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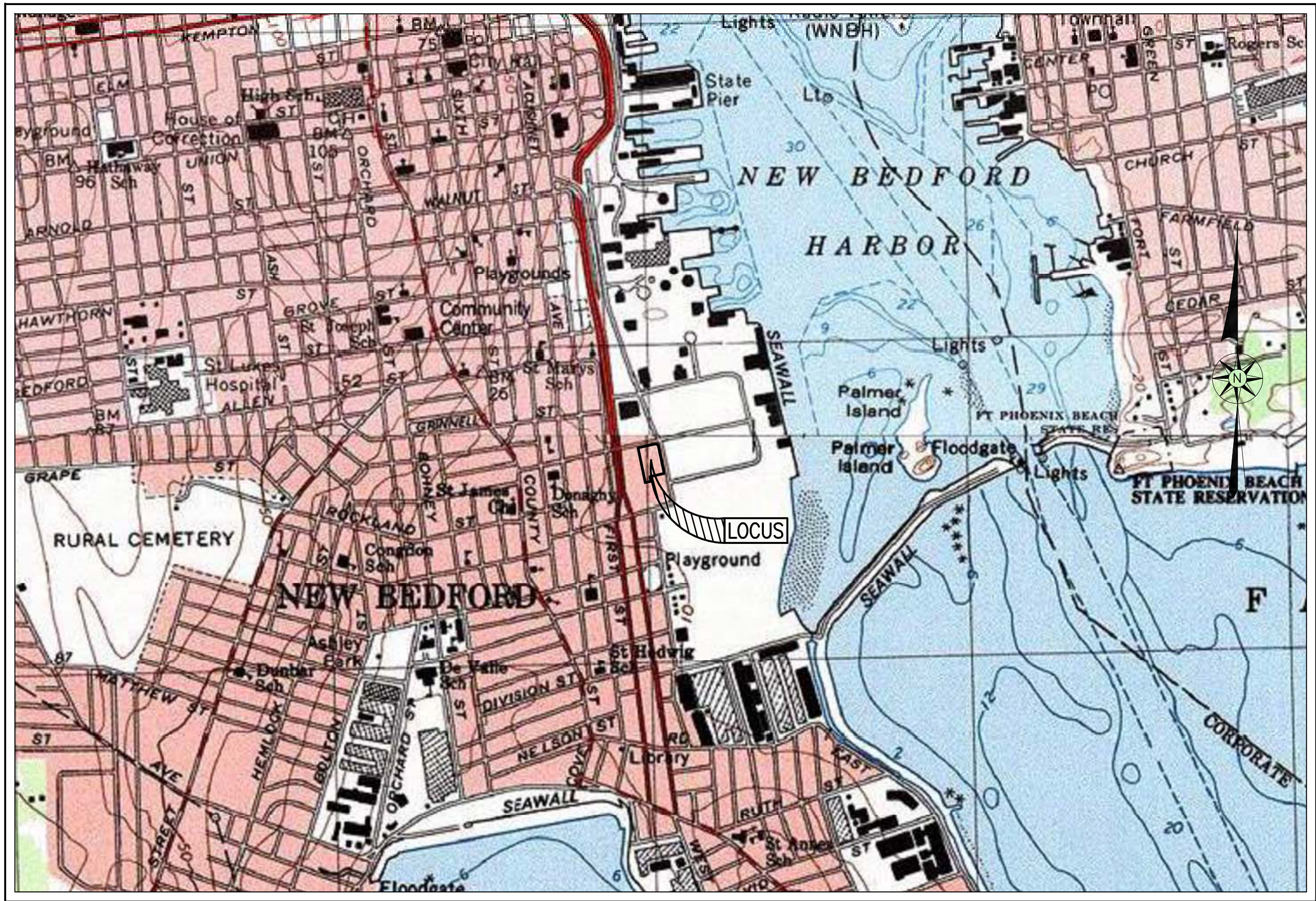
S I T E P L A N

#75 MACARTHUR DRIVE

ASSESSORS MAP #31 LOTS #248 & 255

NEW BEDFORD, MASSACHUSETTS

— INDEX —	
SHEET	DESCRIPTION
1	COVER
2	EXISTING CONDITIONS
3	DEMOLITION
4	LAYOUT & LANDSCAPE
5	UTILITIES & GRADING
6	EROSION & SEDIMENT CONTROL
7	NOTES
8	DETAILS



— AREA MAP —

SCALE: 1"=1,000'±

- WAIVERS —
- CODE OF ORDINANCES — CHAPTER 9, SECTIONS 5350 & 5455
- A WAIVER FROM THE REQUIRED DEVELOPMENT IMPACT STUDY IS REQUESTED
- CODE OF ORDINANCES — CHAPTER 9, SECTION 3130
- A WAIVER FROM THE REQUIRED NUMBER OF PARKING SPACES IS REQUESTED
- CODE OF ORDINANCES — CHAPTER 9, SECTION 5451.F
- A WAIVER FROM THE REQUIRED LIGHTING PLAN IS REQUESTED
- SITE PLAN REVIEW CHECKLIST (8)TRAFFIC IMPACT & ACCESS STUDY
- A WAIVER FROM THE REQUIRED TRAFFIC IMPACT & ACCESS STUDY IS REQUESTED

RECORD OWNER:
ASSESSORS MAP 31 LOT 248
STREETSIDE REALTY LLC
16 HASSEY STREET
NEW BEDFORD, MA 02740
DEED BOOK 10031 PAGE 308,

ASSESSORS MAP 31 LOT 255
STREETSIDE REALTY LLC
16 HASSEY STREET
NEW BEDFORD, MA 02740
CERTIFICATE #22543

— ZONING DATA —			
DISTRICT: WATERFRONT INDUSTRIAL (WI)			
DESCRIPTION	REQUIRED	EXISTING	PROVIDED
LOT AREA	0 S.F.	1.59 AC	1.59 AC
UPLAND AREA	0 S.F.	1.59 AC	1.59 AC
UPLAND AREA PERCENTAGE	0 %	100 %	100 %
LOT FRONTAGE	0 FT	512.69 FT	512.65 FT
FRONT SETBACK	10 FT	48.3 FT	13.1 FT
SIDE SETBACK	10 FT	127.7 FT	11.3 FT
REAR SETBACK	*10 FT	10.4 FT	10.2 FT
BUILDING HEIGHT (MAXIMUM)	100 FT	24.7± FT	50.3± FT
BUILDING COVERAGE (MAXIMUM)	50 %	191 %	50.00 %
LOT COVERAGE (MAXIMUM)	80 %	951 %	89.8 %
*20 FT REAR SETBACK REQUIRED FOR BUILDINGS WITH 3 OR MORE STORIES			
— PARKING & LOADING REQUIREMENTS —			
USE: MANUFACTURING			
(FOR PARKING REGULATION PURPOSES: EXISTING PROCESSING AREA = 9,717 S.F.)			
REQUIREMENT	REQUIRED	PROVIDED	
1 SPACE PER 500 S.F. OF G.F.A. UP TO 15,000 S.F. THEREAFTER, ONE ADDITIONAL SPACE FOR EACH 5,000 S.F. OR PORTION THEREOF IN EXCESS OF 15,000 S.F., PLUS ONE SPACE FOR EACH VEHICLE UTILIZED IN THE BUSINESS.	20 SPACES		
USE: WAREHOUSING & DISTRIBUTION			
(FOR PARKING REGULATION PURPOSES: EXISTING WAREHOUSING & DISTRIBUTION = 3,497 S.F., PROPOSED WAREHOUSING = 21,561 S.F.)			
1 SPACE PER 1,500 S.F. OF G.F.A. UP TO 15,000 S.F. THEREAFTER, ONE ADDITIONAL SPACE FOR EACH 5,000 S.F. OR PORTION THEREOF IN EXCESS OF 15,000 S.F., PLUS ONE SPACE FOR EACH VEHICLE UTILIZED IN THE BUSINESS.	13 SPACES		
TOTAL	33 SPACES	27 SPACES	
TWO (2) LOADING SPACES FOR EACH BUILDING CONTAINING 10,000 S.F. OF GROSS FLOOR AREA. THEREAFTER, ONE (1) ADDITIONAL LOADING SPACE SHALL BE REQUIRED FOR EACH ADDITIONAL 25,000 S.F. OF G.F.A. OR FOR EACH FIFTEEN (15) FEET OF DOCK, PLATFORM, OR OPENING IN THE BUILDING WHERE THE LOADING OR UNLOADING OF COMMODITIES IS INTENDED TO OCCUR, WHICHEVER IS GREATER			
	3 LOADING SPACES	5 LOADING SPACES	

