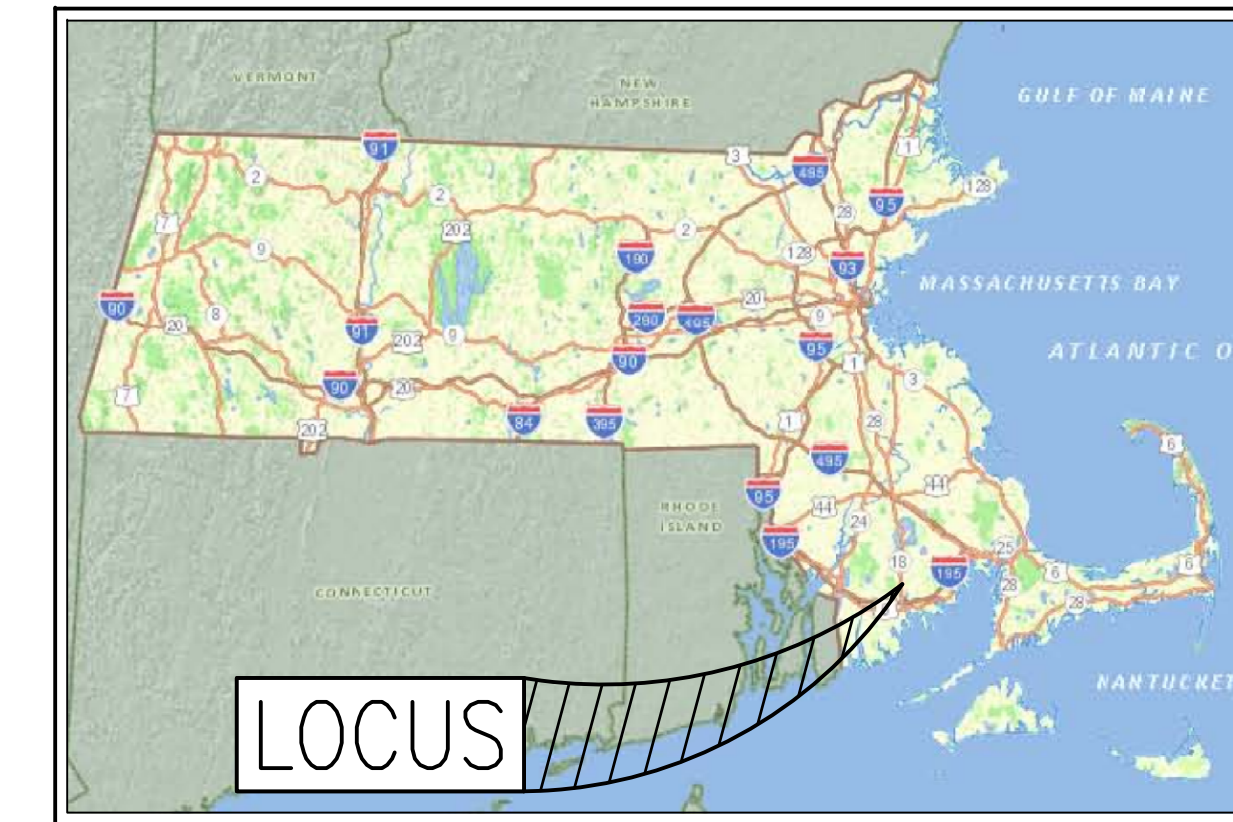


S I T E P L A N



2904 & 2914 ACUSHNET AVENUE ASSESSORS MAP 130D LOTS 117,247,248 AND 447 NEW BEDFORD, MASSACHUSETTS



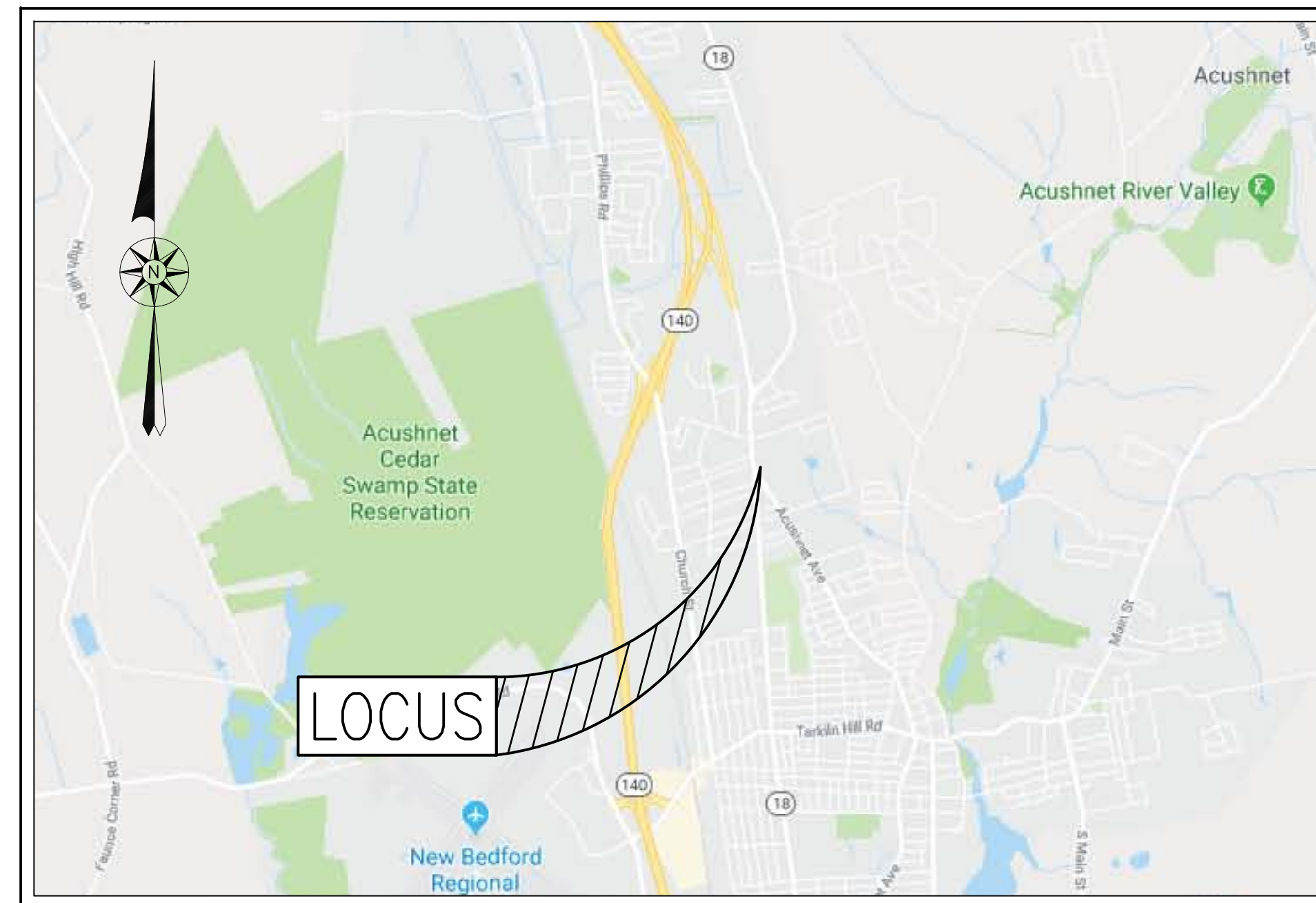
— STATE LOCUS —

— I N D E X —

| SHEET | DESCRIPTION |
|----------|--|
| CFG0.0 | COVER SHEET |
| CFG1.0 | GENERAL NOTES |
| CFG2.0 | EXISTING CONDITIONS PLAN |
| CFG2.1 | EXISTING CONDITIONS PLAN |
| CFG3.0 | SITE DEMOLITION PLAN |
| CFG4.0 | SITE PLAN |
| CFG5.0 | SITE GRADING & DRAINAGE PLAN |
| CFG6.0 | SITE EROSION & SEDIMENTATION CONTROL PLAN |
| CFG7.0 | SITE UTILITY PLAN |
| SL | CREDIT UNION PLAN |
| CFG8.0 | SITE LANDSCAPING PLAN |
| CFG9.0 | SITE CONSTRUCTION DETAILS 1 |
| CFG9.1 | SITE CONSTRUCTION DETAILS 2 |
| CFG9.2 | SITE CONSTRUCTION DETAILS 3 |
| CFG10.0 | SITE LIGHTING PLAN |
| CFG10.1 | SITE LIGHTING PLAN DETAILS |
| CFG12.0 | CANOPY ELEVATIONS |
| CFG12.1 | CANOPY DETAILS |
| CFG13.0 | SIGN DRAWING |
| CFG13.1 | SIGN DRAWING |
| CFG13.2 | SIGN DETAILS |
| A101 | FLOOR PLAN |
| A130 | EXTERIOR REFLECTED CEILING PLAN |
| A200 | EXTERIOR ELEVATIONS |
| A201 | EXTERIOR ELEVATIONS |
| X101 | UTILITY COORDINATION |
| CW-A-100 | FLOOR PLAN AND EXTERIOR REFLECTED CEILING PLAN |
| CW-A-200 | EXTERIOR ELEVATIONS |
| CW-X-101 | UTILITY COORDINATION PLAN |

LEGEND

| EXISTING | PROPOSED |
|----------|-------------------------------|
| —○— | —+101.1— |
| — — | —EOP— |
| —X— | —VGC— |
| —△— | —SGC— |
| —○— | —VCC— |
| —□— | —BCC— |
| —W— | —CCB— |
| —X— | —STONE WALL— |
| —X— | —CHAIN LINK FENCE— |
| —△— | —IRON FENCE— |
| —○— | —POST & RAIL FENCE— |
| —□— | —STOCKADE FENCE— |
| —□— | —GUARD RAIL— |
| —□— | —HAY BALES— |
| —W— | —WATER LINE— |
| —○— | —FIRE HYDRANT— |
| —○— | —POST INDICATOR VALVE— |
| —X— | —WATER GATE— |
| —○— | —WATER METER PIT— |
| —□— | —IRRIGATION HAND HOLE— |
| —○— | —WELL— |
| —S— | —SEWER LINE— |
| —○— | —SEWER MANHOLE— |
| —G— | —GAS LINE— |
| —□— | —GAS METER— |
| —□— | —GAS GATE— |
| —D— | —DRAIN LINE— |
| —○— | —DRAIN MANHOLE— |
| —□— | —CATCH BASIN— |
| —OHW— | —OVERHEAD WIRES— |
| —EFC— | —ELECTRIC, TELEPHONE & CABLE— |
| —○— | —UTILITY POLE— |
| — — | —GUY WIRE— |



— AREA MAP —
SCALE: 1"=2,000'±

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|--------|--------------|
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DESIGNED BY: CAF
CHECKED BY: CAF

SITE PLAN

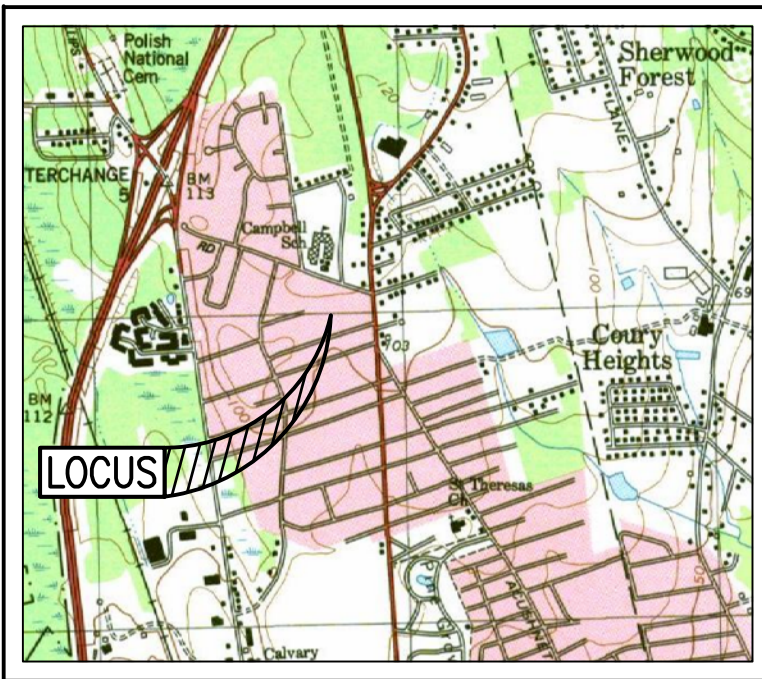
2904 & 2914 ACUSHNET AVENUE
ASSESSORS MAP 130D LOTS 117, 247, 248, & 447
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:
T.M. CROWLEY & ASSOCIATES
14 BREAKNECK HILL ROAD, SUITE 101
LINCOLN, RI 02865

NOVEMBER 7, 2018
SCALE: AS NOTED
JOB NO. 17-1134
LATEST REVISION:
120718

COVER SHEET
CFG00.0

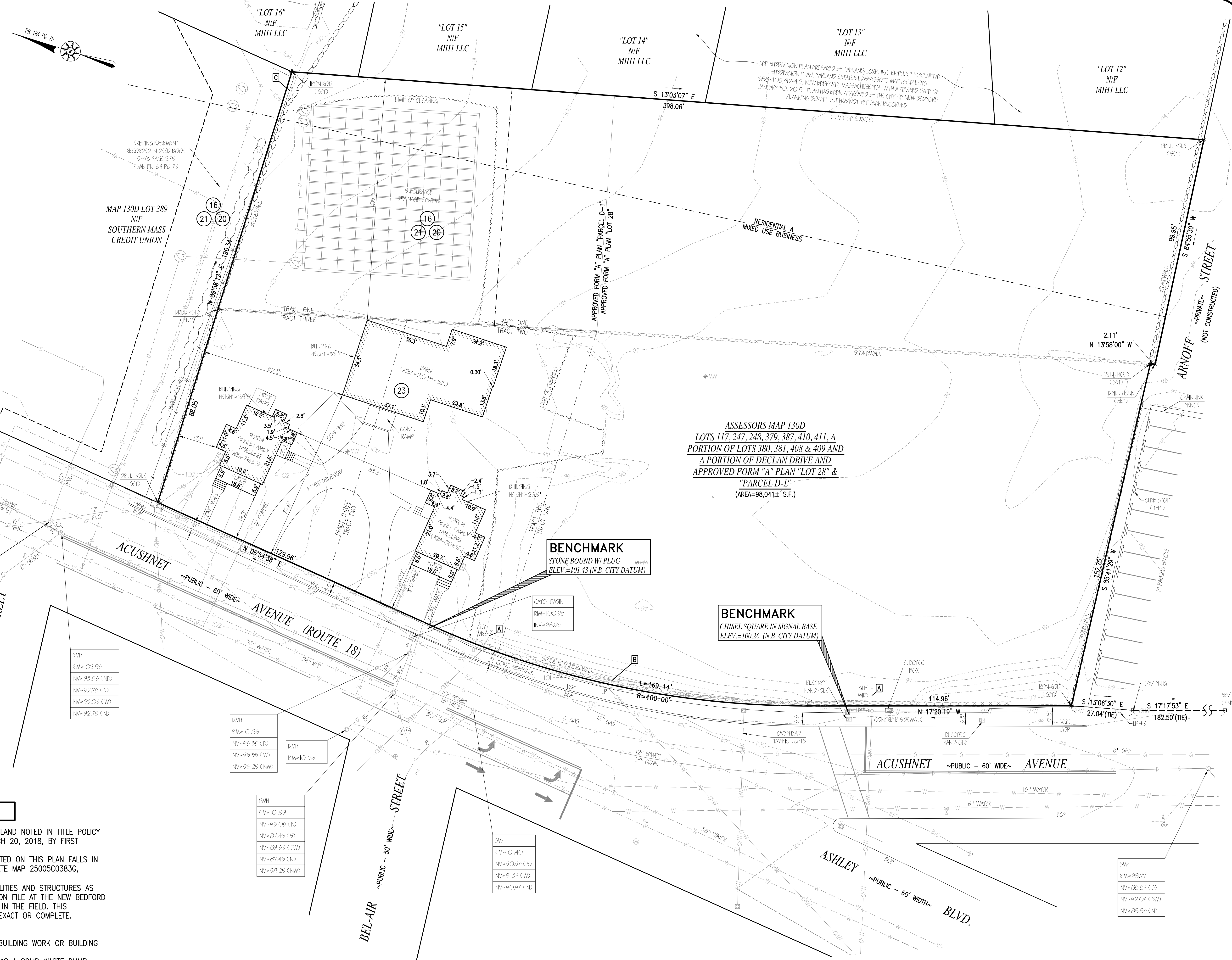
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LOCUS MAP SCALE: 1"=2,000'±

LEGEND

| EXISTING | DESCRIPTION |
|-------------------|-----------------------------|
| --- (dashed line) | CONTOUR LINE |
| --- (dashed line) | EDGE OF PAVEMENT |
| --- (dashed line) | VERTICAL GRANITE CURB |
| --- (dashed line) | WATER LINE |
| --- (dashed line) | GAS LINE |
| --- (dashed line) | ELECTRIC, TELEPHONE & CABLE |
| --- (dashed line) | OVERHEAD WIRES |
| --- (dashed line) | DRAIN LINE |
| --- (dashed line) | GRAVITY SEWER |
| --- (dashed line) | FENCE |
| --- (dashed line) | HYDRANT |
| --- (dashed line) | WATER GATE |
| --- (dashed line) | GAS GATE |
| --- (dashed line) | UTILITY POLE |
| --- (dashed line) | CATCH BASIN |
| --- (dashed line) | DRAIN MANHOLE |
| --- (dashed line) | SEWER MANHOLE |
| --- (dashed line) | ELECTRIC MANHOLE |
| --- (dashed line) | GAS METER |
| --- (dashed line) | TRAFFIC LIGHT POLE |



ASSESSORS MAP 130D
 LOTS 117, 247, 248, 379, 387, 410, 411, A
 PORTION OF LOTS 380, 381, 408 & 409 AND
 A PORTION OF DECLAN DRIVE AND
 APPROVED FORM "A" PLAN "LOT 28" &
 "PARCEL D-1"
 (AREA=98,041± S.F.)

BENCHMARK
 STONE BOUND W/ PLUG
 ELEV.=101.43 (N.B. CITY DATUM)

BENCHMARK
 CHISEL SQUARE IN SIGNAL BASE
 ELEV.=100.26 (N.B. CITY DATUM)

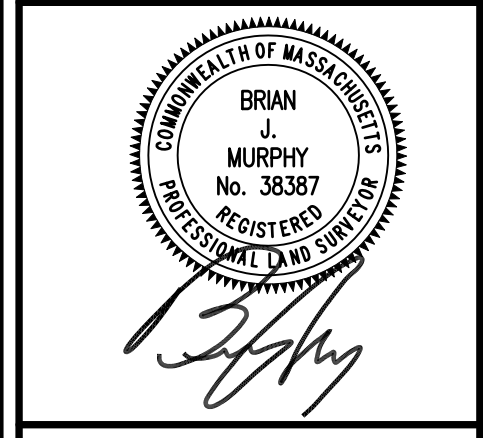
NOTES

1. THE LOT SHOWN ON THIS PLAN IS A PORTION OF LAND NOTED IN TITLE POLICY COMMITMENT NO. NCS-896380-H0U1, DATED MARCH 20, 2018, BY FIRST AMERICAN TITLE INSURANCE COMPANY.
2. BY GRAPHIC PLOTTING ONLY, THE PROPERTY DEPICTED ON THIS PLAN FALLS IN ZONE X, AS SHOWN ON THE FLOOD INSURANCE RATE MAP 25005C0383G, EFFECTIVE DATE: JULY 16, 2014.
3. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS ON FILE AT THE NEW BEDFORD DPI, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.
4. NO STRIPED PARKING SPACES WERE OBSERVED.
5. NO WETLAND MARKERS WERE OBSERVED.
6. NO EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING WORK OR BUILDING ADDITIONS.
7. THERE IS NO EVIDENCE OF THE SITE BEING USED AS A SOLID WASTE DUMP, SUMP, OR SANITARY LANDFILL.
8. SUBJECT PROPERTY HAS PHYSICAL ACCESS ACUSHNET AVENUE (A.K.A ROUTE 18).
9. SURVEYORS LEGAL DESCRIPTION WAS PREPARED TO CLARIFY OVERALL BOUNDARY OF SURVEYED PROPERTY.

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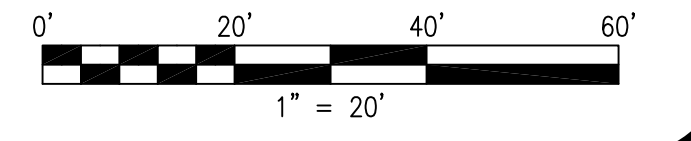
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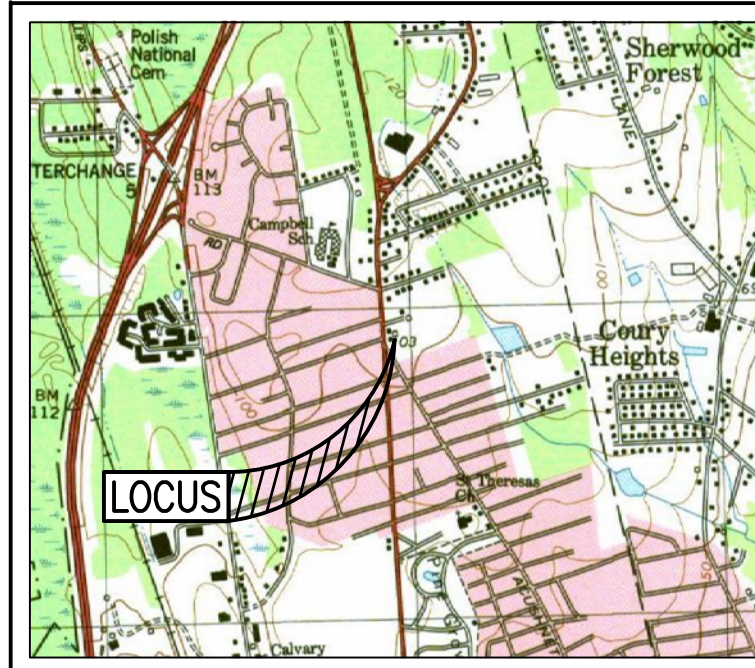
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SITE PLAN
 2904 & 2914 ACUSHNET AVENUE
 ASSESSORS MAP 130D LOTS 117, 247, 248, & 447
 NEW BEDFORD, MASSACHUSETTS
 PREPARED FOR:
 T.M. CROWLEY & ASSOCIATES
 14 BREAKNECK HILL ROAD, SUITE 101
 LINCOLN, RI 02865

NOVEMBER 7, 2018
 SCALE: 1"=20'
 JOB NO. 17-1134
 LATEST REVISION:
 120718

ALTA/NSPS LAND TITLE SURVEY
 CFG02.0





LOCUS MAP SCALE: 1"=2,000'±

LEGAL DESCRIPTION

REAL PROPERTY IN THE CITY OF NEW BEDFORD, COUNTY OF BRISTOL, COMMONWEALTH OF MASSACHUSETTS, DESCRIBED AS FOLLOWS:

AS TO TRACT ONE: ASSESSOR'S PARCEL 130D-117, 379, 380, 381, 387, 408, 409, 410 AND 411, NEW BEDFORD, MA

ASSESSOR'S PARCELS 130D-117, 379, 380, 381, 387, 408, 409, 410, 411 AND PART OF DECLAN DRIVE. SAID ASSESSOR'S PARCELS ARE A PORTION OF PARCELS A AND B SHOWN ON PLAN ENTITLED "SUBDIVISION OF LAND IN NEW BEDFORD, MASS., BELONGING TO ABIAH C. DEVOLL, TR.", DATED AUGUST 5, 1968 BY E.J. ENGINEERING CO., INC., RECORDED WITH SAID DEEDS, PLAN BOOK 82, PLAN 70 AND PARCEL C SHOWN ON PLAN ENTITLED "SUBDIVISION OF LAND IN NEW BEDFORD, MASS., BELONGING TO ODELIE CHAPDELAINE", DATED NOV. 10, 1975 BY GERALD MICHAEL FITZGERALD, REGISTERED LAND SURVEYOR, RECORDED WITH SAID DEEDS, PLAN BOOK 96, PLAN 23.

SEE ALSO PLAN ENTITLED "DEFINITIVE SUBDIVISION PLAN, STONEY BROOK FARM, NEW BEDFORD, MA.", DATED MAY 11, 2017 BY CAVANARO CONSULTING, RECORDED WITH SAID DEEDS, PLAN BOOK 177, PLAN 19 WHEREIN SAID ASSESSOR'S PARCELS ARE SHOWN AS PARCEL D, LOT 16 AND A PORTION OF LOTS 5, 6, 7 AND 8.

AS TO TRACT TWO: ASSESSOR'S PARCELS 130D-247, NEW BEDFORD, MA

PARCEL B SHOWN ON A PLAN ENTITLED "SUBDIVISION OF LAND IN NEW BEDFORD, MASS., BELONGING TO ODELIE CHAPDELAINE", DATED NOV. 10, 1975 BY GERALD MICHAEL FITZGERALD, REGISTERED LAND SURVEYOR, RECORDED WITH SAID DEEDS, PLAN BOOK 96, PLAN 23.

SAID PARCEL IS ALSO SHOWN AS "N/F BURGESS" ON ABOVE REFERENCED SUBDIVISION PLAN AT PLAN BOOK 177, PLAN 19.

AS TO TRACT THREE: ASSESSOR'S PARCELS 130D-248, NEW BEDFORD, MA

PARCEL A SHOWN ON PLAN ENTITLED "SUBDIVISION OF LAND IN NEW BEDFORD, MASS., BELONGING TO ODELIE CHAPDELAINE", DATED NOV. 10, 1975 BY GERALD MICHAEL FITZGERALD, RECORDED WITH SAID DEEDS, PLAN BOOK 96, PLAN 23.

SAID PARCEL IS ALSO SHOWN AS "N/F CHAPDELAINE" ON ABOVE REFERENCED SUBDIVISION PLAN AT PLAN BOOK 177, PLAN 19.

RECORD OWNERS

TITLE COMMITMENT PARCEL ONE
ASSESSOR'S PARCELS 130D-117, 379, 387, 410, 411, A PORTION OF PARCELS 130D-380, 381, 408 & 409 AND A PORTION OF DECLAN DRIVE NEW BEDFORD, MA. FORM-A PLAN ENTITLED "ACUSHNET AVENUE, ASSESSORS MAP 130D LOTS 117, 379-387,407-411, NEW BEDFORD, MASSACHUSETTS" DATED DECEMBER 14, 2017.
MIH1 LLC
401 COUNTY STREET
NEW BEDFORD, MA 02740
DEED BOOK 12304 PAGE 200

TITLE COMMITMENT PARCEL TWO
ASSESSORS MAP 130D LOT 247
KEVIN BURGESS
2904 ACUSHNET AVENUE
NEW BEDFORD, MA 02745
DEED BOOK 11105 PAGE 298
PLAN BOOK 96 PAGE 23

TITLE COMMITMENT PARCEL THREE
ASSESSORS MAP 130D LOT 248
NEIL A. AND ERICA S. MEUNIER
2914 ACUSHNET AVENUE
NEW BEDFORD, MA 02745
DEED BOOK 8991 PAGE 270
PLAN BOOK 96 PAGE 23

PLAN REFERENCES

PLAN BOOK 82 PLAN 70
PLAN BOOK 96 PLAN 23
PLAN BOOK 177 PLAN 19

EXCEPTIONS

AS TO TRACT ONE: ASSESSOR'S PARCELS 130D-117, 379, 387, 410, 411, A PORTION OF PARCELS 130D-380, 381, 408 & 409 AND A PORTION OF DECLAN DRIVE NEW BEDFORD, MA

- (16) EASEMENT AGREEMENT (SURFACE WATER DRAINAGE), DATED AUGUST 12, 2009, RECORDED WITH SAID DEEDS, BOOK 9473, PAGE 284. (PLOTTED)
- (17) TERMINATION OF EASEMENTS, DATED AUGUST 14, 2009, RECORDED WITH SAID DEEDS, BOOK 9473, PAGE 272. (NO LONGER EFFECTS LOCUS, NOT PLOTTED)
- (20) EASEMENT AGREEMENT (UTILITIES), DATED AUGUST 12, 2009, RECORDED WITH SAID DEEDS, BOOK 9473, PAGE 278. (PLOTTED)
- (21) EASEMENT AGREEMENT (SURFACE WATER DRAINAGE), DATED AUGUST 12, 2009, RECORDED WITH SAID DEEDS, BOOK 9473, PAGE 284. (DUPLICATE, SAME AS EXCEPTION 16) (PLOTTED)
- (22) EASEMENT AGREEMENT REGARDING RIGHT OF WAY, DATED SEPTEMBER 28, 2009, RECORDED WITH SAID DEEDS, BOOK 9527, PAGE 232. (DOES NOT EFFECT LOCUS) (NOT PLOTTED)

AS TO TRACT TWO: ASSESSOR'S PARCELS 130D-247, NEW BEDFORD, MA

- (23) AGREEMENT REGARDING BARN SET FORTH IN DEED OF GEORGE ERNEST CHAPDELAINE ET AL, DATED FEBRUARY 13, 1976, RECORDED WITH SAID DEEDS, BOOK 1714, PAGE 299. (PLOTTED)

AS TO TRACT THREE: ASSESSOR'S PARCELS 130D-248, NEW BEDFORD, MA

(NO PLOTTABLE EXCEPTIONS)

SURVEYOR'S LEGAL DESCRIPTION

A CERTAIN PARCEL OF LAND IN THE CITY OF NEW BEDFORD MASSACHUSETTS ON THE EASTERLY SIDE OF ACUSHNET AVENUE. BEGINNING AT A POINT ON THE EASTERLY LINE OF ACUSHNET AVENUE, SAID POINT BEING THE SOUTHWESTERLY CORNER OF LAND NOW OR FORMERLY BELONGING TO SOUTHERN MASS CREDIT UNION AND THE NORTHWESTERLY CORNER OF THE HEREIN DESCRIBED PARCEL:

THENCE RUNNING ALONG SAID SOUTHERN MASS CREDIT UNION LAND N89°58'12"E, 196.34 FEET TO A CORNER AND LAND NOW OR FORMERLY BELONGING TO MIH1 LLC, ALSO KNOWN AS FARLAND ESTATES I SUBDIVISION;

THENCE TURNING AND RUNNING ALONG SAID MIH1 LLC LAND S13°03'07"E, 398.06 FEET BY LOTS 12 THROUGH 16 OF FARLAND ESTATES I SUBDIVISION TO ARNOFF STREET;

THENCE TURNING AND RUNNING ALONG SAID ARNOFF STREET S84°55'30"W, 99.95 FEET TO A CORNER;

THENCE TURNING AND RUNNING STILL ALONG SAID ARNOFF STREET N13°58'00"W, 2.11 FEET TO A CORNER;

THENCE TURNING AND RUNNING STILL ALONG SAID ARNOFF STREET S85°41'29"W, 152.75 FEET TO ACUSHNET AVENUE

THENCE TURNING AND RUNNING ALONG SAID ACUSHNET AVENUE N17°20'19"W, 114.96 FEET TO A POINT OF CURVATURE;

THEN TURNING AND RUNNING STILL ALONG SAID ACUSHNET AVENUE BY A CURVE TO THE RIGHT HAVING A RADIUS OF 400.00 FEET, A DISTANCE OF 169.14 FEET, TO A POINT OF TANGENCY;

THENCE CONTINUING STILL ALONG SAID ACUSHNET AVENUE N06°54'38"E, 129.96 FEET LAND OF SAID SOUTHERN MASS CREDIT UNION AND POINT OF BEGINNING.


SAID PARCEL CONTAINS 98,041 SQUARE FEET, MORE OR LESS.

POSSIBLE ENCROACHMENTS

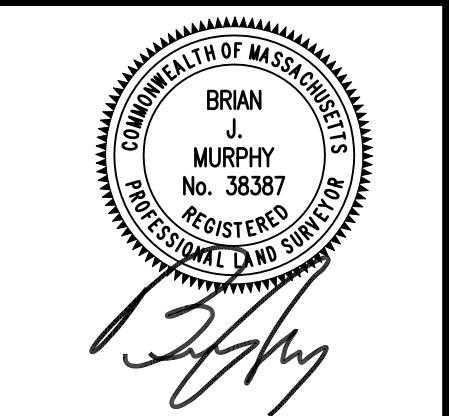
- A GUY WIRE BETWEEN LOCUS AND ACUSHNET AVENUE
- B STONE WALL BETWEEN LOCUS AND ACUSHNET AVENUE
- C CHAINLINK FENCE BETWEEN LOCUS AND ASSESSORS LOT 389

CERTIFICATION

THIS IS TO CERTIFY TO CUMBERLAND FARMS, INC. AND FIRST AMERICAN TITLE INSURANCE COMPANY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(a), 7(b)(1), 7(c), 8, 9, 11, 13, 14, 16, 17, 18, 19 AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JANUARY 26, 2018.

BY:  7/2/18
PROFESSIONAL LAND SURVEYOR: BRIAN J. MURPHY DATE

| REVISIONS | |
|-----------|--------------|
| NO. | DATE |
| 1 | 120718 |
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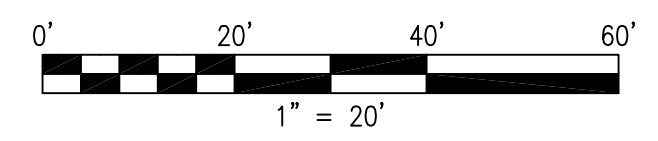
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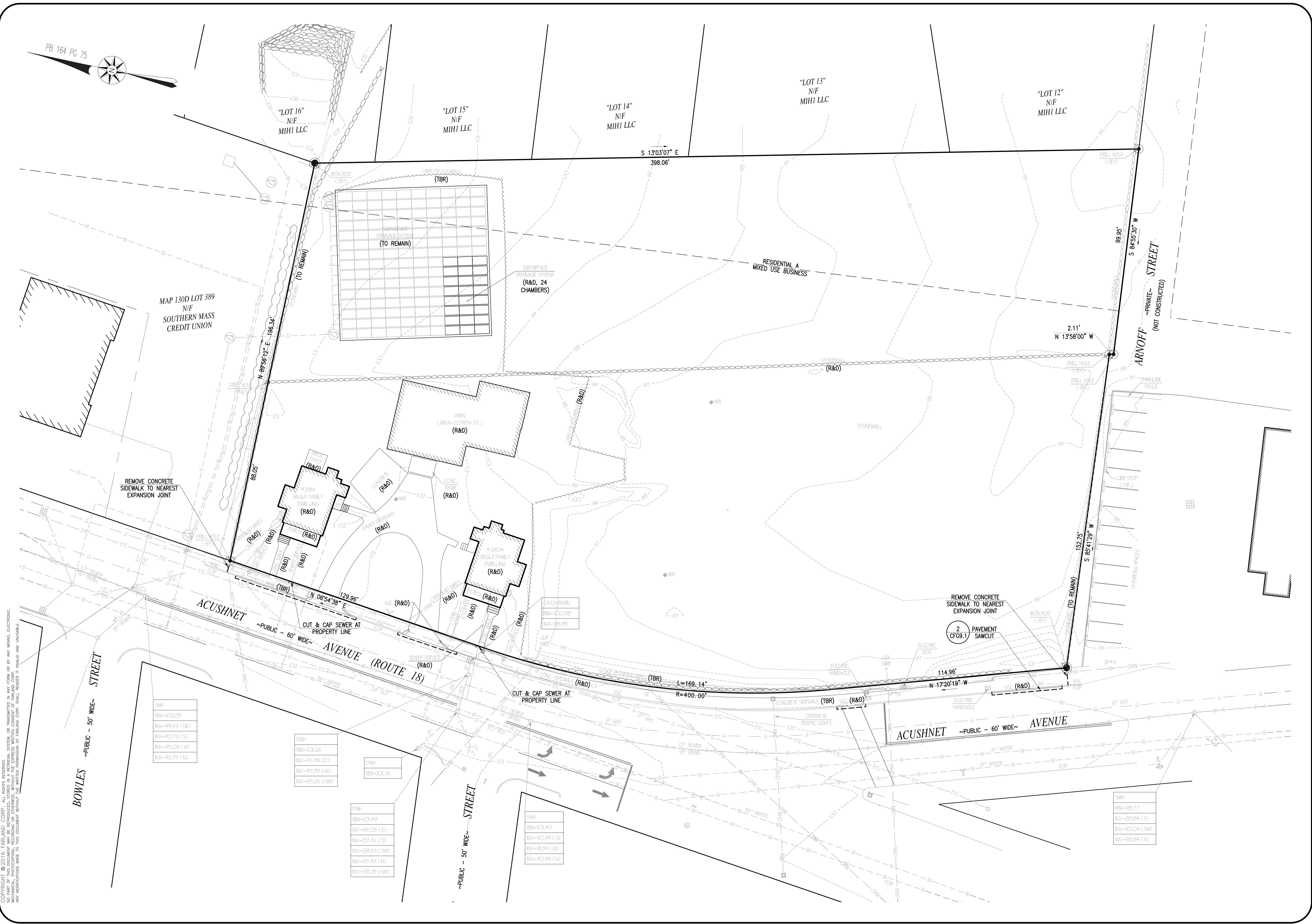
SITE PLAN
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PREPARED FOR:
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NOVEMBER 7, 2018
SCALE: 1"=20'
JOB NO. 17-1134
LATEST REVISION:
120718

ALTA/NSPS LAND TITLE SURVEY
CFG02.1

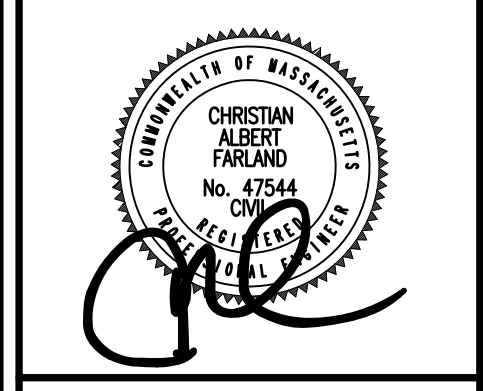


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| 1 | 120718 PER COMMENTS |



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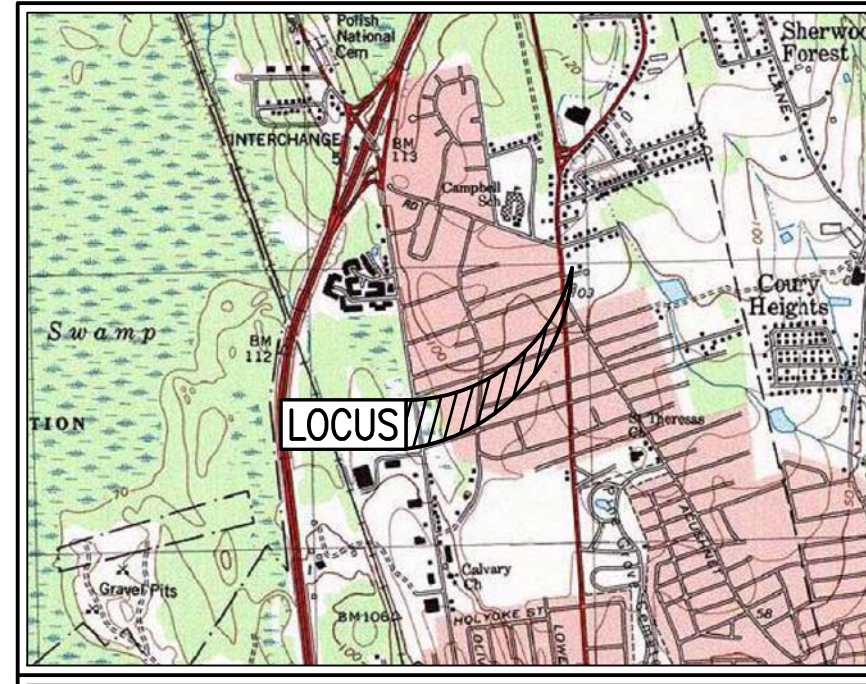
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NOVEMBER 7, 2018
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 JOB NO. 17-1134
 LATEST REVISION:
 120718

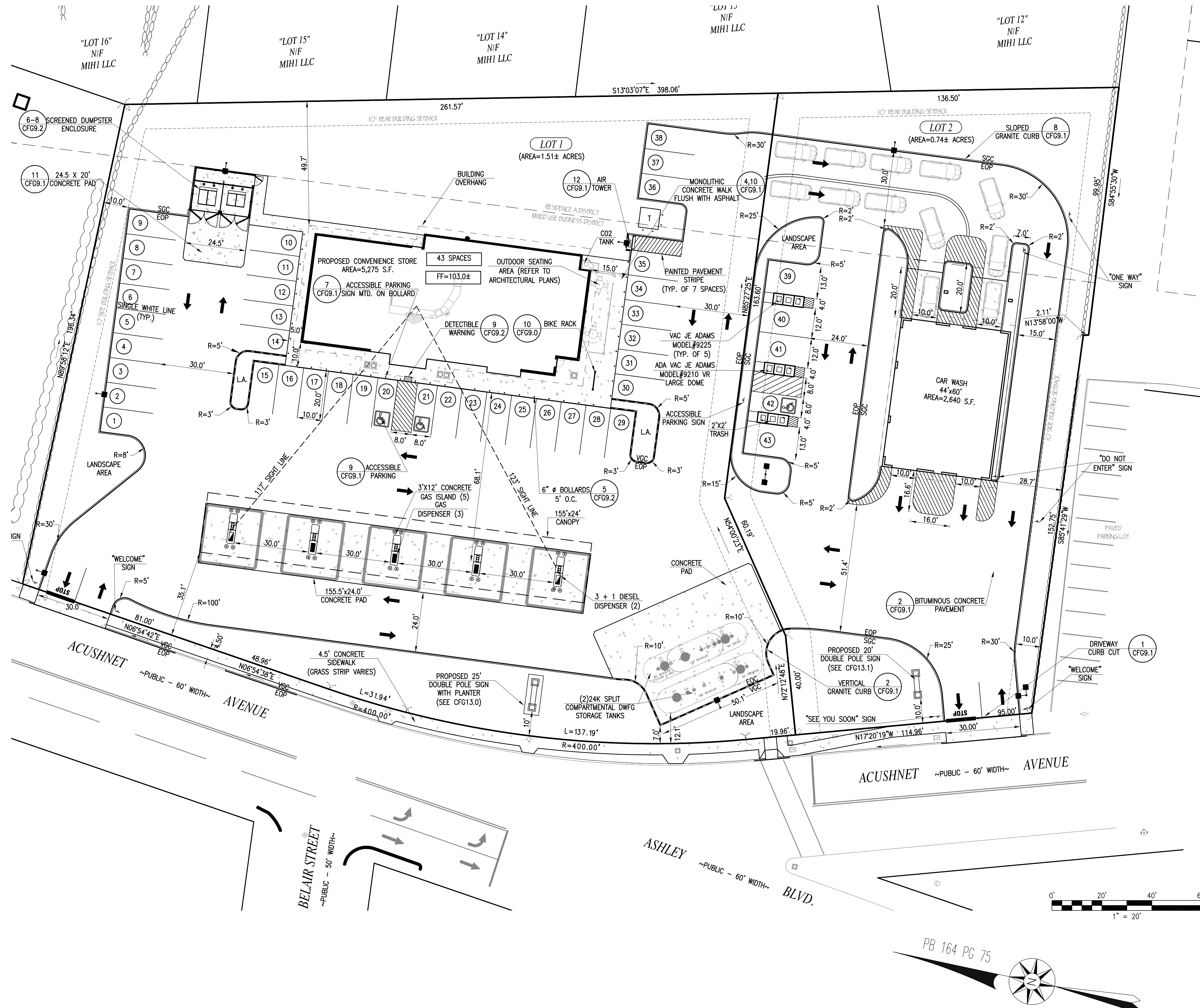
SITE DEMOLITION PLAN
 CFG03.0



LOCUS MAP SCALE: NTS

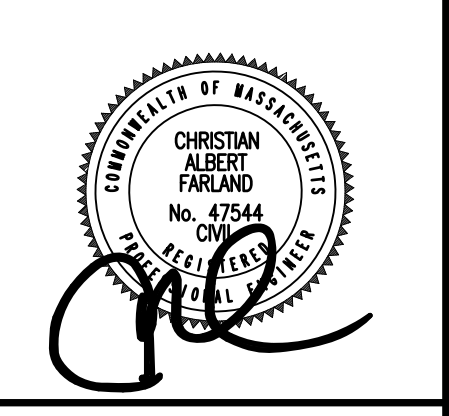
- ZONING DATA TABLE -

| PROJECT DATA | | |
|---|--|-------------|
| TOTAL SITE AREA | 2.25± ACRES | |
| BUILDING FOOTPRINT | 5,275 S.F. CUMBERLAND FARMS 2,640 S.F. CAR WASH | |
| TOTAL PARKING REQUIRED | RETAIL: 1 SPACE/200 S.F. CAR WASH: 1 SPACE/400 S.F. | |
| | 5,275/200 = 27 SPACES 2,640/400 = 7 SPACES | |
| TOTAL PARKING PROVIDED | 43 | |
| LAND INFORMATION | | |
| ASSESSORS MAP | 1300 | |
| BLOCK/LOT NUMBER | LOTS 117, 247, 248, 447 | |
| ZONING INFORMATION | | |
| ZONING INFORMATION OBTAINED FROM THE CITY OF NEW BEDFORD WEBSITE, DOWNLOADED 08/23/17 | | |
| ZONING DISTRICT | MUB DISTRICT AND RESIDENCE A | |
| MIN. LOT AREA | REQUIRED | PROVIDED |
| | 15,000 S.F. | 98,044 S.F. |
| MIN. FRONTAGE | REQUIRED | PROVIDED |
| | 0 FT | 414.05 FT |
| BUILDING HEIGHT LIMIT | REQUIRED | PROVIDED |
| | 7 STORIES OR 100 FT | 32.83 FT |
| MAX. LOT COVERAGE | REQUIRED | PROVIDED |
| | 70% | 70.0% |
| STRUCTURE SETBACKS | REQUIRED | PROVIDED |
| FRONT YARD | 0 FT | 35.1 FT |
| SIDE YARD | 10 FT | 28.7 FT |
| REAR YARD | 10 FT | 49.7 FT |
| LANDSCAPING/OPEN SPACE | MINIMUM OPEN SPACE IS 30% | |
| DOT INFORMATION | | |
| CURB CUT PERMIT | REQUIRED | |
| MAJOR ROAD JURISDICTION | ACUSHNET AVENUE - CITY LAYOUT - LOCAL | |
| MINOR ROAD JURISDICTION | N/A | |



