

IX. HOMEOWNER LICENSE EXEMPTION**Supplement #1**

The current exemption for "homeowner" was extended to include owner-occupied dwellings of two units or less and to allow such homeowners to engage an individual for hire who does not possess a license, provided that the owner acts as supervisor. (State Building Code Section 110.5)

DEFINITION OF HOMEOWNER:

Person(s) who own a parcel of land on which he/she resides or intends to reside, on which there is, or is intended to be, a one to two family dwelling, attached or detached structures accessory to such use and /or farm structures. A person who constructs more than one home in a two-year period shall not be considered a homeowner. Such "homeowner shall submit to the Building Official, on a form acceptable to the Building Official, that he/she shall be responsible for all such work performed under the building permit. (Section 110.5)

The undersigned "homeowner assumes responsibility for compliance with the State Building Code and other applicable codes, ordinance, rules and regulations, and will comply with the City of New Bedford Building Department minimum inspection procedures and requirements.

HOMEOWNERS SIGNATURE _____

X. CONSTRUCTION DEBRIS DISPOSAL**Supplement #2**

In accordance with provisions of Massachusetts General Law C40, S54, debris resulting from this work shall be disposed of in a properly licensed solid waste disposal facility as defined by Massachusetts General Law C41, S 150A

The debris will be disposed of in:

Dumpster @ Signature Signs 833 American Legion Highway Westport Ma.
(Location of Facility)

Signature of Permit Applicant _____

Date _____

XI. HOME IMPROVEMENT CONTRACTOR LAW AFFIDAVIT

(Residential Use Only) Supplement to Permit Application

Supplement #3

MGLC 142 A requires that the "reconstruction, alteration, renovation, repair, modernization, conversion, improvement, removal, demolition, or construction of an addition to any pre-existing owner-occupied building containing at least one but not more than four dwelling units... or to structures which are adjacent to such residence of building" be conducted by registered contractors, with certain exceptions, along with other requirements.

Type of Work:

SIGN INSTALLATION

Est. Cost

\$ 775

Address of Work:

319 A UNION STREET

Owner Name:

JASGAN LLC

Date of Permit Application:

10/1/18

I hereby certify that: Registration is not required for the following reason(s):

☒ Work excluded by law

☐ Job under \$1,000

☐ Building not owner-occupied

☐ Owner obtaining own permit

Other (specify) _____

Notice is hereby given that:

OWNERS OBTAINING THEIR OWN PERMIT OR EMPLOYING UNREGISTERED CONTRACTORS FOR APPLICABLE HOME IMPROVEMENT WORK DO NOT HAVE ACCESS TO THE ARBITRATION PROGRAM OF GUARANTY FUND UNDER MGLC. 142A.

signed under penalties of perjury:

I hereby apply for a permit as the agent of the owner:

10/1/2018

Contractor Signature

SIGNATURE
SIGNS

Registration No. _____

Date

OR:

Notwithstanding the above notice, I hereby apply for a permit as the owner of the above property:

Date

Owner Signature

XII. BUILDING COMMISSIONERS REVIEW COMMENTS AND CONDITIONS

C. Building Permit Rejected

☒ Site Plan Review - Ground Sign
Planning Board
See Attachments

Fee

Reason For Rejection:

Permit #

Comments and Conditions:

Signed

Danny P. Romanowicz

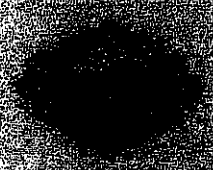
Date: 10/4

2018

Title

Building Commissioner

Not valid unless signed (not stamped) by Building Commissioner



City of San Francisco
Department of Public Works
Office of the City Engineer
101 California Street, Suite 100
San Francisco, CA 94111
Tel: (415) 331-3131

RECEIVED
PLANNING DEPT USE
DATE: 1/20/18
BY: [Signature]

IMPROVEMENT - COMPLETED ALL ITEMS - MAIN WORKS BEING APPLICABLE - PRINT

Permit No. 11
Completion Date

LOCATION: 319 A Union St (Serving to Health)
BETWEEN: [Blank]
PLOT: S2 LOT: S51 ADJACENT: EUB3
PLANS FILED: ☐ YES ☐ NO
REGISTERED STREET: [Blank]

