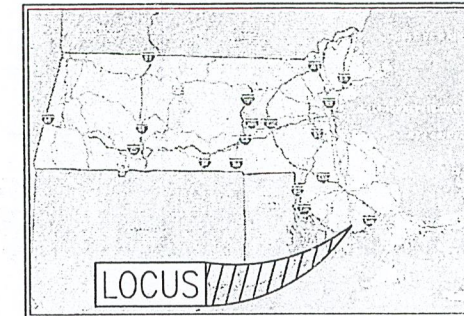


2018 NOV 16 A 11: 16

SITE PLAN

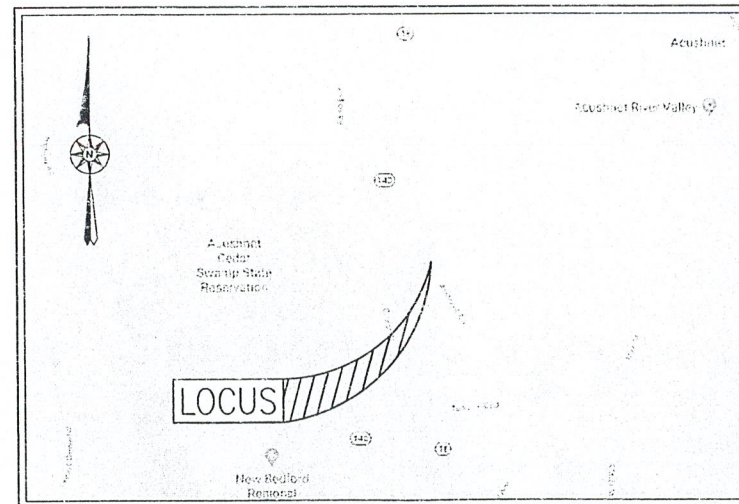
CITY CLERK



— STATE LOCUS —

2904 & 2914 ACUSHNET AVENUE ASSESSORS MAP 130D LOTS 117,247,248 AND 447 NEW BEDFORD, MASSACHUSETTS

| EXISTING | LEGEND | PROPOSED |
|----------|-----------------------------|----------|
| CL | CONTOUR LINE | 100 |
| SP | SPOT GRADE | 101.3 |
| EP | EDGE OF PAVEMENT | EP |
| VC | VERTICAL GRANITE CURB | VGC |
| SC | SLOPED GRANITE CURB | SGC |
| VC | VERTICAL CONCRETE CURB | VCC |
| BC | BITUMINOUS CONCRETE CURB | BCC |
| CB | CAPE COD BERM | CCB |
| SM | STONE WALL | |
| CLF | CHAIN LINK FENCE | |
| IF | IRON FENCE | |
| PRF | POST & RAIL FENCE | |
| SF | STOCKADE FENCE | |
| GRF | GUARD RAIL | |
| HB | HAY BALES | |
| WL | WATER LINE | |
| FH | FIRE HYDRANT | |
| PIV | POST INDICATOR VALVE | |
| WG | WATER GATE | |
| WMP | WATER METER PIT | |
| IHH | IRRIGATION HAND HOLE | |
| W | WELL | |
| SL | SEWER LINE | |
| SMH | SEWER MANHOLE | |
| GL | GAS LINE | |
| GM | GAS METER | |
| GC | GAS GATE | |
| DL | DRAIN LINE | |
| DMH | DRAIN MANHOLE | |
| CB | CATCH BASIN | |
| OW | OVERHEAD WIRES | |
| ETC | ELECTRIC, TELEPHONE & CABLE | |
| UP | UTILITY POLE | |
| UW | CITY WIRE | |



— AREA MAP —
SCALE: 1"=2,000'±

— INDEX —

| SHEET | DESCRIPTION |
|----------|--|
| CFG0.0 | COVER SHEET |
| CFG1.0 | GENERAL NOTES |
| CFG2.0 | EXISTING CONDITIONS PLAN |
| CFG2.1 | EXISTING CONDITIONS PLAN |
| CFG3.0 | SITE DEMOLITION PLAN |
| CFG4.0 | SITE PLAN |
| CFG5.0 | SITE GRADING & DRAINAGE PLAN |
| CFG6.0 | SITE EROSION & SEDIMENTATION CONTROL PLAN |
| CFG7.0 | SITE UTILITY PLAN |
| SL | CREDIT UNION PLAN |
| CFG8.0 | SITE LANDSCAPING PLAN |
| CFG9.0 | SITE CONSTRUCTION DETAILS 1 |
| CFG9.1 | SITE CONSTRUCTION DETAILS 2 |
| CFG9.2 | SITE CONSTRUCTION DETAILS 3 |
| CFG10.0 | SITE LIGHTING PLAN |
| CFG10.1 | SITE LIGHTING PLAN DETAILS |
| CFG12.0 | CANOPY ELEVATIONS |
| CFG12.1 | CANOPY DETAILS |
| CFG13.0 | SIGN DRAWING |
| CFG13.1 | SIGN DRAWING |
| CFG13.2 | SIGN DETAILS |
| A101 | FLOOR PLAN |
| A130 | EXTERIOR REFLECTED CEILING PLAN |
| A200 | EXTERIOR ELEVATIONS |
| A201 | EXTERIOR ELEVATIONS |
| X101 | UTILITY COORDINATION |
| CW-A-100 | FLOOR PLAN AND EXTERIOR REFLECTED CEILING PLAN |
| CW-A-200 | EXTERIOR ELEVATIONS |
| CW-X-101 | UTILITY COORDINATION PLAN |

REVISIONS

| | |
|--|--|
| | |
| | |
| | |

www.FarlandCorp.com

401 COUNTY STREET
NEW BEDFORD, MA 02740
P.508.717.3479

OFFICES IN:
•TAUNTON
•MARLBOROUGH
•WARWICK, RI

DRAWN BY: JKW
DESIGNED BY: CAF
CHECKED BY: CAF

SITE PLAN
2904 & 2914 ACUSHNET AVENUE
ASSESSORS MAP 130D LOTS 117, 247, 248, & 447
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:
T.M. CROWLEY & ASSOCIATES
14 BREAKNECK HILL ROAD, SUITE 101
LINCOLN, RI 02865

NOVEMBER 7, 2018
SCALE: AS NOTED
JOB NO. 17-1134
LATEST REVISION:

COVER SHEET
CFG00.0

COPYRIGHT © 2018 BY T.M. CROWLEY & ASSOCIATES, INC. ALL RIGHTS RESERVED. THIS SITE PLAN IS THE PROPERTY OF T.M. CROWLEY & ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM T.M. CROWLEY & ASSOCIATES, INC. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THIS SITE PLAN IS PROHIBITED AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

CITY CLERKS OFFICE
NEW BEDFORD, MA

2018 NOV 16 A 11:16

CITY CLERK

GENERAL CONSTRUCTION NOTES

- 1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
2. PROPERTY LINE SURVEY PERFORMED BY FARLAND CORP. IN NOVEMBER OF 2017.
3. VERTICAL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988 AND HORIZONTAL LOCATIONS REFER TO THE NORTH AMERICAN DATUM (NAD) OF 1983.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL STANDARDS AND REGULATIONS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.
6. ALL BENCHMARKS SHOWN ON THIS PLAN ARE TO BE CHECKED FOR CONSISTENCY BY THE CONTRACTOR. ANY DISCREPANCIES MUST BE RESOLVED BY THIS OFFICE PRIOR TO CONSTRUCTION.
7. WHERE PROPOSED PAVEMENT AND WALKS ARE TO MEET EXISTING, THE CONTRACTOR SHALL SAWCUT A HEAT LINE AND MATCH GRADE. SEAL ALL JOINTS WITH HOT BITUMINOUS ASPHALT JOINT SEALER.
8. CURBING TO BE AS INDICATED ON THE PLANS.
9. ALL EXISTING TREES, SHRUBS AND GROUND COVER WHERE NATURAL GRADE IS TO BE RETAINED SHALL BE KEPT IN THEIR EXISTING STATE UNLESS REMOVAL IS REQUIRED FOR CONSTRUCTION PURPOSES.
10. ALL AREAS DISTURBED BY CONSTRUCTION AND NOT TO BE PAVED OR OTHERWISE TREATED AS NOTED ON PLAN SHALL BE TREATED WITH 6" OF LOAM, SEEDED AND MULCHED FOR EROSION CONTROL.
11. ALL HANDICAP PARKING, RAMPS AND ACCESS SHALL CONFORM TO ADA AND ADAAS REQUIREMENTS.
12. LIGHTING SHALL BE DIRECTED ON SITE AND AWAY FROM TRAFFIC INTERFERENCE.
13. TEST PITS AND/OR BORINGS WERE TAKEN FOR THE PURPOSE OF DESIGN AND SHOW CONDITIONS AT BORING POINTS ONLY. THEY DO NOT NECESSARILY SHOW THE NATURE OF ALL MATERIALS TO BE ENCOUNTERED DURING CONSTRUCTION.
14. THE CONTRACTOR SHALL PROTECT AND/OR CAP OFF ALL EXISTING ON-SITE UTILITY SERVICES ACCORDING TO THE LOCAL AUTHORITY'S SPECIFICATIONS. SERVICES SHALL BE CAPPED OFF WHERE SAME ENTER THE PERIMETER OF THE PROPERTY LINE.
15. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
16. ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION. ANY MAJOR MODIFICATIONS TO THE INFORMATION SHOWN ON THE APPROVED PLANS SHALL BE SUBMITTED TO THE CITY PLANNER AND CITY ENGINEER AS A MAJOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
17. ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
18. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS.

CONSTRUCTION SEQUENCING NOTES

- 1. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO THE CITY OF NEW BEDFORD CONSERVATION COMMISSION REQUIREMENTS AS STATED IN THE ORDER OF CONDITIONS.
2. THE CONTRACTOR SHALL OBTAIN A STREET DISTURBANCE AND OBSTRUCTION PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE RIGHT-OF-WAY.
3. ALL WATER AND SEWER MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
4. ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF NEW BEDFORD BEFORE BEING BACKFILLED.
5. THE CITY SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE REQUIRED INSPECTIONS.
6. TREE PROTECTION FENCE SHALL BE INSTALLED AND APPROVED BY THE OWNER REPRESENTATIVE PRIOR TO ANY EARTH WORKING.
7. ALL PERMANENT DITCHES AND SWALES ARE TO BE STABILIZED WITH VEGETATION OR RIP RAP PRIOR TO DIRECTING RUNOFF TO THEM.
8. CLEAR CUT, DEMOLISH AND DISPOSE OF EXISTING SITE ELEMENTS NOT TO REMAIN.
9. STORMWATER SHALL NOT BE DIRECTED TOWARDS THE INFILTRATION BASINS UNTIL THE ENTIRE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
10. GRADE AND GRVEL ALL PAVED AREAS. ALL PROPOSED PAVED AREAS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
11. BEGIN ALL PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED IMMEDIATELY AFTER THEIR CONSTRUCTION.
12. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES AND MULCH AND SEED AS REQUIRED.
13. FINISH PAVING ALL HARD SURFACE AREAS.
14. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES.
15. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
16. REMOVE TEMPORARY EROSION CONTROL MEASURES.
17. THE CONSTRUCTION SEQUENCE SHALL BE CONFINED TO THE LIMIT OF WORK AS SHOWN ON THE DRAWINGS.
18. UPON COMPLETION OF CONSTRUCTION THE OWNER SHALL AGREE TO MAINTAIN AND CLEAN ALL DRAINAGE STRUCTURES AS REQUIRED.

SITE PREPARATION NOTES

- 1. WITHIN THE LIMIT OF WORK LINE AS NOTED ON THE SITE PLANS, REMOVE AND DISCARD ALL CONCRETE PAVEMENT, BITUMINOUS CONCRETE PAVEMENT, BRICK PAVEMENT, TOP SOIL, MULCH, TRASH, DEAD TREES AND STUMPS, SHRUBBERY, CHAIN LINK FENCE POSTS, RAILS, FABRIC, GATES, FOOTINGS AND ALL APPURTENANCES, BOLLARDS, POSTS, CONCRETE FOOTINGS AND FOUNDATIONS, WALLS AND CURBS UNLESS OTHERWISE NOTED.
2. THE OWNER'S REPRESENTATIVE SHALL BE PERMITTED TO REVIEW THE WORK ON SITE WITH THE CONTRACTOR BEFORE ANY WORK SHALL COMMENCE.
3. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO STARTING WORK.
4. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS TO REMAIN THAT ARE DUE TO CONTRACTOR OPERATIONS.
5. ALL ITEMS TO BE REMOVED THAT ARE NOT STOCKPILED FOR LATER REUSE ON THE PROJECT OR DELIVERED TO THE OWNER SHALL BE LEGALLY DISPOSED OF OFF SITE BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS EFFORTS OF THE DEMOLITION WITH ALL TRADES.
7. THE CONTRACTOR SHALL COORDINATE ALL ADJUSTMENT OR ABANDONMENT OF UTILITIES WITH THE RESPECTIVE UTILITY COMPANY.
8. THE CONTRACTOR SHALL MAINTAIN OR ADJUST TO NEW FINISH GRADES AS NECESSARY ALL UTILITY AND SITE STRUCTURES SUCH AS LIGHT POLES, SIGN POLES, MANHOLES, CATCH BASINS, HAND HOLES, WATER AND GAS GATES, HYDRANTS, ETC. FROM MAINTAINED UTILITY AND SITE SYSTEMS UNLESS OTHERWISE NOTED OR DIRECTED BY THE OWNER'S REPRESENTATIVE.

LAYOUT AND MATERIAL NOTES

- 1. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
2. ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
3. SEE ARCHITECT'S DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAILS CONTIGUOUS TO THE BUILDING INCLUDING SIDEWALKS, RAMPS, UTILITY ENTRANCE LOCATIONS, WALL PACKS, CONCRETE DOOR PADS, ROOF DRAINS, ETC.
4. ACCESSIBLE CURB RAMPS SHALL BE PER THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD AND THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES, WHICH IS MORE STRINGENT.
THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN:
ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING.
ALL DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE.
ALL DIMENSIONS ARE TO CENTER OF PAVEMENT MARKINGS.
ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.

UTILITY AND GRADING NOTES

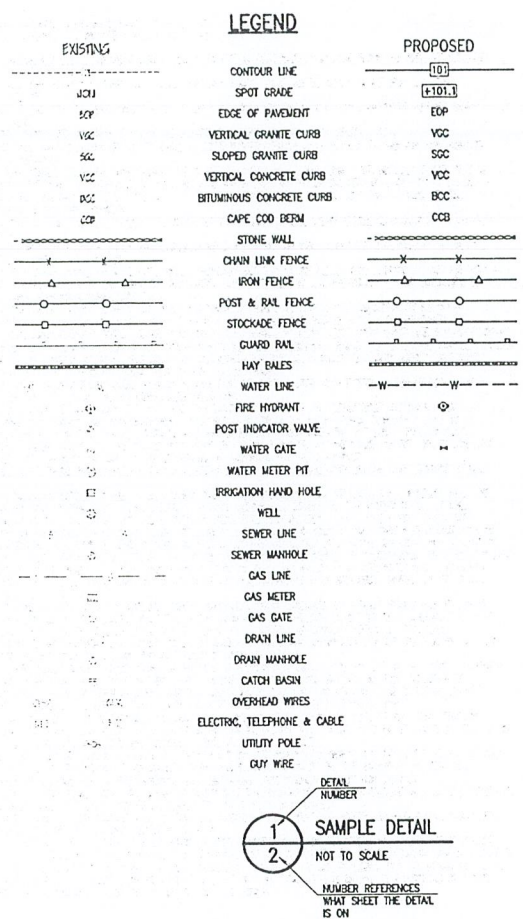
- 1. THE CONTRACTOR SHALL OBTAIN A STREET DISTURBANCE & OBSTRUCTION PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE RIGHT-OF-WAY.
2. ALL WATER AND SEWER MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
3. ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF NEW BEDFORD BEFORE BEING BACKFILLED.
4. THE CITY SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE REQUIRED INSPECTIONS.
5. ALL ON-SITE STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) OR RCP, UNLESS NOTED OTHERWISE.
6. HDPE PIPE SHALL CONFORM WITH AASHTO DESIGNATIONS M-294 AND M-252. SHALL BE MANUFACTURED WITH HIGH DENSITY POLYETHYLENE PLASTIC AND SHALL BE ADS N-12 PIPE AS MANUFACTURED BY HANCOCK, INC. OR APPROVED EQUAL UNLESS OTHERWISE NOTED OR DETAILED.
7. A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES.
8. ALL SERVICE CONNECTIONS SHALL BE INSTALLED TO A POINT OF 10 FEET FROM THE BUILDING WALL UNLESS OTHERWISE NOTED OR DETAILED.
9. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 4 FEET OF COVER AND A MAXIMUM OF 5.5 FEET OF COVER EXCEPT AS NOTED OR DETAILED OTHERWISE. GREATER DEPTHS ARE PERMITTED WHERE REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES.
10. GENERALLY, WATER MAIN FITTINGS IDENTIFIED ON THIS DRAWING ARE SHOWN FOR INSTALLATION LOCATION PURPOSES. THE CONTRACTOR SHALL NOTE THAT NOT ALL FITTINGS ARE NOTED, SHOWN OR INDICATED.
11. ALL WATER MAIN FITTINGS, TEES, BENDS, HYDRANTS, ETC. SHALL BE RESTRAINED WITH CONCRETE THRUST BLOCKS.
12. DOMESTIC WATER SERVICES 2.5" AND SMALLER SHALL BE TYPE K COPPER TUBING AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED COPPERATION STOP AND APPROVED SADDLE CURB STOP, AND BOX, USING MATERIALS SPECIFIED BY THE MUNICIPAL WATER DEPARTMENT OR COMPANY.
13. ALL WATER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS SHALL MEET OR EXCEED ALL LOCAL MUNICIPAL REQUIREMENTS.
14. PRESSURE AND LEAKAGE TEST, DISINFECTION AND FLUSHING SHALL BE IN ACCORDANCE WITH ALL LOCAL MUNICIPAL STANDARDS AND REQUIREMENTS. CONTRACTORS SHALL BE RESPONSIBLE FOR ALL COSTS IN CONNECTION WITH UTILITY TESTS, FLUSHING AND INSPECTIONS AS REQUIRED BY THE LOCAL MUNICIPALITY.
15. PRIMARY WATER METER AND BACKFLOW PREVENTER SHALL BE LOCATED AT THE POINT WHERE THE WATER LINE ENTERS THE BUILDING UNLESS OTHERWISE NOTED OR DETAILED ON THE DRAWINGS.
16. ALL GRAVITY SEWER PIPE SHALL BE PVC PER ASTM D3034, SDR-35 AND ASTM D1784 WITH RUBBER GASKET JOINTS.
17. WHERE SANITARY SEWERS CROSS WATER LINES, THE SEWER SHALL BE Laid AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST EIGHTEEN INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL JOINT PIPE FOR A DISTANCE OF TEN FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR AS THE SEWER AS POSSIBLE. IF MECHANICAL JOINT PIPE IS NOT USED THEN BOTH THE WATER MAIN AND SANITARY SEWER SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
18. DUE TO THE SMALL SCALE OF THE SITE WORK DRAWINGS, EXACT LOCATION OF UTILITY STUBS FOR BUILDING CONNECTIONS SHALL BE VERIFIED WITH THE BUILDING DRAWINGS. SERVICE STUBS TO THE BUILDING SHALL BE INSTALLED TO A POINT 10 FEET FROM THE BUILDING WALL UNLESS OTHERWISE NOTED OR DETAILED.
19. BEFORE THE DEVELOPMENT SITE IS GRADED, THE AREA OF THE DRAINAGE BASINS SHOULD BE FENCED OFF TO PREVENT HEAVY EQUIPMENT FROM COMPACTING THE UNDERLYING SOIL.
20. WHERE PROPOSED GRADES MEET EXISTING GRADES, CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. POONDING AT TRANSITION AREAS WILL NOT BE ALLOWED.
21. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS AND STRUCTURES.
22. MAXIMUM SLOPE IN DISTURBED AREAS SHALL NOT EXCEED 3:1 UNLESS OTHERWISE NOTED.
23. CONTRACTOR SHALL VERIFY EXISTING GRADES AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
24. CONTRACTOR SHALL ADJUST UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
25. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE OWNER'S REPRESENTATIVE FOR RESOLUTION OF THE CONFLICT.
26. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ALL GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
27. ELECTRICAL DUCT BANK LOCATION IS SHOWN FOR COORDINATION PURPOSES, REFER TO ELECTRICAL PLANS FOR SECTIONS AND DETAILS OF THE UTILITY DUCT BANK.
28. THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY AND APPROVED BY THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE AND ELECTRICAL). FINAL DESIGN AND LOCATIONS AT THE BUILDING WILL BE PROVIDED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE UTILITY CONNECTIONS WITH THE RESPECTIVE COMPANIES PRIOR TO ANY UTILITY CONSTRUCTION.

GENERAL PLANTING NOTES

- 1. ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERMEN OR THE PLANT MATERIAL WILL BE UNACCEPTABLE. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY, SIZE AND BE CERTIFIED DISEASE AND INSECT FREE. THE OWNER AND/OR THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO APPROVE ALL PLANT MATERIAL ON SITE PRIOR TO INSTALLATION.
2. ALL PLANT MATERIAL SHALL BE PROPERLY CUTTED, STAKED, WRAPPED, AND PLANTED IN CONFORMANCE WITH THE TYPICAL PLANTING DETAILS. GUY WIRES SHALL BE ATTACHED TO THE TREE AT A HEIGHT OF TWO-THIRDS THE HEIGHT OF THE TREE AND SHOULD BE LOCATED AT POINTS SO AS NOT TO SPLIT THE TRUNK OF MULTI-STEMMED TREES. PROVIDE THREE STAKES PER TREE UNLESS NOTED OTHERWISE. INSTALL ALL PLANT MATERIAL ON UNDISTURBED GRADE. PROVIDE BURGLAP WRAPPING WITH A SOLE OVERLAP. CUT AND REMOVE BURGLAP FROM TOP ONE-THIRD OF THE ROOT BALL.
3. PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. BACKFILL PLANTING PITS WITH ONE PART EACH OF TOP SOIL, PEAT MOSS, AND PARENT MATERIAL. IF WET SOIL CONDITIONS EXIST THEN PLANTING PITS SHALL BE EXCAVATED AN ADDITIONAL 12" AND FILLED WITH SAND.
4. NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF INSTALLATION AND SHALL BE SUBSEQUENTLY FLOODED TWICE WITHIN TWENTY-FOUR (24) HOURS OF PLANTING. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT, GROWTH AND SURVIVAL OF ALL PLANTS.
5. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER THE DATE OF FINAL ACCEPTANCE. ANY PLANT MATERIAL THAT DIES WITHIN THAT PERIOD SHALL BE REMOVED, INCLUDING THE STUMP, AND REPLACED WITH MATERIAL OF SIMILAR SIZE AND SPECIES AT THE EXPENSE OF THE DEVELOPER. THE REPLACED PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER THE REPLACEMENT DATE.
6. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM OF LAYER OF TOPSOIL IN ALL LAWN AREAS AND A MINIMUM OF 6" OF TOPSOIL IN ALL PLANTING AREAS. A FULL SOIL ANALYSIS SHALL BE CONDUCTED AFTER CONSTRUCTION AND PRIOR TO PLANTING TO DETERMINE THE EXTENT OF SOIL AMENDMENT REQUIRED.
7. ALL DISTURBED LAWN AREAS SHALL BE STABILIZED WITH EITHER SOO OR SEED AS INDICATED ON THE LANDSCAPE PLANS. SEED SHALL CONSIST OF THE MIXTURE LISTED IN THE GENERAL SEEDING NOTES. ALL DISTURBED LAWN AREAS SHALL BE TOP SOILED, LIMED, FERTILIZED, AND FINE GRADED PRIOR TO LAWN INSTALLATION.
8. ALL PLANTING BEDS SHALL RECEIVE 4" OF SHREDED PINE, CEDAR OR HEMLOCK BARK.
9. ALL SHRUB MASSES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS.
10. ALL TREES ARE TO BE GUYED, 3 EACH, UNLESS OTHERWISE NOTED ON PLAN.
11. ALL DECIDUOUS TREES ARE TO BE WRAPPED, WITH TREE WRAP, UP TO THE FIRST BRANCHING AND SECURED.
12. THE LANDSCAPE CONTRACTOR IS TO PERFORM ALL CONTRACTED WORK IN A REASONABLE PERIOD OF CONTINUOUS WORK.
13. THE LANDSCAPE CONTRACTOR IS TO MAINTAIN PLANT MATERIAL WHILE THE PROJECT IS UNDERWAY AND FOR A PERIOD OF TWO WEEKS AFTER THE COMPLETION OF THE PROJECT UNLESS OTHERWISE SPECIFIED.
14. THE CONTRACTOR IS TO CLEAN UP AND REMOVE ANY DEBRIS FROM THE SITE, CAUSED BY THE LANDSCAPE CONTRACTOR.