REVISIONS

CHARTERED PROFESSIONAL ENGINEER
CHRISTIAN ALBERT FARLAND
No. 47544
CIVIL
MASSACHUSETTS

www.FarlandCorp.com
401 COUNTY STREET
NEW BEDFORD, MA 02740
P.508.717.3479
OFFICES IN:
• TAUNTON
• MARLBOROUGH
• WARWICK, RI

DRAWN BY: JKM
DESIGNED BY: CAF
CHECKED BY: CAF

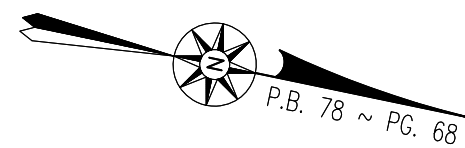
SITE PLAN
— #75 MACARTHUR DRIVE —
ASSESSORS MAP 31 LOTS 248 & 255
NEW BEDFORD, MASSACHUSETTS
STREETSIDE REALTY LLC
14 HASSEY STREET
NEW BEDFORD, MA 02740
PREPARED FOR:

OCTOBER 12, 2018
SCALE: AS NOTED
JOB NO. 18-850
LATEST REVISION:

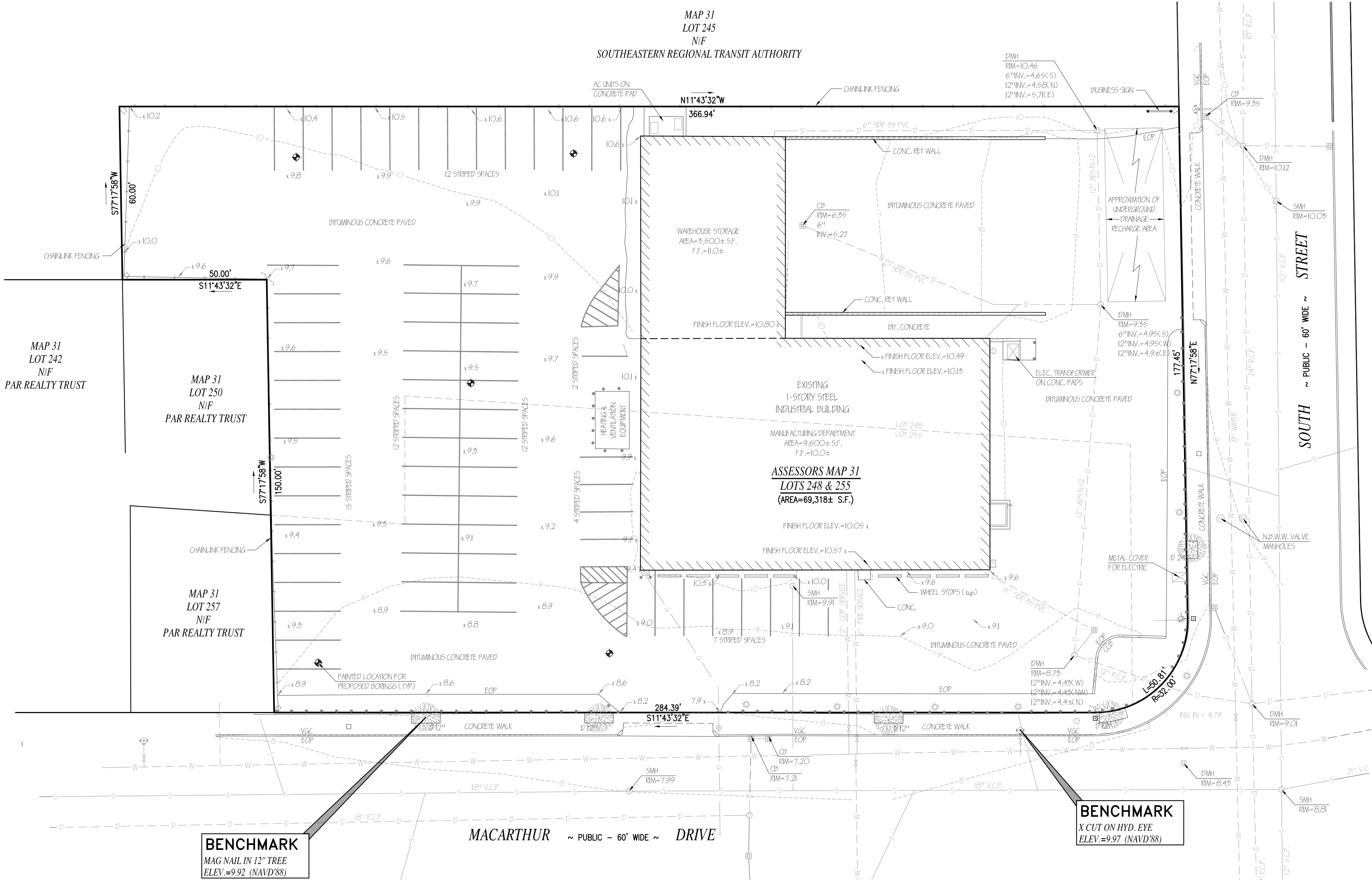
COVER SHEET
SHEET 1 OF 8



LOCUS MAP SCALE: 1"=2,000'±



LEGEND	
EXISTING	DESCRIPTION
---	PROPERTY LINE
---	CONTOUR LINE
+ 99.8	SPOT ELEVATION
---	EDGE OF PAVEMENT
VGC	VERTICAL GRANITE CURB
CCB	CAPE COD BERM
W---	WATER LINE
G---	GAS LINE
ETC---	ELECTRIC, TELEPHONE & CABLE
D---	DRAIN LINE
S---	GRAVITY SEWER
---	FENCE
---	HYDRANT
---	WATER GATE
---	GAS GATE
---	SIGN
---	BOLLARD
---	LIGHT
---	CATCH BASIN
---	DRAIN MANHOLE
---	SEWER MANHOLE
---	ELECTRIC MANHOLE
---	GAS METER
---	ELECTRIC METER



RECORD OWNER:
ASSESSORS MAP 31, LOTS 248 & 255
STREETSIDE REALTY LLC
16 HASSEY STREET
NEW BEDFORD, MA 02740
DEED BOOK 10031, PAGE 308 (MAP 31, LOT 248)
CERTIFICATE NO. 22543 (MAP 31, LOT 255)

NOTES:
1. TOPOGRAPHIC AND PROPERTY LINE SURVEY PERFORMED BY FARLAND CORP. IN OCTOBER 2018.
2. VERTICAL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM (NAVD'88)

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NEW BEDFORD, MA 02740
P. 508.717.3479
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DESIGNED BY: CAF
CHECKED BY: CAF

SITE PLAN
#75 MACARTHUR DRIVE
ASSESSORS MAP 31 LOTS 248 & 255
NEW BEDFORD, MASSACHUSETTS

STREETSIDE REALTY LLC
14 HASSEY STREET
NEW BEDFORD, MA 02740
PREPARED FOR:

OCTOBER 12, 2018

SCALE: 1"=20'