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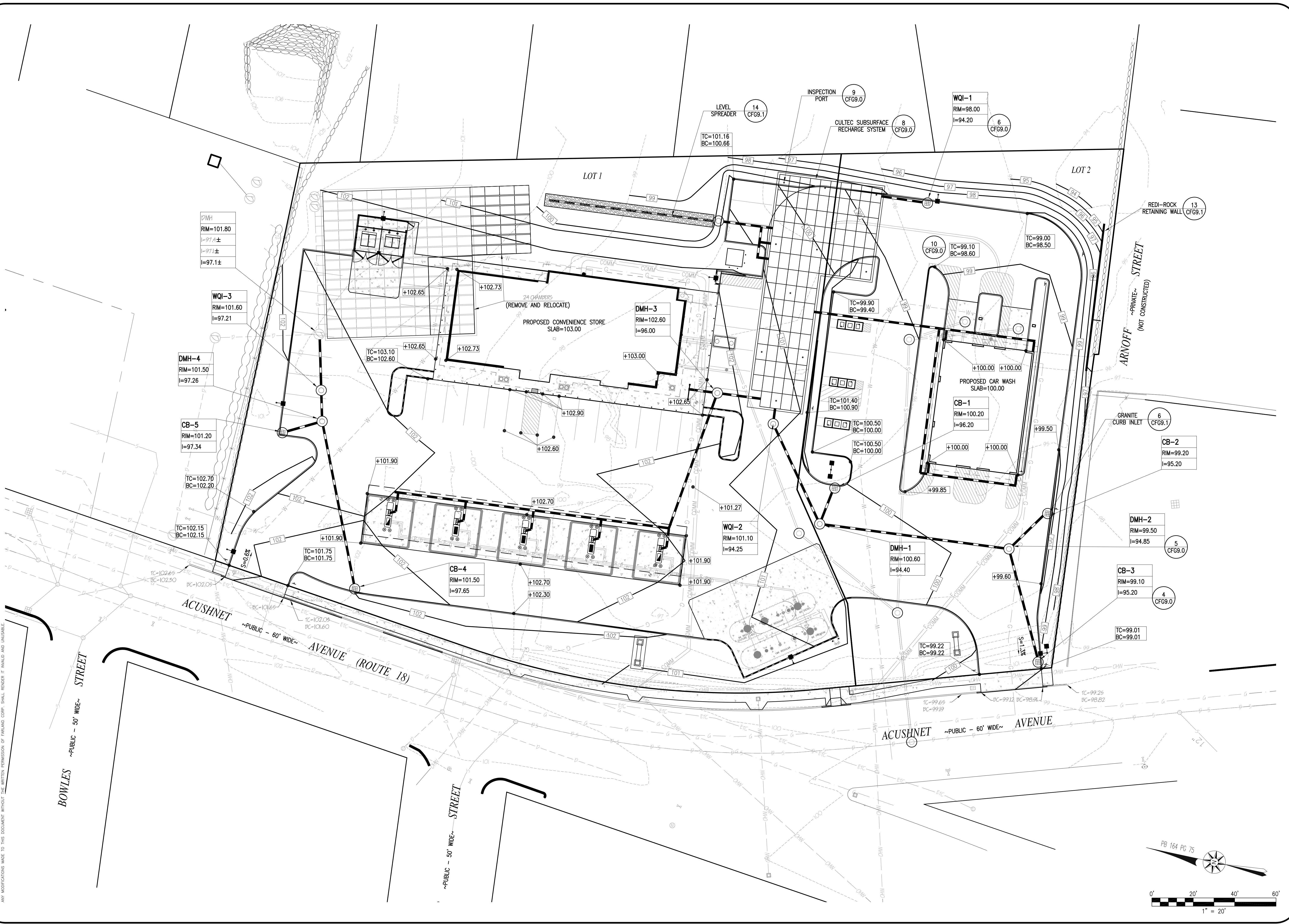
SITE PLAN
2904 & 2914 ACUSHNET AVENUE
ASSESSORS MAP 1300 LOTS 117, 247, 248, & 447
NEW BEDFORD, MASSACHUSETTS
PREPARED FOR:
T.M. CROWLEY & ASSOCIATES
14 BREAKNECK HILL ROAD, SUITE 101
LINCOLN, RI 02865

NOVEMBER 7, 2018
SCALE: 1"=20'
JOB NO. 17-1134
LATEST REVISION:
120718

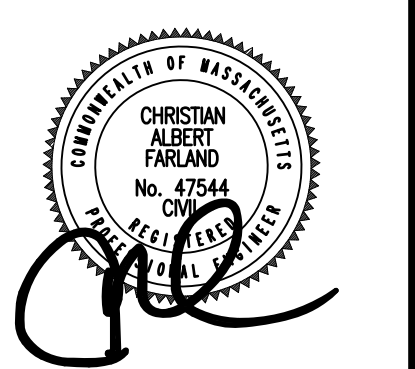
SITE PLAN
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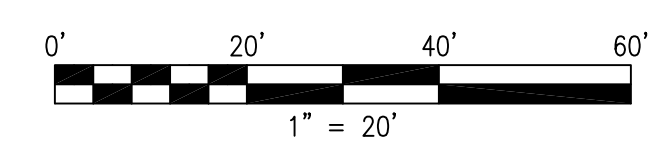
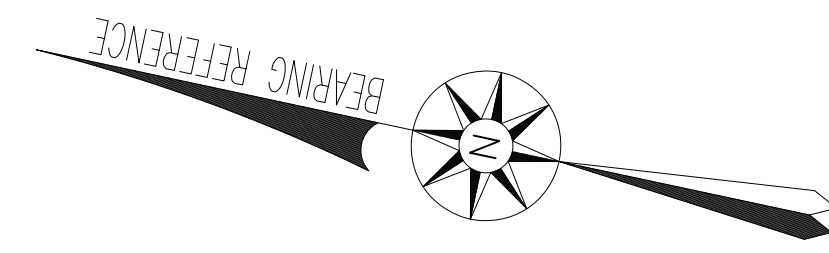
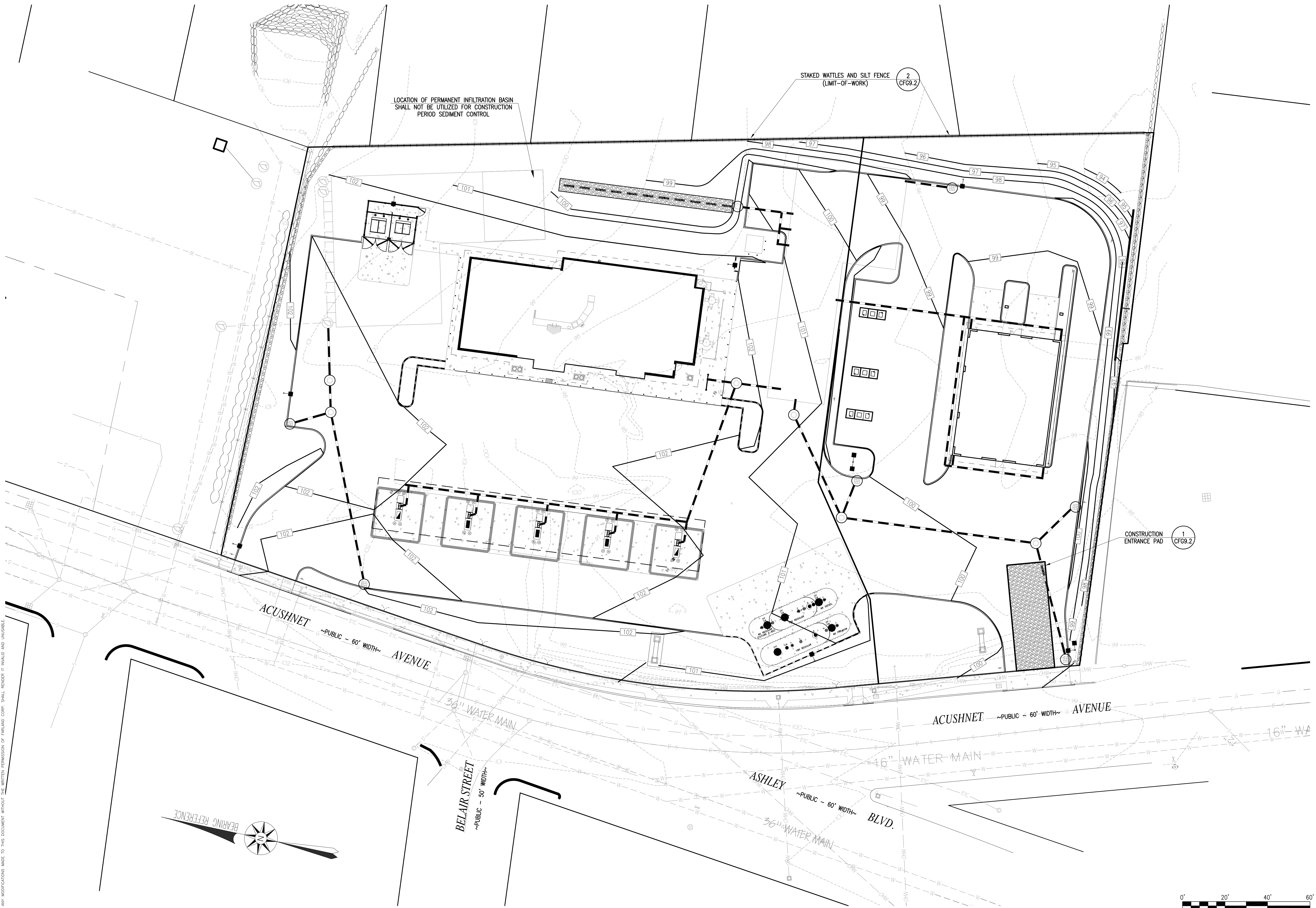
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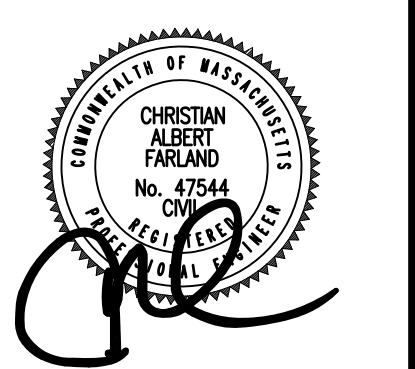
SITE PLAN
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 PREPARED FOR:
 T.M. CROWLEY & ASSOCIATES
 14 BREAKNECK HILL ROAD, SUITE 101
 LINCOLN, RI 02865

NOVEMBER 7, 2018
 SCALE: 1"=20'
 JOB NO. 17-1134
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 SITE DRAINAGE & GRADING PLAN
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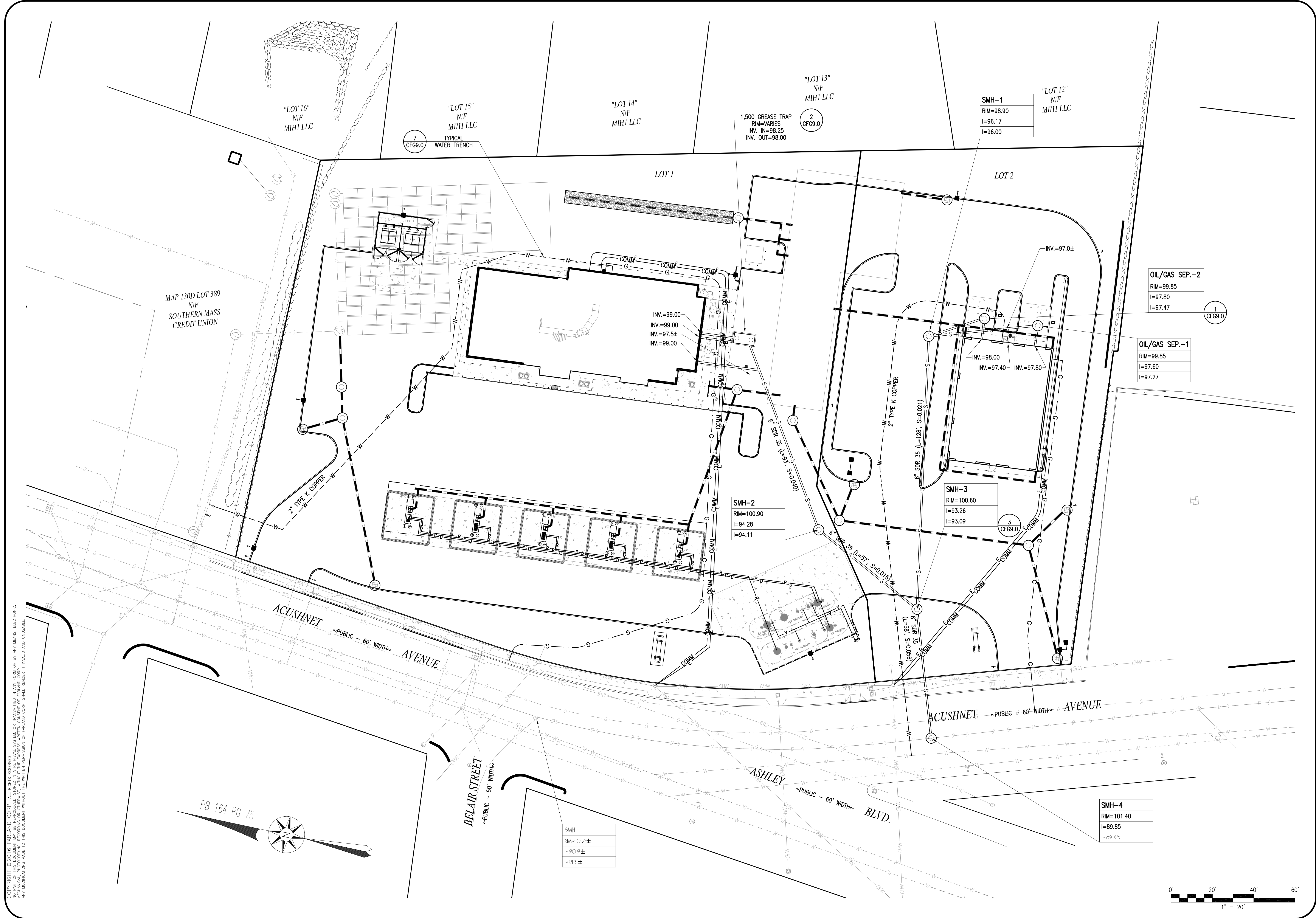
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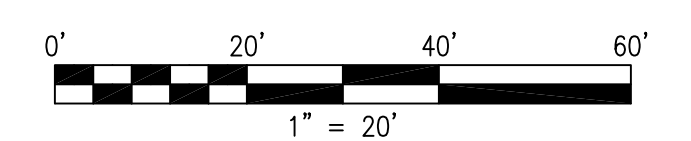
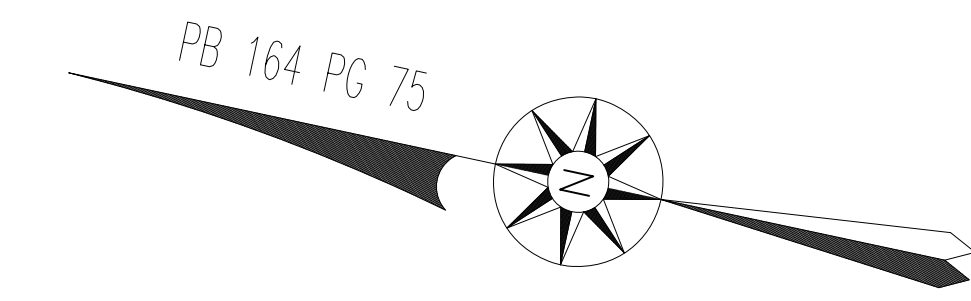
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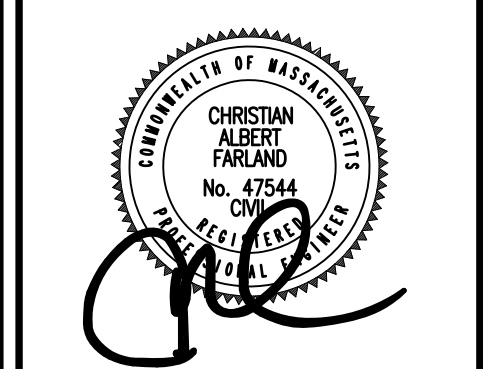
EROSION CONTROL PLAN
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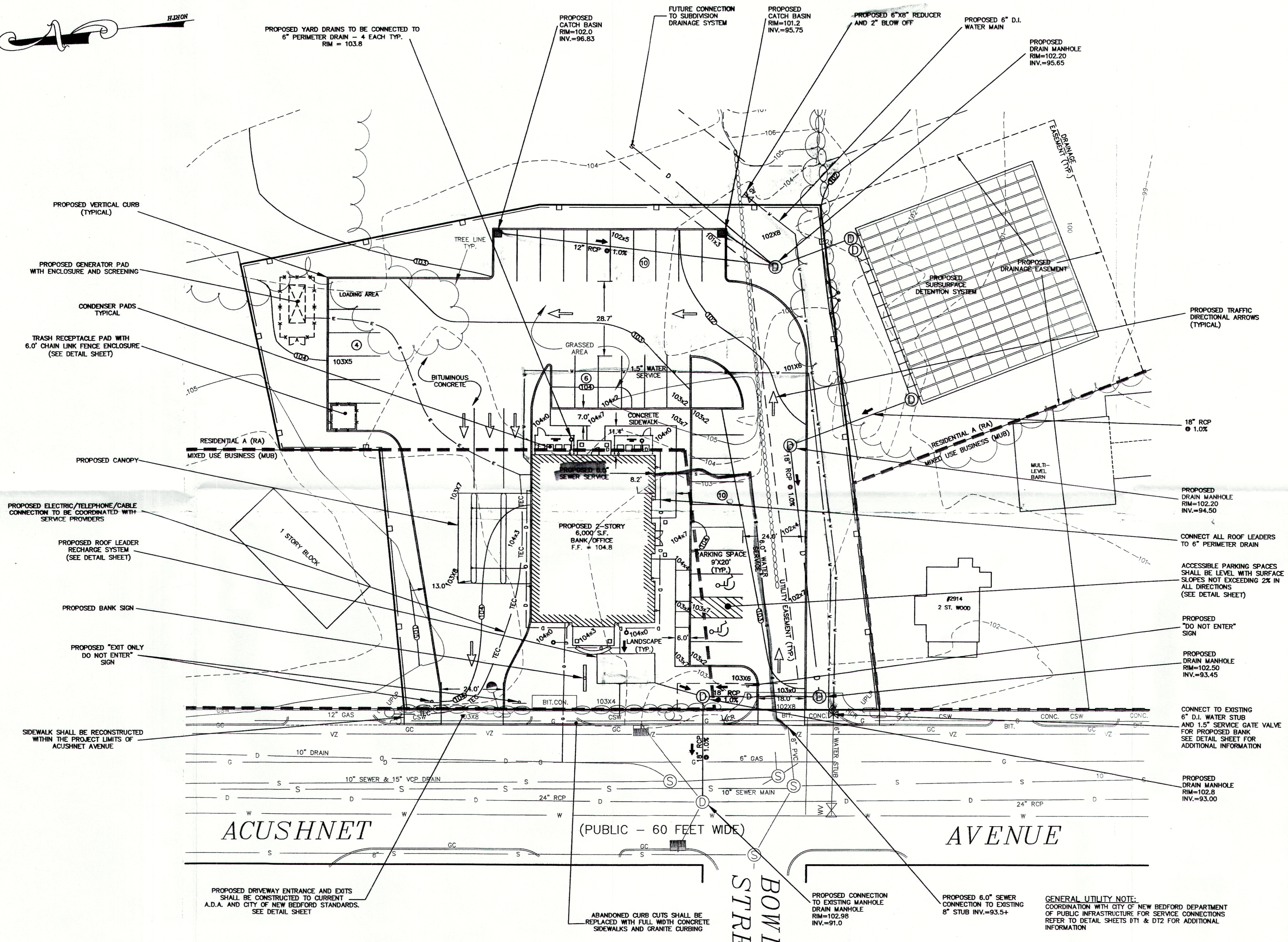
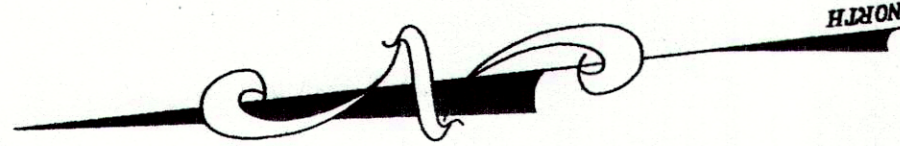
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NOVEMBER 7, 2018
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SITE UTILITY PLAN
 CFG07.0



| DRAWING REVISIONS | | |
|-------------------|---------|-------------------------|
| ACTION | DATE | DESCRIPTION |
| 4 | 11/3/08 | UTILITY CONNECTIONS |
| 3 | 6/4/08 | KFP COMMENTS |
| 2 | 9/25/08 | PLANNING BOARD COMMENTS |
| 1 | 9/8/08 | CITY DPI COMMENTS |

GENERAL NOTES:

- PROPERTY LINE INFORMATION SHOWN ON THIS PLAN IS BASED ON COMPILED INFORMATION FROM AVAILABLE ASSESSOR'S MAPS AND RECORDED DEED INFORMATION.
- UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ACTUAL LOCATION SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITY SERVICES THROUGHOUT CONSTRUCTION. DIG-SAFE SHALL BE NOTIFIED PER MA STATUTE CHAPTER 82, SECTION 409, PHONE NUMBER 800-344-7233.

LEGEND

| | |
|-----|-----------------------------------|
| --- | PROPERTY LINE |
| --- | PROP. TELEPHONE, ELECTRIC & CABLE |
| --- | EX GAS LINE |
| --- | PROPOSED GAS LINE |
| --- | EX WATER LINE |
| --- | PROPOSED WATER LINE |
| --- | EXISTING SEWER LINE |
| --- | PROPOSED SEWER LINE |
| --- | EXISTING DRAIN LINE |
| --- | PROPOSED DRAIN LINE |
| --- | EXISTING HYDRANT |
| --- | PROPOSED HYDRANT |
| --- | EXISTING WATER VALVE |
| --- | PROPOSED WATER VALVE |
| --- | EXISTING CATCH BASIN |
| --- | PROPOSED CATCH BASIN |
| --- | EXISTING DRAIN MANHOLE |
| --- | PROPOSED DRAIN MANHOLE |
| --- | TREE LINE |
| --- | TYP. TYPICAL |
| --- | CLDI CEMENT LINED DUCTILE IRON |
| --- | TBA TO BE ABANDONED |
| --- | PROPOSED THRUST BLOCK |



SITE LAYOUT

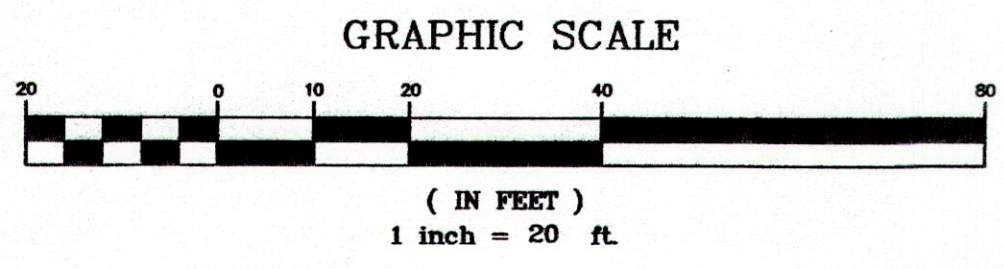
PROPOSED SOUTHERN MASS CREDIT UNION
 ACUSHNET AVENUE
 NEW BEDFORD, MA 02745

CAVANARO CONSULTING
 687 MAIN STREET
 P.O. BOX 5175
 NORWELL, MASSACHUSETTS 02061
 PHONE: 781.659.8187
 FAX: 781.659.8186

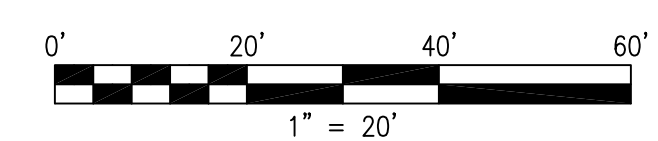
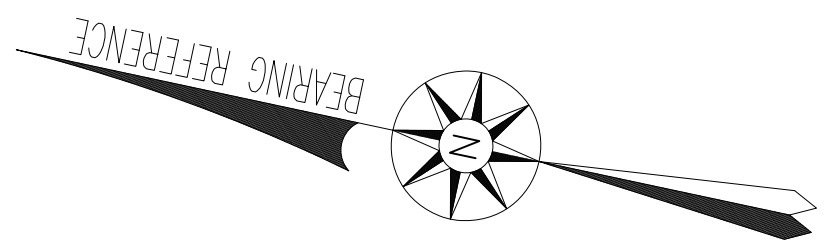
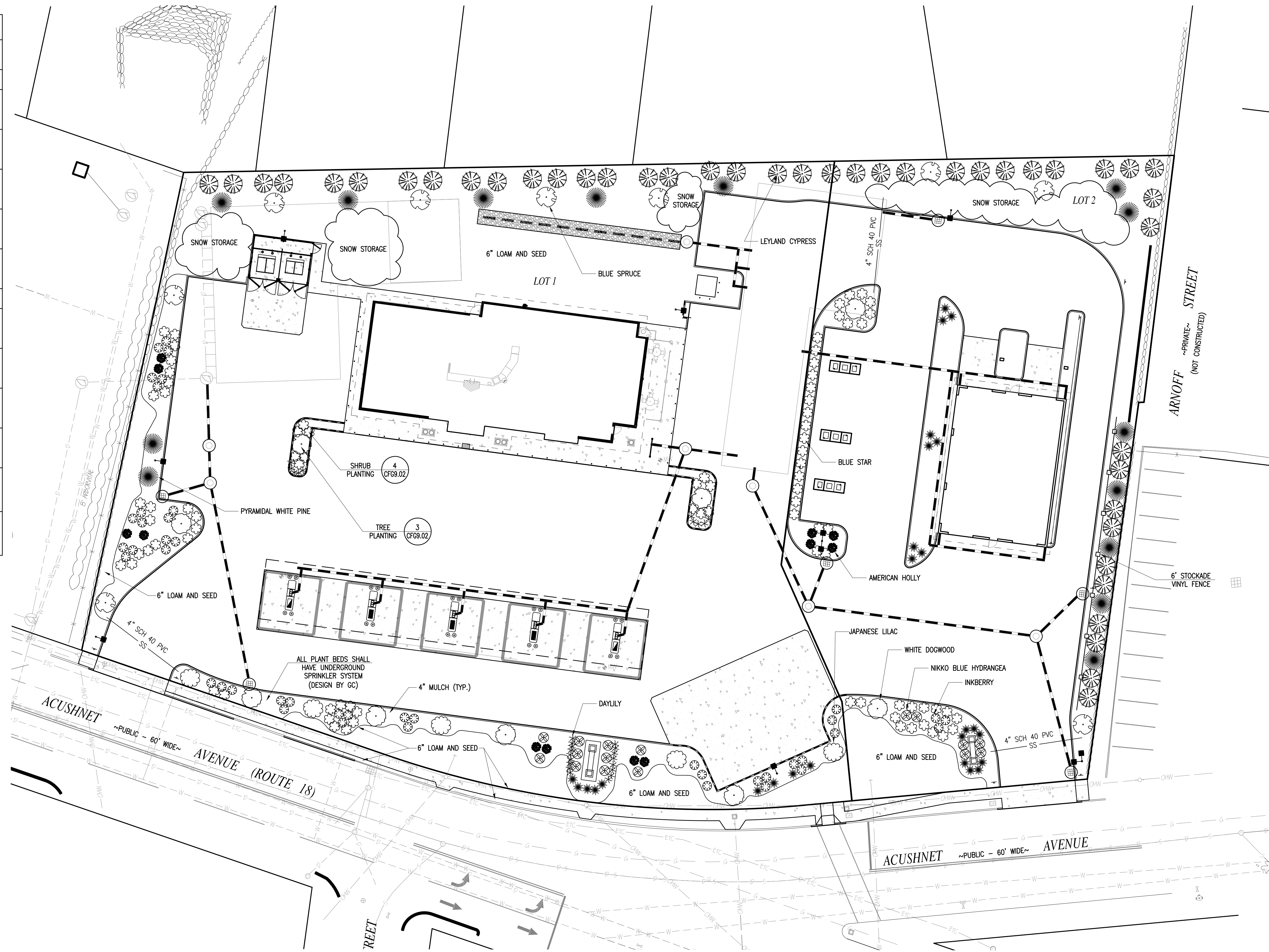


123 ALDEN ROAD
 FAIRHAVEN, MA 02719

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|--------------------|--|
| PROJECT NO. : 8023 | DRAWING NO. |
| SCALE : AS SHOWN | SL |
| DATE : 7/25/08 | |
| DESIGNED BY : BPS | SHEET NO. 3 OF 8 |
| DRAWN BY : BPS | FILENAME: 8023\DWG\BANK SITE PL REV.7-08 |
| CHECKED BY : JCC | |

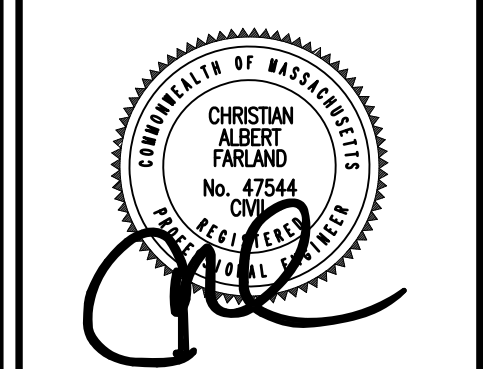


| LANDSCAPE TABLE | | | | |
|-----------------|------------------------------------|----------------------|----------|----------|
| SYMBOL | BOTANICAL NAME | COMMON NAME | SIZE | QUANTITY |
| TREES | | | | |
| | CUPRESSOCYPARIS LEYLANDIL | LEYLAND CYPRESS | 5'-6" HT | 44 |
| | PINUS STROBUS 'FASTIGIATA' | PYRAMIDAL WHITE PINE | 5'-6" HT | 14 |
| | PICEA PUNGENS 'COLORADO GREEN' | BLUE SPRUCE | 5'-6" HT | 9 |
| | CORNUS FLORIDA | WHITE DOGWOOD | 5'-6" HT | 9 |
| | SYRINGA RETICULATA | JAPANESE LILAC | 5'-6" HT | 8 |
| SHRUBS | | | | |
| | LLEX GLABRA 'SHAMROCK' | INKBERRY | 2 GAL. | 44 |
| | JUNIPERUS SQUAMATA | BLUE STAR | 2 GAL. | 65 |
| | HYDRANGEA MACROPHYLLA 'NIKKO BLUE' | NIKKO BLUE HYDRANGEA | 2 GAL. | 18 |
| | ILEX OPACA | AMERICAN HOLLY | 2 GAL. | 8 |
| | MISCANTHUS SINENSIS | AUTUMN ANTHEM | 2 GAL. | 26 |
| | HEMEROCALLIS | DAYLILY | | 26 |



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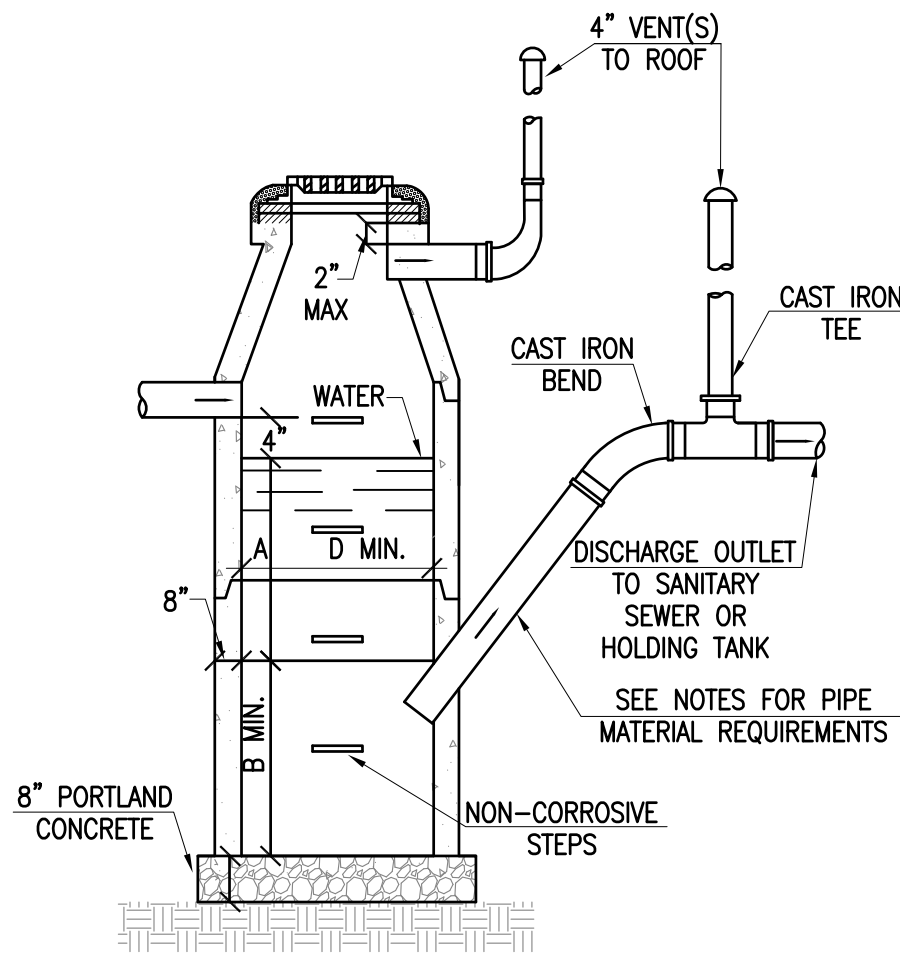
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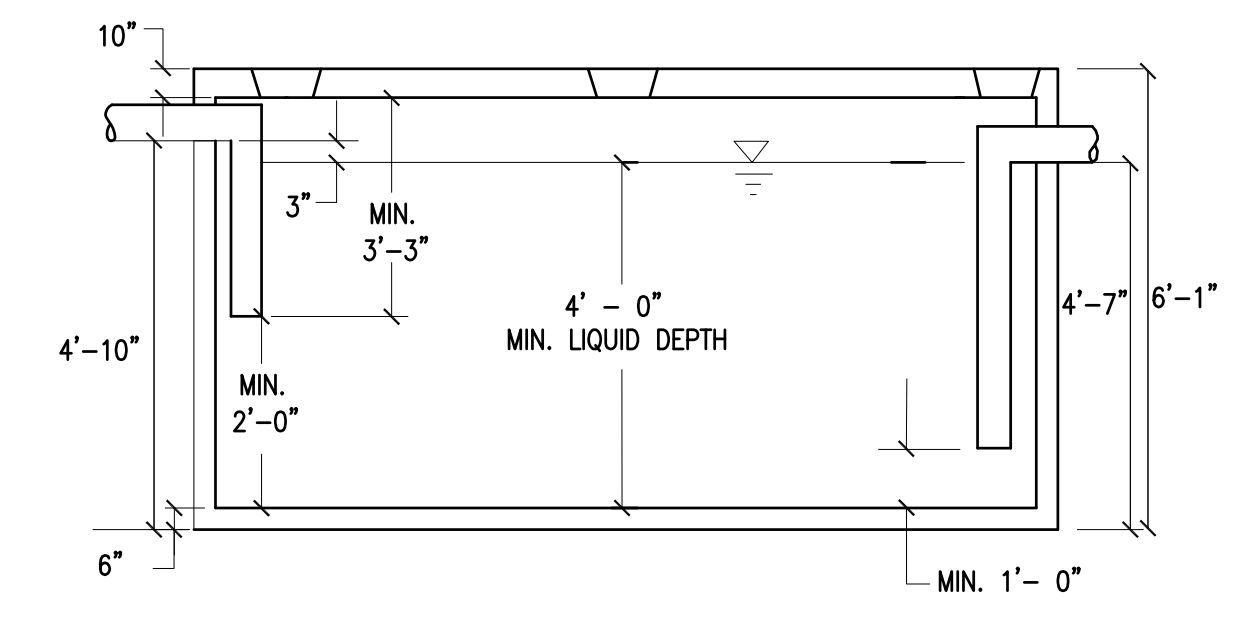
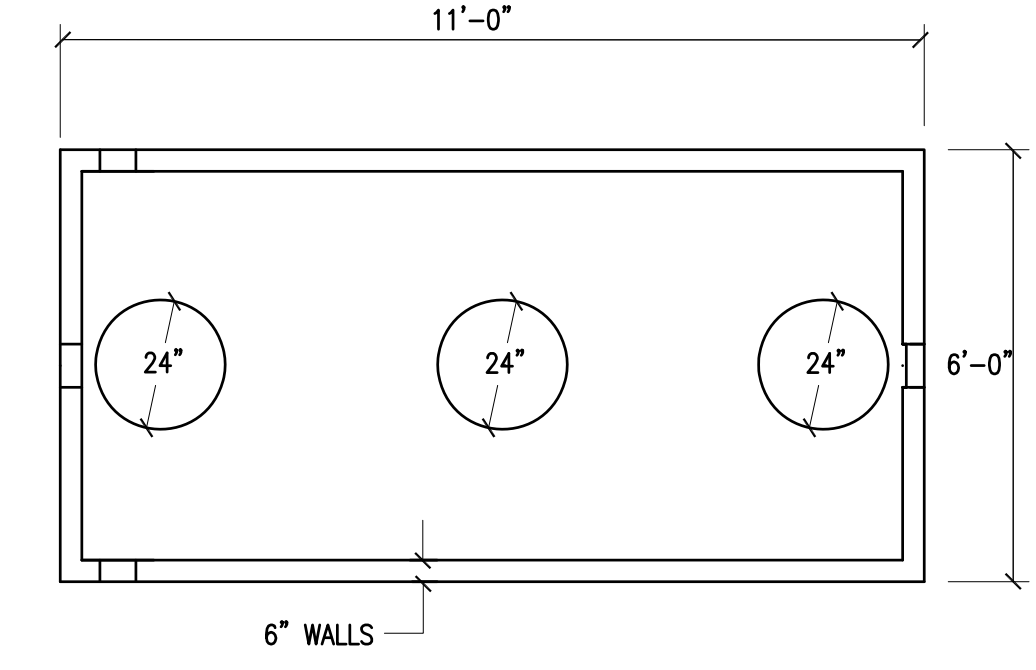
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SITE LANDSCAPE PLAN
 CFG08.0



| INLET | D | A | B |
|-------|-------------|-------|-------|
| 4" | 3'-6"Ø | 3'-0" | 2'-6" |
| 5" | 3'-6"x3'-6" | 5'-0" | 4'-0" |
| | 4'-0"Ø | 3'-6" | 3'-0" |
| | 4'-0"x4'-0" | 3'-0" | 2'-6" |
| | 4'-6"Ø | 3'-0" | 2'-6" |
| 6" | 4'-0"Ø | 5'-0" | 4'-6" |
| | 4'-0"x4'-0" | 4'-0" | 3'-6" |
| | 4'-6"Ø | 4'-0" | 3'-6" |
| | 4'-6"x4'-6" | 3'-6" | 3'-0" |
| 8" | 5'-0"Ø | 3'-6" | 3'-0" |
| | 5'-0"x5'-0" | 3'-0" | 2'-6" |
| | 5'-0"Ø | 6'-0" | 5'-0" |
| | 5'-6"x5'-6" | 4'-6" | 4'-0" |
| | 6'-0"Ø | 4'-0" | 3'-6" |
| | 6'-0"x6'-0" | 3'-0" | 2'-6" |
| | 6'-6"Ø | 3'-6" | 3'-0" |
| | 6'-6"x6'-6" | 3'-0" | 2'-6" |

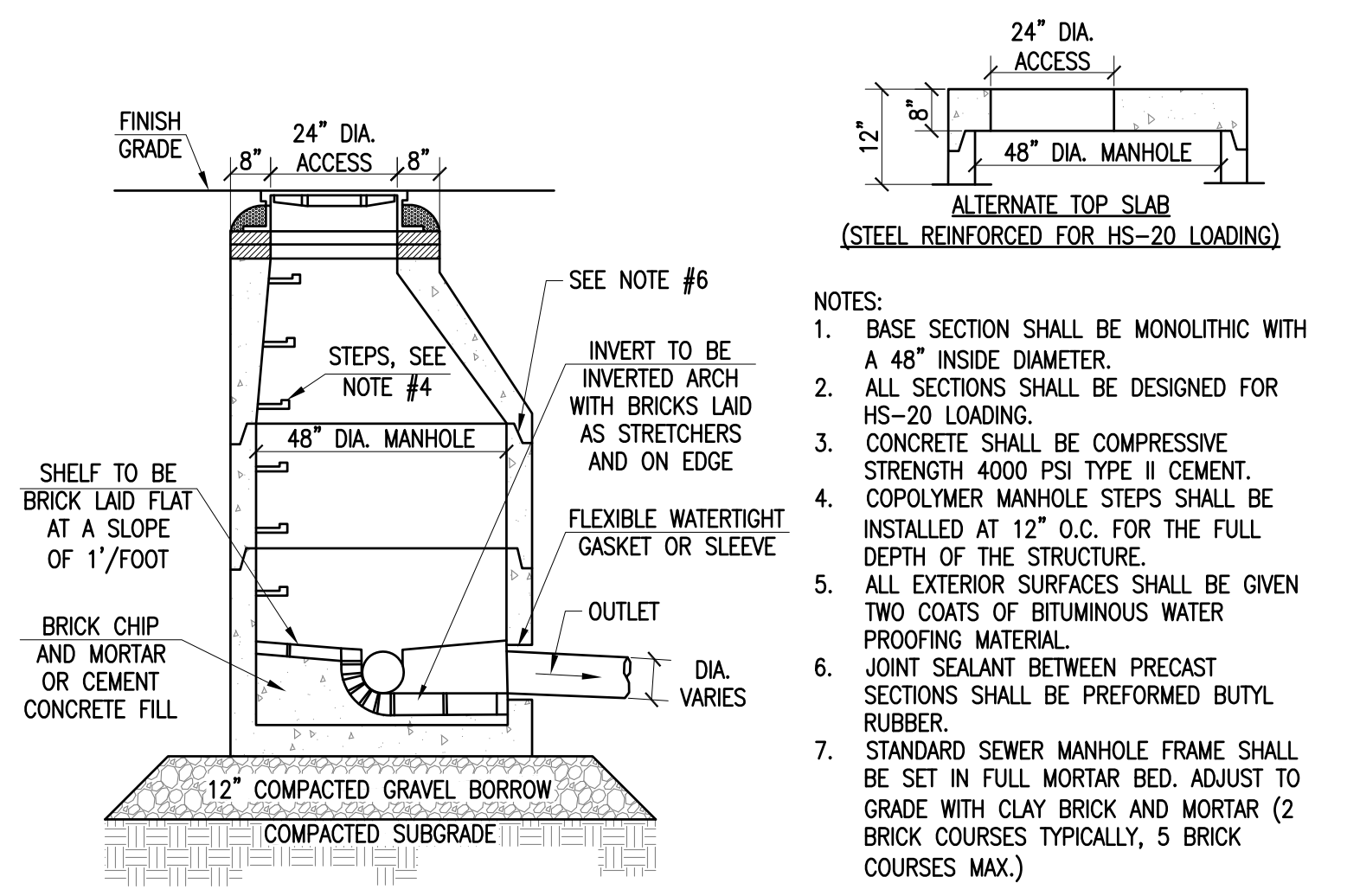
- NOTES:
- NO-HUB CAST IRON WITH PRODUCT-APPROVED STAINLESS STEEL CLAMPS
 - SERVICE WEIGHT CAST IRON WITH PRODUCT-APPROVED RESILIENT GASKETS OR LEAD AND OAKUM JOINTS.
 - EXTRA HEAVY CAST IRON WITH PRODUCT-APPROVED RESILIENT GASKETS OR LEAD AND OAKUM JOINTS.
 - THE SEPARATOR IS TO BE LOCATED OUTSIDE OF A BUILDING WHERE POSSIBLE AND THE COVER IS TO INCORPORATE A CENTER-HOLE. A SEALED BRIGHT COVER IS TO BE USED IF THE SEPARATOR IS LOCATED INSIDE OF THE BUILDING.
 - THE COVER SHALL BE NO LESS THAN A 24" DIAMETER.
 - THE SEPARATOR SHALL BE LOCATED AND CONSTRUCTED TO PREVENT SURFACE OR SUB-SURFACE WATER FROM ENTERING.
 - THE INLET PIPE SHALL BE NO LESS THAN FOUR INCHES ABOVE THE WATER LINE LEVEL.
 - WHEN THE SEPARATOR IS SUBJECT TO FREEZING IT SHALL BE SET A MINIMUM OF THREE FEET BELOW GRADE.
 - THE SEPARATOR SHALL BE FILLED WITH WAER AND LEAK TESTED BEFORE BEING INTRODUCED INTO SERVICE.
 - THE NON-CORROSIVE STEPS SHALL BE SPACED AT 18 INCHES APART.
 - THE CHAMBER VENT AND OUTLET VENT SHALL RETURN TO THE INSIDE OF THE BUILDING AND EXTEND THROUGH THE ROOF.
 - IN OPEN PARKING GARAGES OR OPEN PARKING AREA(S) ONLY THE INLET PIPE MAY EXTEND BELOW THE WATER LINE A MAXIMUM DISTANCE OF 6 INCHES.