H. TYPE AND COST OF BUILDING - all applicants complete parts A through D - PRINT

A. TYPE OF IMPROVEMENT 1. <input type="checkbox"/> New Building 2. <input type="checkbox"/> Addition of new building, same number of units, not exceeding 10% of total area of lot (see Part D, 11) 3. <input type="checkbox"/> Alteration of existing building, same number of units, not exceeding 10% of total area of lot (see Part D, 11) 4. <input type="checkbox"/> Repair, replacement 5. <input type="checkbox"/> Demolition of existing building, same number of units, not exceeding 10% of total area of lot (see Part D, 11) 6. <input type="checkbox"/> Moving (relocation) 7. <input type="checkbox"/> Foundation only SIGNS		B. OWNERSHIP 8. <input type="checkbox"/> Private (individual, corporation, nonprofit institution, etc.) 9. <input type="checkbox"/> Public (Federal, State, or local government)	
C. COST 10. Cost of construction to be installed but not included in the above cost: a. Electrical b. Plumbing c. Heating, air conditioning d. Other (elevator, etc.) 11. TOTAL VALUE OF CONSTRUCTION \$775 12. TOTAL ASSESSED BLDG. VALUE		D. USE OF BUILDING 13. <input type="checkbox"/> YES <input type="checkbox"/> NO If yes complete the following: Name & Address of Applicant: [Blank] 14. <input type="checkbox"/> YES <input type="checkbox"/> NO If yes complete the following: Name & Address of Applicant: [Blank] 15. <input type="checkbox"/> YES <input type="checkbox"/> NO If yes complete the following: Name & Address of Applicant: [Blank] 16. <input type="checkbox"/> YES <input type="checkbox"/> NO If yes complete the following: Name & Address of Applicant: [Blank] 17. <input type="checkbox"/> YES <input type="checkbox"/> NO If yes complete the following: Name & Address of Applicant: [Blank] 18. <input type="checkbox"/> YES <input type="checkbox"/> NO If yes complete the following: Name & Address of Applicant: [Blank] 19. <input type="checkbox"/> YES <input type="checkbox"/> NO If yes complete the following: Name & Address of Applicant: [Blank] 20. <input type="checkbox"/> YES <input type="checkbox"/> NO If yes complete the 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III. SELECTED CHARACTERISTICS OF BUILDING - For new buildings complete parts E through I. For demolition, complete only parts G, H & I. For all other buildings, alterations, repair, moving, foundation, complete E through I.

E. PRINCIPAL TYPE OF FRAME 33. <input type="checkbox"/> Masonry (wall bearing) 34. <input type="checkbox"/> Wood frame 35. <input type="checkbox"/> Structural steel 36. <input type="checkbox"/> Reinforced concrete 37. <input type="checkbox"/> Other - Specify _____	G. TYPE OF SEWAGE DISPOSAL 43. <input type="checkbox"/> Public or private company 44. <input type="checkbox"/> Private (septic tank, etc.) H. TYPE OF WATER SUPPLY 45. <input type="checkbox"/> Public or private company 46. <input type="checkbox"/> Private (well, cistern)	I. DIMENSIONS 53. Number of stories 54. Height 55. Total square feet of floor area 56. Building length 57. Building width 58. Total sq. ft. of bldg. footprint 59. Front lot line width 60. Rear lot line width 61. Depth of lot 62. Total sq. ft. of lot size 63. % of lot occupied by bldg. (58-62) 64. Distance from lot line (front) 65. Distance from lot line (rear) 66. Distance from lot line (left) 67. Distance from lot line (right)
F. PRINCIPAL TYPE OF HEATING FUEL 38. <input type="checkbox"/> Gas 39. <input type="checkbox"/> Oil 40. <input type="checkbox"/> Electricity 41. <input type="checkbox"/> Coal 42. <input type="checkbox"/> Other - Specify _____	J. TYPE OF MECHANICAL 47. <input type="checkbox"/> YES <input type="checkbox"/> NO 48. <input type="checkbox"/> YES <input type="checkbox"/> NO 49. <input type="checkbox"/> YES <input type="checkbox"/> NO 50. <input type="checkbox"/> YES <input type="checkbox"/> NO 51. <input type="checkbox"/> YES <input type="checkbox"/> NO 52. <input type="checkbox"/> YES <input type="checkbox"/> NO	



CITY OF NEW BEDFORD
JONATHAN F. MITCHELL, MAYOR

DEPARTMENT OF INSPECTIONAL SERVICES
133 WILLIAM STREET - ROOM 308
NEW BEDFORD, MA 02740

New Bedford Comprehensive Zoning Code Review

Code of Ordinances – Chapter-9

319 A Union Street – PLOT: 52 – LOT: 257 – ZONED DISTRICT: MUB

Site Plan Review Required from the Planning Board

Zoning Code Review as follows:

Site Plan Review

❖ SECTIONS

- 5400 – Site Plan Review
- 5410 – Purpose
- 5420 – Applicability
 - 5427 – Commercial or industrial ground signs.
- 5430-5490B

5400. - SITE PLAN REVIEW.