SOIL EROSION AND SEDIMENT CONTROL NOTES

- 1. SOIL EROSION AND SEDIMENT CONTROL PRACTICES IN THE PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
2. ALL APPLICABLE SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY DEMOLITION GRADING OPERATIONS AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
3. ALL APPLICABLE SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND/OR THE AREA IS STABILIZED.
4. ALL SOIL EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
5. THE MAINTENANCE OF SOIL EROSION AND SEDIMENT CONTROL MEASURES AND FACILITIES DURING AND IMMEDIATELY AFTER CONSTRUCTION RESTS WITH THE GENERAL CONTRACTOR. UPON ACCEPTANCE OF THE PROJECT, THE OWNER SHALL BECOME RESPONSIBLE FOR MAINTENANCE OF ANY REMAINING MEASURES AND FACILITIES.
6. OFF SITE SEDIMENT DISTURBANCE MAY REQUIRE ADDITIONAL CONTROL MEASURES TO BE DETERMINED BY THE ENGINEER.
7. THE CONSERVATION COMMISSION AND/OR ENGINEER MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR.
8. ADJOINING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS AT ALL TIMES.
9. THE CONTRACTOR SHALL UTILIZE ALL METHODS NECESSARY TO PREVENT BLOWING AND MOVEMENT OF DUST FROM THE EXPOSED SOIL SURFACES.
10. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
11. A GRIEDED STONE TRAP CLEANING PAD WILL BE INSTALLED WHEREVER A CONSTRUCTION ENTRANCE EXISTS. SEE LOCATION DETAIL ON PLAN.
12. ALL CATCH BASIN INLETS SHALL BE PROTECTED DURING CONSTRUCTION AS DETAILED ON THE PLAN, IF APPLICABLE.
13. ALL STORM DRAINAGE OUTLETS SHALL BE PROTECTED AS REQUIRED HEREON BEFORE DISCHARGE POINTS BECOME OPERATIONAL.
14. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
15. LAND AREAS EXPOSED AT ANY ONE TIME AND THE LENGTH OF EXPOSURE SHALL BE KEPT TO A PRACTICAL MINIMUM. THEY SHALL BE LEFT IN A NEAT AND FINISHED APPEARANCE AND PROTECTED FROM EROSION.
16. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN SIXTY (60) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND FERTILIZATION. IF THE SEASON PERMITS TEMPORARY SEEDING, THE DISTURBED AREAS SHALL BE MULCHED.
17. ALL CRITICAL AREAS SUBJECT TO EROSION SHALL RECEIVE A TEMPORARY SEEDING AND BE MULCHED IN ACCORDANCE WITH THE SPECIFICATIONS IMMEDIATELY FOLLOWING ROUGH GRADING.
18. IMMEDIATELY AFTER COMPLETION OF STRIPPING AND STOCKPIILING OF TOPSOIL, SEED THE STOCKPILE WITH ANNUAL RYE GRASS. STABILIZE TOPSOIL STOCKPILES WITH STRAW MULCH FOR PROTECTION IF THE SEASON DOES NOT PERMIT THE APPLICATION AND ESTABLISHMENT OF TEMPORARY SEEDING.
19. SOIL STOCKPILES ARE NOT TO BE LOCATED WITHIN FIFTY (50) FEET OF WETLANDS, THE FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITIES. THE BASE OF ALL STOCKPILES SHALL BE PROTECTED BY A HAY BALE BARRIER OR SEDIMENT FENCE. LOCATIONS ARE DELINEATED ON THE PLAN.
20. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
21. ALL AREAS NOT STABILIZED BY CONSTRUCTION, SOODING OR LANDSCAPING SHALL BE SEEDED AND STABILIZED WITH THE SEEDING AND MULCHING SPECIFICATIONS.
22. MULCHING IS REQUIRED ON ALL SEEDED AREAS TO INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED TO PROMOTE EARLIER VEGETATIVE COVER.
23. ALL DISTURBED OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTRATION DEVICE. THE SEDIMENT FILTER MUST BE CAPABLE OF FILTERING THE SEDIMENT AND BE PLACED SO AS NOT TO CAUSE EROSION OF THE DOWNSTREAM AREA.



REVISIONS table with columns for date, description, and initials.

SEAL: DISTRICT INSPECTOR, CIVIL ENGINEER, No. 1254, State of Massachusetts, License No. 1254.

FARLAND CORP. logo.

www.FarlandCorp.com

401 COUNTY STREET
NEW BEDFORD, MA 02740
P.508.717.3479

OFFICES IN:
•TAUNTON
•MARLBOROUGH
•WARWICK, RI

DRAWN BY: JKM
DESIGNED BY: CAF
CHECKED BY: CAF

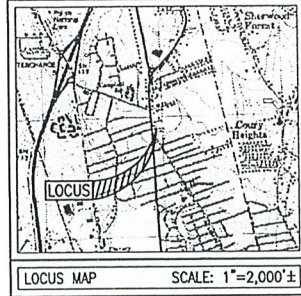
SITE PLAN
2904 & 2914 ACUSHNET AVENUE
ASSESSORS MAP 1300 LOTS 117, 247, 248, & 447
NEW BEDFORD, MASSACHUSETTS

PREPARED BY: J.M. CROWLEY & ASSOCIATES
FOR: 14 BREWERCK HILL ROAD, SUITE 101
LINCOLN, RI 02865

NOVEMBER 7, 2018
SCALE: AS NOTED
JOB NO. 17-1134
LATEST REVISION:

GENERAL NOTES
CFG01.0

CITY CLERKS OFFICE
NEW BEDFORD, MA
2018 NOV 16 11:16
CITY CLERK



LEGAL DESCRIPTION

REAL PROPERTY IN THE CITY OF NEW BEDFORD, COUNTY OF BRISTOL, COMMONWEALTH OF MASSACHUSETTS, DESCRIBED AS FOLLOWS:

AS TO TRACT ONE: ASSESSOR'S PARCEL 1300-117, 379, 380, 381, 387, 408, 409, 410 AND 411, NEW BEDFORD, MA

ASSESSOR'S PARCELS 1300-117, 379, 380, 381, 387, 408, 409, 410, 411 AND PART OF DECLAN DRIVE. SAID ASSESSOR'S PARCELS ARE A PORTION OF PARCELS A AND B SHOWN ON PLAN ENTITLED "SUBDIVISION OF LAND IN NEW BEDFORD, MASS., BELONGING TO ABRAHAM C. DEVOLL, TR.", DATED AUGUST 5, 1968 BY E.J. ENGINEERING CO., INC., RECORDED WITH SAID DEEDS, PLAN BOOK 82, PLAN 70 AND PARCEL C SHOWN ON PLAN ENTITLED "SUBDIVISION OF LAND IN NEW BEDFORD, MASS., BELONGING TO ODELE CHAPDELAIN", DATED NOV. 10, 1975 BY GERALD MICHAEL FITZGERALD, REGISTERED LAND SURVEYOR, RECORDED WITH SAID DEEDS, PLAN BOOK 96, PLAN 23.

SEE ALSO PLAN ENTITLED "DEFINITIVE SUBDIVISION PLAN, STONEY BROOK FARM, NEW BEDFORD, MA.", DATED MAY 11, 2017 BY CAVANARO CONSULTING, RECORDED WITH SAID DEEDS, PLAN BOOK 177, PLAN 19 WHEREIN SAID ASSESSOR'S PARCELS ARE SHOWN AS PARCEL D, LOT 16 AND A PORTION OF LOTS 5, 6, 7 AND 8.

AS TO TRACT TWO: ASSESSOR'S PARCELS 1300-247, NEW BEDFORD, MA

PARCEL B SHOWN ON A PLAN ENTITLED "SUBDIVISION OF LAND IN NEW BEDFORD, MASS., BELONGING TO ODELE CHAPDELAIN", DATED NOV. 10, 1975 BY GERALD MICHAEL FITZGERALD, REGISTERED LAND SURVEYOR, RECORDED WITH SAID DEEDS, PLAN BOOK 96, PLAN 23.

SAID PARCEL IS ALSO SHOWN AS "N/F BURGESS" ON ABOVE REFERENCED SUBDIVISION PLAN AT PLAN BOOK 177, PLAN 19.

AS TO TRACT THREE: ASSESSOR'S PARCELS 1300-248, NEW BEDFORD, MA

PARCEL A SHOWN ON PLAN ENTITLED "SUBDIVISION OF LAND IN NEW BEDFORD, MASS., BELONGING TO ODELE CHAPDELAIN", DATED NOV. 10, 1975 BY GERALD MICHAEL FITZGERALD, RECORDED WITH SAID DEEDS, PLAN BOOK 96, PLAN 23.

SAID PARCEL IS ALSO SHOWN AS "N/F CHAPDELAIN" ON ABOVE REFERENCED SUBDIVISION PLAN AT PLAN BOOK 177, PLAN 19.

RECORD OWNERS

TITLE COMMITMENT PARCEL ONE
ASSESSOR'S PARCELS 1300-117, 379, 380, 381, 408 & 409 AND A PORTION OF PARCELS 1300-380, 381, 408 & 409 AND A PORTION OF DECLAN DRIVE NEW BEDFORD, MA. FORM-A PLAN ENTITLED "ACUSHNET AVENUE, ASSESSORS MAP 1300 LOTS 117, 379-387, 407-411, NEW BEDFORD, MASSACHUSETTS" DATED DECEMBER 14, 2017.
MIHI LLC
401 COUNTY STREET
NEW BEDFORD, MA 02740
DEED BOOK 12304 PAGE 200

TITLE COMMITMENT PARCEL TWO
ASSESSORS MAP 1300 LOT 247
KEVIN BURGESS
2904 ACUSHNET AVENUE
NEW BEDFORD, MA 02745
DEED BOOK 11105 PAGE 298
PLAN BOOK 96 PAGE 23

TITLE COMMITMENT PARCEL THREE
ASSESSORS MAP 1300 LOT 248
MEL A. AND ERICA S. MEUNIER
2914 ACUSHNET AVENUE
NEW BEDFORD, MA 02745
DEED BOOK 8991 PAGE 270
PLAN BOOK 96 PAGE 23

PLAN REFERENCES

PLAN BOOK 82 PLAN 70
PLAN BOOK 96 PLAN 23
PLAN BOOK 177 PLAN 19

EXCEPTIONS

AS TO TRACT ONE: ASSESSOR'S PARCELS 1300-117, 379, 380, 381, 408 & 409 AND A PORTION OF DECLAN DRIVE NEW BEDFORD, MA

- 16 EASEMENT AGREEMENT (SURFACE WATER DRAINAGE), DATED AUGUST 12, 2009, RECORDED WITH SAID DEEDS, BOOK 9473, PAGE 284. (PLOTTED)
- 17 TERMINATION OF EASEMENTS, DATED AUGUST 14, 2009, RECORDED WITH SAID DEEDS, BOOK 9473, PAGE 272. (NO LONGER EFFECTS LOCUS, NOT PLOTTED)
- 20 EASEMENT AGREEMENT (UTILITIES), DATED AUGUST 12, 2009, RECORDED WITH SAID DEEDS, BOOK 9473, PAGE 278. (PLOTTED)
- 21 EASEMENT AGREEMENT (SURFACE WATER DRAINAGE), DATED AUGUST 12, 2009, RECORDED WITH SAID DEEDS, BOOK 9473, PAGE 284. (DUPLICATE, SAME AS EXCEPTION 16) (PLOTTED)
- 22 EASEMENT AGREEMENT REGARDING RIGHT OF WAY, DATED SEPTEMBER 28, 2009, RECORDED WITH SAID DEEDS, BOOK 9527, PAGE 232. (DOES NOT EFFECT LOCUS) (NOT PLOTTED)

AS TO TRACT TWO: ASSESSOR'S PARCELS 1300-247, NEW BEDFORD, MA

- 23 AGREEMENT REGARDING BARN SET FORTH IN DEED OF GEORGE ERNEST CHAPDELAIN ET AL, DATED FEBRUARY 13, 1976, RECORDED WITH SAID DEEDS, BOOK 1714, PAGE 299. (PLOTTED)

AS TO TRACT THREE: ASSESSOR'S PARCELS 1300-248, NEW BEDFORD, MA

(NO PLOTTABLE EXCEPTIONS)

SURVEYOR'S LEGAL DESCRIPTION

A CERTAIN PARCEL OF LAND IN THE CITY OF NEW BEDFORD MASSACHUSETTS ON THE EASTERLY SIDE OF ACUSHNET AVENUE. BEGINNING AT A POINT ON THE EASTERLY LINE OF ACUSHNET AVENUE, SAID POINT BEING THE SOUTHWESTERLY CORNER OF LAND NOW OR FORMERLY BELONGING TO SOUTHERN MASS CREDIT UNION AND THE NORTHWESTERLY CORNER OF THE HEREIN DESCRIBED PARCEL:

THENCE RUNNING ALONG SAID SOUTHERN MASS CREDIT UNION LAND N89°58'12"E, 196.34 FEET TO A CORNER AND LAND NOW OR FORMERLY BELONGING TO MIHI LLC, ALSO KNOWN AS FARLAND ESTATES I SUBDIVISION;

THENCE TURNING AND RUNNING ALONG SAID MIHI LLC LAND S13°03'07"E, 398.06 FEET BY LOTS 12 THROUGH 16 OF FARLAND ESTATES I SUBDIVISION TO ARNOFF STREET;

THENCE TURNING AND RUNNING ALONG SAID ARNOFF STREET S84°55'30"W, 99.95 FEET TO A CORNER;

THENCE TURNING AND RUNNING STILL ALONG SAID ARNOFF STREET N13°58'00"W, 2.11 FEET TO A CORNER;

THENCE TURNING AND RUNNING STILL ALONG SAID ARNOFF STREET S85°41'29"W, 152.75 FEET TO ACUSHNET AVENUE

THENCE TURNING AND RUNNING ALONG SAID ACUSHNET AVENUE N17°20'19"W, 114.96 FEET TO A POINT OF CURVATURE;

THEN TURNING AND RUNNING STILL ALONG SAID ACUSHNET AVENUE BY A CURVE TO THE RIGHT HAVING A RADIUS OF 400.00 FEET, A DISTANCE OF 169.14 FEET, TO A POINT OF TANGENCY;

THENCE CONTINUING STILL ALONG SAID ACUSHNET AVENUE N06°54'38"E, 129.96 FEET LAND OF SAID SOUTHERN MASS CREDIT UNION AND POINT OF BEGINNING.

SAID PARCEL CONTAINS 98,041 SQUARE FEET, MORE OR LESS.

POSSIBLE ENCROACHMENTS

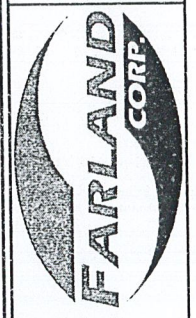
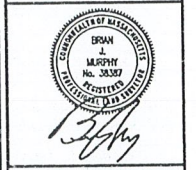
- A GUY WIRE BETWEEN LOCUS AND ACUSHNET AVENUE
- B STONE WALL BETWEEN LOCUS AND ACUSHNET AVENUE
- C CHAINLINK FENCE BETWEEN LOCUS AND ASSESSORS LOT 389

CERTIFICATION

THIS IS TO CERTIFY TO CUMBERLAND FARMS, INC. AND FIRST AMERICAN TITLE INSURANCE COMPANY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(c), 7(b)(1), 7(c), 8, 9, 11, 13, 14, 16, 17, 18, 19 AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JANUARY 26, 2018.

By: *B. J. Murphy* 7/2/18
PROFESSIONAL LAND SURVEYOR: BRIAN J. MURPHY DATE

| REVISIONS | |
|-----------|--|
| | |
| | |
| | |



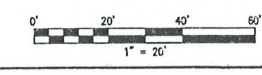
www.FarlandCorp.com
401 COUNTY STREET
NEW BEDFORD, MA 02740
P.508.717.3479
OFFICES IN:
•TAUNTON
•MARLBOROUGH
•WARWICK, RI

DRAWN BY: JKM
DESIGNED BY: CAF
CHECKED BY: CAF

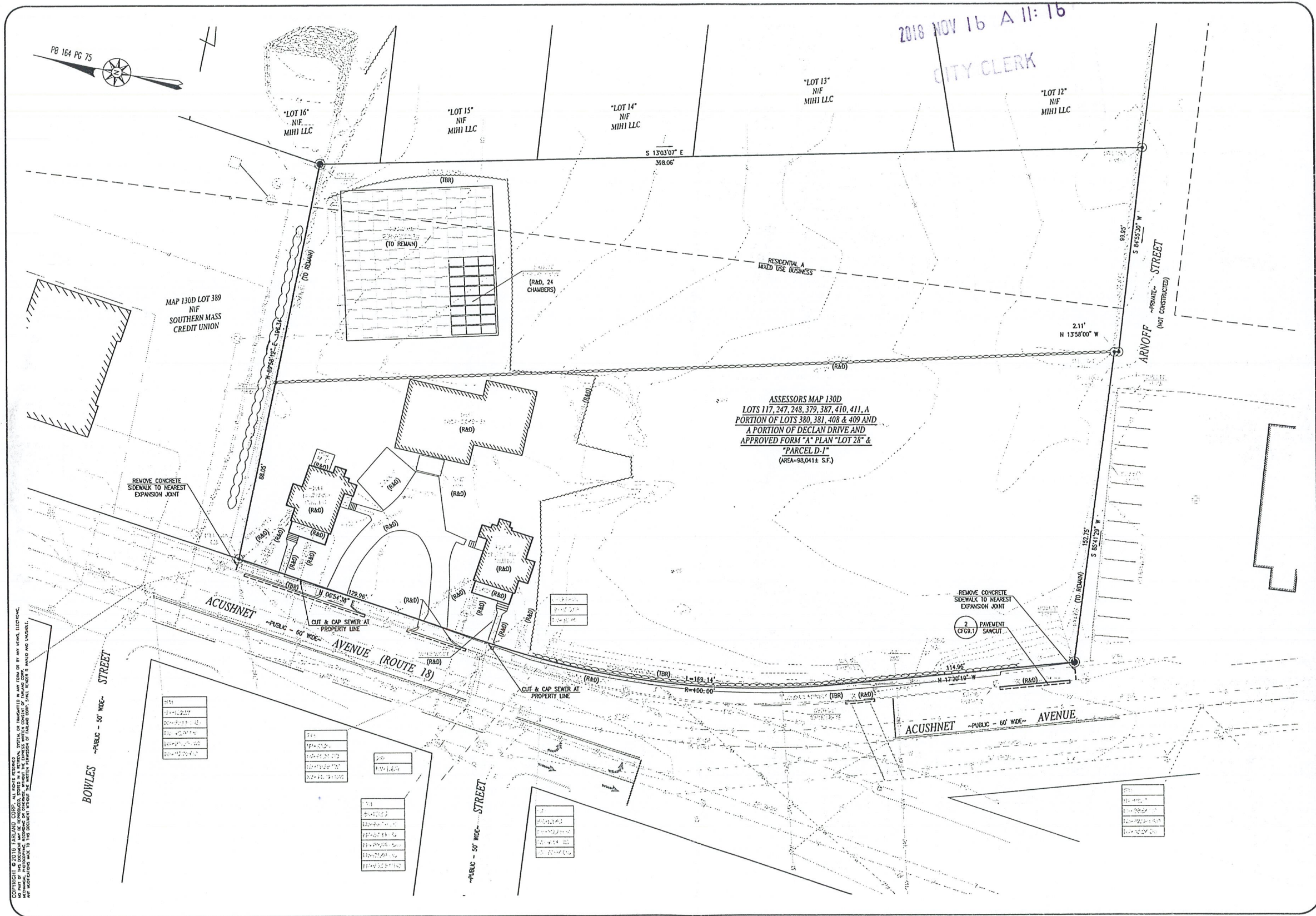
SITE PLAN
2904 & 2914 ACUSHNET AVENUE
ASSESSORS MAP 1300 LOTS 117, 247, 248, & 447
NEW BEDFORD, MASSACHUSETTS
PREPARED FOR:
T.H. CROWLEY & ASSOCIATES
14 BREANNECK HILL ROAD, SUITE 101
LINCOLN, RI 02865

NOVEMBER 7, 2018
SCALE: 1"=20'
JOB NO. 17-1134
LATEST REVISION:

ALTA/NSPS LAND TITLE SURVEY
CFG02.1



COPYRIGHT © 2018 FARLAND CORP. ALL RIGHTS RESERVED. THIS SITE PLAN OR MAP IS THE PROPERTY OF FARLAND CORP. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF FARLAND CORP. ANY REPRODUCTION OR TRANSMISSION IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF FARLAND CORP. IS STRICTLY PROHIBITED.

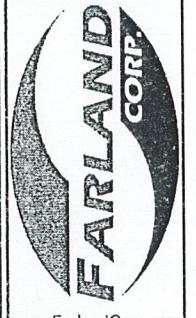


COPYRIGHT © 2018 FARLAND CORP. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE EXPRESS WRITTEN PERMISSION OF FARLAND CORP. SHALL BE HELD LIABLE AND UNDERTAKEN ANY REVISIONS MADE TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF FARLAND CORP.

CITY CLERKS OFFICE
 NEW BEDFORD, MA
 2018 NOV 16 A 11:16
 CITY CLERK

REVISIONS

| | |
|--|--|
| | |
| | |
| | |
| | |
| | |



www.FarlandCorp.com
 401 COUNTY STREET
 NEW BEDFORD, MA 02740
 P. 508.717.3479
 OFFICES IN:
 • TAUNTON
 • MARLBOROUGH
 • WARWICK, RI

DRAWN BY: JKM
 DESIGNED BY: CAF
 CHECKED BY: CAF

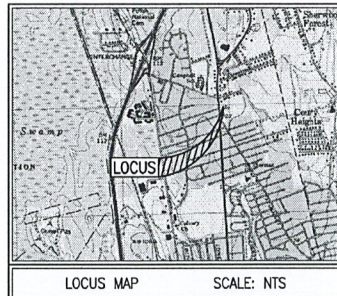
SITE PLAN
 2904 & 2914 ACUSHNET AVENUE
 ASSESSORS MAP 130D LOTS 117, 247, 248, & 447
 NEW BEDFORD, MASSACHUSETTS
 PREPARED FOR:
 T.J. CROWLEY & ASSOCIATES
 14 BREAKNECK HILL ROAD, SUITE 101
 LINCOLN, RI 02885

NOVEMBER 7, 2018
 SCALE: AS NOTED
 JOB NO. 17-1134
 LATEST REVISION:

SITE DEMOLITION PLAN
 CFG03.0

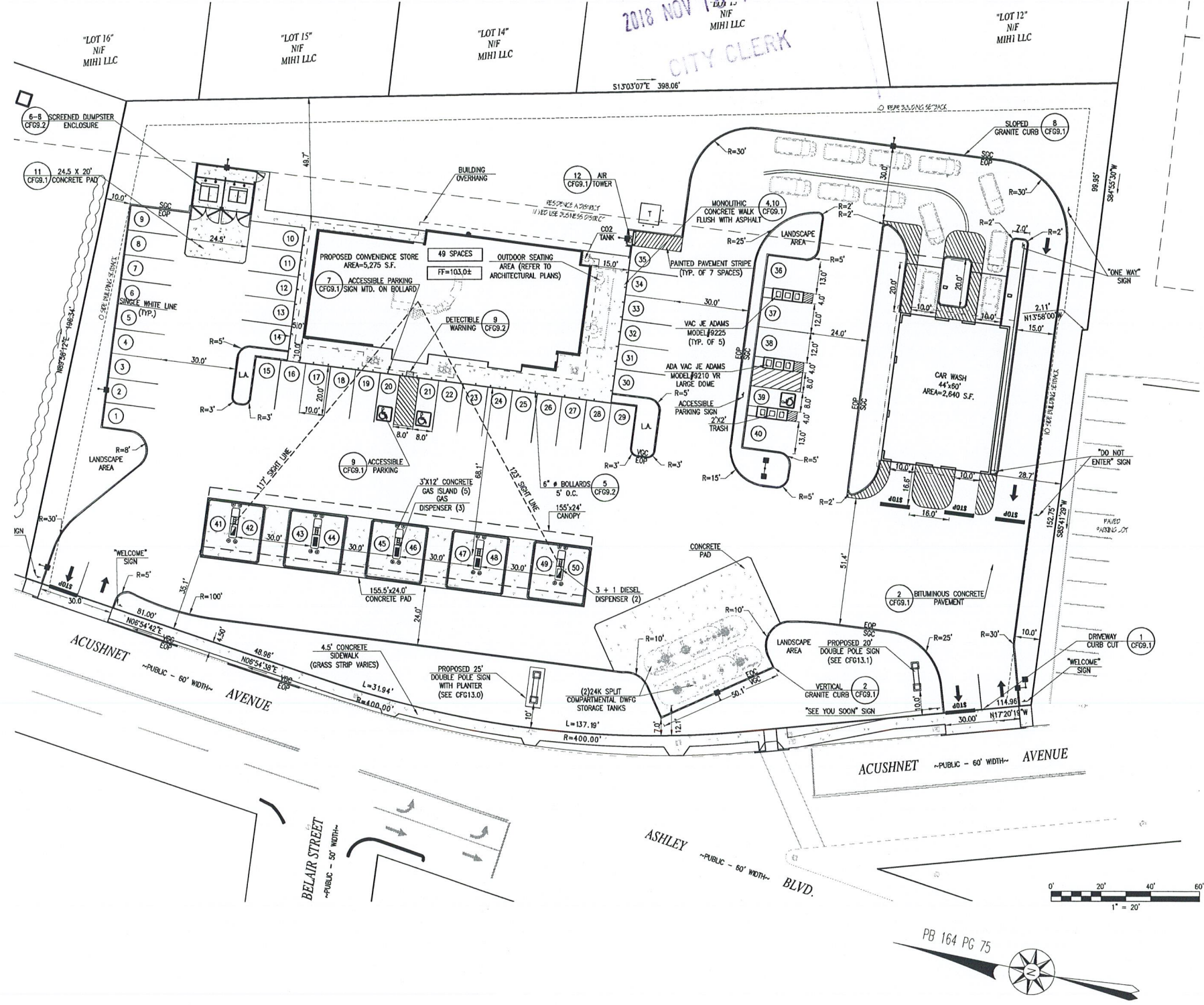
CITY CLERKS OFFICE
NEW BEDFORD, MA

2018 NOV 15 A 11:16
NIF
MIHI LLC
CITY CLERK



- ZONING DATA TABLE -

| PROJECT DATA | |
|-------------------------|---|
| TOTAL SITE AREA | 2.25± ACRES |
| BUILDING FOOTPRINT | 5,275 S.F. CUMBERLAND FARMS 2,640 S.F. CAR WASH |
| TOTAL PARKING REQUIRED | RETAIL: 1 SPACE/200 S.F. CAR WASH: 1 SPACE/400 S.F. 5,275/200 = 27 SPACES 2,640/400 = 7 SPACES |
| TOTAL PARKING PROVIDED | 50 |
| LAND INFORMATION | |
| ASSESSORS MAP | 1300 |
| BLOCK/LOT NUMBER | LOTS 117, 247, 248, 447 |
| ZONING INFORMATION | ZONING INFORMATION OBTAINED FROM THE CITY OF NEW BEDFORD WEBSITE, DOWNLOADED 08/23/17 |
| ZONING DISTRICT | MUB DISTRICT AND RESIDENCE A |
| MIN. LOT AREA | REQUIRED 15,000 S.F. PROVIDED 98,044 S.F. |
| MIN. FRONTAGE | REQUIRED 0 FT PROVIDED 414.05 FT |
| BUILDING HEIGHT LIMIT | REQUIRED 7 STORIES OR 100 FT PROVIDED 32.83 FT |
| MAX. LOT COVERAGE | REQUIRED 70% PROVIDED 70.0% |
| STRUCTURE SETBACKS | REQUIRED PROVIDED |
| FRONT YARD | 0 FT 35.1 FT |
| SIDE YARD | 10 FT 28.7 FT |
| REAR YARD | 10 FT 49.7 FT |
| LANDSCAPING/OPEN SPACE | MINIMUM OPEN SPACE IS 30% |
| DOT INFORMATION | |
| CURB CUT PERMIT | REQUIRED |
| MAJOR ROAD JURISDICTION | ACUSHNET AVENUE - CITY LAYOUT - LOCAL |
| MINOR ROAD JURISDICTION | N/A |



REVISIONS

| | |
|--|--|
| | |
| | |
| | |



www.FarlandCorp.com

401 COUNTY STREET
NEW BEDFORD, MA 02740
P.508.717.3479
OFFICES IN:
•TAUNTON
•MARLBOROUGH
•WARWICK, RI

DRAWN BY: JKM
DESIGNED BY: CAF
CHECKED BY: CAF

SITE PLAN
2904 & 2914 ACUSHNET AVENUE
ASSESSORS MAP 1300 LOTS 117, 247, 248, & 447
NEW BEDFORD, MASSACHUSETTS
PREPARED FOR:
T.M. CROWLEY & ASSOCIATES
14 BREAKNECK HILL ROAD, SUITE 101
LINCOLN, RI 02865