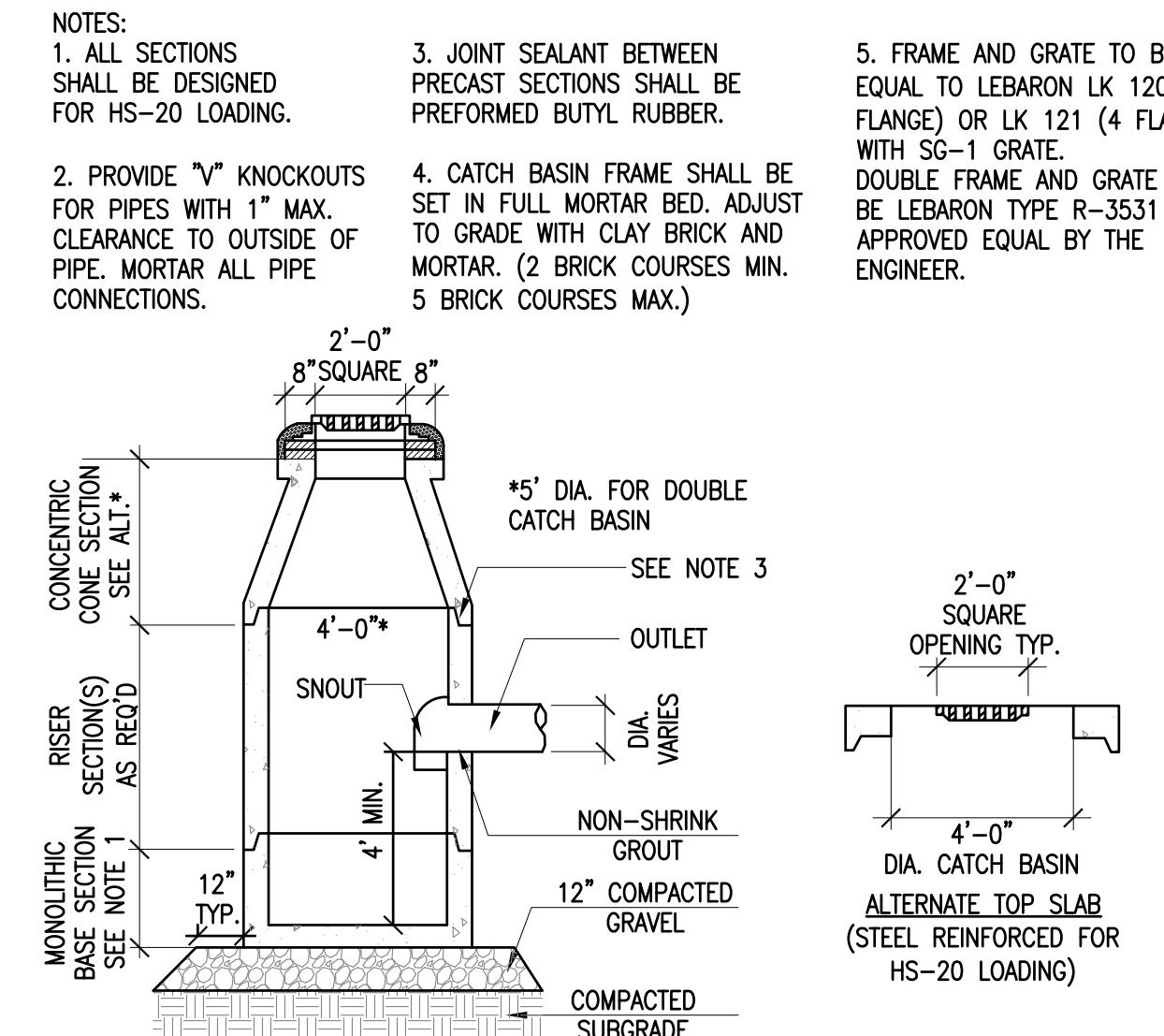
- NOTES:
- CONSTRUCTION SHALL BE WATERTIGHT.
 - GREASE TRAP TO WITHSTAND H-20 LOADING.
 - GREASE TRAP TO HAVE A MINIMUM CAPACITY OF 1,500 GALLONS.
 - A MIN. 24" DIA. MANHOLE FRAME & COVER TO GRADE OVER THE INLET AND OUTLET SHALL BE PROVIDED.
 - GREASE TRAP SHALL BE INSPECTED MONTHLY & SHALL BE CLEANED WHEN THE LEVEL OF GREASE IS 25% OF THE DEPTH OF THE TANK OR AT LEAST EVERY 3 MONTHS.

1 OIL WATER SEPARATOR DESIGN
CFG7.0 NOT TO SCALE

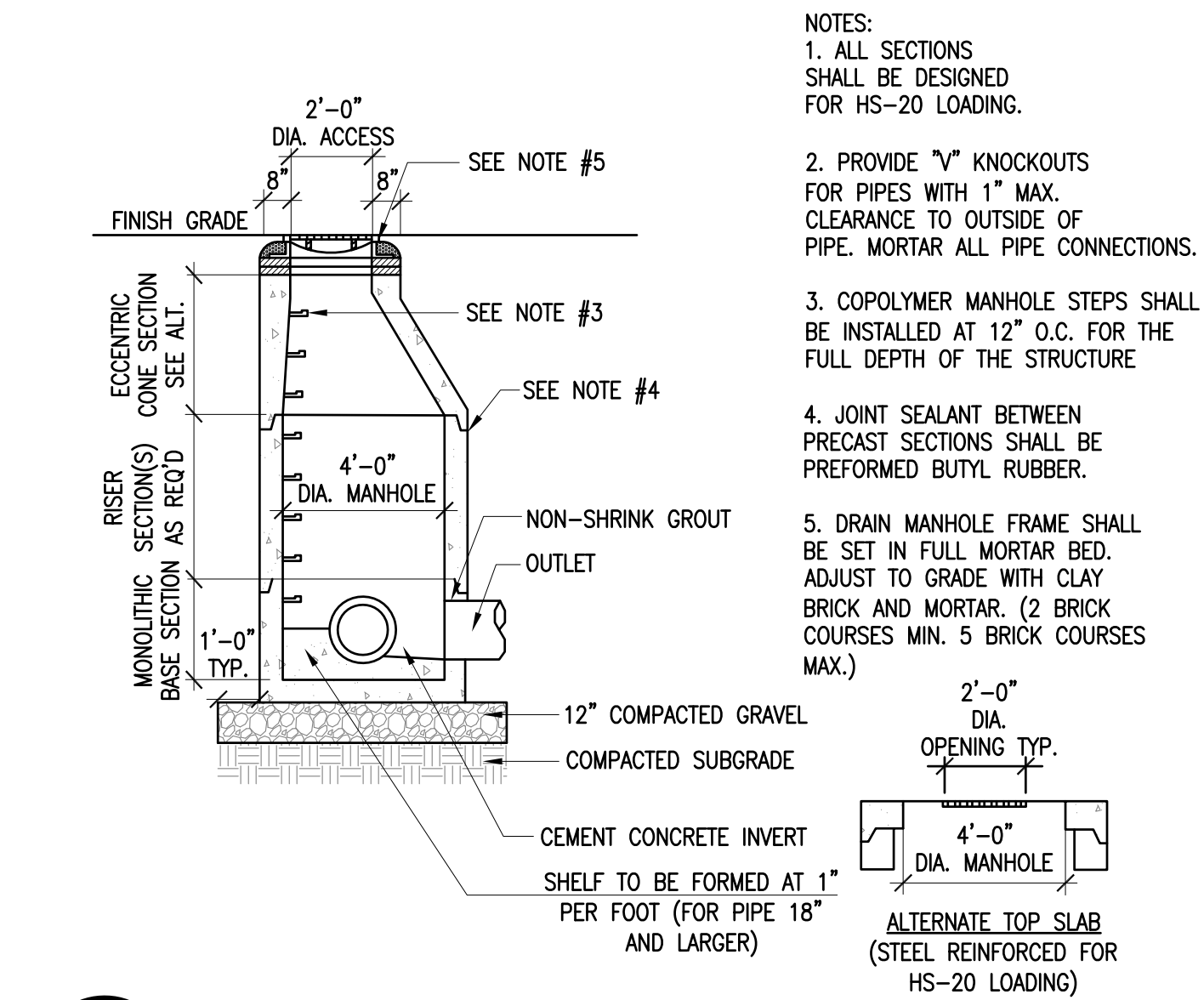
2 1,500 GALLON GREASE TRAP DETAIL
CFG7.0 NOT TO SCALE



- NOTES:
- BASE SECTION SHALL BE MONOLITHIC WITH A 48" INSIDE DIAMETER.
 - ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
 - CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI TYPE II CEMENT.
 - COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
 - ALL EXTERIOR SURFACES SHALL BE GIVEN TWO COATS OF BITUMINOUS WATER PROOFING MATERIAL.
 - JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
 - STANDARD SEWER MANHOLE FRAME SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAX.)



- NOTES:
- ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
 - PROVIDE "V" KNOCKOUTS FOR PIPES WITH 1" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 - JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
 - CATCH BASIN FRAME SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR. (2 BRICK COURSES MIN. 5 BRICK COURSES MAX.)
 - FRAME AND GRATE TO BE EQUAL TO LEBARON LK 120 (3 FLANGE) OR LK 121 (4 FLANGE) WITH SG-1 GRATE. DOUBLE FRAME AND GRATE SHALL BE LEBARON TYPE R-3531 B OR APPROVED EQUAL BY THE ENGINEER.



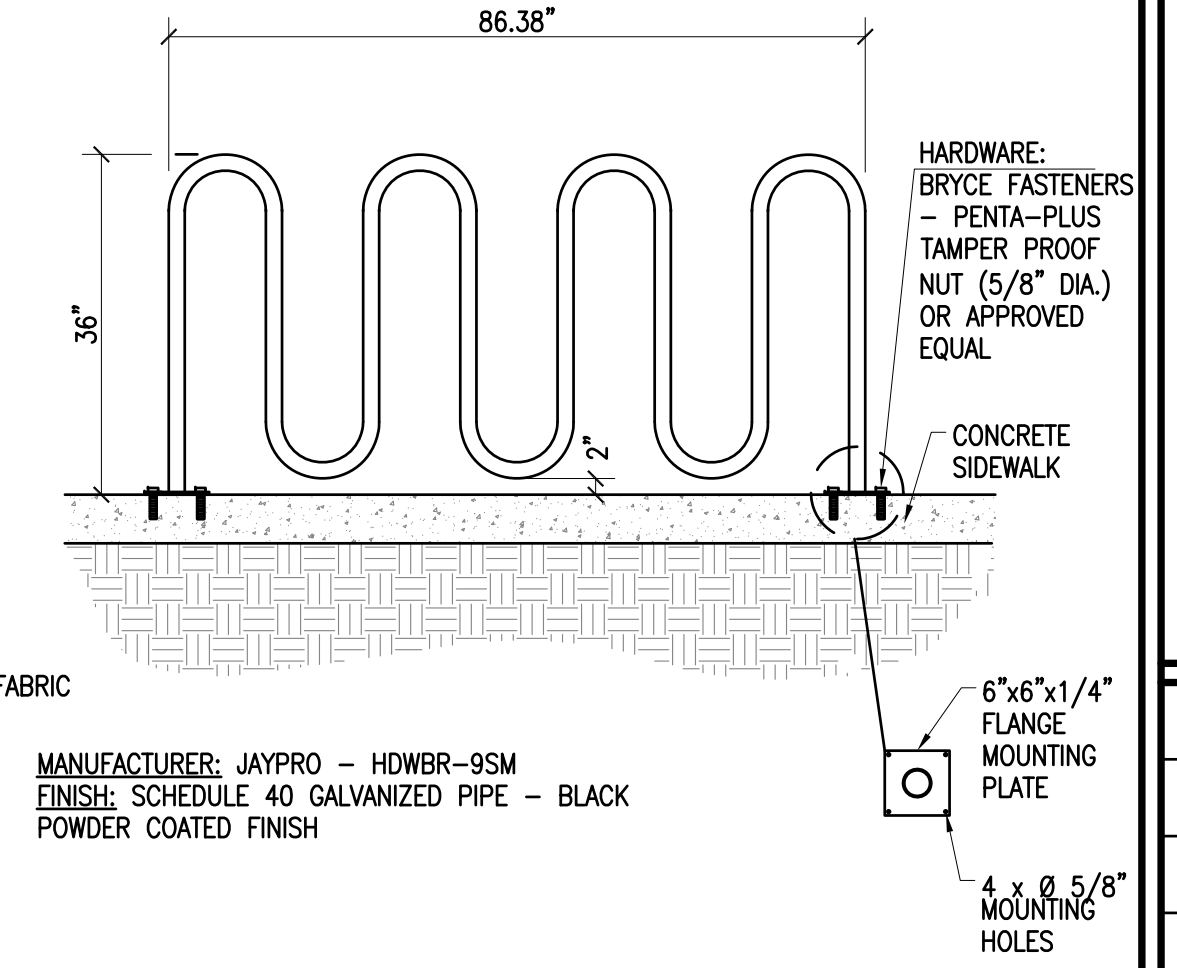
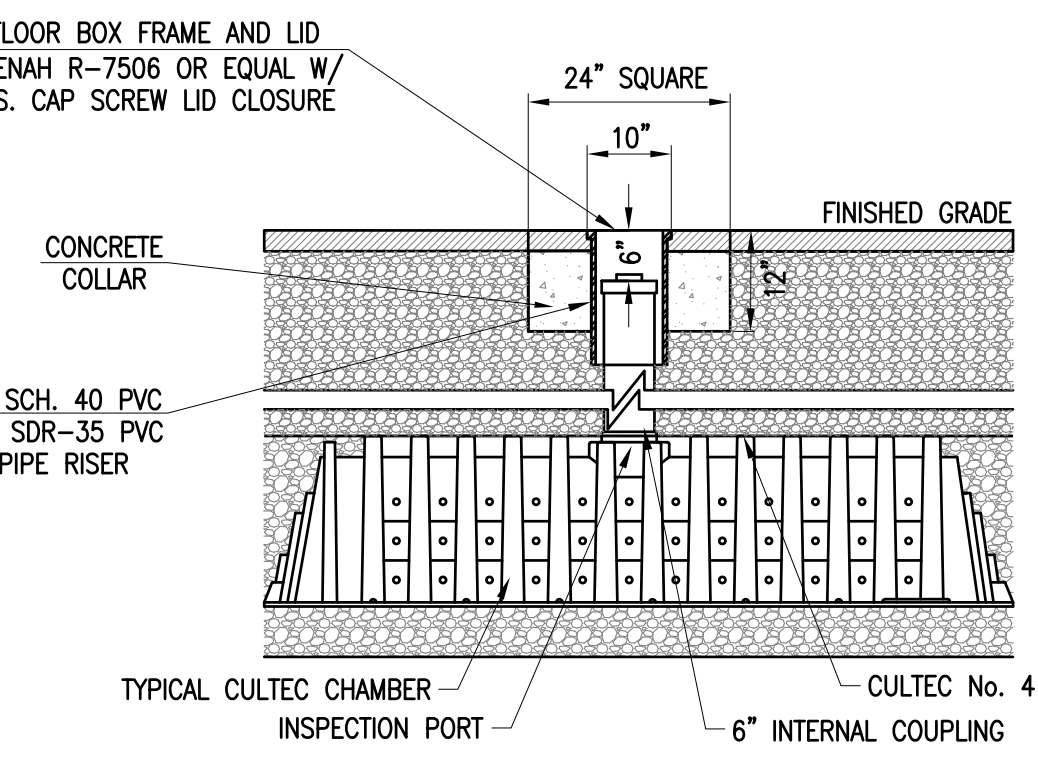
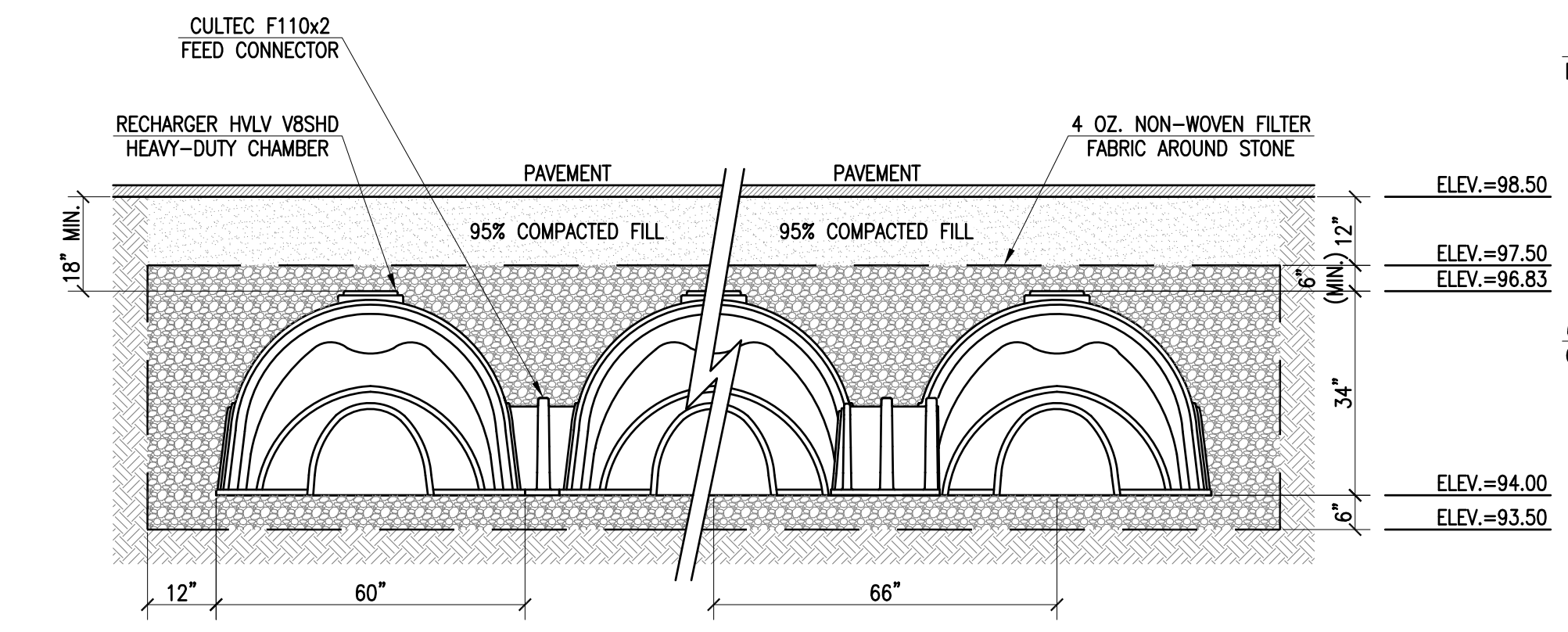
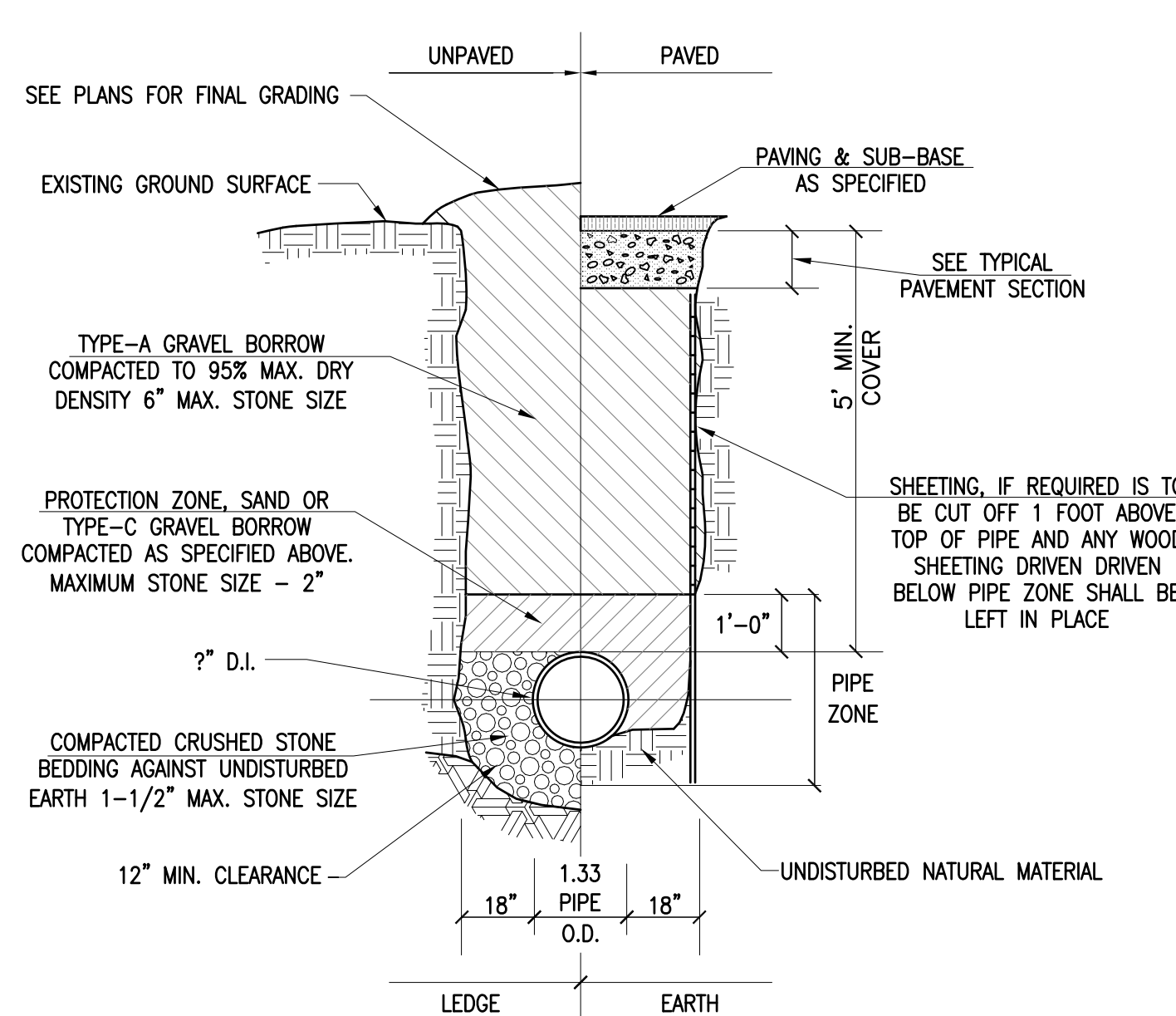
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 - DRAIN MANHOLE FRAME SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR. (2 BRICK COURSES MIN. 5 BRICK COURSES MAX.)

3 SANITARY SEWER MANHOLE
CFG7.0 NOT TO SCALE

4 CATCH BASIN
CFG5.0 NOT TO SCALE

5 DRAIN MANHOLE
CFG5.0 NOT TO SCALE

6 CONTECH CDS WATER QUALITY UNIT
CFG5.0 NOT TO SCALE



7 TYPICAL WATER TRENCH
CFG7.0 NOT TO SCALE

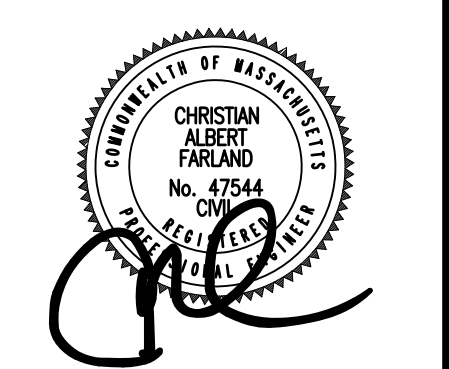
8 CULTEC RECHARGER V8HD HEAVY DUTY CROSS SECTION
CFG5.0 NOT TO SCALE

9 H2O LOADING INSPECTION PORT
CFG5.0 NOT TO SCALE

10 BIKE RACK
CFG4.0 NOT TO SCALE

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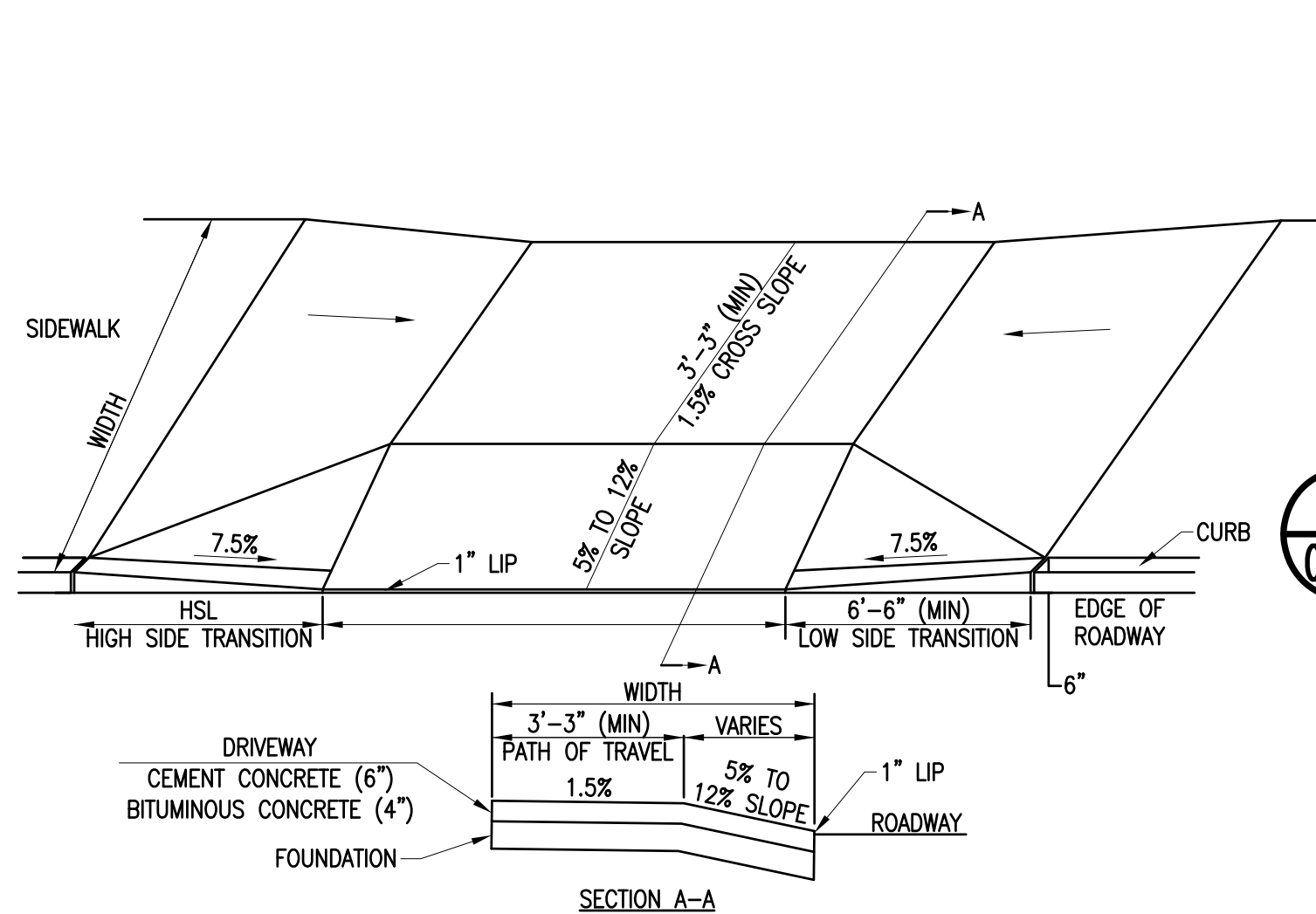
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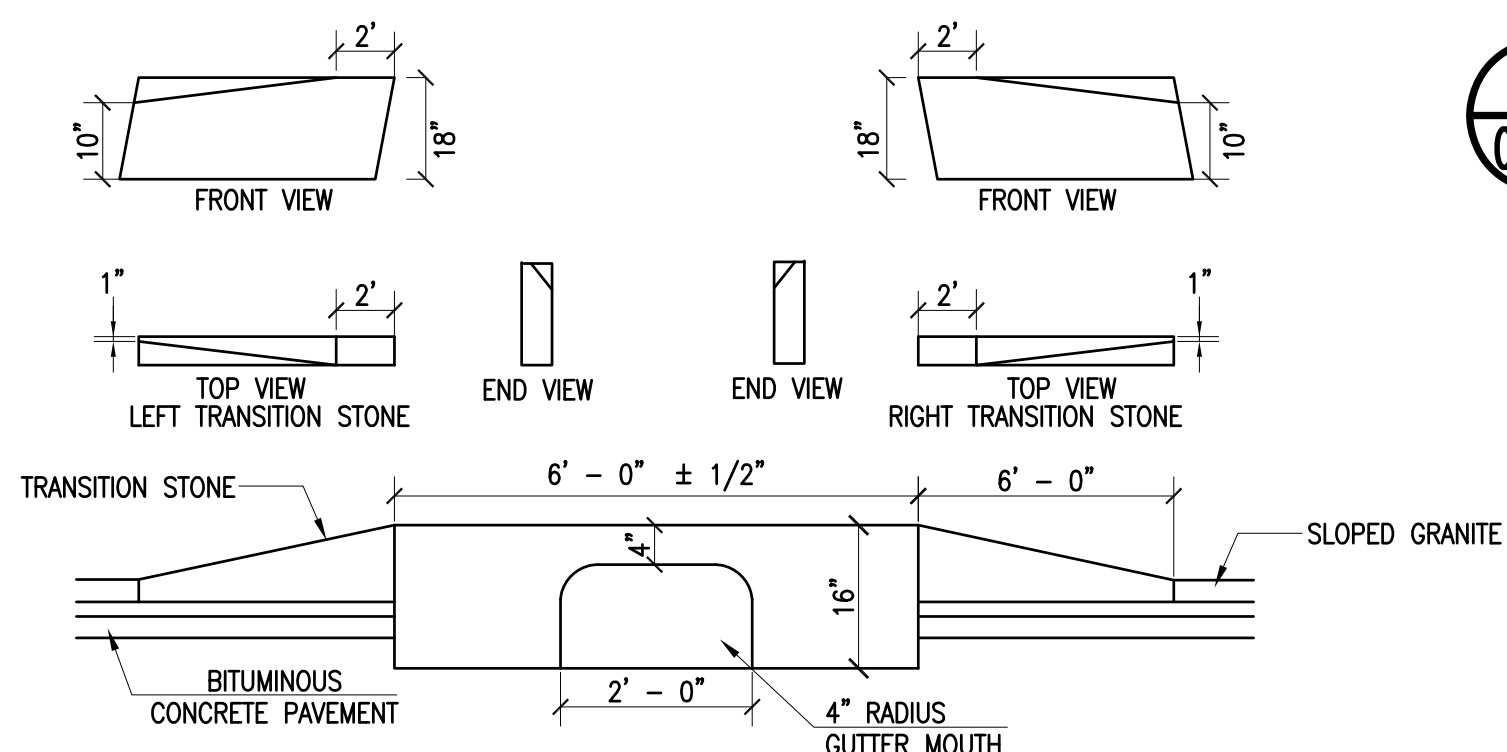
NOVEMBER 7, 2018
SCALE: AS NOTED
JOB NO. 17-1134
LATEST REVISION:
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DETAIL PLAN
CFG09.0

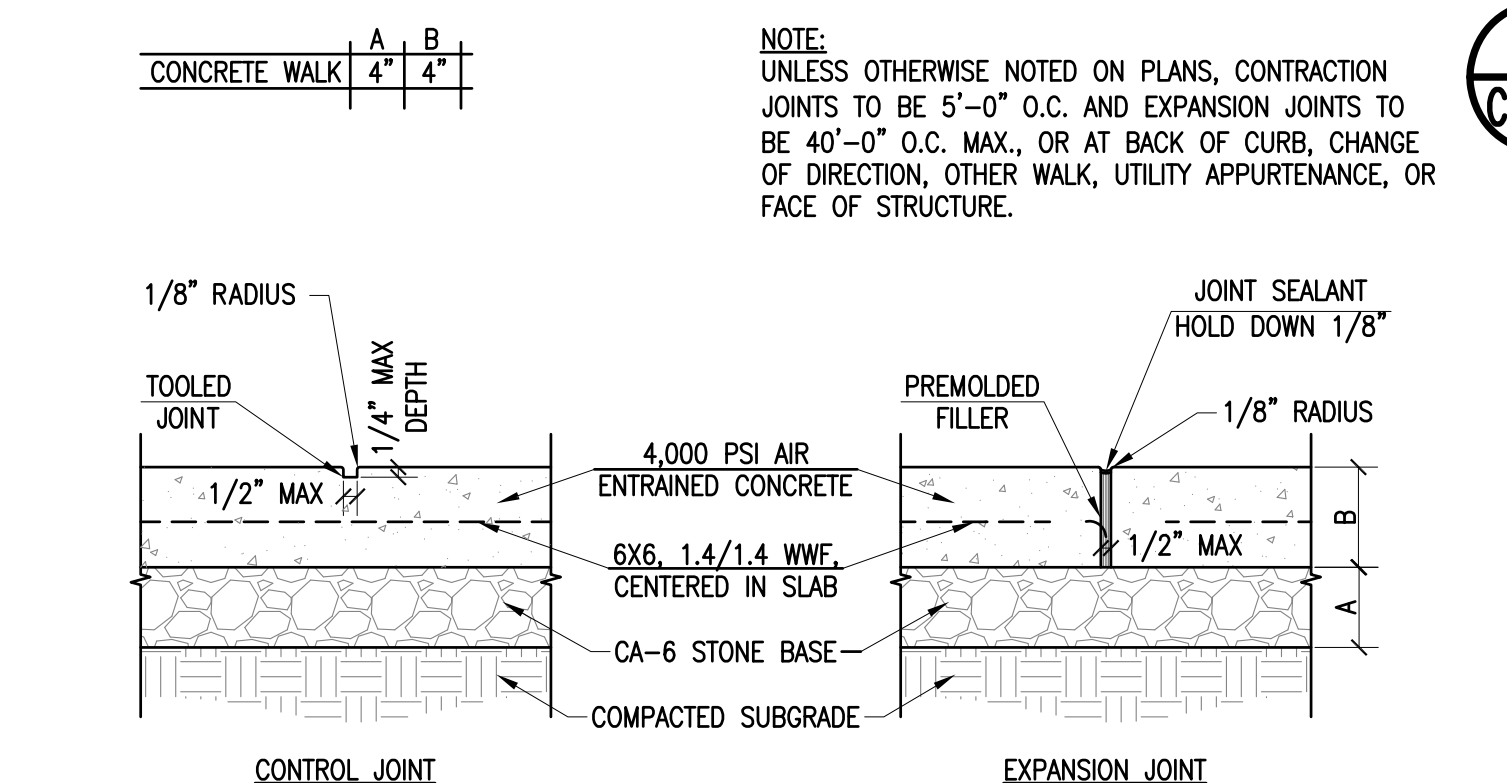
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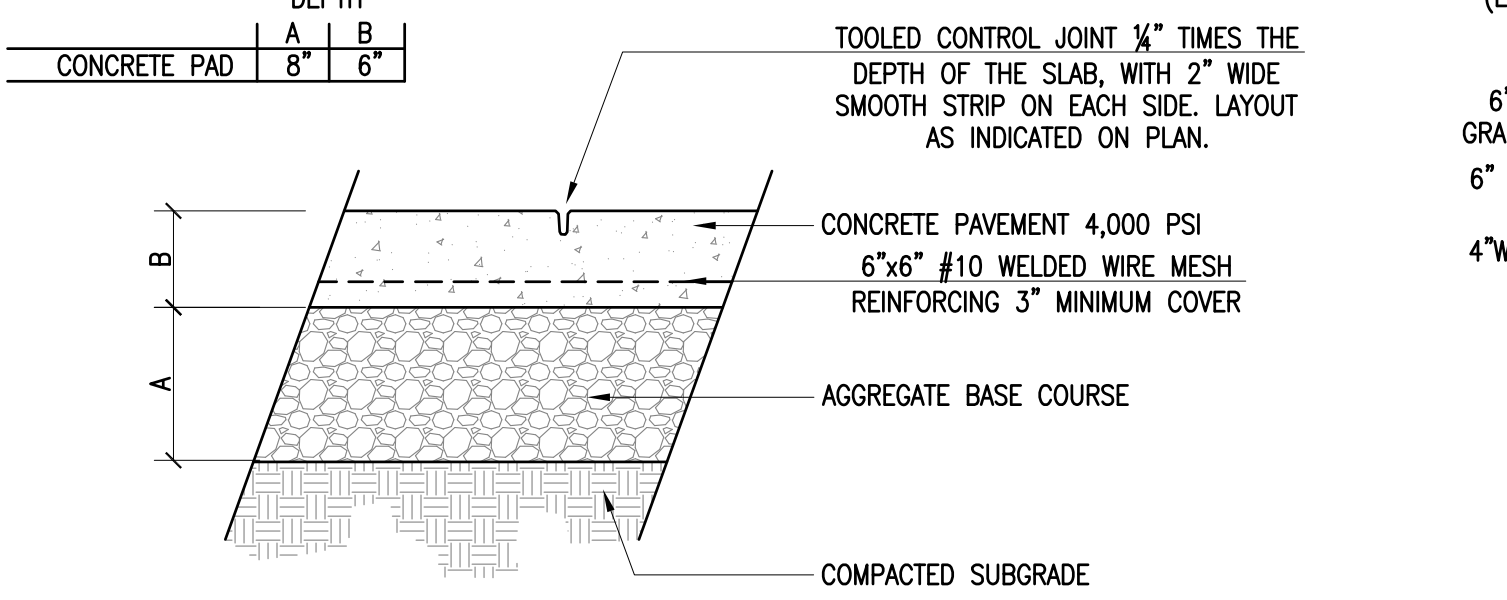
1 DRIVEWAY CURB CUT
CFG4.0 NOT TO SCALE



2 BITUMINOUS CONCRETE PAVEMENT
CFG4.0 NOT TO SCALE

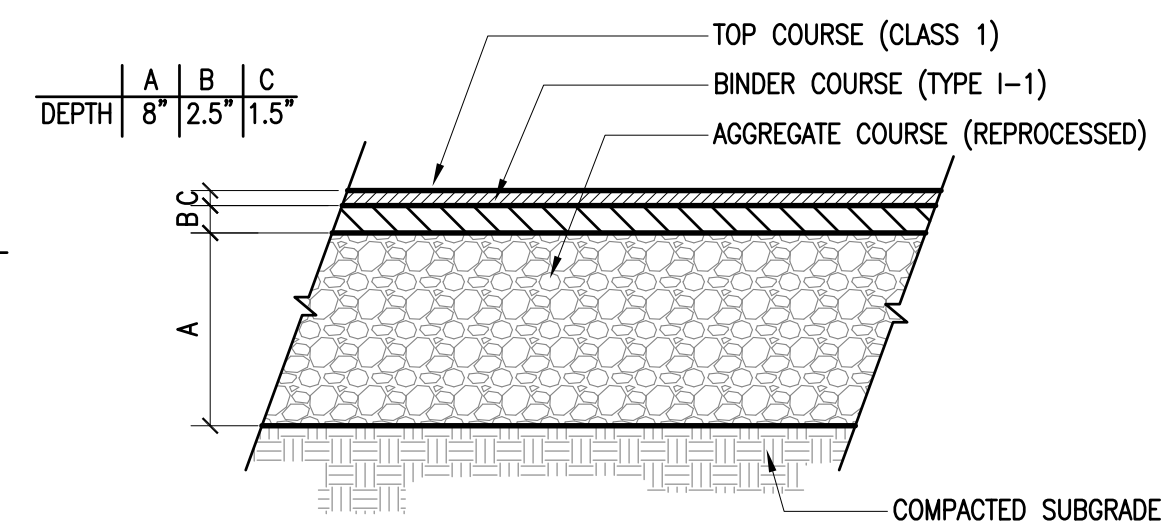


3 GRANITE CURB INLET DETAIL
CFG5.0 NOT TO SCALE

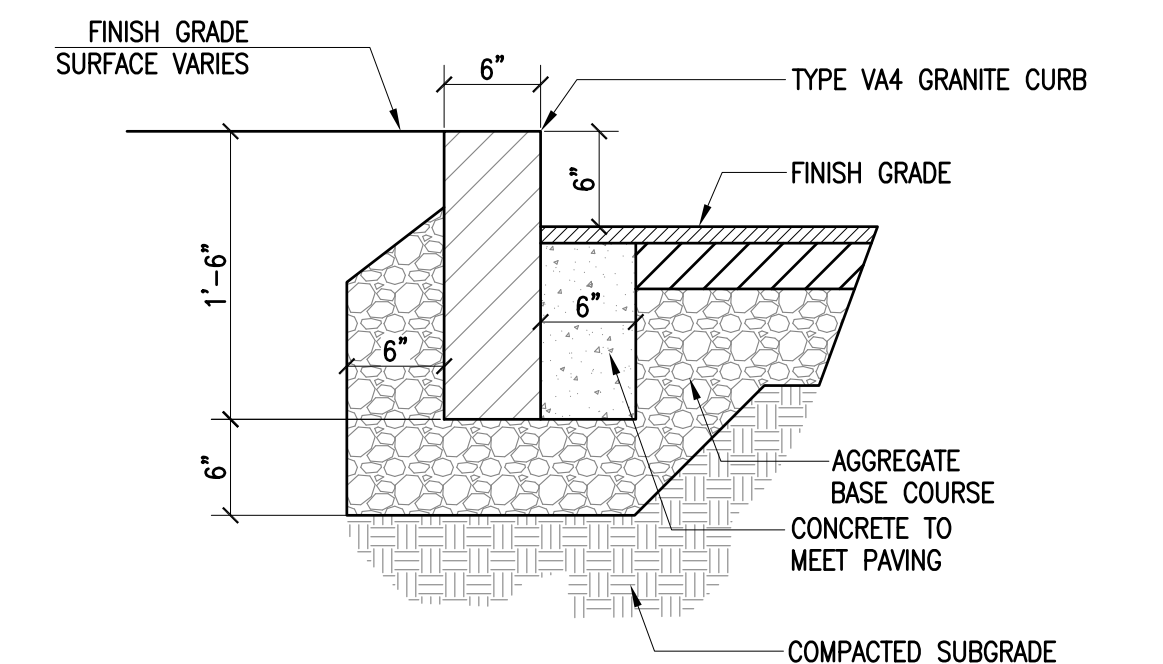


4 CONCRETE PAVEMENT SIDEWALK
CFG4.0 NOT TO SCALE

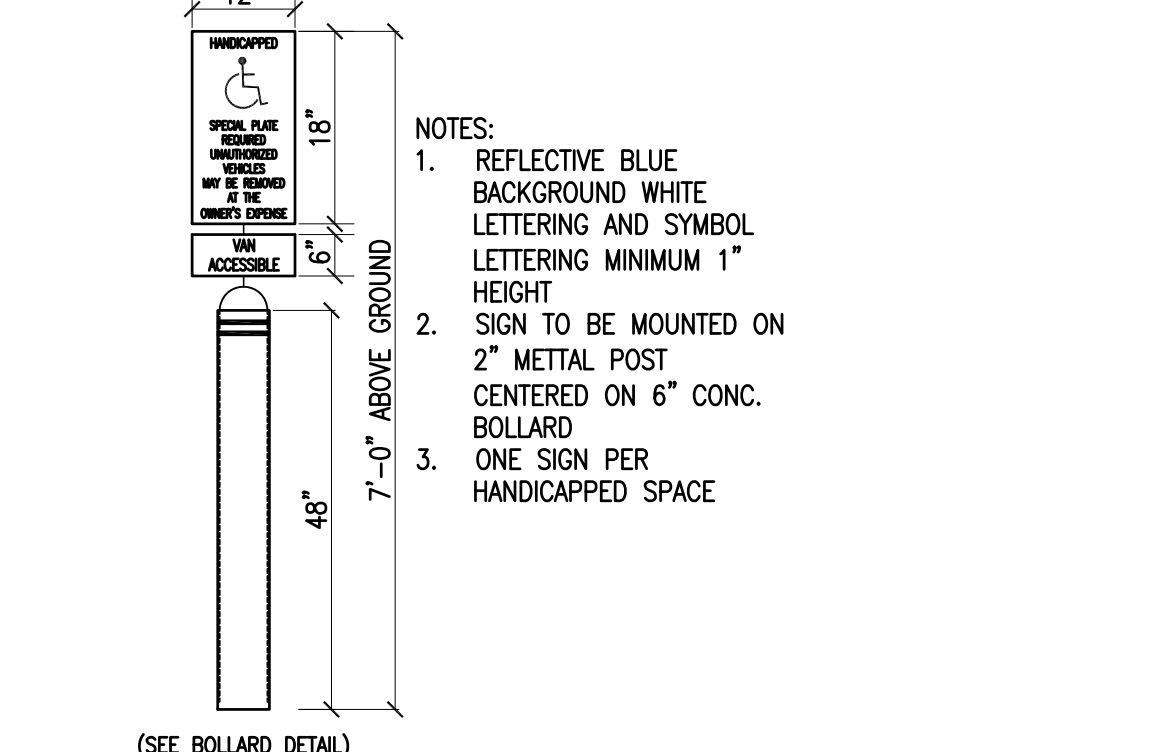
5 DUMPSTER PAD
CFG4.0 NOT TO SCALE



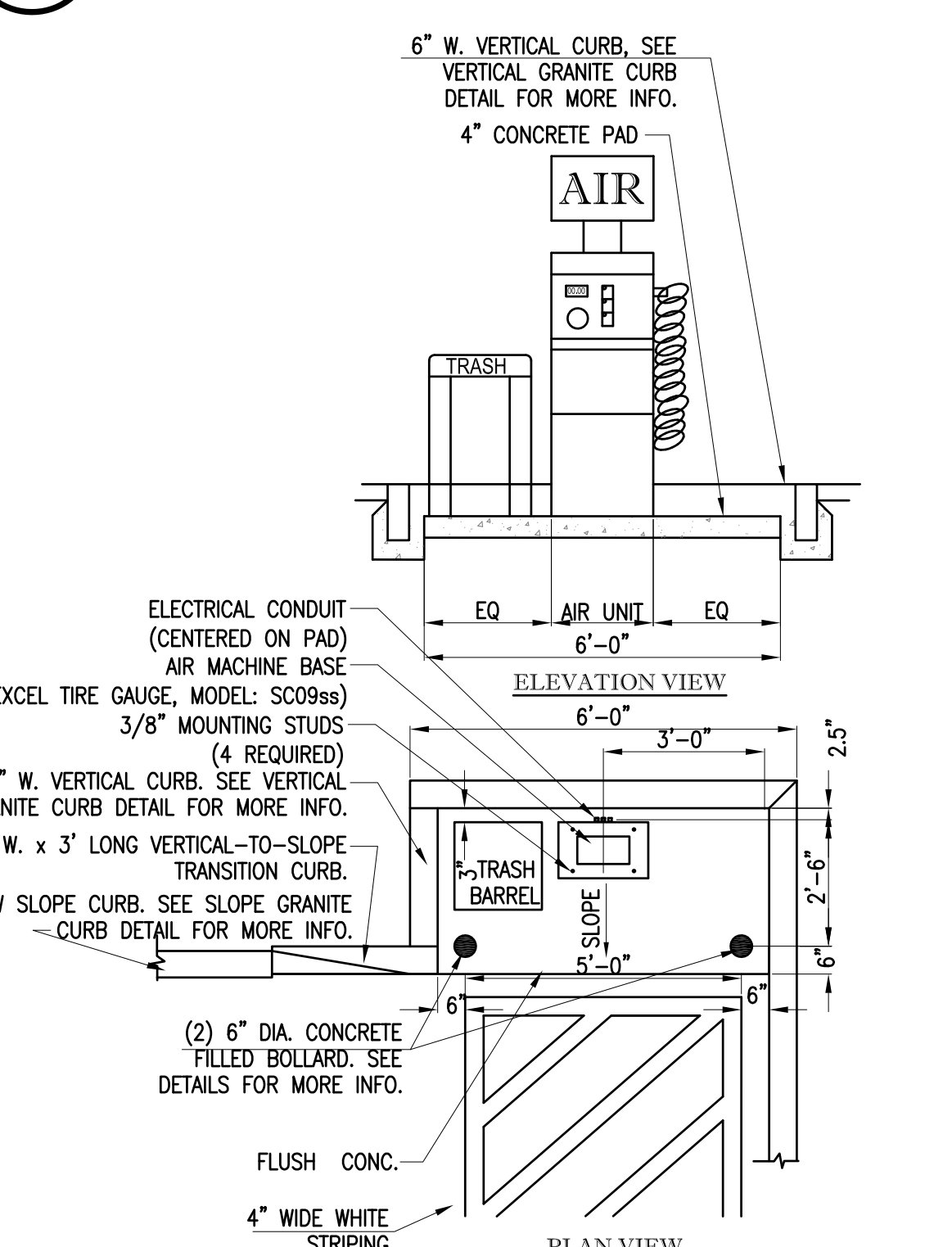
6 BITUMINOUS CONCRETE PAVEMENT
CFG4.0 NOT TO SCALE