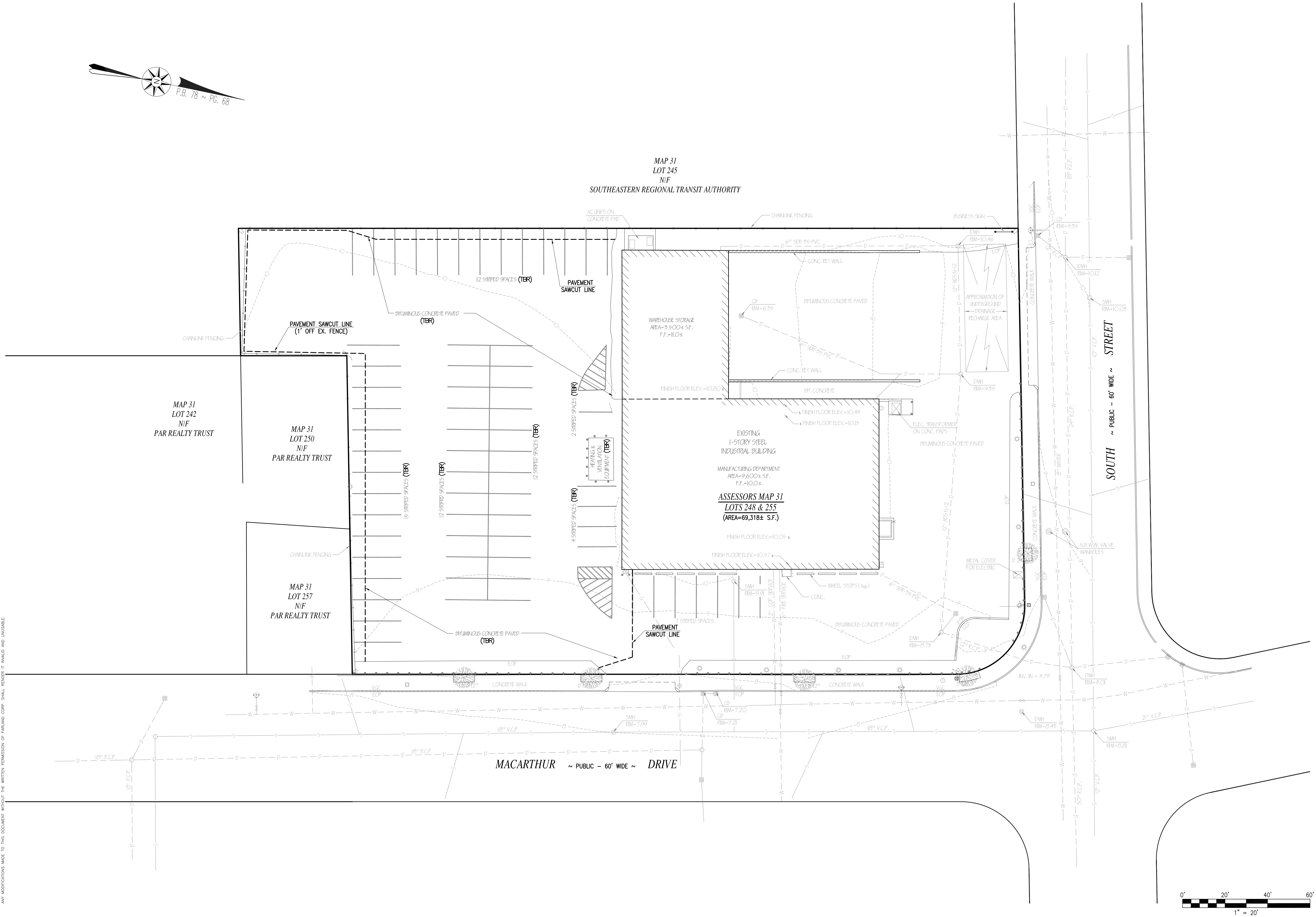
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LATEST REVISION:

EXISTING CONDITIONS

SHEET 2 OF 8

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P. 508.717.3479
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#75 MACARTHUR DRIVE
ASSESSORS MAP 31 LOTS 248 & 255
NEW BEDFORD, MASSACHUSETTS

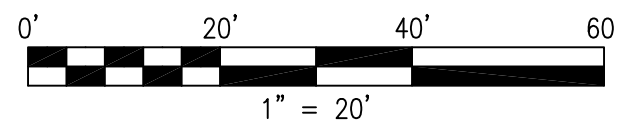
PREPARED FOR:
STREETSIDE REALTY LLC
14 HASSEY STREET
NEW BEDFORD, MA 02740

OCTOBER 12, 2018
SCALE: 1"=20'
JOB NO. 18-850
LATEST REVISION:

DEMOLITION PLAN
SHEET 3 OF 8



GROUND COVER	
	MULCH

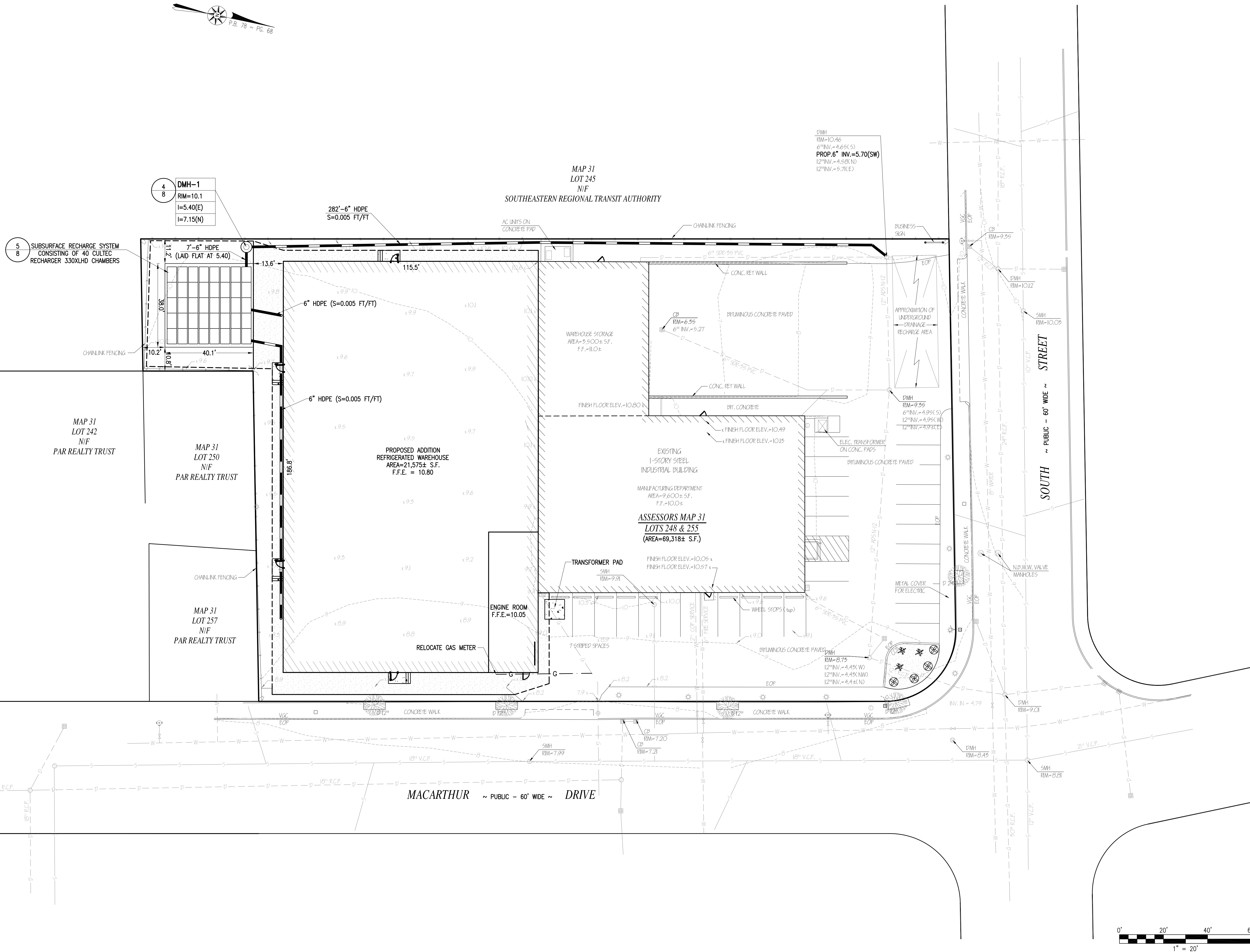


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DESIGNED BY:	CAF
CHECKED BY:	CAF

PREPARED BY: STREETSIDEREALTY LLC
FOR: 14 HASSEY STREET
NEW BEDFORD, MA 02740

SHEET 4 OF 8

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REVISIONS

SEAL

CHRISTIAN ALBERT FARLAND
No. 47544
CIVIL ENGINEER
PROFESSIONAL REGISTERED

FARLAND CORP.

www.FarlandCorp.com

401 COUNTY STREET
NEW BEDFORD, MA 02740
P. 508.717.3479
OFFICES IN:
• TAUNTON
• MARLBOROUGH
• WARWICK, RI

DRAWN BY: JKM
DESIGNED BY: CAF
CHECKED BY: CAF

SITE PLAN

#75 MACARTHUR DRIVE

ASSESSORS MAP 31 LOTS 248 & 255

NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:
STREETSIDE REALTY LLC
14 HASSEY STREET
NEW BEDFORD, MA 02740

OCTOBER 12, 2018

SCALE: 1"=20'

JOB NO. 18-850

LATEST REVISION:

GRADING & DRAINAGE PLAN

SHEET 5 OF 8



DRAWN BY: JKM
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#75 MACARTHUR DRIVE
ASSESSORS MAP 31 LOTS 248 & 255
NEW BEDFORD, MASSACHUSETTS

