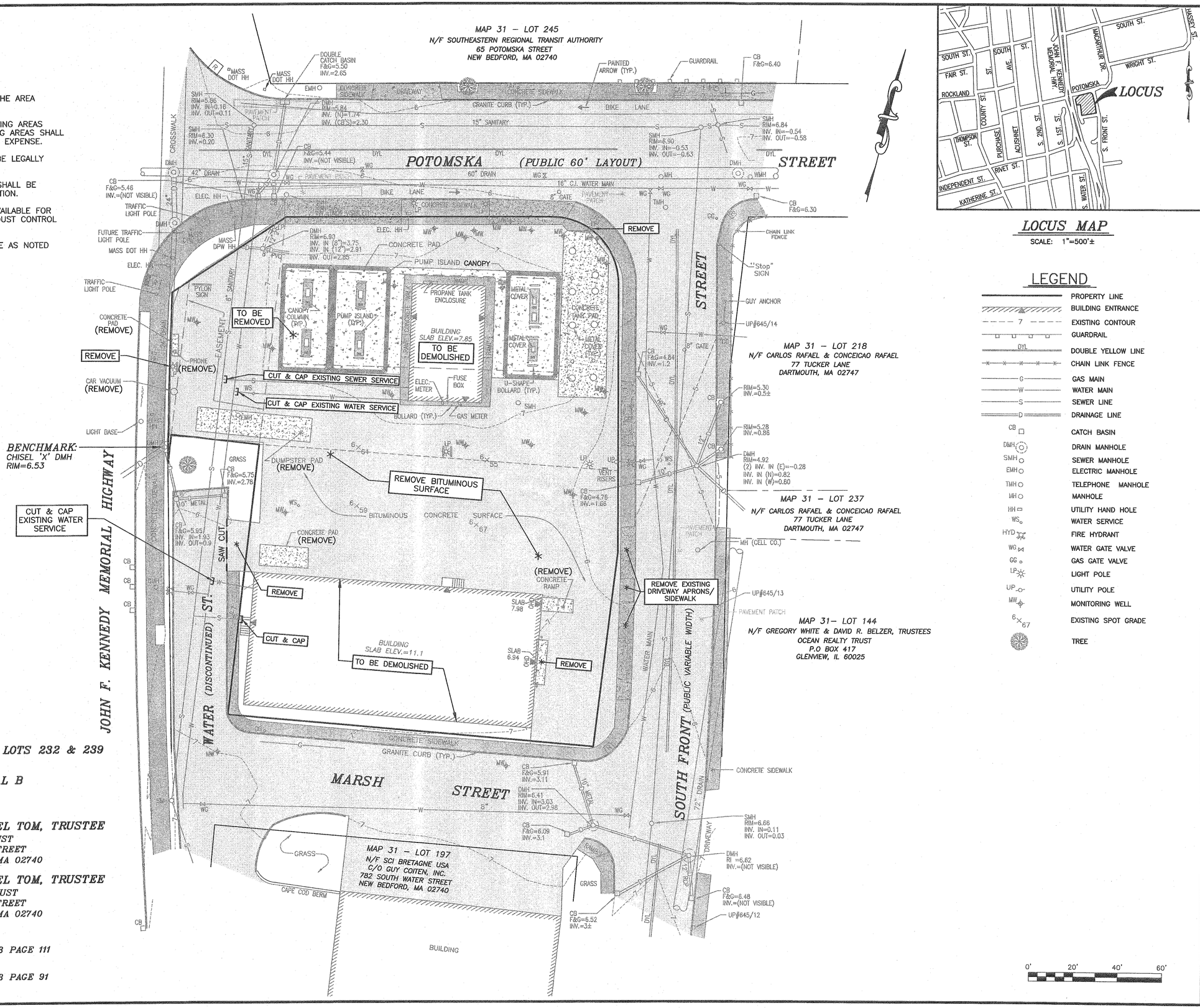
Acad No. NB 18–7018 EC.DWG
File No. 18–7018

NOTES:

1. DEMOLITION SHALL BE LIMITED TO THE AREA OUTLINED.
2. CONTRACTOR SHALL PROTECT ABUTTING AREAS FROM DAMAGE. DAMAGE OF ABUTTING AREAS SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
3. ALL DEMOLITION MATERIALS SHALL BE LEGALLY DISPOSED OF OFFSITE.
4. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO INITIAL DEMOLITION.
5. CONTRACTOR SHALL HAVE WATER AVAILABLE FOR DUST CONTROL OR AN APPROVED DUST CONTROL AGENT.
6. MATERIAL STOCKPILE AREA SHALL BE AS NOTED ON SHEET 8 OF 10.



LOCUS MAP

SCALE: 1"=500'±

LEGEND

- PROPERTY LINE
- BUILDING ENTRANCE
- EXISTING CONTOUR
- GUARDRAIL
- DOUBLE YELLOW LINE
- CHAIN LINK FENCE
- GAS MAIN
- WATER MAIN
- SEWER LINE
- DRAINAGE LINE
- CATCH BASIN
- DRAIN MANHOLE
- SEWER MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- MANHOLE
- UTILITY HAND HOLE
- WATER SERVICE
- FIRE HYDRANT
- WATER GATE VALVE
- GAS GATE VALVE
- LIGHT POLE
- UTILITY POLE
- MONITORING WELL
- EXISTING SPOT GRADE
- TREE

LOCUS: ASSESSORS MAP 31, LOTS 232 & 239
PARCEL AREA: 41,035 SF
ZONING DISTRICT INDUSTRIAL B

OWNER:

LOT 232 *ALEXANDRE EL TOM, TRUSTEE*
ZGA REALTY TRUST
56 POTOMSKA STREET
NEW BEDFORD, MA 02740

LOT 239 *ALEXANDRE EL TOM, TRUSTEE*
NB18 REALTY TRUST
56 POTOMSKA STREET
NEW BEDFORD, MA 02740

DEED REFERENCE: *LOT 232*
BOOK 10633 PAGE 111
LOT 239
BOOK 10633 PAGE 91

No.	Revision Description	Date	Chkd. by	Apprvd. by

scale: 1"=20'
date: OCT. 29, 2018
drawn: NAD
checked: SDG
approved: SDG
sheet 7 of 10
drawing number: DEMO-1

project: ASSESSOR'S MAP 31 LOTS 232 & 239
56 POTOMSKA STREET
NEW BEDFORD, MASSACHUSETTS
client: ZGA REALTY TRUST
drawing title: DEMOLITION PLAN