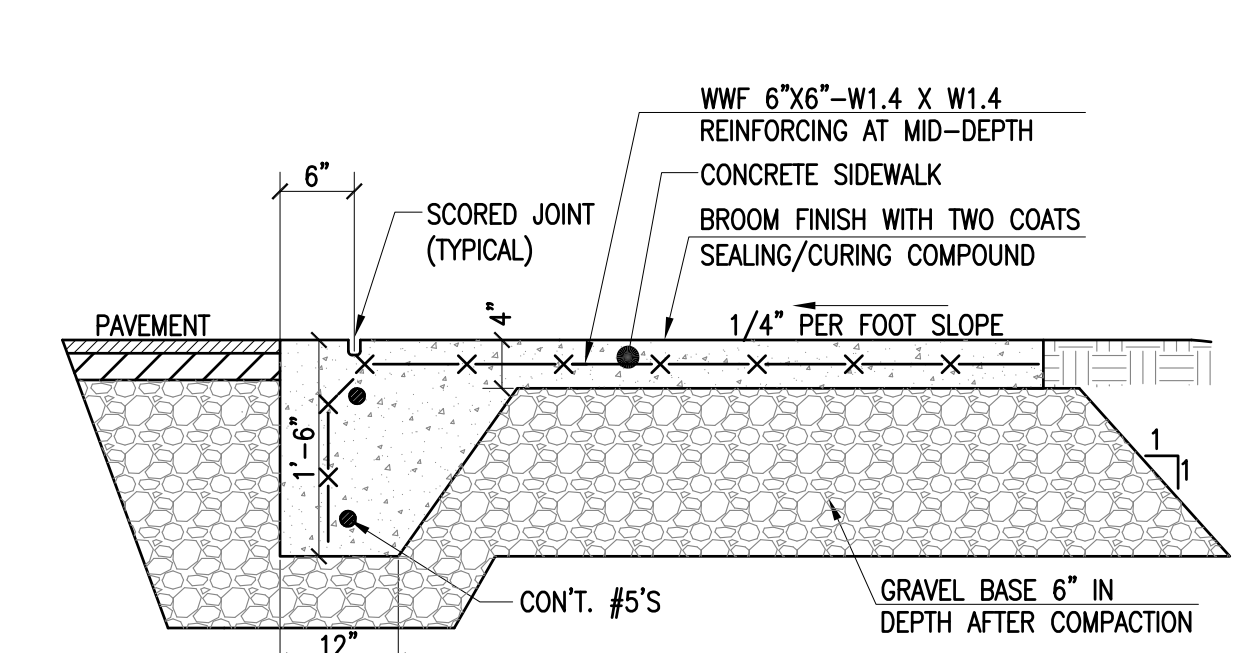
7 VERTICAL GRANITE CURB
CFG4.0 NOT TO SCALE



8 ACCESSIBLE PARKING SIGN
CFG4.0 NOT TO SCALE

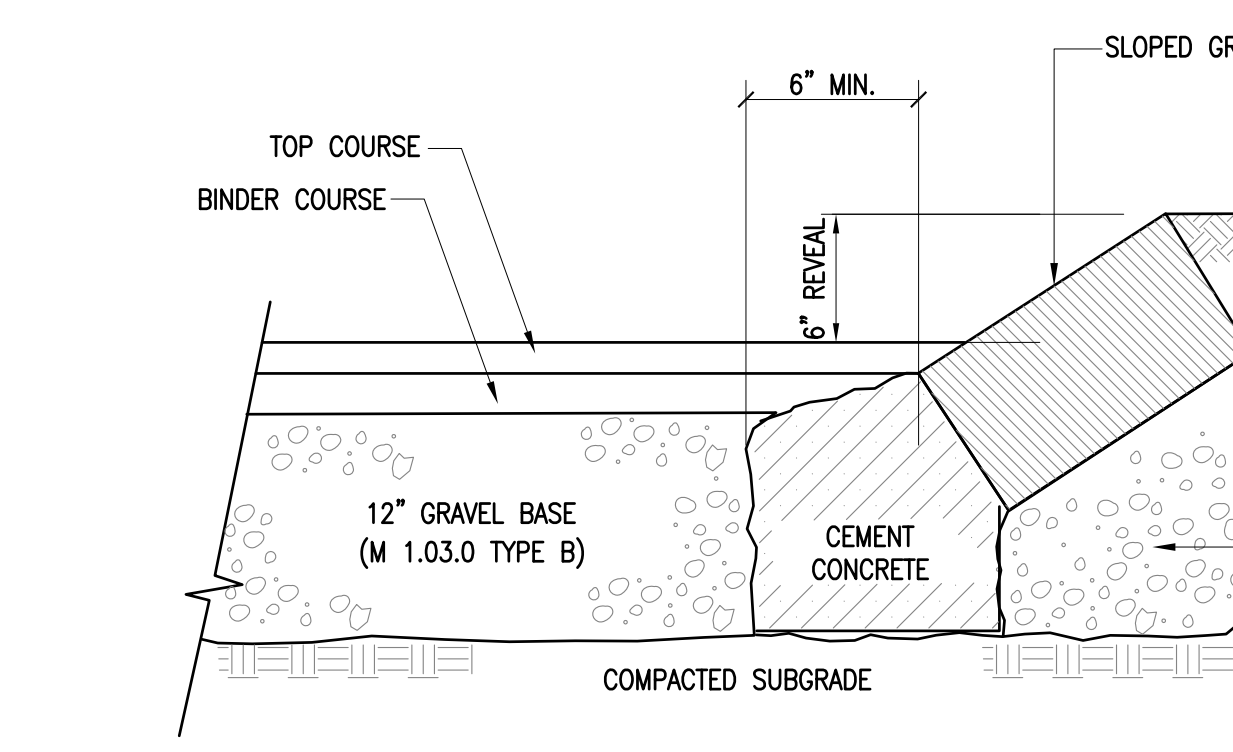


9 CFI AIR MACHINE
CFG4.0 NOT TO SCALE

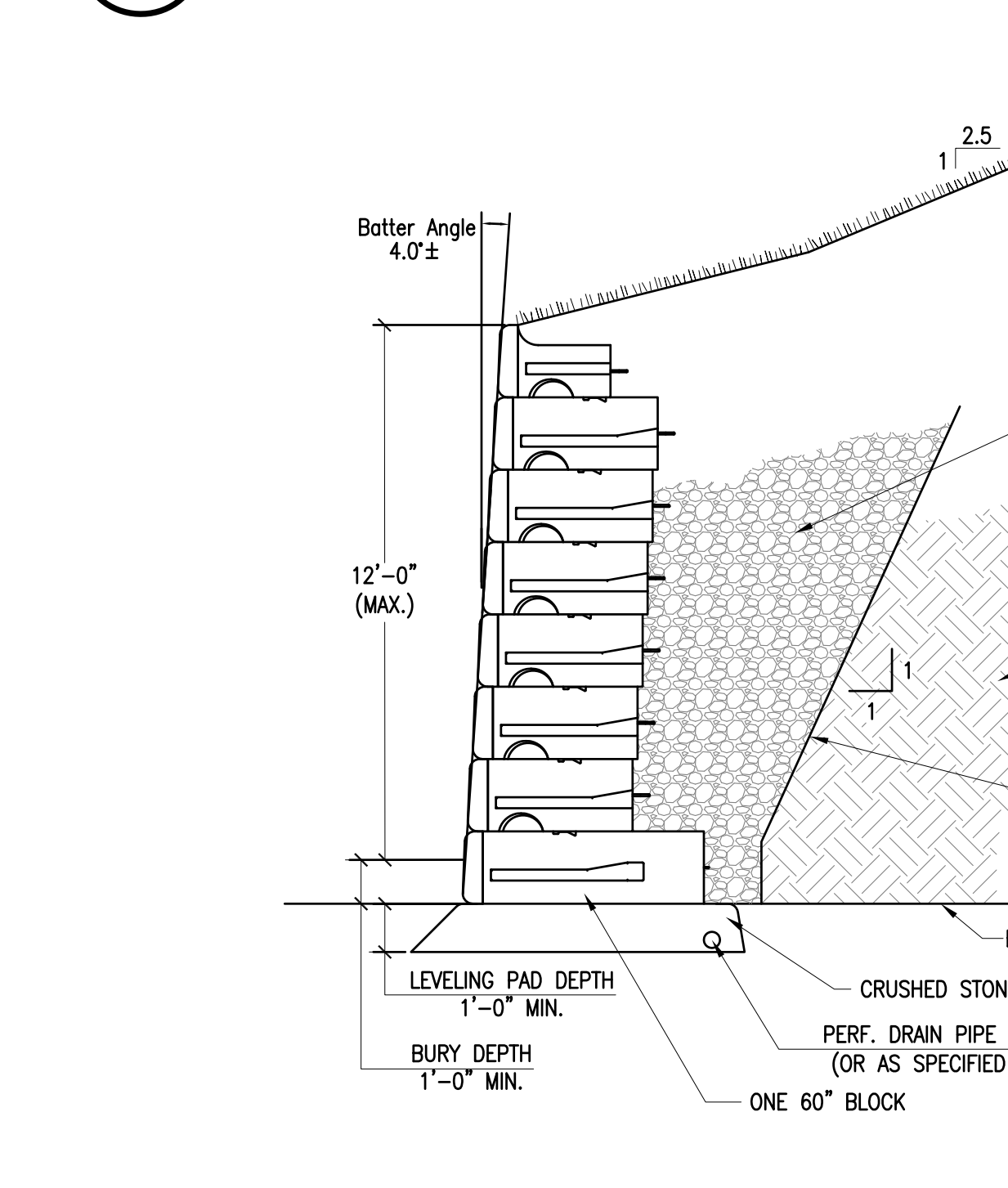


- NOTES:
- UNLESS OTHERWISE NOTED, CONCRETE WALKS SHALL BE 4" MINIMUM THICKNESS. CONCRETE PADS AND DRIVEWAY APRONS SHALL BE 6" MINIMUM THICKNESS REINFORCED CONCRETE.
 - CONCRETE WALKS AND PADS SHALL BE INSTALLED WITH CONTRACTION JOINTS AGAINST ALL STRUCTURAL FEATURES AND/OR AT 24" CENTERS. TOOLED JOINTS SHALL BE INSTALLED AT 6' MAXIMUM SPACING EACH WAY.
 - CONCRETE HAUNCH SHALL BE INSTALLED FOR EXPOSED FACE AS INDICATED AND WHERE FLUSH FOR ACCESS (RAMPS AND DUMPSTER PAD).

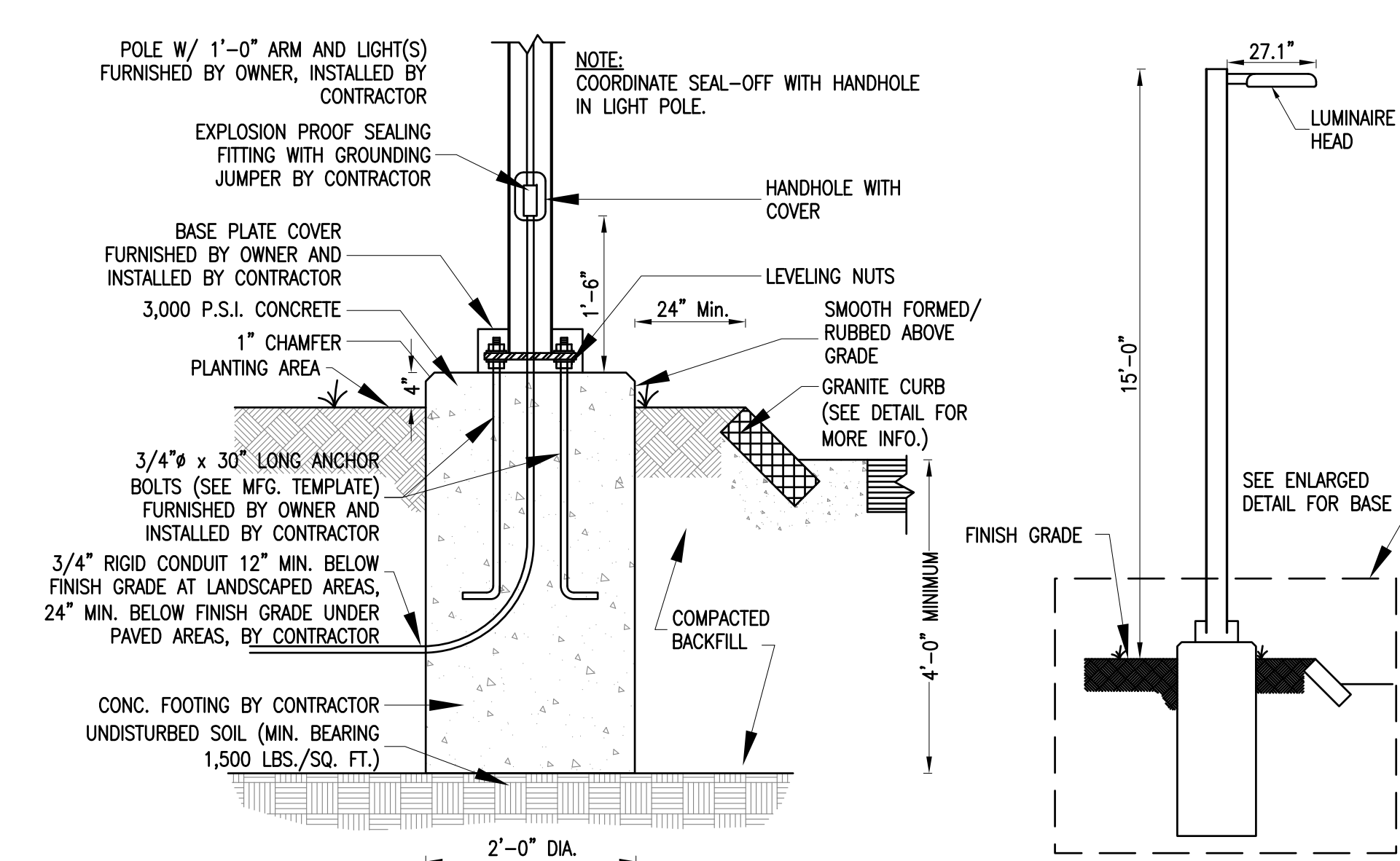
10 MONOLITHIC CONCRETE WALK
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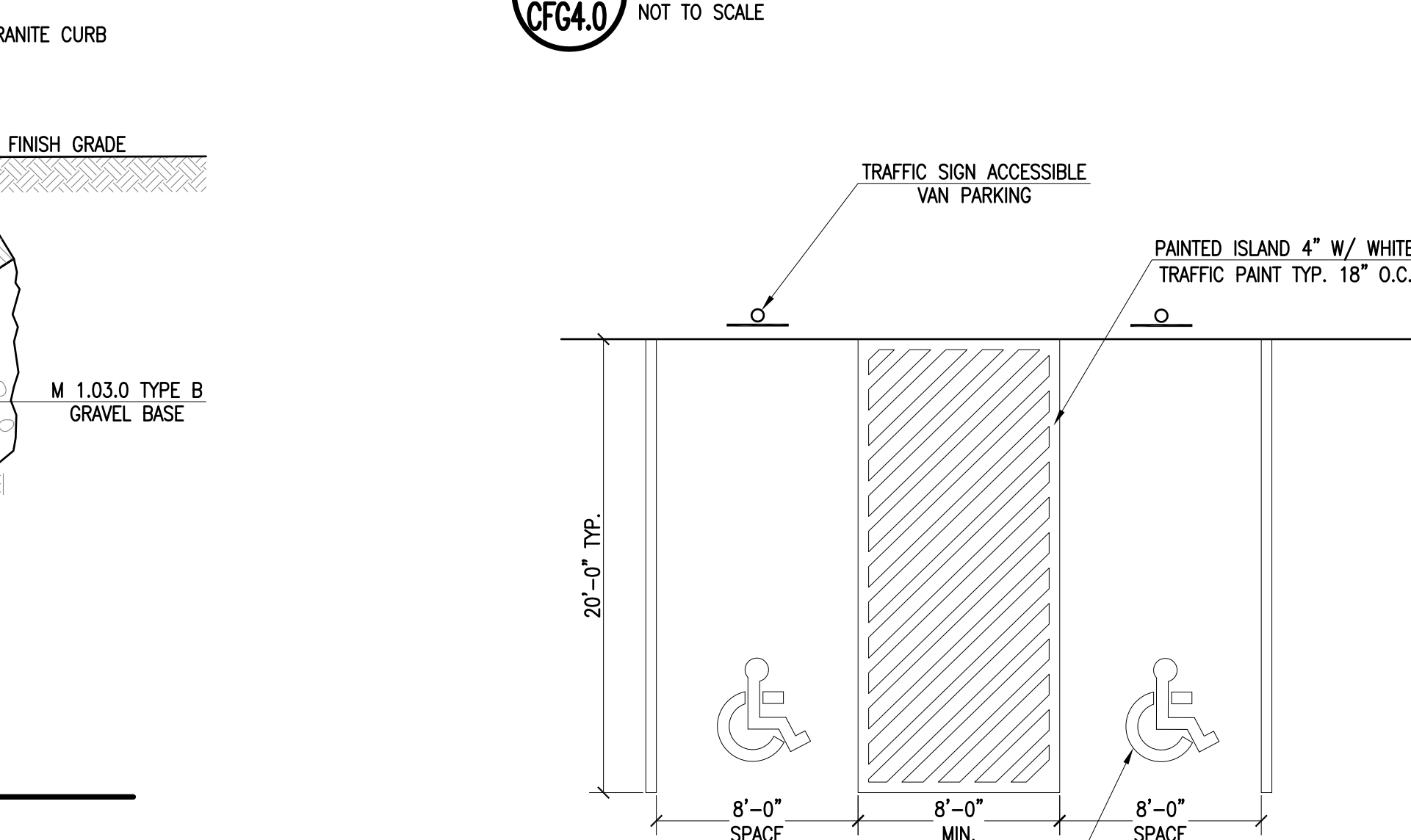
11 SLOPED GRANITE CURB
CFG4.0 NOT TO SCALE



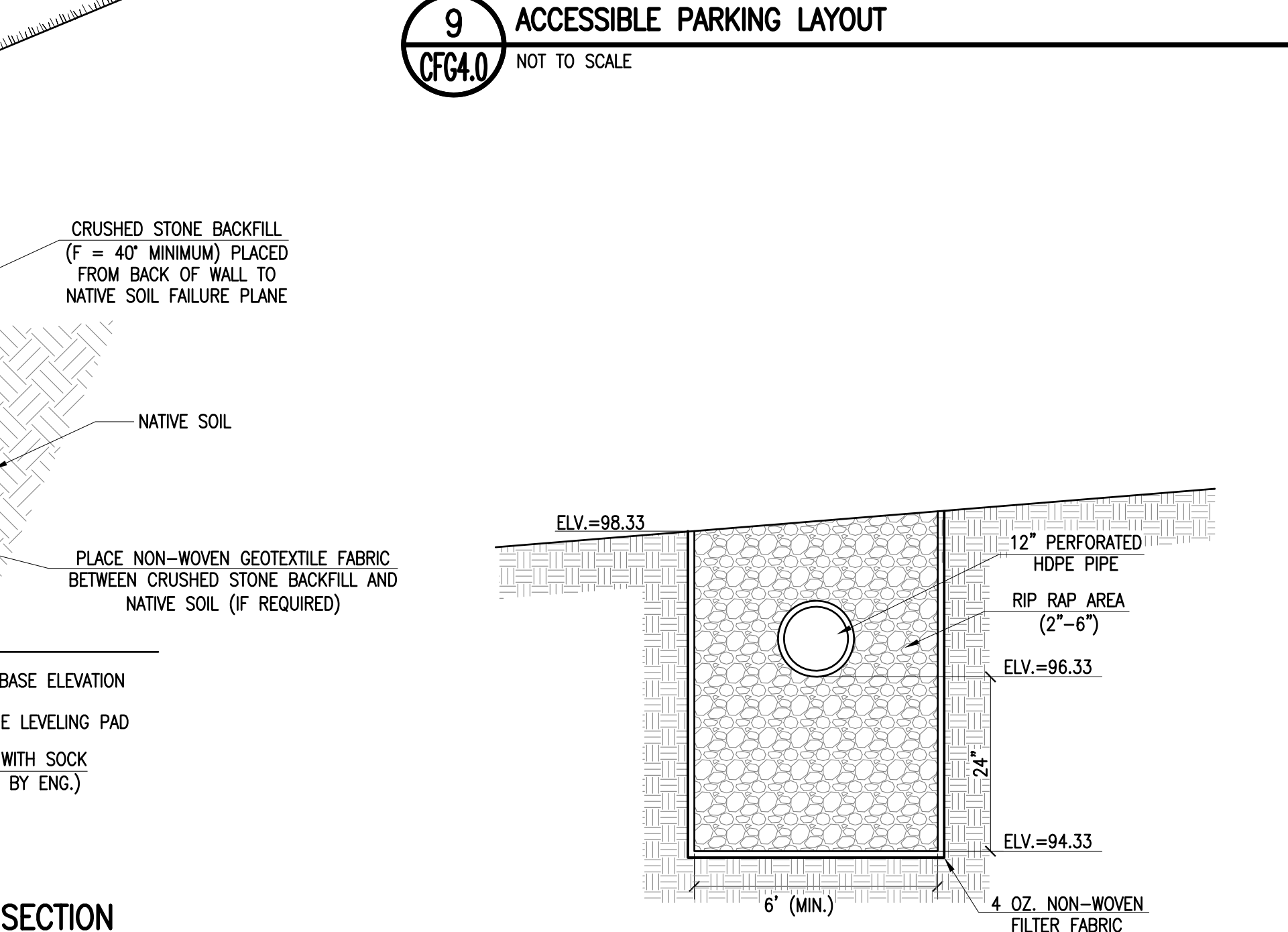
12 "REDI-ROCK" 12" GRAVITY WALL SECTION
W/ ONE 60" & 41" GRAVITY BLOCKS
CFG5.0 FINAL DESIGN TO BE PROVIDED BY "REDI-ROCK" NOT TO SCALE



13 LIGHT POLE AT LANDSCAPED AREAS
CFG4.0 NOT TO SCALE

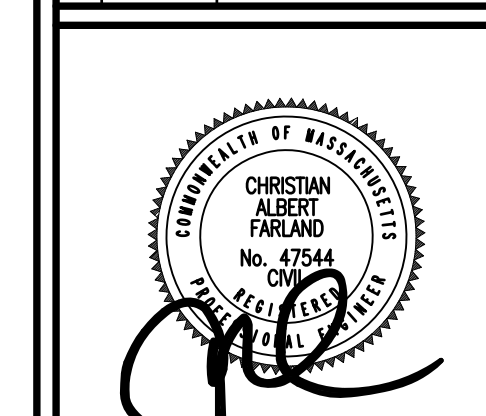


14 ACCESSIBLE PARKING LAYOUT
CFG4.0 NOT TO SCALE



15 LEVEL SPREADER
CFG5.0 NOT TO SCALE

| REVISIONS | |
|-----------|---------------------|
| NO. | DESCRIPTION |
| 1 | 120718 PER COMMENTS |



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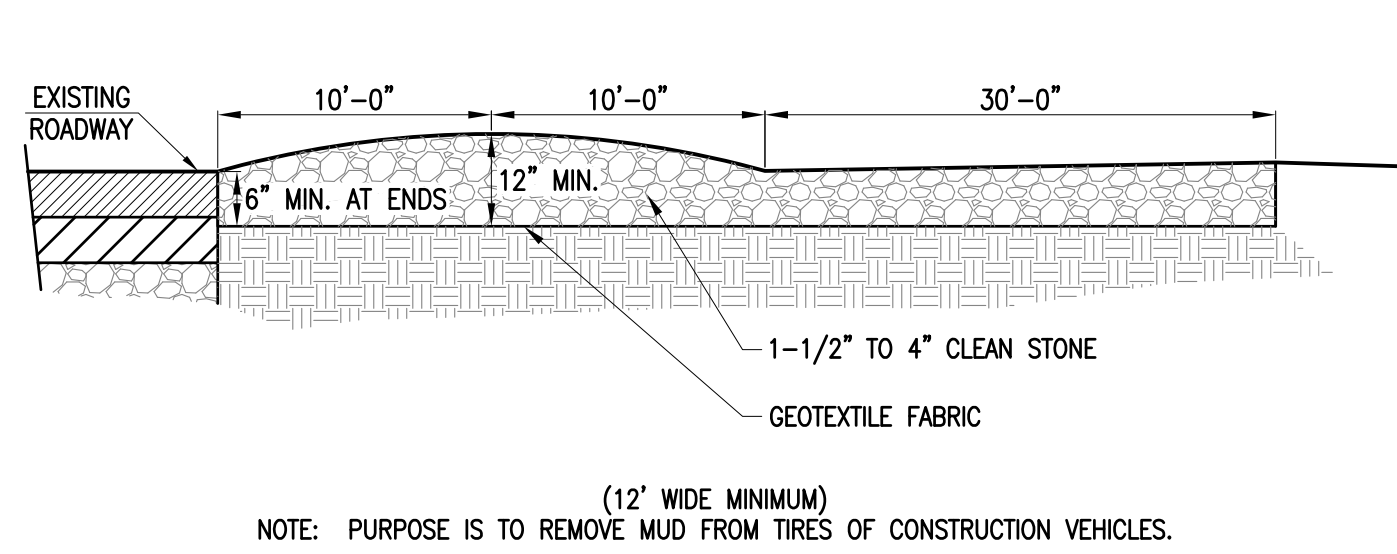
DRAWN BY: JKM
DESIGNED BY: CAF
CHECKED BY: CAF

SITE PLAN
2904 & 2914 ACUSHNET AVENUE
ASSESSORS MAP 130D LOTS 117, 247, 248, & 447
NEW BEDFORD, MASSACHUSETTS
PREPARED FOR:
T.M. CROWLEY & ASSOCIATES
14 BREAKNECK HILL ROAD, SUITE 101
LINCOLN, RI 02865

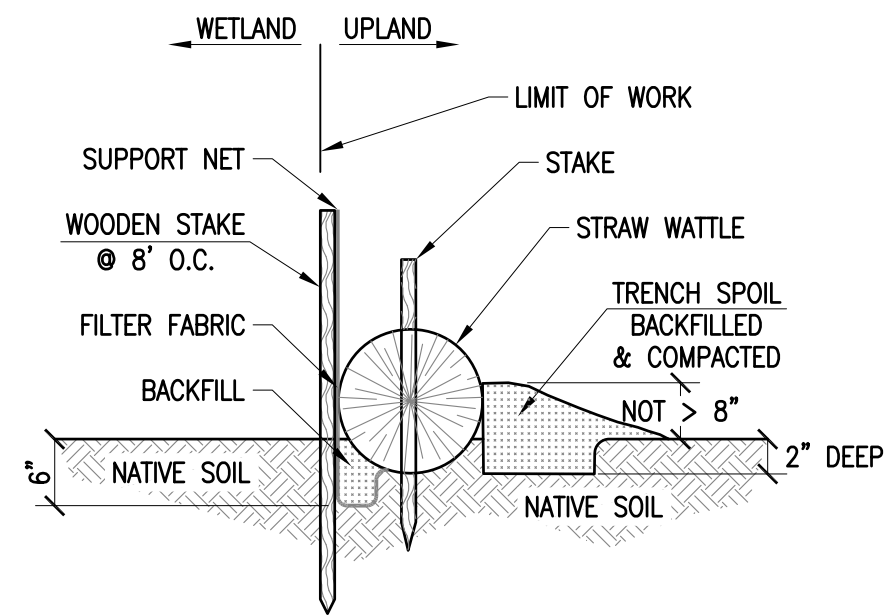
NOVEMBER 7, 2018
SCALE: AS NOTED
JOB NO. 17-1134
LATEST REVISION:
120718

DETAIL PLAN
CFG09.1

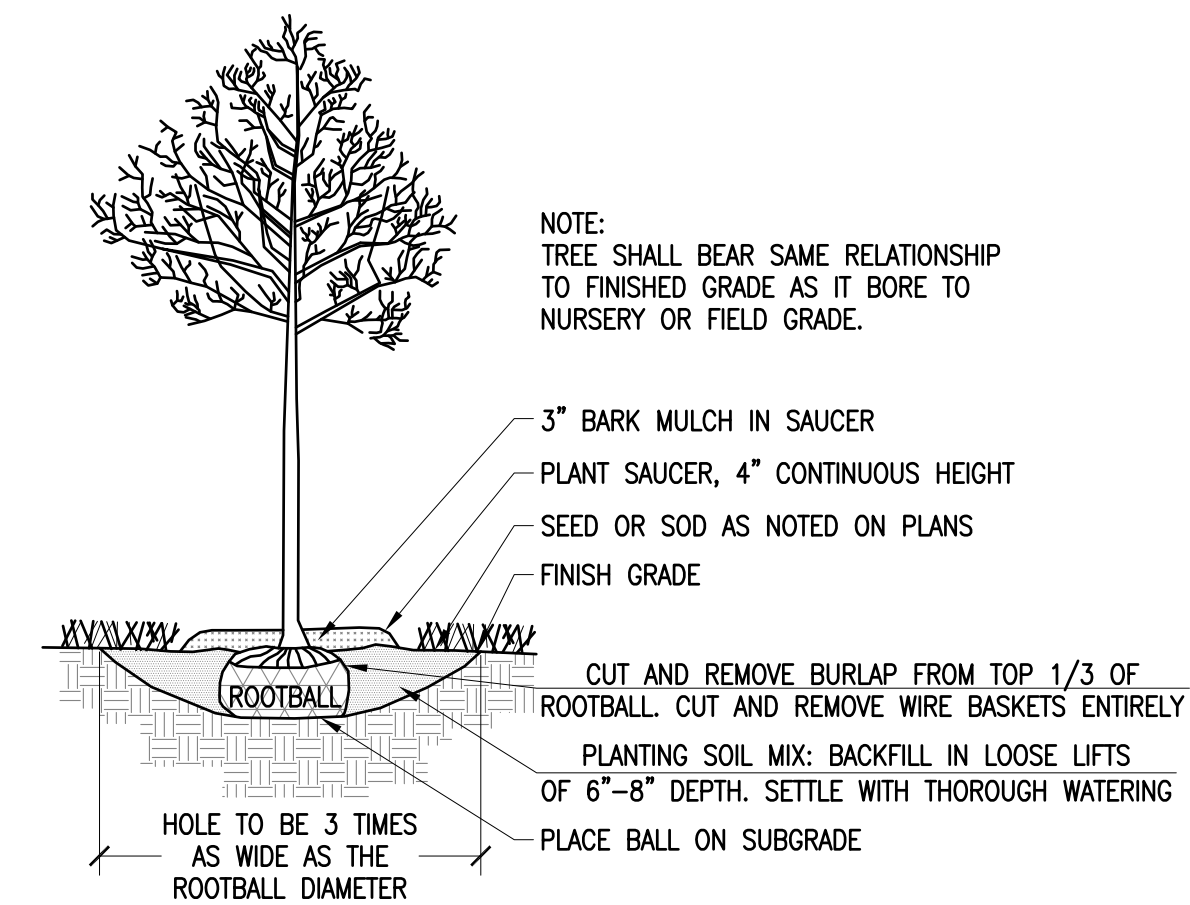
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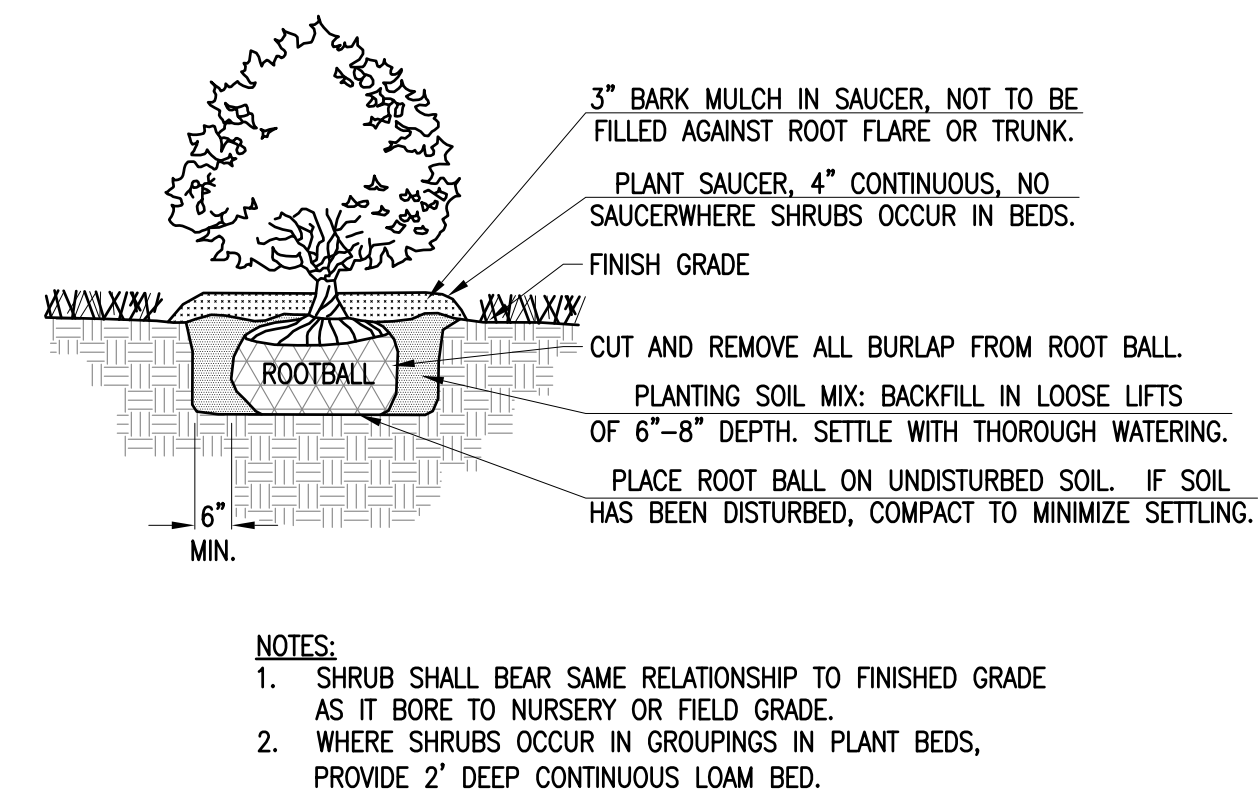
1 TEMPORARY CONSTRUCTION ENTRANCE
CFG6.0 NOT TO SCALE



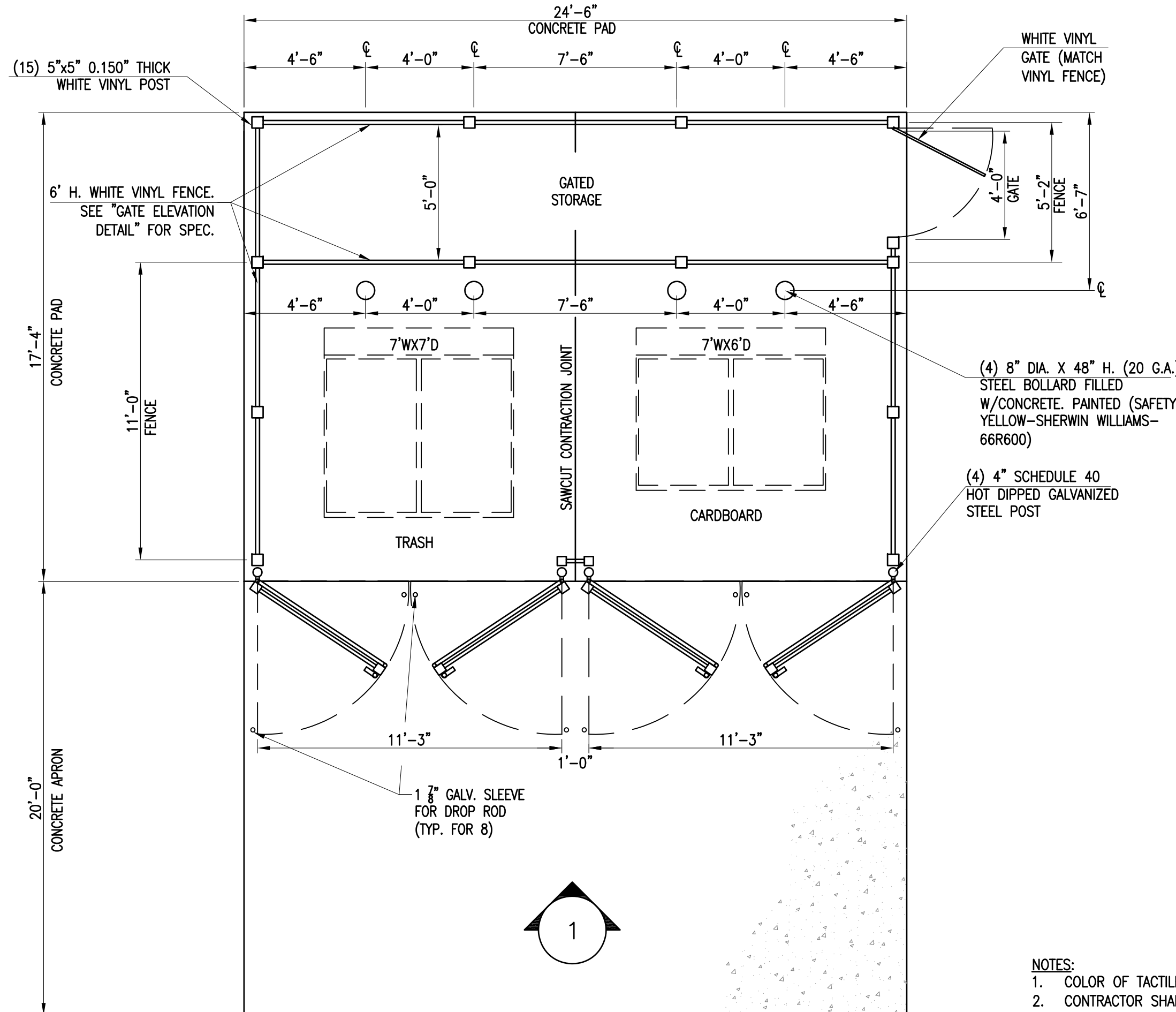
2 STAKED STRAW WATTLE WITH SILT FENCE
CFG6.0 NOT TO SCALE



3 TREE PLANTING
CFG8.0 NOT TO SCALE

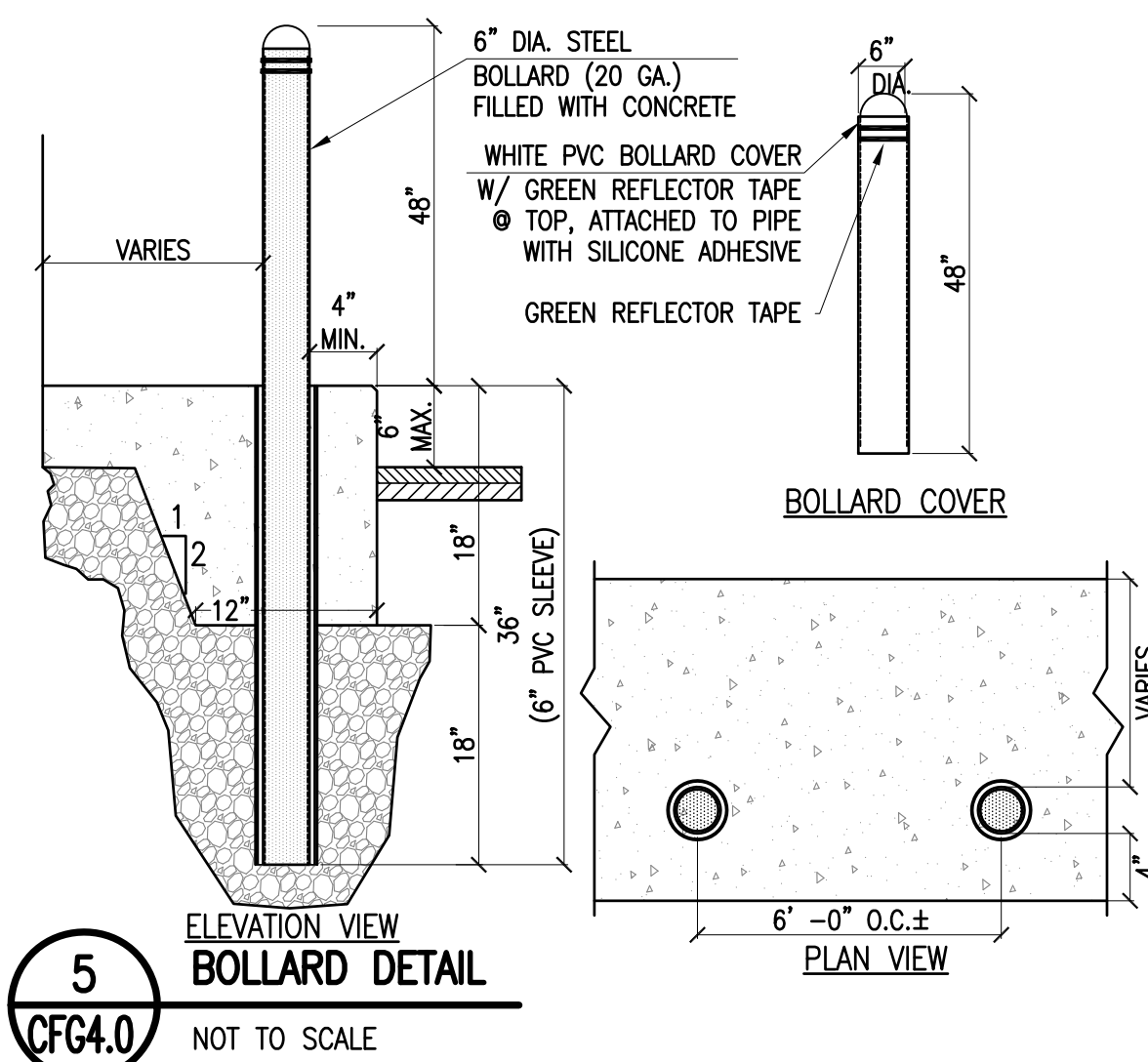


4 SHRUB PLANTING
CFG8.0 NOT TO SCALE

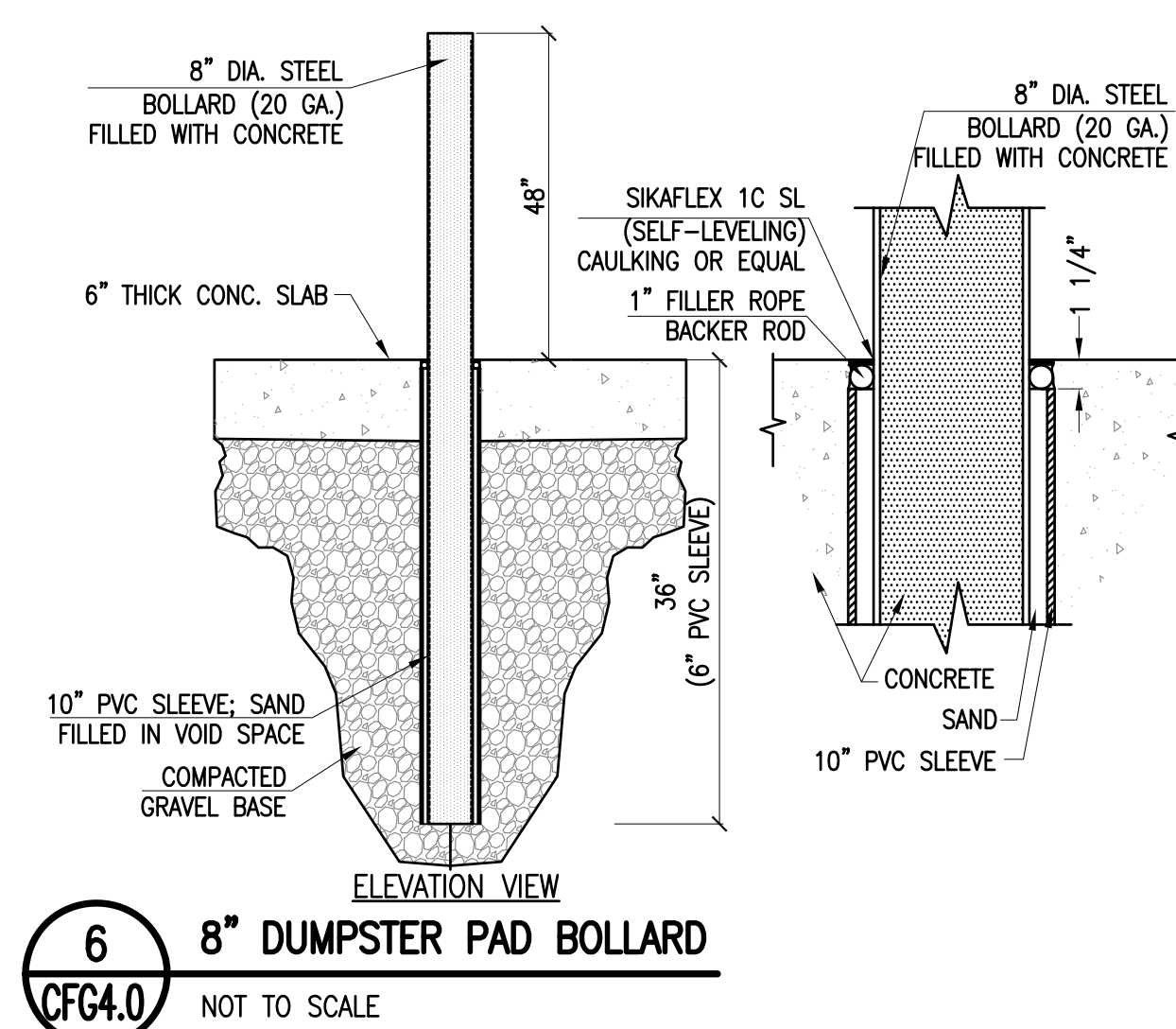


7 DUMPSTER ENCLOSURE
CFG4.0 NOT TO SCALE

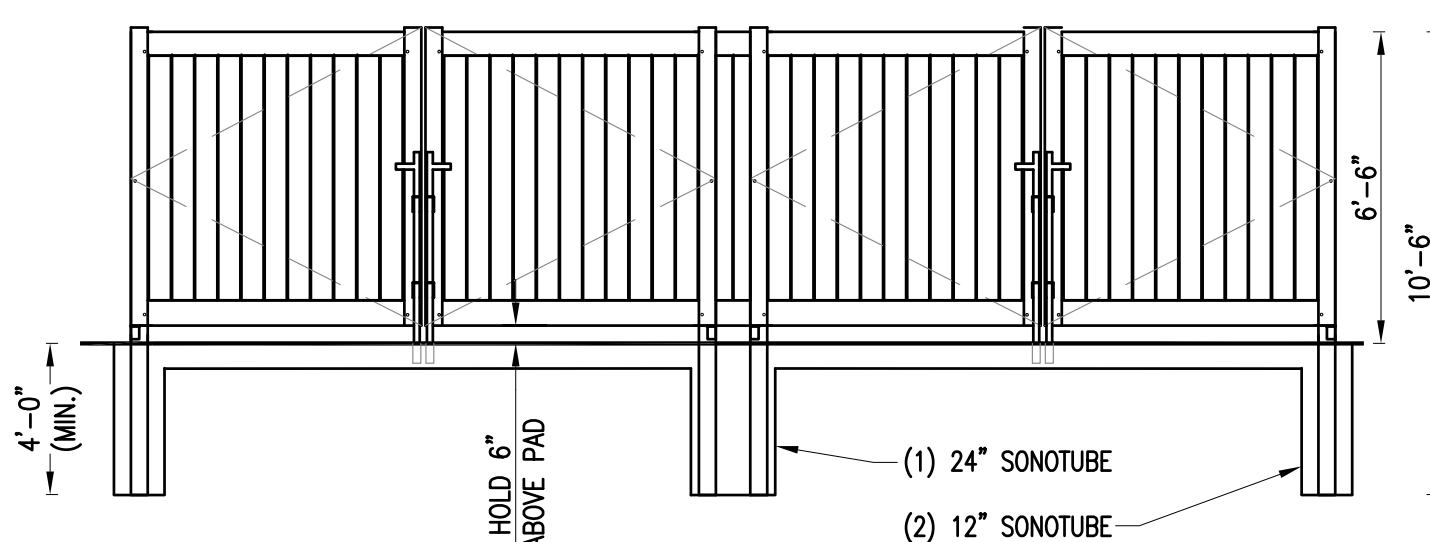
NOTES:
1. COLOR OF TACTILE DETECTABLE WARNINGS SHALL BE YELLOW.
2. CONTRACTOR SHALL INSTALL TILE PER MANUFACTURER'S SPECIFICATIONS
3. PREFERRED PRODUCT SHALL BE REPLACEABLE (WET-SET) COMPOSITE TACTILE BY ADA SOLUTIONS, INC. FOR PRICING QUOTATIONS, PLACING ORDERS, AND FURTHER INFORMATION, CALL JON MEHLMAN, EAST REGIONAL ACCOUNT DIRECTOR FOR ADA SOLUTIONS, INC. AT (800) 372-0519 or (978) 262-9900. DETAILED INFORMATION IS AVAILABLE AT www.adafile.com.



