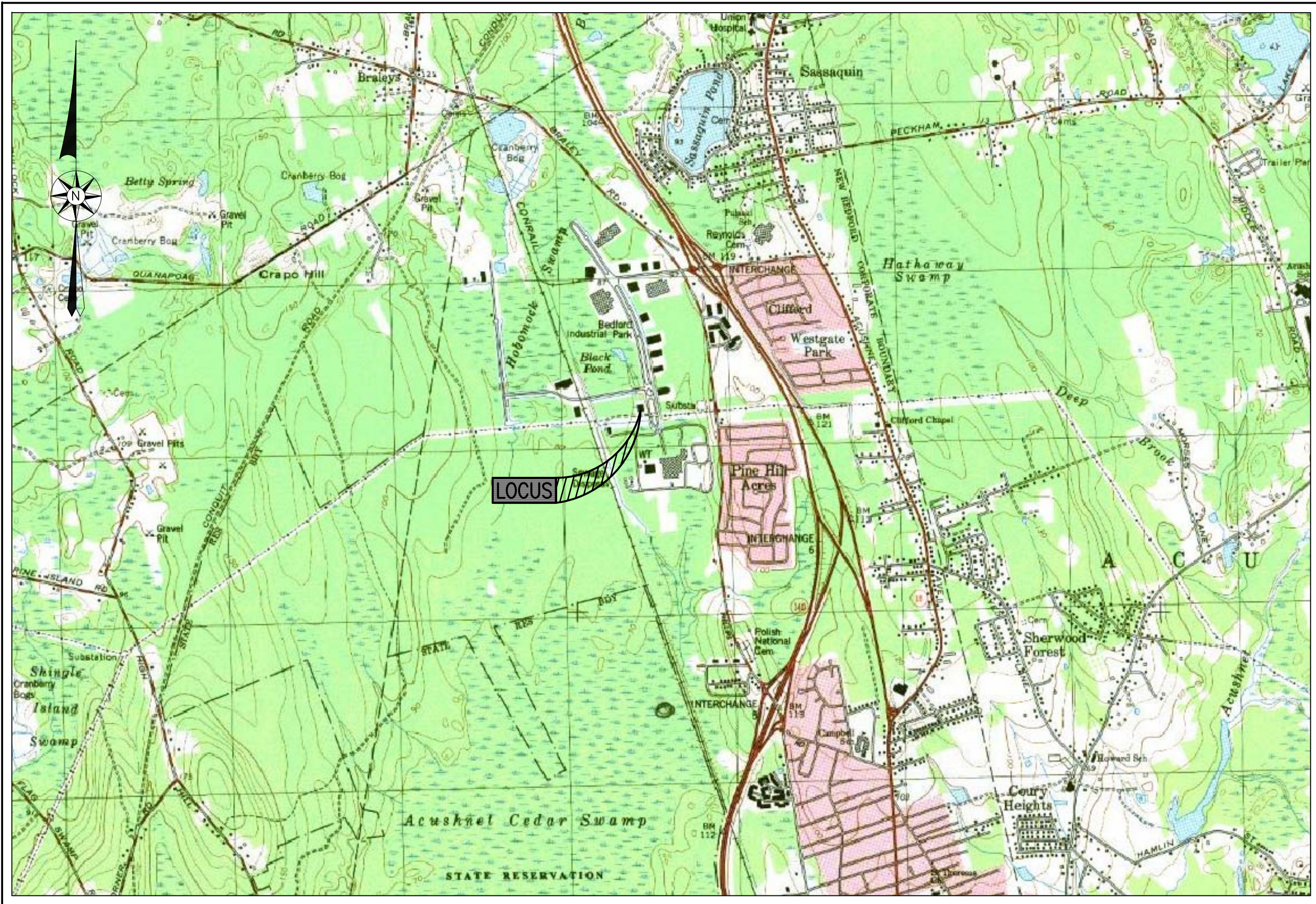


S I T E P L A N



127 DUCHAINE BLVD ASSESSORS MAP 133 LOT 21 NEW BEDFORD, MA 02745



— AREA MAP —

SCALE: 1"=1,000'±

— ZONING DATA — DISTRICT: INDUSTRIAL C

DESCRIPTION	REQUIRED	EXISTING	PROVIDED
LOT SIZE	0 S.F.	217,289± S.F.	217,289± S.F.
LOT FRONTAGE	0 FT	525.75 FT	525.75 FT
FRONT SETBACK	25 FT	99.9± FT	99.9± FT
SIDE SETBACK	25 FT	90.8± FT	90.8± FT
REAR SETBACK	25 FT	207.0± FT	97.3± FT
BUILDING HEIGHT	100 FT	30± FT	30± FT
BUILDING COVERAGE	50 %	13.6± %	18.5± %
GREEN SPACE	20 %	71.7± %	66.8± %

— PARKING REQUIREMENT — PRINCIPAL USE: WAREHOUSE

REQUIREMENT	REQUIRED	PROVIDED
ONE (1) SPACE PER 1500 SQ. FT. OF GROSS FLOOR AREA UP TO 15,000 SQ. FT. THEREAFTER, ONE (1) ADDITIONAL SPACE FOR EACH 5,000 SQ. FT. OR PORTION THEREOF IN EXCESS OF 15,000 SQ. FT., PLUS ONE (1) SPACE FOR EACH VEHICLE UTILIZED IN THE BUSINESS	16 SPACES	24 SPACES
TWO (2) LOADING SPACES FOR EACH BUILDING CONTAINING 10,000 SQ. FT. OF GROSS FLOOR AREA. THEREAFTER, ONE (1) ADDITIONAL LOADING SPACE SHALL BE REQUIRED FOR EACH ADDITIONAL 25,000 SQ. FT. OF GROSS FLOOR AREA OR FOR EACH FIFTEEN (15) FEET OF DOCK, PLATFORM OR OPENING IN THE BUILDING WHERE THE LOADING OR UNLOADING OF COMMODITIES IS INTENDED TO OCCUR, WHICHEVER IS THE GREATEST	4 SPACES	6 SPACES
WHEN 1-25 TOTAL PARKING SPACES ARE PROVIDED, 2 MUST BE ACCESSIBLE SPACES. ONE IN EVERY EIGHT ACCESSIBLE SPACES, BUT NOT LESS THAN ONE, SHALL BE VAN ACCESSIBLE	2 ACCESSIBLE 1 VAN	2 ACCESSIBLE 2 VAN

— INDEX —

SHEET	DESCRIPTION
1	COVER
2	NOTES & LEGEND
3	EXISTING CONDITIONS
4	LAYOUT
5	UTILITIES & GRADING
6-7	DETAILS

REVISIONS

1	9/13/18	PEER REVIEW COMMENTS



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DESIGNED BY: SC/MJW

CHECKED BY: CAF

SITE PLAN

— 127 DUCHAINE BOULEVARD —
ASSESSORS MAP 133 LOT 21
NEW BEDFORD, MASSACHUSETTS

PREPARED BY: MILHENCH SUPPLY COMPANY
FOR: 121 DUCHAINE BOULEVARD
NEW BEDFORD, MA 02745

AUGUST 6, 2018

SCALE: AS NOTED

JOB NO. 15-1077

LATEST REVISION:
SEPTEMBER 13, 2018

COVER SHEET

SHEET 1 OF 7

RECORD OWNER:
ASSESSORS MAP 133 LOT 21
ARTHUR L. MILHENCH, TRUSTEE
127 DUCHAINE BOULEVARD
NEW BEDFORD, MA 02745
DEED BOOK 4877 PAGE 287

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
2. TOPOGRAPHIC AND PROPERTY LINE SURVEY PERFORMED BY FARLAND CORP. IN OCTOBER OF 2015 AND DECEMBER OF 2016.
3. VERTICAL ELEVATIONS REFER TO AN ASSUMED DATUM AND HORIZONTAL LOCATIONS REFER TO AN ASSUMED DATUM. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL STANDARDS AND REGULATIONS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.
6. ALL BENCHMARKS SHOWN ON THIS PLAN ARE TO BE CHECKED FOR CONSISTENCY BY THE CONTRACTOR. ANY DISCREPANCIES MUST BE RESOLVED BY THIS OFFICE PRIOR TO CONSTRUCTION.
7. WHERE PROPOSED PAVEMENT IS TO MEET EXISTING, THE CONTRACTOR SHALL SAWCUT A NEAT LINE AND MATCH GRADE. SEAL ALL JOINTS WITH HOT BITUMINOUS ASPHALT JOINT SEALER.
8. CURBING TO BE AS INDICATED ON THE PLANS.
9. ALL EXISTING TREES, SHRUBS AND GROUND COVER WHERE NATURAL GRADE IS TO BE RETAINED SHALL BE KEPT IN THEIR EXISTING STATE UNLESS REMOVAL IS REQUIRED FOR CONSTRUCTION PURPOSES.
10. ALL AREAS DISTURBED BY CONSTRUCTION AND NOT TO BE PAVED OR OTHERWISE TREATED AS NOTED ON PLAN SHALL BE TREATED WITH 4" OF LOAM, SEEDED AND HAY MULCHED FOR EROSION CONTROL.
11. SITE IMPROVEMENTS SHALL CONFORM TO A.D.A.-SPECIFIC REQUIREMENTS.
12. LIGHTING SHALL BE DIRECTED ON SITE AND AWAY FROM TRAFFIC INTERFERENCE.
13. TEST PITS AND/OR BORINGS WERE TAKEN FOR THE PURPOSE OF DESIGN AND SHOW CONDITIONS AT BORING POINTS ONLY. THEY DO NOT NECESSARILY SHOW THE NATURE OF ALL MATERIALS TO BE ENCOUNTERED DURING CONSTRUCTION.
14. THE CONTRACTOR SHALL PROTECT AND/OR CAP OFF ALL EXISTING ON-SITE UTILITY SERVICES ACCORDING TO THE LOCAL AUTHORITY'S SPECIFICATIONS. SERVICES SHALL BE CAPPED OFF WHERE SAME ENTER THE PERIMETER OF THE PROPERTY LINE.
15. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
16. ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
17. THESE PLANS ARE PERMITTING PLANS AND SHALL NOT TO BE USED FOR CONSTRUCTION. A FINAL SET OF STAMPED PLANS FOR CONSTRUCTION WILL BE ISSUED AFTER RECEIVING FINAL APPROVAL FROM THE LOCAL AND/OR STATE DEPARTMENTS.

