



## City of New Bedford

### Department of Planning, Housing & Community Development

608 Pleasant St, New Bedford, Massachusetts 02740

Telephone: (508) 979.1500 Facsimile: (508) 979.1575

PATRICK J. SULLIVAN  
DIRECTOR

## STAFF REPORT

### PLANNING BOARD MEETING

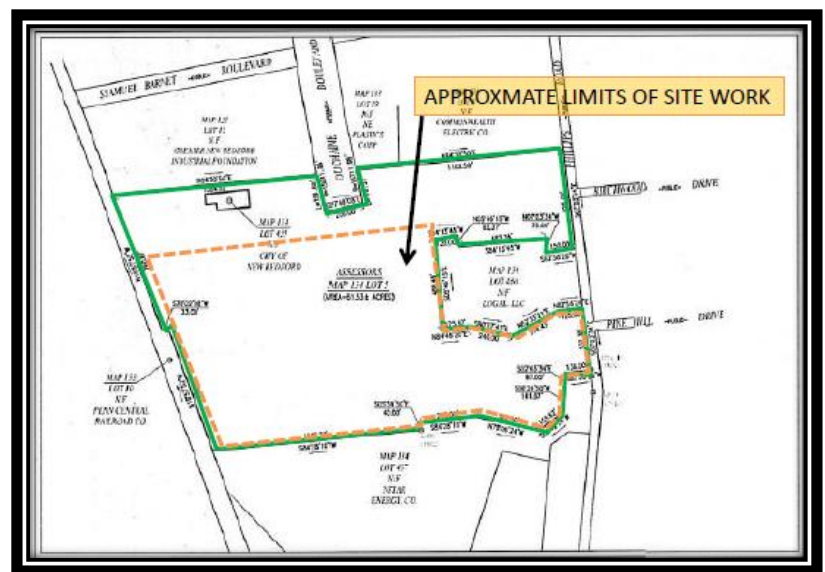
September 13, 2017

**Case #32-17: SITE PLAN APPROVAL**

100 Duchaine Blvd  
(Map 134, Lot 5)

**Applicant:** Farland Corp  
401 County Street  
New Bedford, MA 02745

**Owners:** Tim Cusson  
SMRE 100, LLC  
255 State Street; 7<sup>th</sup> Fl  
Boston, MA 02109



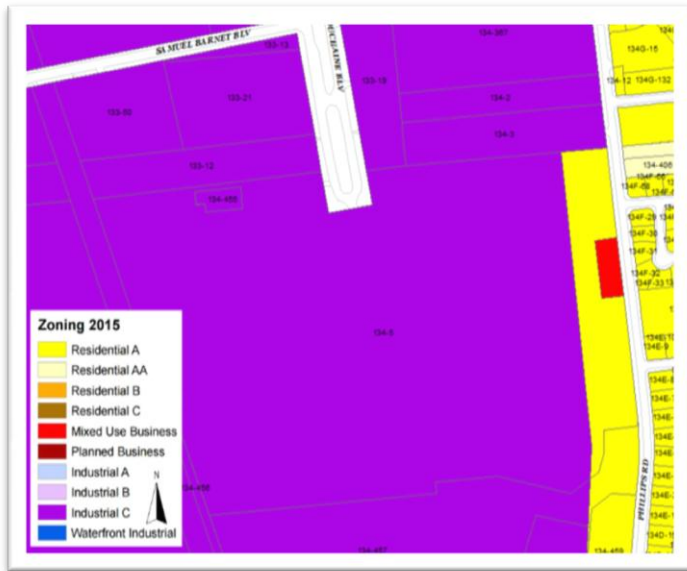
### Overview of Request

This is a request by applicant for **Site Plan** approval under **Chapter 9 Comprehensive Zoning, §5400-5490B** for construction of a 15,000+/- SF addition to a 92,218+/- existing structure, for a recycling facility and parking area with solar canopy for Parallel Products, located in New Bedford Business Park at 100 Duchaine Blvd (Map 134, Lot 5) on a 65.1 +/- acre site in the Industrial C (IC) and Residence A (R-A) zoning districts.