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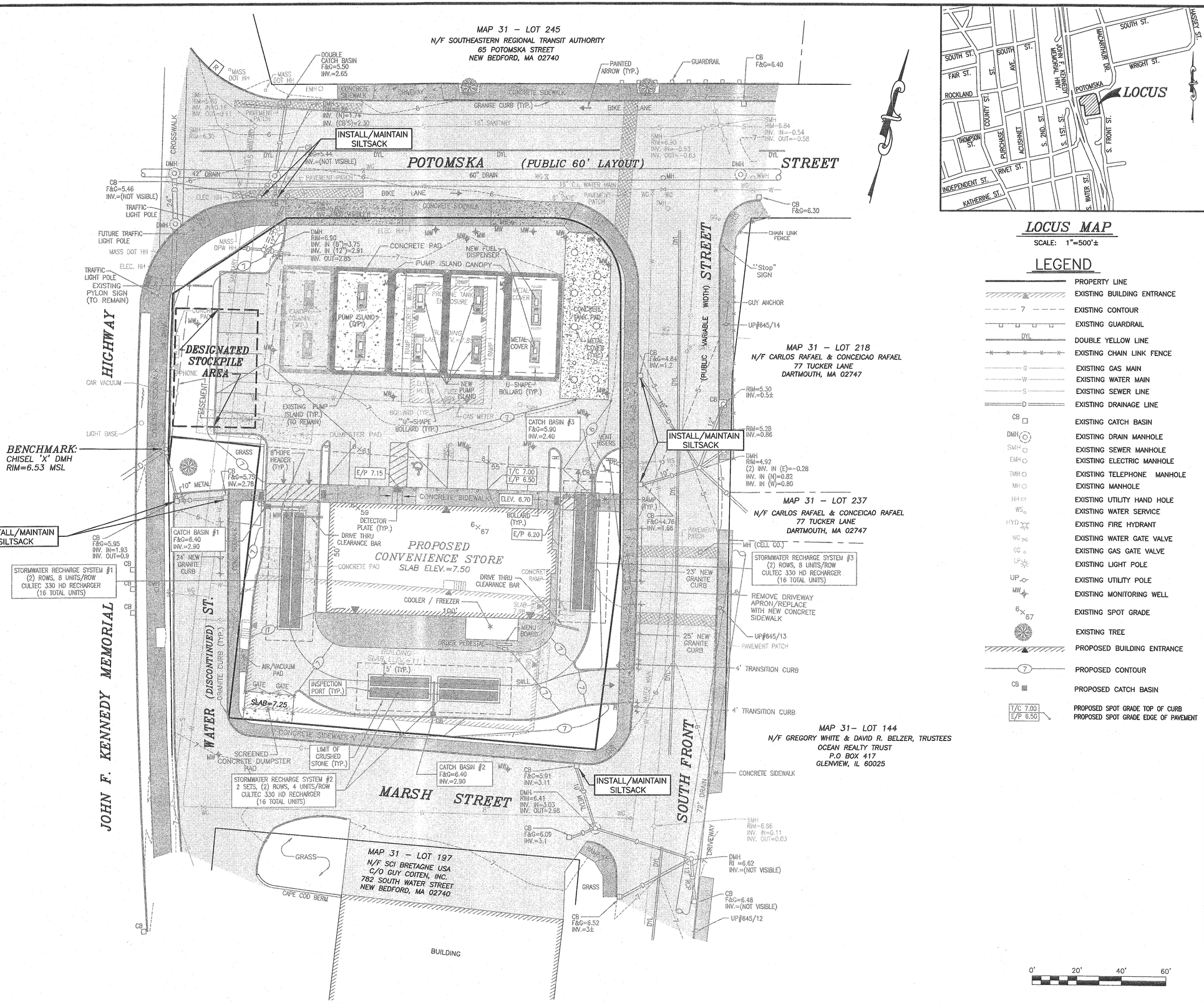
Acad No. NB 18-7018 DEMOLITION PLAN.DWG
File No. 18-7018



LOCUS MAP

SCALE: 1"=500'±

LEGEND

- PROPERTY LINE
- EXISTING BUILDING ENTRANCE
- 7 EXISTING CONTOUR
- EXISTING GUARDRAIL
- DYL DOUBLE YELLOW LINE
- EXISTING CHAIN LINK FENCE
- G EXISTING GAS MAIN
- W EXISTING WATER MAIN
- S EXISTING SEWER LINE
- D EXISTING DRAINAGE LINE
- CB EXISTING CATCH BASIN
- DMH EXISTING DRAIN MANHOLE
- SMH EXISTING SEWER MANHOLE
- EMH EXISTING ELECTRIC MANHOLE
- TMH EXISTING TELEPHONE MANHOLE
- MH EXISTING MANHOLE
- HH EXISTING UTILITY HAND HOLE
- WS EXISTING WATER SERVICE
- HYD EXISTING FIRE HYDRANT
- WG EXISTING WATER GATE VALVE
- GG EXISTING GAS GATE VALVE
- LP EXISTING LIGHT POLE
- UP EXISTING UTILITY POLE
- MW EXISTING MONITORING WELL
- 6×67 EXISTING SPOT GRADE
- EXISTING TREE
- PROPOSED BUILDING ENTRANCE
- 7 PROPOSED CONTOUR
- CB PROPOSED CATCH BASIN
- T/C 7.00 / E/P 6.50 PROPOSED SPOT GRADE TOP OF CURB / PROPOSED SPOT GRADE EDGE OF PAVEMENT