5410. Purpose. The purpose of this Section is to provide for individual detailed review of development proposals which have an impact on the natural or built environment of the City in order to promote the health, safety and general welfare of the community; to ensure adequate parking, safe and accessible pedestrian and vehicular circulation; and to minimize traffic impact on City streets.

(Ord. of 12-23-03, § 1)

5420. Applicability. The following types of activities and uses require site plan review by the Planning Board:

5421. Any new industrial or commercial construction or expansion over two thousand (2,000) gross square feet or any new industrial or commercial construction or expansion requiring more than five (5) additional parking spaces;

5422. New multiple-family residential construction of three (3) or more units or expansion of existing multifamily residential structures resulting in the creation of one or more additional units.

5423. Any new construction or expansion of existing construction where a drive-thru window for any service including self-service is proposed; and any expansion of a structure presently containing a drive-thru; or any facility currently containing a drive-thru, at which the owner or operator of the drive-thru is altered or changed; or at which the drive-thru is closed for a period of 10 days or more and to be reopened.

5424. Any residential subdivision which is submitted under the subdivision control process;

5425. New industrial or commercial construction or additions less than two thousand (2,000) square feet if requiring a new curb cut or driveway or if substantially affecting existing internal circulation.

5426. Driveways in residential areas which require more than one new curb cut.

5427. Commercial or industrial ground signs.

(Ord. of 12-23-03, § 1; Ord. of 12-31-08, § 1)

5430. Procedures. Applicants for site plan approval shall submit seventeen (17) copies of the site plan to the Planning Board for distribution to City departments and commissions for their review. The Planning Board shall review and act upon the site plan, with such conditions as may be deemed appropriate and notify the applicant of its decision. In the event two (2) meetings have lapsed after the application for site plan approval is filed, without the Planning Board taking action on said site plan said Applicant may file a statement with the Board that the Board has received complete information in accordance with this Ordinance and has had adequate time to consider the Site Plan. Upon receiving said statement, the Planning Board shall act on said Site Plan at its next meeting, if said Board determines that the Board has, in fact, received complete information in accordance with this Ordinance. The decision of the Planning Board

shall be a vote of a majority of the members of the Planning Board and shall be in writing. No building permit, for activities requiring site plan approval, shall be issued by the Inspector of Buildings without the written approval of the site plan by the Planning Board.

5431. Application for Building Permit. An application for a building permit to perform work as set forth in Section 5410 available as of right shall be accompanied by an approved site plan.

5432. Application for Special Permit or Variance. An application for a special permit or a variance to perform work as set forth in Section 5420 shall be accompanied by an approved site plan; in the alternative, any special permit or variance granted for work set forth in Section 5420 shall contain the following condition and cause the same to be written on such special permit or variance:

The work described herein requires the approval of a site plan by the New Bedford Planning Board pursuant to Section 5400 of the Zoning Ordinance. Any conditions imposed in such site plan approval shall also be conditions of this special permit/variance.

5433. Where the Planning Board approves a site plan "with conditions", and said approved site plan accompanies a special permit or variance application to the Board of Appeals, the conditions imposed by the Planning Board shall be incorporated into the issuance, if any, of a special permit or variance by the Board of Appeals.

5434. Where the Planning Board serves as the special permit granting authority for proposed work, it shall consolidate its site plan review and special permit procedures.

5435. The applicant may request, and the Planning Board may grant by majority vote of its' membership, an extension of the time limits set forth herein.

5436. No deviation from an approved site plan shall be permitted without modification thereof.

5437. Site plan approval does not constitute a certification that the proposed plan conforms to applicable zoning regulations, wetland regulations and/or any other City, state or federal requirements that must be obtained prior to implementation the of elements of the site plan.