Manufacturing and Light Manufacturing defining this proposal are uses permitted by right in the Industrial C zoning district.

The Planning Board has considered several applications for site redevelopment at this nexus formerly known as the Polaroid campus. **Case 23-14:** Site Plan review for proposed renovation of a 92,000+/- SF existing structure for a seafood distribution and warehouse at 100 Duchaine Boulevard received approval on June 25, 2014; **Case 03-16:** Site Plan review for construction of additional parking and loading facilities at an existing developed site at 50 Duchaine Blvd (A/K/A 50 Phillips Rd) for Parallel Products was approved on January 22, 2016; **Case 37-16:** Site Plan Modification of **Case 03-16** for approved Site Plan from a liquid waste disposal and recycling facility [Parallel Products] to an energy supplier [Eversource] corporate office was granted on January 11, 2017; and **Case 01-17:** Site Plan review for the construction of a 28,000+/- SF warehouse and distribution building at 100 Duchaine Boulevard received the consent of the Planning Board on March 21, 2017.

At the time this report was compiled, Land Plan 36318D [adjusting lot lines for parcels 7 and 8 (shown as Map 134, Lot 5), filed on February 17, 2017] was still under scrutiny by Massachusetts Land Court Department.



The proposed 65.1 +/- acre parcel is part of the former 127+/- acre Polaroid site located at the terminus of Duchaine Boulevard. Traffic circulation south of the Duchaine Boulevard terminus is served by an interior roadway network. These adjacent parcels, buffering the Acushnet Cedar Swamp [Bordering Vegetated Wetland (BVW)], are currently known as 50 Duchaine and 100 Duchaine Boulevard. Notice of Intent for these adjacent parcels describing the boundaries of the site and proposed work at this wetlands resource area are under review by the City of New Bedford Conservation Commission. A hearing before the Conservation Commission scheduled to August 22, 2017 was continued to September 5, 2017, then subsequently continued to September 19, 2017 by the applicant in order to address peer review comments for 100 Duchaine Boulevard.

Peer Review Letter from Nitsch Engineering may be found at Attachment 9. The NOI for 100 Duchaine Boulevard may be viewed by following this link to the Conservation Commission web page:

<http://newbedford.wpengine.netdna-cdn.com/environmental-stewardship/wp-content/uploads/sites/39/conservation/meetings/2017/100-Duchaine-Blvd-NOI-Submittal-08112017.pdf>

[For comments from the city's conservation agent, see **Review Comments.**]

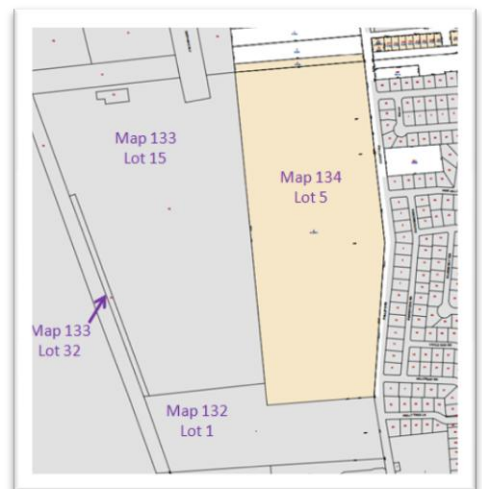
A petition for variance for the Polaroid Corporation at 100 Duchaine Boulevard (Map 132, Lot 1, Map 133, Lots 15 & 32 and Map 134, Lot 5) was granted by the Zoning Board of Appeals April 26, 1990 for **Case #3057** for parking reduction and off-street loading requirements under Section 9-207A of then City Ordinance. Archival minutes from **Variance Case #3057** note the area to have a significantly high water table. Site amenities at that time included a central utilities plant, cooling tower, electrical switchgear building and waste-water treatment facility designed for the unique Polaroid automated manufacturing operation.