No.	Date	Revision Description	Chkd. by	Apprvd. by

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sheet 8 of 10
drawing number: ERCO-1

project: ASSESSOR'S MAP 31 LOTS 232 & 239
56 POTOMSKA STREET
NEW BEDFORD, MASSACHUSETTS

client: ZGA REALTY TRUST

drawing title: EROSION CONTROL PLAN

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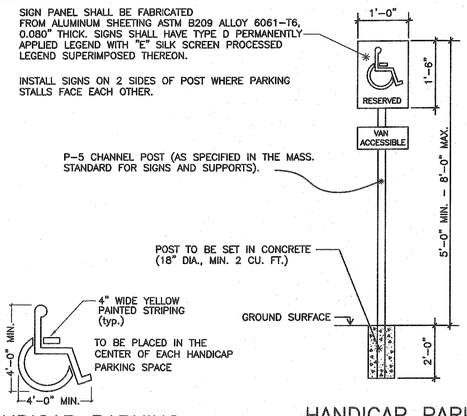
Acad No. NB 18-7018 EROSION CONTROL.DWG

File No. 18-7018

SIGN PANEL SHALL BE FABRICATED FROM ALUMINUM SHEETING ASTM B209 ALLOY 6061-T6, 0.080" THICK. SIGNS SHALL HAVE TYPE D PERMANENTLY APPLIED LEGEND WITH "E" SILK SCREEN PROCESSED LEGEND SUPERIMPOSED THEREON.

INSTALL SIGNS ON 2 SIDES OF POST WHERE PARKING STALLS FACE EACH OTHER.

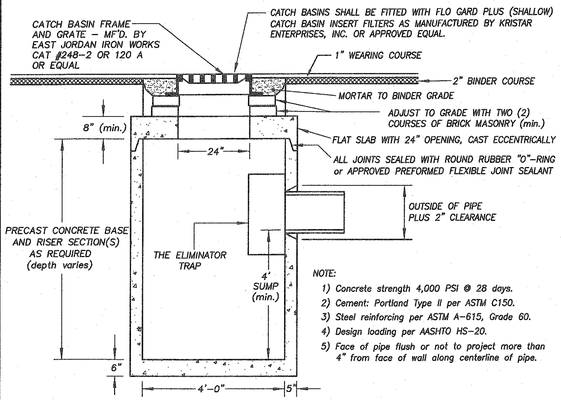


HANDICAP PARKING SPACE INDICATOR

NOT TO SCALE

HANDICAP PARKING SPACE SIGN

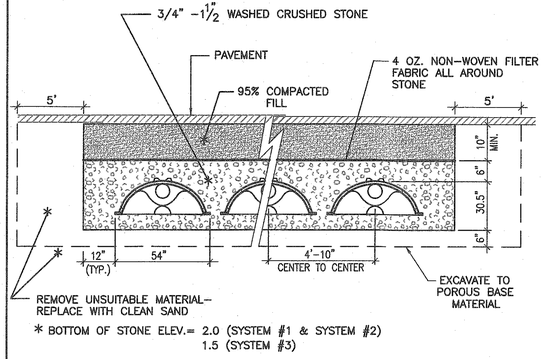
NOT TO SCALE



NOTE:
1) Concrete strength 4,000 PSI @ 28 days.
2) Cement: Portland Type II per ASTM C150.
3) Steel reinforcing per ASTM A-615, Grade 60.
4) Design loading per AASHTO HS-20.
5) Face of pipe flush or not to project more than 4" from face of wall along centerline of pipe.

PRECAST CONCRETE CATCH BASIN

NOT TO SCALE



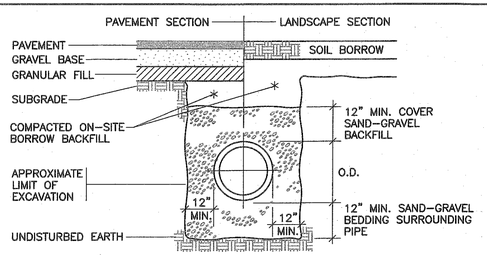
* BOTTOM OF STONE ELEV.= 2.0 (SYSTEM #1 & SYSTEM #2)
1.5 (SYSTEM #3)

CULTEC CONTACTOR 330HD TYPICAL CROSS SECTION DETAIL RECHARGE CHAMBER SYSTEM

NOT TO SCALE

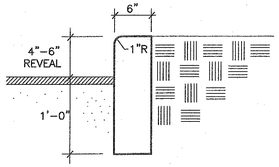
GENERAL NOTES:

1. CONTRACTOR SHALL NOTIFY DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. THESE PLANS ARE BASED ON FIELD AND RECORD INFORMATION AND, THEREFORE, MAY NOT COMPLETELY DEPICT ALL EXISTING UTILITIES.
3. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IMMEDIATELY IF FIELD CONDITIONS ARE FOUND TO DIFFER WITH THESE DRAWINGS.
4. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF THE ABUTTING AREA AND UTILITIES IN THE CONSTRUCTION OF THIS SITE. REPAIR OF DAMAGED PROPERTY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO COST TO THE OWNER.
5. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL CONSTRUCTION.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF PUBLIC INFRASTRUCTURE CONSTRUCTION SPECIFICATIONS, LATEST REVISION.
7. ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF NEW BEDFORD DPI STANDARDS.
8. DEVELOPER SHALL INSPECT EXISTING WATER AND SEWER SERVICES PRIOR TO USE.
9. THE PROPOSED CONCRETE SIDEWALK AND DRIVEWAY APRONS MUST MEET CURRENT A.D.A. AND CITY STANDARDS. THE PROPOSED DRIVEWAYS SHALL BE 6" CEMENT CONCRETE WITH 6"x6" GAUGE WIRE MESH.
10. ALL DRIVEWAY PERMITS ARE SUBJECT TO TRAFFIC COMMISSION APPROVAL. THE CONTRACTOR SHALL NOTIFY THE ENGINEERING DIVISION 24 HOURS IN ADVANCE TO ENSURE THE PROPOSED SIDEWALK AND DRIVEWAY APRONS AND WHEELCHAIR RAMPS WILL MEET THE CURRENT A.D.A. AND CITY OF NEW BEDFORD STANDARDS.
11. PERMITS FOR DRAINAGE, WATER, SIDEWALKS AND DRIVEWAYS MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC INFRASTRUCTURE (DPI) ENGINEERING DIVISION BY OWNER.
12. ALL UTILITY WORK TO BE CONDUCTED PER DPI SPECIFICATION.
13. THE DEVELOPER AND SITE CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE DEPARTMENT OF PUBLIC INFRASTRUCTURE PRIOR TO START OF CONSTRUCTION.
14. UPON COMPLETION OF THE PROJECT, THE ENGINEER MUST SUBMIT AS-BUILT DRAWINGS IN CADD FORMAT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
15. CONTRACTOR SHALL CUT AND CAP UNUSED SEWER AND WATER SERVICES IN ACCORDANCE WITH NEW BEDFORD REGULATIONS.
16. THE OWNER MUST SUBMIT A MAINTENANCE AGREEMENT FOR THE GREASE TRAP TO THE DPI.