1. CONSTRUCT TEMPORARY AND PERMANENT EROSION CONTROL FACILITIES. EROSION CONTROL FACILITIES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING.
2. TREE PROTECTION FENCE SHALL BE INSTALLED AND APPROVED BY THE OWNER REPRESENTATIVE PRIOR TO ANY EARTH MOVING.
3. ALL PERMANENT DITCHES AND SWALES ARE TO BE STABILIZED WITH VEGETATION OR RIP RAP PRIOR TO DIRECTING RUNOFF TO THEM.
4. CLEAR CUT, DEMOLISH AND DISPOSE OF EXISTING SITE ELEMENTS NOT TO REMAIN.
5. STORMWATER SHALL NOT BE DIRECTED TOWARDS THE INFILTRATION BASINS UNTIL THE ENTIRE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
6. GRADE AND GRAVEL ALL PAVED AREAS. ALL PROPOSED PAVED AREAS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
7. BEGIN ALL PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEED AND MULCHED IMMEDIATELY AFTER THEIR CONSTRUCTION.
8. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES AND MULCH AND SEED AS REQUIRED.
9. FINISH PAVING ALL HARD SURFACE AREAS.
10. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES.
11. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
12. REMOVE TEMPORARY EROSION CONTROL MEASURES.
13. THE CONSTRUCTION SEQUENCE SHALL BE CONFINED TO THE LIMIT OF WORK AS SHOWN ON THE DRAWINGS.
14. UPON COMPLETION OF CONSTRUCTION THE OWNER SHALL AGREE TO MAINTAIN AND CLEAN ALL DRAINAGE STRUCTURES AS REQUIRED.

1. WITHIN THE LIMIT OF WORK LINE AS NOTED ON THE SITE PLANS, REMOVE AND DISCARD ALL CONCRETE PAVEMENT, BITUMINOUS CONCRETE PAVEMENT, BRICK PAVEMENT, TOP SOIL, MULCH, TRASH, DEAD TREES AND STUMPS, SHRUBBERY, CHAIN LINK FENCE POSTS, RAILS, FABRIC, GATES, FOOTINGS AND ALL APPURTENANCES, BOLLARDS, POSTS, CONCRETE FOOTINGS AND FOUNDATIONS, WALLS AND CURBS UNLESS OTHERWISE NOTED.
2. THE OWNER'S REPRESENTATIVE SHALL BE CONSULTED AND WILL REVIEW THE WORK ON SITE WITH THE CONTRACTOR BEFORE ANY WORK SHALL COMMENCE.
3. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO STARTING WORK.
4. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS TO REMAIN THAT ARE DUE TO CONTRACTOR OPERATIONS.
5. ALL ITEMS TO BE REMOVED THAT ARE NOT STOCKPILED FOR LATER REUSE ON THE PROJECT OR DELIVERED TO THE OWNER SHALL BE LEGALLY DISPOSED OF OFF SITE BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS EFFORTS OF THE DEMOLITION WITH ALL TRADES.
7. THE CONTRACTOR SHALL COORDINATE ALL ADJUSTMENT OR ABANDONMENT OF UTILITIES WITH THE RESPECTIVE UTILITY COMPANY.
8. THE CONTRACTOR SHALL MAINTAIN OR ADJUST TO NEW FINISH GRADES AS NECESSARY ALL UTILITY AND SITE STRUCTURES SUCH AS LIGHT POLES, SIGN POLES, MANHOLES, CATCH BASINS, HAND HOLES, WATER AND GAS GATES, HYDRANTS, ETC., FROM MAINTAINED UTILITY AND SITE SYSTEMS UNLESS OTHERWISE NOTED OR DIRECTED BY THE OWNER'S REPRESENTATIVE.

1. ALL ON-SITE STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) OR RCP, UNLESS NOTED OTHERWISE.
2. HDPE PIPE SHALL CONFORM WITH ASHTO DESIGNATIONS M24 AND M252, SHALL BE MANUFACTURED WITH HIGH DENSITY POLYETHYLENE PLASTIC AND SHALL BE ADS N-12 PIPE AS MANUFACTURED BY ADVANCE DRAINAGE SYSTEMS, INC. OR HANCOR, INC. PIPE AS MANUFACTURED BY HANCOR, INC. OR APPROVED EQUIV. UNLESS OTHERWISE NOTED OR DETAILED.
3. A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES.
4. BEFORE THE DEVELOPMENT SITE IS GRADED, THE AREA OF THE DRAINAGE BASINS SHOULD BE FENCED OFF TO PREVENT HEAVY EQUIPMENT FROM COMPACTING THE UNDERLYING SOIL.
5. WHERE PROPOSED GRADES MEET EXISTING GRADES, CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. PONDING AT TRANSITION AREAS WILL NOT BE ALLOWED.
6. CONTRACTOR SHALL MAINTAIN A MINIMUM 10' SEPARATION AWAY FROM ALL BUILDING FOUNDATIONS AND STRUCTURES.
7. MAXIMUM SLOPE IN DISTURBED AREAS SHALL NOT EXCEED 3% UNLESS OTHERWISE NOTED.
8. CONTRACTOR SHALL VERIFY EXISTING GRADES AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
9. CONTRACTOR SHALL ADJUST UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
10. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE OWNER'S REPRESENTATIVE FOR RESOLUTION OF THE CONFLICT.
11. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ALL GAS, ELECTRIC, TELEPHONE AND ANY OTHER UTILITY UTILITIES FOR THE DEVELOPMENT COMPANIES.
12. THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY AND APPROVED BY THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE AND ELECTRICAL). FINAL DESIGN AND LOCATIONS AT THE BUILDING WILL BE PROVIDED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE UTILITY CONNECTIONS WITH THE RESPECTIVE COMPANIES PRIOR TO ANY UTILITY CONSTRUCTION.

1. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
2. ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
3. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAILS CONTIGUOUS TO THE BUILDING INCLUDING SIDEWALKS, RAMPS, UTILITY ENTRANCE LOCATIONS, WALL PACKS, CONCRETE DOOR PADS, ROOF DRAINS, ETC.
4. ACCESSIBLE CURB RAMP SHALL BE PER THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD AND THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES, WHICH IS MORE STRINGENT.
5. THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN:
 ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING.
 ALL DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE.
 ALL DIMENSIONS ARE TO CENTER OF PAVEMENT MARKINGS.
 ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.