OCTOBER 12, 2018
SCALE: 1"=20'
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SHEET 6 OF 8



GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
2. PROPERTY LINE INFORMATION TAKEN FROM: DEED BOOK 10031, PAGE 308 & CERTIFICATE NO. 22543
3. TOPOGRAPHIC SURVEY PERFORMED BY FARLAND CORP. IN OCTOBER 2018.
4. VERTICAL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988 AND HORIZONTAL LOCATIONS REFER TO THE NORTH AMERICAN DATUM (NAD) OF 1983.
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL STANDARDS AND REGULATIONS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.
7. WHERE PROPOSED PAVEMENT AND WALKS ARE TO MEET EXISTING, THE CONTRACTOR SHALL SAWCUT A NEAT LINE AND MATCH GRADE. SEAL ALL JOINTS WITH HOT BITUMINOUS ASPHALT JOINT SEALER.
8. CURBING TO BE AS INDICATED ON THE PLANS.
9. ALL EXISTING TREES, SHRUBS AND GROUND COVER WHERE NATURAL GRADE IS TO BE RETAINED SHALL BE KEPT IN EXISTING STATE UNLESS REMOVAL IS REQUIRED FOR CONSTRUCTION PURPOSES. THE NUMBER OF REMOVED TREES SIX CALIPER OR LARGER SHALL BE MINIMIZED.
10. ALL AREAS DISTURBED BY CONSTRUCTION AND NOT TO BE PAVED OR OTHERWISE TREATED AS NOTED ON PLAN SHALL BE TREATED WITH 4" OF LOAM, SEEDED AND MOW MULCHED FOR EROSION CONTROL.
11. SITE IMPROVEMENTS SHALL CONFORM TO A.D.A. SPECIFICATIONS.
12. LIGHTING SHALL BE DIRECTED ON SITE AND AWAY FROM TRAFFIC INTERFERENCE.
13. THE CONTRACTOR SHALL PROTECT AND/OR CAP OFF ALL EXISTING ON-SITE UTILITY SERVICES ACCORDING TO THE LOCAL AUTHORITY'S SPECIFICATIONS. SERVICES SHALL BE CAPPED OFF WHERE SAME ENTER THE PERIMETER OF THE PROPERTY LINE.
14. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
15. ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
16. THESE PLANS ARE PERMITTING PLANS AND SHALL NOT TO BE USED FOR CONSTRUCTION. A FINAL SET OF STAMPED PLANS FOR CONSTRUCTION WILL BE ISSUED AFTER RECEIVING FINAL APPROVAL FROM THE LOCAL AND/OR STATE DEPARTMENTS.
17. ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY PLANNER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY PLANNER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO WORK BEING PERFORMED.
18. ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
19. ALL HANDICAP PARKING, RAMPS, AND ACCESS SHALL CONFORM TO AAB & MAAB REQUIREMENTS.
20. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO CITY OF NEW BEDFORD CONSERVATION COMMISSION REQUIREMENTS AS STATED IN THE ORDER OF CONDITIONS.
21. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS.
22. THE CONTRACTOR SHALL OBTAIN A STREET DISTURBANCE & OBSTRUCTION PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE RIGHT OF WAY.
23. THE CITY SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE REQUIRED INSPECTIONS.

CONSTRUCTION SEQUENCING NOTES

1. CONSTRUCT TEMPORARY AND PERMANENT EROSION CONTROL FACILITIES. EROSION CONTROL FACILITIES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING.
2. CLEAR CUT, DEMOLISH AND DISPOSE OF EXISTING SITE ELEMENTS NOT TO REMAIN.
3. STORMWATER SHALL NOT BE DIRECTED TOWARDS THE INFILTRATION BASIN UNTIL THE ENTIRE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
4. GRADE AND GRAVEL ALL PAVED AREAS. ALL PROPOSED PAVED AREAS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
5. BEGIN ALL PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED IMMEDIATELY AFTER THEIR CONSTRUCTION.
6. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES AND MULCH AND SEED AS REQUIRED.
7. FINISH PAVING ALL HARD SURFACE AREAS.
8. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES.
9. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
10. REMOVE TEMPORARY EROSION CONTROL MEASURES.
11. THE CONSTRUCTION SEQUENCE SHALL BE CONFINED TO THE LIMIT OF WORK AS SHOWN ON THE DRAWINGS.
12. UPON COMPLETION OF CONSTRUCTION THE OWNER SHALL AGREE TO MAINTAIN AND CLEAN ALL DRAINAGE STRUCTURES AS REQUIRED.

SITE PREPARATION NOTES

1. WITHIN THE LIMIT OF WORK LINE AS NOTED ON THE SITE PLANS, REMOVE AND DISCARD ALL CONCRETE PAVEMENT, BITUMINOUS CONCRETE PAVEMENT, BRICK PAVEMENT, TOP SOIL, MULCH, TRASH, DEAD TREES AND STUMPS, SHRUBBERY, CHAIN LINK FENCE POSTS, RAILS, FABRIC, GATES, FOOTINGS AND ALL APPURTENANCES, BOLLARDS, POSTS, CONCRETE FOOTINGS AND FOUNDATIONS, WALLS AND CURBS UNLESS OTHERWISE NOTED.
2. THE OWNER'S REPRESENTATIVE SHALL BE CONSULTED AND WILL REVIEW THE WORK ON SITE WITH THE CONTRACTOR BEFORE ANY WORK SHALL COMMENCE.
3. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO STARTING WORK.
4. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS TO REMAIN THAT ARE DUE TO CONTRACTOR OPERATIONS.
5. ALL ITEMS TO BE REMOVED THAT ARE NOT STOCKPILED FOR LATER REUSE ON THE PROJECT OR DELIVERED TO THE OWNER SHALL BE LEGALLY DISPOSED OF OFF SITE BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS EFFORTS OF THE DEMOLITION WITH ALL TRADES.
7. THE CONTRACTOR SHALL COORDINATE ALL ADJUSTMENT OR ABANDONMENT OF UTILITIES WITH THE RESPECTIVE UTILITY COMPANY.
8. THE CONTRACTOR SHALL MAINTAIN OR ADJUST TO NEW FINISH GRADES AS NECESSARY ALL UTILITY AND SITE STRUCTURES SUCH AS LIGHT POLES, SIGN POLES, MANHOLES, CATCH BASINS, HAND HOLES, WATER AND GAS GATES, HYDRANTS, ETC., FROM MAINTAINED UTILITY AND SITE SYSTEMS UNLESS OTHERWISE NOTED OR DIRECTED BY THE OWNER'S REPRESENTATIVE.

UTILITY AND GRADING NOTES

1. ALL ON-SITE STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) OR CLASS V RCP, UNLESS NOTED OTHERWISE.
2. HDPE PIPE SHALL CONFORM WITH AASHTO DESIGNATIONS M294 AND M252, SHALL BE MANUFACTURED WITH HIGH DENSITY POLYETHYLENE PLASTIC AND SHALL BE ADS N-12 PIPE AS MANUFACTURED BY ADVANCE DRAINAGE SYSTEM, INC. OR HANCOR HI 0 PIPE AS MANUFACTURED BY HANCOR, INC. OR APPROVED EQUAL UNLESS OTHERWISE NOTED OR DETAILED.
3. A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES.
4. BEFORE THE DEVELOPMENT SITE IS GRADED, THE AREA OF THE DRAINAGE BASINS SHOULD BE FENCED OFF TO PREVENT HEAVY EQUIPMENT FROM COMPACTING THE UNDERLYING SOIL.
5. WHERE PROPOSED GRADES MEET EXISTING GRADES, CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. PONDING AT TRANSITION AREAS WILL NOT BE ALLOWED.
6. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS AND STRUCTURES.
7. MAXIMUM SLOPE IN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
8. CONTRACTOR SHALL VERIFY EXISTING GRADES AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
9. CONTRACTOR SHALL ADJUST UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
10. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE OWNER'S REPRESENTATIVE FOR RESOLUTION OF THE CONFLICT.
11. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ALL GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
12. THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY AND APPROVED BY THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE AND ELECTRICAL). FINAL DESIGN AND LOCATIONS AT THE BUILDING WILL BE PROVIDED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE UTILITY CONNECTIONS WITH THE RESPECTIVE COMPANIES PRIOR TO ANY UTILITY CONSTRUCTION.