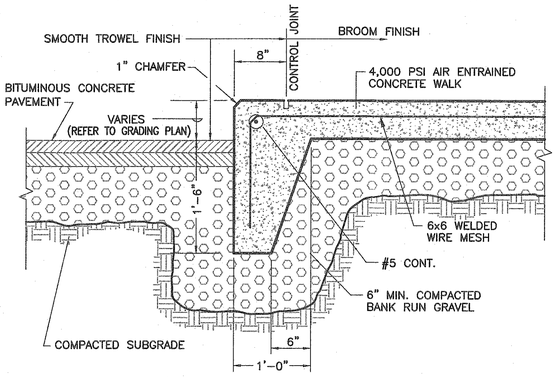
TYPICAL STORM DRAIN TRENCH SECTION

NOT TO SCALE



PRECAST CONCRETE CURB

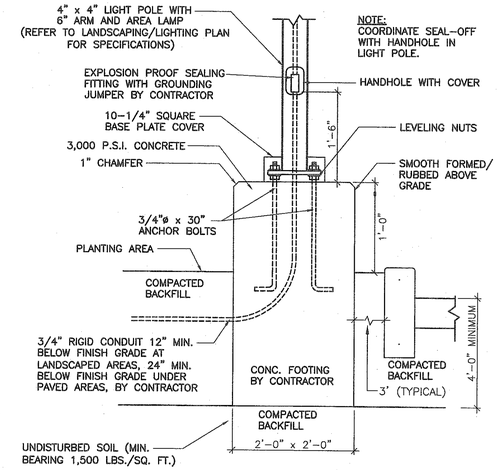
NOT TO SCALE



NOTE: PROVIDE CONTROL JOINT & EXPANSION AS REQUIRED FOR CONCRETE WALK.

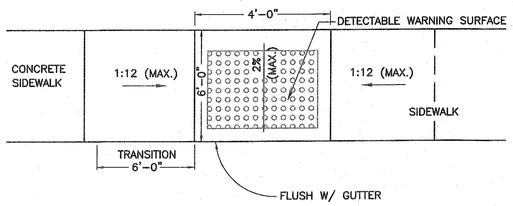
TYPICAL CONCRETE WALK-CURB DETAIL

NOT TO SCALE



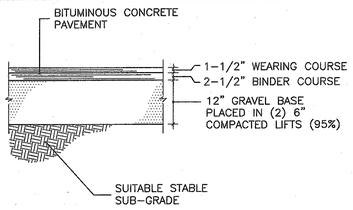
LIGHT POLE DETAIL

NOT TO SCALE



HANDICAP RAMP DETAIL

(NOT TO SCALE)



PAVING SECTION

NOT TO SCALE

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date: OCT. 29, 2018
drawn: NAD
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approved: SDG

sheet 9 of 10
drawing number: DET-1

project: ASSESSOR'S MAP 31 LOTS 232 & 239
56 POTOMSKA STREET
NEW BEDFORD, MASSACHUSETTS

client: ZGA REALTY TRUST

drawing title: DETAIL SHEET #1

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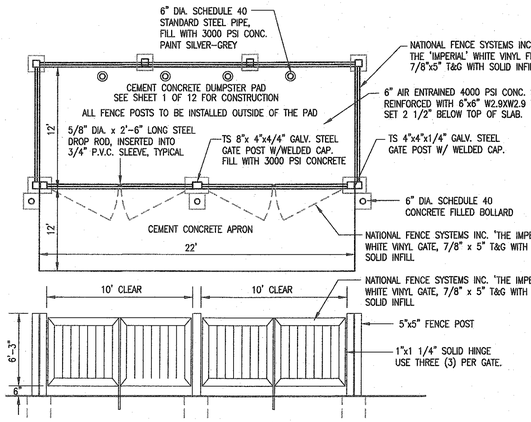
Acad No. NB 18-7018 DETAIL SHEET 1.DWG

File No. 18-7018



TRASH ENCLOSURE DETAIL

NOT TO SCALE

OPERATION & MAINTENANCE PLAN STORMWATER MANAGEMENT SYSTEM

1. Stormwater Management Owner:
   ZGA REALTY TRUST
   56 POTOMSKA STREET
   NEW BEDFORD, MA 02740

2. Responsible Parties:
   During the construction period, the Owner's contractor will be responsible for the Operation/Maintenance of the system. When the construction is accepted, the responsibility for the maintenance will shift to the System Owner.

3. Schedule for Inspection/Maintenance:
   A. The Stormwater Management System shall be inspected annually and cleared of debris, sediment and vegetation when they affect the functioning and/or design capacity of the system. The inspection should be made during wet weather conditions.
   B. Where lack of maintenance is causing or contributing to a water quality problem, immediate action shall be taken by the Owner to correct the problem.
   C. Catch basins shall be inspected twice per year and cleaned as needed. Flow Guard units shall be maintained in accordance with the manufacturer's recommendations.
   D. All actions required to maintain the stormwater management system for the purpose it was designed and constructed must be performed within 30 days following the maintenance inspection.
   E. During construction, the contractor shall inspect all erosion control barriers and drainage structures after every rainfall event. The erosion control barriers shall be repaired as needed and accumulated silt and debris shall not be allowed to wash into the adjacent resource area. After all construction is completed, the project area shall be cleared of any sediment or debris.

4. Access
   Access to the stormwater system will be available from the parking lot.

5. Public Safety
   The Contractor will comply with all OSHA regulations during construction. Competent and trained personnel will accomplish the cleaning of the drainage swales.