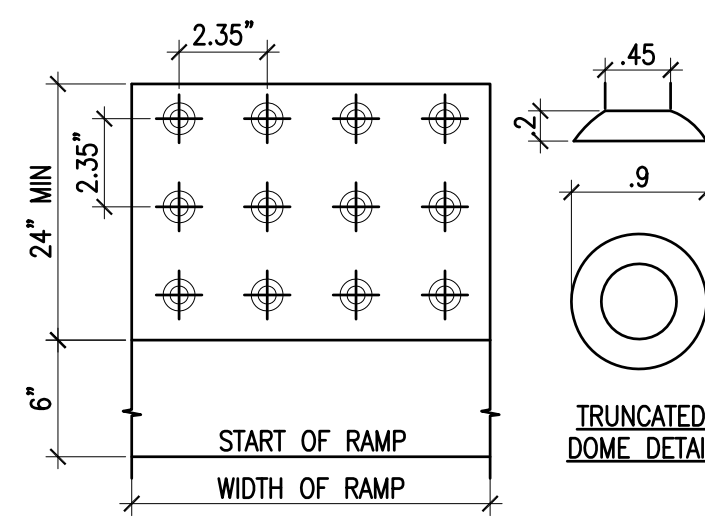
5 BOLLARD DETAIL
CFG4.0 NOT TO SCALE



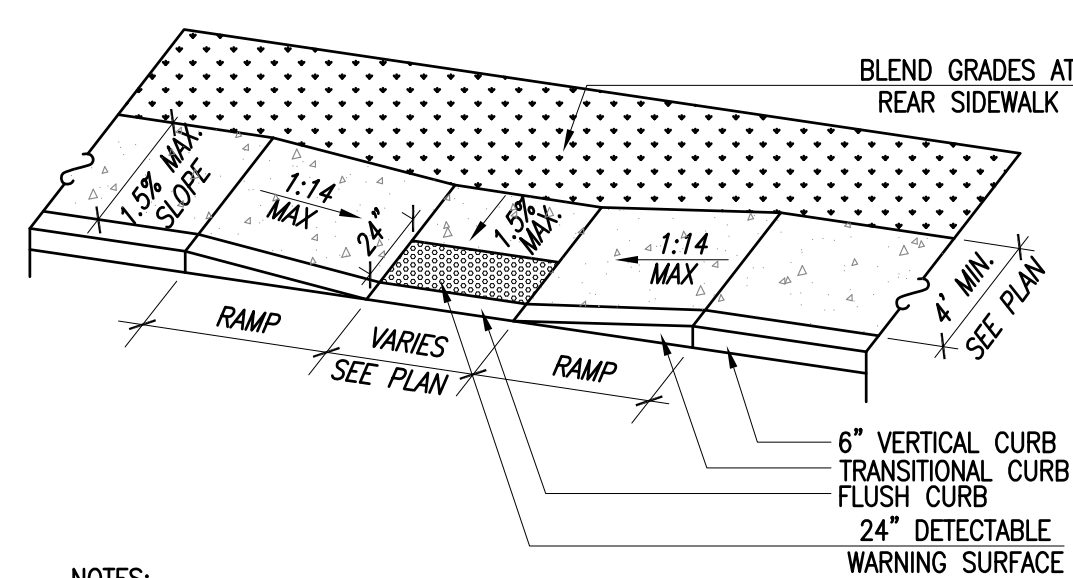
6 8" DUMPSTER PAD BOLLARD
CFG4.0 NOT TO SCALE



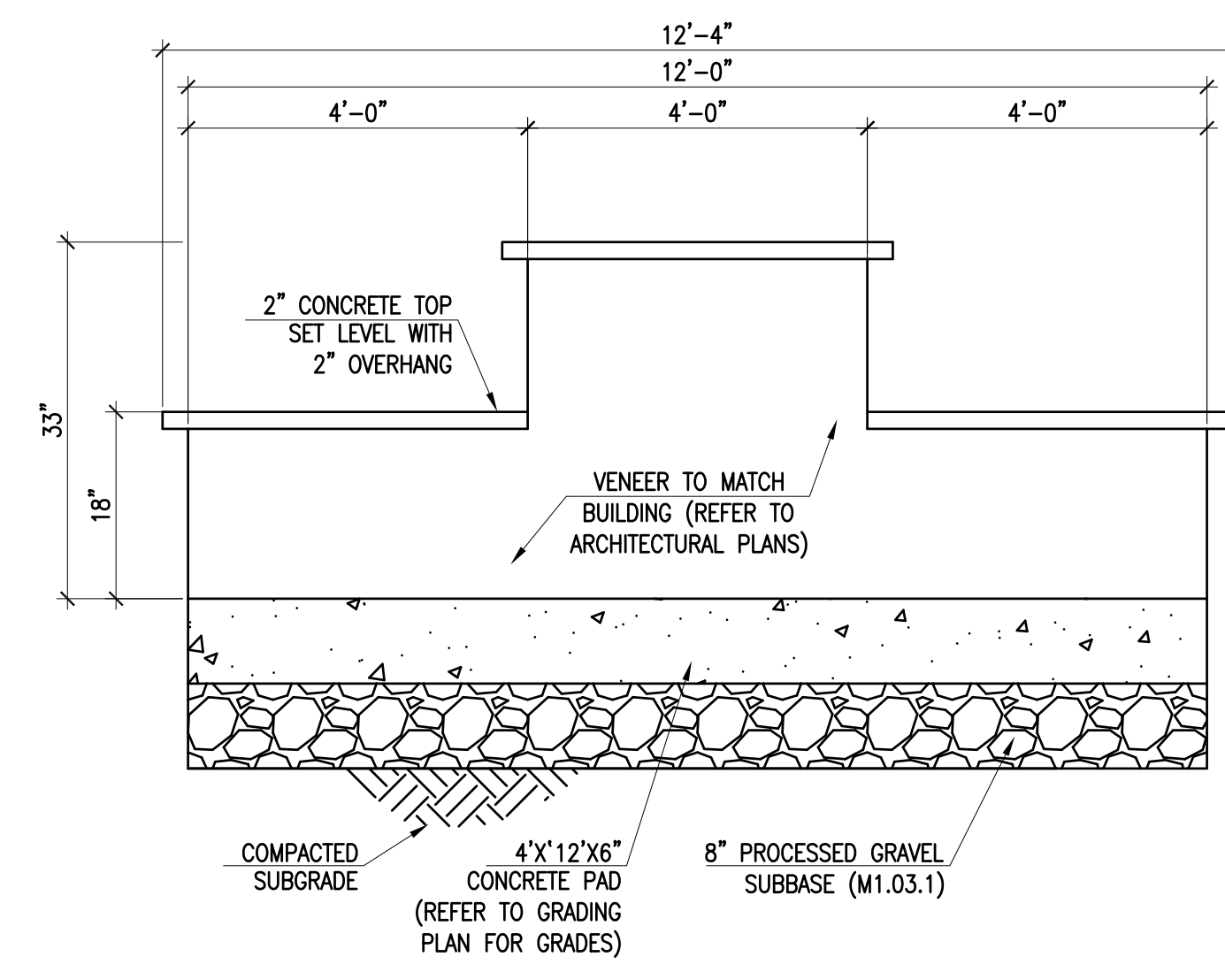
8 DUMPSTER GATE ELEVATION
CFG4.0 NOT TO SCALE



9 DETECTABLE WARNING DETAIL
CFG4.0 NOT TO SCALE



10 ACCESSIBLE RAMP TYPE B
CFG4.0 NOT TO SCALE



11 VACUUM/TRASH ISLAND DETAIL
CFG4.0 NOT TO SCALE

| REVISIONS | |
|-----------|---------------------|
| NO. | DESCRIPTION |
| 1 | 120718 PER COMMENTS |



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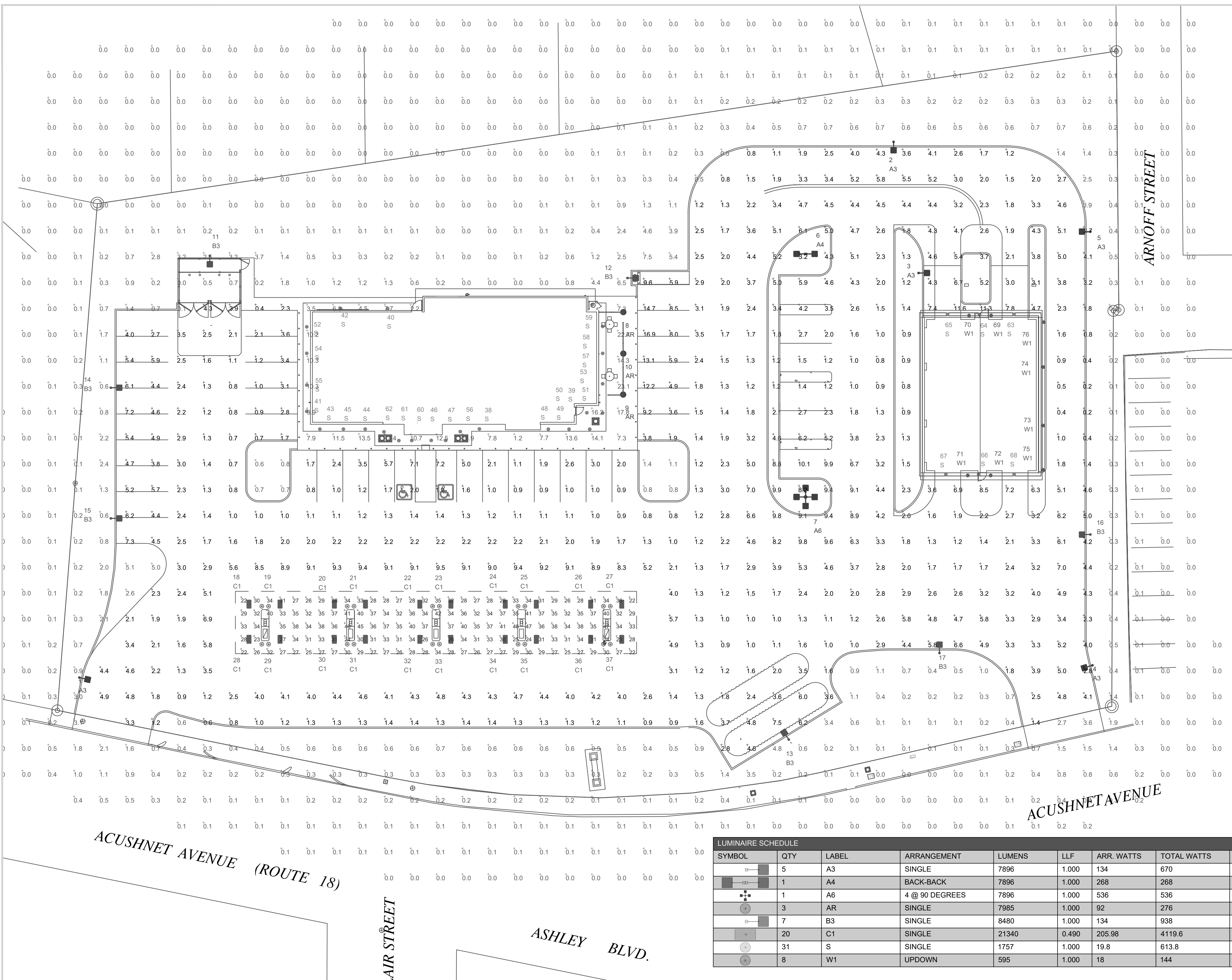
SITE PLAN
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PREPARED FOR:
T.M. CROWLEY & ASSOCIATES
14 BREAKNECK HILL ROAD, SUITE 101
LINCOLN, RI 02865

NOVEMBER 7, 2018
SCALE: AS NOTED
JOB NO. 17-1134
LATEST REVISION:
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DETAIL PLAN
CFG09.2

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NOTE:
- FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES
- EXCEPT FOR TYPE "AR" FIXTURES, ALL POLE MOUNTED FIXTURES ARE MOUNTED ON A 15 FT POLE ATOP A CONCRETE BASE FLUSH AT GRADE.
- TYPE "AR" FIXTURE IS MOUNTED ON AN 8 FT POLE ATOP A CONCRETE BASE FLUSH AT GRADE.



| LUMINAIRE LOCATION SUMMARY | | |
|----------------------------|-------|----------|
| LUM NO. | LABEL | MTG. HT. |
| 1 | A3 | 15 |
| 2 | A3 | 15 |
| 3 | A3 | 15 |
| 4 | A3 | 15 |
| 5 | A3 | 15 |
| 6 | A4 | 15 |
| 7 | A6 | 15 |
| 8 | AR | 8 |
| 9 | AR | 8 |
| 10 | AR | 8 |
| 11 | B3 | 15 |
| 12 | B3 | 15 |
| 13 | B3 | 15 |
| 14 | B3 | 15 |
| 15 | B3 | 15 |
| 16 | B3 | 15 |
| 17 | B3 | 15 |
| 18 | C1 | 14 |
| 19 | C1 | 14 |
| 20 | C1 | 14 |
| 21 | C1 | 14 |
| 22 | C1 | 14 |
| 23 | C1 | 14 |
| 24 | C1 | 14 |
| 25 | C1 | 14 |
| 26 | C1 | 14 |
| 27 | C1 | 14 |
| 28 | C1 | 14 |
| 29 | C1 | 14 |
| 30 | C1 | 14 |
| 31 | C1 | 14 |
| 32 | C1 | 14 |
| 33 | C1 | 14 |
| 34 | C1 | 14 |
| 35 | C1 | 14 |
| 36 | C1 | 14 |
| 37 | C1 | 14 |

| LUMINAIRE LOCATION SUMMARY | | |
|----------------------------|-------|----------|
| LUM NO. | LABEL | MTG. HT. |
| 38 | S | 12 |
| 39 | S | 12 |
| 40 | S | 12 |
| 41 | S | 12 |
| 42 | S | 12 |
| 43 | S | 12 |
| 44 | S | 12 |
| 45 | S | 12 |
| 46 | S | 12 |
| 47 | S | 15.5 |
| 48 | S | 12 |
| 49 | S | 12 |
| 50 | S | 12 |
| 51 | S | 12 |
| 52 | S | 12 |
| 53 | S | 12 |
| 54 | S | 12 |
| 55 | S | 12 |
| 56 | S | 12 |
| 57 | S | 12 |
| 58 | S | 12 |
| 59 | S | 12 |
| 60 | S | 16.945 |
| 61 | S | 15.5 |
| 62 | S | 12 |
| 63 | S | 14 |
| 64 | S | 14 |
| 65 | S | 14 |
| 66 | S | 14 |
| 67 | S | 14 |
| 68 | S | 14 |
| 69 | W1 | 8 |
| 70 | W1 | 8 |
| 71 | W1 | 8 |
| 72 | W1 | 8 |
| 73 | W1 | 8 |
| 74 | W1 | 8 |
| 75 | W1 | 8 |
| 76 | W1 | 8 |

| CALCULATION SUMMARY | | | | | |
|---------------------|-------|------|-----|---------|---------|
| LABEL | AVG | MAX | MIN | AVG/MIN | MAX/MIN |
| CANOPY | 31.93 | 47 | 22 | 1.45 | 2.14 |
| PAVED AREA | 3.35 | 16.9 | 0.2 | 16.75 | 84.50 |
| UNDEFINED AREA | 0.64 | 23.1 | 0.0 | N.A. | N.A. |

| LUMINAIRE SCHEDULE | | | | | | | | | |
|--------------------|-----|-------|----------------|--------|-------|------------|-------------|------------------------------------|---|
| SYMBOL | QTY | LABEL | ARRANGEMENT | LUMENS | LLF | ARR. WATTS | TOTAL WATTS | MANUFACTURER | DESCRIPTION |
| [Symbol] | 5 | A3 | SINGLE | 7896 | 1.000 | 134 | 670 | CREE, INC. | ARE-EDG-3MB-DA-06-E-UL-WH-700-57K |
| [Symbol] | 1 | A4 | BACK-BACK | 7896 | 1.000 | 268 | 268 | CREE, INC. | ARE-EDG-3MB-DA-06-E-UL-WH-700-57K |
| [Symbol] | 1 | A6 | 4 @ 90 DEGREES | 7896 | 1.000 | 536 | 536 | CREE, INC. | ARE-EDG-3MB-DA-06-E-UL-WH-700-57K |
| [Symbol] | 3 | AR | SINGLE | 7985 | 1.000 | 92 | 276 | CREE INC. | ARE-EDR-5M-R5-04-E-UL-XX-700-57K |
| [Symbol] | 7 | B3 | SINGLE | 8480 | 1.000 | 134 | 938 | CREE INC. | ARE-EDG-4MB-DA-06-E-UL-WH-700-57K |
| [Symbol] | 20 | C1 | SINGLE | 21340 | 0.490 | 205.98 | 4119.6 | Cree Inc | CAN-228-SL-RM-09-E-UL-WH-700-57K (SWITCH SETTING 1) |
| [Symbol] | 31 | S | SINGLE | 1757 | 1.000 | 19.8 | 613.8 | Cree Lighting - Recessed Downlight | LR618L-40K-GU24+RC6-GU24 HOUSING |
| [Symbol] | 8 | W1 | UPDOWN | 595 | 1.000 | 18 | 144 | Cree Lighting - MR16 | RLA-E-S23L03XX |

| REV. | BY | DATE | DESCRIPTION |
|------|----|------|-------------|
| | | | |

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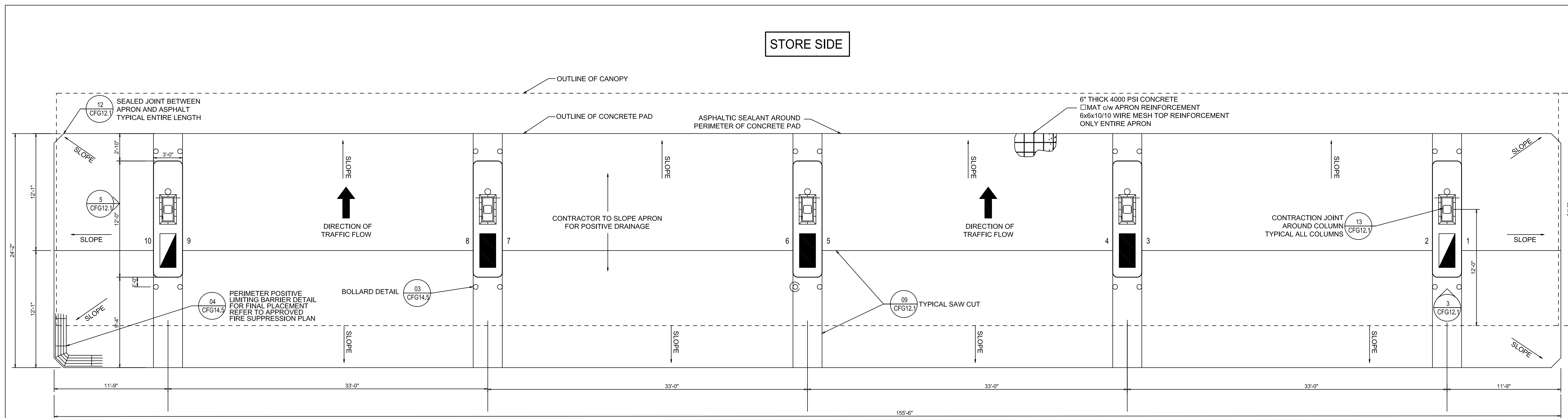
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PROJECT NAME: CUMBERLND FARMS NEW BEDFORD, MA
CFG 10.0

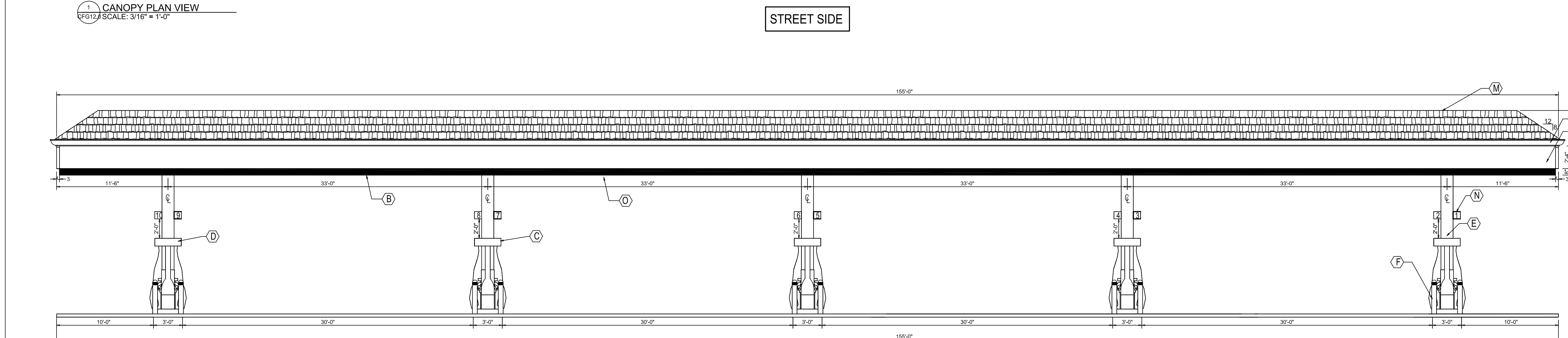
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LAYOUT BY: TAS
DWG SIZE: D
DATE: 10/30/18
DRAWING NUMBER: RL-5749-S1

rla

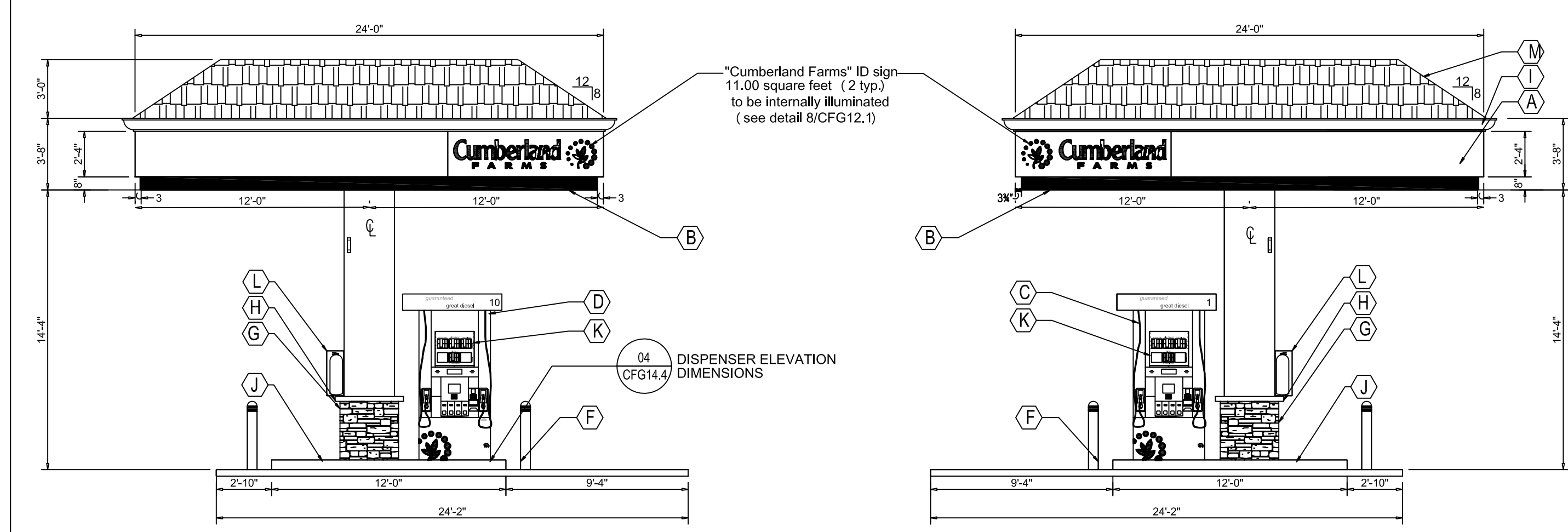


- NOTES:
- COORDINATE APRON ELEVATIONS WITH CIVIL DRAWINGS AND FIELD ELEVATIONS.
 - DISPENSER SUMPS TO BE SET IN PLACE AND USED AS A FORM TO POUR CONCRETE AROUND.
 - CONCRETE SPECIFICATIONS:
 - SOIL BEARING CAPACITY REQ'D: AS PER GEOTECHNICAL REPORT
 - CONC. STRENGTH: 4000psi @ 28 DAYS 3% TO 7% AIR
 - TROWELLED SMOOTH FINISH WITH TWO COATS SEALING/CURING COMPOUND.
 - CANOPY FOOTING CONC. STRENGTH: REFER TO DRAWINGS PROVIDED BY MANUFACTURER
 - ALL EQUIPMENT INSTALLATIONS MUST COMPLY WITH MANUFACTURER'S SPECIFICATIONS.
 - ALL EQUIPMENT AND CONSTRUCTION ARE NEW AND FACILITY IS TO BE ATTENDED SELF-SERVICE.
 - REFER TO CANOPY MANUFACTURERS DRAWINGS FOR SPECIFIC CANOPY FOOTING OPTIONS.
 - REFER TO CANOPY MANUFACTURERS DRAWINGS FOR ARCHITECTURAL DETAILS ON CANOPY AND COLUMNS.
 - SEE CIVIL PLANS FOR ORIENTATION ON SITE, AND FOR TRAFFIC FLOW
 - REFER TO CANOPY DETAIL SCHEDULE ON SHEET CFG12.1 FOR ADDITIONAL INFORMATION
 - GC TO COORDINATE THE SPECIFIC LOCATIONS OF THE APRON EXPANSION JOINTS BASED ON THE FINAL POSITIVE LIMITING BARRIER DESIGN. REFER TO THE FIRE SUPPRESSION PLAN FOR THE PLB LAYOUT

1 CANOPY PLAN VIEW
CFG12.0 SCALE: 3/16" = 1'-0"

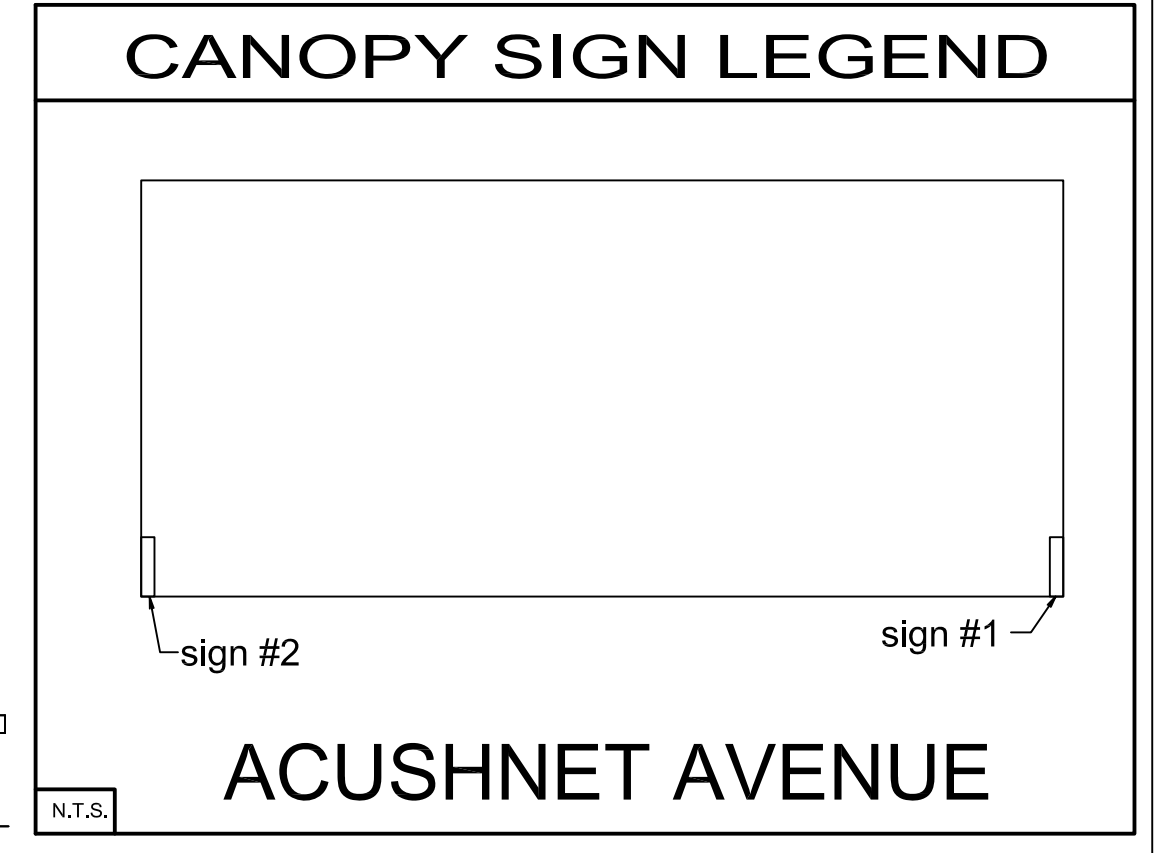
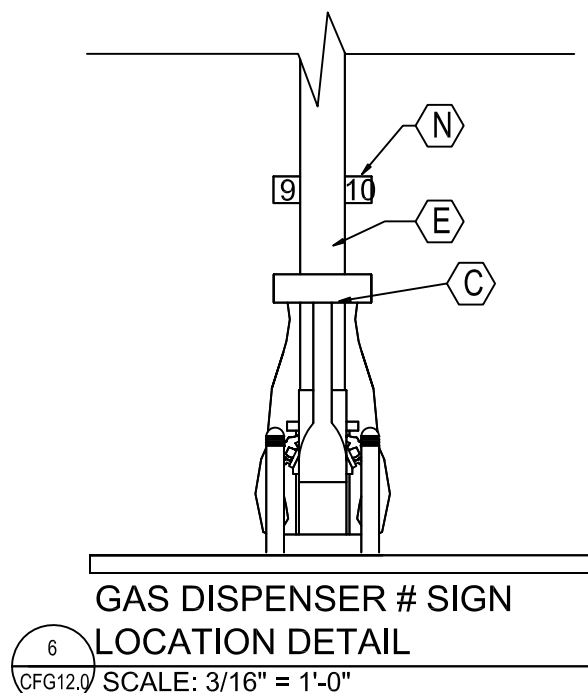
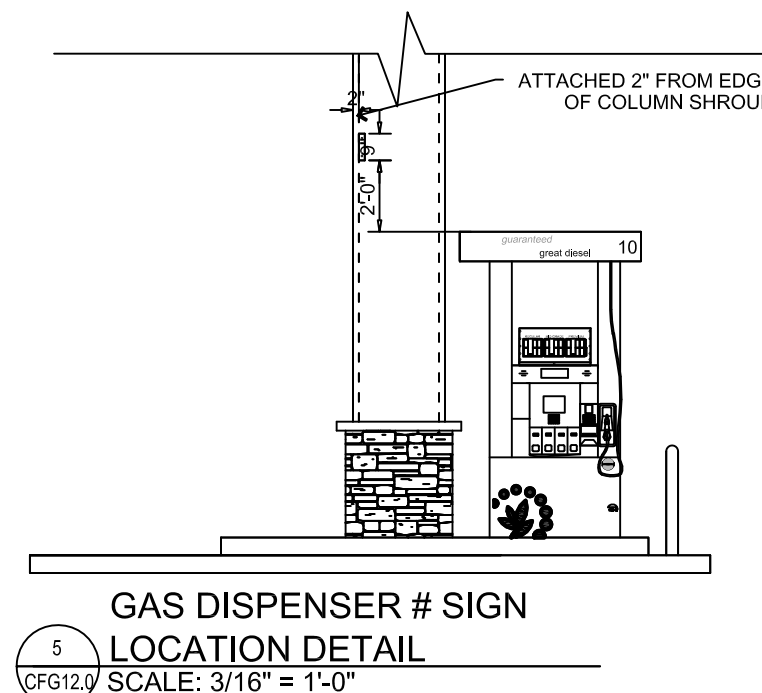
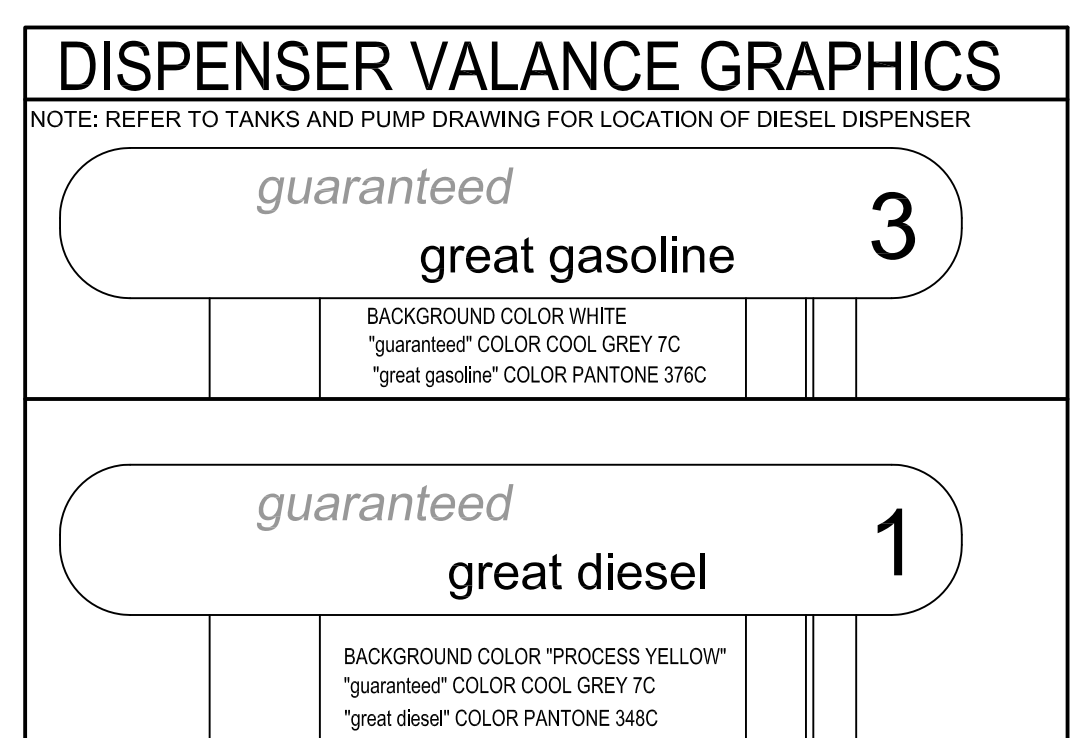