NOVEMBER 7, 2018
SCALE: 1"=20'
JOB NO. 17-1134
LATEST REVISION:

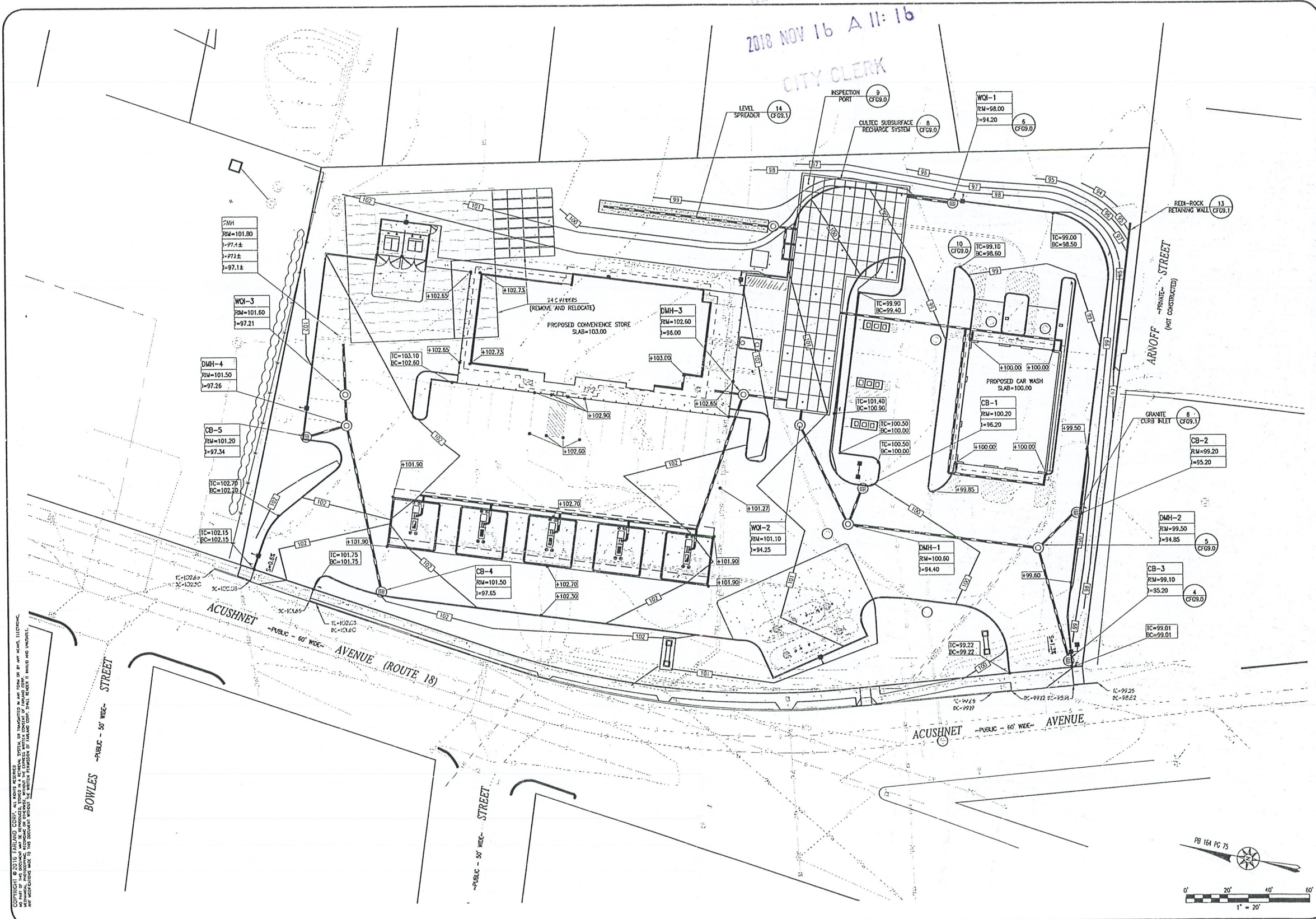
SITE PLAN
CFG04.0

Copyright © 2018 Farland Corp. All rights reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the express written consent of Farland Corp. Small text: REVISION 11: 11/15/18 AND 12/15/18. ANY MODIFICATIONS MADE TO THIS DOCUMENT THROUGH THE BUREAU OF RECORDS OF THE CITY OF NEW BEDFORD, MASSACHUSETTS.

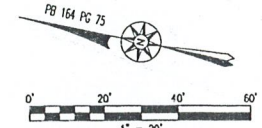
CITY CLERKS OFFICE
NEW BEDFORD, MA

2018 NOV 16 A 11:16

CITY CLERK



COPYRIGHT © 2018 FARLAND CORP. ALL RIGHTS RESERVED.
 NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC,
 MECHANICAL, PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF FARLAND CORP. SHALL BE MADE AND UNDERSTOOD
 ANY VIOLATIONS MADE TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF FARLAND CORP. SHALL BE MADE AND UNDERSTOOD.



REVISIONS

| | |
|--|--|
| | |
| | |
| | |
| | |
| | |

www.FarlandCorp.com

401 COUNTY STREET
NEW BEDFORD, MA 02740
P.508.717.3479

OFFICES IN:
• TAUNTON
• MARLBOROUGH
• WARWICK, RI

DRAWN BY: JKM
DESIGNED BY: CAF
CHECKED BY: CAF

SITE PLAN

2904 & 2914 ACUSHNET AVENUE
ASSESSORS MAP 1300 LOTS 17, 247, 248, & 447
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:
I.M. CROWLEY & ASSOCIATES
14 BREARNECK HILL ROAD, SUITE 101
LINCOLN, RI 02885

NOVEMBER 7, 2018

SCALE: 1"=20'

JOB NO. 17-1134

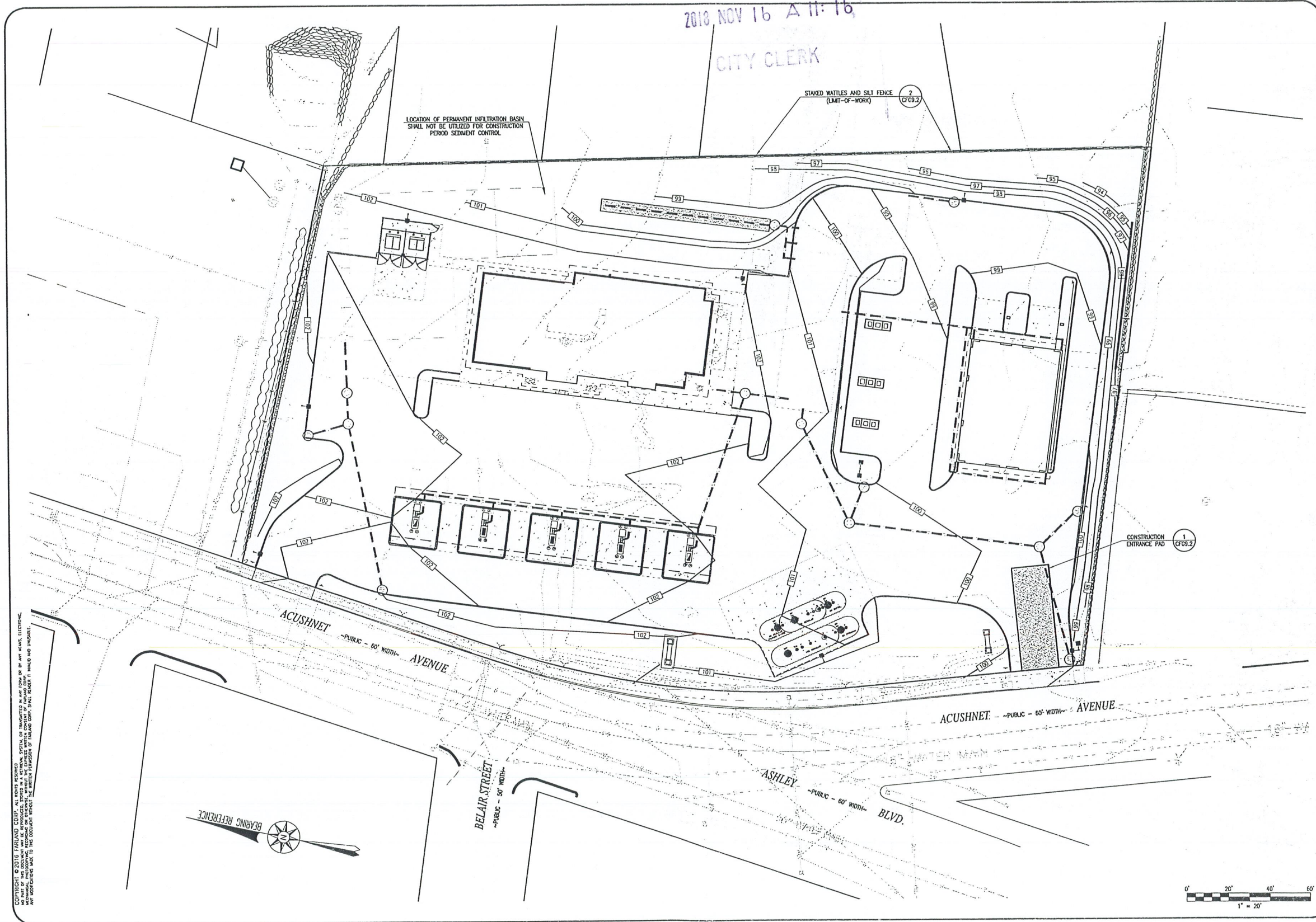
LATEST REVISION:

SITE DRAINAGE & GRADING PLAN
CFG05.0

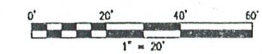
CITY CLERKS OFFICE
NEW BEDFORD, MA

2018 NOV 16 A 11:16

CITY CLERK



COPYRIGHT © 2018 FARLAND CORP. ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF FARLAND CORP. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, OR BY ANY INFORMATION SYSTEM, WITHOUT THE WRITTEN PERMISSION OF FARLAND CORP. SHALL BE PROHIBITED. ANY VIOLATION OF THIS PERMISSION SHALL BE SUBJECT TO LEGAL ACTION.



| REVISIONS | |
|-----------|--|
| | |
| | |
| | |



www.FarlandCorp.com

401 COUNTY STREET
NEW BEDFORD, MA 02740
P. 508.717.3479
OFFICES IN:
• TAUNTON
• MARLBOROUGH
• WARWICK, RI

DRAWN BY: JKM
DESIGNED BY: CAF
CHECKED BY: CAF

SITE PLAN
2904 & 2914 ACUSHNET AVENUE
ASSESSORS MAP 1300 LOTS 117, 247, 248, & 447
NEW BEDFORD, MASSACHUSETTS
PREPARED FOR:
T.M. CROWLEY & ASSOCIATES
14 BREWSTER HILL ROAD, SUITE 101
LINCOLN, RI 02885

NOVEMBER 7, 2018
SCALE: 1"=20'
JOB NO. 17-1134
LATEST REVISION:

EROSION CONTROL PLAN
CFG06.0

CITY CLERKS OFFICE
NEW BEDFORD, MA

2018 NOV 16 A 11:16

"LOT 13"
NIF
MIHI LLC

| |
|----------|
| SMH-1 |
| RM=98.90 |
| I=96.17 |
| I=96.00 |

"LOT 12"
NIF
MIHI LLC

1,500 GRISE TRAP
RM-VARIES
INV. IN=98.25
INV. OUT=98.00

7
CF69.0
TYPICAL
WATER TRENCH

"LOT 15"
NIF
MIHI LLC

"LOT 16"
NIF
MIHI LLC

MAP 130D LOT 389
NIF
SOUTHERN MASS
CREDIT UNION

| |
|----------------|
| OIL/GAS SEP.-2 |
| RM=99.85 |
| I=97.80 |
| I=97.47 |

| |
|----------------|
| OIL/GAS SEP.-1 |
| RM=99.85 |
| I=97.60 |
| I=97.27 |

| |
|-----------|
| SMH-2 |
| RM=100.90 |
| I=94.28 |
| I=94.11 |

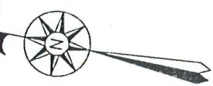
| |
|-----------|
| SMH-3 |
| RM=100.60 |
| I=93.28 |
| I=93.09 |

| |
|-----------|
| SMH-4 |
| RM=101.40 |
| I=89.85 |
| I=89.66 |

| |
|-----------|
| SMH1 |
| RM=101.4± |
| I=90.9± |
| I=90.5± |

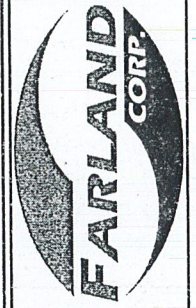
CONVEYANCE © 2018 FARLAND CORP. ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF FARLAND CORP. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF FARLAND CORP. SHALL BE HELD IN TRUST FOR THE BENEFIT OF FARLAND CORP. ANY REVISIONS TO THIS DOCUMENT SHALL BE INDICATED BY A CIRCLED NUMBER.

PB 164 PG 75



REVISIONS

| | |
|--|--|
| | |
| | |
| | |
| | |



www.FarlandCorp.com
 401 COUNTY STREET
 NEW BEDFORD, MA 02740
 P.508.717.3479
 OFFICES IN:
 •TAUNTON
 •MARLBOROUGH
 •WARWICK, RI

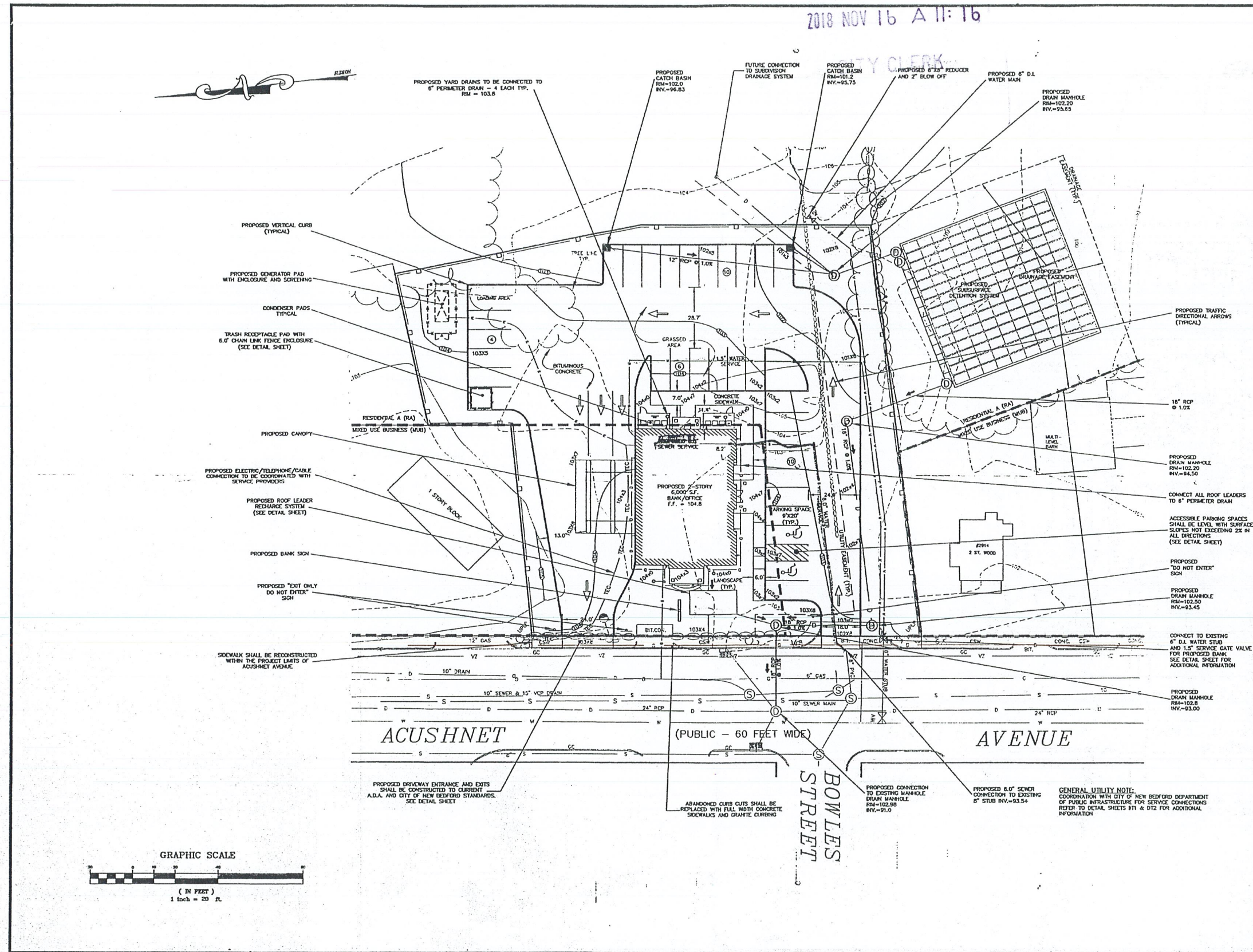
DRAWN BY: JKW
 DESIGNED BY: CAF
 CHECKED BY: CAF

SITE PLAN
 2904 & 2914 ACUSHNET AVENUE
 ASSESSORS MAP 130D LOTS 117, 247, 248, & 447
 NEW BEDFORD, MASSACHUSETTS
 T.M. CROWLEY & ASSOCIATES
 14 BREAKNECK HILL ROAD, SUITE 101
 LINCOLN, RI 02885

NOVEMBER 7, 2018
 SCALE: 1"=20'
 JOB NO. 17-1134
 LATEST REVISION:

SITE UTILITY PLAN
 CFG07.0

2018 NOV 16 A 11:16



| DRAWING REVISIONS | |
|-------------------|---------------------------------|
| 2 | 11/2/08 UTILITY CONNECTIONS |
| 3 | 6/4/09 RFP COMMENTS |
| 2 | 9/25/08 PLANNING BOARD COMMENTS |
| 1 | 8/6/08 CITY DPT COMMENTS |
| ACTION | DATE |
| DESCRIPTION | |

GENERAL NOTES:
 1. PROPERTY LINE INFORMATION SHOWN ON THIS PLAN IS BASED ON COMPILED INFORMATION FROM AVAILABLE ASSESSOR'S MAPS AND RECORDED ODDS INFORMATION.
 2. UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ACTUAL LOCATION SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITY SERVICES THROUGHOUT CONSTRUCTION. JOB-SITE SHALL BE NOTIFIED PER MA STATUTE CHAPTER 82, SECTION 409, PHONE NUMBER 800-344-7233.

LEGEND

| | |
|-------|-----------------------------------|
| — | PROPERTY LINE |
| --- | PROP. TELEPHONE, ELECTRIC & CABLE |
| - - - | EX. GAS LINE |
| - - - | PROPOSED GAS LINE |
| - - - | EX. WATER LINE |
| - - - | PROPOSED WATER LINE |
| - - - | EXISTING SEWER LINE |
| - - - | PROPOSED SEWER LINE |
| - - - | EXISTING DRAIN LINE |
| - - - | PROPOSED DRAIN LINE |
| — | EXISTING HYDRANT |
| — | PROPOSED HYDRANT |
| — | EXISTING WATER VALVE |
| — | PROPOSED WATER VALVE |
| — | EXISTING CATCH BASIN |
| — | PROPOSED CATCH BASIN |
| — | EXISTING DRAIN MANHOLE |
| — | PROPOSED DRAIN MANHOLE |
| — | TREE LINE |
| TYP. | TYPICAL |
| CLDI | CONCRETE LINED DUCTILE IRON |
| TBA | TO BE ABANDONED |
| ▼ | PROPOSED THURST FLOOR |



SITE LAYOUT

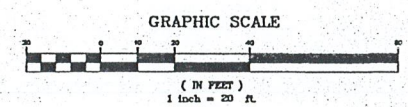
PROPOSED SOUTHERN MASS CREDIT UNION
 ACUSHNET AVENUE
 NEW BEDFORD, MA 02745

CAVANARO CONSULTING
 687 MAIN STREET
 P.O. BOX 5175
 NORWELL, MASSACHUSETTS 02061
 PHONE 781.659.8187
 FAX 781.659.8186

PREPARED FOR:

 123 ALDEN ROAD
 FAIRHAVEN, MA 02719

| | |
|--------------------|---|
| PROJECT NO. : 8023 | DRAWING NO. |
| SCALE : AS SHOWN | SL |
| DATE : 7/25/08 | |
| DESIGNED BY : BPS | |
| DRAWN BY : BPS | SHEET NO. 3 OF 8 |
| CHECKED BY : JCC | FILENAME: 8023\VDWG\BANK SITE PL REV.7-08 |

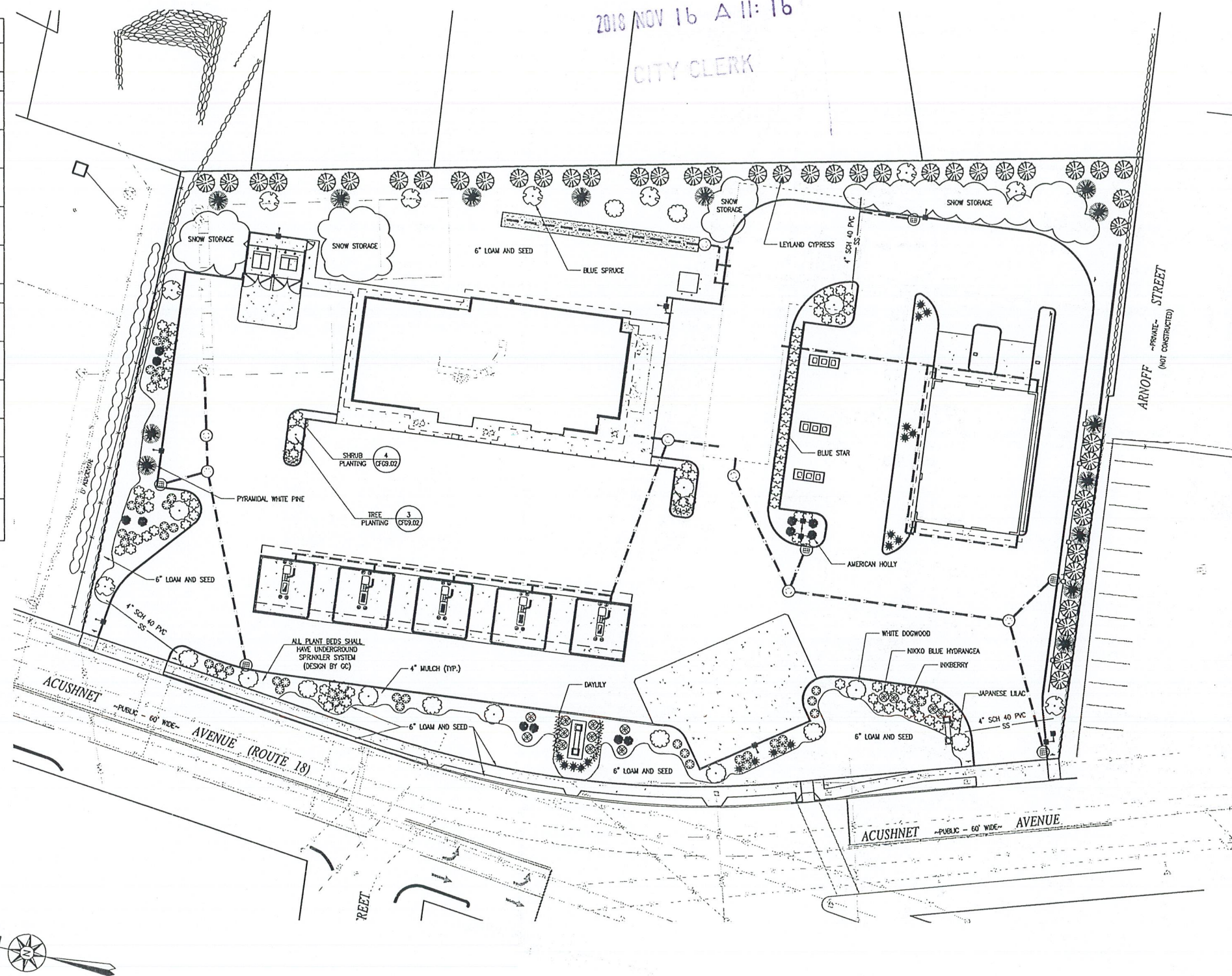


CITY CLERKS OFFICE
NEW BEDFORD, MA

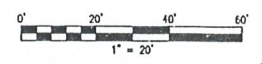
2018 NOV 16 A 11:16

CITY CLERK

| LANDSCAPE TABLE | | | | |
|-----------------|------------------------------------|----------------------|----------|----------|
| SYMBOL | BOTANICAL NAME | COMMON NAME | SIZE | QUANTITY |
| TREES | | | | |
| | CUPRESSOCYPRIS LEYLANDI | LEYLAND CYPRESS | 5'-6" HT | 44 |
| | PINUS STROBUS 'FASTIGIATA' | PYRAMIDAL WHITE PINE | 5'-6" HT | 14 |
| | PICEA PLUNGENS 'COLORADO GREEN' | BLUE SPRUCE | 5'-6" HT | 9 |
| | CORNUS FLORIDA | WHITE DOGWOOD | 5'-6" HT | 9 |
| | SYRINGA RETICULATA | JAPANESE LILAC | 5'-6" HT | 8 |
| SHRUBS | | | | |
| | ILEX GLABRA 'SHAWBROOK' | HOLLYBERRY | 2 GAL | 44 |
| | JUNIPERUS SQUMATA | BLUE STAR | 2 GAL | 68 |
| | HYDRANGEA MACROPHYLLA 'NIKKO BLUE' | NIKKO BLUE HYDRANGEA | 2 GAL | 14 |
| | ILEX OPACA | AMERICAN HOLLY | 2 GAL | 8 |
| | VISCANTHUS SINDENSIS | AUTUMN ANTHEM | 2 GAL | 18 |
| | HEMEROCALLIS | DAYLILY | | 26 |

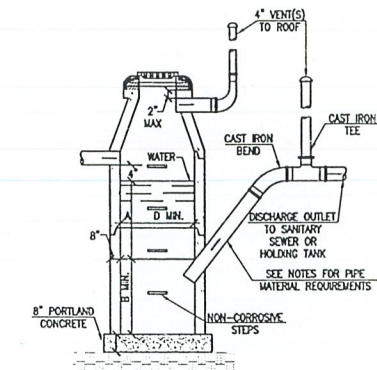


COPYRIGHT © 2018 FARLAND CORP. ALL RIGHTS RESERVED. THIS SITE PLAN IS THE PROPERTY OF FARLAND CORP. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE EXPRESS WRITTEN PERMISSION OF FARLAND CORP. ANY REPRODUCTION OR TRANSMISSION OF THIS SITE PLAN WITHOUT THE EXPRESS WRITTEN PERMISSION OF FARLAND CORP. SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY.