1. THE CONSERVATION COMMISSION SHALL BE NOTIFIED, AT LEAST 72 HOURS PRIOR TO ANY LAND DISTURBANCE.
2. A COPY OF THE SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED ON THE PROJECT SITE DURING CONSTRUCTION.
3. SOIL EROSION AND SEDIMENT CONTROL PRACTICES IN THE PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
4. ALL APPLICABLE SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY DEMOLITION GRADING OPERATION AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
5. ALL APPLICABLE SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND/OR THE AREA IS STABILIZED.
6. ALL SOIL EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
7. THE MAINTENANCE OF SOIL EROSION AND SEDIMENT CONTROL MEASURES AND FACILITIES DURING AND IMMEDIATELY AFTER CONSTRUCTION RESTS WITH THE GENERAL CONTRACTOR. UPON ACCEPTANCE OF THE PROJECT, THE OWNER SHALL BECOME RESPONSIBLE FOR MAINTENANCE OF ANY REMAINING MEASURES AND FACILITIES.
8. OFF SITE SEDIMENT DISTURBANCE MAY REQUIRE ADDITIONAL CONTROL MEASURES TO BE DETERMINED BY THE ENGINEER.
9. THE CONSERVATION COMMISSION AND/OR ENGINEER MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR.
10. ADJOINING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS AT ALL TIMES.
11. THE CONTRACTOR SHALL UTILIZE ALL METHODS NECESSARY TO PREVENT BLOWING AND MOVEMENT OF DUST FROM THE EXPOSED SOIL SURFACES.
12. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
13. A CRUSHED STONE TIRE CLEANING PAD WILL BE INSTALLED WHEREVER A CONSTRUCTION ENTRANCE EXISTS. SEE LOCATION DETAIL ON PLAN.
14. ALL CATCH BASIN INLETS SHALL BE PROTECTED DURING CONSTRUCTION AS DETAILED ON THE PLAN, IF APPLICABLE.
15. ALL STORM DRAINAGE OUTLETS SHALL BE PROTECTED AS REQUIRED HEREON BEFORE DISCHARGE POINTS BECOME OPERATIONAL.
16. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
17. LAND AREAS EXPOSED AT ANY ONE TIME AND THE LENGTH OF EXPOSURE SHALL BE KEPT TO A PRACTICAL MINIMUM. THEY SHALL BE LEFT IN A NEAT AND FINISHED APPEARANCE AND PROTECTED FROM EROSION.
18. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN SIXTY (60) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND FERTILIZATION. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS SHALL BE MULCHED.
19. ALL CRITICAL AREAS SUBJECT TO EROSION SHALL RECEIVE A TEMPORARY SEEDING AND BE MULCHED IN ACCORDANCE WITH THE SPECIFICATIONS IMMEDIATELY FOLLOWING ROUGH GRADING.
20. IMMEDIATELY AFTER COMPLETION OF STRIPPING AND STOCKPILING OF TOPSOIL, SEED THE STOCKPILE WITH ANNUAL RYE GRASS. STABILIZE TOPSOIL STOCKPILES WITH STRAW MULCH FOR PROTECTION IF THE SEASON DOES NOT PERMIT THE APPLICATION AND ESTABLISHMENT OF TEMPORARY SEEDING.
21. SOIL STOCKPILES ARE NOT TO BE LOCATED WITHIN FIFTY (50) FEET OF WETLANDS, THE FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITIES. THE BASE OF ALL STOCKPILES SHALL BE PROTECTED BY A HAY BALE BARRIER OR SEDIMENT FENCE. LOCATIONS ARE DELINEATED ON THE PLAN.
22. MAXIMUM SLOPE SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
23. ALL AREAS NOT STABILIZED BY CONSTRUCTION, SODDING OR LANDSCAPING SHALL BE SEEDDED AND STABILIZED IN ACCORDANCE WITH THE SEEDING AND MULCHING SPECIFICATIONS.
24. MULCHING IS REQUIRED ON ALL SEEDED AREAS TO INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED TO PROMOTE EARLIER VEGETATIVE COVER.
25. ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTRATION DEVICE. THE SEDIMENT FILTER MUST BE CAPABLE OF FILTERING THE SEDIMENT AND BE PLACED SO AS NOT TO CAUSE EROSION OF THE DOWNSTREAM AREA.

1. ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN OR THE PLANT MATERIAL WILL BE UNACCEPTABLE. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY, SIZE AND BE CERTIFIED DISEASE AND INSECT FREE. THE OWNER AND/OR THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO APPROVE ALL PLANT MATERIAL ON SITE PRIOR TO INSTALLATION.
2. ALL PLANT MATERIAL SHALL BE PROPERLY GUYED, STAKED, WRAPPED, AND PLANTED IN CONFORMANCE WITH THE TYPICAL PLANTING DETAILS. GUY WIRES SHALL BE ATTACHED TO THE TREE AT A HEIGHT OF TWO-THIRDS THE HEIGHT OF THE TREE AND SHOULD BE LOCATED AT POINTS SO AS NOT TO SPLIT THE TRUNK OF MULTI-STEMMED TREES. PROVIDE THREE STAKES PER TREE UNLESS NOTED OTHERWISE INSTALL ALL PLANT MATERIAL ON UNDISTURBED GRADE. PROVIDE BURLAP WRAPPING WITH A 50% OVERLAP. CUT AND REMOVE BURLAP FROM TOP ONE-THIRD OF THE ROOT BALL.
3. PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. BACKFILL PLANTING PITS WITH ONE PART EACH OF TOP SOIL, PEAT MOSS, AND PARENT MATERIAL. IF WEIT SOIL CONDITIONS EXIST THEN PLANTING PITS SHALL BE EXCAVATED AN ADDITIONAL 12" AND FILLED WITH SAND.
4. NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF INSTALLATION AND SHALL BE SUBSEQUENTLY FLOODED TWICE WITHIN TWENTY-FOUR (24) HOURS OF PLANTING. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT, GROWTH AND SURVIVAL OF ALL PLANTS.
5. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER THE DATE OF FINAL ACCEPTANCE. ANY PLANT MATERIAL THAT DIES WITHIN THAT TIME PERIOD SHALL BE REMOVED, INCLUDING THE STUMP, AND REPLACED WITH MATERIAL OF SIMILAR SIZE AND SPECIES AT THE EXPENSE OF THE DEVELOPER. THE REPLACED PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER THE REPLACEMENT DATE.
6. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM 4" LAYER OF TOPSOIL IN ALL LAWN AREAS AND A MINIMUM OF 6" OF TOPSOIL IN ALL PLANTING AREAS. A FULL SOIL ANALYSIS SHALL BE CONDUCTED AFTER CONSTRUCTION AND PRIOR TO PLANTING TO DETERMINE THE EXTENT OF SOIL AMENDMENT REQUIRED.
7. ALL DISTURBED LAWN AREAS SHALL BE STABILIZED WITH EITHER SOD OR SEED AS INDICATED ON THE LANDSCAPE PLANS. SEED SHALL CONSIST OF THE MIXTURE LISTED IN THE GENERAL SEEDING NOTES. ALL DISTURBED LAWN AREAS SHALL BE TOP SOILED, LIMED, FERTILIZED, AND FINE GRADED PRIOR TO LAWN INSTALLATION.
8. ALL PLANTING BEDS SHALL RECEIVE 3" OF SHREDDED PINE, CEDAR OR HEMLOCK BARK.
9. ALL SHRUB MASSES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS.
10. ALL TREES ARE TO BE GUYED, 3 EACH, UNLESS OTHERWISE NOTED ON PLAN.
11. ALL DECIDUOUS TREES ARE TO BE WRAPPED, WITH TREE WRAP, UP TO THE FIRST BRANCHING AND SECURED.
12. THE LANDSCAPE CONTRACTOR IS TO PERFORM ALL CONTRACTED WORK IN A REASONABLE PERIOD OF CONTINUOUS WORK.
13. THE LANDSCAPE CONTRACTOR IS TO MAINTAIN PLANT MATERIAL WHILE THE PROJECT IS UNDERWAY AND FOR A PERIOD OF TWO WEEKS AFTER THE COMPLETION OF THE PROJECT UNLESS OTHERWISE SPECIFIED.
14. THE CONTRACTOR IS TO CLEAN UP AND REMOVE ANY DEBRIS FROM THE SITE, CAUSED BY THE LANDSCAPE CONTRACTOR.

- CONTOUR LINE
- SPOT GRADE
- CHAIN LINK FENCE
- PAVED STRAW WATTLE
- WATER LINE
- FIRE HYDRANT
- ST INDICATOR VALVE
- WATER GATE
- WATER METER PIT
- IRIGATION HAND HOLE
- WELL
- SEWER LINE
- SEWER MANHOLE
- GAS LINE
- GAS METER
- GAS GATE
- DRAIN LINE
- DRAIN MANHOLE
- CATCH BASIN
- OVERHEAD WIRES
- IC, TELEPHONE & CABLE
- UTILITY POLE
- GUY WIRE