2 CANOPY FRONT ELEVATION
CFG12.0 SCALE: 3/16" = 1'-0"



3 CANOPY LEFT ELEVATION
CFG12.0 SCALE: 3/16" = 1'-0"

4 CANOPY RIGHT ELEVATION
CFG12.0 SCALE: 3/16" = 1'-0"



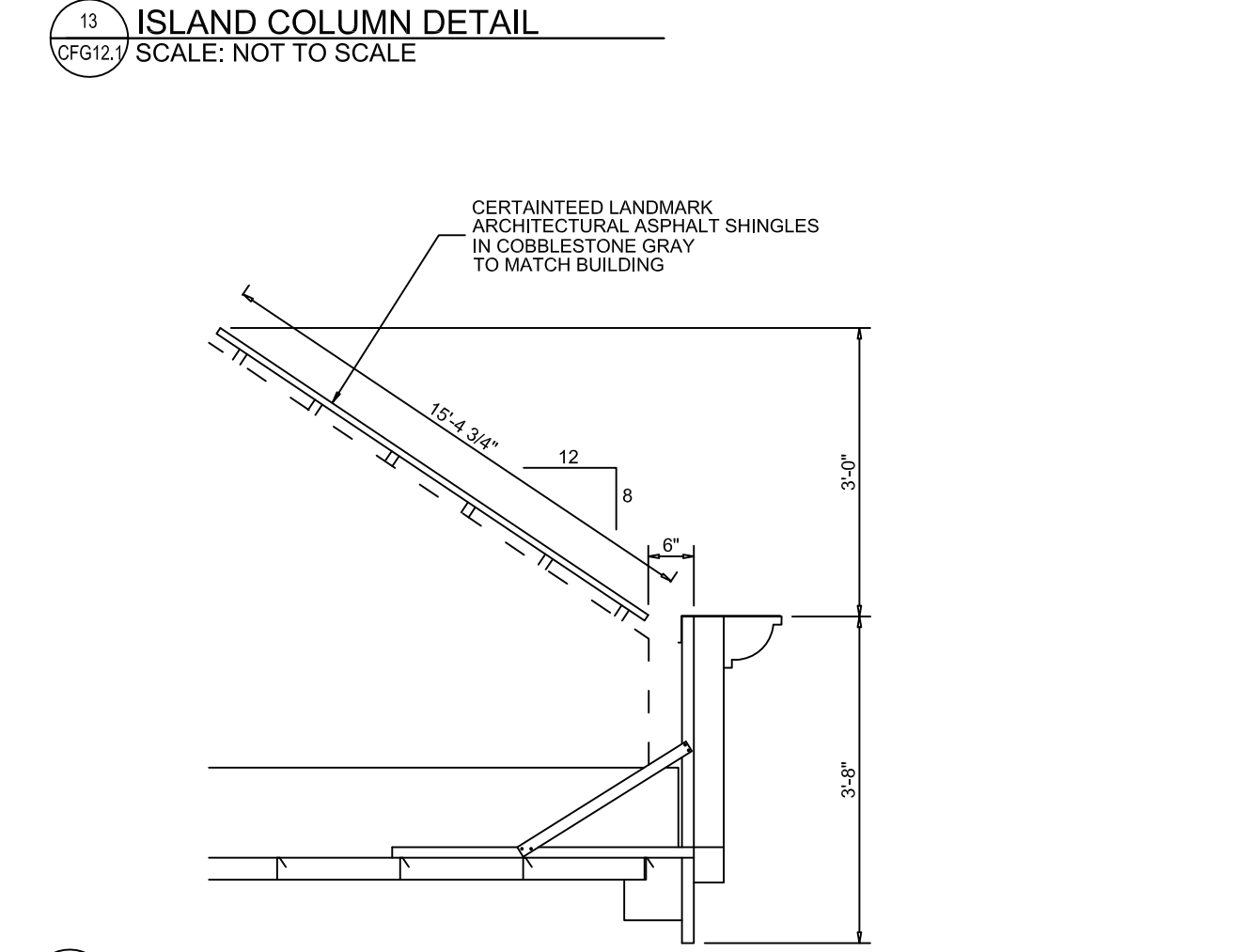
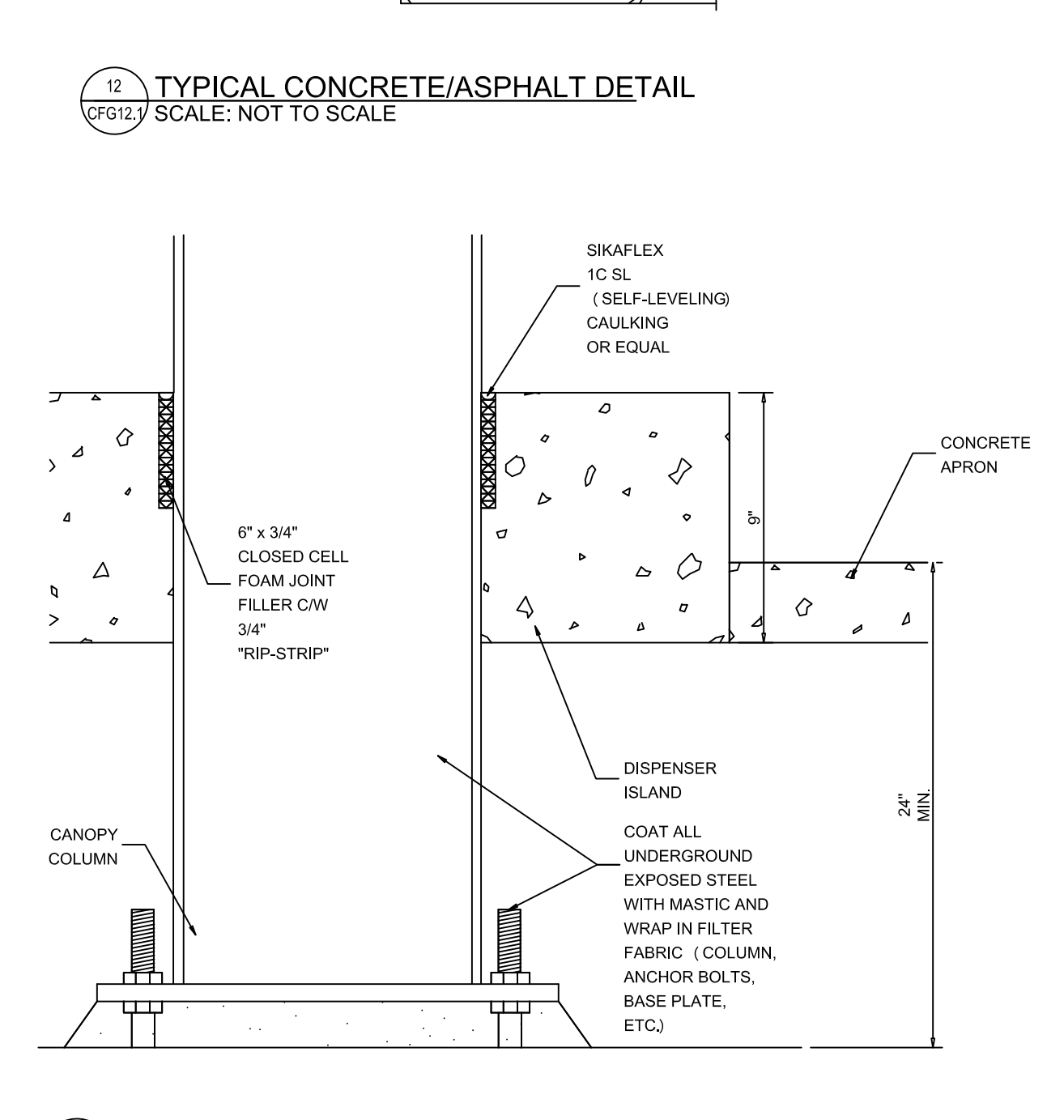
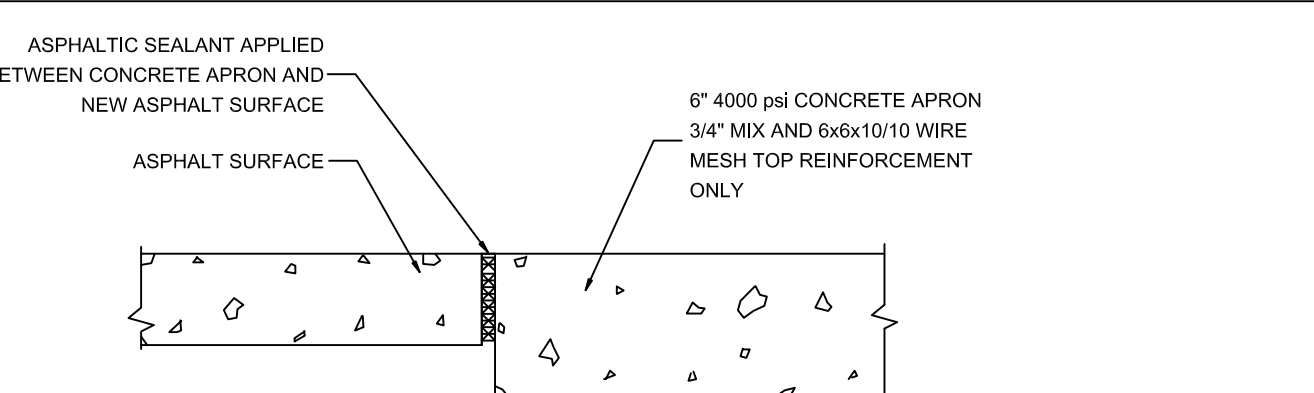
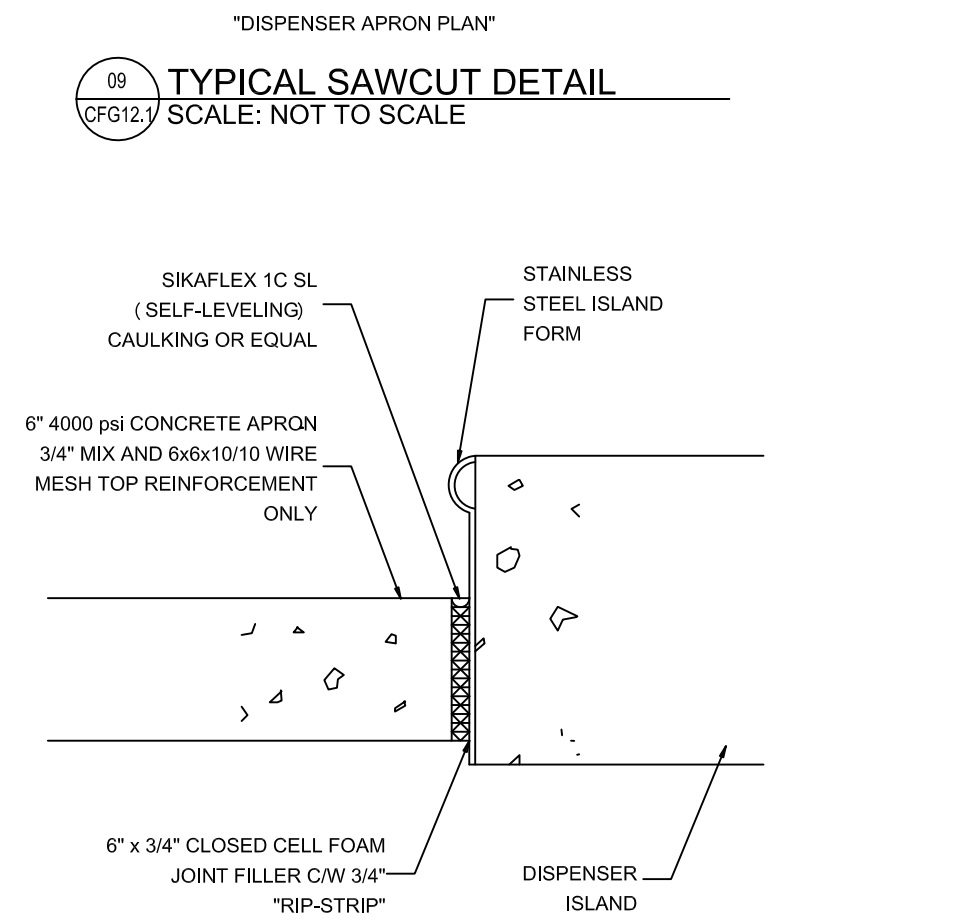
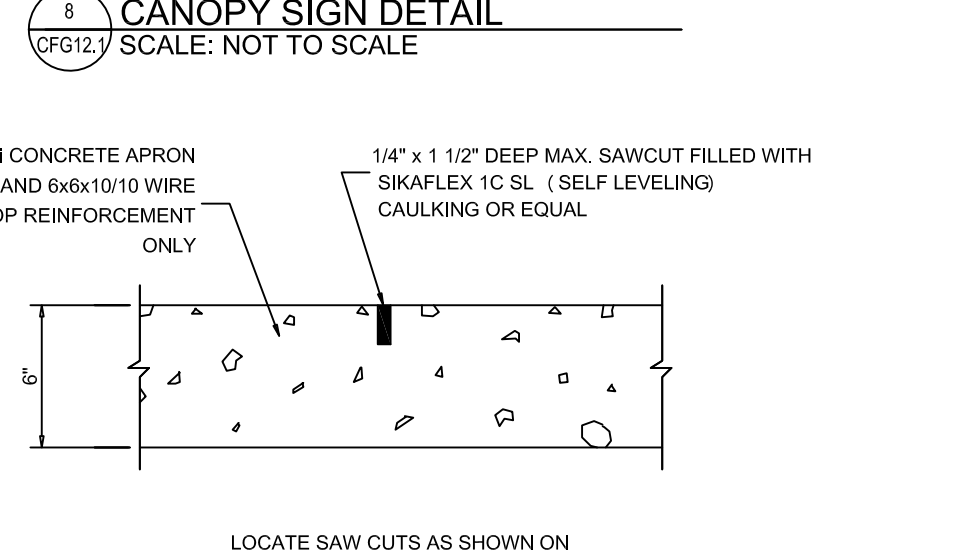
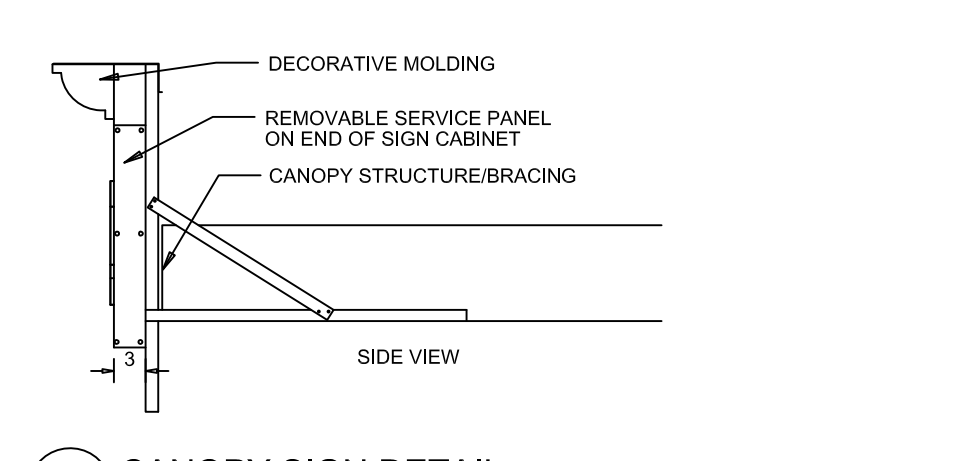
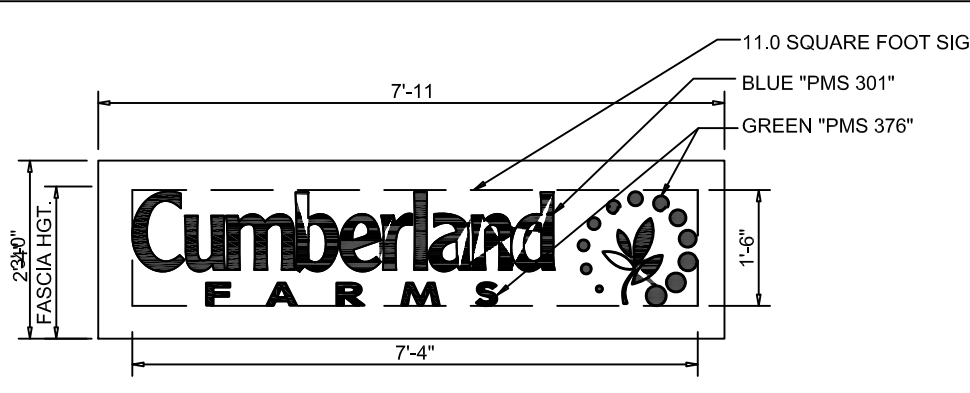
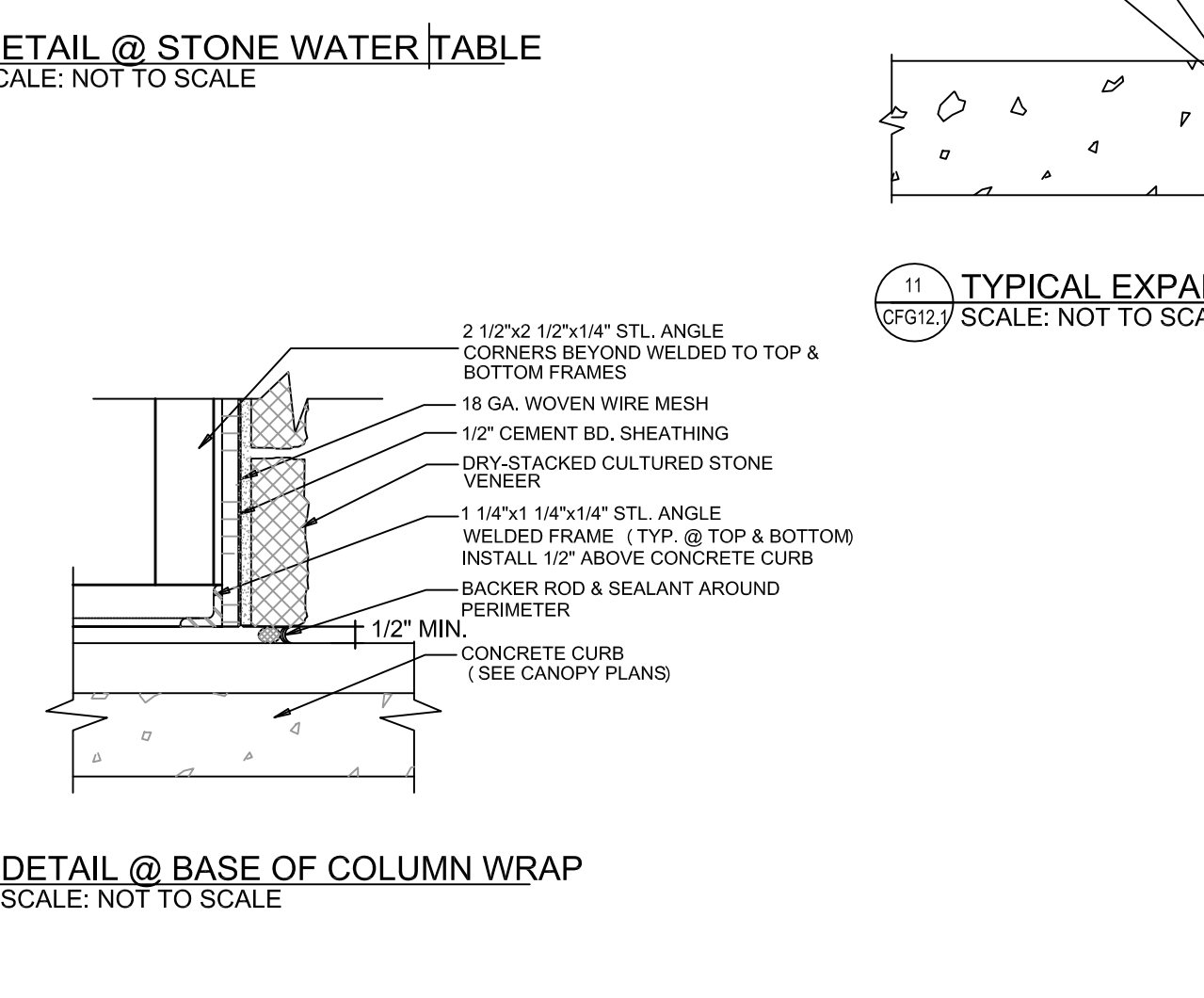
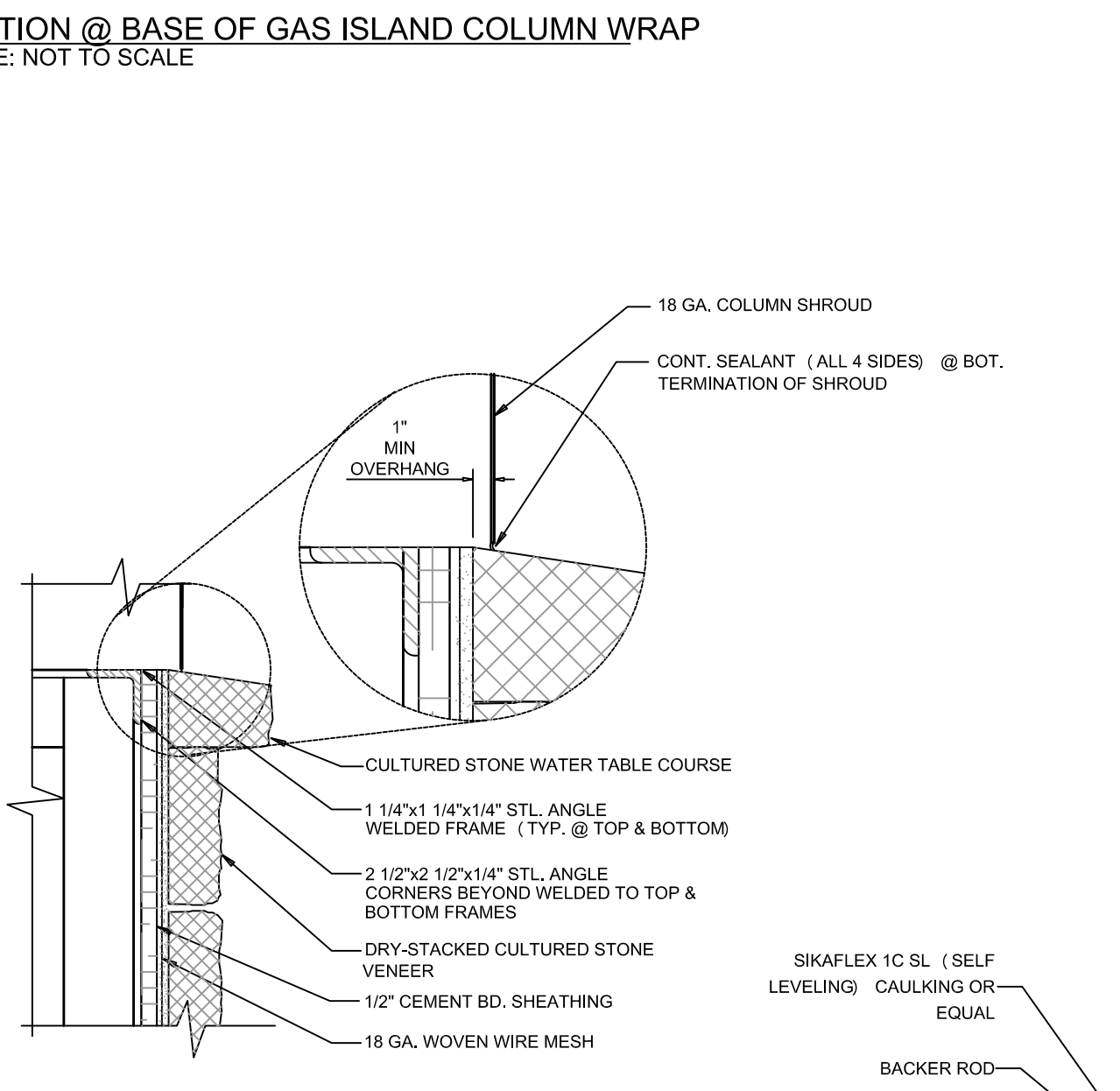
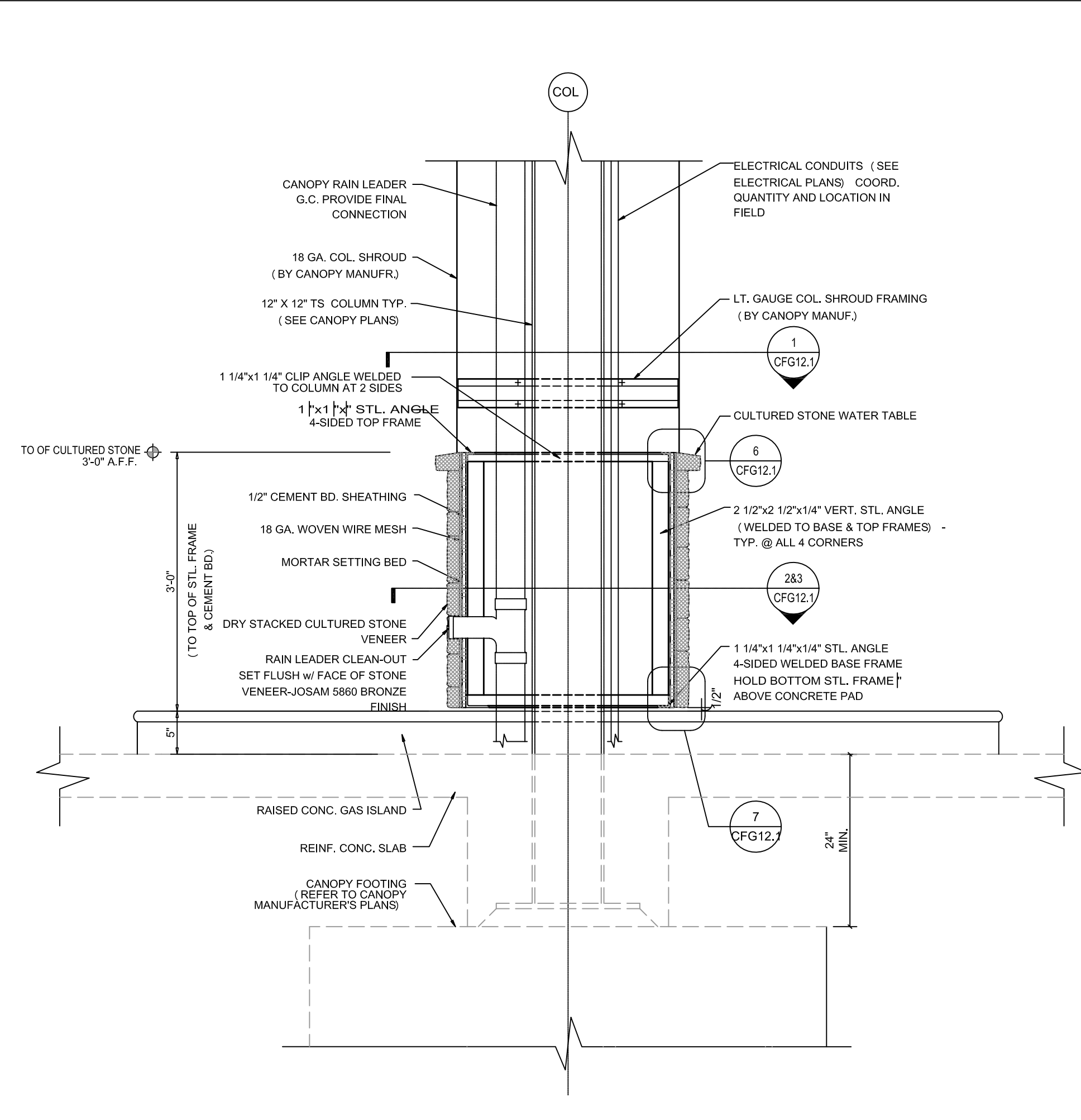
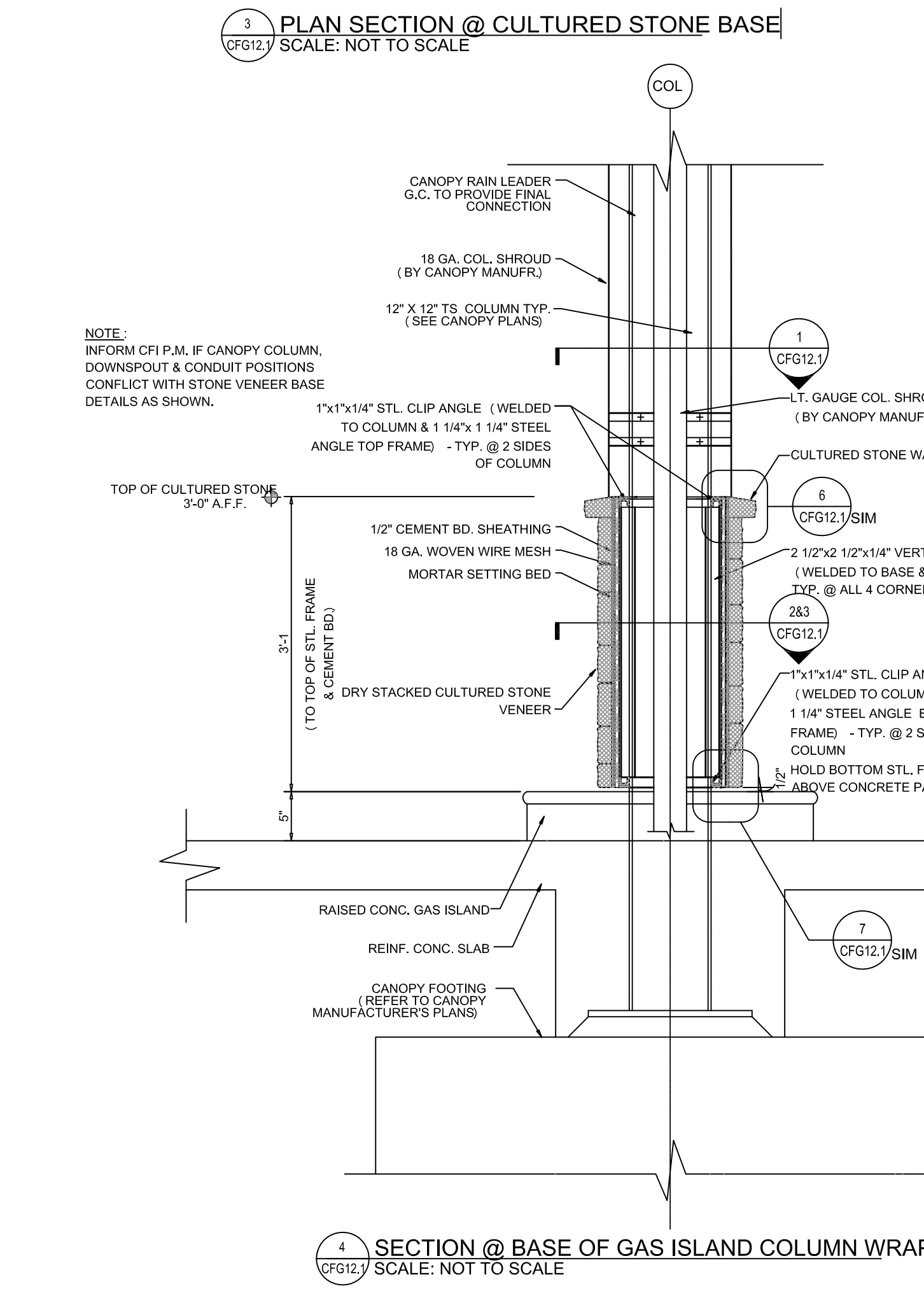
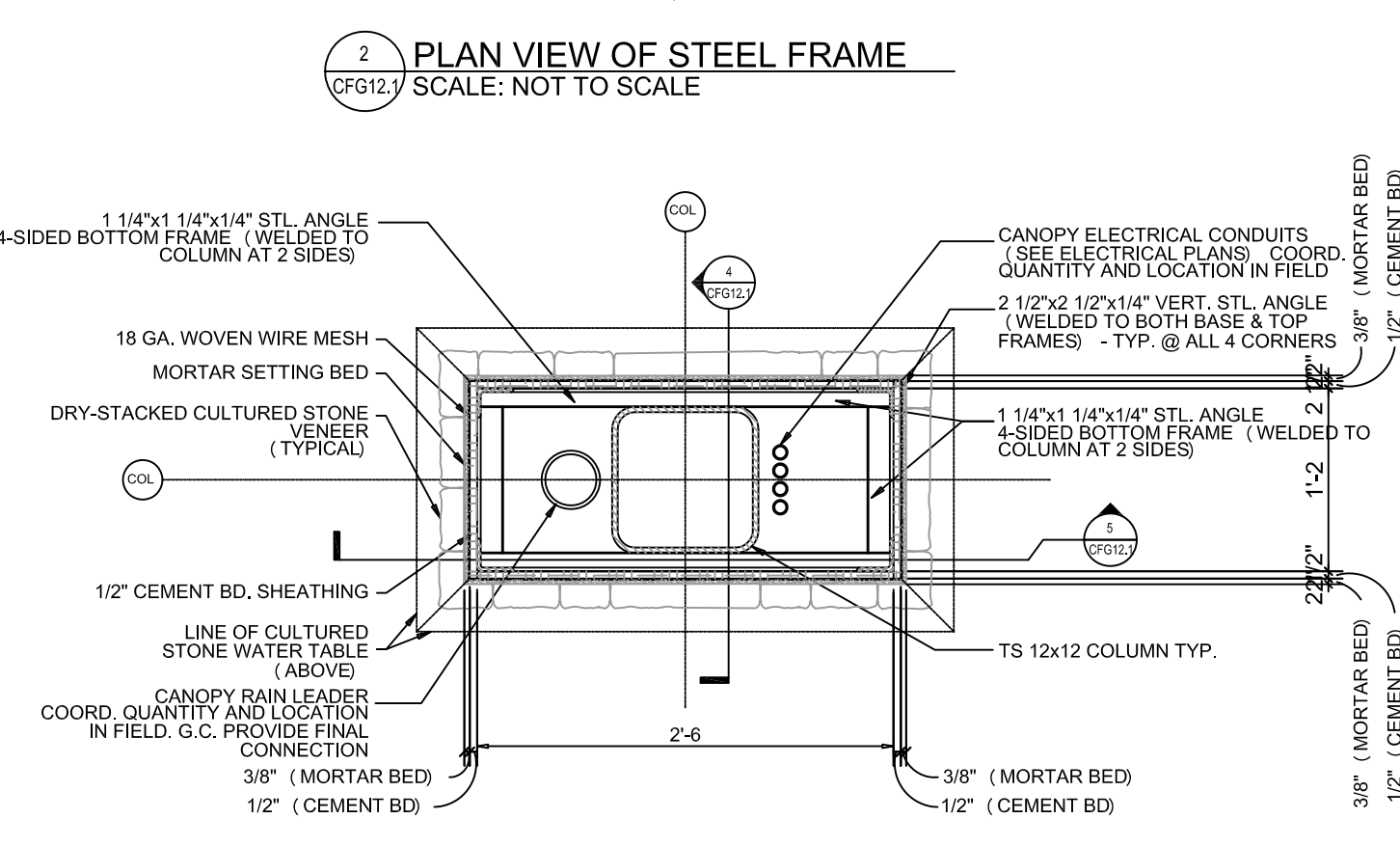
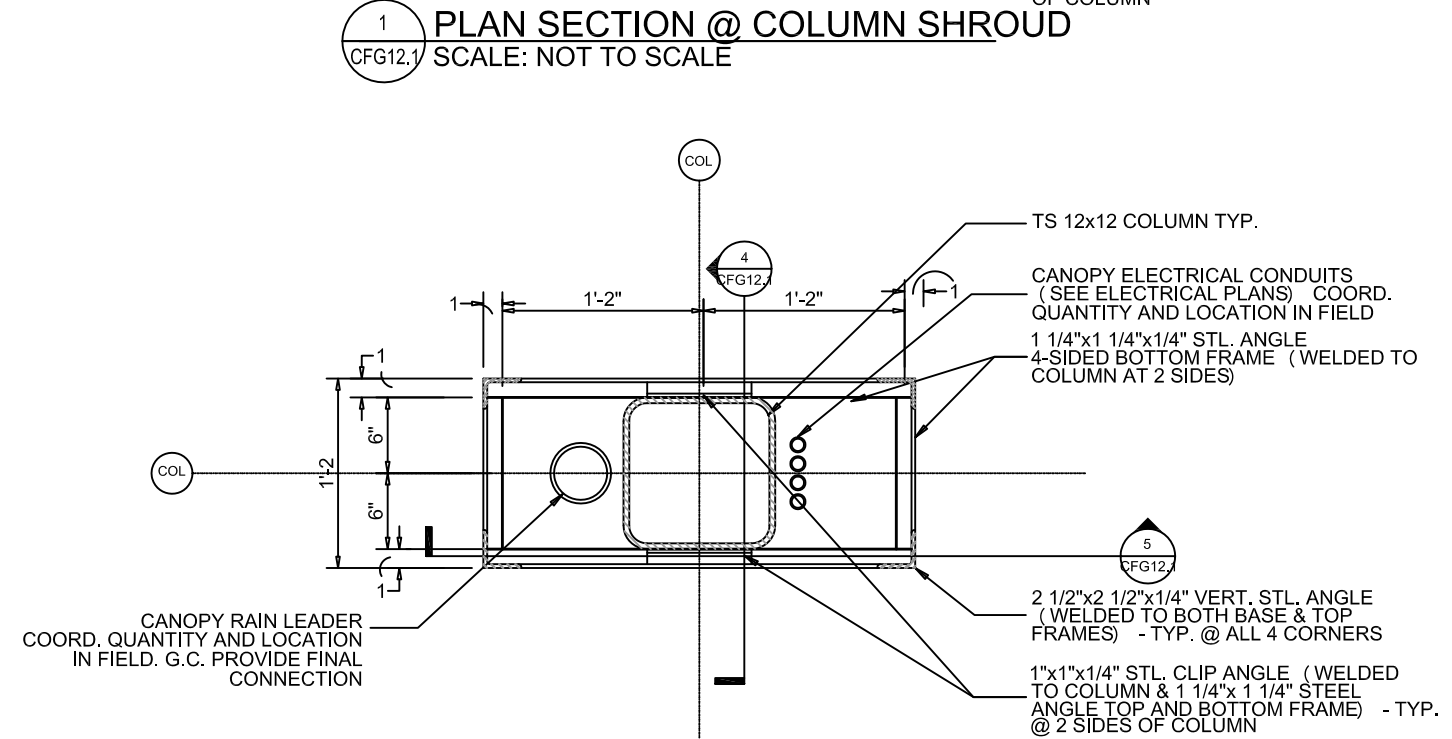
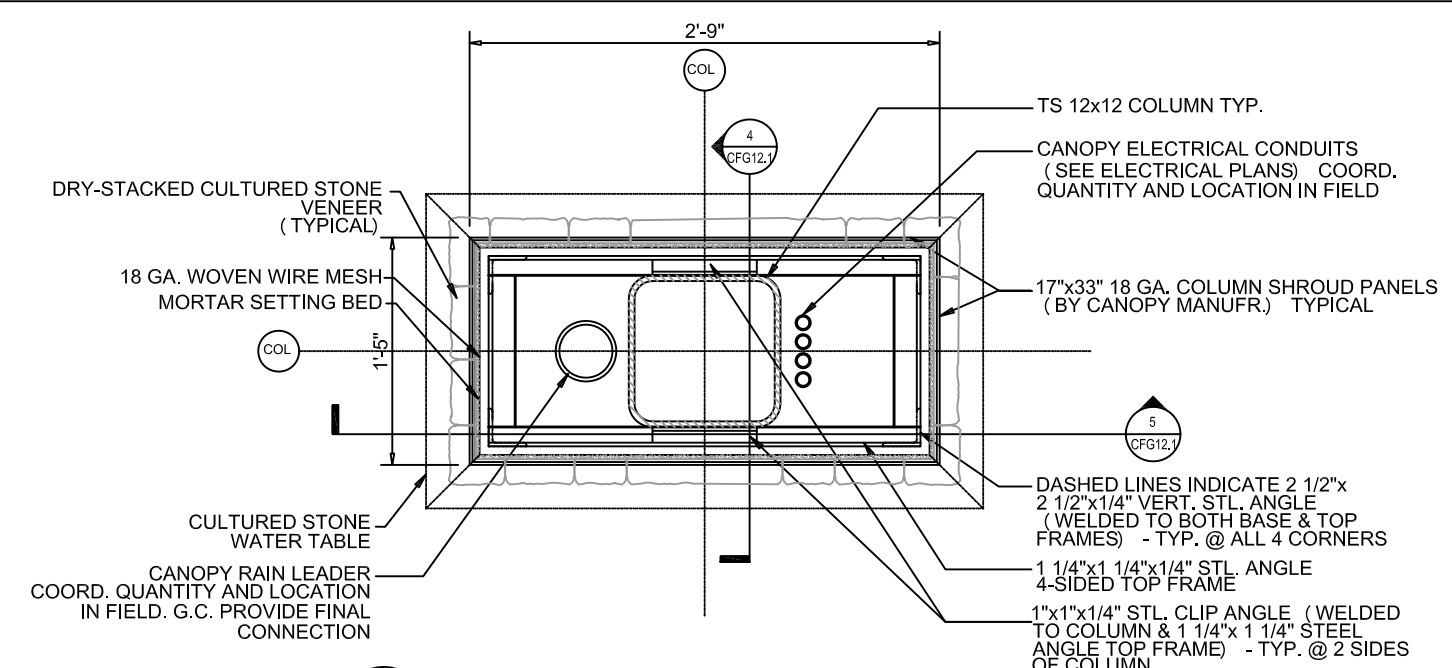
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| DATE | REV. BY. | DESCRIPTION | Store# NEW |
| 12/07/18 | JKM | PER COMMENTS | Gas Station# NEW |
| | | | |
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ACUSHNET AVENUE
NEW BEDFORD, MASSACHUSETTS

CUMBERLAND FARMS, INC.
165 Flanders Road
Westborough, Massachusetts 01581

SCALE: 3/16" = 1'-0"
DATE: 11/07/18
FILE: 17-1134
DRAWN BY:
CHECKED BY:

PROPOSED CANOPY PLAN & ELEVATIONS **CFG12.0**



| CANOPY DETAIL SCHEDULE | | | | | | |
|------------------------|--------------------------------------|----------------------|-----------------------------|-----------------------------------|------------------------|---|
| MARK | DESCRIPTION | MANUFACTURER | MODEL | COLOR | QUANTITY | REMARKS |
| A | CANOPY FASCIA | ALCOA | ACM: RYNOBOND | SHELL WHITE | PER PLAN | BY CANOPY MFR. |
| B | CANOPY STRIPING | ALCOA | ACM: RYNOBOND | OUTRAGEOUS GREEN* PER PLAN | 8" ACM, BY CANOPY MFR. | |
| C | MULTI-PRODUCT DISPENSER | WAYNE | Ovation B12 | | PER PLAN | SUPPLIED BY KENNEDY |
| D | 3+1 DIESEL DISPENSER | WAYNE | Ovation B23 | | PER PLAN | SUPPLIED BY KENNEDY |
| E | CANOPY COLUMN SHROUDS | | | SHELL WHITE | 5 | 17"x33" SHROUDS |
| F | BOLLARDS | UNIVERSAL | 6" OD X 42"H | SHELL WHITE | PER PLAN | STEEL BOLLARD WITH PVC SLEEVE BY CFI |
| G | CULTURED STONE VENEER | OWENS CORNING | CSV-2028 | ECHO RIDGE | PER PLAN | BY CUMBERLAND FARMS INSTALLED BY GC |
| H | CULTURED STONE CAPS | OWENS CORNING | CSV-2028 | ECHO RIDGE | PER PLAN | BY CUMBERLAND FARMS INSTALLED BY GC |
| I | DECORATIVE MOULDING | CANOPY MANUFACTURER | | SHELL WHITE | PER PLAN | BY CANOPY MFR. |
| J | DISPENSER ISLAND FORM | RIVERSIDE STEEL | | STAINLESS STEEL | PER PLAN | SUPPLIED BY KENNEDY |
| K | DISPENSER LED PUMP TOPPER | ABLE | | BLACK W/ RED, GREEN, & WHITE LEDS | PER PLAN | SMARTPAY ALTERNATOR SUPPLIED BY KENNEDY |
| L | HAND OPERATED 40BC FIRE EXTINGUISHER | LARSON | | | PER PLAN | ALL CABINETS IN COLUMN FACING STORE SIDE |
| M | CANOPY ROOFING | CERTAINTEED LANDMARK | LANDMARK | COBBLESTONE GRAY | PER PLAN | BY CANOPY MFR. |
| M2 | CANOPY ROOFING | ENGLERT, INC | SERIES 1500 15-1/4" SPACING | MATCH BLDG. | PER PLAN | BY CANOPY MFR. |
| N | DISPENSER NUMBERING SIGN | | | WHITE W/ GREEN # | 10 | PROVIDED BY CFI, TO BE APPLIED IN THE FIELD BY GC |
| O | ROOF ACCESS HATCH | BILCO | | | 1 | BY CANOPY MFR. |

| REVISIONS | | | V# NEW |
|-----------|---------|--------------|------------------|
| DATE | REV. BY | DESCRIPTION | |
| 12/07/18 | JKM | PER COMMENTS | Store# NEW |
| | | | Gas Station# NEW |

ACUSHNET AVENUE
NEW BEDFORD, MASSACHUSETTS

CUMBERLAND FARMS, INC.
165 Flanders Road
Westborough, Massachusetts 01581

SCALE: 3/16" = 1'-0"
DATE: 11/07/18
FILE: 17-1134
DRAWN BY:
CHECKED BY:

PROPOSED CANOPY DETAILS CFG12.1

JOB SITE PREPARATION – GC Responsibility

Electrical
A Watchfire sign requires 24/7 120v power and may not be wired to a photocell, timer, or power management system. Please LABEL Breaker in Service Panel to read "LED SIGN" to aid in future troubleshooting.

SIGN ARRIVAL – Sign Contractor Responsibility

Watchfire Accessory Kit
Ensure all components are included in shipment from Watchfire including the Accessory Kit:
 • Ignite OP Manual (not required for installation)
 • Sign Installation Manual
 • 4G Wireless Antenna and flat mounting bracket (ships inside sign)

SET UP – Sign Contractor Responsibility

Install Ground Rod
Refer to page 14 of the Watchfire Installation Manual
Connect Power
Refer to page 15 of the Watchfire Installation Manual. (Fig. 1)

Data Crossover Cable Connected
For double face sign installations, connect the 2 cabinets using the data crossover cables provided. Cable connections are located at the back of each sign cabinet. See Watchfire Installation Manual page 18.

Install 4G Wireless Antenna
Remove the module on the top left corner of the sign labeled "Master Chassis". Remove the 4G Wireless Antenna.

Install the 4G Wireless Antenna on the outside of the pylon sign as indicated on pylon sign drawings from exterior sign contractor. Antenna may be mounted vertically as shown (Fig. 2) or horizontally. Connect the 4G Wireless Antenna to the 4G Cellular Modem located inside the sign as shown (Fig. 3) Refer to Page 24 of the Watchfire Installation Manual.

POWER UP – Sign Contractor Responsibility

Verify Proper Power Requirements
Refer to amperage and voltage requirements for the sign(s). (Fig. 4)

120 VAC Each Leg
Call Cumberland Farms at 800-225-9702, extension 5200, option 2 for Facilities Support if power is not available at time of install.

Sign Playing Shipping Graphics
Sign ships from Watchfire facility with programmed messages that should display once power is applied to the message center. Cumberland Farms ship message should be displayed on both sign faces.

INITIAL COMMUNICATION TESTS – Sign Contractor Responsibility

Call the Watchfire Helpdesk 866-637-2645
Provide the service technician with the Serial # (located on the name plate in the lower right corner) (Fig. 4). Ask the service technician to verify that Watchfire can connect to the sign. If they cannot connect, the HelpDesk will guide you through troubleshooting procedures to help resolve the issue.



Fig. 1 – Connect Power



Fig. 2 – 4G Wireless Antenna



Fig. 3 – 4G Modem Connection

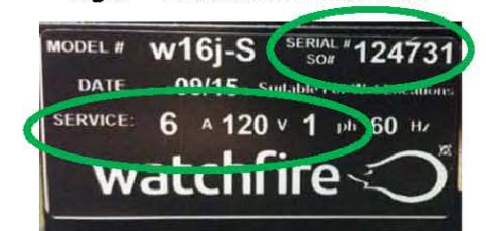


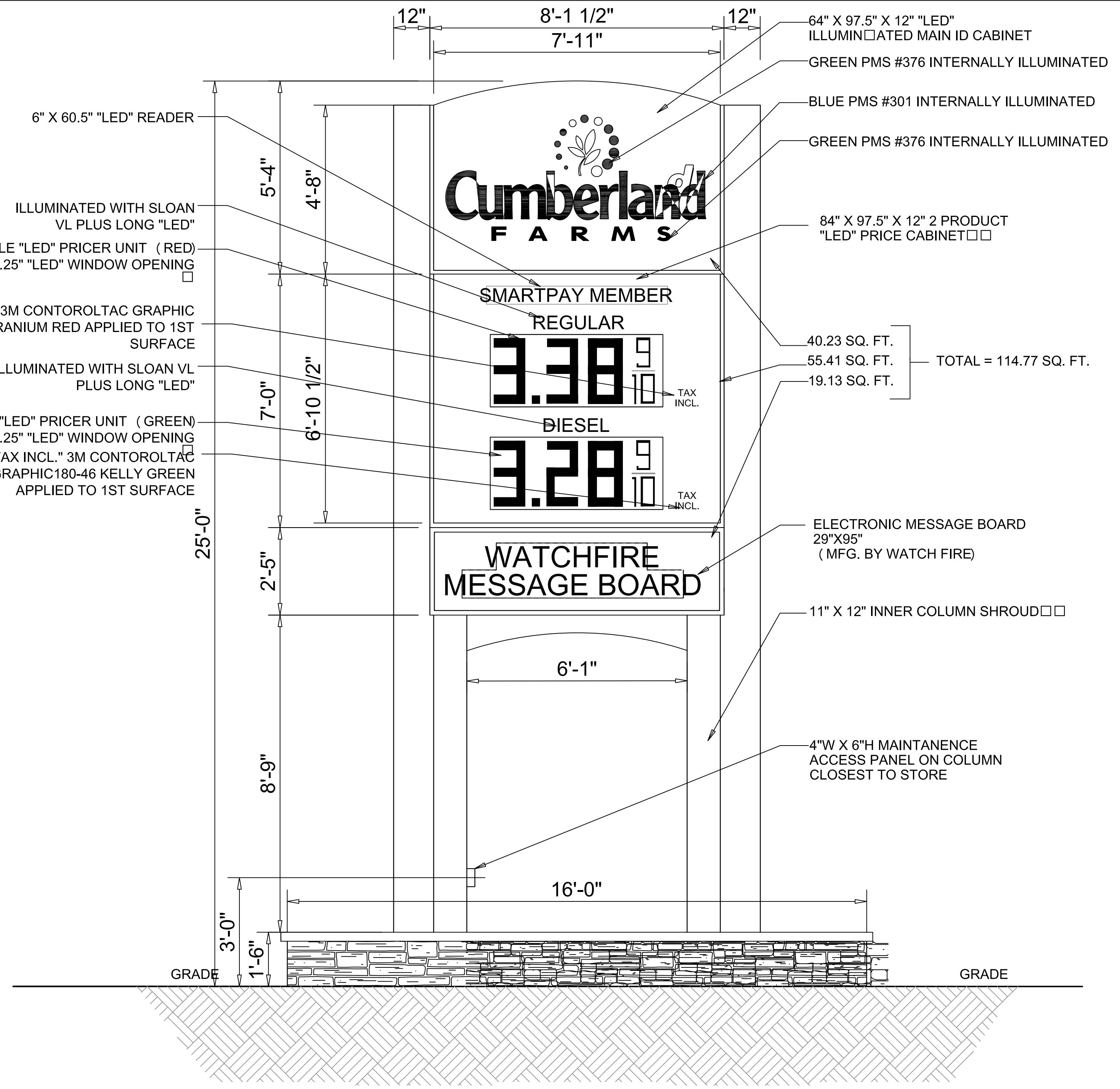
Fig. 4 – Serial # / Electrical Service

SIGN UPDATE – WF HelpDesk Responsibility

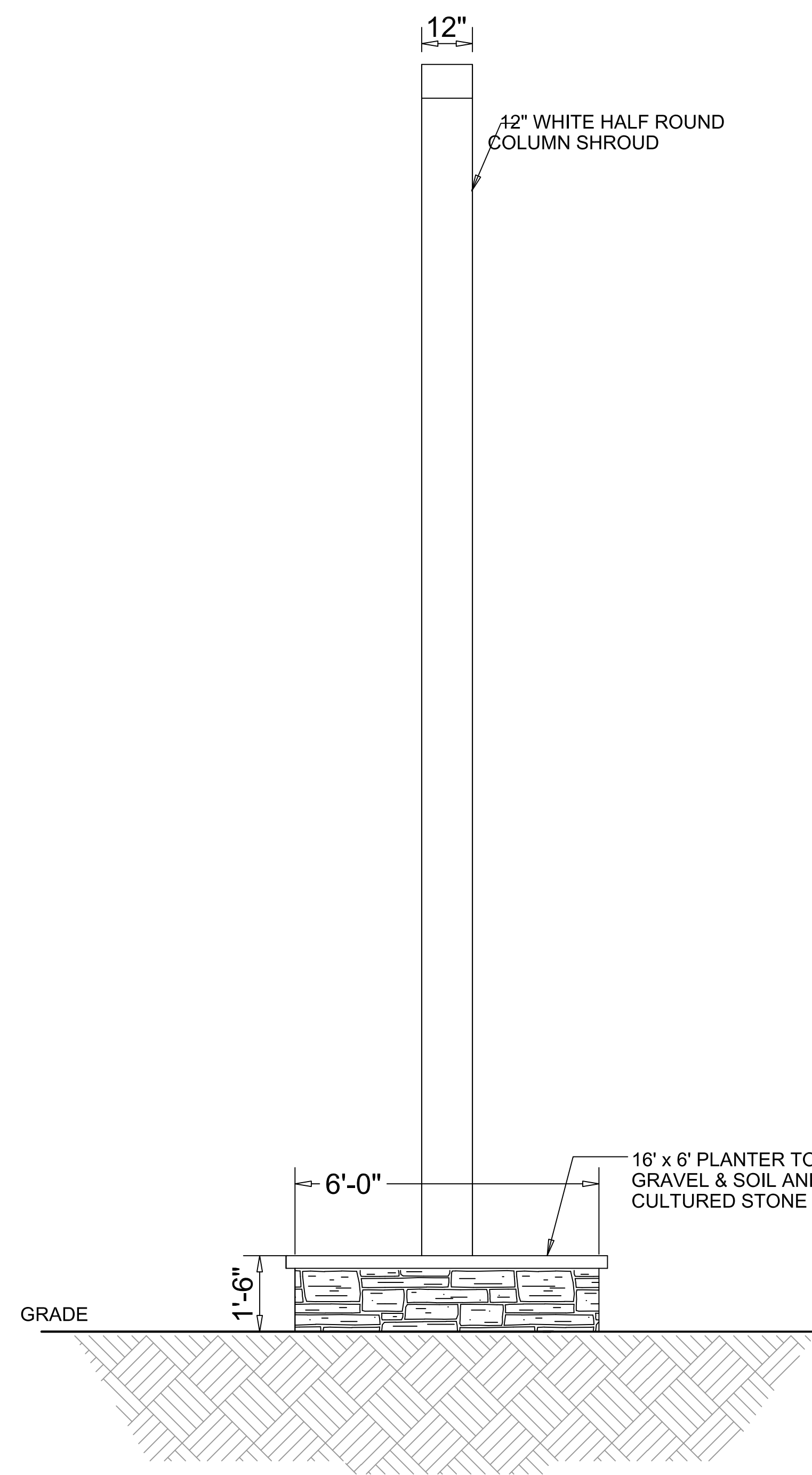
Once communication has been established, send an email to signmanagement@watchfiresigns.com and request that the sign be updated with the latest Cumberland Farms content immediately. Provide Serial # (Fig. 4).