(Ord. of 12-23-03, § 1)

5440. Preparation of Plans. Applicants are invited to submit a pre-application sketch of the proposed project to the Planning Department and are encouraged to schedule a pre-submission meeting with the Planning Department. Site Plans shall be submitted on 24-inch by 36-inch sheets. Plans shall be prepared by a Registered Professional Engineer, Registered Land Surveyor, Architect, or Landscape Architect, as appropriate. Dimensions and scales shall be adequate to determine that all requirements are met and to make a complete analysis and evaluation of the proposal. All plans shall have a minimum scale of 1" = 40'.

(Ord. of 12-23-03, § 1)

contemplated for the property and a summary of the provisions of any ownership or maintenance thereof, identification of all land that will become common or public land, and any other evidence necessary to indicate compliance with this Ordinance.

5454. The site plan shall be accompanied by drainage calculations by a registered professional engineer as well as wetland delineations, if applicable. Storm drainage design must conform to City of New Bedford subdivision regulations.

5455. The Planning Board may require a DIS as set forth in Section 5300, above.

5456. Certification that the proposal is in compliance with the provisions, if applicable, of the Americans with Disabilities Act and the Massachusetts Architectural Barriers Board.

(Ord. of 12-23-03, § 1)

5460. Waivers. The Planning Board may, upon written request of the applicant, waive any of the submittal or technical requirements of Section 5430 and 5440 where the project involves relatively simple development plans.

(Ord. of 12-23-03, § 1)

5470. Approval. Site Plan approval shall be granted upon determination by the Planning Board that the plan meets the following objectives: The Planning Board may impose reasonable conditions at the expense of the applicant, including performance guarantees, to promote these objectives. Any new building construction or other site alteration shall provide adequate access to each structure for fire and service equipment and adequate provision for utilities and stormwater drainage consistent with the functional requirements of the Planning Board's Subdivision Rules and Regulations. New building construction or other site alteration shall be designed in the Site Plan, after considering the qualities of the specific location, the proposed land use, the design of building form, grading, egress points, and other aspects of the development, so as to:

5471. Minimize: the volume of cut and fill, the number of removed trees six-inch caliper or larger, the length of removed stone walls, the area of wetland vegetation displaced, the extent of stormwater flow increase from the site, soil erosion, and the threat of air and water pollution;

5472. Maximize: pedestrian and vehicular safety to and from the site;

5473. Minimize obstruction of scenic views from publicly accessible locations;

5474. Minimize visual intrusion by controlling the layout and visibility of parking, storage, or other outdoor service areas viewed from public ways or premises which are residentially used or zoned;

5475. Minimize glare from vehicle headlights and lighting fixtures;

5476. Minimize unreasonable departure from the character, materials, and scale of buildings in the vicinity, as viewed from public ways and places.

5477. Minimize contamination of groundwater from on-site wastewater disposal systems or operations on the premises involving the use, storage, handling, or containment of solid and liquid wastes and hazardous substances;

5478. Ensure compliance with the provisions of this Zoning Ordinance.

5479. Minimize damage to existing adjacent public ways.

5479A. Promote orderly and reasonable internal circulation within the site so as to protect public safety and not unreasonably interfere with access to a public way or circulation of traffic on a public way in general.

(Ord. of 12-23-03, § 1)

5480. **Lapse.** Site plan approval shall lapse after one year from the final approval if a substantial use in accordance with such approved plans has not commenced except for good cause. Such approval may, for good cause, be extended in writing by the Planning Board upon the written request of the applicant, within this one-year period.

(Ord. of 12-23-03, § 1)

5490. **Regulations.** The Planning Board may adopt and from time to time amend reasonable regulations for the administration of these Site Plan guidelines.

(Ord. of 12-23-03, § 1)

5490A. **Fee.** The Planning Board may, from time to time, adopt reasonable administrative fees and technical review fees for site plan review.

(Ord. of 12-23-03, § 1)

5490B. **Appeal.** Any person aggrieved by a decision of the Planning Board rendered pursuant to Section 5400 may appeal such decision to the Zoning Board of Appeals as provided in M.G.L.A. c. 40A, § 8.