LAYOUT AND MATERIAL NOTES

1. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
2. ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
3. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAILS CONTIGUOUS TO THE BUILDING INCLUDING SIDEWALKS, RAMPS, UTILITY ENTRANCE LOCATIONS, WALL PACKS, CONCRETE DOOR PADS, ROOF DRAINS, ETC.
4. ACCESSIBLE CURB RAMPS SHALL BE PER THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD AND THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES, WHICHER IS MORE STRINGENT.
5. THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN:
ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING.
ALL DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE.
ALL DIMENSIONS ARE TO CENTER OF PAVEMENT MARKINGS.
ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.

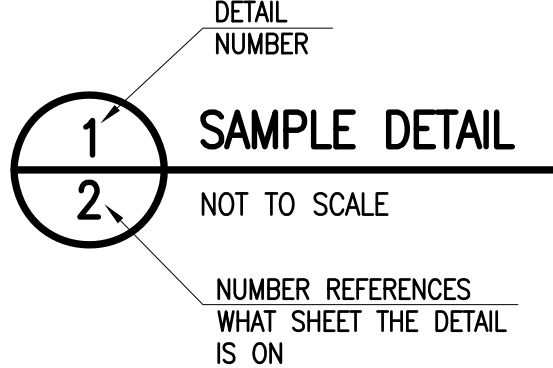
SOIL EROSION AND SEDIMENT CONTROL NOTES

1. THE CONSERVATION COMMISSION SHALL BE NOTIFIED, AT LEAST 72 HOURS PRIOR TO ANY LAND DISTURBANCE.
2. A COPY OF THE SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED ON THE PROJECT SITE DURING CONSTRUCTION.
3. SOIL EROSION AND SEDIMENT CONTROL PRACTICES IN THE PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
4. ALL APPLICABLE SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY DEMOLITION GRADING OPERATIONS AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
5. ALL APPLICABLE SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND/OR THE AREA IS STABILIZED.
6. ALL SOIL EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
7. THE MAINTENANCE OF SOIL EROSION AND SEDIMENT CONTROL MEASURES AND FACILITIES DURING AND IMMEDIATELY AFTER CONSTRUCTION RESTS WITH THE GENERAL CONTRACTOR. UPON ACCEPTANCE OF THE PROJECT, THE OWNER SHALL BECOME RESPONSIBLE FOR MAINTENANCE OF ANY REMAINING MEASURES AND FACILITIES.
8. OFF SITE SEDIMENT DISTURBANCE MAY REQUIRE ADDITIONAL CONTROL MEASURES TO BE DETERMINED BY THE ENGINEER.
9. THE CONSERVATION COMMISSION AND/OR ENGINEER MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR.
10. ADJOINING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS AT ALL TIMES.
11. THE CONTRACTOR SHALL UTILIZE ALL METHODS NECESSARY TO PREVENT BLOWING AND MOVEMENT OF DUST FROM THE EXPOSED SOIL SURFACES.
12. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
13. ALL CATCH BASIN INLETS SHALL BE PROTECTED DURING CONSTRUCTION AS DETAILED ON THE PLAN, IF APPLICABLE.
14. ALL STORM DRAINAGE OUTLETS SHALL BE PROTECTED AS REQUIRED HEREON BEFORE DISCHARGE POINTS BECOME OPERATIONAL.
15. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
16. LAND AREAS EXPOSED AT ANY ONE TIME AND THE LENGTH OF EXPOSURE SHALL BE KEPT TO A PRACTICAL MINIMUM. THEY SHALL BE LEFT IN A NEAT AND FINISHED APPEARANCE AND PROTECTED FROM EROSION.
17. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN SIXTY (60) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND FERTILIZATION. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTRIBUTED AREAS SHALL BE MULCHED.
18. ALL CRITICAL AREAS SUBJECT TO EROSION SHALL RECEIVE A TEMPORARY SEEDING AND BE MULCHED IN ACCORDANCE WITH THE SPECIFICATIONS IMMEDIATELY FOLLOWING ROUGH GRADING.
19. IMMEDIATELY AFTER COMPLETION OF STRIPPING AND STOCKPILING OF TOPSOIL, SEED THE STOCKPILE WITH ANNUAL RYE GRASS. STABILIZE TOPSOIL STOCKPILES WITH STRAW MULCH FOR PROTECTION IF THE SEASON DOES NOT PERMIT THE APPLICATION AND ESTABLISHMENT OF TEMPORARY SEEDING.
20. SOIL STOCKPILES ARE NOT TO BE LOCATED WITHIN FIFTY (50) FEET OF WETLANDS, THE FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITIES. THE BASE OF ALL STOCKPILES SHALL BE PROTECTED BY A STRAW BALE BARRIER OR SEDIMENT FENCE. LOCATIONS ARE DELINEATED ON THE PLAN.
21. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
22. ALL AREAS NOT STABILIZED BY CONSTRUCTION, SODDING OR LANDSCAPING SHALL BE SEEDED AND STABILIZED IN ACCORDANCE WITH THE SEEDING AND MULCHING SPECIFICATIONS.
23. MULCHING IS REQUIRED ON ALL SEEDED AREAS TO INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED TO PROMOTE EARLIER VEGETATIVE COVER.
24. ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTRATION DEVICE. THE SEDIMENT FILTER MUST BE CAPABLE OF FILTERING THE SEDIMENT AND BE PLACED SO AS NOT TO CAUSE EROSION OF THE DOWNSTREAM AREA.

GENERAL PLANTING NOTES

1. ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN OR THE PLANT MATERIAL WILL BE UNACCEPTABLE. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY, SIZE AND BE CERTIFIED DISEASE AND INSECT FREE. THE OWNER AND/OR THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO APPROVE ALL PLANT MATERIAL ON SITE PRIOR TO INSTALLATION.
2. ALL PLANT MATERIAL SHALL BE PROPERLY GUYED, STAKED, WRAPPED, AND PLANTED IN CONFORMANCE WITH THE TYPICAL PLANTING DETAILS. GUY WIRES SHALL BE ATTACHED TO THE TREE AT A HEIGHT OF TWO-THIRDS THE HEIGHT OF THE TREE AND SHOULD BE LOCATED AT POINTS SO AS NOT TO SPLIT THE TRUNK OF MULTI-STEMMED TREES. PROVIDE THREE STAKES PER TREE UNLESS NOTED OTHERWISE INSTALL ALL PLANT MATERIAL ON UNDISTURBED GRADE. PROVIDE BURLAP WRAPPING WITH A 50% OVERLAP. CUT AND REMOVE BURLAP FROM TOP ONE-THIRD OF THE ROOT BALL.
3. PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. BACKFILL PLANTING PITS WITH ONE PART EACH OF TOP SOIL, PEAT MOSS, AND PARENT MATERIAL. IF WET SOIL CONDITIONS EXIST THEN PLANTING PITS SHALL BE EXCAVATED AN ADDITIONAL 12" AND FILLED WITH SAND.
4. NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF INSTALLATION AND SHALL BE SUBSEQUENTLY FLOODED TWICE WITHIN TWENTY-FOUR (24) HOURS OF PLANTING. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT, GROWTH AND SURVIVAL OF ALL PLANTS.
5. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER THE DATE OF FINAL ACCEPTANCE. ANY PLANT MATERIAL THAT DIES WITHIN THAT TIME PERIOD SHALL BE REMOVED, INCLUDING THE STUMP, AND REPLACED WITH MATERIAL OF SIMILAR SIZE AND SPECIES AT THE EXPENSE OF THE DEVELOPER. THE REPLACED PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER THE REPLACEMENT DATE.
6. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM 4" LAYER OF TOPSOIL IN ALL LAWN AREAS AND A MINIMUM OF 6" OF TOPSOIL IN ALL PLANTING AREAS. A FULL SOIL ANALYSIS SHALL BE CONDUCTED AFTER CONSTRUCTION AND PRIOR TO PLANTING TO DETERMINE THE EXTENT OF SOIL AMENDMENT REQUIRED.
7. ALL DISTURBED LAWN AREAS SHALL BE STABILIZED WITH EITHER SOD OR SEED AS INDICATED ON THE LANDSCAPE PLANS. SEED SHALL CONSIST OF THE MIXTURE LISTED IN THE GENERAL SEEDING NOTES. ALL DISTURBED LAWN AREAS SHALL BE TOP SOILED, LIMED, FERTILIZED, AND FINE GRADED PRIOR TO LAWN INSTALLATION.
8. ALL TREES ARE TO BE GUYED, 3 EACH, UNLESS OTHERWISE NOTED ON PLAN.
9. ALL DECIDUOUS TREES ARE TO BE WRAPPED, WITH TREE WRAP, UP TO THE FIRST BRANCHING AND SECURED.
10. THE LANDSCAPE CONTRACTOR IS TO PERFORM ALL CONTRACTED WORK IN A REASONABLE PERIOD OF CONTINUOUS WORK.
11. THE LANDSCAPE CONTRACTOR IS TO MAINTAIN PLANT MATERIAL WHILE THE PROJECT IS UNDERWAY AND FOR A PERIOD OF TWO WEEKS AFTER THE COMPLETION OF THE PROJECT UNLESS OTHERWISE SPECIFIED.
12. THE CONTRACTOR IS TO CLEAN UP AND REMOVE ANY DEBRIS FROM THE SITE, CAUSED BY THE LANDSCAPE CONTRACTOR.