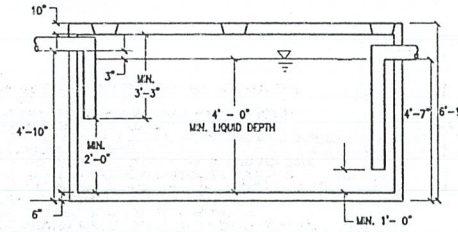
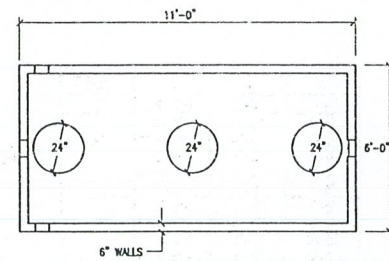
| |
|--|
| REVISIONS |
| |
| |
| www.FarlandCorp.com 401 COUNTY STREET NEW BEDFORD, MA 02740 P. 508.717.3479 OFFICES IN: • TAUNTON • MARLBOROUGH • WARWICK, RI |
| DRAWN BY: JKM DESIGNED BY: CAF CHECKED BY: CAF |
| SITE PLAN 2904 & 2914 ACUSHNET AVENUE ASSESSORS MAP 1300 LOTS 117, 247, 248, & 447 NEW BEDFORD, MASSACHUSETTS <small>PREPARED BY: FARLAND CORP. & ASSOCIATES 14 BREWSTER HILL ROAD, SUITE 101 LINCOLN, RI 02885</small> |
| NOVEMBER 7, 2018 SCALE: 1"=20' JOB NO. 17-1134 LATEST REVISION: |
| SITE LANDSCAPE PLAN CFG08.0 |

2018 NOV 16 A 11:16



| INLET | D | A | B |
|-------|-------------|-------|-------|
| 4" | 3'-6" | 3'-0" | 2'-6" |
| 5" | 3'-6"x3'-6" | 4'-0" | 3'-0" |
| | 4'-0"x4'-0" | 3'-6" | 3'-0" |
| | 4'-6"x4'-0" | 3'-0" | 2'-6" |
| 6" | 4'-0"x4'-0" | 5'-0" | 4'-6" |
| | 4'-6"x4'-0" | 4'-0" | 3'-6" |
| | 4'-6"x4'-6" | 3'-6" | 3'-0" |
| | 5'-0"x4'-0" | 3'-6" | 3'-0" |
| | 5'-0"x5'-0" | 3'-0" | 2'-6" |
| 8" | 5'-0"x4'-0" | 6'-0" | 5'-0" |
| | 5'-6"x5'-6" | 4'-6" | 4'-0" |
| | 6'-0"x4'-0" | 4'-0" | 3'-6" |
| | 6'-0"x5'-0" | 3'-0" | 2'-6" |
| | 6'-6"x4'-0" | 3'-6" | 3'-0" |
| | 6'-6"x5'-6" | 3'-0" | 2'-6" |

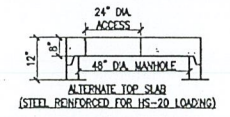
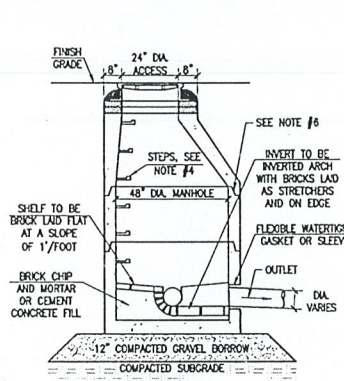
- NOTES:
- NO-HUB CAST IRON WITH PRODUCT-APPROVED STAINLESS STEEL CLAMPS
 - SERVICE WEIGHT CAST IRON WITH PRODUCT-APPROVED RESILIENT GASKETS OR LEAD AND OILUM JOINTS.
 - EXTRA HEAVY CAST IRON WITH PRODUCT-APPROVED RESILIENT GASKETS OR LEAD AND OILUM JOINTS.
 - THE SEPARATOR IS TO BE LOCATED OUTSIDE OF A BUILDING WHERE POSSIBLE AND THE COVER IS TO INCORPORATE A CENTER-HOLE. A SEALED BRIGHT COVER IS TO BE USED IF THE SEPARATOR IS LOCATED INSIDE OF THE BUILDING.
 - THE COVER SHALL BE NO LESS THAN A 24" DIAMETER.
 - THE SEPARATOR SHALL BE LOCATED AND CONSTRUCTED TO PREVENT SURFACE OR SUB-SURFACE WATER FROM ENTERING.
 - THE INLET PIPE SHALL BE NO LESS THAN FOUR INCHES ABOVE THE WATER LINE LEVEL.
 - WHEN THE SEPARATOR IS SUBJECT TO FREEZING IT SHALL BE SET A MINIMUM OF THREE FEET BELOW GRADE.
 - THE SEPARATOR SHALL BE FILLED WITH WATER AND LEAK TESTED BEFORE BEING INTRODUCED INTO SERVICE.
 - THE NON-CORROSIVE STEPS SHALL BE SPACED AT 18 INCHES APART.
 - THE CHAMBER VENT AND OUTLET VENT SHALL RETURN TO THE INSIDE OF THE BUILDING AND EXTEND THROUGH THE ROOF.
 - IN OPEN PARKING GARAGES OR OPEN PARKING AREA(S) ONLY THE INLET PIPE MAY EXTEND BELOW THE WATER LINE A MAXIMUM DISTANCE OF 6 INCHES.



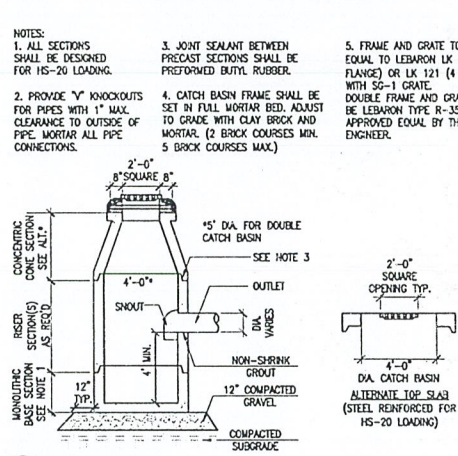
- NOTES:
- CONSTRUCTION SHALL BE WATERTIGHT.
 - GREASE TRAP TO WITHSTAND HS-20 LOADING.
 - GREASE TRAP TO HAVE A MINIMUM CAPACITY OF 1,500 GALLONS.
 - A MIN. 24" DIA. MANHOLE FRAME & COVER TO GRADE OVER THE INLET AND OUTLET SHALL BE PROVIDED.
 - GREASE TRAP SHALL BE INSPECTED MONTHLY & SHALL BE CLEANED WHEN THE LEVEL OF GREASE IS 25% OF THE DEPTH OF THE TANK OR AT LEAST EVERY 3 MONTHS.

1 OIL WATER SEPARATOR DESIGN
CFG7.0 NOT TO SCALE

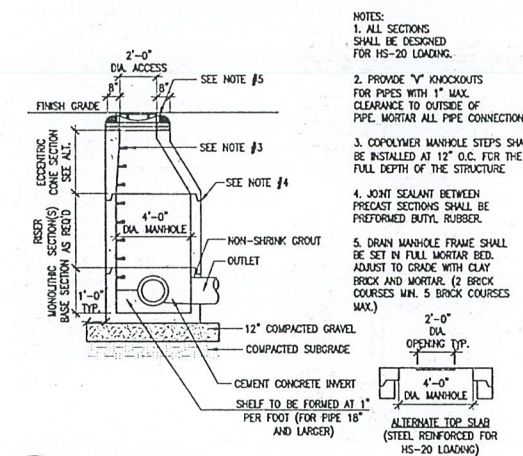
2 1,500 GALLON GREASE TRAP DETAIL
CFG7.0 NOT TO SCALE



- NOTES:
- BASE SECTION SHALL BE MONOURIC WITH A 48" INSIDE DIAMETER.
 - ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
 - CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI TYPE II CEMENT. COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
 - ALL EXTERIOR SURFACES SHALL BE GIVEN TWO COATS OF BITUMINOUS WATER PROOFING MATERIAL.
 - JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PERFORMED BUTYL RUBBER.
 - STANDARD SEWER MANHOLE FRAME SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAX.)



- NOTES:
- ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
 - PROVIDE "Y" KNOCKOUTS FOR PIPES WITH 1" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 - JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PERFORMED BUTYL RUBBER.
 - CATCH BASIN FRAME SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR. (2 BRICK COURSES MIN. 5 BRICK COURSES MAX.)
 - FRAME AND GRATE TO BE EQUAL TO LEBARON LK 120 (3 FLANGE) OR LK 121 (4 FLANGE) WITH 50-1 GRATE. DOUBLE FRAME AND GRATE SHALL BE LEBARON TYPE R-3531 B OR APPROVED EQUAL BY THE ENGINEER.



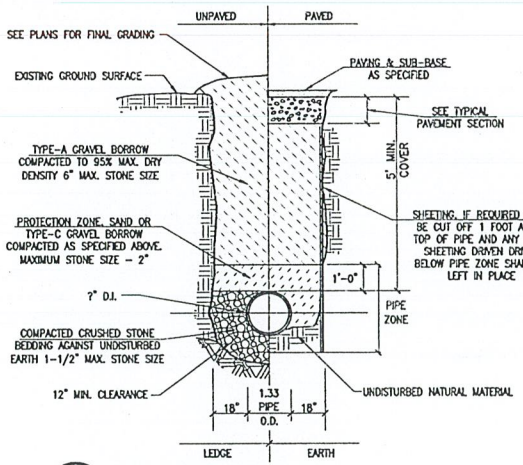
- NOTES:
- ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
 - PROVIDE "Y" KNOCKOUTS FOR PIPES WITH 1" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 - COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
 - JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PERFORMED BUTYL RUBBER.
 - DRAIN MANHOLE FRAME SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR. (2 BRICK COURSES MIN. 5 BRICK COURSES MAX.)

3 SANITARY SEWER MANHOLE
CFG7.0 NOT TO SCALE

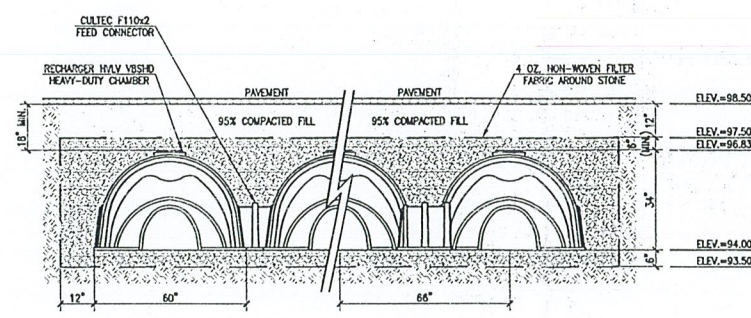
4 CATCH BASIN
CFG7.0 NOT TO SCALE

5 DRAIN MANHOLE
CFG7.0 NOT TO SCALE

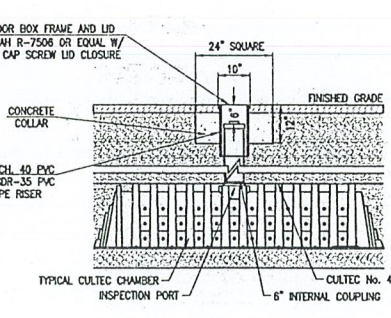
6 CONTECH CDS WATER QUALITY UNIT
CFG5.0 NOT TO SCALE



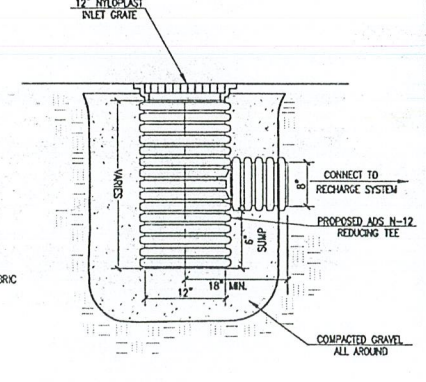
7 TYPICAL WATER TRENCH
CFG7.0 NOT TO SCALE



8 CULTEC RECHARGER V8HD HEAVY DUTY CROSS SECTION
CFG5.0 NOT TO SCALE



9 H2O LOADING INSPECTION PORT
CFG5.0 NOT TO SCALE



10 YARD DRAIN INLET
CFG5.0 NOT TO SCALE

COPYRIGHT © 2010 FARLAND CORP. ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF FARLAND CORP. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF FARLAND CORP. SHALL BE AT THE USER'S RISK AND WITHOUT LIABILITY.

REVISIONS

| | |
|--|--|
| | |
| | |

FARLAND CORP.

www.FarlandCorp.com

401 COUNTY STREET
NEW BEDFORD, MA 02740
P.508.717.3479

OFFICES IN:
•TAUNTON
•MARLBOROUGH
•WARWICK, RI

DRAWN BY: JKM
DESIGNED BY: CAF
CHECKED BY: CAF

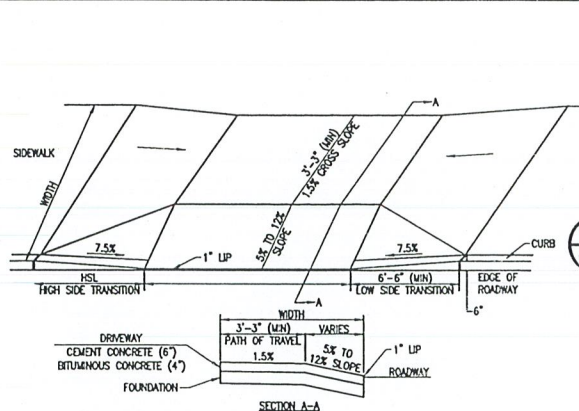
SITE PLAN
2904 & 2914 ACUSHNET AVENUE
ASSESSORS MAP 1300 LOTS 117, 247, 248, & 447
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:
T.A. CROWLEY & ASSOCIATES
14 BREWER'S HILL ROAD, SUITE 101
LINCOLN, RI 02865

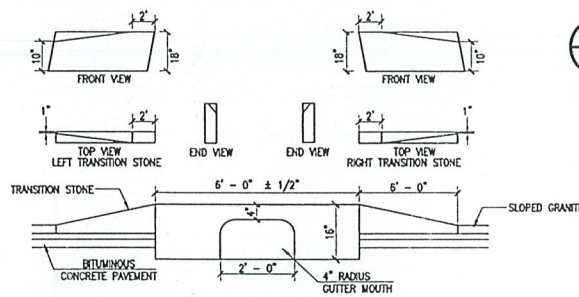
NOVEMBER 7, 2018
SCALE: AS NOTED
JOB NO. 17-1134
LATEST REVISION:

DETAIL PLAN
CFG09.00

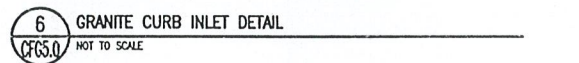
2018 NOV 16 A 11:17



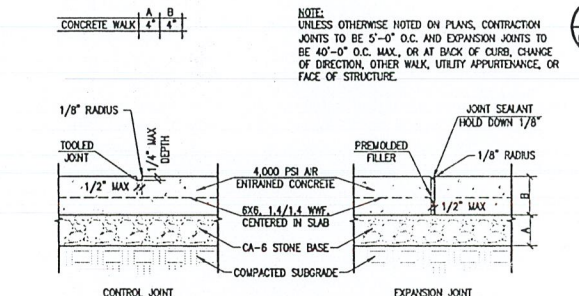
1 DRIVEWAY CURB CUT
CFCA.0 NOT TO SCALE



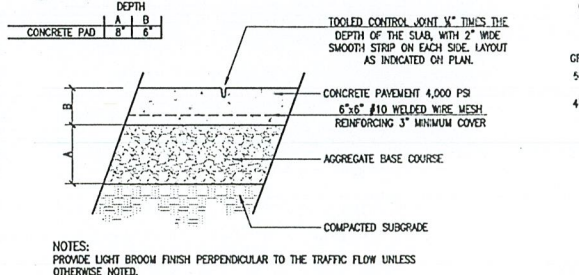
3 VERTICAL GRANITE CURB
CFCA.0 NOT TO SCALE



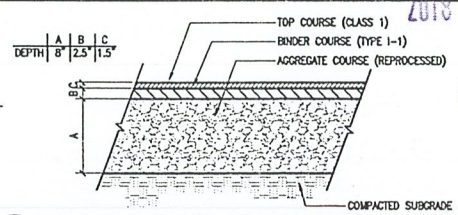
6 GRANITE CURB INLET DETAIL
CFCS.0 NOT TO SCALE



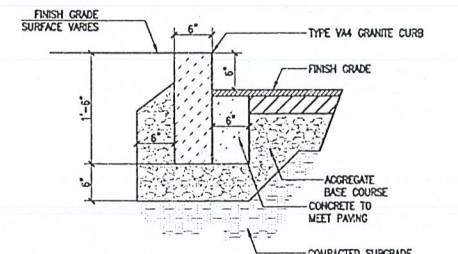
10 CONCRETE PAVEMENT SIDEWALK
CFCA.0 NOT TO SCALE



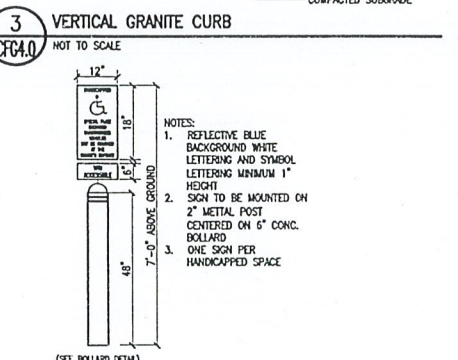
11 DUMPSTER PAD
CFCA.0 NOT TO SCALE



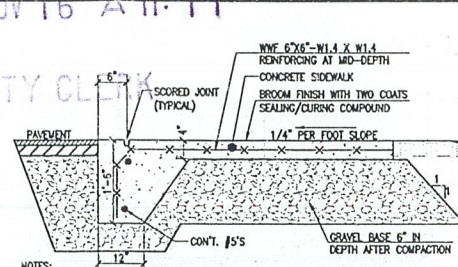
2 BITUMINOUS CONCRETE PAVEMENT
CFCA.0 NOT TO SCALE



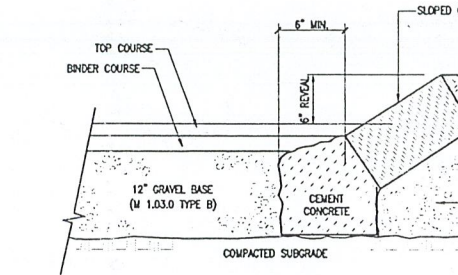
4 MONOLITHIC CONCRETE WALK
CFCA.0 NOT TO SCALE



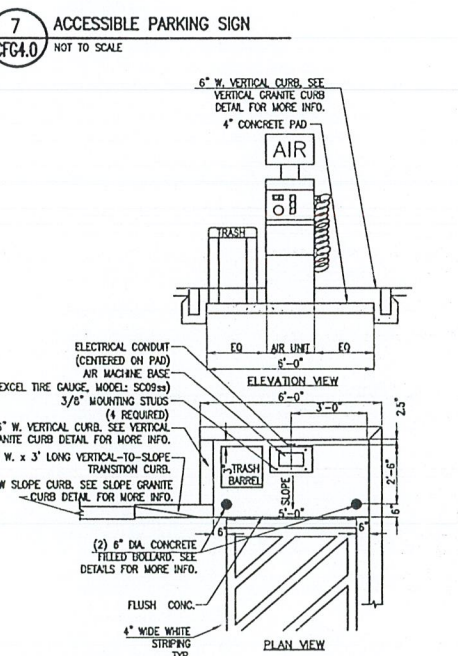
7 ACCESSIBLE PARKING SIGN
CFCA.0 NOT TO SCALE



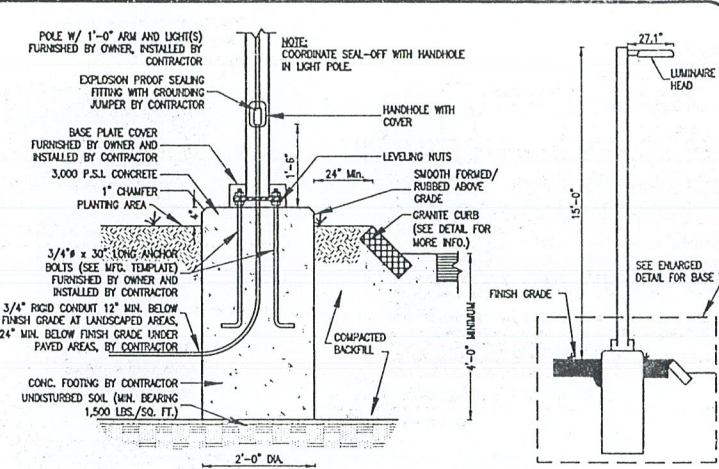
4 MONOLITHIC CONCRETE WALK
CFCA.0 NOT TO SCALE



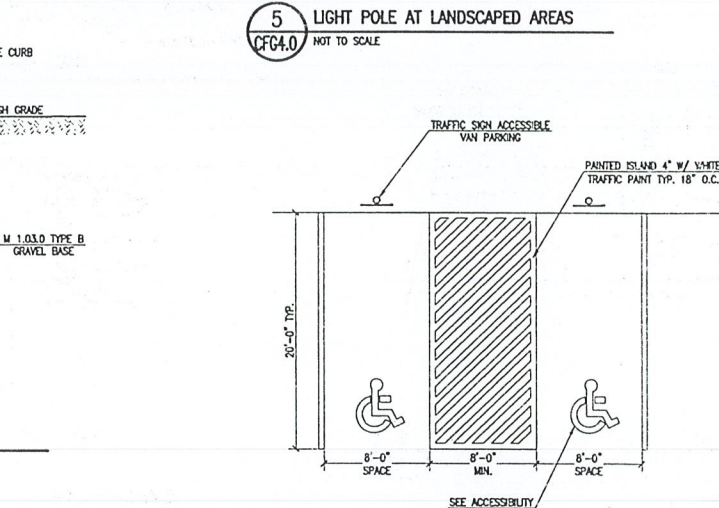
8 SLOPED GRANITE CURB
CFCA.0 NOT TO SCALE



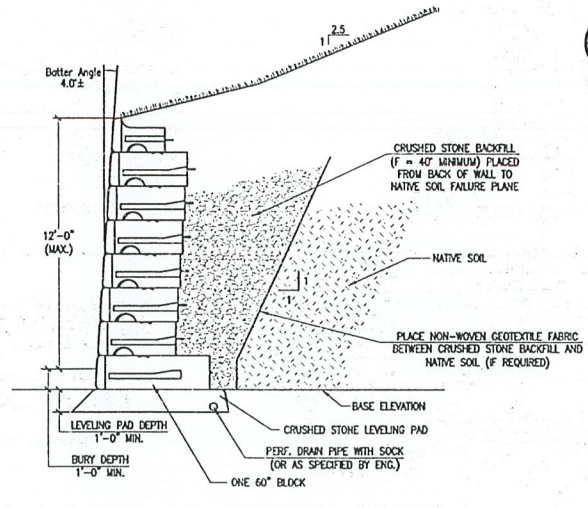
12 CFI AIR MACHINE
CFCA.0 NOT TO SCALE



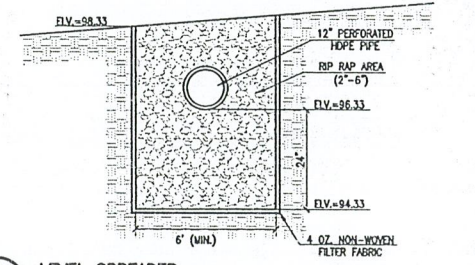
5 LIGHT POLE AT LANDSCAPED AREAS
CFCA.0 NOT TO SCALE



9 ACCESSIBLE PARKING LAYOUT
CFCA.0 NOT TO SCALE

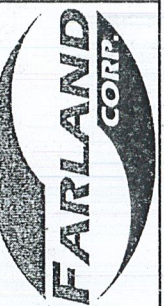


13 "REDI-ROCK" 12" GRAVITY WALL SECTION
W/ ONE 60" & 41" GRAVITY BLOCKS
CFCS.0 FINAL DESIGN TO BE PROVIDED BY "REDI-ROCK" NOT TO SCALE



14 LEVEL SPREADER
CFCS.0 NOT TO SCALE

| NO. | DESCRIPTION |
|-----|-------------|
| | |
| | |
| | |



www.FarlandCorp.com
401 COUNTY STREET
NEW BEDFORD, MA 02740
P.508.717.3479
OFFICES IN:
•TAUNTON
•MARLBOROUGH
•WARWICK, RI

DRAWN BY: JKM
DESIGNED BY: CAF
CHECKED BY: CAF

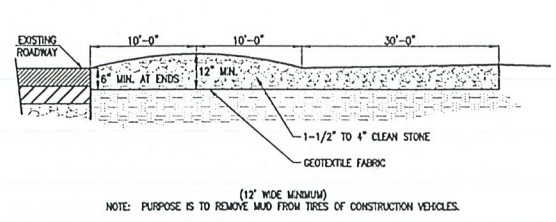
SITE PLAN
2904 & 2914 ACUSHNET AVENUE
ASSESSORS MAP 1300 LOTS 117, 247, 248, & 447
NEW BEDFORD, MASSACHUSETTS
PREPARED FOR:
T.M. CROWLEY & ASSOCIATES
14 BREAKNECK HILL ROAD, SUITE 101
LINCOLN, RI 02885

NOVEMBER 7, 2018
SCALE: AS NOTED
JOB NO. 17-1134
LATEST REVISION:

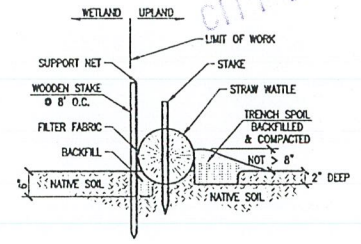
DETAIL PLAN
CFG09.1

COMMENTS: © 2018 FARLAND CORP. ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF FARLAND CORP. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF FARLAND CORP. SHALL BE MADE AND MAINTAINED.