(Ord. of 12-23-03, § 1)

Location: 319 A UNION ST

Parcel ID: 52 357

Zoning: MUB

Fiscal Year: 2018

Current Sales Information:

Sale Date:

08/20/2014

Sale Price:

\$133,000.00

Card No. 1 of 1

Current Owner Information:

JASGAR LLC

50 ANTHONY STREET

SOUTH DARTMOUTH , MA 02748

Legal Reference:

11152-256

Grantor:

ECONOMOS,STEVE "TRUSTEE"

This Parcel contains 0.07 acres of land mainly classified for assessment purposes as Mix Com-Res with a(n) MIXED USE style building, built about 1910, having Vinyl exterior, Rolled Composition roof cover and 2028 Square Feet, with 1 unit(s), 2 total room(s), 1 total bedroom(s) 1 total bath(s), 0 3/4 baths, and 1 total half bath (s).

Building Value:

68600

Land Value:

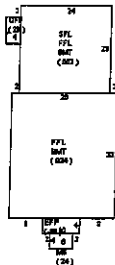
70300

Yard Items Value:

0

Total Value:

138900



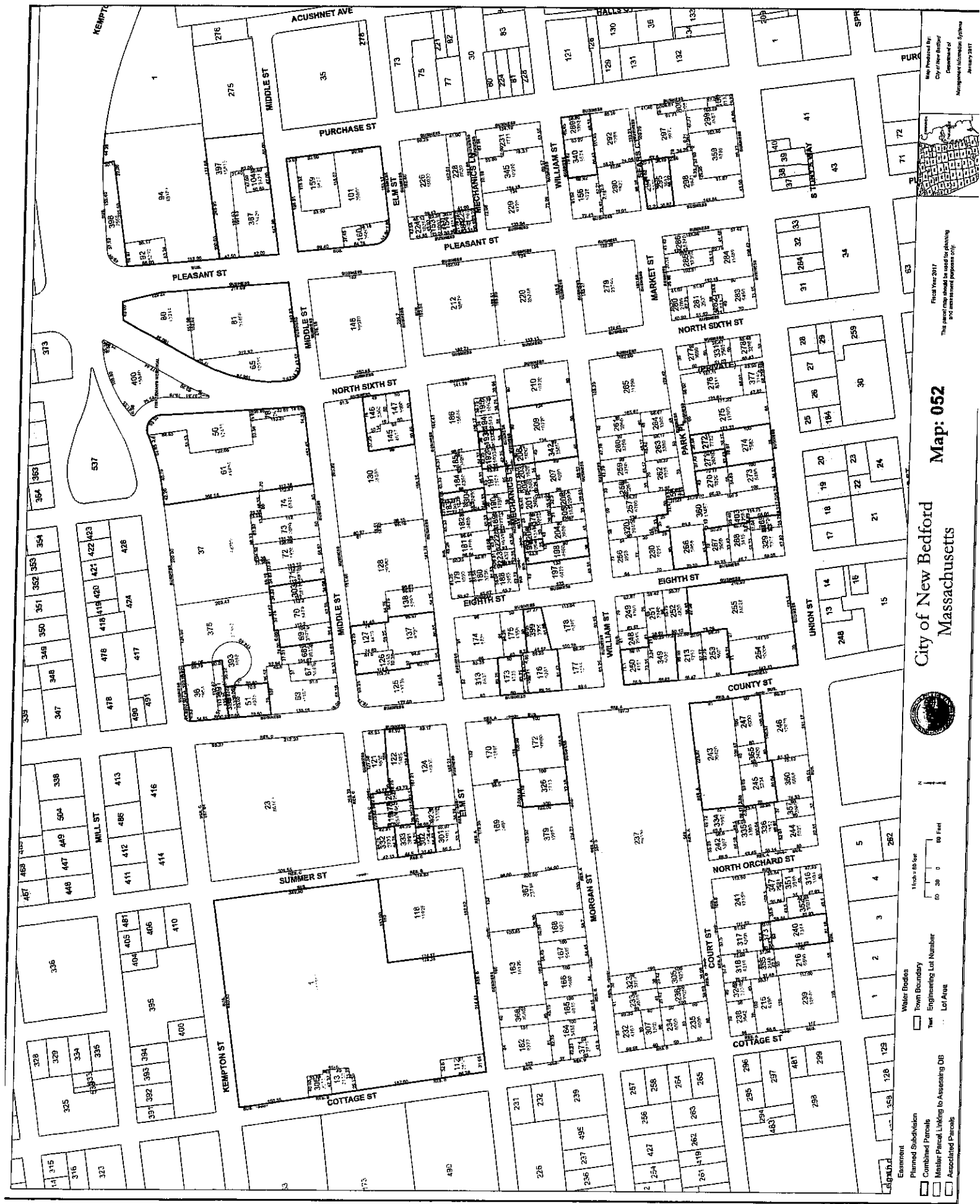
Fiscal Year 2018

Fiscal Year 2017

Fiscal Year 2016

Tax Rate Res.:	16.63	Tax Rate Res.:	16.69	Tax Rate Res.:	16.49
Tax Rate Com.:	35.65	Tax Rate Com.:	36.03	Tax Rate Com.:	35.83
Property Code:	031	Property Code:	031	Property Code:	031
Total Bldg Value:	68600	Total Bldg Value:	68600	Total Bldg Value:	69400
Total Yard Value:	0	Total Yard Value:	0	Total Yard Value:	0
Total Land Value:	70300	Total Land Value:	70300	Total Land Value:	70300
Total Value:	138900	Total Value:	138900	Total Value:	139700
Tax:	\$4,291.32	Tax:	\$4,332.99	Tax:	\$4,330.00

Disclaimer: Classification is not an indication of uses allowed under city zoning.
This information is believed to be correct but is subject to change and is not warranted.