REVISIONS		
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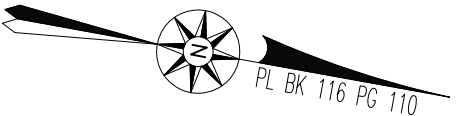
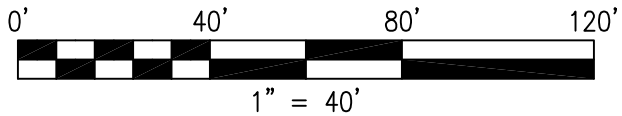
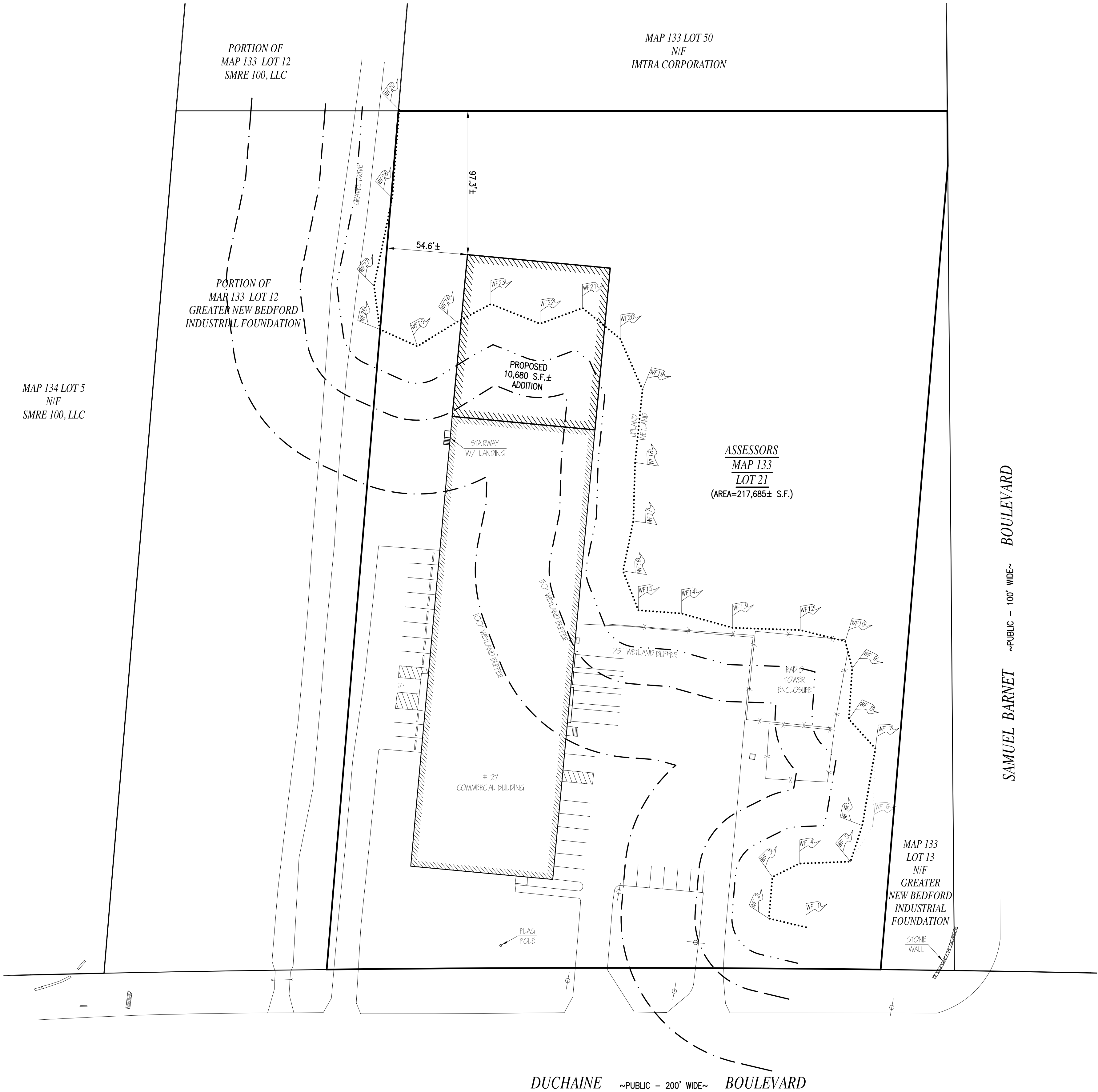
SITE PLAN

— 127 DUCHAINE BOULEVARD —
ASSESSORS MAP 133 LOT 21
NEW BEDFORD, MASSACHUSETTS

PREPARED BY: MILHENCH SUPPLY COMPANY
FOR: 121 DUCHAINE BOULEVARD
NEW BEDFORD, MA 02745

AUGUST 6, 2018
SCALE: AS NOTED
JOB NO. 15-1077
LATEST REVISION: SEPTEMBER 13, 2018

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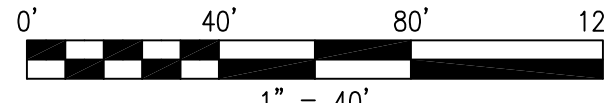
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DESIGNED BY:	SC/MJW
CHECKED BY:	CAF



SITE PLAN

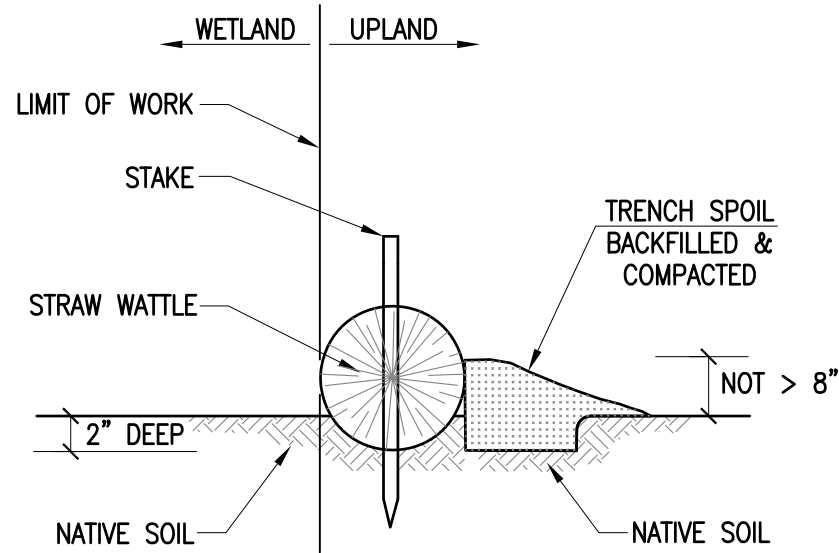
— 127 DUCHAINE BOULEVARD —
ASSESSORS MAP 133 LOT 21
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:
MILHENCH SUPPLY COMPANY
121 DUCHAINE BOULEVARD
NEW BEDFORD, MA 02745

AUGUST 6, 2018
SCALE: 1"=40'
JOB NO. 15-1077
LATEST REVISION: SEPTEMBER 13, 2018
LAYOUT
SHEET 4 OF 7

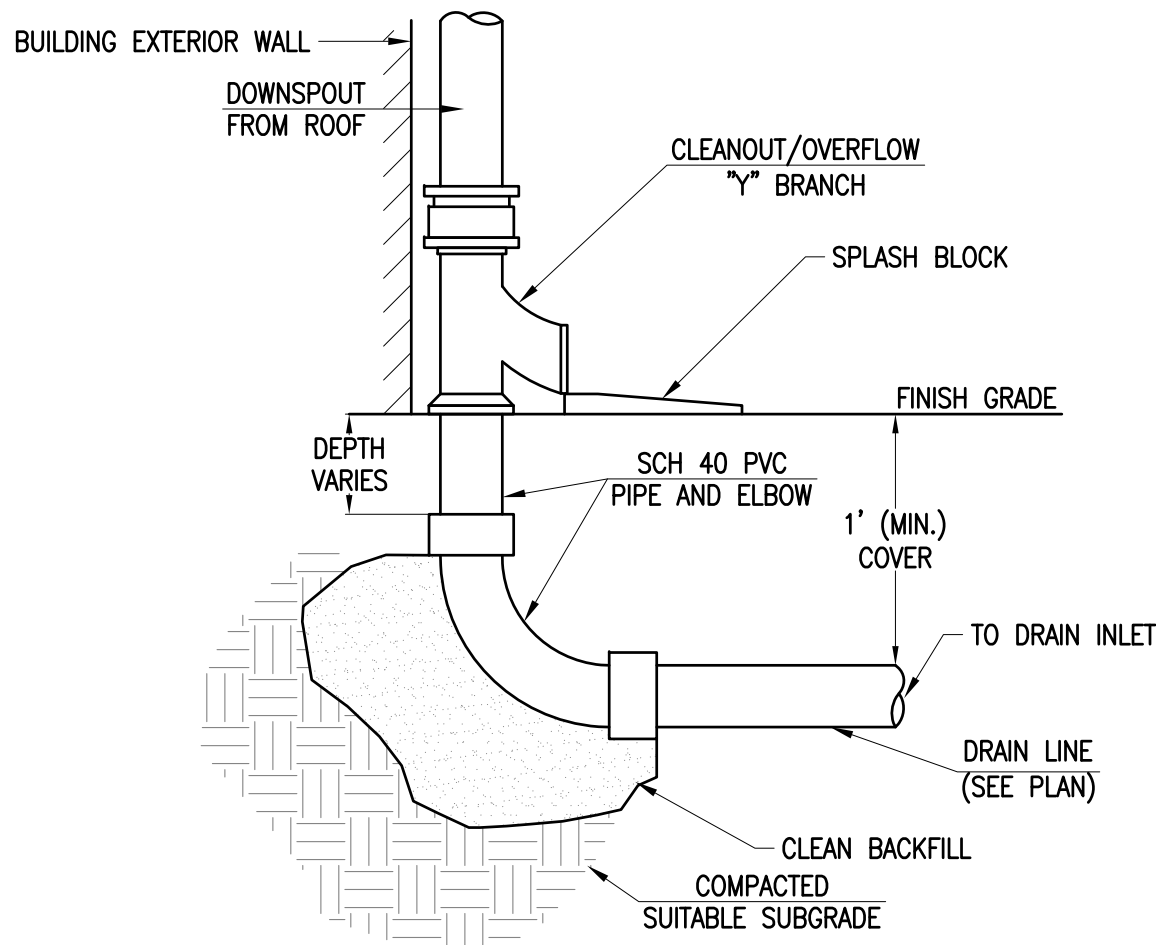


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DESIGNED BY: SC/MJW		
CHECKED BY: CAF		
<div style="display: flex; justify-content: space-between;"> <div style="width: 60%;"> <p style="text-align: center;">SITE PLAN</p> <p>— 127 DUCHAINE BOULEVARD — ASSESSORS MAP 133 LOT 21 NEW BEDFORD, MASSACHUSETTS</p> </div> <div style="width: 35%; text-align: right;"> <p>PREPARED BY: MILHENCH SUPPLY COMPANY 121 DUCHAINE BOULEVARD NEW BEDFORD, MA 02745</p> </div> </div>		
AUGUST 6, 2018		
SCALE: 1"=40'		
JOB NO. 15-1077		
LATEST REVISION: SEPTEMBER 13, 2018		
GRADING & UTILITIES		
SHEET 5 OF 7		