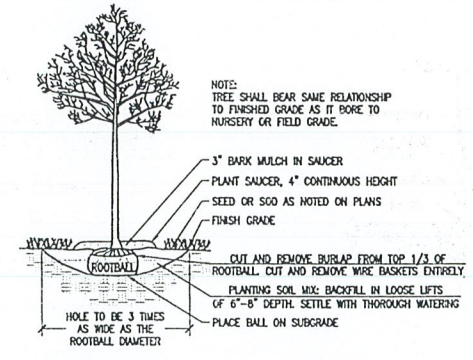
CITY CLERKS OFFICE
NEW BEDFORD, MA
2018 NOV 16 A 11:17
CITY CLERK



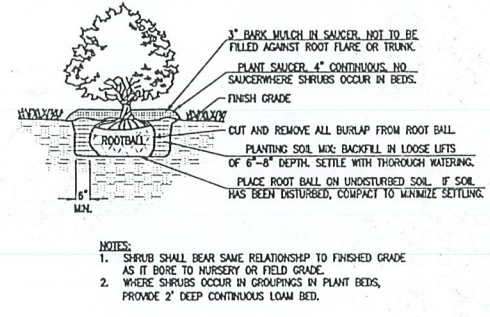
1 TEMPORARY CONSTRUCTION ENTRANCE
CF66.0 NOT TO SCALE



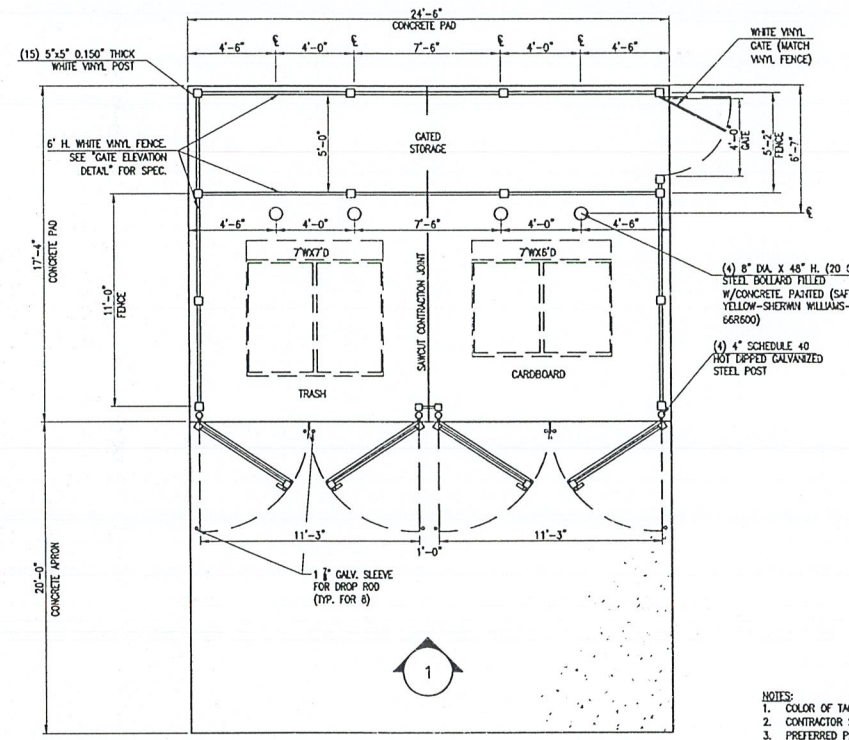
2 STAKED STRAW WATTLE WITH SILT FENCE
CF66.0 NOT TO SCALE



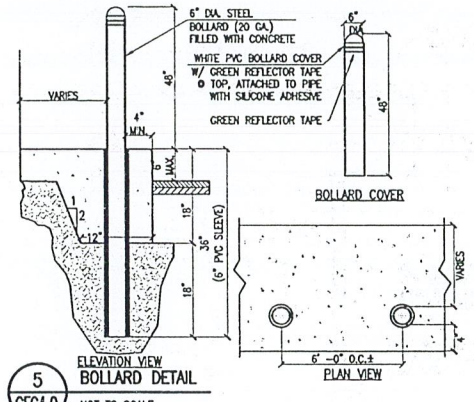
3 TREE PLANTING
CF8.0 NOT TO SCALE



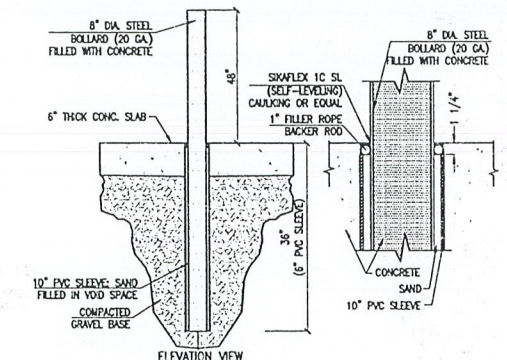
4 SHRUB PLANTING
CF8.0 NOT TO SCALE



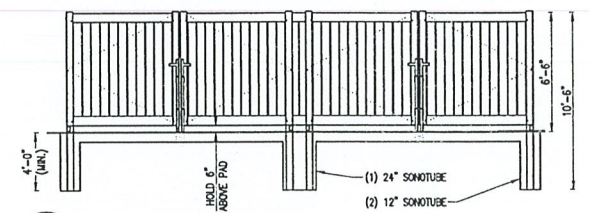
7 DUMPSTER ENCLOSURE
CF4.0 NOT TO SCALE



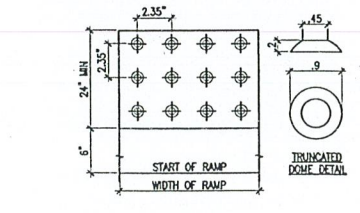
5 BOLLARD DETAIL
CF4.0 NOT TO SCALE



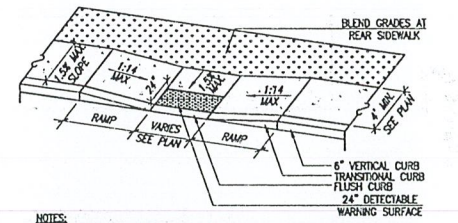
6 8" DUMPSTER PAD BOLLARD
CF4.0 NOT TO SCALE



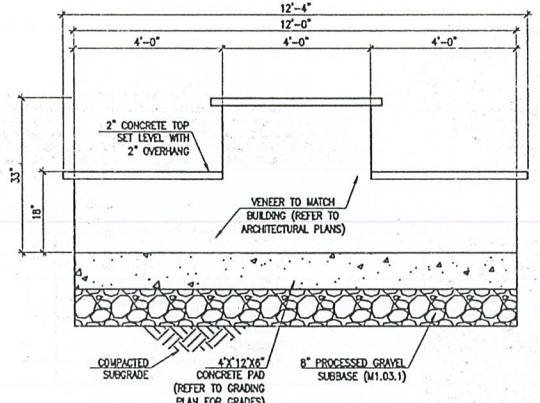
8 DUMPSTER GATE ELEVATION
CF4.0 NOT TO SCALE



9 DETECTABLE WARNING DETAIL
CF4.0 NOT TO SCALE



10 ACCESSIBLE RAMP TYPE B
CF4.0 NOT TO SCALE



11 VACUUM/TRASH ISLAND DETAIL
CF4.0 NOT TO SCALE

COPYRIGHT © 2010 FARLAND CORP. ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF FARLAND CORP. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. ANY UNAUTHORIZED USE OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF FARLAND CORP. SHALL BE SUBJECT TO LEGAL ACTION.

REVISIONS

| | |
|--|--|
| | |
| | |
| | |
| | |

FARLAND CORP.

www.FarlandCorp.com

401 COUNTY STREET
NEW BEDFORD, MA 02740
P.508.717.3479

OFFICES IN:
• TAUNTON
• MARLBOROUGH
• WARWICK, RI

DRAWN BY: JKM
DESIGNED BY: CAF
CHECKED BY: CAF

SITE PLAN
2904 & 2914 ACUSHNET AVENUE
ASSESSORS MAP 1300 LOTS 117, 247, 248, & 447
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:
T.M. CROWLEY & ASSOCIATES
14 BREAKNECK HILL ROAD, SUITE 101
LINCOLN, RI 02865

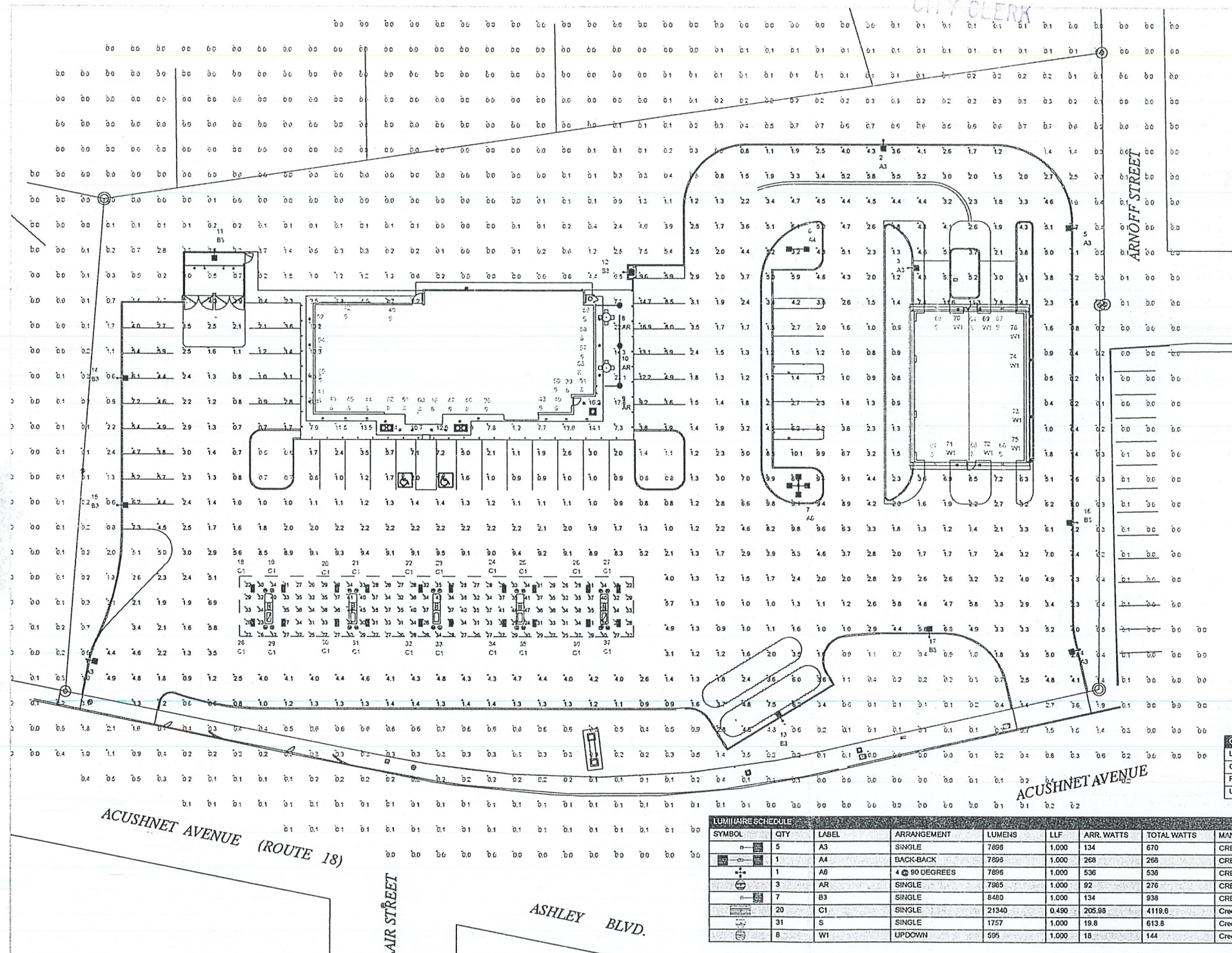
NOVEMBER 7, 2018
SCALE: AS NOTED
JOB NO. 17-1134
LATEST REVISION:
DETAIL PLAN
CFG09.2

2018 NOV 16 A 11:17

CITY CLERK

red leonard associates
1340 Kemper Meadow Dr. | Cincinnati, OH 45240 | 513-574-9500
www.redleonard.com

NOTE:
- FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES
- EXCEPT FOR TYPE "ART" FIXTURES, ALL POLE MOUNTED FIXTURES ARE MOUNTED ON A 15FT POLE ATOP A CONCRETE BASE FLUSH AT GRADE
- TYPE "ART" FIXTURE IS MOUNTED ON AN 8 FT POLE ATOP A CONCRETE BASE FLUSH AT GRADE



| LUM. NO. | LABEL | MTG. HT. |
|----------|-------|----------|
| 1 | A3 | 15 |
| 2 | A3 | 15 |
| 3 | A3 | 15 |
| 4 | A3 | 15 |
| 5 | A3 | 15 |
| 6 | A4 | 15 |
| 7 | A6 | 15 |
| 8 | AR | 8 |
| 9 | AR | 8 |
| 10 | AR | 8 |
| 11 | B3 | 15 |
| 12 | B3 | 15 |
| 13 | B3 | 15 |
| 14 | B3 | 15 |
| 15 | B3 | 15 |
| 16 | B3 | 15 |
| 17 | B3 | 15 |
| 18 | C1 | 14 |
| 19 | C1 | 14 |
| 20 | C1 | 14 |
| 21 | C1 | 14 |
| 22 | C1 | 14 |
| 23 | C1 | 14 |
| 24 | C1 | 14 |
| 25 | C1 | 14 |
| 26 | C1 | 14 |
| 27 | C1 | 14 |
| 28 | C1 | 14 |
| 29 | C1 | 14 |
| 30 | C1 | 14 |
| 31 | C1 | 14 |
| 32 | C1 | 14 |
| 33 | C1 | 14 |
| 34 | C1 | 14 |
| 35 | C1 | 14 |
| 36 | C1 | 14 |
| 37 | C1 | 14 |

| LUM. NO. | LABEL | MTG. HT. |
|----------|-------|----------|
| 38 | S | 12 |
| 39 | S | 12 |
| 40 | S | 12 |
| 41 | S | 12 |
| 42 | S | 12 |
| 43 | S | 12 |
| 44 | S | 12 |
| 45 | S | 12 |
| 46 | S | 16.945 |
| 47 | S | 15.5 |
| 48 | S | 12 |
| 49 | S | 12 |
| 50 | S | 12 |
| 51 | S | 12 |
| 52 | S | 12 |
| 53 | S | 12 |
| 54 | S | 12 |
| 55 | S | 12 |
| 56 | S | 12 |
| 57 | S | 12 |
| 58 | S | 12 |
| 59 | S | 12 |
| 60 | S | 16.945 |
| 61 | S | 15.5 |
| 62 | S | 12 |
| 63 | S | 14 |
| 64 | S | 14 |
| 65 | S | 14 |
| 66 | S | 14 |
| 67 | S | 14 |
| 68 | S | 14 |
| 69 | WI | 8 |
| 70 | WI | 8 |
| 71 | WI | 8 |
| 72 | WI | 8 |
| 73 | WI | 8 |
| 74 | WI | 8 |
| 75 | WI | 8 |
| 76 | WI | 8 |

| LABEL | AVG | MAX | MIN | AVG/MIN | MAX/MIN |
|----------------|-------|------|-----|---------|---------|
| CANOPY | 31.93 | 47 | 22 | 1.45 | 2.14 |
| PAVED AREA | 3.35 | 16.9 | 0.2 | 16.75 | 84.50 |
| UNDEFINED AREA | 0.64 | 23.1 | 0.0 | N.A. | N.A. |

| SYMBOL | QTY | LABEL | ARRANGEMENT | LUMENS | LLF | ARR. WATTS | TOTAL WATTS | MANUFACTURER | DESCRIPTION |
|--------|-----|-------|----------------|--------|-------|------------|-------------|------------------------------------|---|
| n | 5 | A3 | SINGLE | 7898 | 1.000 | 134 | 670 | CREE, INC. | ARE-EDG-3MB-DA-06-E-UL-WH-700-57K |
| 1 | 1 | A4 | BACK-BACK | 7898 | 1.000 | 268 | 268 | CREE, INC. | ARE-EDG-3MB-DA-06-E-UL-WH-700-57K |
| 4 | 4 | A6 | 4 @ 90 DEGREES | 7898 | 1.000 | 536 | 536 | CREE, INC. | ARE-EDG-3MB-DA-06-E-UL-WH-700-57K |
| 3 | 3 | AR | SINGLE | 7898 | 1.000 | 92 | 276 | CREE INC. | ARE-EDR-6M-R5-04-E-UL-XX-700-57K |
| 7 | 7 | B3 | SINGLE | 8480 | 1.000 | 134 | 938 | CREE INC. | ARE-EDG-4MB-DA-06-E-UL-WH-700-57K |
| 20 | 20 | C1 | SINGLE | 21340 | 0.490 | 205.88 | 4119.6 | Cree Inc | CAH-228-SL-RM-09-E-UL-WH-700-57K (SWITCH SETTING 1) |
| 31 | 31 | S | SINGLE | 1757 | 1.000 | 19.8 | 613.8 | Cree Lighting - Recessed Downlight | LR818L-40K-GU24+RC6-GU24 HOUSING |
| 8 | 8 | WI | UPDOWN | 595 | 1.000 | 18 | 144 | Cree Lighting - MR16 | RLA-E-S23L03XX |

| REV. | BY | DATE | DESCRIPTION |
|------|----|------|-------------|
| | | | |

FOR INFORMATIONAL AND ILLUSTRATION PURPOSES ONLY. ALL PROJECT SERVICES AND COPYRIGHTS ARE THE PROPERTY OF RED LEONARD ASSOCIATES, INC. THE USER OF THIS DOCUMENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

SCALE: 1" = 20'
DATE: 10/20/18
DRAWING NUMBER: RL-5749-S1
PROJECT NAME: CUMBERLAND FARMS NEW BEDFORD, MA
CFG 10.0
rla

AREA

| SYMBOL: | QTY: | LABEL: |
|---------|------|--------|
| | 5 | A3 |
| | 1 | A4 |
| | 1 | A6 |

ARE-EDG-3MB-DA-06-E-ULWH-700-57K

| SYMBOL: | QTY: | LABEL: |
|---------|------|--------|
| | 7 | B3 |

ARE-EDG-4MB-DA-06-E-UL-WH-700-57K

AREA

| SYMBOL: | QTY: | LABEL: |
|---------|------|--------|
| | 3 | AR |

ARE-EDR-5M-R5-04-E-UL-XX-700-57K

CANOPY

| SYMBOL: | QTY: | LABEL: |
|---------|------|--------|
| | 20 | C1 |

CAN-228-SL-RM-09-E-UL-WH-700-57K
(SWITCH SETTING 1)

SOFFIT

| SYMBOL: | QTY: | LABEL: |
|---------|------|--------|
| | 31 | S |

LR618L-40K-GU24+RC6-GU24 HOUSING

WALL MOUNTED

| SYMBOL: | QTY: | LABEL: |
|---------|------|--------|
| | 8 | W1 |

RLA-E-S23L03XX

Cree Edge™ Series

Product Description
The Cree Edge™ series is a line of high performance LED lighting fixtures designed for use in a variety of applications. These fixtures are designed to provide high quality lighting with long life and low energy consumption. They are available in a variety of sizes and finishes to meet your specific needs.

Performance Summary
• Excellent beam spread
• High lumen output
• Long life expectancy
• Low energy consumption

| Model | Beam Spread | Output (lm) | Power (W) | Life (hrs) | Temp (°C) |
|-----------------------------------|-------------|-------------|-----------|------------|-----------|
| ARE-EDG-3MB-DA-06-E-ULWH-700-57K | 30° | 1000 | 10 | 50,000 | 40 |
| ARE-EDG-4MB-DA-06-E-UL-WH-700-57K | 30° | 1500 | 15 | 50,000 | 40 |



Product Specifications

General Information

- LED lighting technology
- High efficiency
- Long life expectancy
- Low energy consumption

Electrical Specifications

| Model | Voltage (V) | Power (W) | Current (A) | Frequency (Hz) |
|-----------------------------------|-------------|-----------|-------------|----------------|
| ARE-EDG-3MB-DA-06-E-ULWH-700-57K | 120 | 10 | 0.083 | 60 |
| ARE-EDG-4MB-DA-06-E-UL-WH-700-57K | 120 | 15 | 0.125 | 60 |

Mechanical Specifications

| Model | Height (mm) | Width (mm) | Depth (mm) |
|-----------------------------------|-------------|------------|------------|
| ARE-EDG-3MB-DA-06-E-ULWH-700-57K | 100 | 100 | 100 |
| ARE-EDG-4MB-DA-06-E-UL-WH-700-57K | 150 | 150 | 150 |

LR Series
LED Decorative Wall Sconce-Up and Down, Large 35-Watt LED RLA-E-S23 Series

Product Description
The LR Series LED sconce is a decorative lighting fixture designed for use in a variety of applications. It features a high quality LED light source and a durable housing. The sconce is available in up and down lighting configurations and is designed to provide high quality lighting with long life and low energy consumption.

Performance Summary
• High lumen output
• Long life expectancy
• Low energy consumption

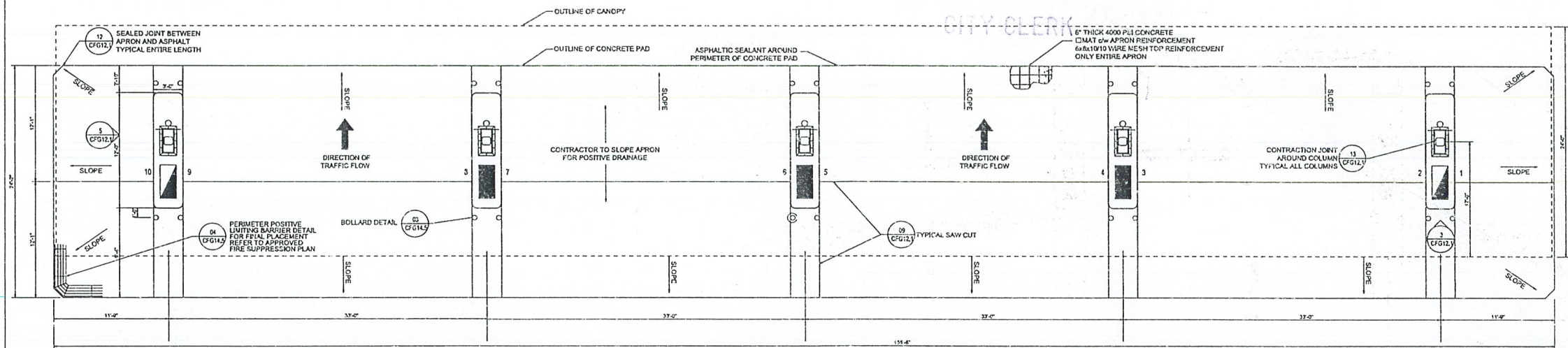
Dimensions
Height: 100mm
Width: 100mm
Depth: 100mm

LED DECORATIVE WALL SCONCE-UP AND DOWN, LARGE 35-WATT LED RLA-E-S23 SERIES

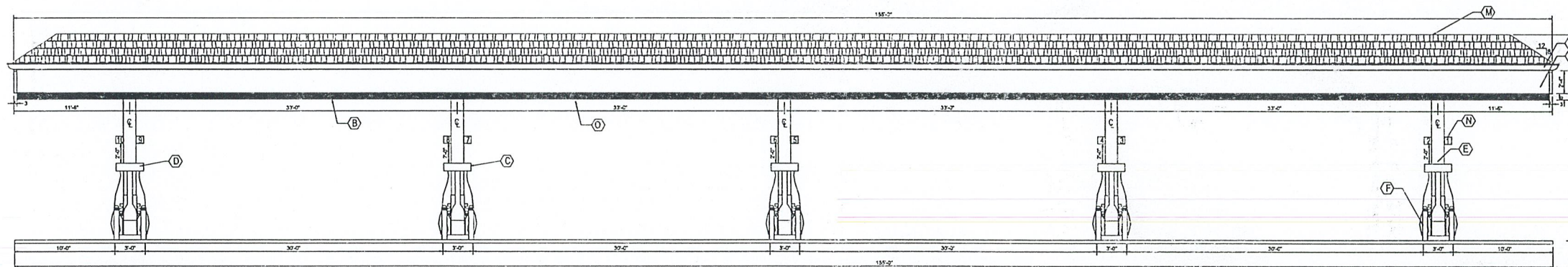
Applications - Ideal for illumination along eaves, walkways and entry ways
Typical Mounting Height: 8 to 15 feet. Typical Spacing: 1 to 2 times the mounting height

| Category | Division | Input Voltage | Beam Spread | Beam Angle | Beam Diameter | Beam Length | Weight |
|----------------------|-----------|---------------|-------------|------------|---------------|-------------|--------|
| RLA-E-S23L03XX (30°) | 35W (35V) | 120V | 30° | 30° | 100mm | 100mm | 0.2kg |

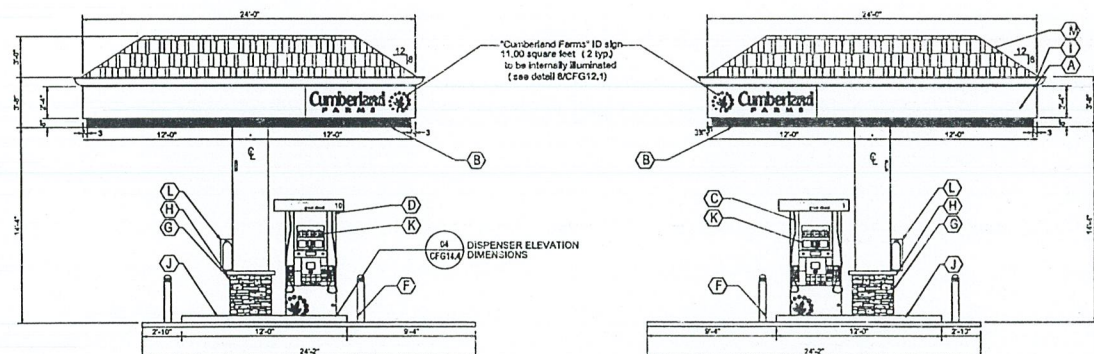
2018 NOV 16 A 11:17



1 CANOPY PLAN VIEW
CFG12 SCALE: 3/16" = 1'-0"

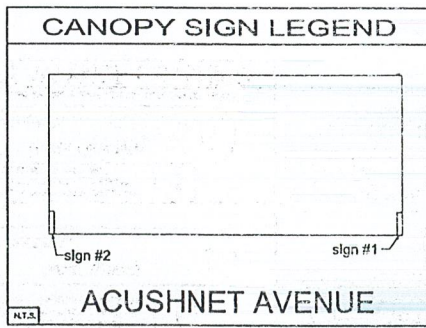
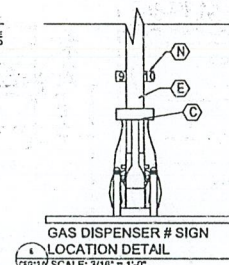
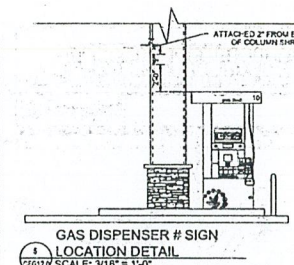
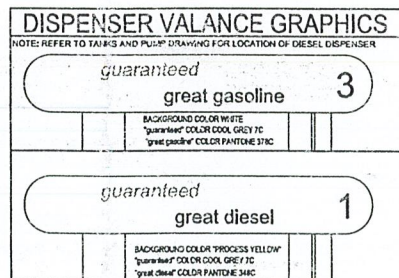