City of New Bedford
Map: 052
Massachusetts



1 inch = 60 feet

Water Bodies

Town Boundary

Engineering Lot Number

Lot Area

1 2 3 4 5

123 124 125

126 127 128

129 130 131

132 133 134

135 136 137

138 139 140

141 142 143

144 145 146

147 148 149

150 151 152

153 154 155

156 157 158

159 160 161

162 163 164

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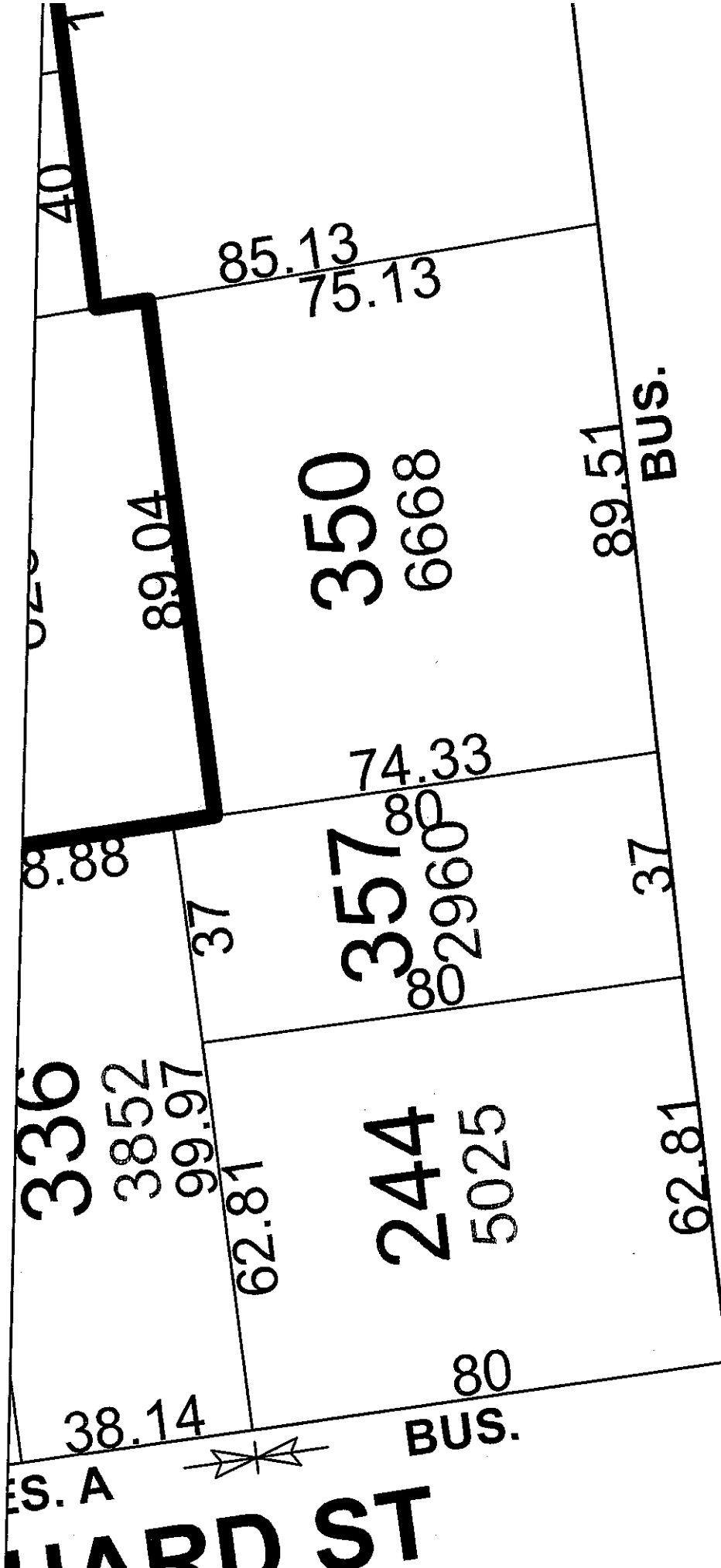
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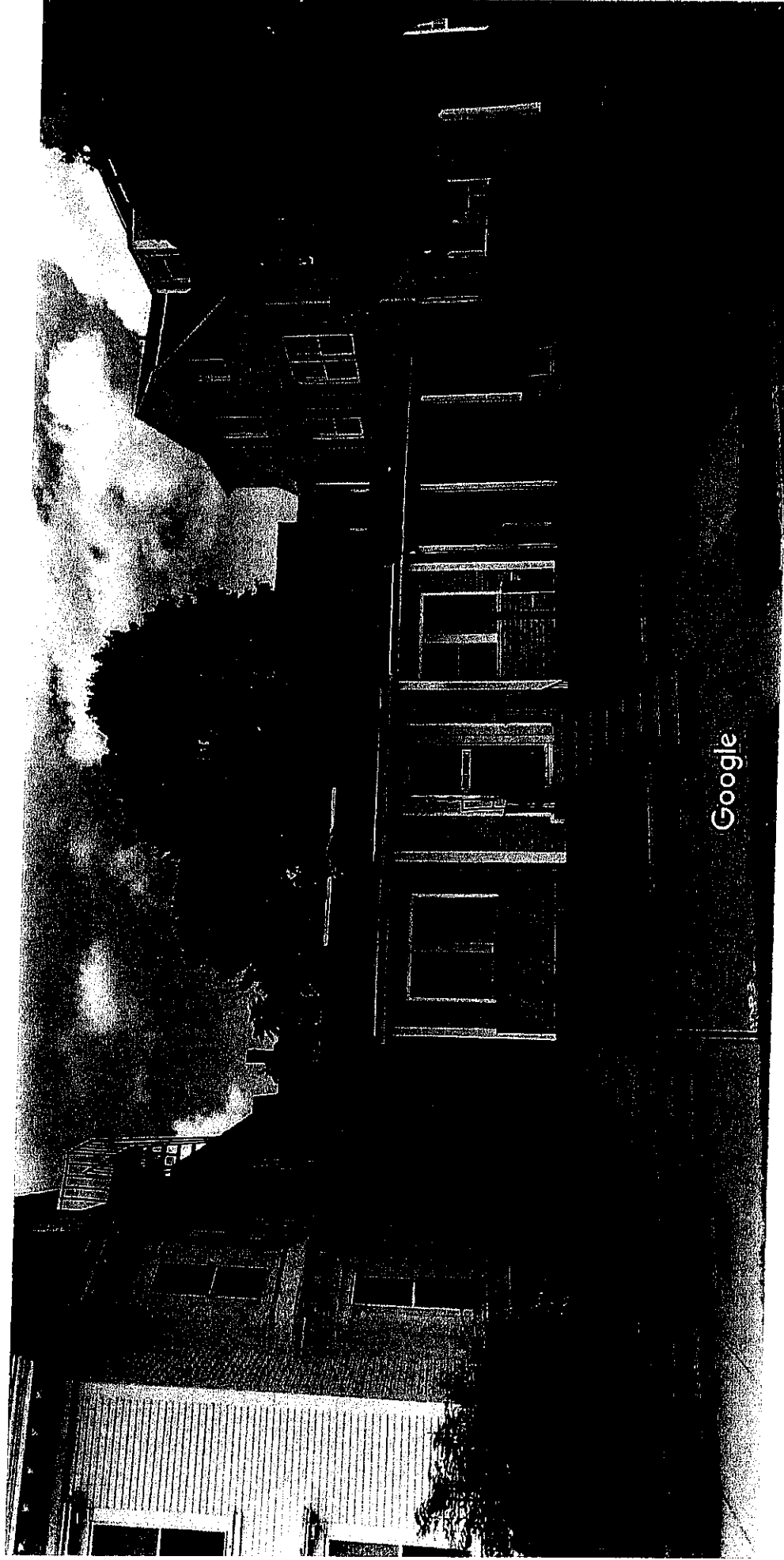
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