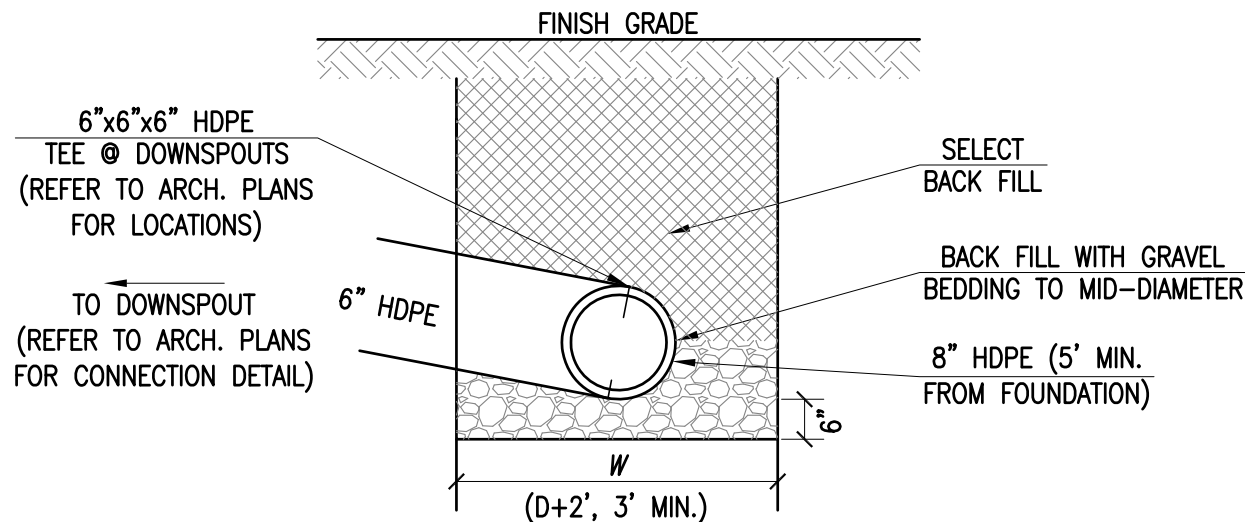
STAKED STRAW WATTLE

NOT TO SCALE



DOWNSPOUT CONNECTION FROM ROOF

NOT TO SCALE



ROOF DRAIN TRENCH

NOT TO SCALE

TH-1 ELEV.=79.6± 10/18/17	TH-2 ELEV.=79.3± 10/18/17	TH-3 ELEV.=80.0± 10/18/17	TH-4 ELEV.=81.4± 3/1/18
0"-22" E HORIZON LOAMY SAND 10YR7/1	0"-18" A HORIZON LOAMY SAND 10YR2/1	0"-11" A HORIZON LOAMY SAND 10YR2/1	0"-7" A HORIZON SANDY LOAM 10YR2/1
77.8	77.8	79.1	80.8
22"-24" A HORIZON LOAMY SAND 10YR2/1	18"-48" B HORIZON LOAMY SAND 10YR5/6	11"-49" B HORIZON LOAMY SAND 10YR5/6	7"-13" E HORIZON LOAMY SAND 10YR6/2
77.6	75.5	76.1	80.3
24"-36" B HORIZON LOAMY SAND 10YR5/6	46"-120" C HORIZON MEDIUM SAND 5YR4/6	47"-120" C HORIZON MEDIUM SAND 5YR4/6	13"-32" B HORIZON SANDY LOAM 2.5Y5/3
76.6	69.3	70.0	78.7
36"-47" C1 HORIZON SANDY LOAM 7.5YR6/2	REDOX Ø 48" ELEV.=75.5±	REDOX Ø 48" ELEV.=76.0±	32"-80" C HORIZON COARSE SAND 5YR4/6
75.7			74.7
47"-120" C2 HORIZON MEDIUM SAND 5YR4/6			REDOX Ø 65" ELEV.=76.0±
69.6			
REDOX Ø 48" ELEV.=75.6±			

SOIL LOGS

NOT TO SCALE

CONSTRUCTION SEQUENCE & NOTES

- THE WETLAND REPLICATION AREA SHALL BE CONSTRUCTED PRIOR TO ANY EARTH DISTURBANCE REQUIRED FOR THE PROPOSED PROJECT.
- WETLAND REPLICATION SHALL BE PERFORMED UNDER THE DIRECTION AND GUIDANCE OF A QUALIFIED BOTANIST. THE RESUME OF THE WETLAND PROFESSIONAL WHO SHALL OVERSEE THE CONSTRUCTION OF THE WETLAND REPLICATION AREA IS TO BE SUBMITTED TO THE CONSERVATION COMMISSION OR ITS DESIGNATED AGENT FOR ACCEPTANCE TWO WEEKS PRIOR TO THE INITIATION OF REPLICATION ACTIVITIES.
- PRIOR TO THE COMMENCEMENT OF WORK, THE LIMITS OF THE EXISTING WETLAND BOUNDARY SHALL BE STAKED OR FLAGGED AT 15' INTERVALS IN THE VICINITY OF THE REPLICATION AREAS, AND AN EROSION CONTROL BARRIER (STRAW WATTLE AND/OR SILT FENCE) SHALL BE INSTALLED AROUND THESE HUMMOCKS. EXISTING BOULDERS WITHIN THE REPLICATION AREA ARE ALSO TO REMAIN. BOULDERS SHALL NOT COMPRISE MORE THAN 15% OF THE COVERAGE OF THE REPLICATION AREA.
- ACCESS TO THE WETLAND REPLICATION AREA SHALL OCCUR FROM UPLAND AREAS AND SHALL NOT RESULT IN IMPACT TO EXISTING WETLANDS.
- CONSTRUCTION SHALL COMMENCE WITH REMOVAL OF EXISTING VEGETATION WITHIN THE REPLICATION AREA. EXISTING MATURE UPLAND TREES THAT ARE FACULTATIVE OR WETTER MAY BE LEFT ON HUMMOCKS WITHIN THE REPLICATION AREA, AS THEY MAY PROVIDE SHADING TO THE PLANTINGS INSTALLED AROUND THESE HUMMOCKS. EXISTING BOULDERS WITHIN THE REPLICATION AREA ARE ALSO TO REMAIN. BOULDERS SHALL NOT COMPRISE MORE THAN 15% OF THE COVERAGE OF THE REPLICATION AREA.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR REUSE ELSEWHERE ON-SITE. EXCAVATION SHALL EXTEND TO APPROXIMATELY 12" BELOW THE PROPOSED FINAL GRADE ELEVATION. IF DENSE SOILS ARE ENCOUNTERED, IT IS RECOMMENDED TO EXCAVATE AN ADDITIONAL 6" TO ACCOMMODATE WETLAND SOIL MIX.
- THE EXCAVATED REPLICATION AREA FLOOR SHALL BE GRADED TO BLEND WITH UNDISTURBED WETLAND AREAS AND REMAINING HUMMOCKS WHERE EXISTING TREES ARE TO REMAIN. THE REPLICATION AREA SHALL NOT HAVE FINISHED TOPOGRAPHY WHICH RESULTS IN COMPLETELY FLAT TOPOGRAPHY. THE FINISH GRADING SHOULD RESULT IN A SHALLOW PIT AND MOUND TOPOGRAPHY THROUGHOUT THE REPLICATION AREA.
- A WET SOIL MIX SHALL BE COMPRISED OF THE "O" AND "A" HORIZON SOILS STRIPPED FROM THE WETLAND DISTURBANCE AREA. SHOULD THESE SOILS BE OF INSUFFICIENT QUANTITY OR QUALITY, A CREATED BLEND CONSISTING OF ONE PART SANDY LOAM AND ONE PART COMPOSTED LEAVES OR PEAT MOSS SHALL BE USED.
- TREE, SHRUB, AND GROUND COVER PLANTINGS SHALL BE INSTALLED PER PLAN IMMEDIATELY FOLLOWING THE EXCAVATION AND PLACEMENT OF ORGANIC SOILS WITHIN THE REPLICATION AREA. DUE TO HIGH PLANT MORTALITY, PLANTING SHOULD BE AVOIDED DURING THE SUMMER MONTHS. LOCATION OF PLANTS MAY BE ADJUSTED IN THE FIELD TO ACCOMMODATE EXISTING TREES AND/OR BOULDERS WHICH ARE TO REMAIN. TREES ARE TO BE PLANTED AT NO MORE THAN 25 FEET ON-CENTER. SHRUBS PLANTED AT 5-6 FEET ON CENTER, AND FERNS AT 3-5 FEET ON CENTER. ALL WETLAND PLANTING IS TO BE PERFORMED BY HAND.
- AFTER PLANTING IS COMPLETED, THE REPLICATION AREA SHALL BE HAND RAKED TO ELIMINATE AND DEPRESSIONS GREATER THAN FOUR INCHES IN DEPTH WHICH MAY HAVE BEEN CREATED DURING DIGGING, AND TO ELIMINATE COMPACTION AS MUCH AS POSSIBLE.
- THE WETLAND FLOOR (UP TO ELEVATION 81.0 +/-) SHALL BE SEEDED WITH COMMERCIALY AVAILABLE SEED MIX (NEW ENGLAND WETLAND PLANTS, INC. "NEW ENGLAND WETMIX", OR EQUAL), APPLIED AT A RATE OF 1 LB PER 2,500 S.F.