### **Existing Conditions**

The facility is currently used as a warehouse and distribution company that handles mostly food products.

The site area within the Business Park is a wooded setting with certain improvements that have become derelict. A concrete slab foundation remains east of the existing structure. An adjacent parking area paved with bituminous pavement remains intact, with parking area lighting, and exterior pedestrian pathways.

The eastern boundary bordering Phillips Road within the limits of the site work is zoned Residence-A (R-A). The topography of the land reflects a steep incline from Duchaine Boulevard to Philips Road with significant areas flagged as wetlands. There is no egress from Phillips Road to the site area.



### Proposed Conditions

Parallel Products of New England reprocesses empty plastic and aluminum beverage containers that come from redemption centers in bottle bill states throughout the New England area. The company grinds, washes and color sorts empty plastic bottles in preparation for the re-manufacture of this plastic into other products such as carpeting, strapping, and moldable plastic sheeting. The company also specializes in liquid recycling by reclaiming outdated or distressed non-alcohol and alcohol beverages for conversion of these liquids to fuel grade ethanol. Acquisition of 100 Duchaine Boulevard in the Business Park will allow the company to expand existing operations from their current division at 969 Shawmut Avenue and remain in New Bedford.



The applicant intends to construct a 100 foot by 150 foot addition to the 92, 218+/-SF existing structure off the west elevation for shipping and receiving. A new 14, 125+/- SF concrete pad will be introduced adjacent to the existing structure at the west elevation with additional loading bays at the south elevation to provide a total of 20 bays facilitating truck traffic circulation. The applicant states he seeks to expand the pervious gravel parking surface abutting the north and west elevation, which will provide a mixed surface area comprised of pavement and gravel, adjacent to the bordering wetlands south of the structure. Parking for 11 vehicles is proposed within the gravel area.

At the east area of the site perimeter, the applicant will introduce a solar carport structure installed above the existing visitor and employee parking area. The array will provide covered parking for 60 personal vehicles and 42 tractor-trailer spaces. An additional eleven (11) spaces within this area will be outside the array and serve as box truck parking. An additional sixteen (16) spaces are shown along the east elevation of the existing building.

Staff review notes from the Project Summary the applicant is adding 124 spaces to existing parking conditions. Existing Conditions Plan Sheet 3 of 9 shows **303** rectangular 9 foot by 20 foot spaces which include two (2) ADA spaces. Loading docks are not shown on the Existing Conditions plan sheet.

The applicant should clarify for the Planning Board ADA accessibility to the structure's interior and location of ADA complaint parking spaces. Plan sheets illustrate ADA compliant parking adjacent to the slab remains of the raised building site. Planning staff calculates twenty-nine (29) spaces are needed for the 107,218+/- SF warehouse and distribution use. Under **521 CMR: Architectural Access Board** standards, two (2) ADA compliant spaces are required for 26-50 spaces.

The applicant does not state how many vehicles will be used by the business.

Two (2) loading spaces are required for each building containing 10,000 sq. ft. of gross floor area. Thereafter, one (1) additional loading space shall be required for each additional 25,000 sq. ft. of gross floor area (GFA). A minimum of fifteen (15) loading docks are required for the 107,218 +/- SF structure; nineteen (19) loading docks are shown on the architectural plans. Zoning Data on the plan set Cover Sheet state the applicant has provided

142 parking spaces, two (2) ADA spaces, and 20 loading dock spaces. Inconsistencies should be corrected on plan sheets, Project Summary, and application form.