Verification – Sign Contractor Responsibility

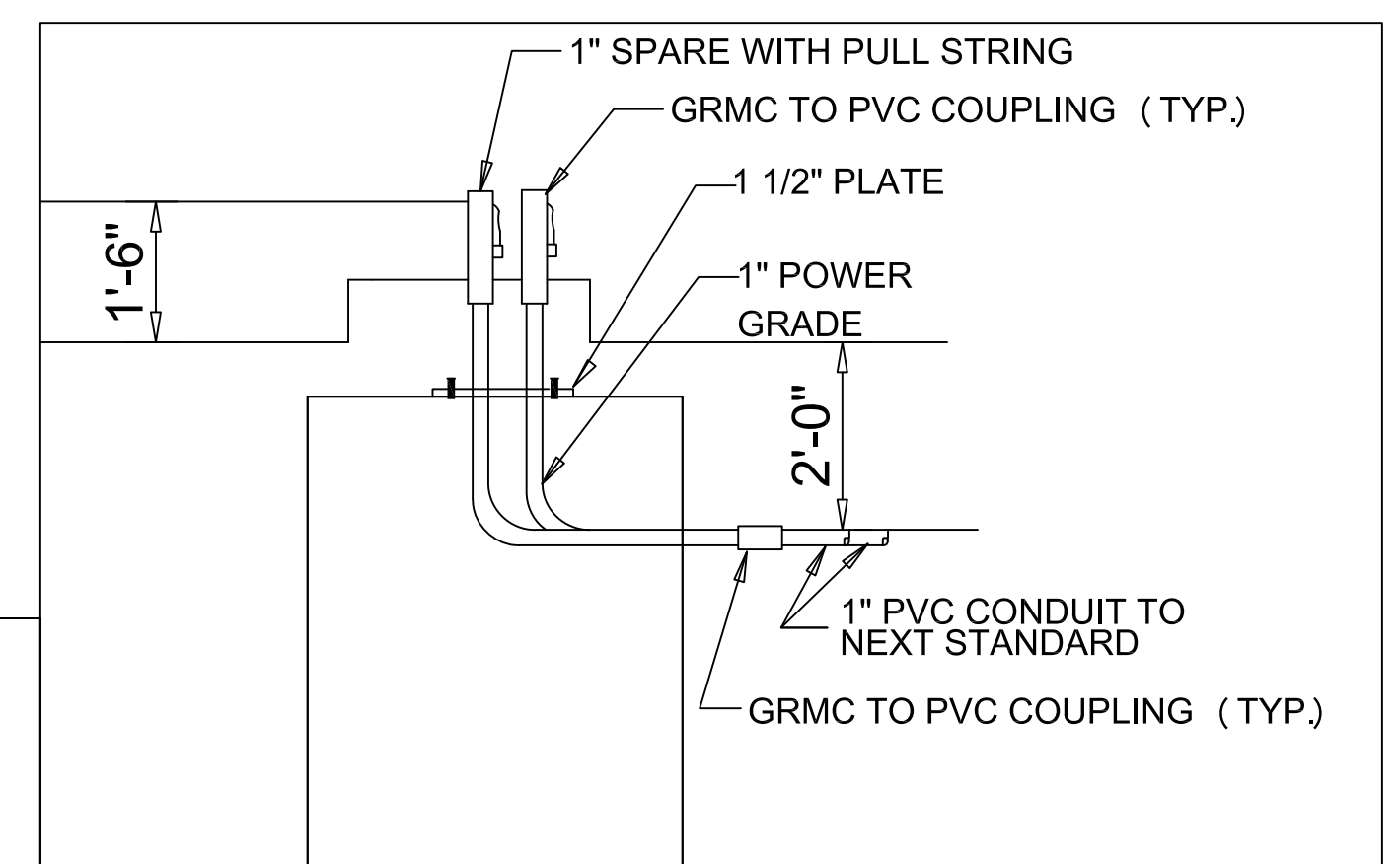
Upon visual confirmation that a new Cumberland Farms message is displaying on the sign, take a photo and email it to Manny Paiva at M.Paiva@CumberlandGulf.com before leaving jobsite.



FRONT VIEW



SIDE VIEW



NOTE:

SEE SHEET A0.5 AND S4.1 FOR FOUNDATION AND STRUCTURAL DETAILS
 THESE PLANS WILL BE PREPARED PRIOR TO FILING FOR A BUILDING PERMIT

ID&GAS PRICE SIGN ELECTRICAL REQUIREMENTS

- 1" PVC CONDUIT W/ 3#10 AND 1#10 GROUND (20 AMP)
- 1" PVC CONDUIT "SPARE" W/PULL STRINGS
- 1 WEATHER PROOF JUNCTION BOX

SPECIFICATIONS

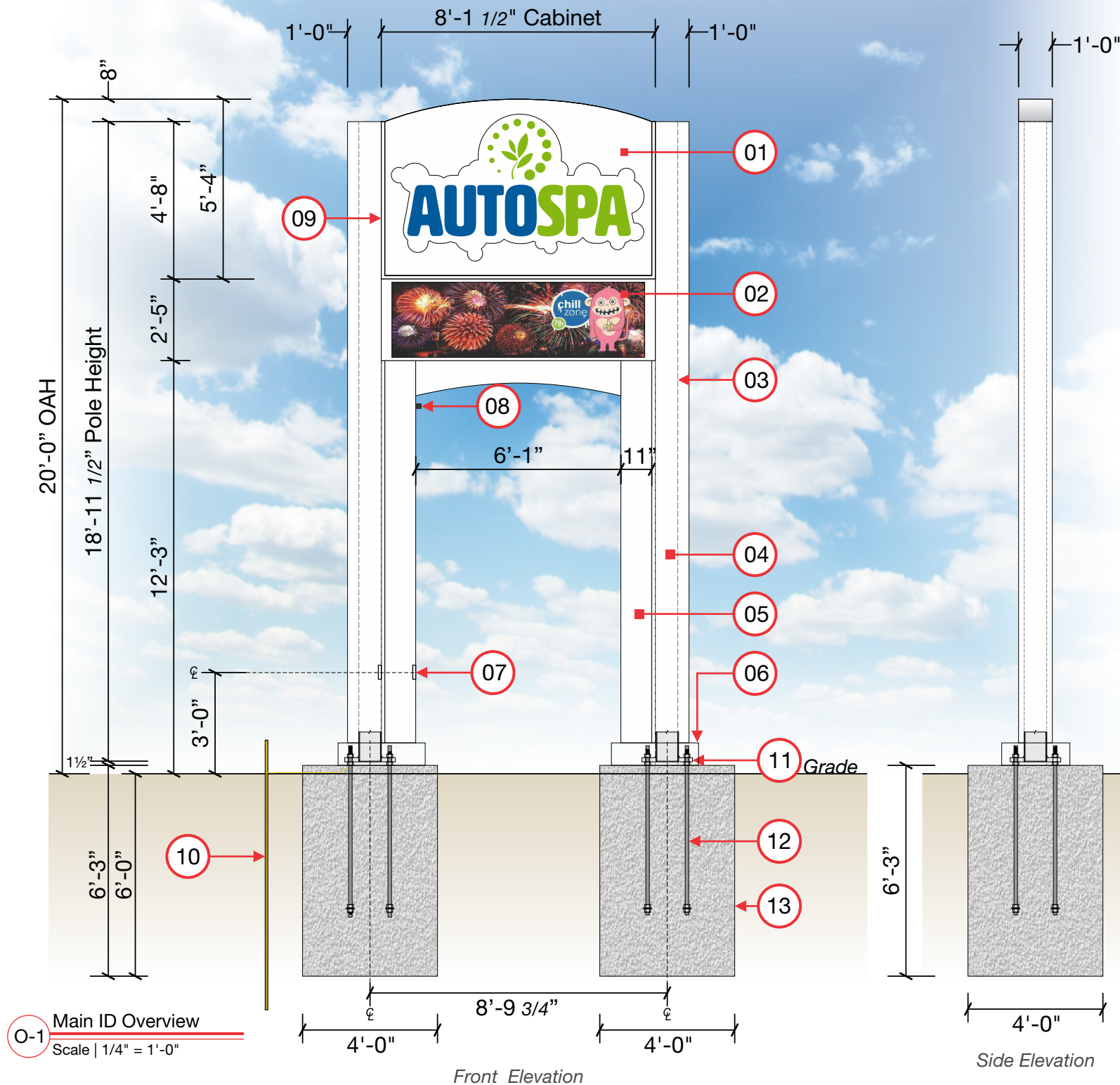
- * 12" DEEP ALUMINUM FABRICATED SIGN CABINET W/INTERNAL, HIGH OUTPUT FLOURESCENT ILLUMINATION...CABINET PAINTED WHITE
- * 1/8" ALUMINUM CAM ROUTERED SIGN FACES, "CUMBERLAND FARMS" ROUTERED TEXT AND LOGO
- * CLEAR ACRYLIC PUSH THRU (1/2"-5/8" EXPOSED) "CUMBERLAND" TEXT TO RECEIVE TRANSLUCENT VINYL OVERLAY 3M BLUE...LOGO "FARMS" VINYL O
- * SIGN TO INSTALL BETWEEN NEW 8" SQUARE STEEL COLUMNS...INCLUDES NEW HALF ROUND PVC POLE COVERS, INNER ARCHED ALUMINUM FILLER AND

| REVISIONS | | | V# NEW |
|-----------|---------|----------------|------------|
| DATE | REV. BY | DESCRIPTION | Store# NEW |
| 05/04/17 | RSP | WATCHFIRE DIMS | |
| 12/07/18 | JKM | PER COMMENTS | |
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2904 & 2914 ACUSHNET AVENUE
8' PROTOTYPE

 CUMBERLAND FARMS, INC.
 165 Flanders Road
 Westborough, Massachusetts 01581
 SCALE: 1/2" = 1'-0"
 DATE: 11/07/18
 FILE: 17-1134
 DRAWN BY:
 CHECKED BY:
PROPOSED SIGN DRAWING CFG 13.0

Max "J" Bolt Height of 7" above Grade

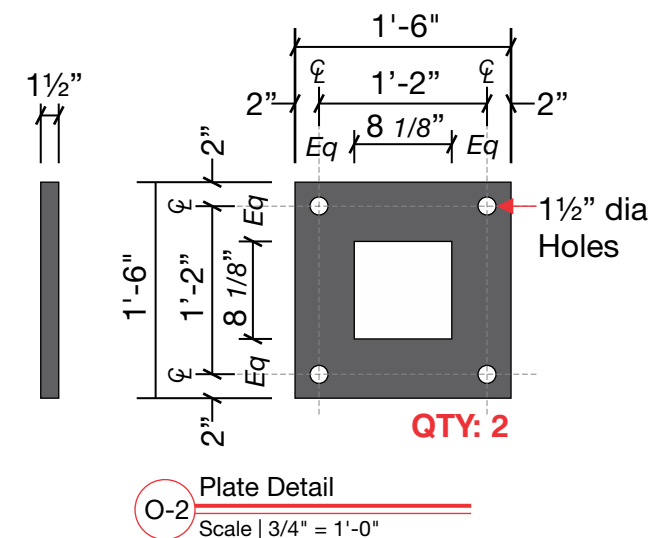


- 01 CF-MID-GP-8FT-ID
5'-4"h x 8'-1 1/2"w x 1'-0"
LED Illum. Main ID Cabinet
w/ Router cut & backed up
white polycarb logo &
trans vinyl graphics
43.34 Sq Ft
- 02 2'-5"h x 8'-1 1/2" x 1'-0"
Electronic Message Center
Supplied by Cumberland Farms
19.64 Sq Ft
NOTE: MESSAGE TO CHANGE EVERY 24HRS
- 03 Dotted Lines Represent
18'-11 1/2"h x 8" x 8" x 5/16"
Steel Posts
- 04 CF-MID-GP-8FT-SYS-POCO
Pole Covers & Mounting
- 05 11"w x 1'-0" Deep
Inner Column Shroud
- 06 2'-0" x 2'-7" x 8"h .080 aluminum plate cover
painted white to match Cumberland Farms White
- 07 5" x 5" Maintenance Access Panel
**SHUT OFF SWITCH TO BE
LOCATED INSIDE HAND HOLE**
- 08 Watchfire board master chassis side to be closest
to building. Antenna to be mounted inside inner
shroud via magnet on building side.
(Antenna to protrude 2" out of inner shroud)
- 09 Reveal to Remain Consistent 1 1/4" Throughout Sign
- 10 Sign company to provide the ground rod for sign.
Typically it is a 8' long, copper clad ground rod
within 25' of the base of the sign. The sign company
must make an electrical connection from the ground
rod to each sign cabinet. Watchfire recommends using
a minimum of 8 AWG wire to make the connections.
- 11 1'-6" x 1'-6" x 1/2" thk base plates (see plate detail)
- 12 (4) 1 1/4" Dia Anchor Bolts 54" embed
- 13 4'-0" Square x 6'-3" Deep Concrete Foundation
Installed by others
*FOUNDATION DIMENSIONS SHOWN FOR DESIGN INTENT ONLY.
ACTUAL SIZE MAY VARY BASED ON LOCAL REQUIREMENTS*

FOR PLANTER AND PLANTER
FOUNDATION SEE:
SHEET: A0.5
TITLED: PYLON SIGN-PLAN,
ELEVATIONS AND DETAIL

Templates &
anchor bolts
to be supplied
by material
supplier.

CUSTOM PLANTER FOR 8FT WIDE SIGNS
6'-0" x 16'-0" FACE OF CMU TO FACE OF CMU
(6'-4 1/2" x 16'-4 1/2" FACE OF BRICK VENEER TO FACE OF BRICK VENEER)
*****IF THE DISTANCE FROM THE LOWEST
SIGN TO PLANTER IS LESS THAN 1' THAN THE PLANTER
IS 1'-6" H x 10'-8" W x 2'-4"D w/ Solid Top*****



Cumberland FARMS
2904 & 2914 Acushnet
Avenue New Bedford, MA
02740
ACCT #: 007403

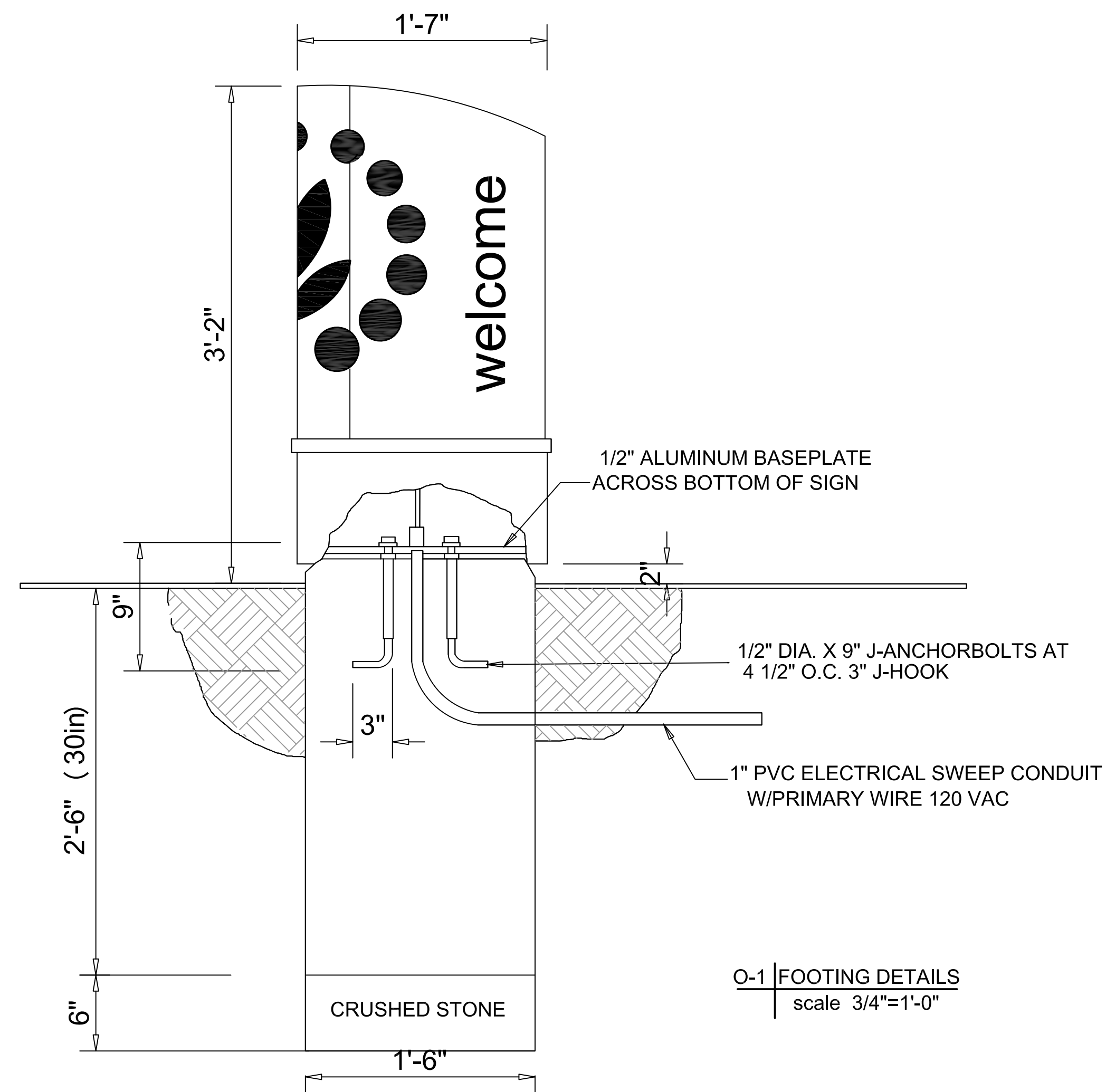
PRODUCTION

Typography
Mob
Regular | 0 Kerning | 0 Spacing
ABCDEFGHIJKLMNOPQRSTUVWXYZ
abcdefghijklmnopqrstuvwxyz
0123456789#!&

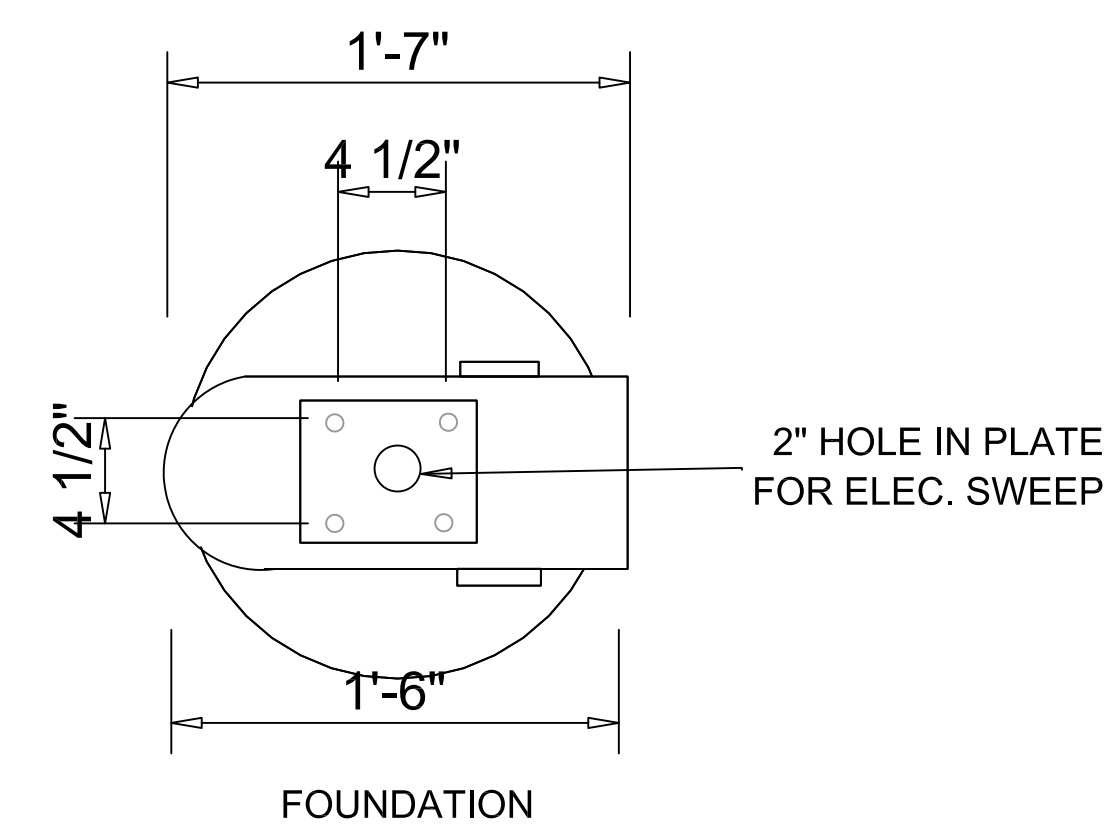
Color Palette | Pantone • Paint • Vinyl

- C1 Pantone Color: 301C
Opaque Vinyl: 3M Vivid Blue 180C-17
Translucent Vinyl: 3M Bristol Blue 3630-97
- C2 Pantone Color: 376C
Opaque Vinyl: 3M Apple Green 180C-198
Translucent Vinyl: 3M Brilliant Green 3630-106
Green ACM: Alcoa Reynobond Duragloss
3000 Outrageous Green
- C3 Paint Color: Cumberland Farms White
matches Alcoa Shell White
(300G B-10, .1g B-44)

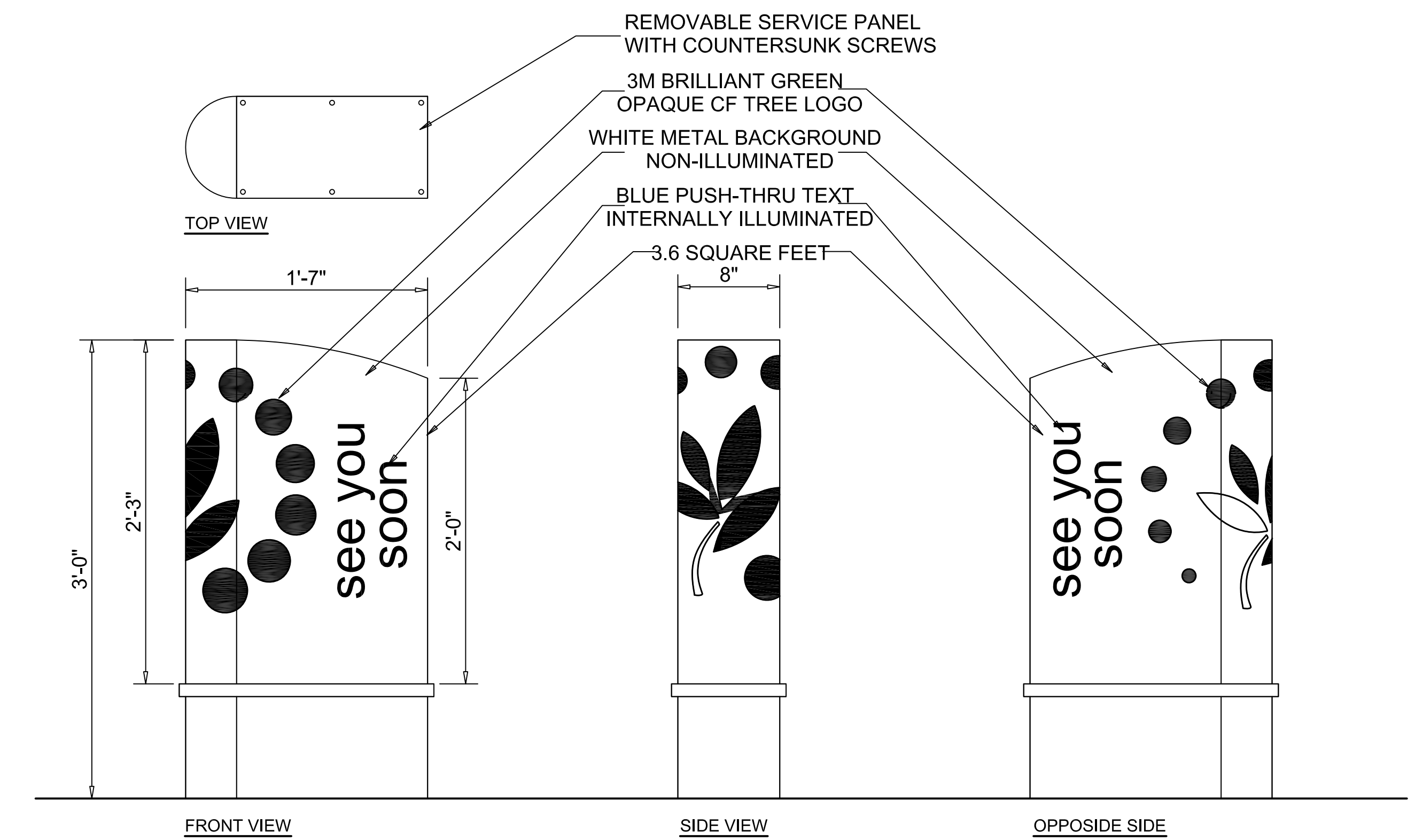
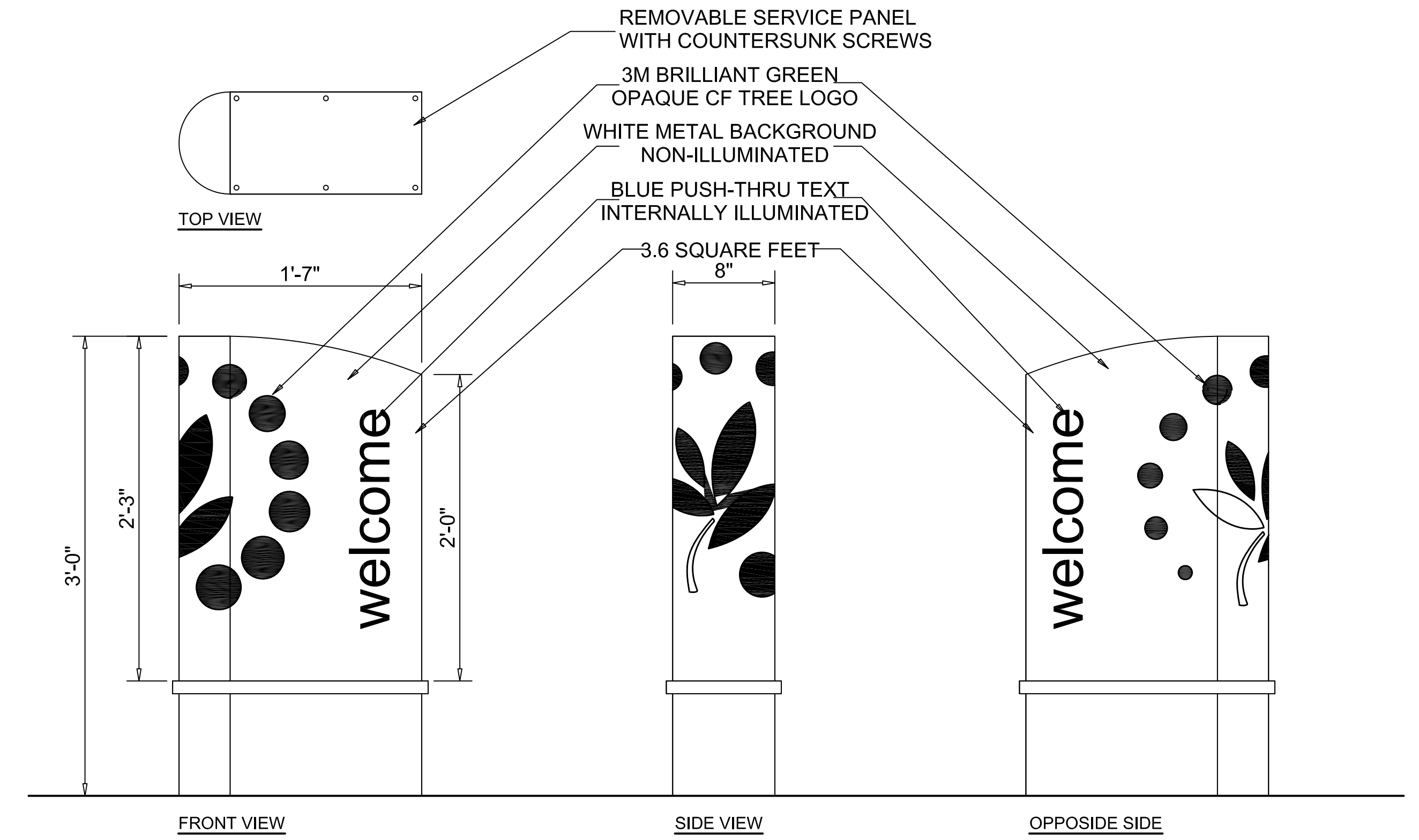
MANUFACTURER
UL
TESTED PRODUCTS



NEW CONCRETE FOOTING




O-1 FOOTING DETAILS
scale 3/4"=1'-0"



DIRECTIONAL SIGN DETAILS

| REVISIONS | | | V# NEW | 2904 & 2914 ACUSHNET AVENUE | |
|-----------|----------|--------------|------------------|-----------------------------|--|
| DATE | REV. BY. | DESCRIPTION | STORE# NEW | | |
| 120718 | JKM | PER COMMENTS | GAS STATION# NEW | | |
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CUMBERLAND FARMS, INC.
165 Flanders Road
Westborough, Massachusetts 01581

SCALE: 1/2" = 1'-0"

DATE: 11/02/18

FILE: 17-1134

DRAWN BY: _____

CHECKED BY: _____

DIRECTIONAL SIGN DETAILS CFG13.2

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Cumberland FARMS

Store # TBD
 VSH # TBD
 Oracle # MA6841
 2880 ACUSHNET AVENUE
 NEW BEDFORD, MA 02745

JOB NUMBER: 41-18-00290

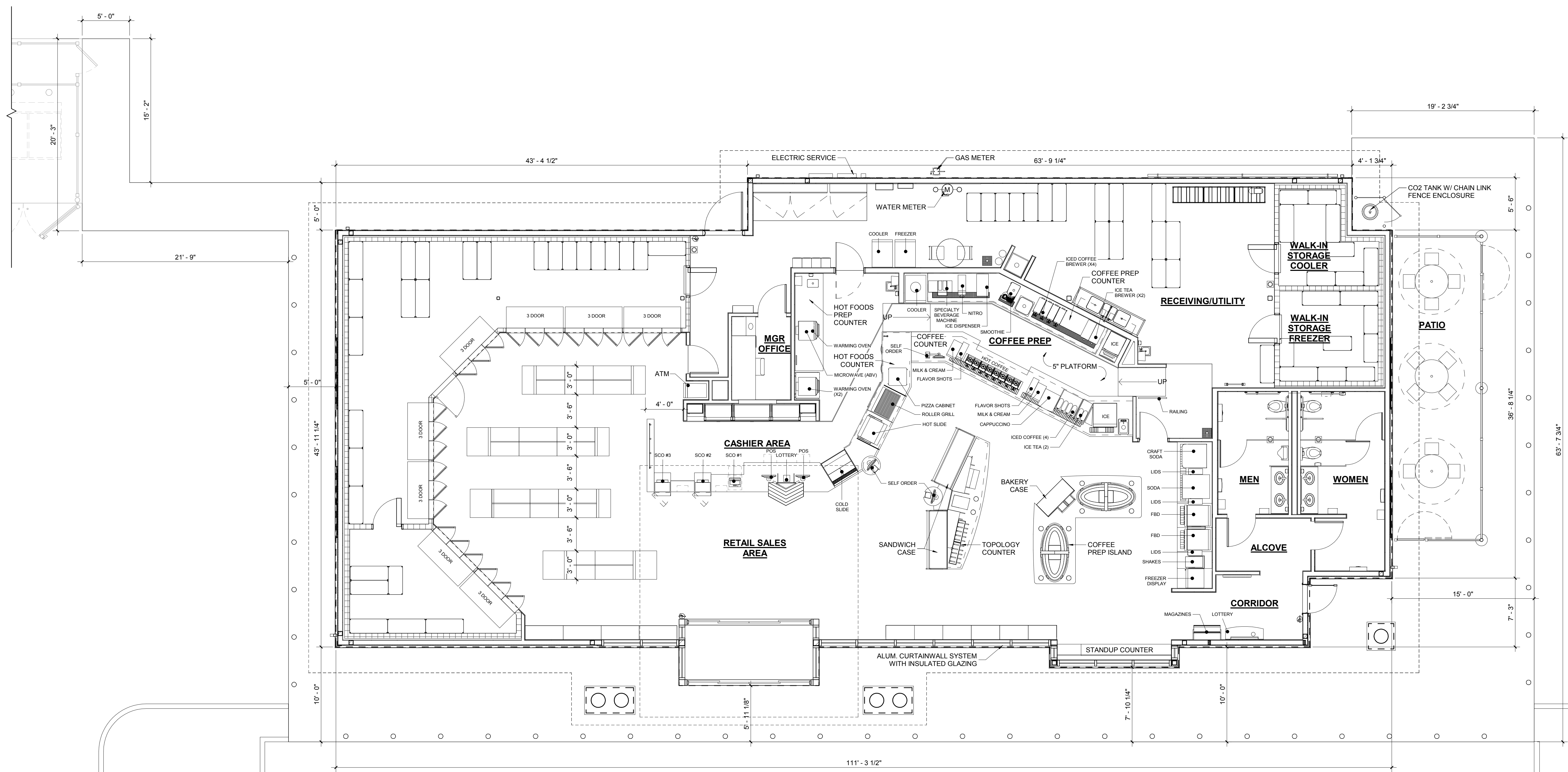
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CHECKED BY: MV
 DRAWN BY: JRR

FLOOR PLAN

SHEET:
A-101



1 FLOOR PLAN - SD
 3/16" = 1'-0"

TOTAL BUILDING AREA = 5,275 ft²
 TOTAL NET SALES AREA = 1,931 ft²
 (DOES NOT INCLUDE CASHIER AREA)

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 A-101.FLOOR PLAN

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Cumberland
FARM
Store # TBD
VSH # TBD
Circle # MA8641
2880 ACUSHNET AVENUE
NEW BEDFORD, MA 02745
JOB NUMBER: 41-18-00290

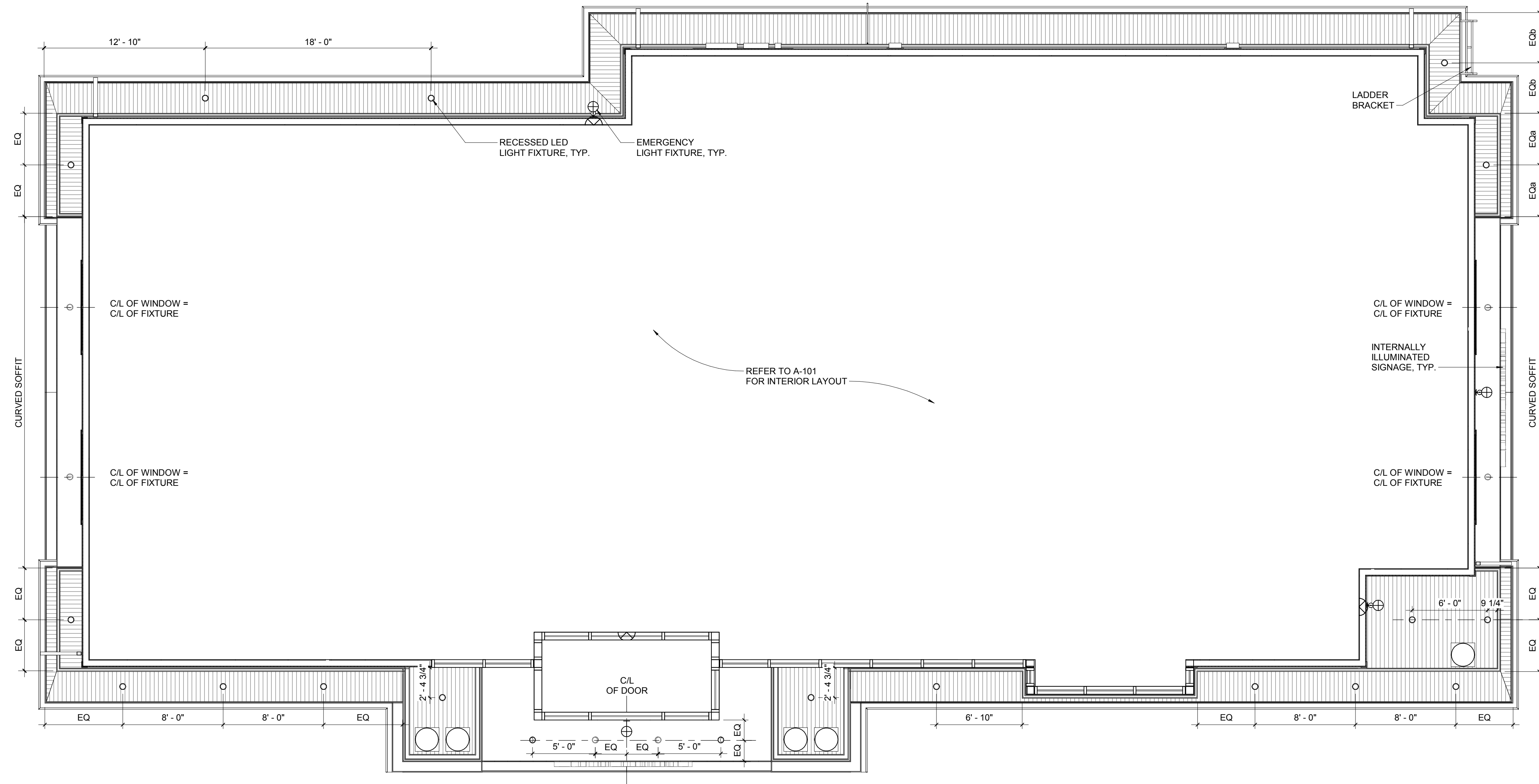
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EXTERIOR
REFLECTED
CEILING PLAN

SHEET:
A-130



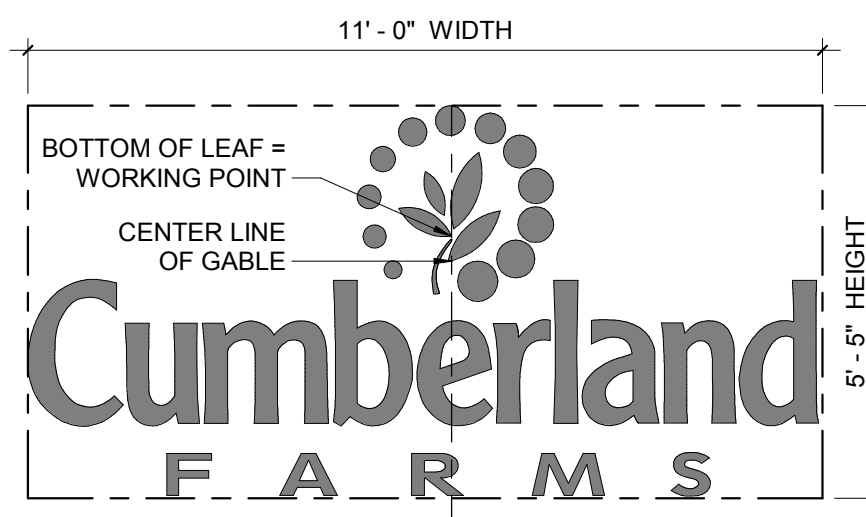
1 REFLECTED CEILING PLAN - SD
3/16" = 1'-0"

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 A-130-EXTERIOR REFLECTED CEILING PLAN

WALL SIGNAGE SPECIFICATION

CUSTOM FABRICATED INTERNALLY ILLUMINATED SIGN THAT IS SUPPLIED BY OWNER AND IS INSTALLED BY SIGN VENDOR.