1 CANOPY FRONT ELEVATION
CFG12 SCALE: 3/16" = 1'-0"



1 CANOPY LEFT ELEVATION
CFG12 SCALE: 3/16" = 1'-0"

1 CANOPY RIGHT ELEVATION
CFG12 SCALE: 3/16" = 1'-0"



- NOTES:
1. COORDINATE APRON ELEVATIONS WITH CIVIL DRAWINGS AND FIELD ELEVATIONS.
 2. DISPENSER SIGNS TO BE SET IN PLACE AND USED AS A FORM TO POUR CONCRETE AROUND.
 3. CONCRETE SPECIFICATIONS:
-SOIL BEARING CAPACITY REQ'D: AS PER GEOTECHNICAL REPORT
-CONC. STRENGTH: 4000# @ 28 DAYS JK TO 7% AIR
-TROWELLED SMOOTH FINISH WITH TWO COATS SEALING/CURING COMPOUND.
-CANOPY FOOTING CONC. STRENGTHS REFER TO DRAWINGS PROVIDED BY MANUFACTURER
 4. ALL EQUIPMENT INSTALLATIONS MUST COMPLY WITH MANUFACTURER'S SPECIFICATIONS.
 5. ALL EQUIPMENT AND CONSTRUCTION ARE NEW AND FACILITY IS TO BE ATTENDED SELF-SERVICE.
 6. REFER TO CANOPY MANUFACTURER'S DRAWINGS FOR SPECIFIC CANOPY FOOTING OPTIONS.
 7. REFER TO CANOPY MANUFACTURER'S DRAWINGS FOR ARCHITECTURAL DETAILS ON CANOPY AND COLUMNS.
 8. SEE CIVIL PLANS FOR ORIENTATION ON SITE, AND FOR TRAFFIC FLOW.
 9. REFER TO CANOPY DETAIL SCHEDULE ON SHEET CFG12.1 FOR ADDITIONAL INFORMATION.
 10. GO TO COORDINATE THE SPECIFIC LOCATIONS OF THE APRON EXPANSION JOINTS BASED ON THE FINAL POSITIVE LIMITING BARRIER DESIGN. REFER TO THE FIRE SUPPRESSION PLAN FOR THE PLB LAYOUT.

| REVISIONS | | | V# NEW |
|-----------|----------|-------------|------------------|
| DATE | REV. BY. | DESCRIPTION | Store# NEW |
| | | | Gas Station# NEW |
| | | | |
| | | | |
| | | | |
| | | | |

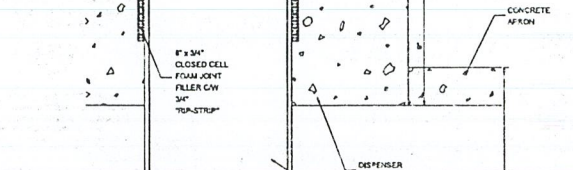
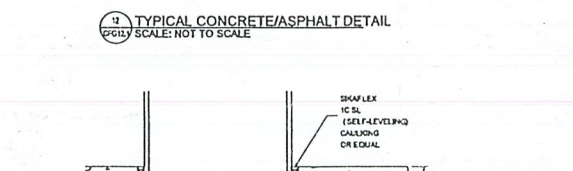
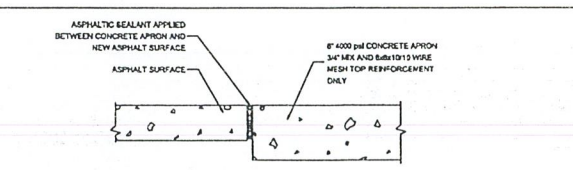
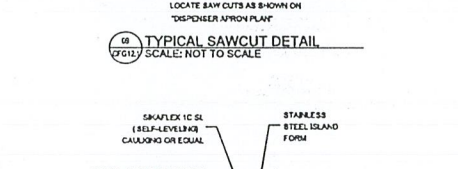
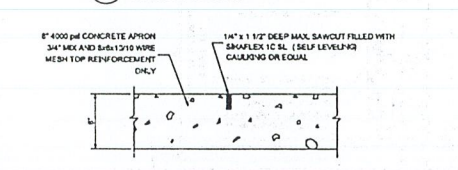
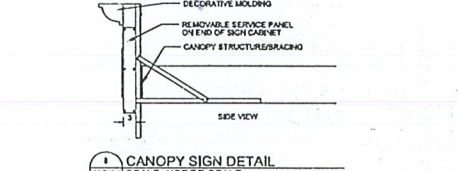
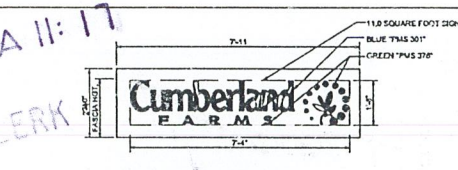
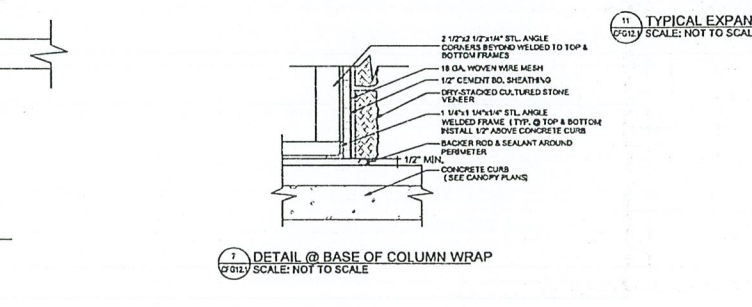
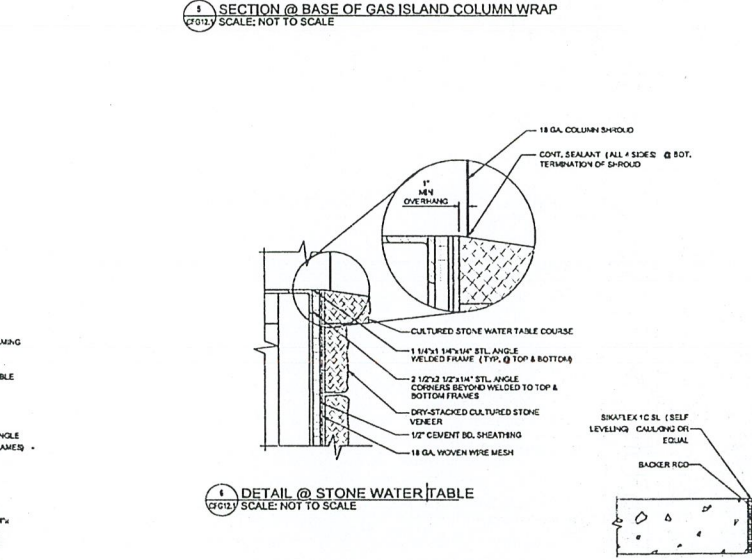
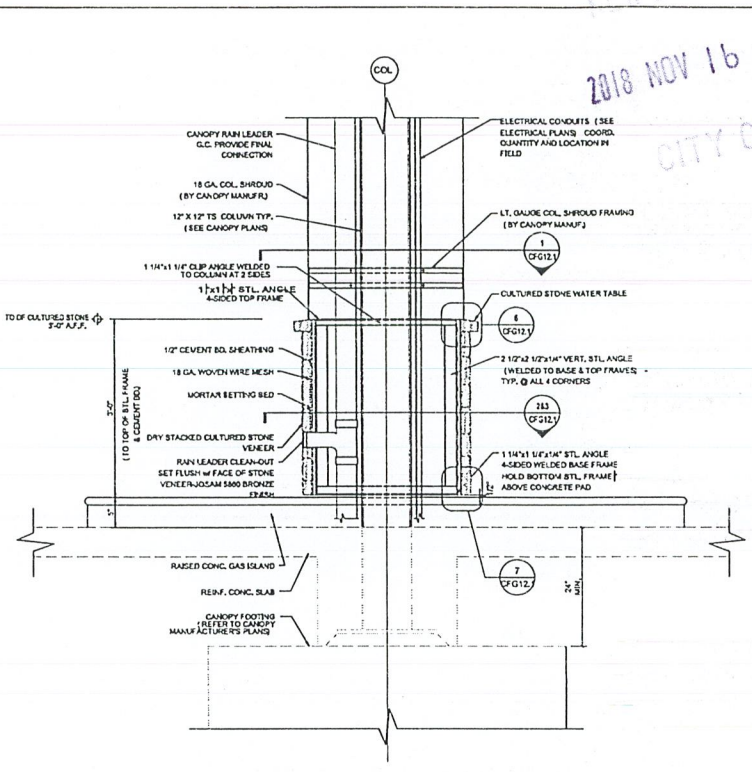
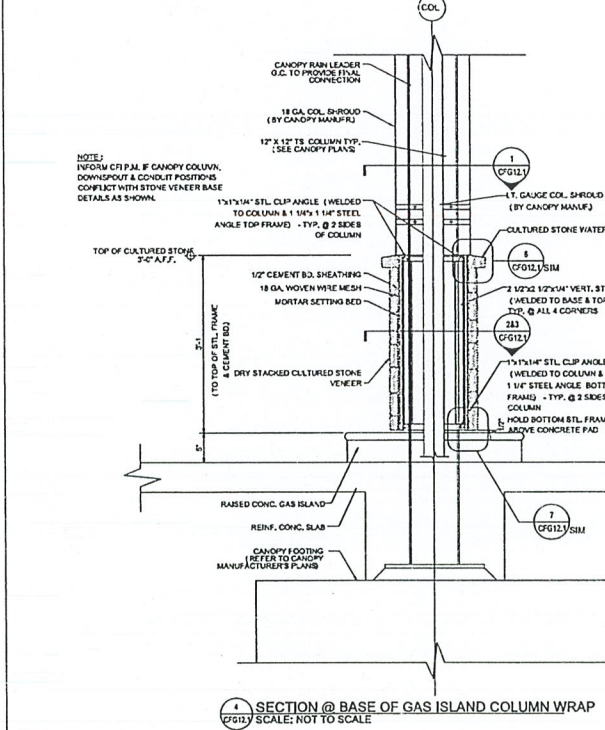
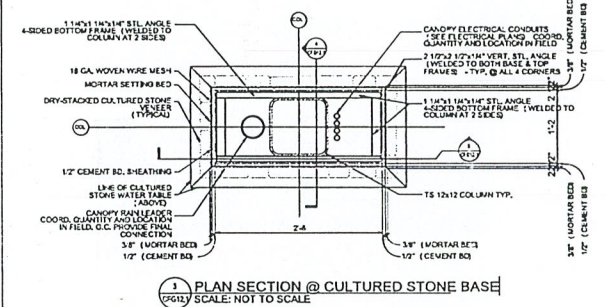
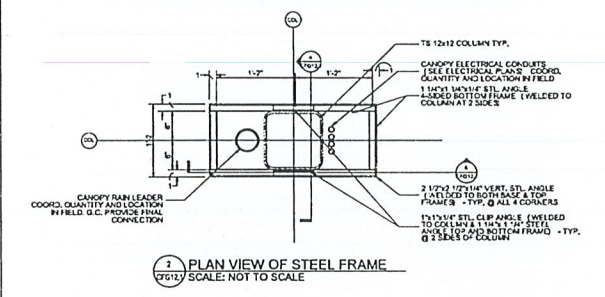
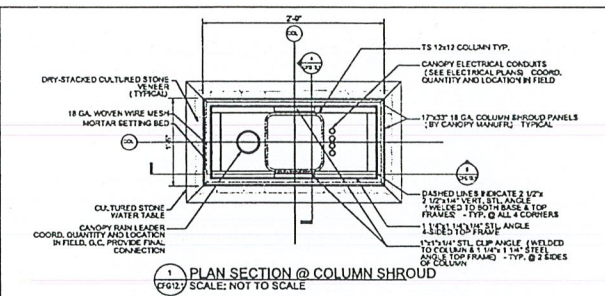
ACUSHNET AVENUE
NEW BEDFORD, MASSACHUSETTS

CUMBERLAND FARMS, INC.
153 Florence Road
Westborough, Massachusetts 01581

SCALE: 3/16" = 1'-0"
DATE: 11/07/18
FILE: 17-1134
DRAWN BY:
CHECKED BY:
PROPOSED CANOPY PLAN & ELEVATIONS CFG12.0

CITY CLERKS OFFICE
NEW BEDFORD, MA

2018 NOV 16 4 11:17
CITY CLERK



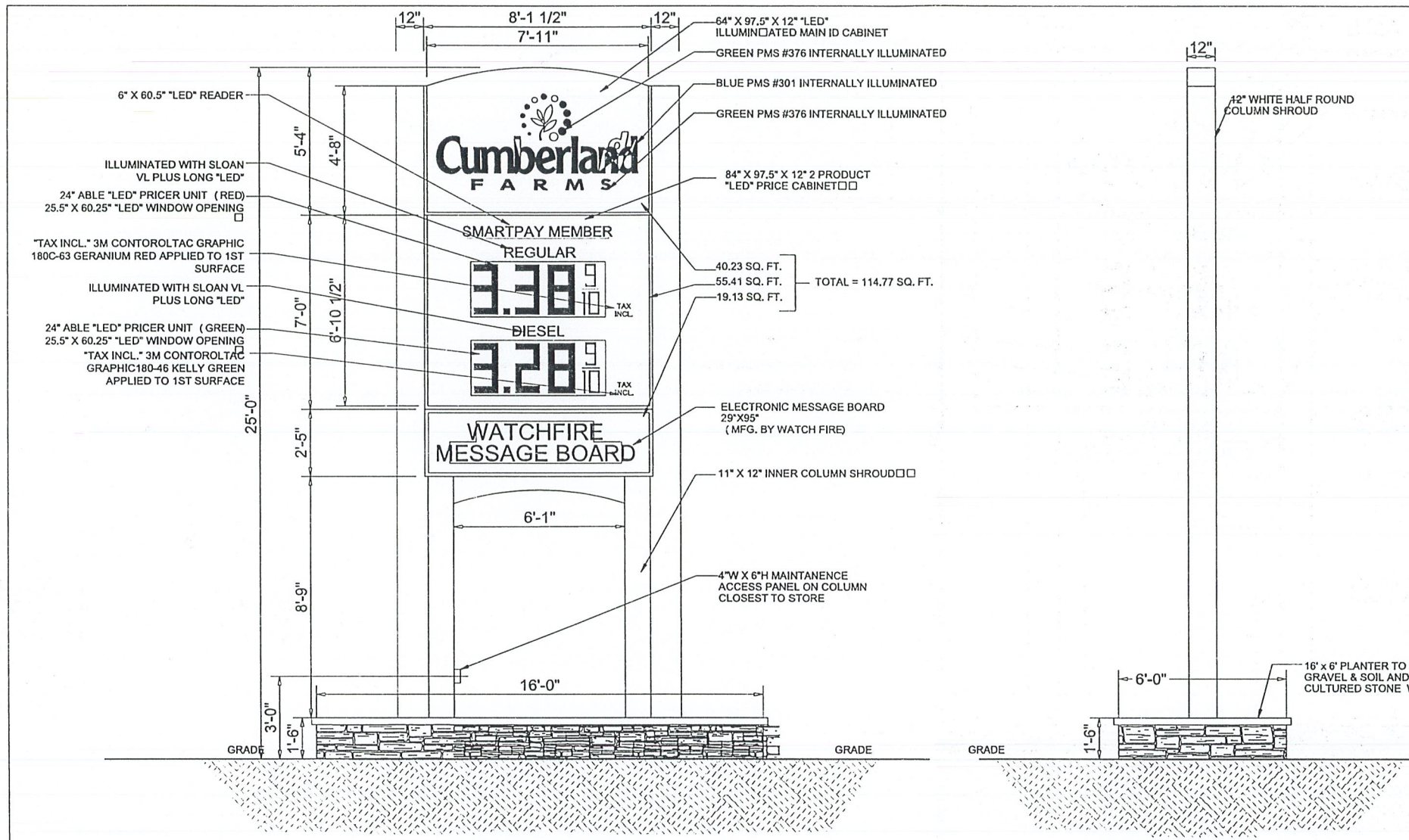
| CANOPY DETAIL SCHEDULE | | | | | | |
|------------------------|--------------------------------------|---------------------|-----------------------------|-----------------------------------|----------|--|
| MARK | DESCRIPTION | MANUFACTURER | MODEL | COLOR | QUANTITY | REMARKS |
| A | CANOPY FASCIA | ALCOA | ACM: RYNOBOND | SHELL WHITE | PER PLAN | BY CANOPY MFR. |
| B | CANOPY STRIPING | ALCOA | ACM: RYNOBOND | OUTRAGEOUS GREEN | PER PLAN | 8" ACM, BY CANOPY MFR. |
| C | MULTI-PRODUCT DISPENSER | WAYNE | OVATION B12 | | PER PLAN | SUPPLIED BY KENNEDY |
| D | 3+1 DIESEL DISPENSER | WAYNE | OVATION B23 | | PER PLAN | SUPPLIED BY KENNEDY |
| E | CANOPY COLUMN SHROUDS | | | SHELL WHITE | 5 | 17"x33" SHROUDS |
| F | BOLLARDS | UNIVERSAL | 6" OD X 42"H | SHELL WHITE | PER PLAN | STEEL BOLLARD WITH PVC SLEEVE BY CFI |
| G | CULTURED STONE VENEER | OWENS CORNING | CSV-2028 | ECHO RIDGE | PER PLAN | BY CUMBERLAND FARMS INSTALLED BY GC |
| H | CULTURED STONE CAPS | OWENS CORNING | CSV-2028 | ECHO RIDGE | PER PLAN | BY CUMBERLAND FARMS INSTALLED BY GC |
| I | DECORATIVE MOLDING | CANOPY MANUFACTURER | | SHELL WHITE | PER PLAN | BY CANOPY MFR. |
| J | DISPENSER ISLAND FORM | RIVERSIDE STEEL | | STAINLESS STEEL | PER PLAN | SUPPLIED BY KENNEDY |
| K | DISPENSER LED PUMP TOPPER | ABLE | | BLACK W/ RED, GREEN, & WHITE LEDS | PER PLAN | SMARTPAY ALTERNATOR SUPPLIED BY KENNEDY |
| L | HAND OPERATED AISC FIRE EXTINGUISHER | LARSON | | | PER PLAN | ALL CABINETS IN COLUMN FACING STORE SIDE |
| M | CANOPY ROOFING | CERTAINTED LANDMARK | LANDMARK | COBBLESTONE GRAY | PER PLAN | BY CANOPY MFR. |
| M2 | CANOPY ROOFING | ENGLERT, INC | SERIES 1500 15-1/4" SPACING | MATCH BLDG. | PER PLAN | BY CANOPY MFR. |
| N | DISPENSER NUMBERING SIGN | | | WHITE W/ GREEN # | 10 | PROVIDED BY CFI TO BE APPLIED IN THE FIELD BY GC |
| O | ROOF ACCESS HATCH | BILCO | | | 1 | BY CANOPY MFR. |

| REVISIONS | | | V# NEW | ACUSHNET AVENUE |
|-----------|----------|-------------|------------------|----------------------------|
| DATE | REV. BY. | DESCRIPTION | Store# NEW | NEW BEDFORD, MASSACHUSETTS |
| | | | Gas Station# NEW | |

CUMBERLAND FARMS, INC.
155 Florence Road
Westborough, Massachusetts 01581

SCALE: 3/16" = 1'-0"
DATE: 11/07/18
FILE: 17-1134
DRAWN BY:
CHECKED BY:
PROPOSED CANOPY DETAILS: CFG12.1

CITY CLERK
 2018 NOV 16 A 11:17



2017 Cumberland Farms Installation Procedure watchfire

SITE PREPARATION - GC Responsibility
 Electrical
 A Watchfire sign requires 247 120V power and may not be wired to a photocell, timer, or power management system. Please LABEL Breaker in Service Panel to read "LED SIGN" to aid in future troubleshooting.

SIGN ARRIVAL - Sign Contractor Responsibility
 Watchfire's Accessory Kit
 Ensure all components are included in shipment from Watchfire including the Accessory Kit:
 • Sign OP Manual (not required for installation)
 • 5m Installation Manual
 • 4G Wireless Antenna and the mounting bracket (2525 1052612)

SET UP - Sign Contractor Responsibility
 Install Ground Rod
 Refer to page 14 of the Watchfire Installation Manual.
 Connect Power
 Refer to page 15 of the Watchfire Installation Manual (Fig. 1)
 Data Crossover Cable Connected
 For double face sign installations, connect the 2 cabinets using the data crossover cables provided. Cable connections are located at the back of each sign cabinet. See Watchfire Installation Manual page 15.
 Install 4G Wireless Antenna
 Remove the module on the top left corner of the sign labeled "Watchfire Class". Remove the 4G Wireless Antenna.
 Install the 4G Wireless Antenna on the outside of the sign as indicated on sign drawings from exterior sign contractor. Antenna may be mounted vertically as shown (Fig. 2) or horizontally. Connect the 4G Wireless Antenna to the 4G Cellular Modem located inside the sign as shown (Fig. 3) Refer to Page 24 of the Watchfire Installation Manual.

POWER UP - Sign Contractor Responsibility
 Verify Proper Power Requirements
 Refer to ampage and voltage requirements for the sign(s) (Fig. 4)
 120 VAC Each Leg
 Call Cumberland Farms at 800-225-9702, extension 5200, option 2 for facilities support if power is not available at time of install.
 Sign Playing Shipping Graphics
 Sign ships from Watchfire facility with program med messages that should display once power is applied to the message carrier. Cumberland Farms sign messages should be displayed on both sign faces.
INITIAL COMMUNICATION TESTS - Sign Contractor Responsibility
 Call the Watchfire Helpdesk 866-637-2645
 Provide the service technician with the Serial # (located on the name plate in the lower right corner) (Fig. 4). Ask the service technician to verify that Watchfire can connect to the sign. If they cannot connect, the Helpdesk will guide you through troubleshooting procedures to help resolve the issue.

SIGN UPDATE - VF HelpDesk Responsibility
 Once communication has been established, send an email to signupdate@watchfire.com and request that the sign be updated with the latest Cumberland Farms content immediately. Provide Serial # (Fig. 4).
Verification - Sign Contractor Responsibility
 Upon visual confirmation that a new Cumberland Farms message is displaying on the sign, take a photo and e-mail it to blaney@watchfire.com before leaving jobsite.

1 | watchfire.com 800-637-2645 010117



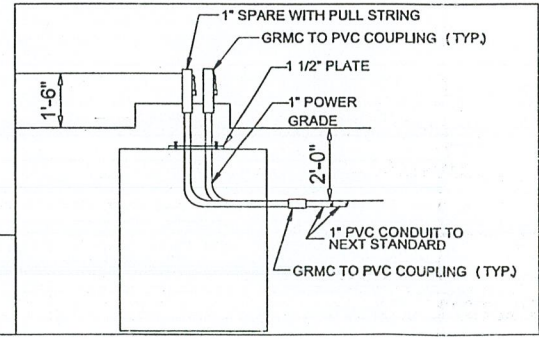
FRONT VIEW

SIDE VIEW

NOTE:
 SEE SHEET A0.5 AND S4.1 FOR FOUNDATION AND STRUCTURAL DETAILS
 THESE PLANS WILL BE PREPARED PRIOR TO FILING FOR A BUILDING PERMIT

ID&GAS PRICE SIGN ELECTRICAL REQUIREMENTS
 1" PVC CONDUIT W/ 3#10 AND 1#10 GROUND (20 AMP)
 1" PVC CONDUIT "SPARE" W/PULL STRINGS
 1 WEATHER PROOF JUNCTION BOX

SPECIFICATIONS
 * 12" DEEP ALUMINUM FABRICATED SIGN CABINET W/INTERNAL, HIGH OUTPUT FLOURESCENT ILLUMINATION...CABINET PAINTED WHITE
 * 1/8" ALUMINUM CAM ROUTERED SIGN FACES. "CUMBERLAND FARMS" ROUTERED TEXT AND LOGO
 * CLEAR ACRYLIC PUSH THRU (1/2"-5/8" EXPOSED) "CUMBERLAND" TEXT TO RECEIVE TRANSLUCENT VINYL OVERLAY 3M BLUE...LOGO "FARMS" VINYL O
 * SIGN TO INSTALL BETWEEN NEW 8" SQUARE STEEL COLUMNS...INCLUDES NEW HALF ROUND PVC POLE COVERS, INNER ARCHED ALUMINUM FILLER AND



| REVISIONS | | | V# NEW | 2904 & 2914 ACUSHNET AVENUE | |
|-----------|---------|----------------|------------|-----------------------------|--|
| DATE | REV. BY | DESCRIPTION | Store# NEW | 8' PROTOTYPE | |
| 05/04/17 | RSP | WATCHFIRE DIMS | | SCALE: 1/2" = 1'-0" | |
| | | | | DATE: 11/07/18 | |
| | | | | FILE: 17-1134 | |
| | | | | DRAWN BY: | |
| | | | | CHECKED BY: | |
| | | | | CFG 13.0 | |

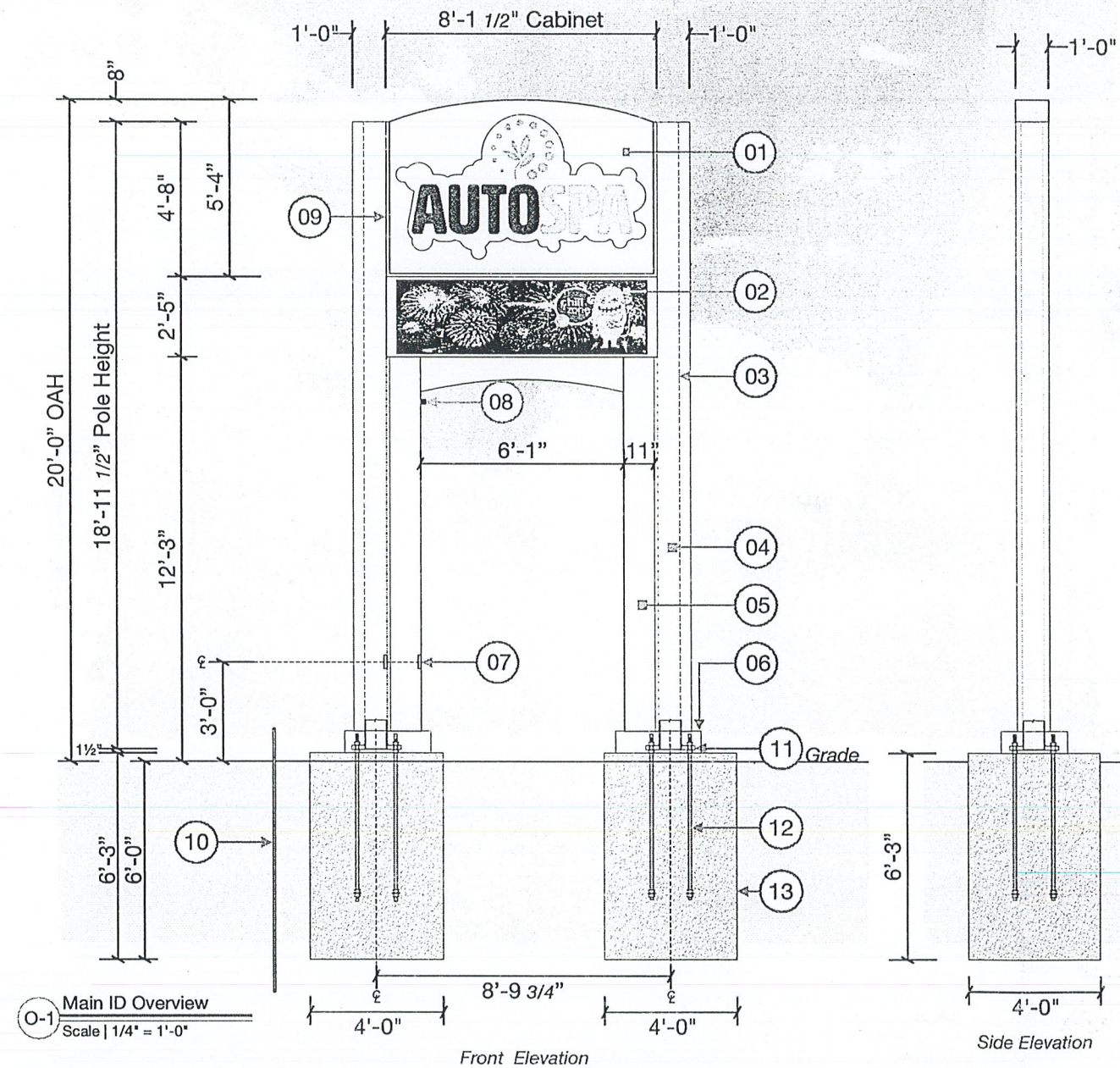
CUMBERLAND FARMS, INC.
 165 Flanders Road
 Westborough, Massachusetts 01581