EXISTING	LEGEND	PROPOSED
	CONTOUR LINE	
	SPOT GRADE	
	EDGE OF PAVEMENT	
	VERTICAL GRANITE CURB	
	SLOPED GRANITE CURB	
	VERTICAL CONCRETE CURB	
	BITUMINOUS CONCRETE CURB	
	CAPE COD BERM	
	STONE WALL	
	CHAIN LINK FENCE	
	IRON FENCE	
	POST & RAIL FENCE	
	STOCKADE FENCE	
	GUARD RAIL	
	STRAW WATTLES	
	WATER LINE	
	FIRE HYDRANT	
	POST INDICATOR VALVE	
	WATER GATE	
	WATER METER PIT	
	IRRIGATION HAND HOLE	
	WELL	
	SEWER LINE	
	SEWER MANHOLE	
	GAS LINE	
	GAS METER	
	GAS GATE	
	DRAIN LINE	
	DRAIN MANHOLE	
	CATCH BASIN	
	OVERHEAD WIRES	
	ELECTRIC, TELEPHONE & CABLE	
	UTILITY POLE	
	GUY WIRE	



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REVISIONS

www.FarlandCorp.com

401 COUNTY STREET
NEW BEDFORD, MA 02740
P.508.717.3479
OFFICES IN:
●TAUNTON
●MARLBOROUGH
●WARWICK, RI

DRAWN BY: JKM
DESIGNED BY: CAF
CHECKED BY: CAF

SITE PLAN

#75 MACARTHUR DRIVE
ASSESSORS MAP 31 LOTS 248 & 255
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:
STREETSIDE REALTY LLC
14 HASSEY STREET
NEW BEDFORD, MA 02740

OCTOBER 12, 2018

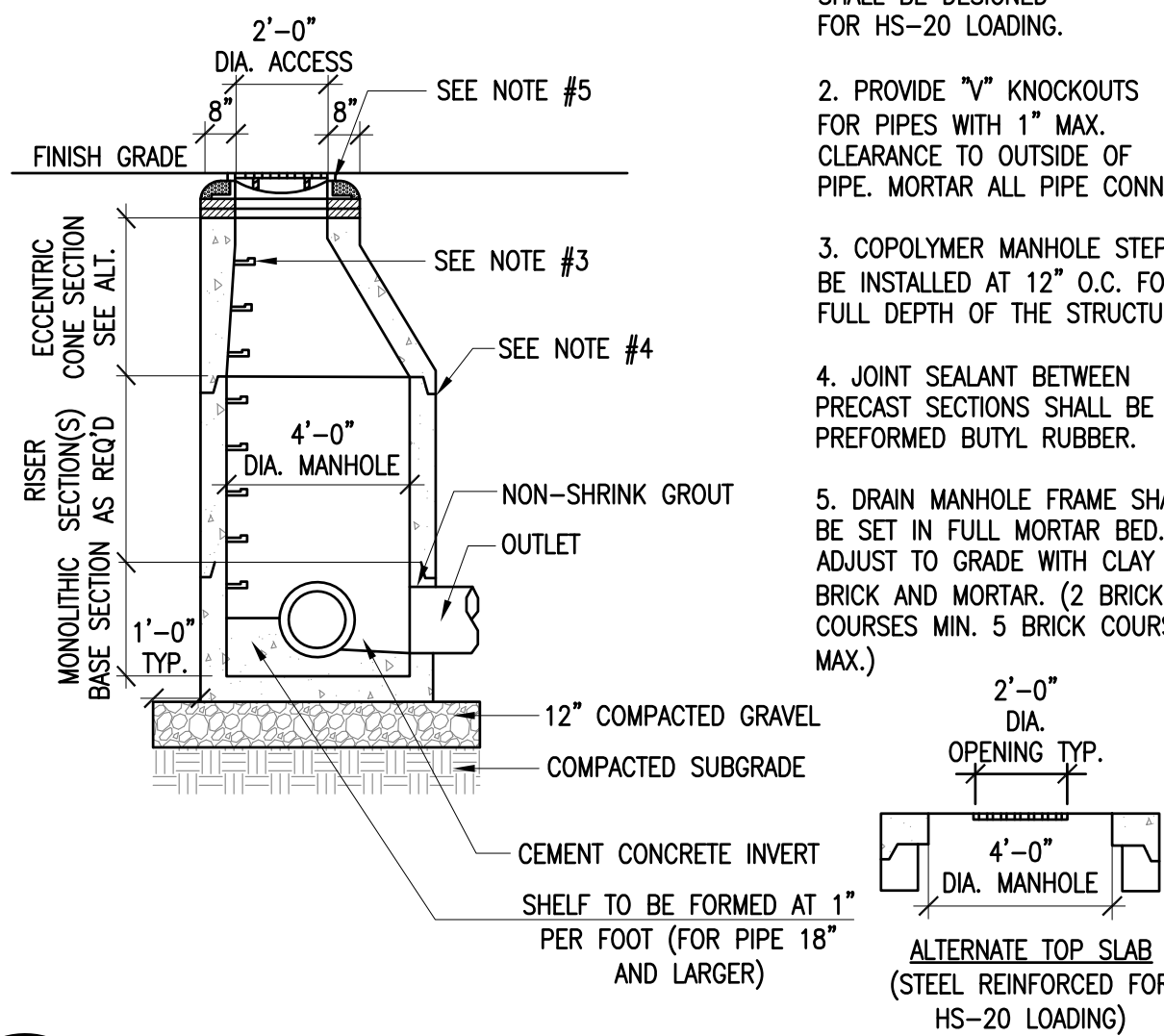
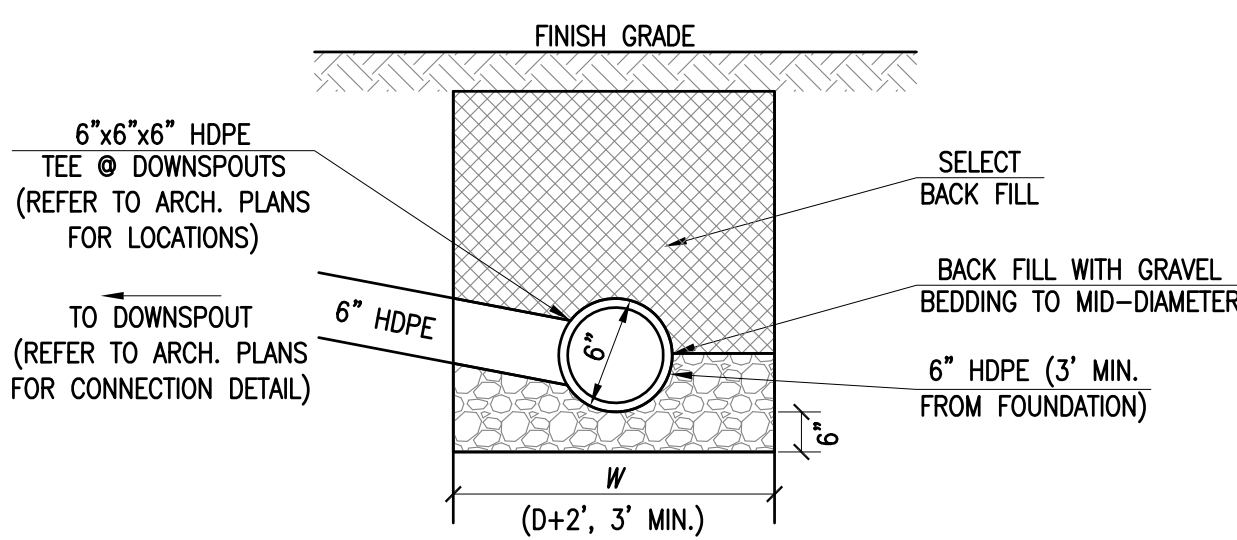
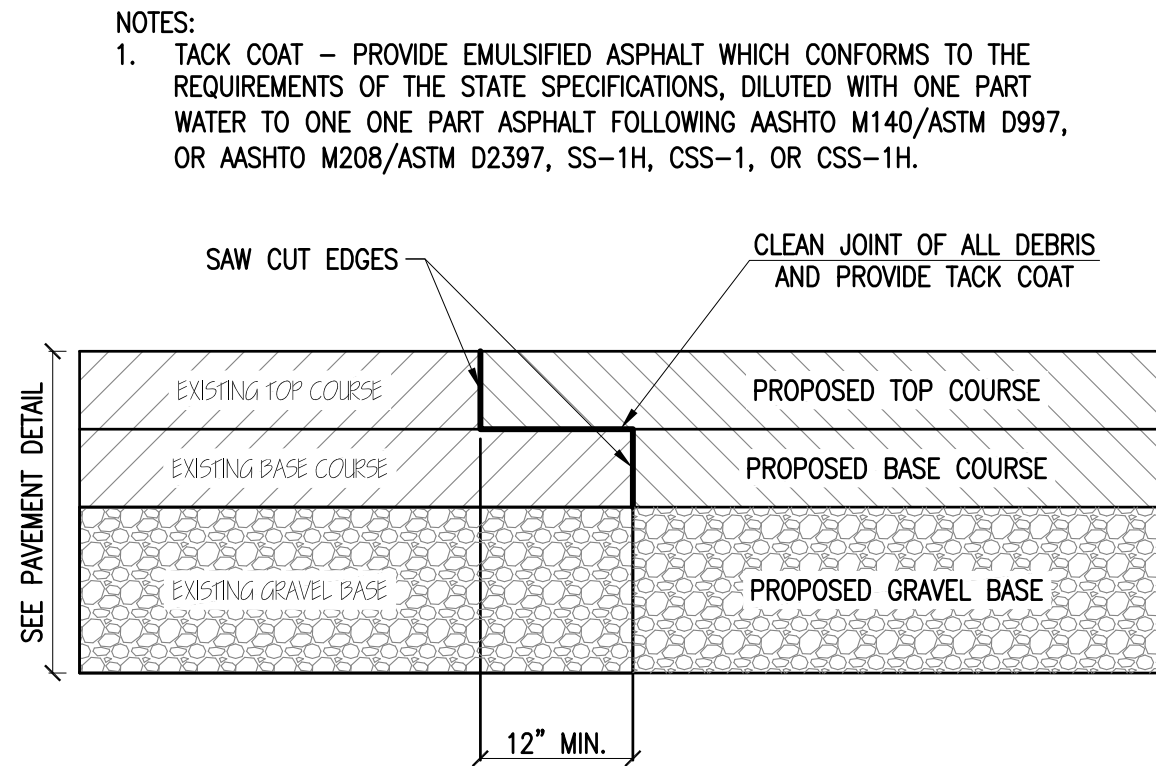
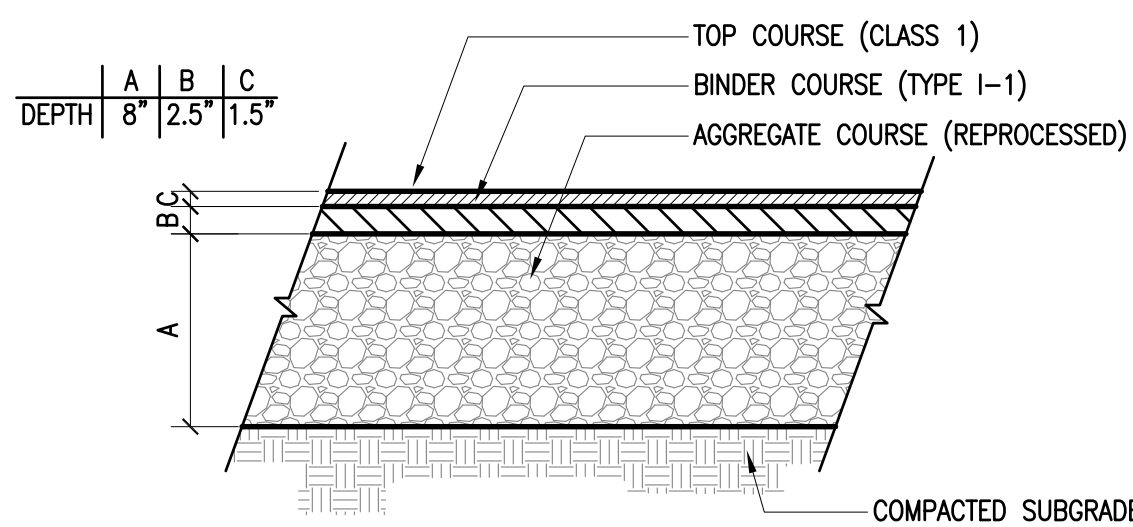
SCALE: N.T.S.