WATERING & MONITORING NOTES:

- DEPENDENT UPON THE WEATHER, THE REPLICATION AREA MAY NEED DAILY WATERING FOR APPROXIMATELY ONE MONTH, OR UNTIL THE PLANTINGS HAVE TAKEN ROOT AND GROWTH IS OBSERVED. IT IS RECOMMENDED THAT PLANTING BE PERFORMED IN APRIL/MAY OR SEPTEMBER/OCTOBER, TO AVOID PLANT MORTALITY DURING SUMMER MONTHS. PLANTINGS SHALL BE WATERED AS NECESSARY TO ENSURE SURVIVAL FOR A MINIMUM TWO-YEAR PERIOD.
- THE CITY OF NEW BEDFORD CONSERVATION COMMISSION SHALL BE NOTIFIED 72 HOURS IN ADVANCE OF THE COMMENCEMENT OF WETLAND REPLICATION CONSTRUCTION.
- A WETLAND SCIENTIST OR OTHER QUALIFIED PROFESSIONAL SHALL CONDUCT A PRE-CONSTRUCTION MEETING WITH THE CONTRACTOR, AND SHALL INSPECT THE CONSTRUCTION OF THE REPLICATION AREA UPON EXCAVATION TO THE SUBGRADE, WHEN WETSOIL MIX IS APPLIED AT FINISH GRADE, AND ONCE PLANTING HAVE BEEN INSTALLED.
- AFTER ONE GROWING SEASON, THE REPLICATION AREA SHALL BE ASSESSED BY A WETLAND SCIENTIST TO DETERMINE THE GROWING SUCCESS OF THE PLANTINGS, AND ASSESS THE NEED FOR POSSIBLE ADDITIONAL PLANTINGS.
- AFTER THE SECOND GROWING SEASON, A REPORT SHALL BE SUBMITTED TO THE CONSERVATION COMMISSION, STATING THE SUCCESS OF THE WETLAND REPLICATION AREA. IN ACCORDANCE WITH THE PERFORMANCE STANDARDS FOUND IN 310 CMR 10.55(4)(B)(6), IF THE 75% AERIAL COVERAGE CRITERIA IS NOT ACHIEVED, A MITIGATION PLAN SHALL BE SUBMITTED TO THE CONSERVATION COMMISSION AND THE MONITORING PERIOD SHALL BE EXTENDED.

SURROUNDING UPLAND PLANT SPECIES

Tree layer
Red maple (*Acer rubrum*)
White pine (*Pinus strobus*)
Gray birch (*Betula populifolia*)
White oak (*Quercus alba*)
Eastern hemlock (*Tsuga canadensis*)

Shrub layer
White pine (*Pinus strobus*)
Gray birch (*Betula populifolia*)
Black gum (*Nyssa sylvatica*)
Sweet pepperbush (*Clethra alnifolia*)
American holly (*Ilex opaca*)
American beech (*Fagus grandifolia*)

Climbing woody vines
Round-leaved greenbrier (*Smilax rotundifolia*)

Herbaceous
Broom sedge (*Andropogon virginicus*)
Little bluestem (*Schizachyrium scoparium*)
Unspecified sedge species (*Carex* sp.)
Trailing raspberry (*Rubus* sp.)

SURROUNDING WETLAND PLANT SPECIES

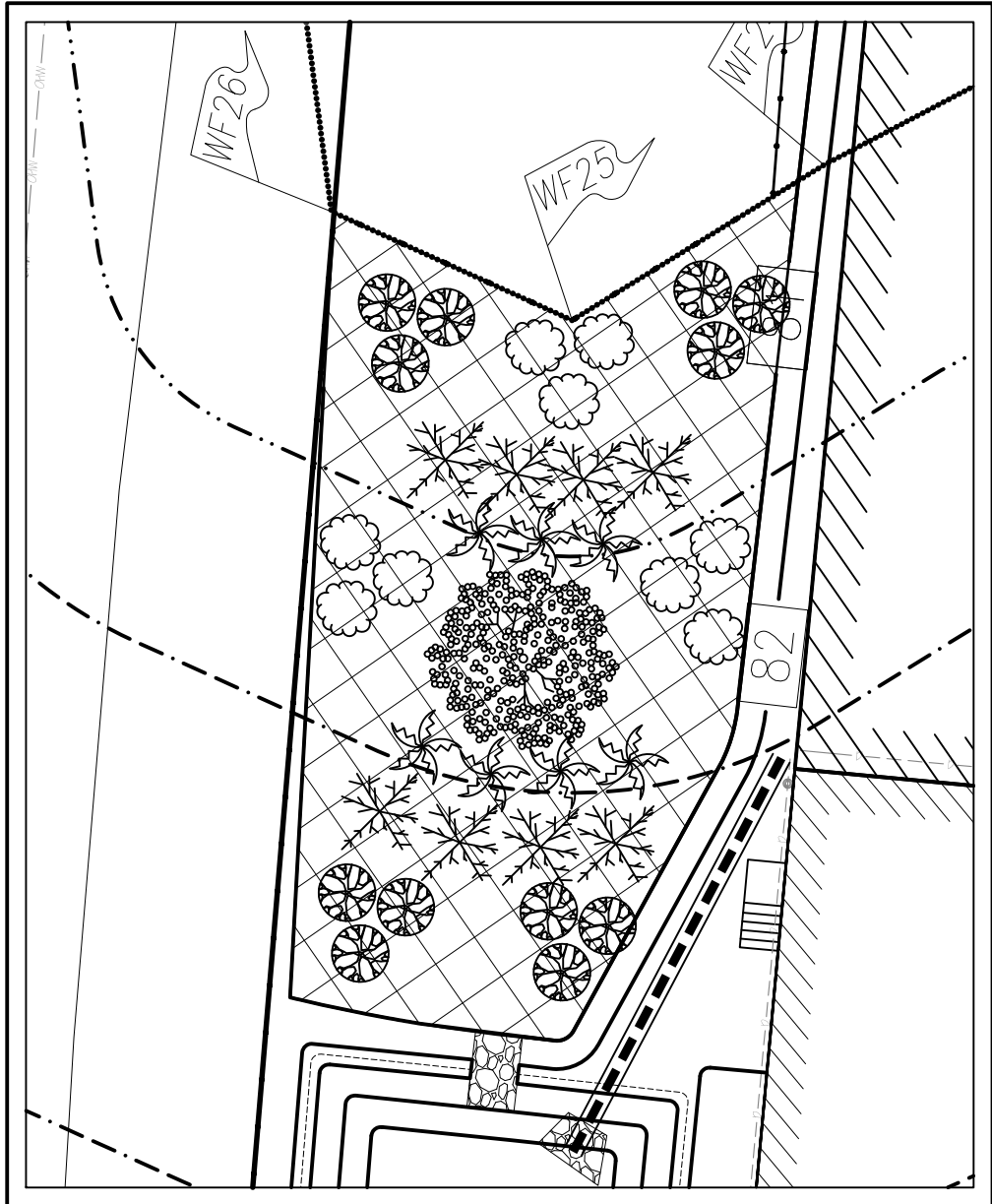
Tree layer
Gray birch (*Betula populifolia*)