PROPOSED SIGN DRAWING

2018 NOV 16 A 11:17

CITY CLERK

Max "J" Bolt Height
of 7' above Grade



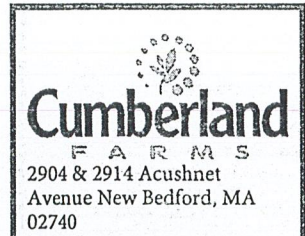
O-1 Main ID Overview
Scale | 1/4" = 1'-0"

- 01 CF-MID-GP-8FT-ID
5'-4" h x 8'-1 1/2" w x 1'-0" LED Illum. Main ID Cabinet w/ Router cut & backed up white polycarb logo & trans vinyl graphics
43.34 Sq Ft
- 02 2'-5" h x 8'-1 1/2" x 1'-0" Electronic Message Center Supplied by Cumberland Farms
19.64 Sq Ft
NOTE: MESSAGE TO CHANGE EVERY 24HRS
- 03 Dotted Lines Represent 18'-11 1/2" h x 8" x 8" x 5/16" Steel Posts
- 04 CF-MID-GP-8FT-SYS-POCO Pole Covers & Mounting
- 05 11" w x 1'-0" Deep Inner Column Shroud
- 06 2'-0" x 2'-7" x 8" h .080 aluminum plate cover painted white to match Cumberland Farms White
- 07 5" x 5" Maintenance Access Panel SHUT OFF SWITCH TO BE LOCATED INSIDE HAND HOLE
- 08 Watchfire board master chassis side to be closest to building. Antenna to be mounted inside inner shroud via magnet on building side. (Antenna to protrude 2" out of inner shroud)
- 09 Reveal to Remain Consistent 1 1/4" Throughout Sign
- 10 Sign company to provide the ground rod. Typically it is a 8' long, copper clad ground rod within 25' of the base of the sign. The sign company must make an electrical connection from the ground rod to each sign cabinet. Watchfire recommends using a minimum of 8 AWG wire to make the connections.
- 11 1'-6" x 1'-6" x 1 1/2" thk base plates (see plate detail)
- 12 (4) 1 1/4" Dia Anchor Bolts 54" embed
- 13 4'-0" Square x 6'-3" Deep Concrete Foundation Installed by others
FOUNDATION DIMENSIONS SHOWN FOR DESIGN INTENT ONLY. ACTUAL SIZE MAY VARY BASED ON LOCAL REQUIREMENTS

FOR PLANTER AND PLANTER FOUNDATION SEE: SHEET: A0.5 TITLED: PYLON SIGN-PLAN, ELEVATIONS AND DETAIL

Templates & anchor bolts for MID signs to be supplied by material supplier.

CUSTOM PLANTER FOR 8FT WIDE SIGNS
6'-0" x 16'-0" FACE OF GMI TO FACE OF GMI
16'-4" x 16'-4" FACE OF BRICK VENEER TO FACE OF BRICK VENEER
IF THE DISTANCE FROM THE LOWEST SIGN TO PLANTER IS LESS THAN 1' THEN THE PLANTER IS 16'-4" H x 16'-4" W x 2'-4" D w/ Solid Top



ACCT #: 007403

PRODUCTION

Typography

Mob

Regular | 0 Kerning | 0 Spacing

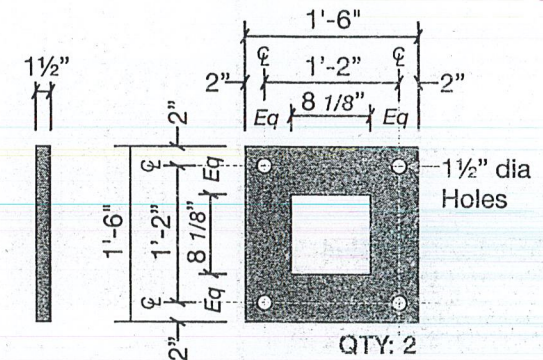
ABCDEFGHIJKLMNOPQRSTUVWXYZ
abcdefghijklmnopqrstuvwxyz
0123456789&!@

Color Palette | Pantone • Paint • Vinyl

C1 Pantone Color: 301C
Opaque Vinyl: 3M Vivid Blue 180C-17
Translucent Vinyl: 3M Bristol Blue 3630-07

C2 Pantone Color: 379C
Opaque Vinyl: 3M Apple Green 180C-198
Translucent Vinyl: 3M Brilliant Green 2630-108
Green ACM: Alcoa Reynobond Duragloss 3000 Outrageous Green

C3 Paint Color: Cumberland Farms White
matches Alcoa Shirl White (300G B-10, 1g B-44)



O-2 Plate Detail
Scale | 3/4" = 1'-0"

pro signs
www.prosign.net
251 Boot Road
Downtown, PA 19335
610.518.5881
610.518.5244
info@prosign.net

CF-MID-GP-8FT-SYS-3 | SPECIFICATIONS
QTY: ONE (1) MAIN ID SIGN SYSTEM

DESIGNER: DK
REVISED FOUNDATIONS & ADDRESS 10/2018 REVISSED TO PRODUCTION

PM: JD
DESIGNER: DK
DATE: 8/6/2018

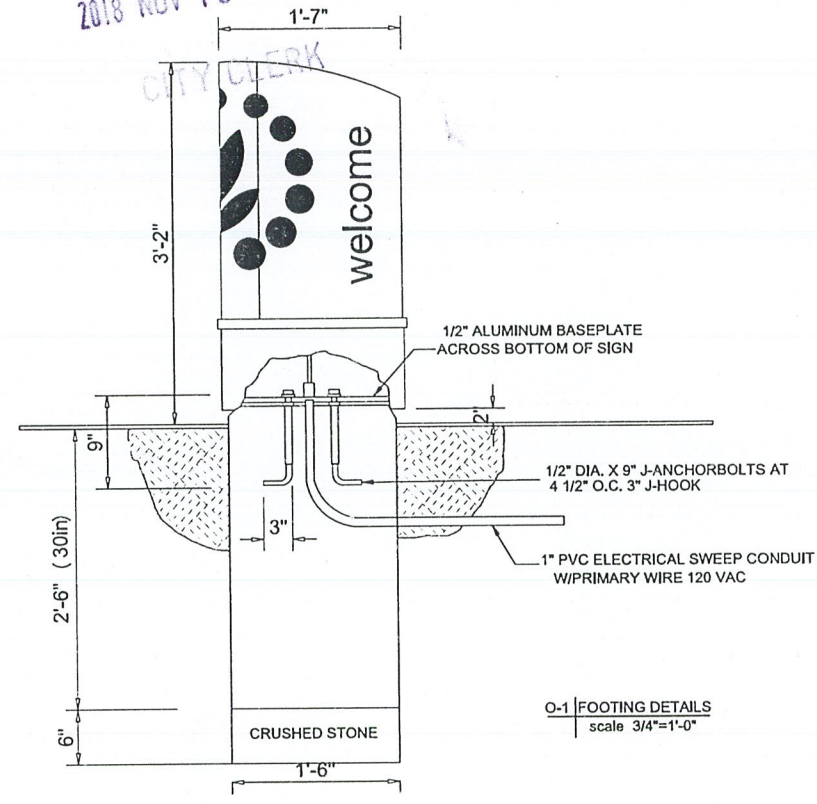
Copyright, Pro Sign Company, 2017
THIS DRAWING INCLUDES DATA THAT IS PROPRIETARY INFORMATION OF PRO SIGN COMPANY. IT SHALL NOT BE USED, REPLICATED OR DISCLOSED IN WHOLE OR PART FOR ANY PURPOSE OTHER THAN TO EVALUATE THIS PROPOSAL. IF A CONTRACT IS AWARDED TO THIS PROPOSER AS A RESULT OF OR IN CONNECTION WITH THE SUBMISSION OF THIS DATA, THE DEFEREE SHALL HAVE THE RIGHT TO USE OR DISCLOSE THE DATA TO THE EXTENT PROVIDED IN THE RESULTING CONTRACT.

Job File Locations
DWG: W:\Cumberland Farms\Sites\MA\Bridgewater\007403\Design\007403-2_PRD-CF_BRIDGEWATER, MA.cdr
ART: W:\Cumberland Farms\Sites\MA\Bridgewater\007403\Production\CF-MID-GP-8FT-ID-AUTOSPA.eps

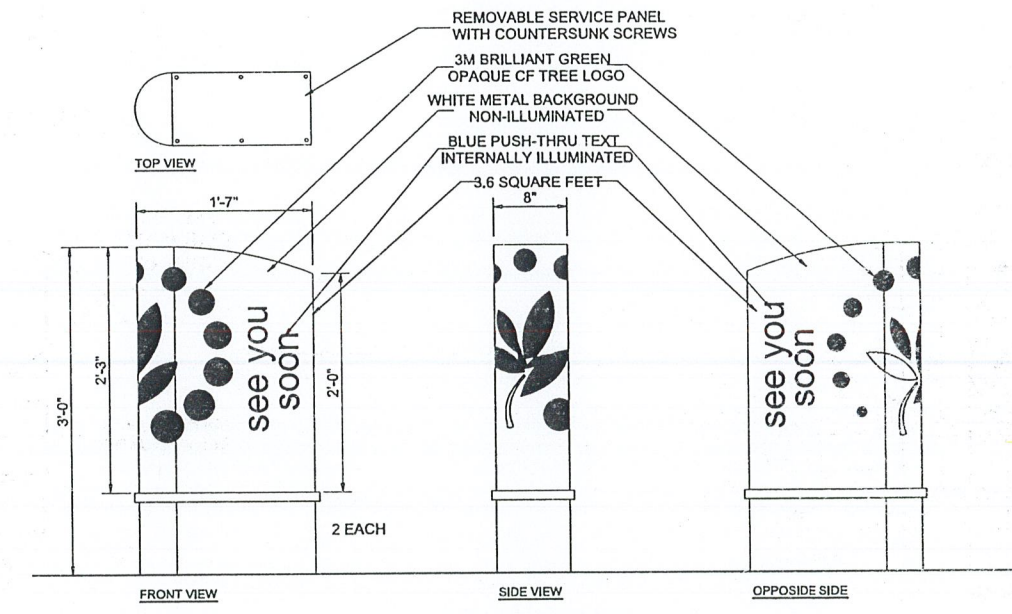
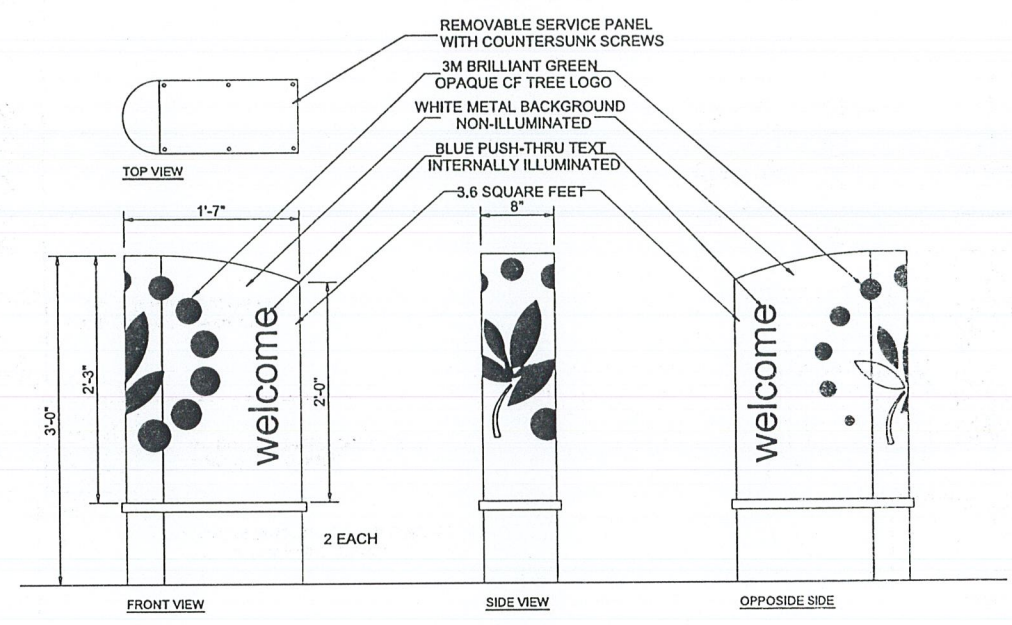
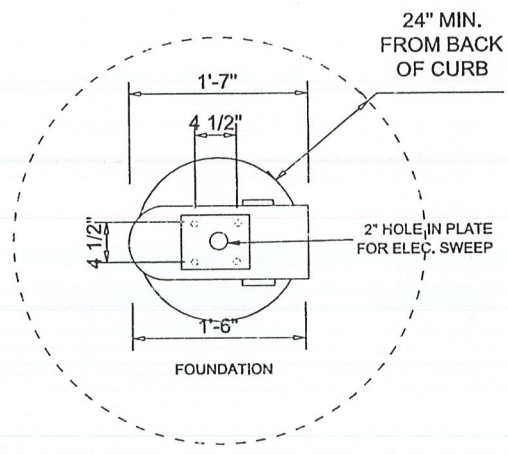
Page
CFG13.1

CITY CLERKS OFFICE
NEW BEDFORD, MA

2018 NOV 16 A 11:17



NEW CONCRETE FOOTING



DIRECTIONAL SIGN DETAILS

| REVISIONS | | | V# NEW | 2804 & 2814 ACUSHNET AVENUE | |
|-----------|----------|-------------|------------------|-----------------------------|--|
| DATE | REV. BY. | DESCRIPTION | STORE# NEW | | |
| | | | GAS STATION# NEW | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |

Cumberland
CUMBERLAND FARMS, INC.
185 Fairview Road
Westborough, MASSACHUSETTS 01581

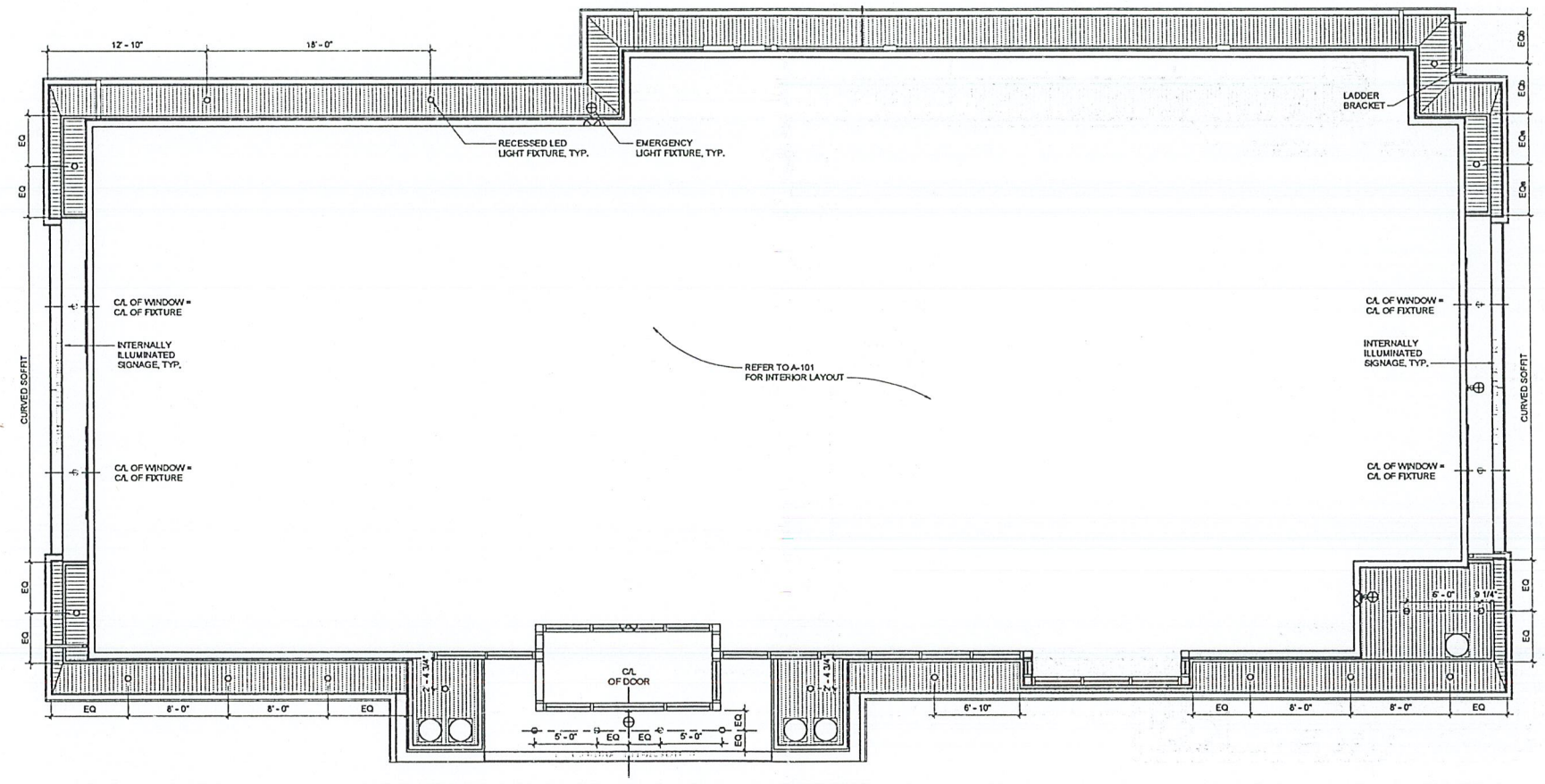
SCALE: 1/2" = 1'-0"
DATE: 11/07/18
FILE: 17-1134
DRAWN BY:
CHECKED BY:

DIRECTIONAL SIGN DETAILS CFG 13.2

CITY CLERKS OFFICE
NEW BEDFORD, MA

2018 NOV 16 A 11:17

CITY CLERK



1 REFLECTED CEILING PLAN - SD
3/16" = 1'-0"

HFA
HARRISON FRENCH & ASSOCIATES, LTD.
1 568 528 0770
31 Hayward Street
Franklin, Massachusetts 02038
www.hfa-ae.com

STIPULATION FOR REUSE
THIS DOCUMENT IS THE PROPERTY OF HARRISON FRENCH & ASSOCIATES, LTD. (HFA) AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF HFA. ANY REUSE OF THIS DOCUMENT FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF HFA IS STRICTLY PROHIBITED.

Cumberland
ARCHITECTS
2880 ACUSHNET AVENUE
NEW BEDFORD, MA 02745
PHONE: 508-451-1400
FAX: 508-451-1401
WWW.CUMBERLANDARCHITECTS.COM

ISSUE BLOCK

| | |
|---------|----------|
| 75% Set | 10/18/18 |
| 75% Set | 11/07/18 |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

CHECKED BY: MV
DRAWN BY: JRR

EXTERIOR REFLECTED CEILING PLAN

SHEET: A-130

11/20/18 11:16 AM
C:\Users\jrr\Documents\2018 New Bedford City Clerks Office\11-20-18 New Bedford City Clerks Office\REFLECTED CEILING PLAN

CITY CLERKS OFFICE
NEW BEDFORD, MA

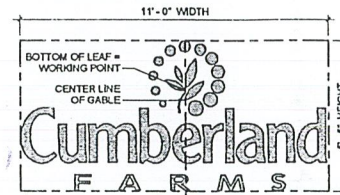
2018 NOV 16 A 11:17

CITY CLERK

WALL SIGNAGE SPECIFICATION

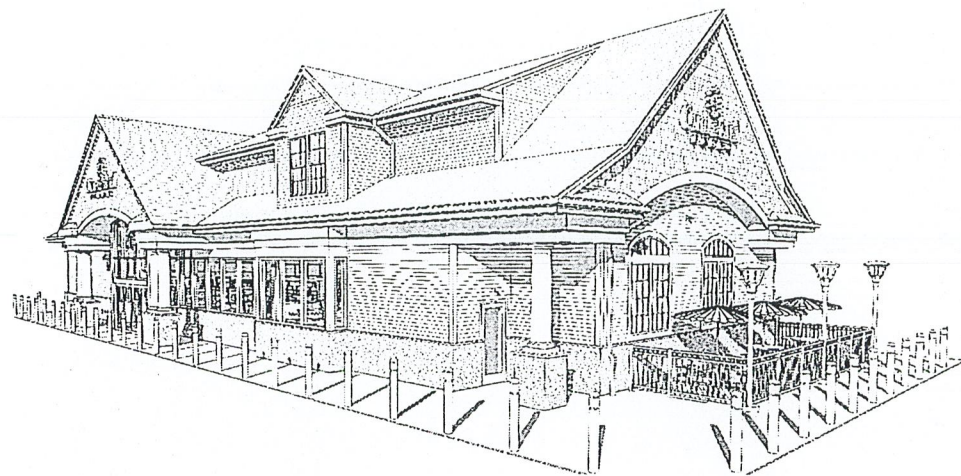
CUSTOM FABRICATED INTERNALLY
& ILLUMINATED SIGN THAT IS SUPPLIED BY
OWNER AND IS INSTALLED BY SIGN VENDOR.

SIGN AREA = 37.6 SF

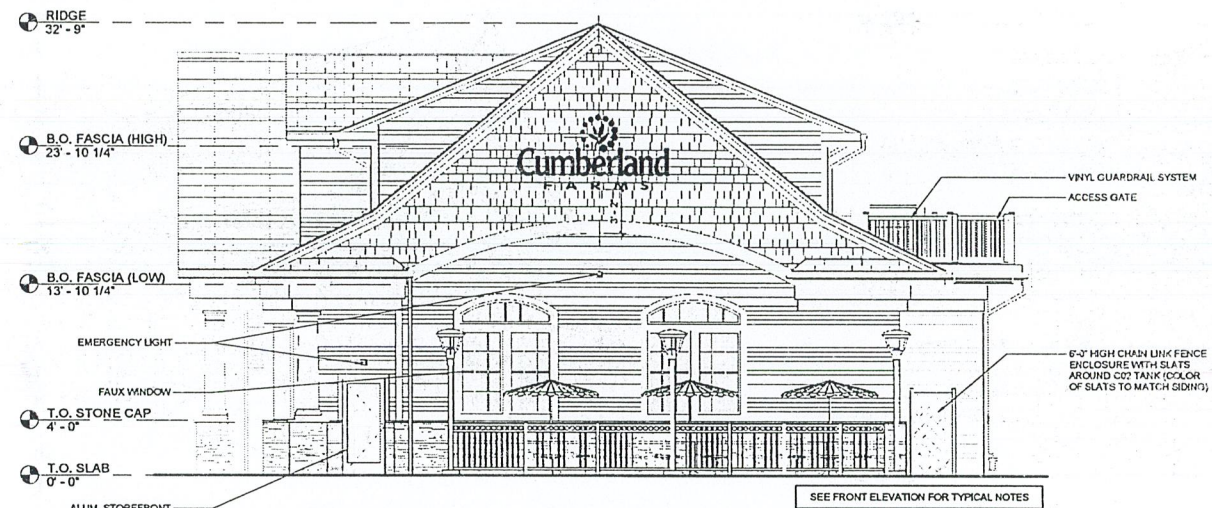


EXTERIOR FINISH SCHEDULE

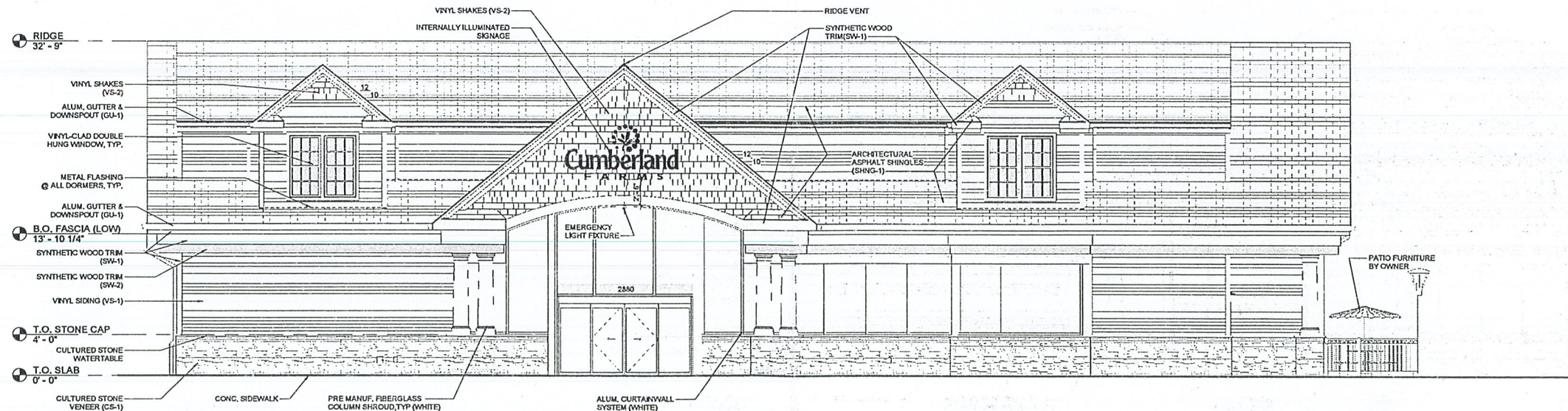
| MARK | DESCRIP. | MANUF. | MODEL | COLOR | NOTES |
|--------|--------------------------------|-----------------|------------------------|------------------|--|
| CS-1 | CULTURED STONE VENEER | BOPAL | COUNTRY LEDGESTONE | ECHO RIDGE | INSTALL DRYSTACK ONLY |
| FB-1 | FIBERGLASS COLUMN SHROUD | PACIFIC COLUMNS | - | WHITE | 16\"/> |
| SHNG-1 | ARCHITECTURAL ASPHALT SHINGLES | CERTAINTED | LANDMARK | COBBLESTONE GRAY | 30 YEAR WARRANTY |
| GU-1 | ALUMINUM GUTTER SYSTEM | ATAS | .032 | WHITE | PROVIDE ALL ACCESSORIES REQD FOR A COMPLETE CONTINUOUS INSTALLATION. INSTALL PER MANUF. INSTRUCTIONS. ENSURE SEALED, WATERTIGHT CORNER CONNECTIONS. FLASH SEAL TO DOWNSPOUTS AS REQD. PROVIDE SUPPORT STIFFENERS AT 12\"/> |
| SW-1 | SYNTHETIC WOOD TRIM | CERTAINTED | - | WHITE | PROVIDE SCARF JOINTS ON ALL EXTERIOR SYNTHETIC WOOD TRIM. G.C. TO PUTTY ALL NAIL HOLES & PAINT ALL SYNTHETIC WOOD TRIM & PANELS. |
| SW-2 | SYNTHETIC WOOD TRIM | CERTAINTED | - | GREEN | PROVIDE SCARF JOINTS ON ALL EXTERIOR SYNTHETIC WOOD TRIM. G.C. TO PUTTY ALL NAIL HOLES & PAINT ALL SYNTHETIC WOOD TRIM & PANELS. |
| VS-1 | VINYL SIDING | CERTAINTED | MONOGRAM 46L DOUBLE 4" | HERRINGBONE | ROUGH CEDAR FINISH. PROVIDE ALL REQD ACCESSORIES & TRIM FOR A COMPLETE INSTALLATION. |
| VS-2 | VINYL SHAKES | CERTAINTED | NORTHWOODS | SAVANNAH WICKER | ROUGH CEDAR FINISH. PROVIDE ALL REQD ACCESSORIES & TRIM FOR A COMPLETE INSTALLATION. |



3 FRONT PERSPECTIVE - SD



2 RIGHT SIDE ELEVATION - SD



1 FRONT ELEVATION - SD



HARRISON FRENCH & ASSOCIATES, LTD.