JOB NO. 18-850

LATEST REVISION:

NOTES

SHEET 7 OF 8



- NOTES:
1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
 2. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 1" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 3. COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
 4. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
 5. DRAIN MANHOLE FRAME SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR. (2 BRICK COURSES MIN. 5 BRICK COURSES MAX.)

1 BITUMINOUS CONCRETE PAVEMENT

NOT TO SCALE

2 PAVEMENT SAWCUT KEY DETAIL

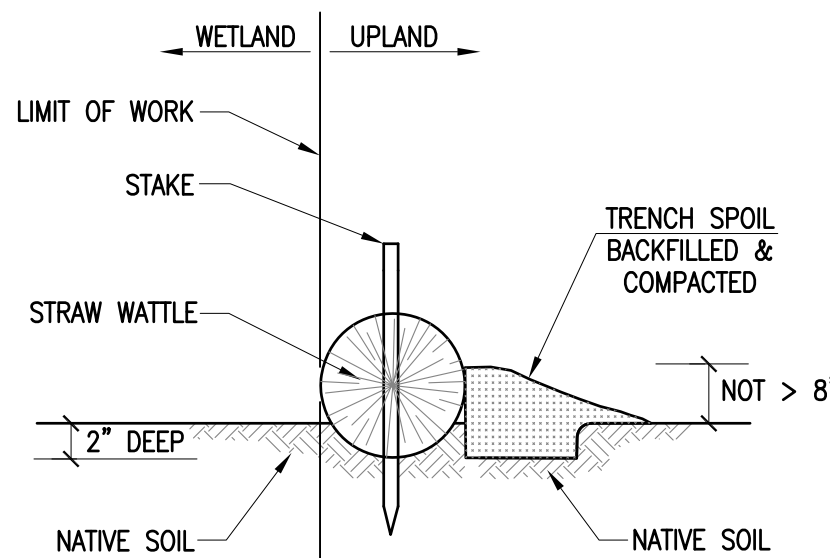
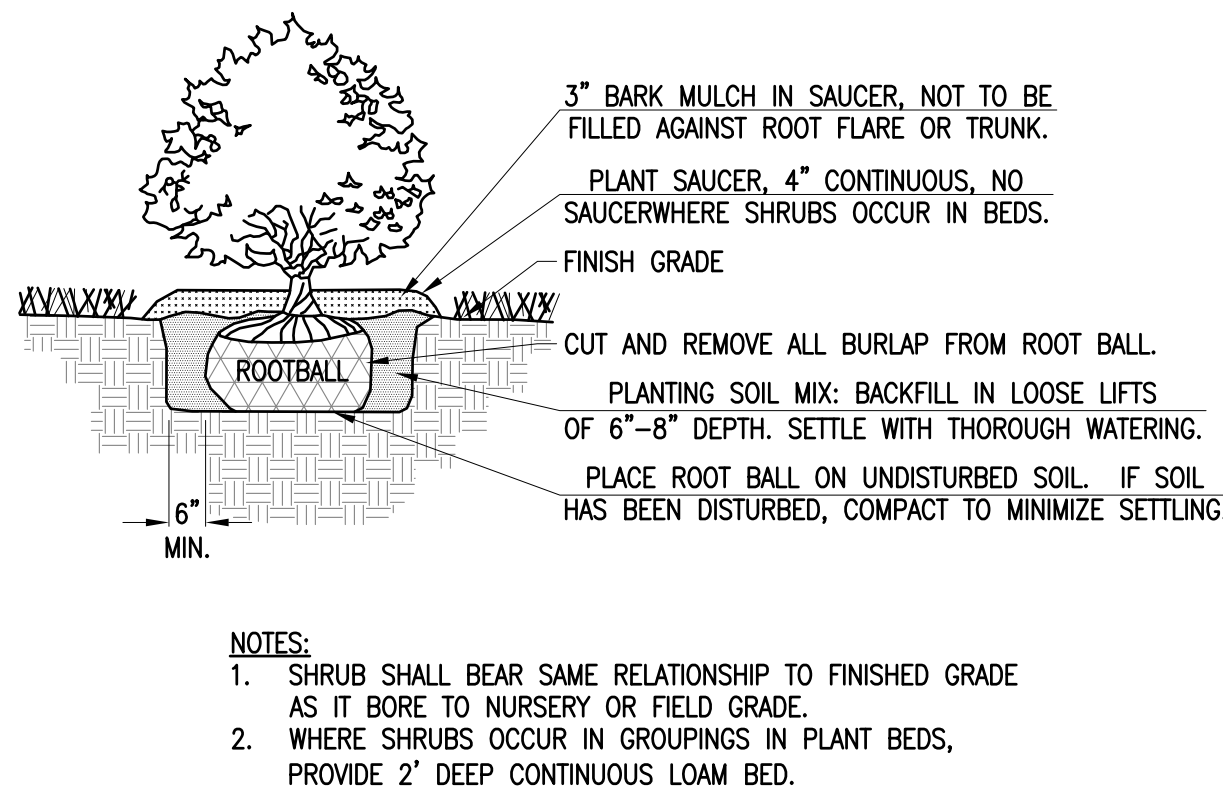
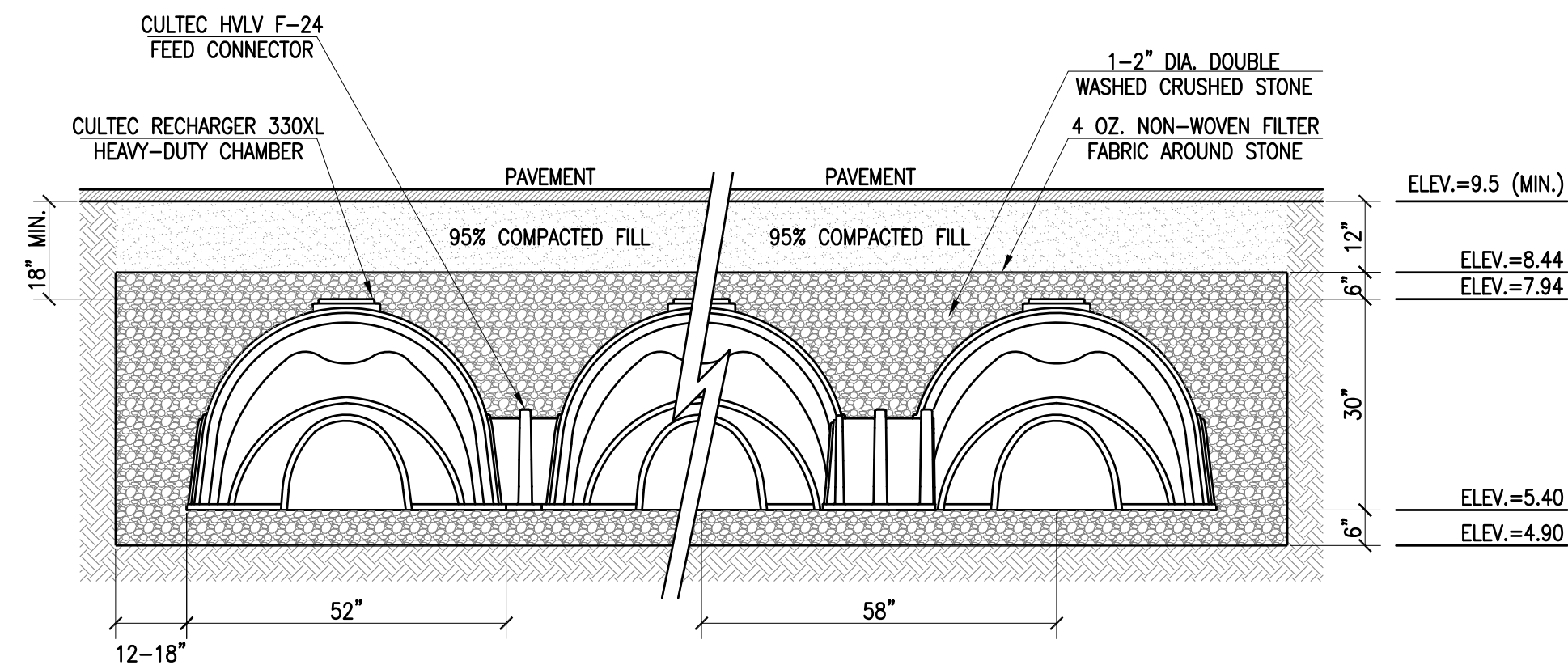
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3 ROOF DRAIN TRENCH

NOT TO SCALE

4 DRAIN MANHOLE

NOT TO SCALE



5 CULTEC RECHARGER 330XL HEAVY DUTY CROSS SECTION

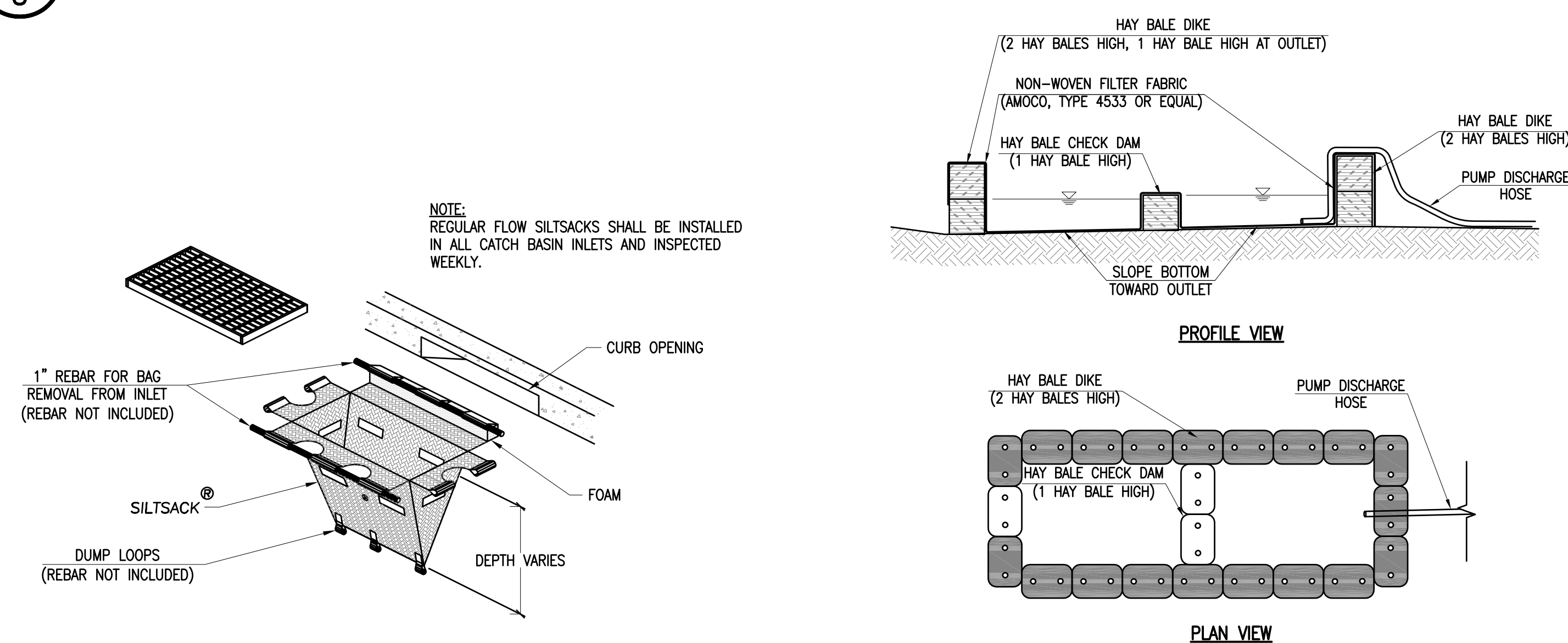
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6 SHRUB PLANTING

NOT TO SCALE

7 STAKED STRAW WATTLE

NOT TO SCALE



9 REGULAR FLOW SILTSACK®

NOT TO SCALE

10 DE-WATERING BASIN

NOT TO SCALE

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CONSTRUCTION
DETAILS
SHEET 8 OF 8