#### Appendix C-Table of Parking & Loading Regulations

USE	PARKING REQUIREMENTS	LOADING REQUIREMENTS
Businesses engaged in the warehousing and distribution of goods & materials including building & construction contractors, equipment & supplies on premises, motor freight terminal, facilities for storing & servicing of motor vehicles used in conducting a business or public transportation, industrial machinery & equipment, grain, petroleum products & junkyards.	One (1) space per 1500 sq. ft. of gross floor area up to 15,000 sq. ft. Thereafter, one (1) additional space for each 5,000 sq. ft. or portion thereof in excess of 15,000 sq. ft., plus one (1) space for each vehicle utilized in the business.	Two (2) loading spaces for each building containing 10,000 sq. ft. of gross floor area. Thereafter, one (1) additional loading space shall be required for each additional 25,000 sq. ft. of gross floor area or for each fifteen (15) feet of dock, platform or opening in the building where the loading or unloading of commodities is intended to occur, whichever is the greatest.

No construction schedule or cost estimate have been included with the case submittal documents as required under §5452.

#### Demand and Operations

The applicant states number of employees, number of customers, hours of operation, days of operation, and hours and frequency of deliveries are to be determined. The absence of these details poses a challenge to a complete site plan review.

To avoid further traffic congestion at the entrance to the business park around 7:00 a.m. and 3:00 p.m., the company shall begin its first shift outside of the 6:50 -7:10 a.m. time window and end its first shift outside of the 2:50-3:10 p.m. time window [as per Item 16 of the GNBIF Regulations].

#### Site Plan

##### **Plans submitted for consideration:**

The submittal is shown as the Site Plan for 100 Duchaine Boulevard (Assessors Map 134, Lot 5) New Bedford, MA dated August 10, 2017 prepared for Parallel Products of New England, 401 Industry Road, Louisville, KY 40208 by Farland Corp., 401 County Street, New Bedford, MA 02740, consisting of nine (9) sheets;

and

Architectural Plans for 100 Duchaine Boulevard, New Bedford, Ma dated 07.31.2017 prepared for Parallel by South Coast Architecture, 34 Slocum Farm Drive, Dartmouth, MA 02747, consisting of two (2) sheets.

Recommended modifications are noted as follows:

- **Cover Sheet-Sheet 1 of 9**

- ☐ The applicant must verify map and lot numbers for the two (2) lots that have been created from the lot line adjustment of Map 134. Staff was unable to find Lot 460, as noted on plans, among city records. Plans should be corrected for accuracy.
- ☐ Update Record Owner to reflect new deed book and page number as Certificate #24201.
- ☐ The Zoning Matrix is inconsistent with the regulations of the Greater New Bedford Industrial Foundation stipulations.

- ☐ The Zoning Matrix on the Cover plan sheet shall be amended to note the GNBIF Regulations for building coverage for first floor square footage shall not exceed 40% of the total area of the premises [as per Item 1 of the GNBIF Regulations].
- ☐ The Zoning Matrix on the Cover plan sheet shall be amended to note the GNBIF Regulations for lot coverage, to include all uses on a lot which include, but are not limited to, buildings, driveways, parking areas, impermeable surfaces, etc., shall not cover more than 65% of the total area of the premises [as per Item 2 of the GNBIF Regulations].
- ☐ The Zoning Matrix on the Cover plan sheet shall be amended to note the GNBIF Regulations for setbacks, which are fifty (50) feet from any street or lot line [as per Item 7 of the GNBIF Regulations].
- ☐ Additional corrections are noted under **Waivers**.
- ☐ Zoning Data on the plan set Cover Sheet state the applicant has provided 142 parking spaces, two (2) ADA spaces, and 20 loading dock spaces. Inconsistencies should be corrected between plan sheets [to include architectural renderings], Project Summary, and application form.
- **Notes & Legend-Sheet 2 of 9**
  - ☐ General Construction Note #9, as per **\$5471**, amend to read: the applicant shall minimize the number of removed trees six-inch caliper or larger.
  - ☐ General Construction Note #20, amend to read: and City Planner.
  - ☐ Soil Erosion and Sediment Control Note #21: Change Hay bales/Hay to Straw bales/Straw.
- **Existing Conditions-Sheet 3 of 9**
- **Layout-Sheet 4 of 9**
  - ☐ Identify Snow storage area(s) and snow disposal and plowing plan relative to Wetland Resource Areas.
  - ☐ Identify and note curb material for parking area east of existing structure.
- **Utilities & Grading-Sheet 5 of 9**
  - ☐ Staff defers to the Department of Public Infrastructure comments which are forthcoming.
- **Pre-Subcatchment-Sheet 5a of 9**
  - ☐ Staff defers to the Department of Public Infrastructure and Conservation Commission peer review (Attachment 9).
- **Post-Subcatchment-Sheet 5b of 9**
  - ☐ Staff defers to the Department of Public Infrastructure and Conservation Commission peer review (Attachment 9).
- **Lighting-Sheet 6 of 9**
  - ☐ Provide cut sheets for all lighting fixtures for review and approval by the Planning Board or its designated agent.
- **Details-Sheet 7 of 9**