1 508 528 0770

31 Hayward Street
Framlingham, Massachusetts 02038
www.hfa.se.com

STIPULATION FOR REUSE
THIS DRAWING IS THE PROPERTY OF HFA & IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF HFA. HFA ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS DRAWING.



Store # TBD
2880 ACUSHNET AVENUE
NEW BEDFORD, MA 02745
JOB NUMBER: 4-18-18-00290

ISSUE BLOCK

| | |
|----------|----------|
| 175% Set | 10/18/18 |
| 175% Set | 11/07/18 |
| | |
| | |
| | |

CHECKED BY: MV
DRAWN BY: JRR

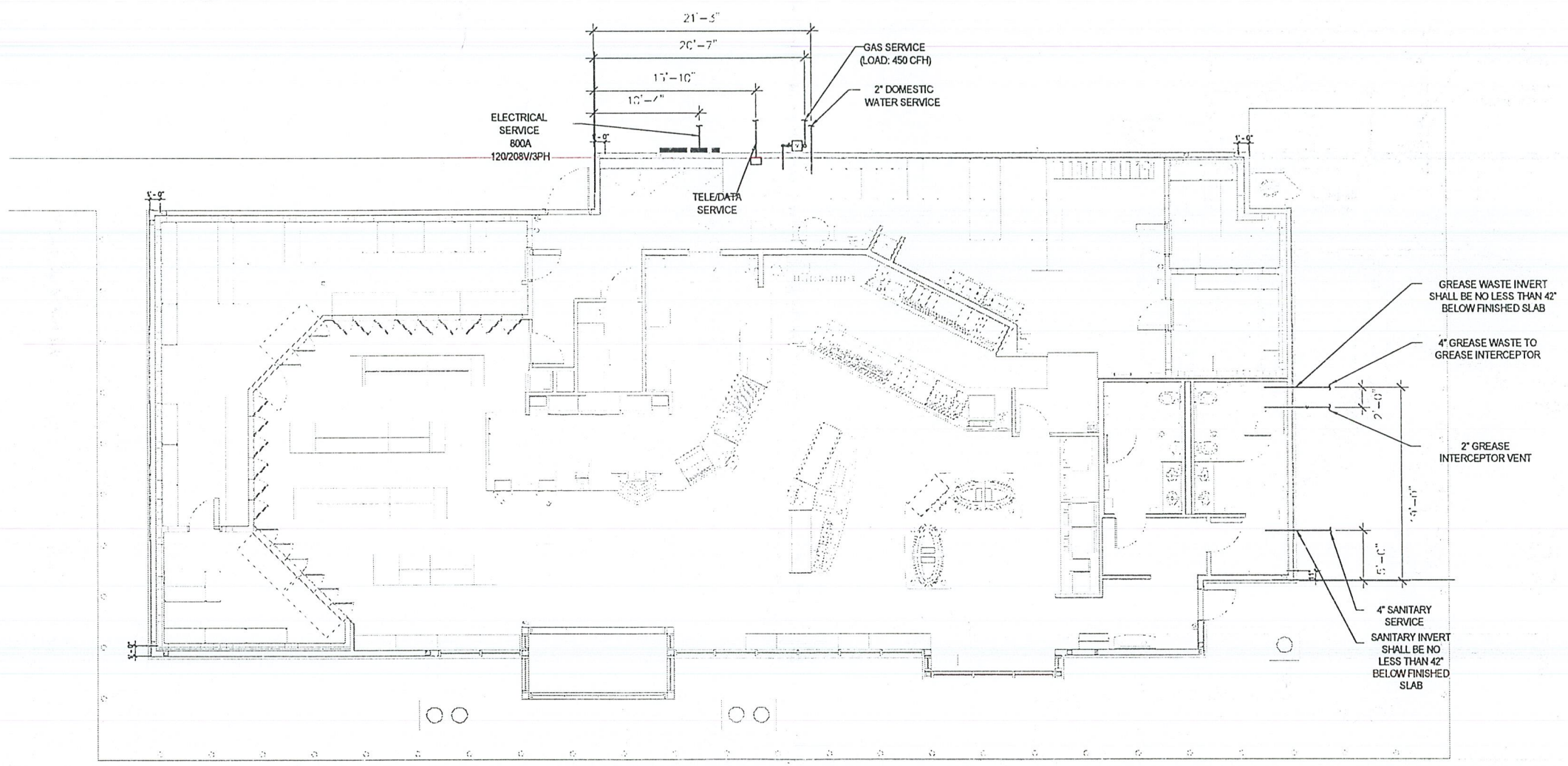
EXTERIOR ELEVATIONS

SHEET: A-200

CITY CLERKS OFFICE
NEW BEDFORD, MA

2018 NOV 16 A 11:18

CITY CLERK



1 UTILITY COORDINATION - SD
3/16" = 1'-0"

HFA
HARRISON FRENCH & ASSOCIATES, LTD.
1 508.528.0770
31 Hayward Street
Framlingham, Massachusetts 02038
www.hfa-ae.com

STIPULATION FOR REUSE
THIS DRAWING IS THE PROPERTY OF HARRISON FRENCH & ASSOCIATES, LTD. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF HARRISON FRENCH & ASSOCIATES, LTD.

Cumberland
F A E M S
Store # TBD
OSH # TBD
2880 ACUSHNET AVENUE
NEW BEDFORD, MA 02745
JOB NUMBER: 41-164298

| ISSUE BLOCK | |
|-------------|----------|
| 75% Set | 10/18/18 |
| 75% Set | 11/07/18 |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

CHECKED BY: MV
DRAWN BY: JRR

UTILITY COORDINATION

SHEET: X-101

2/19/19 11:17:20 AM
 C:\Users\jrr\OneDrive\Documents\2018\New Bedford\City Clerks Office\Utility Coordination.dwg
 2018/11/16 11:18 AM

CITY CLERKS OFFICE
NEW BEDFORD, MA

2018 NOV 16 A 11:18

CITY CLERK

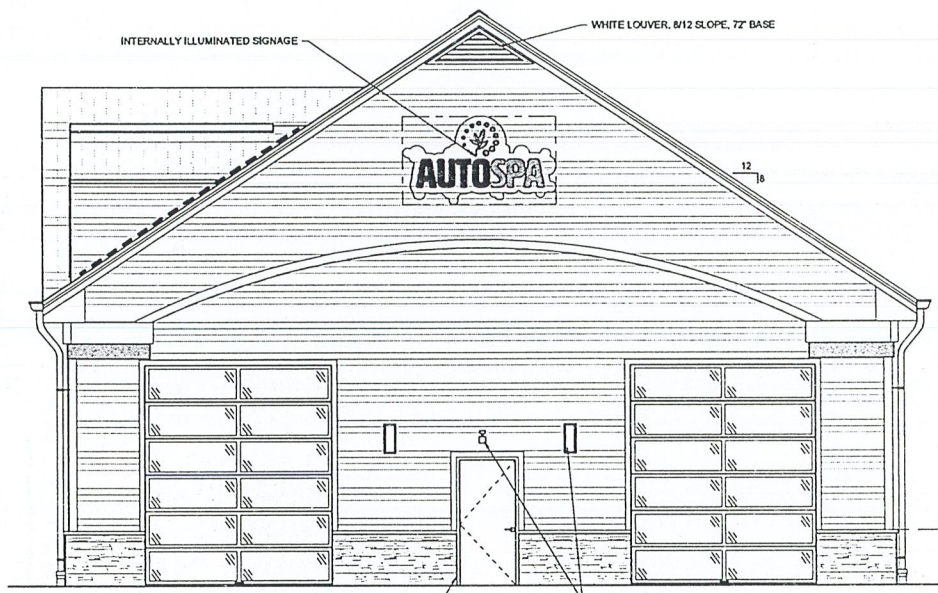
CUSTOM FABRICATED
INTERNALLY ILLUMINATED SIGN BOX
SUPPLIED BY OWNER - INSTALLED BY SIGN VENDOR
SIGN AREA = 36.4 SQ.FT



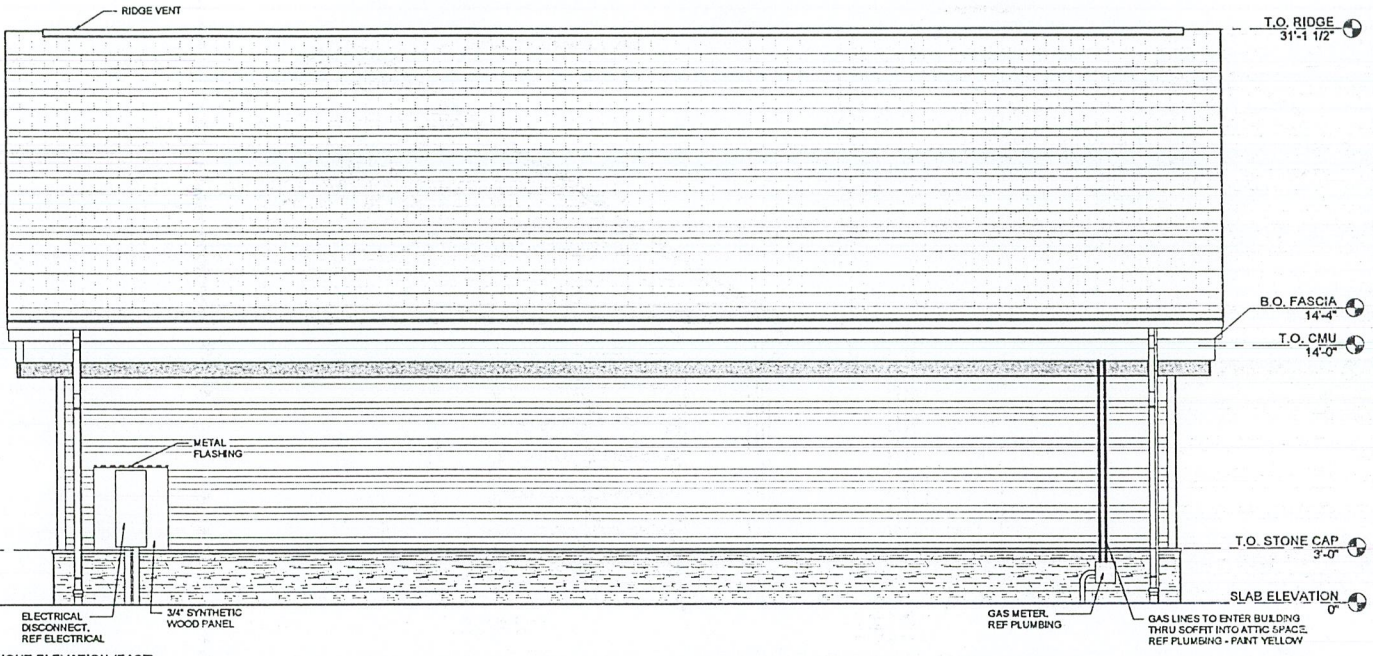
5 SIGNAGE - SD
1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

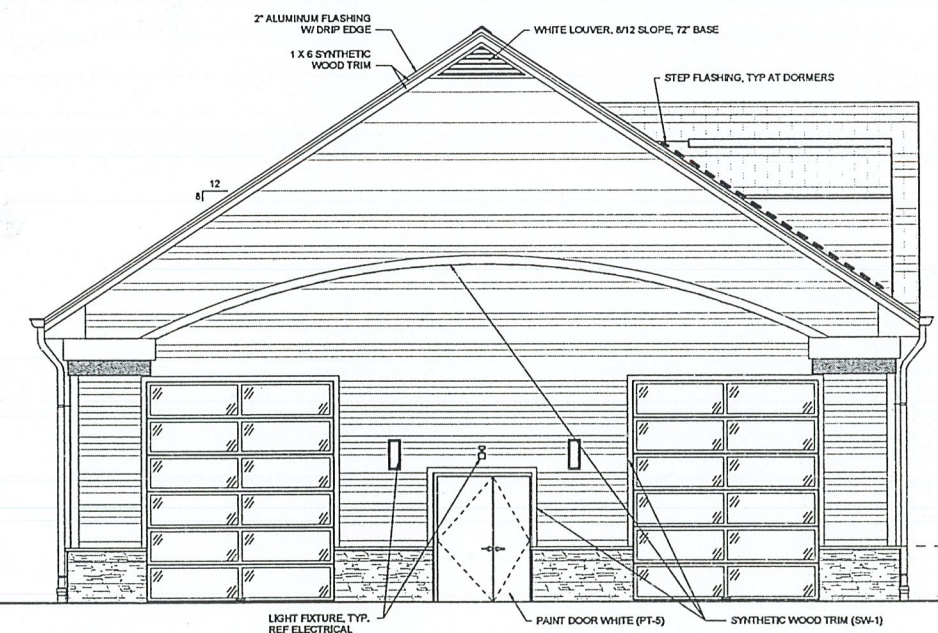
| ANNO # | DESCRIPTION | MANUFACTURER | MODEL | COLOR | NOTES |
|--------|------------------------------|---------------------|---|------------------------|---|
| SW-1 | SYNTHETIC WOOD TRIM & FASCIA | CERTAINTED | - | PT-5 | PROVIDE SCARF JOINTS ON ALL EXTERIOR SYNTHETIC WOOD TRIM. GC TO PUTTY ALL NAIL HOLES & PAINT ALL SYNTHETIC WOOD TRIM & PANELS. |
| SW-2 | SYNTHETIC WOOD TRIM | CERTAINTED | - | PT-7 | PROVIDE SCARF JOINTS ON ALL EXTERIOR SYNTHETIC WOOD TRIM. GC TO PUTTY ALL NAIL HOLES & PAINT ALL SYNTHETIC WOOD TRIM & PANELS. |
| VS-1 | VINYL CLAPBOARD SIDING | CERTAINTED | MONOGRAM 45 DOUBLE 4" | HERRINGBONE | ROUGH CEDAR FINISH. PROVIDE ALL REQD ACCESSORIES AND TRIM FOR A COMPLETE INSTALLATION. |
| CS-1 | CULTURED STONE | BORAL | COUNTRY LEDGESTONE | ECHO RIDGE | INSTALL DRYSTCK ONLY |
| SHNG-1 | ARCH. ASPHALT SHINGLES | CERTAINTED LANDMARK | LANDMARK | COBLESTONE GRAY | 30 YEAR WARRANTY |
| GU-1 | ALUM. GUTTER SYSTEM | ATAS | .032 | WHITE | PROVIDE ALL ACCESSORIES REQD FOR A COMPLETE CONTINUOUS INSTALLATION. INSTALL PER MFG INSTRUCTIONS. ENSURE SEALED, WATERIGHT CORNER CONNECTORS. FLASH & SEAL TO DOWNSPOUTS AS REQD. PROVIDE SUPPORT STIFFENERS AT MIN. 12" O.C. GUTTER SHALL BE SEAMLESS AND MIN. 6" |
| PT-5 | PAINT (EXTERIOR) | SHERWIN WILLIAMS | - | SW #7006 "EXTRA WHITE" | AB2 SERIES/100 SATIN FINISH (FOR PLASTIC, CMU, & WD SURFACES) |
| PT-7 | PAINT (EXTERIOR) | SHERWIN WILLIAMS | RESILIENCE EXTERIOR ACRYLIC LATEX PAINT PRODUCT #44357 (YELLOW BASE) SATIN FINISH | SEE NOTES | FORMULA: M WHITE - 32 64 128 O2 NEW GREEN - 40 1 - Y3 DEEP GOLD - 20 - 1 |
| VP-1 | VINYL SOFFIT PANELS | CERTAINTED | VALUE TRIPLE 4" | COLONIAL WHITE | CENTER VENTED |



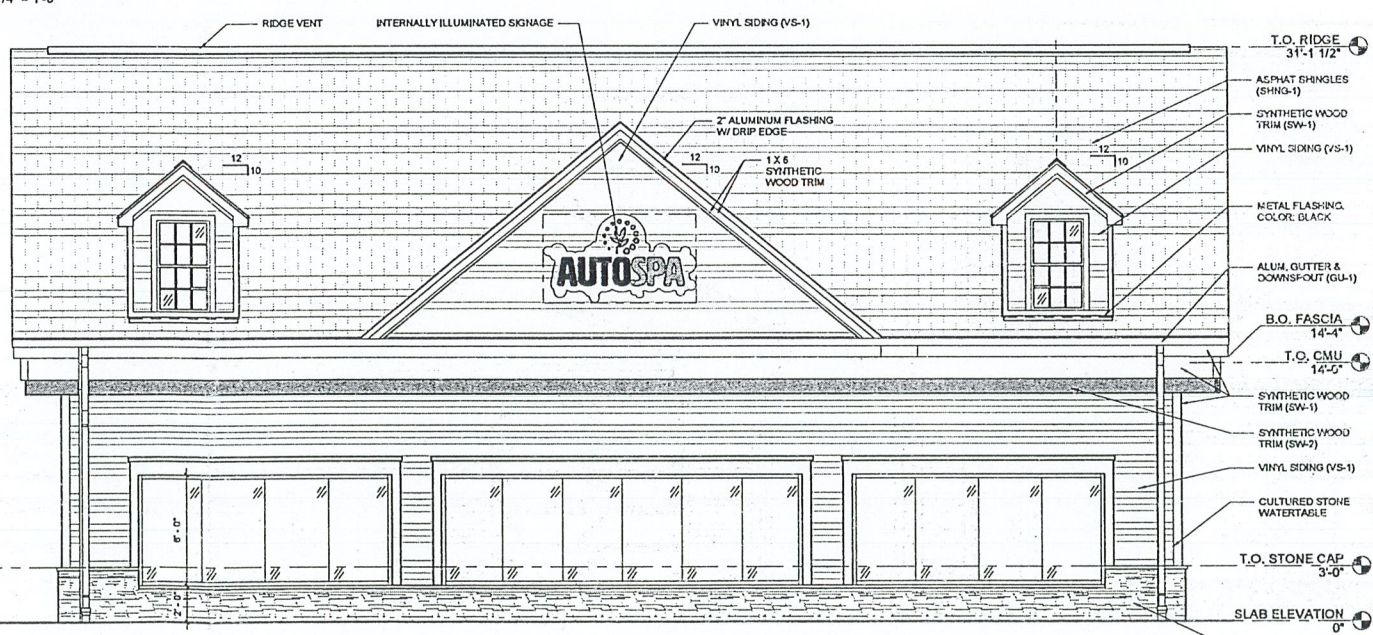
4 REAR ELEVATION (SOUTH)
1/4" = 1'-0"



3 RIGHT ELEVATION (EAST)
1/4" = 1'-0"



2 FRONT ELEVATION (NORTH)
1/4" = 1'-0"



1 LEFT ELEVATION (WEST) - SD
1/4" = 1'-0"

HFA
Creative Solutions
Interior/Exterior
HARRISON FRENCH
& ASSOCIATES, LTD.
1 508.528.0770
31 Hayward Street
Freetown, Massachusetts 02038
www.hfa-ar.com

STIPULATION FOR REUSE
THIS DOCUMENT IS THE PROPERTY OF HARRISON FRENCH & ASSOCIATES, LTD. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF HARRISON FRENCH & ASSOCIATES, LTD.

Cumberland
F A R M S
2880 ACUSHNET AVENUE
NEW BEDFORD, MA 02745
JOB NUMBER: 41-18-0250

ISSUE BLOCK

| | |
|---------|----------|
| 75% Set | 10/18/18 |
| 75% Set | 11/07/18 |

CHECKED BY: MV
DRAWN BY: JRR

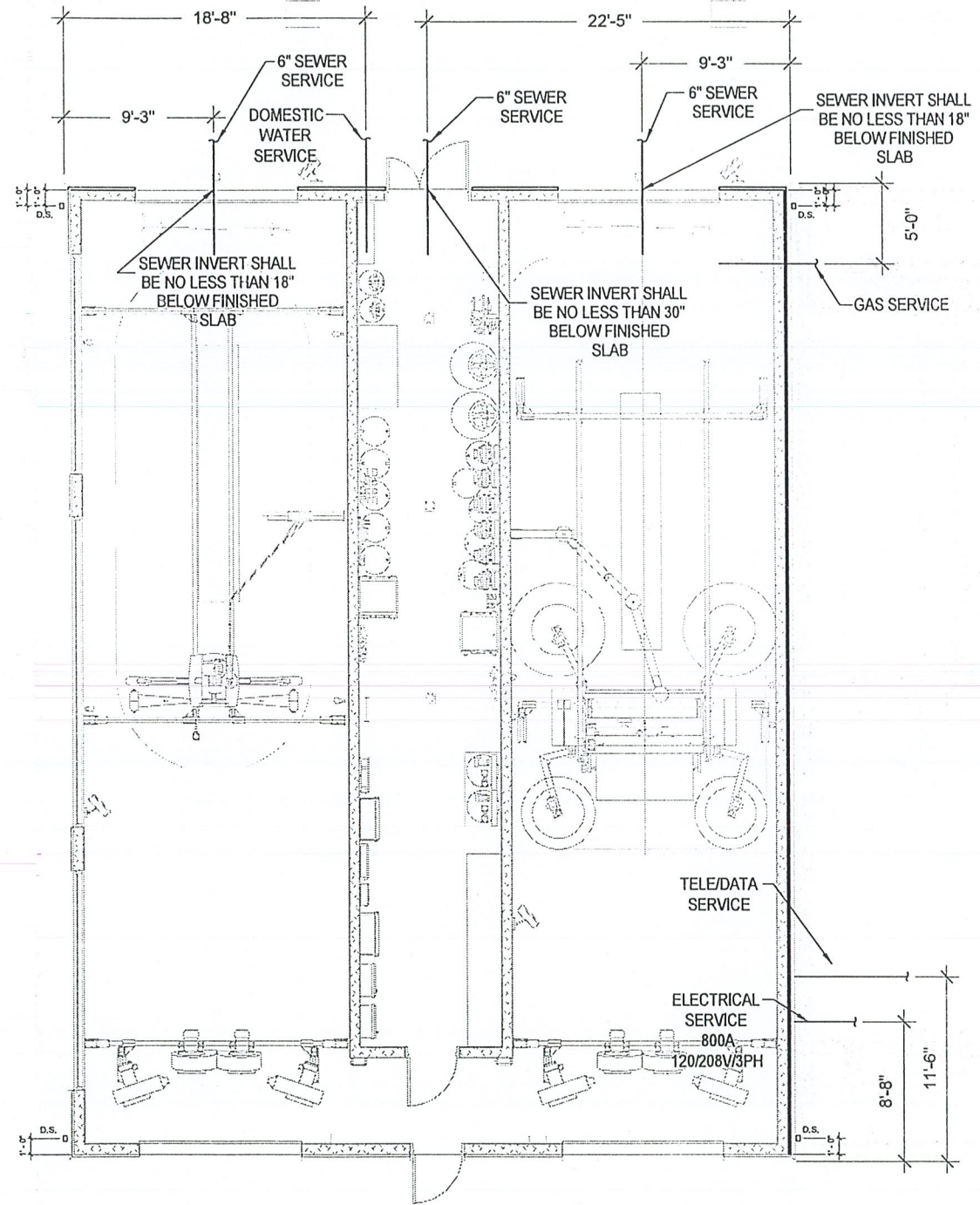
EXTERIOR ELEVATIONS

SHEET:
CW-A-200

CITY CLERKS OFFICE
NEW BEDFORD, MA

2018 NOV 16 A 11:18

CITY CLERK



① FLOOR PLAN
1/4" = 1'-0"

HFA
Creative Solutions
Meaningful Water
HARRISON FRENCH
& ASSOCIATES, L.P.C.
1 568.528.0770
31 Hayward Street
Franklin, Massachusetts 02038
www.hfa-ae.com

STIPULATION FOR REUSE
THIS DRAWING IS THE PROPERTY OF HFA AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF HFA.

Cumberland
F A R M S
2850 ACUSHNET AVENUE
NEW BEDFORD, MA 02745
JOB NUMBER: 11-150790

| ISSUE BLOCK | |
|-------------|----------|
| 75% Set | 10/18/18 |
| 75% Set | 11/07/18 |
| | |
| | |
| | |
| | |
| | |
| | |

CHECKED BY: NV
DRAWN BY: JRR

UTILITY
COORDINATION
PLAN

SHEET:
CW-X-101

11/16/18 11:22 AM
C:\Users\jrr\Documents\2018 New Bedford City Clerk's Office\11-150790\11-150790-101.dwg
PLN-UTILITY COORDINATION PLAN