SIGN AREA = 37.6 ft²

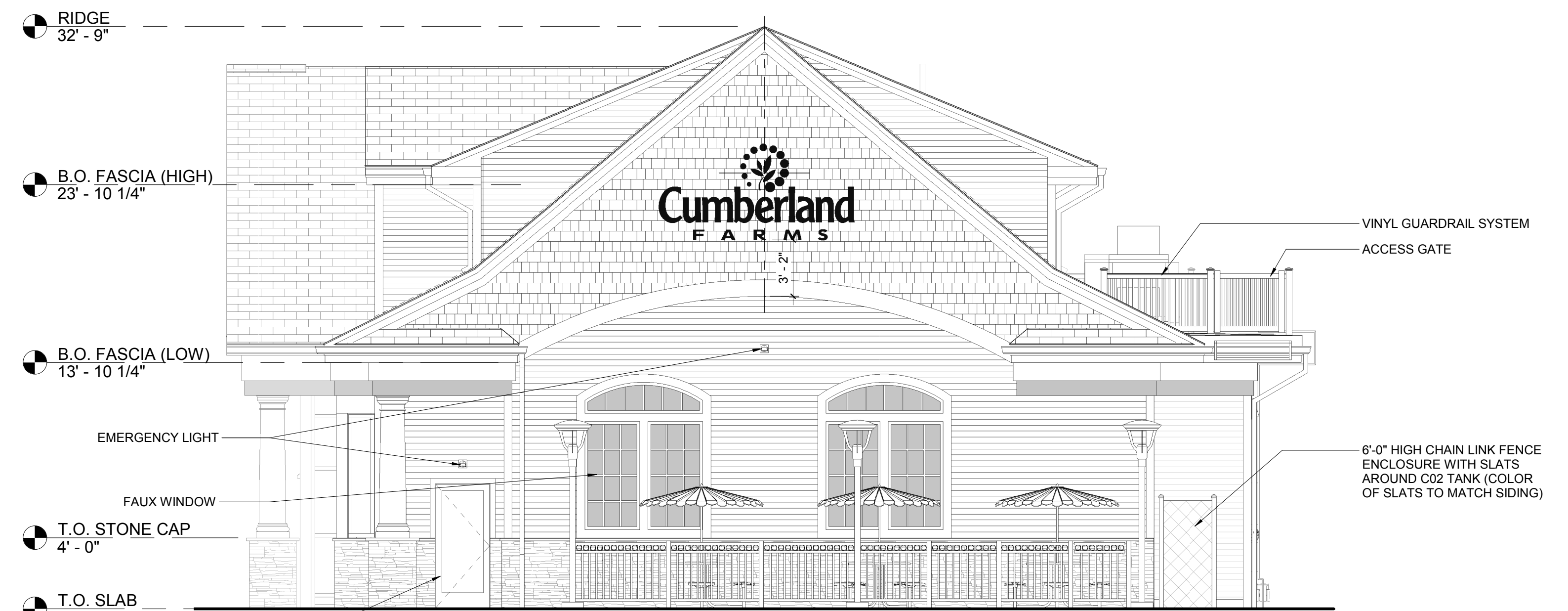


EXTERIOR FINISH SCHEDULE

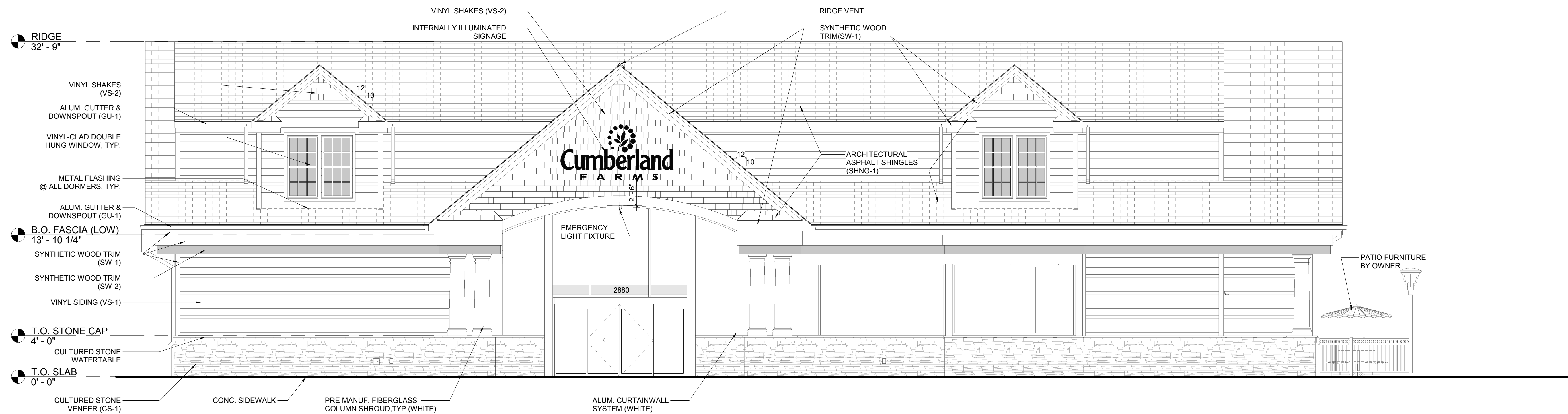
| MARK | DESCRIP. | MANUF. | MODEL | COLOR | NOTES |
|--------|--------------------------------|-----------------|------------------------|------------------|---|
| CS-1 | CULTURED STONE VENEER | BORAL | COUNTRY LEDGESTONE | ECHO RIDGE | INSTALL DRYSTACK ONLY |
| FB-1 | FIBERGLASS COLUMN SHROUD | PACIFIC COLUMNS | - | WHITE | 16"x8" ENDURA STONE PLAIN COLUMN ROUND SHAFT WITH TRUE ENTASIS TAPERED SMOOTH FINISH. |
| SHNG-1 | ARCHITECTURAL ASPHALT SHINGLES | CERTAINTEE | LANDMARK | COBBLESTONE GRAY | 30 YEAR WARRANTY |
| GU-1 | ALUMINUM GUTTER SYSTEM | ATAS | 032 | WHITE | PROVIDE ALL ACCESORIES REQ'D FOR A COMPLETE CONTINUOUS INSTALLATION. INSTALL PER MANUF. INSTRUCTIONS. ENSURE SEALED, WATERTIGHT CORNER CONNECTIONS. FLASH & SEAL TO DOWNSPOUTS AS REQ'D. PROVIDE SUPPORT STIFFENERS AT 12" MIN. O.C. GUTTER SHALL BE SEAMLESS & 6" MIN. |
| SW-1 | SYNTHETIC WOOD TRIM | CERTAINTEE | - | WHITE | PROVIDE SCARF JOINTS ON ALL EXTERIOR SYNTHETIC WOOD TRIM. G.C. TO PUTTY ALL NAIL HOLES & PAINT ALL SYNTHETIC WOOD TRIM & PANELS. |
| SW-2 | SYNTHETIC WOOD TRIM | CERTAINTEE | - | GREEN | PROVIDE SCARF JOINTS ON ALL EXTERIOR SYNTHETIC WOOD TRIM. G.C. TO PUTTY ALL NAIL HOLES & PAINT ALL SYNTHETIC WOOD TRIM & PANELS. |
| VS-1 | VINYL SIDING | CERTAINTEE | MONOGRAM 46L DOUBLE 4" | HERRINGBONE | ROUGH CEDAR FINISH. PROVIDE ALL REQ'D ACCESSORIES & TRIM FOR A COMPLETE INSTALLATION. |
| VS-2 | VINYL SHAKES | CERTAINTEE | NORTHWOODS | SAVANNAH WICKER | ROUGH CEDAR FINISH. PROVIDE ALL REQ'D ACCESSORIES & TRIM FOR A COMPLETE INSTALLATION. |



3 FRONT PERSPECTIVE - SD



2 RIGHT SIDE ELEVATION - SD



1 FRONT ELEVATION - SD

HFA
Creative Solutions
Meaningful Places

HARRISON FRENCH & ASSOCIATES, LTD
t: 508.528.0770
31 Hayward Street
Franklin, Massachusetts 02108
www.hfa-ac.com

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Cumberland FARMS

Store # TBD
VSH # TBD
Cradle # MA06841
2880 ACUSHNET AVENUE
NEW BEDFORD, MA 02745
JOB NUMBER: 41-18-00290

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CHECKED BY: MV
DRAWN BY: JRR

EXTERIOR ELEVATIONS

SHEET: A-200

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Cumberland
FARM S

Store # TBD
VSH # TBD
Circle # MA6841
2880 ACUSHNET AVENUE
NEW BEDFORD, MA 02745

JOB NUMBER: 41-18-00290

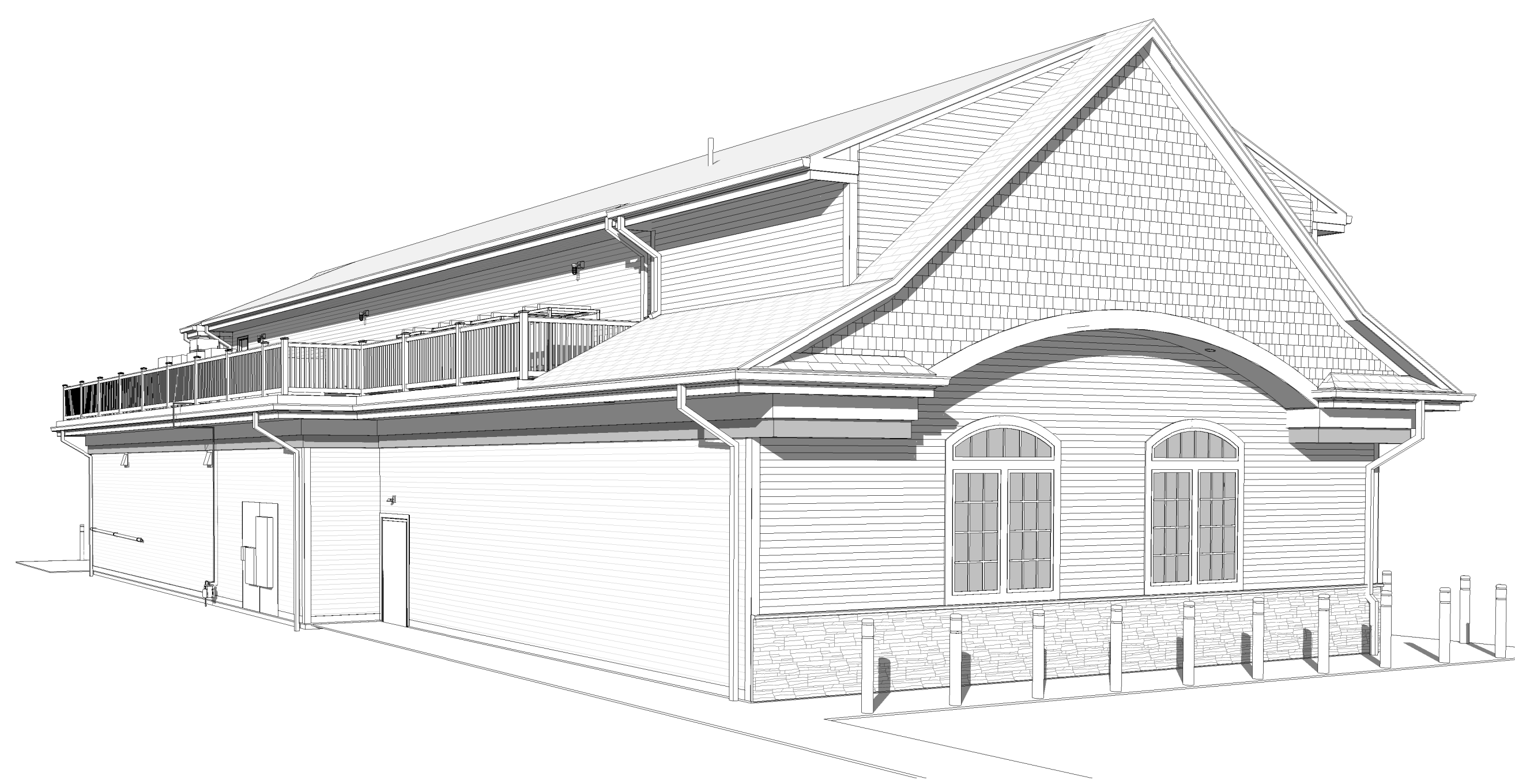
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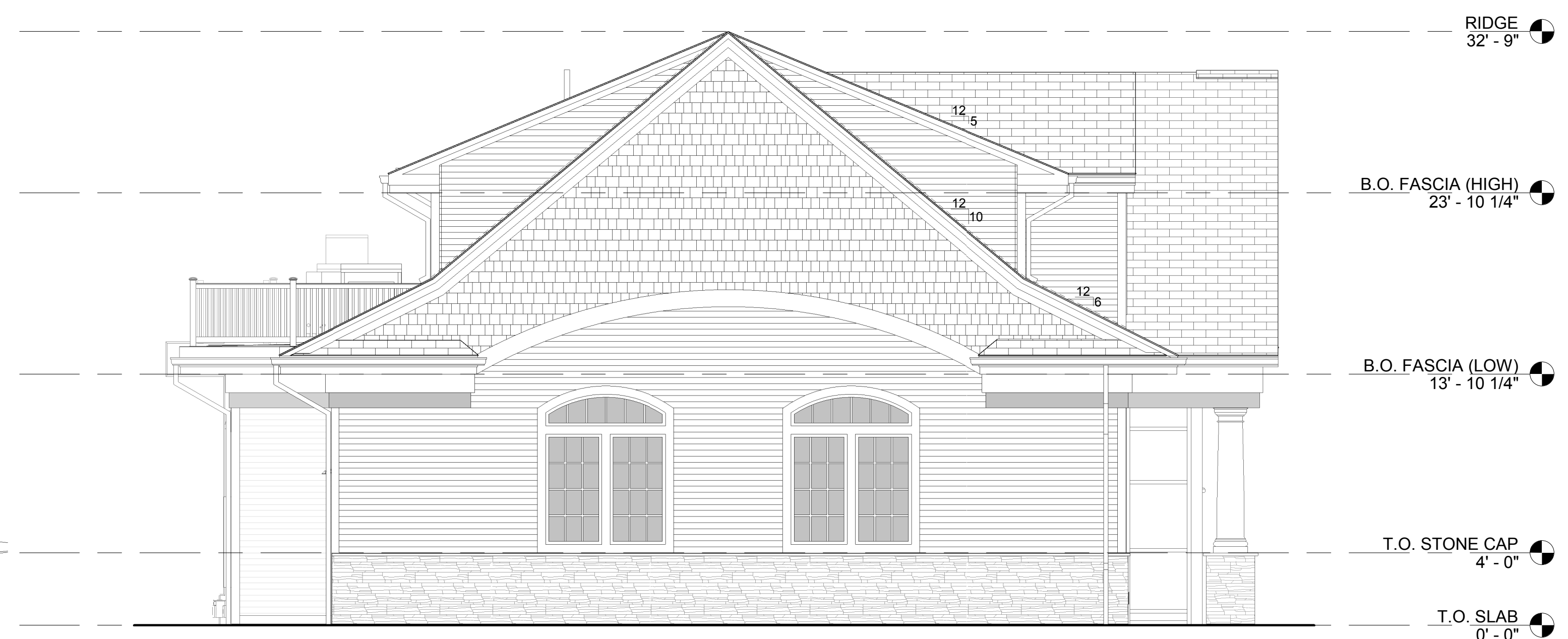
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DRAWN BY: JRR

EXTERIOR
ELEVATIONS

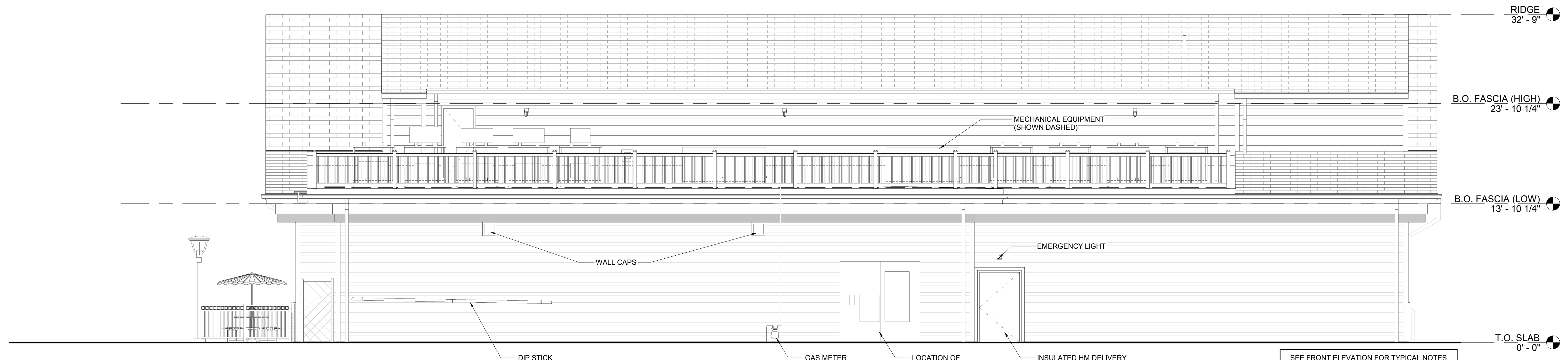
SHEET:
A-201



3 REAR PERSPECTIVE - SD



2 LEFT SIDE ELEVATION - SD
3/16" = 1'-0"



1 REAR ELEVATION - SD
3/16" = 1'-0"

10/18/18 10:51:01 AM
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 10/20/18 EXTERIOR ELEVATIONS

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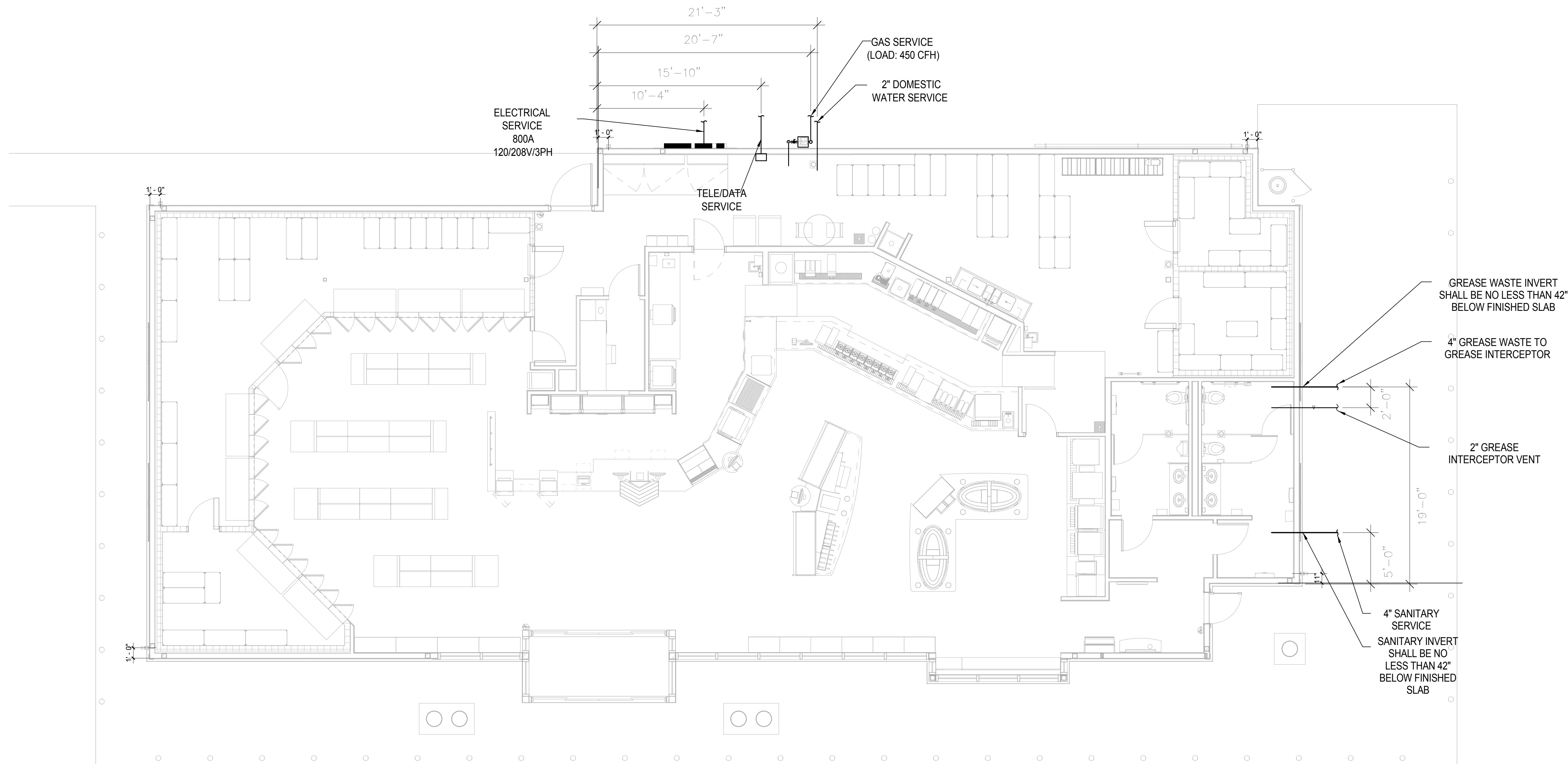
Cumberland
FARM
Store # TBD
VSH # TBD
Cratic # MA8641
2880 ACUSHNET AVENUE
NEW BEDFORD, MA 02745
JOB NUMBER: 41-18-00290

| ISSUE BLOCK | |
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CHECKED BY: MV
DRAWN BY: JRR

UTILITY
COORDINATION

SHEET:
X-101



1 UTILITY COORDINATION - SD
3/16" = 1'-0"

10/18/18 10:52:54 AM
 C:\Users\jfran\OneDrive\Documents\2018 Revit Projects\41-18-00290 New Bedford_MA_AND_O'NEIGH_Arch_V18_Quan.rvt
 X:\101\UTILITY COORDINATION

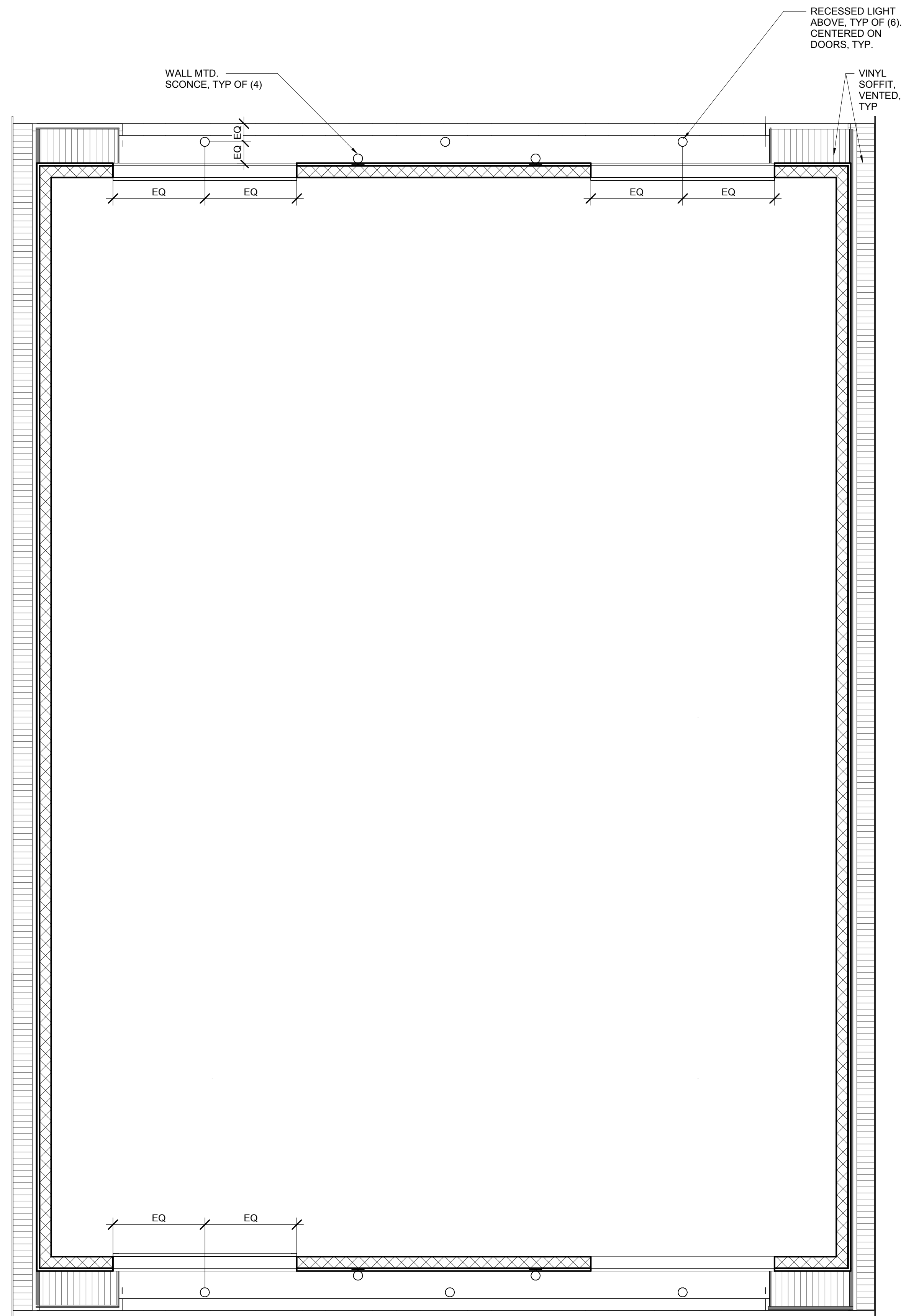
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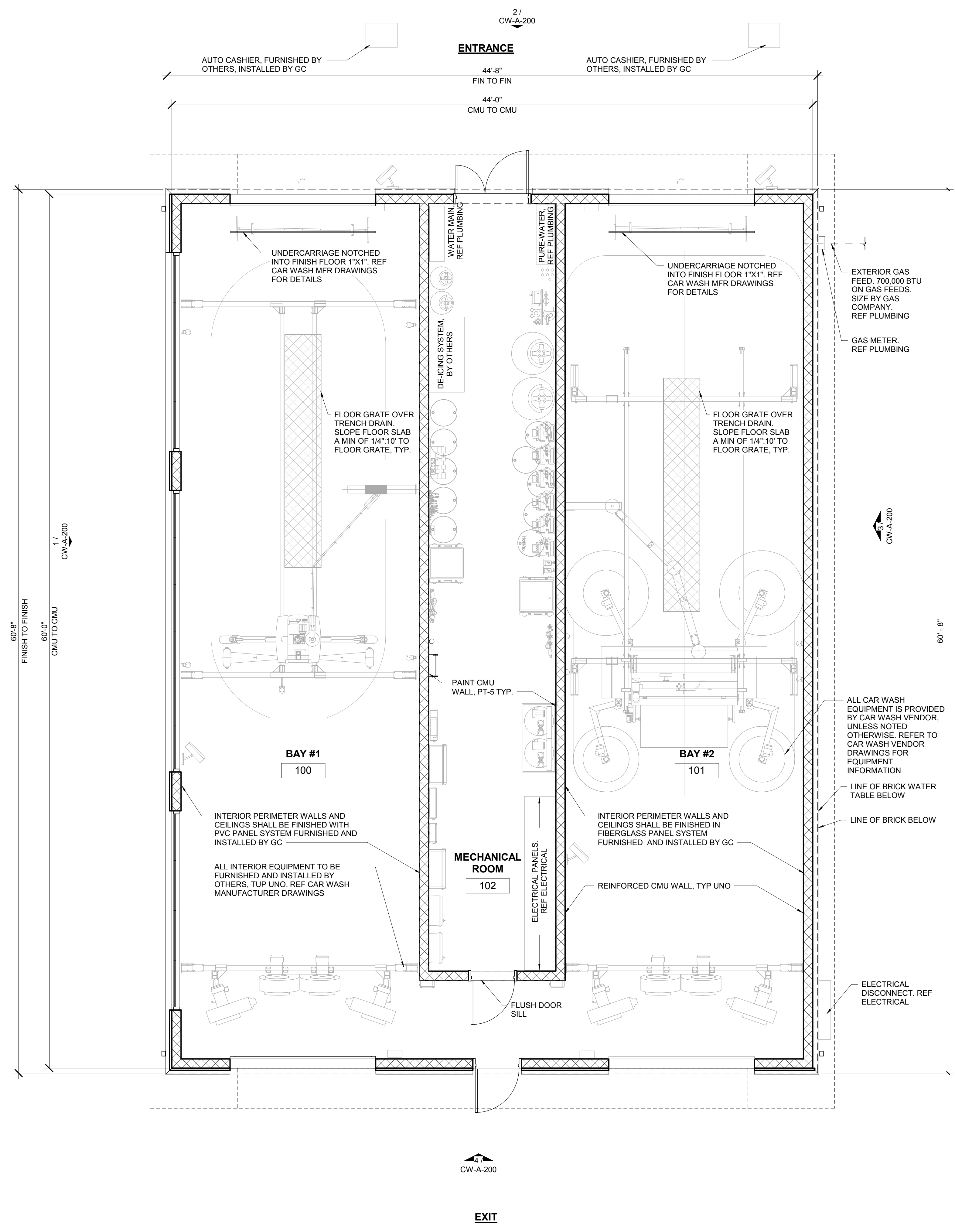
CHECKED BY: MV
DRAWN BY: JRR

FLOOR PLAN
AND EXTERIOR
REFLECTED
CEILING PLAN

SHEET:
CW-A-100



2 REFLECTED CEILING PLAN - SD
1/4" = 1'-0"



1 FLOOR PLAN - SD
1/4" = 1'-0"

10/18/18 11:34:03 AM
 C:\Users\jfrancis\Documents\2018 Revit Projects\41-18-00289 New Bedford, MA, CW_A-100\Main.mxd:PT
 CW-A-100-FLOOR PLAN AND EXTERIOR REFLECTED CEILING PLAN

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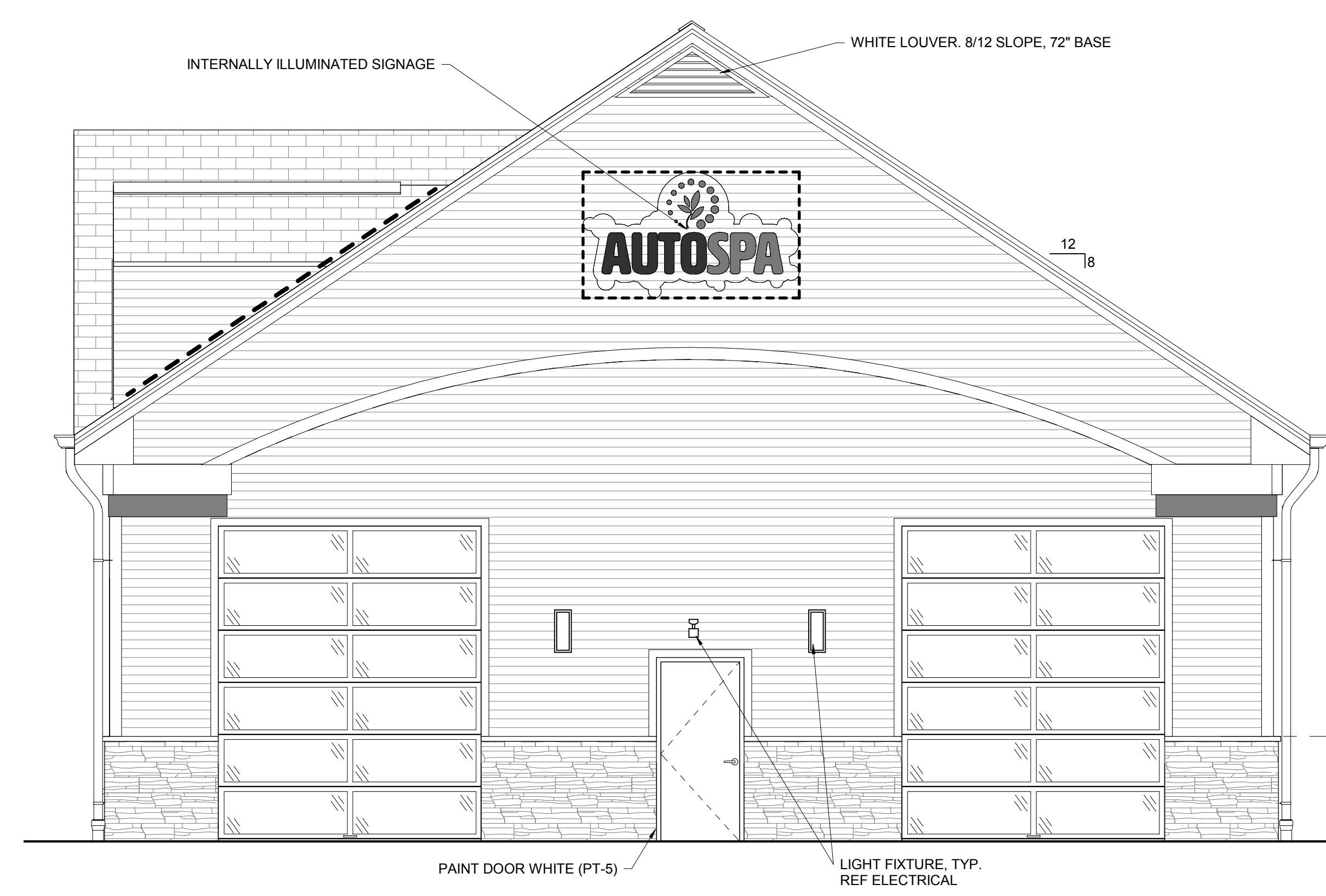
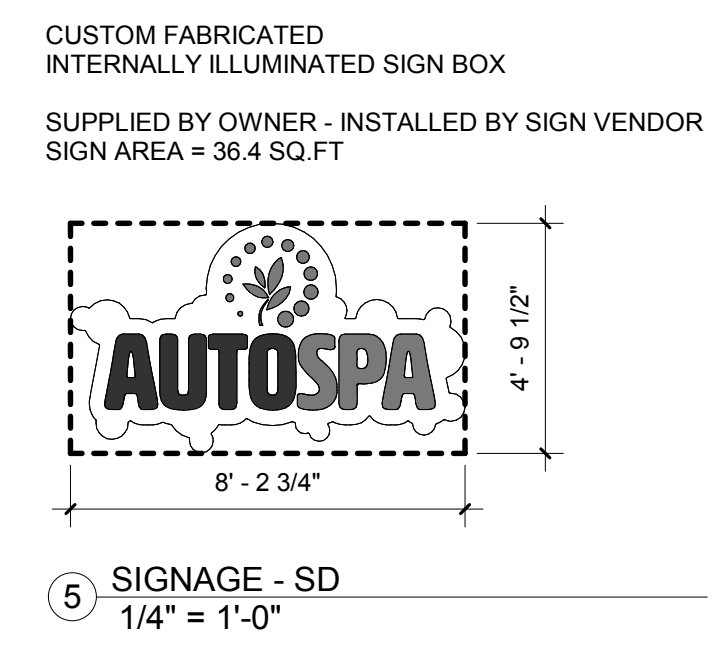
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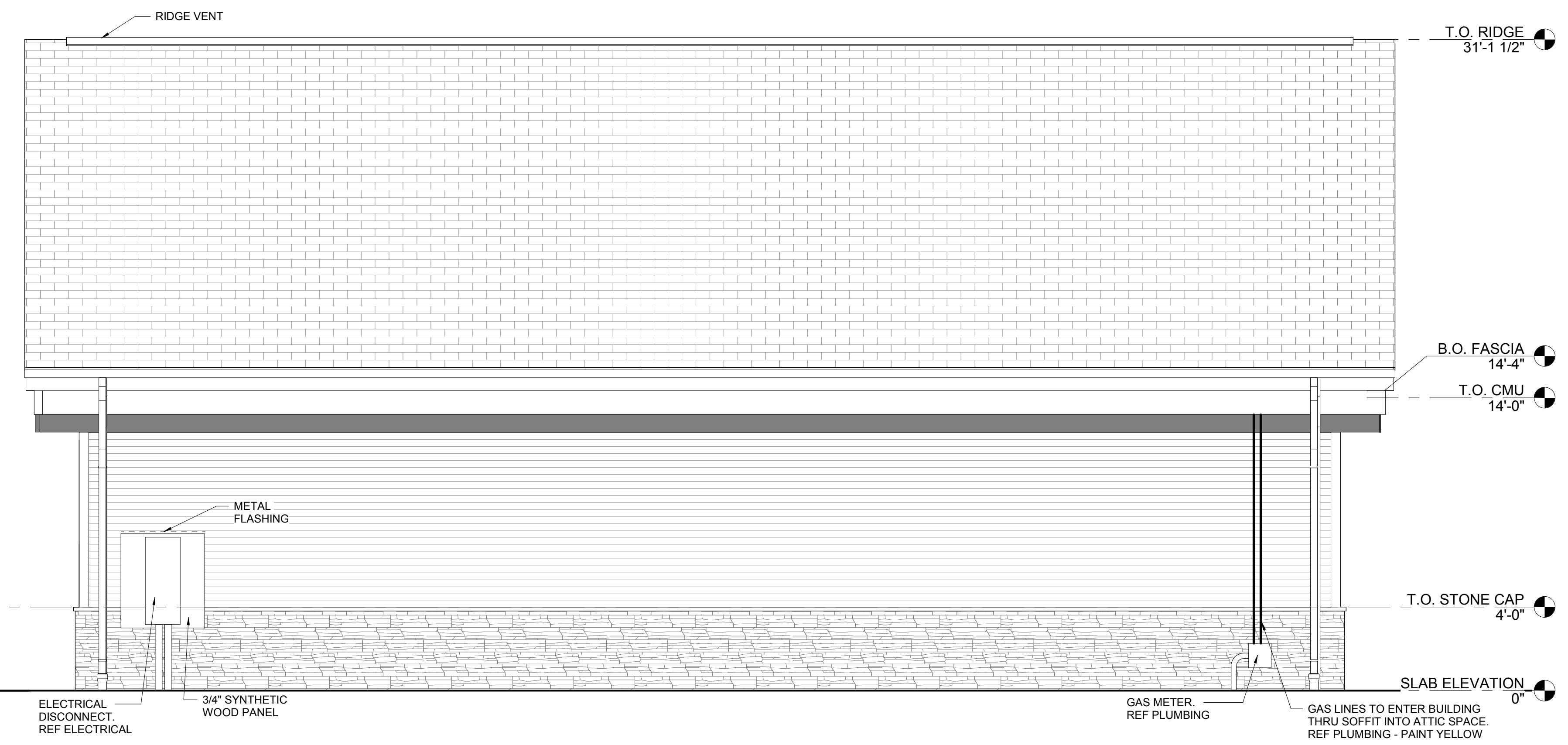
EXTERIOR ELEVATIONS

EXTERIOR FINISH SCHEDULE

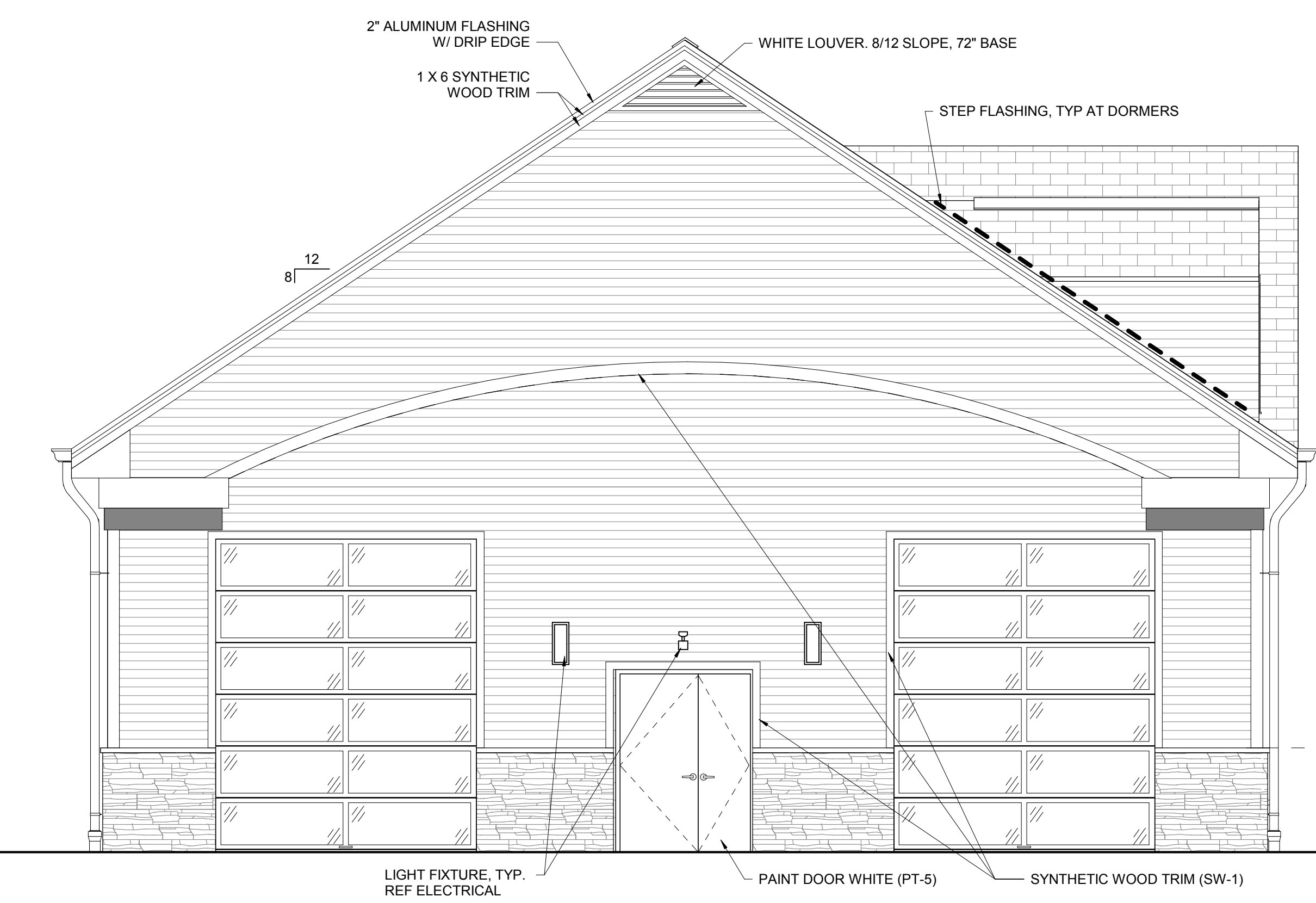
| ANNO # | DESCRIPTION | MANUFACTURER | MODEL | COLOR | NOTES |
|--------|------------------------------|---------------------|---|------------------------|---|
| SW-1 | SYNTHETIC WOOD TRIM & FASCIA | CERTAINTED | - | PT-5 | PROVIDE SCARF JOINTS ON ALL EXTERIOR SYNTHETIC WOOD TRIM. GC TO PUTTY ALL NAIL HOLES & PAINT ALL SYNTHETIC WOOD TRIM & PANELS. |
| SW-2 | SYNTHETIC WOOD TRIM | CERTAINTED | - | PT-7 | PROVIDE SCARF JOINTS ON ALL EXTERIOR SYNTHETIC WOOD TRIM. GC TO PUTTY ALL NAIL HOLES & PAINT ALL SYNTHETIC WOOD TRIM & PANELS. |
| VS-1 | VINYL CLAPBOARD SIDING | CERTAINTED | MONOGRAM 46 DOUBLE 4" | HERRINGBONE | ROUGH CEDAR FINISH. PROVIDE ALL REQ'D ACCESSORIES AND TRIM FOR A COMPLETE INSTALLATION |
| CS-1 | CULTURED STONE | BORAL | COUNTRY LEDGESTONE | ECHO RIDGE | INSTALL DRYSTCK ONLY |
| SHNG-1 | ARCH. ASPHALT SHINGLES | CERTAINTED LANDMARK | LANDMARK | COBBLESTONE GRAY | 30 YEAR WARRANTY |
| GU-1 | ALUM. GUTTER SYSTEM | ATAS | 032 | WHITE | PROVIDE ALL ACCESSORIES REQ'D FOR A COMPLETE CONTINUOUS INSTALLATION. INSTALL PER MFG INSTRUCTIONS. ENSURE SEALED, WATERTIGHT CORNER CONNECTIONS. FLASH & SEAL TO DOWNSPOUTS AS REQ'D. PROVIDE SUPPORT STIFFENERS AT MIN. 12" O.C. GUTTER SHALL BE SEAMLESS AND MIN. 6" |
| PT-5 | PAINT (EXTERIOR) | SHERWIN WILLIAMS | - | SW #7006 "EXTRA WHITE" | A82 SERIES/A100 SATIN FINISH (FOR PLASTIC, CMU, & WD SURFACES) |
| PT-7 | PAINT (EXTERIOR) | SHERWIN WILLIAMS | RESILIENCE EXTERIOR ACRYLIC LATEX PAINT PRODUCT #43x57 (YELLOW BASE) SATIN FINISH | SEE NOTES | FORMULA : OZ 32 64 128 W1 WHITE - 40 1 - G2 NEW GREEN - 26 1 - Y3 DEEP GOLD - 11 - 1 |
| VP-1 | VINYL SOFFIT PANELS | CERTAINTED | VALUE TRIPLE 4" | COLONIAL WHITE | CENTER VENTED |



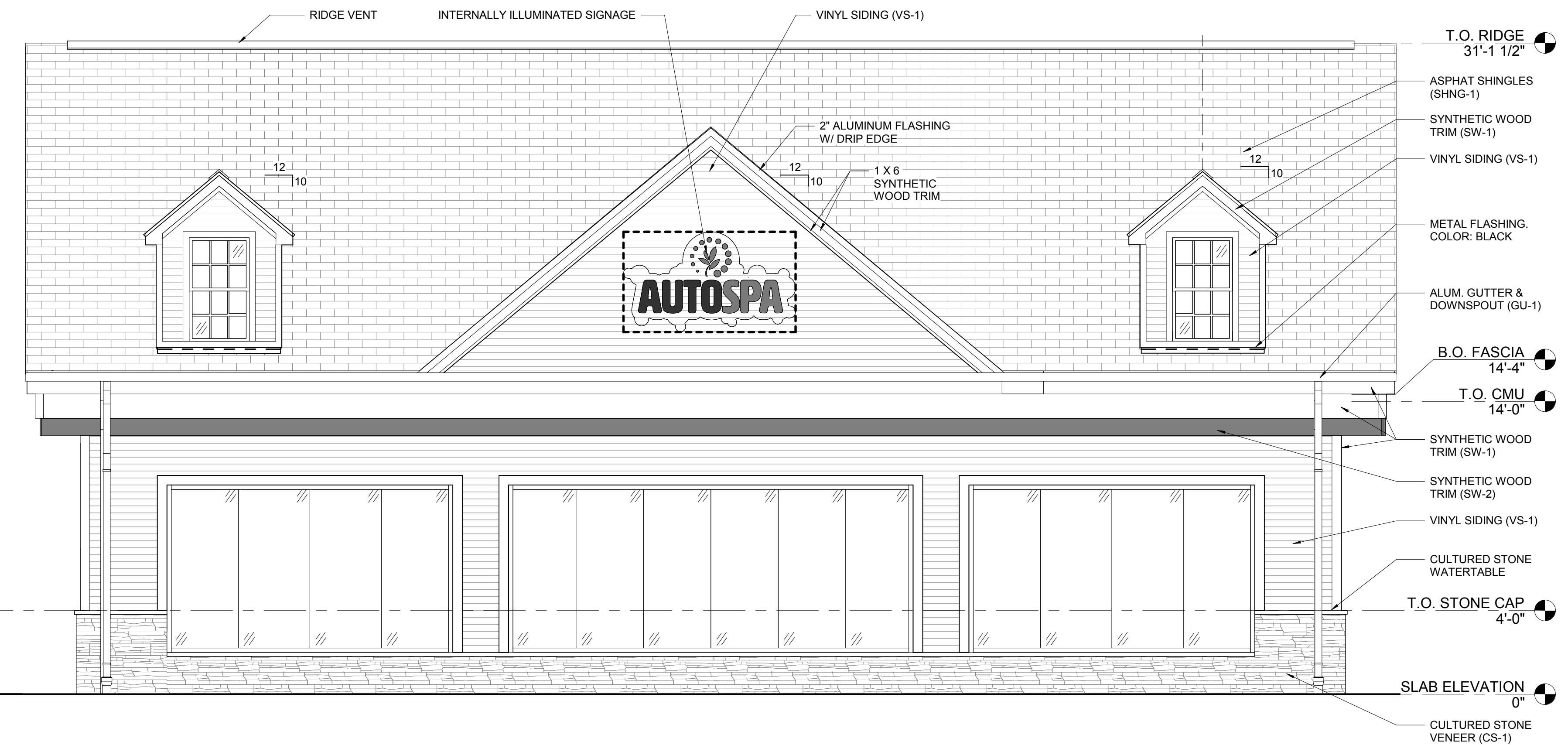
4 REAR ELEVATION (SOUTH)
1/4" = 1'-0"



3 RIGHT ELEVATION (EAST)
1/4" = 1'-0"



2 FRONT ELEVATION (NORTH)
1/4" = 1'-0"



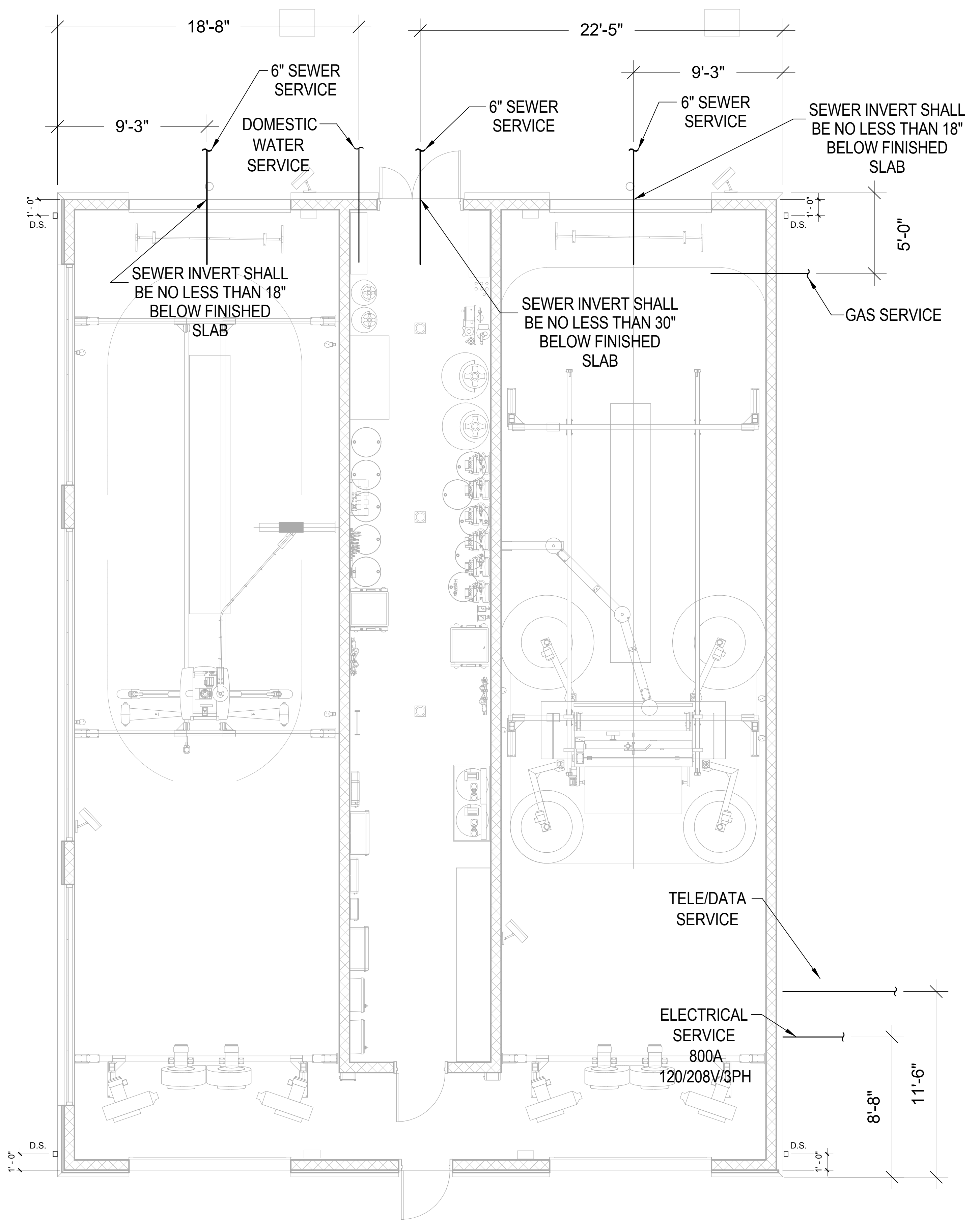
1 LEFT ELEVATION (WEST) - SD
1/4" = 1'-0"

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CHECKED BY: MV
DRAWN BY: JRR

UTILITY
COORDINATION
PLAN



1 FLOOR PLAN
1/4" = 1'-0"

10/18/18 10:34:08 AM
C:\Users\jrr\OneDrive\Documents\2018 Revit Projects\41-18-00289 New Bedford, MA_CW_X-101_Utility Coordination Plan.rvt
CW-X-101-UTILITY COORDINATION PLAN