6. Illicit Discharge Compliance
   The project, as designed, does not include any illicit discharges to the stormwater management system or the environment in general. There will be no hazardous materials stored in the project area and there are no wastewater discharge streams associated with this project.

7. Funding for O/M
   The cost of maintenance shall be the responsibility of the owner. The projected annual inspection / maintenance cost is approximately $1,000.

GENERAL SITE CONTROLS

1. Waste Disposal
All waste materials will be collected and stored in a securely lidded metal dumpster from a licensed contractor. The dumpster will be emptied a minimum of once per week or as necessary. No construction waste is to be buried on site. All personnel will be instructed regarding the correct procedure for waste disposal. The individual, who manages the day-to-day site operations, will be responsible for seeing these procedures are followed.

2. Hazardous Waste
All hazardous waste materials will be disposed of in a manner specified by Local, State, Federal regulation and in accordance with any manufacturer's recommendations.

3. Sanitary Waste
All sanitary waste will be collected in portable units installed on site. The portable units will be cleaned and emptied by a qualified licensed contractor.

4. Concrete Waste
All concrete washings will be disposed of in a designated area away from wetlands and any property line. When the concrete hardens it will be removed from the site.

5. Good Housekeeping Practices
A) Store only enough products on site to do the job.
B) All materials stored outside will be stored in a neat, orderly manner in the original containers.
C) Products will be kept in their original container with the original manufacturer's label.
D) The site contractor will inspect daily to ensure proper use and disposal of materials onsite.

6. Product Specific Practices
A) Petroleum Products:
   1. Refueling vehicles will be DOT Certified and have SPCC Plans in place and contain emergency equipment to contain and clean up small spills.
   2. All on site construction vehicles will be inspected for leaks and receive regular preventative maintenance to reduce the chance of leakage.
   3. Petroleum products will be stored in tightly sealed containers, which are properly marked.

B) Fertilizers:
   1. All fertilizers will be stored in a dry protected area and only used according to manufacturer's recommendation.

C) Concrete Trucks:
   1. The site contractor is responsible for designating a safe area, away from abutting property and resource areas, for excess concrete disposal.

7. Spill Control Practices
In addition to the good housekeeping and material management practices discussed in the previous sections of this plan, the following practices will be followed for Spill Prevention and clean up during construction:

1. Manufacturer's recommended methods for spill clean up will be clearly posted and site personnel will be made aware of the procedures and the location of the information and cleanup supplies.
2. All spills will be cleaned up immediately after discovery.
3. If any threat of explosion or life threatening condition, all personnel will be evacuated from the area to a safe location and the site supervisor shall contact the local fire department for assistance.
4. The spill area will be ventilated and personnel will wear appropriate protective clothing to prevent injury from contact with a hazardous substance.
5. The site contractor responsible for day-to-day operations will be the spill prevention and clean up coordinator. He will designate at least three other site personnel who will receive spill prevention and cleanup training. These individuals will each become responsible for a particular phase of prevention and cleanup.

EROSION & SEDIMENTATION CONTROL PROGRAM

1. All Sediment and Erosion Control measures shall be executed in accordance with the following requirements and the NPDES Stormwater Pollution Prevention Plan. (SWPPP).
2. Those areas undergoing actual construction will be left in an untreated or unvegetated condition for a minimum time. Areas shall be permanently stabilized within 15 days of final grading and temporarily stabilized within 30 days of initial disturbance if the disturbance is within 100 feet of a wetland resource area.
3. Sediment barriers (Silt Fence) shall be installed prior to any soil disturbance of the upgradient contributing drainage area. Mulch netting shall be used to anchor mulch in all areas with slopes greater than 8.0% after October 1st if permanent stabilization has not occurred. Silt fencing shall be anchored to supplemental steal posts set 8 feet on center.
4. Construction to commence in a phased manner as appropriate.
5. All control measures will be inspected at least once each week and following any storm event of 0.5 inches of precipitation or greater.
6. All measures will be maintained in good working order; if repair is necessary, it will be initiated within 24 hours of report.
7. Built up sediment will be removed from the erosion control silt fence when it has reached one-third the height of the fence or bale.
8. Silt fence will be inspected for depth of sediment, tears and to see if fabric is securely attached to the fence posts, and the posts are firmly in the ground.
9. Any temporary sediment basin used will be inspected for depth of sediment. Any build up of sediment will be removed when it reaches 10% of the design capacity or at the completion of the project.
10. Temporary and permanent seeding and planting will be inspected for bare spots, washouts and healthy growth. Reseed as necessary.
11. No slopes, either permanent of temporary, shall be steeper than two to one (2 to 1) unless noted otherwise. All final vegetated slopes shall be 3:1 or less.
12. If final seeding of the disturbed areas is not completed 45 days prior to the first killing frost, use temporary mulch or dormant seeding to protect the site and delay seeding until the next recommended seeding period.
13. Temporary seeding of disturbed areas that have not been final graded shall be completed 45 days prior to the first killing frost to protect from spring runoff problems.
14. Revegetation measures will commence upon completion of construction except as noted above. All disturbed areas not otherwise stabilized will be graded, smoothed, and prepared for final seeding as follows:
    A) The topsoil shall have sandy loam texture relatively free of subsoil material, stones, roots, lumps of soil, tree limbs, trash or construction debris, and shall be placed to a minimum depth of four (4) inches on all loam and seed areas or as specified on the drawings.
    B) Apply fertilizer at a rate of 650 lb per acre or 14.9 lb per 1,000 SF Apply ground limestone (equivalent to 50% calcium plus magnesium oxide) at manufacturer's recommended rate.
    C) The design mix for seeding shall be in accordance with Landscape Plan Design. The seed mix shall be inoculated twenty-four (24) hours before mixing and planting, with appropriate inoculum for each variety.
15. All temporary erosion control measures shall be removed once the site is stabilized to the satisfaction of the Project Engineer and the Conservation Commission.
16. The contractor must repair or reseed any areas that do not develop within the period of one year and shall do so at no additional expense to the owner.
17. The normal acceptable seasonal seeding dates are April 1st through June 15th and August 15th through September 30th.
18. Stockpiles of topsoil shall not be located near the wetlands. They shall have side slopes no greater than 1:1. An erosion control barrier shall be set on the down gradient edge of all stockpile areas.
19. A maintenance and inspection report will be made after each inspection. A copy of the report form completed by the inspector shall be kept on site.
20. Construction site supervisor will be responsible for training workers in all inspection and maintenance practices necessary for keeping erosion and sediment controls in good working order.