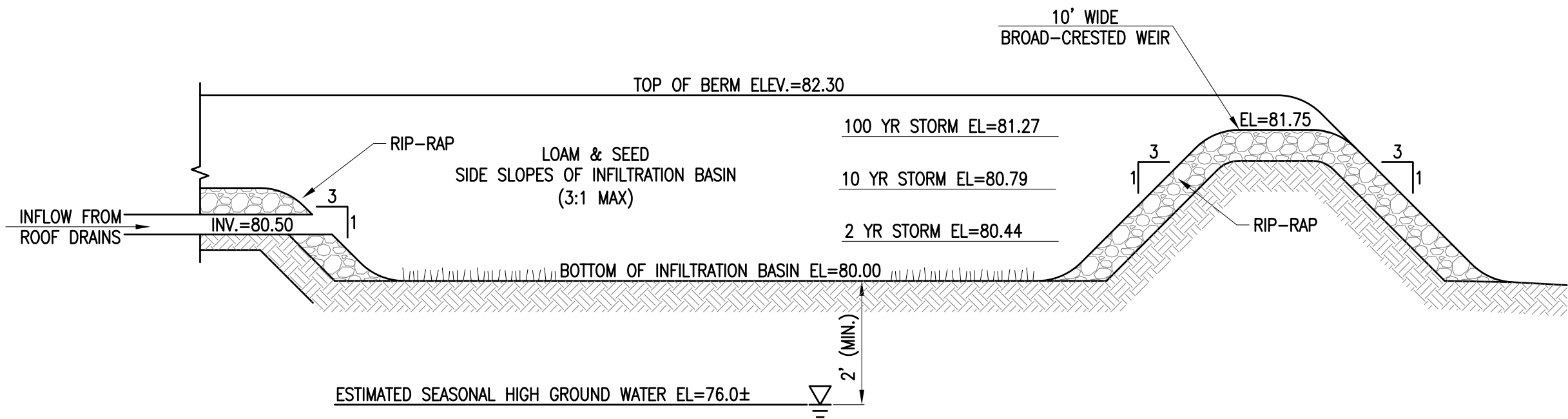
Shrub layer
Red maple (*Acer rubrum*)
Sweet pepperbush (*Clethra alnifolia*)
Multiflora rose (*Rosa multiflora*)
Highbush blueberry (*Vaccinium corymbosum*)
Maleberry (*Lyonia ligustrina*)
Arrowwood (*Viburnum recognitum*)

Climbing woody vines
Oriental bittersweet (*Celastrus orbiculatus*)

Herbaceous layer
Sensitive fern (*Onoclea sensibilis*)
Cinnamon fern (*Osmunda cinnamomea*)
Soft rush (*Juncus effusus*)
Reed canary-grass (*Phalaris arundinacea*)
Pennsylvania smartweed (*Polygonum pensylvanica*)
Arrow-leaved tearthumb (*Polygonum cuspidatum*)

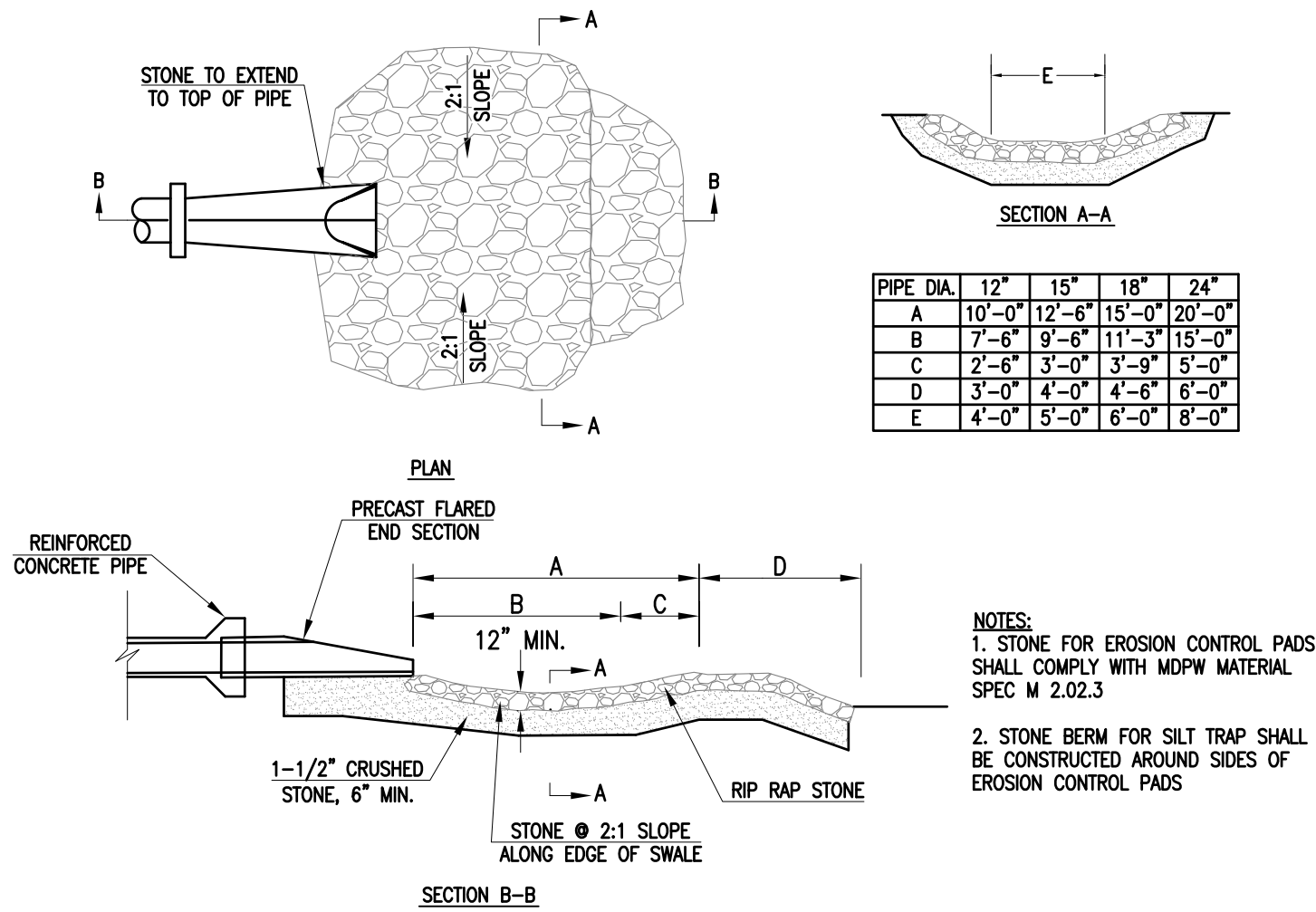
REPLICAITON PLANTING TABLE				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
TREES				
	ACER RUBRUM	RED MAPLE	3 INCH CALIPER	2
SHRUBS				
	CLETHRA ALNIFOLIA	SWEET PEPPERBUSH	36 INCH	24
	VACCINIUM CONYMBOSIUM	HIGHBUSH BLUEBERRY	36 INCH	27
GROUND				
	ONOCLEA SENSIBILIS	SENSITIVE FERN	1 GALLON	15
	OSMUNDA CINNAMOMEA	CINNAMON FERN	1 GALLON	18





INFILTRATION BASIN

NOT TO SCALE



FLARED END OUTLET

NOT TO SCALE

REVISIONS

1	9/13/18	PEER REVIEW COMMENTS



www.FarlandCorp.com

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NEW BEDFORD, MA 02740
P.508.717.3479

OFFICES IN:

- TAUNTON
- MARLBOROUGH
- WARWICK, RI

DRAWN BY: SC/MJW

DESIGNED BY: SC/MJW

CHECKED BY: CAF

SITE PLAN

127 DUCHAINE BOULEVARD
ASSESSORS MAP 133 LOT 21
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:
MIL-HECH SUPPLY COMPANY
121 DUCHAINE BOULEVARD
NEW BEDFORD, MA 02745

AUGUST 6, 2018

SCALE: 1"=20'

JOB NO. 15-1077

LATEST REVISION:
SEPTEMBER 13, 2018

DETAILS CONT.

SHEET 7 OF 7



MBA-ARCHITECTS.COM

MILITARY WAREHOUSE ADDITION

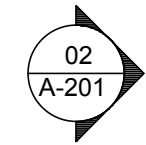
121 DOUGLASS BLVD.
NEW BEDFORD, MA 02745

ALICIA JULY

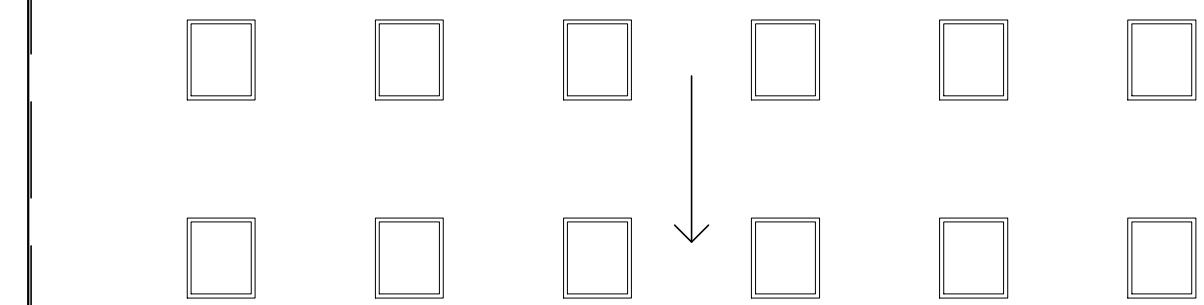
DATE: 08/14/10	SCALE: AS NOTED
JOB NO: 1610.01	DRAWN BY: CA