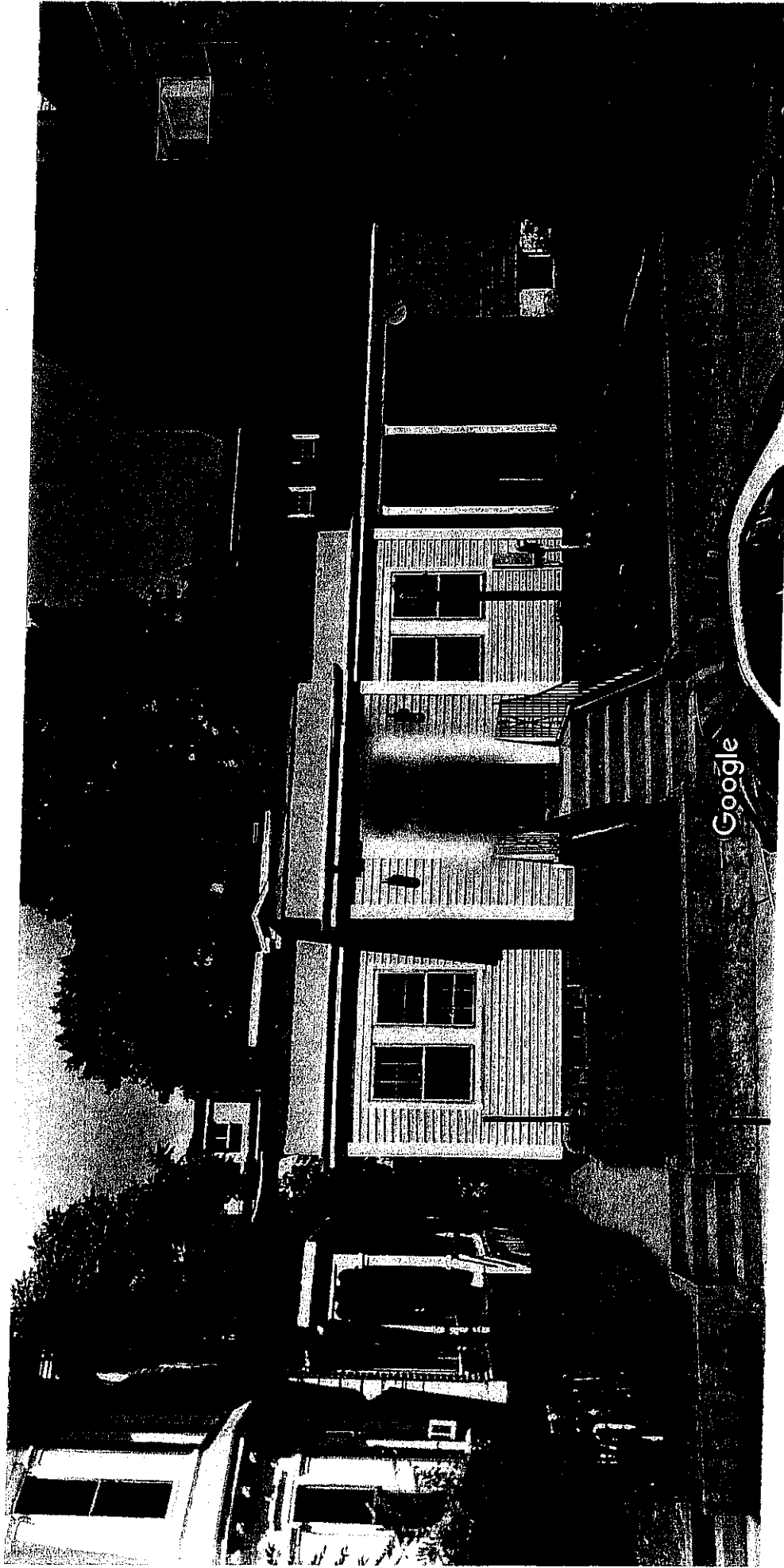


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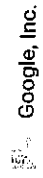
Google, Inc.

Street View - Aug 2017

Image capture: Aug 2017 © 2018 Google



New Bedford, Massachusetts



Street View - Sep 2012