No.	Date	Revision Description	Chkd. by:	Apprvd. by:

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sheet 10 of 10
drawing number: DET-2

project: ASSESSOR'S MAP 31 LOTS 232 & 239
56 POTOMSKA STREET
NEW BEDFORD, MASSACHUSETTS

client: ZGA REALTY TRUST

drawing title: DETAIL SHEET #2

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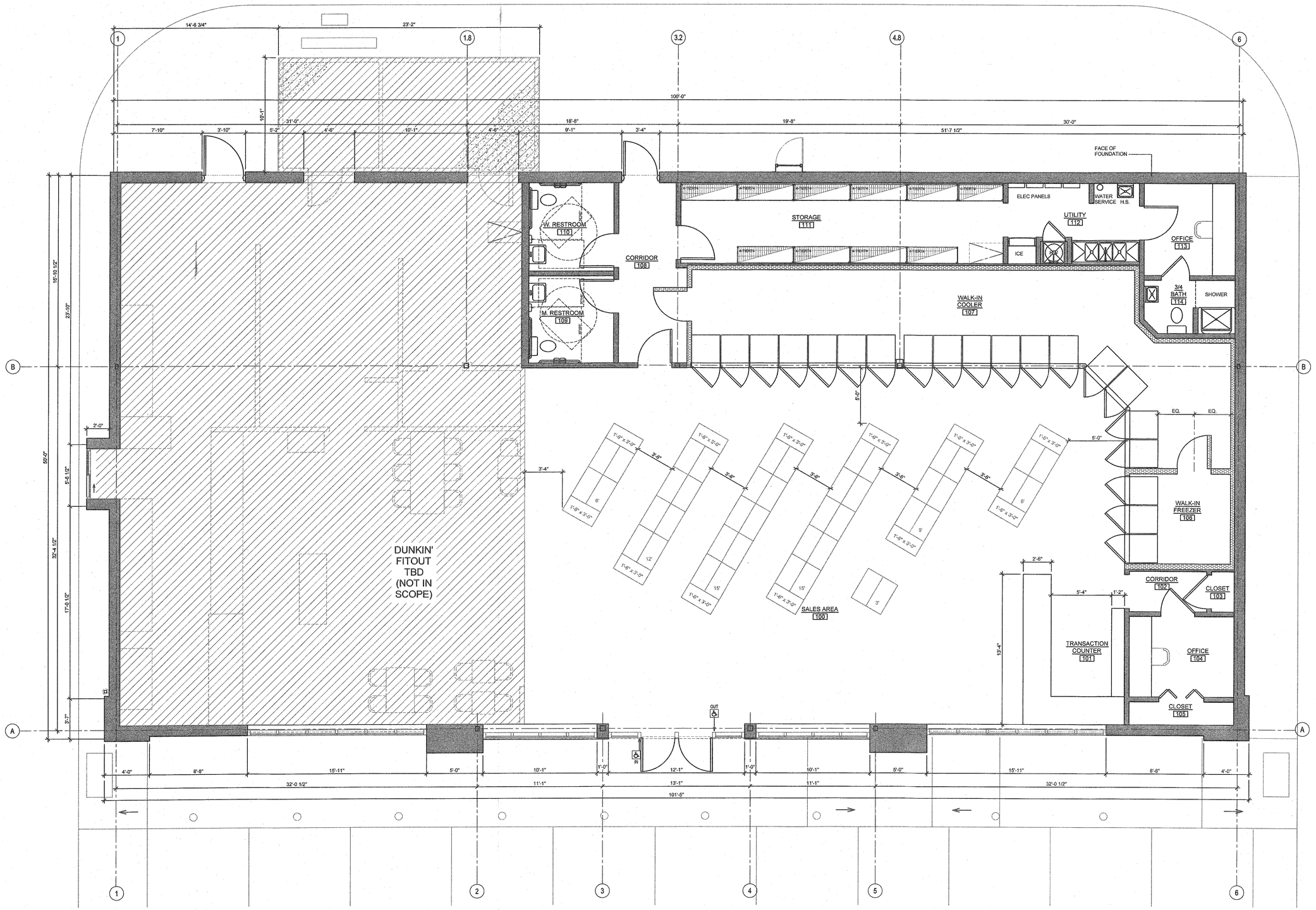
Acad No. NB 18-7018 DETAIL SHEET 2.DWG
File No. 18-7018



FLOOR PLAN 1/4" = 1'-0" 1

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250 E. MAIN STREET - SUITE 13
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331 SOUTH WASHINGTON STREET
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REVISIONS: X

NUMBER:	REMARKS:	DATE:

ISSUED FOR:	DATE ISSUED:
CLIENT REVIEW	12.03.18

PROJECT TITLE:

PETROLEUM PRODUCTS

56 POTOMSKA STREET
NEW BEDFORD, MASSACHUSETTS

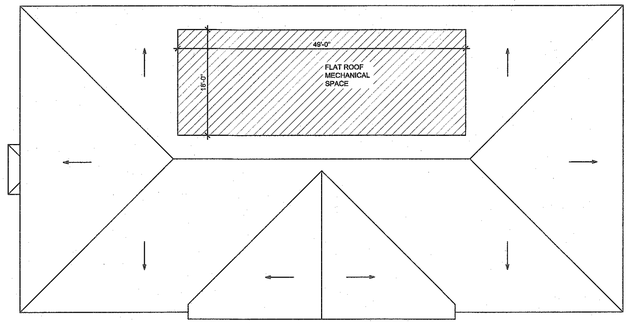
DRAWING TITLE:

FLOOR PLAN

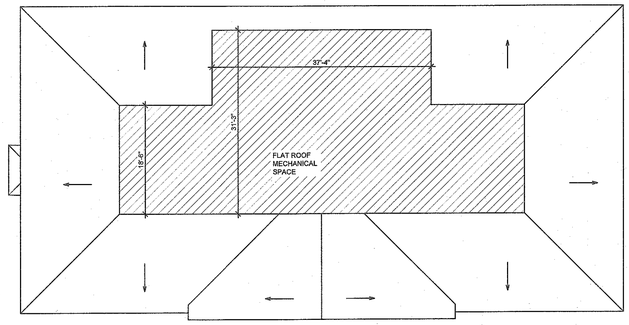
PERMIT DWG DATE:	PROJECT NUMBER:
XX-XX-XX	18.01.020
DRAWN BY: MEC	CHECKED BY: GJS

DRAWING NUMBER:

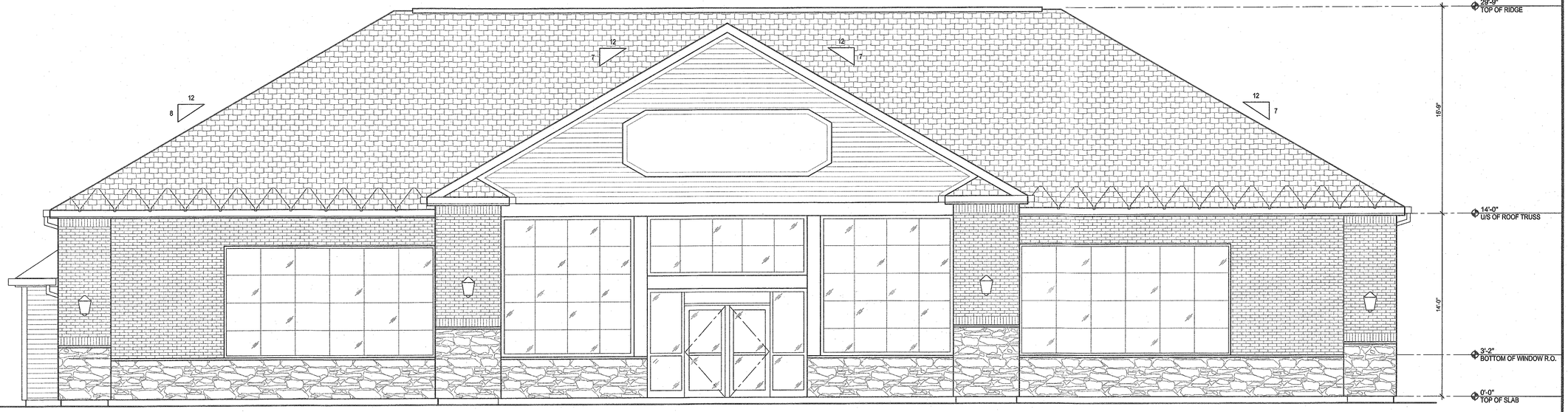
A100



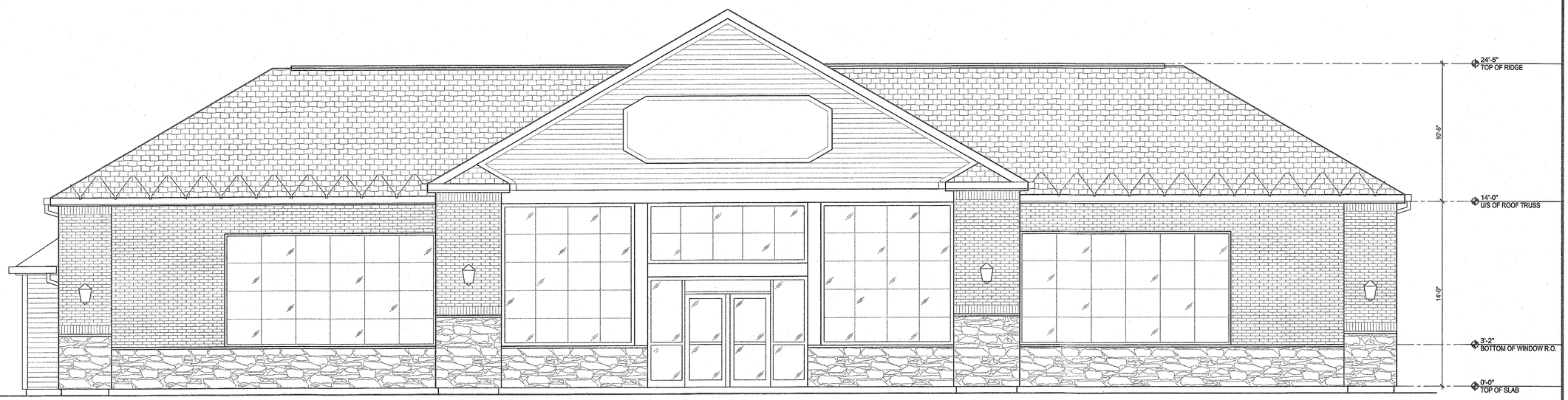
ALTERNATE ROOF PLAN NTS | A



ALTERNATE ROOF PLAN NTS | B



FRONT ELEVATION 1/4" = 1'-0" | 1



ALTERNATE FRONT ELEVATION 1/4" = 1'-0" | 2

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NUMBER:	REMARKS:	DATE:

ISSUED FOR:	DATE ISSUED:
CLIENT REVIEW	12.03.18

PROJECT TITLE:

PETROLEUM PRODUCTS

56 POTOMSKA STREET
NEW BEDFORD, MASSACHUSETTS

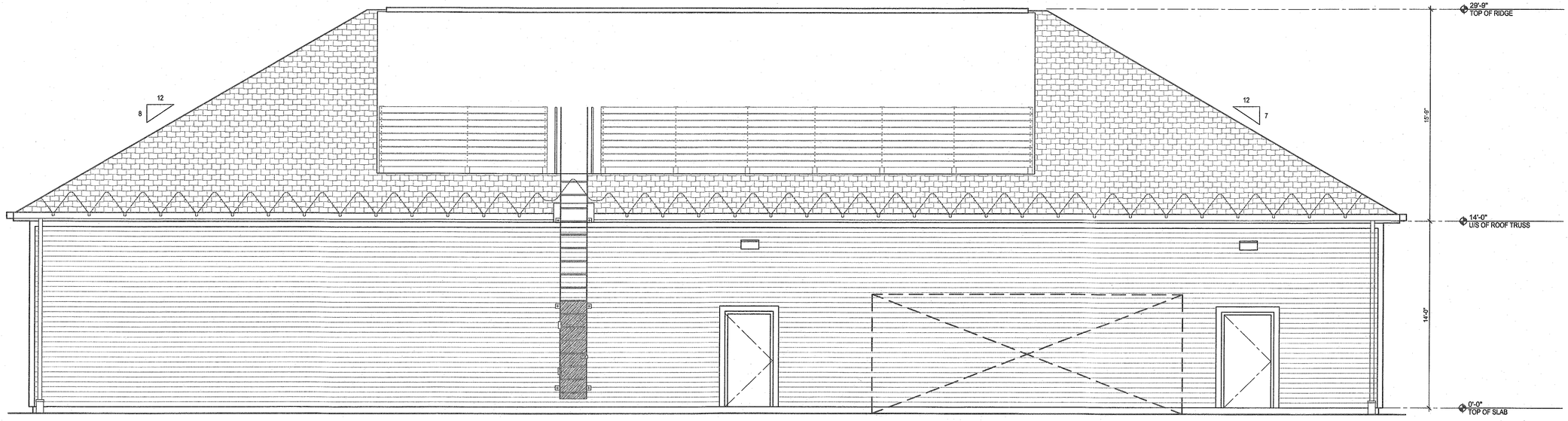
DRAWING TITLE:

EXTERIOR ELEVATIONS

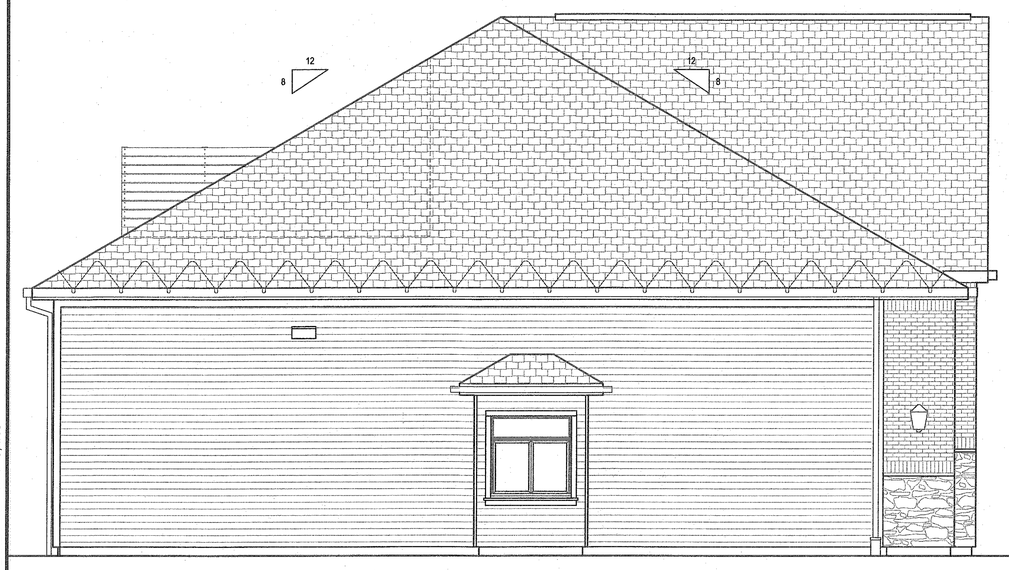
PERMIT DWG DATE:	PROJECT NUMBER:
XX-XX-XX	18.01.020
DRAWN BY: MEC	CHECKED BY: GJS

DRAWING NUMBER:

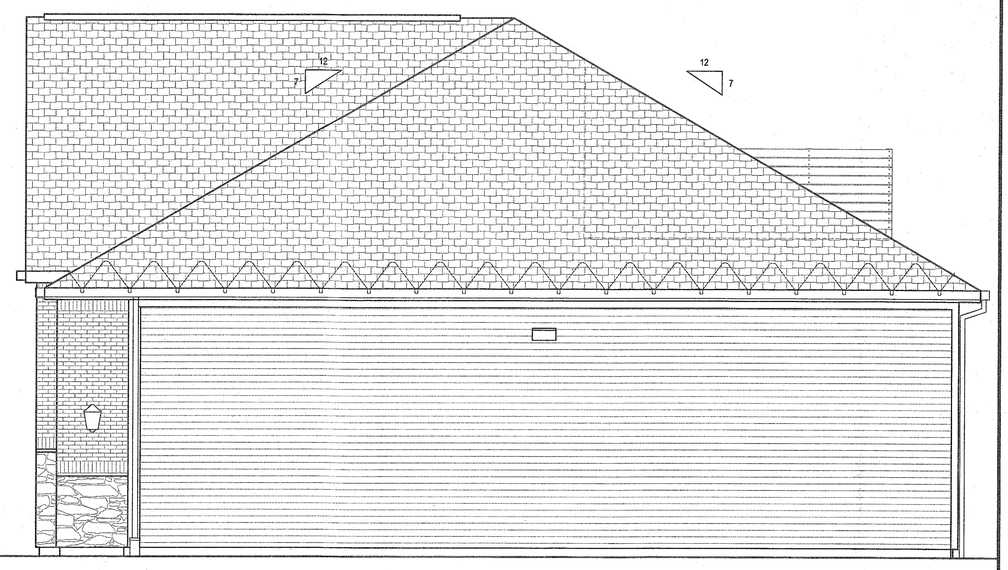
A300



REAR ELEVATION 1/4" = 1'-0" | 1



LEFT SIDE ELEVATION 1/4" = 1'-0" | 2



RIGHT SIDE ELEVATION 1/4" = 1'-0" | 3

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REVISIONS:

NUMBER:	REMARKS:	DATE:

ISSUED FOR:	DATE ISSUED:
CLIENT REVIEW	12.03.18

PROJECT TITLE:

PETROLEUM PRODUCTS

56 POTOMSKA STREET
NEW BEDFORD, MASSACHUSETTS

DRAWING TITLE:

EXTERIOR ELEVATIONS

PERMIT DWG DATE:	PROJECT NUMBER:
XX-XX-XX	18.01.020
DRAWN BY: MEC	CHECKED BY: GJS

DRAWING NUMBER:

A301