A-101

NOT FOR CONSTRUCTION

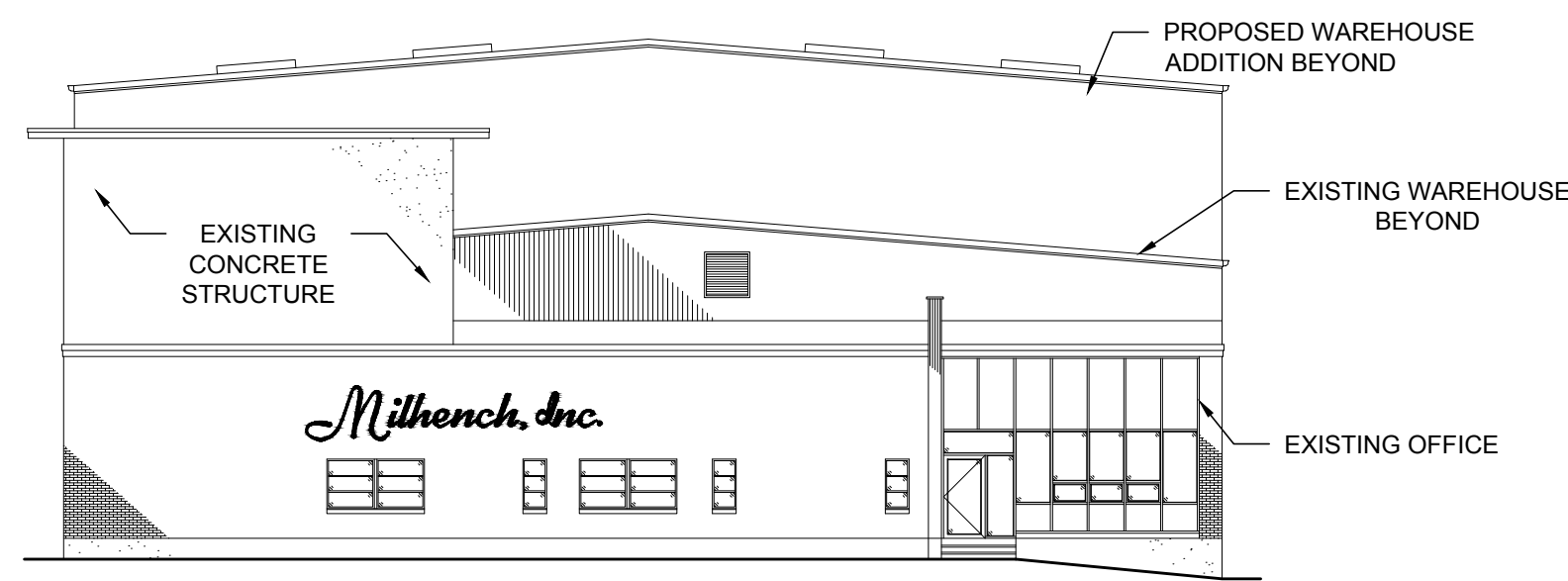


01 BUILDING PLAN

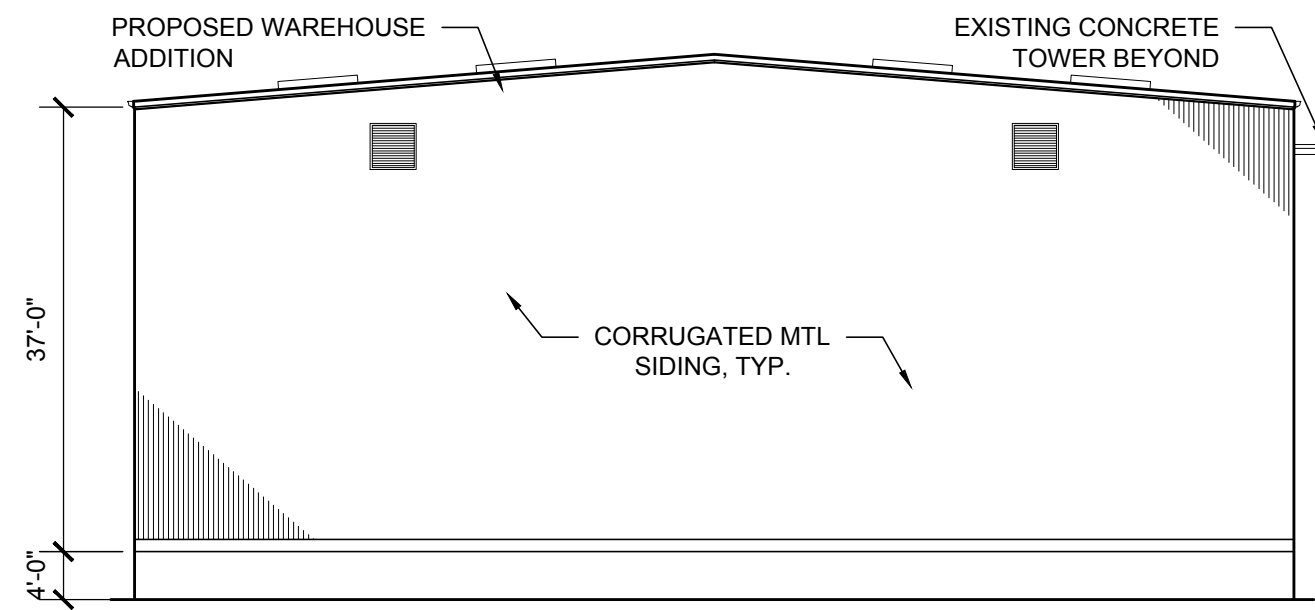


02 ROOF PLAN

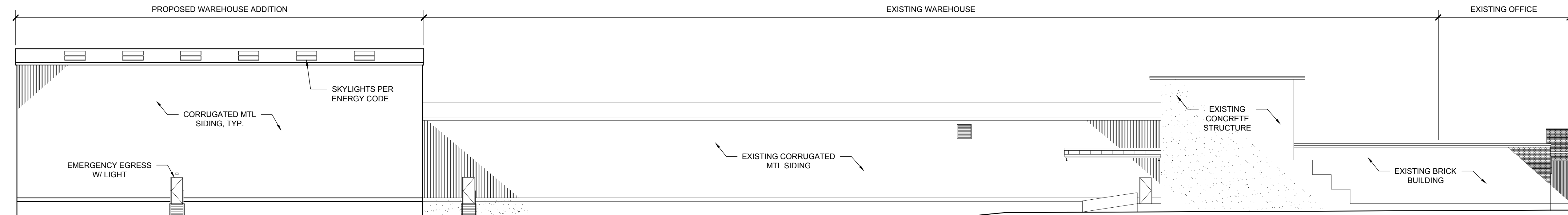




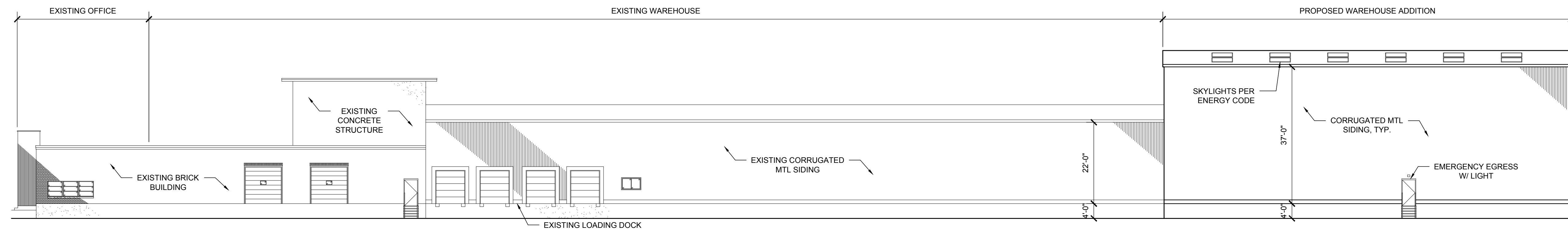
01 EAST ELEVATION
SCALE: 1/16"= 1'-0"



02 WEST ELEVATION
SCALE: 1/16"= 1'-0"



03 SOUTH ELEVATION
SCALE: 1/16"= 1'-0"



04 NORTH ELEVATION
SCALE: 1/16"= 1'-0"



J.M. Booth & Associates Inc.
47 N. Second St, 4th Floor
New Bedford, MA 02740
Tel. No. 508-999-6220
J.M.B.A.-ARCHITECTS.COM

ARCHITECTS STAMP

MILENCH WAREHOUSE ADDITION
121 DUCHANE BLVD.
NEW BEDFORD, MA 02745

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REVISION

NAME:
PROPOSED ELEVATIONS

SCALE: AS NOTED
DATE: 08/14/18
JOB NO: 1610.01
DRAWN BY: ---

DRAWING NO.

A-201

NOT FOR CONSTRUCTION