#### **Architectural Drawings**

- ☐ Provide drawings and specifications for the solar canopy that have been omitted. [Staff has not been able to review the architectural features to determine the proposal affect on the visual environment.]
- ☐ Show all structural building elevations (front, sides and rear façades) that will be affected by the proposed project.

- ☐ For additions/alterations: label existing and new construction, as well as items to be removed.
- ☐ Identify all existing and proposed exterior materials, treatments and colors - including roofing, roof eaves, eave brackets, siding, doors, trim, sills, windows, fences, and railings.
- ☐ Show details of proposed new exterior elements.
- ☐ Show any exterior mechanical, duct work, and/or utility boxes.
- ☐ Include dimensions for building height, wall length and identify existing and proposed floor elevations.

### **Waivers**

The applicant has requested three (3) waivers for consideration by the Planning Board (Attachment 5):

1. Code of Ordinances - Chapter 9, **§5350** and **5455** [Development Impact Study]
2. Site Plan Review Checklist – Item 3g. Landscape Plan
  - ☐ Waiver from Landscape Plan should be with written approval from the GNBIF. An important aspect of the Foundations’ decision on whether or not to approve the new building plans or plan for expansion to an existing building shall be the attractiveness of the building and the associated landscaping plans including an initial and ongoing commitment for landscaping and upkeep to improve the appearance of the property such as special planting and flowers, regular grass mowing and other maintenance actions to keep the appearance of the buildings and property in excellent condition [as per Item 5 of the GNBIF Regulations].
3. Site Plan Review Checklist – Item 8. Traffic Impact & Access Study

### **Development Impact Statement (DIS)**

The applicant has petitioned for waiver.

### **Traffic Impact & Access Study**

The applicant has petitioned for waiver.

### **Ground Sign Review**

The applicant intends to add to the existing pylon signage at the entrance to the Duchaine Boulevard terminus.

- ☐ All signs shall be approved by the Foundation [as per Item 15 of the GNBIF Regulations].

### **Interdepartmental Review Comments**

Plans were distributed to the City Clerk, City Solicitor, Health Department, Inspectional Services, Engineering, Public Infrastructure, Conservation Commission, Fire Department and School Department offices.

The Greater New Bedford Industrial Foundation (GNBIF) has provided evidence of support for the project proposal and plan submittals (Attachment 8).

The Conservation Agent has submitted the following comments for the Planning Board’s consideration:

***The property contains Bordering Vegetated Wetland protected under State and Local laws and Regulations. The applicant has filed an application with the Conservation Commission for work in the Buffer Zone. The stormwater design is currently under review by the Conservation Commission’s consulting engineer.***

The Department of Public Health for the City of New Bedford expressed there were no issues of concern with the project proposal.

The Department of Public Infrastructure memorandum is forthcoming.

The City Clerk's Office has advised Planning staff that applicant should resolve any outstanding issues regarding Petroleum Storage tanks at the site through the City Clerk's Office either by requesting to have their permit revoked (if the storage is no longer present), amended or updated.

Outside of this, no further comments from city offices were received in this matter.

### **Master Plan Goal**

The proposal for Site Plan Approval is consistent with the master plan's goal to expand workforce opportunities and communicates a positive message for business development.

### **Staff Recommendations**

Having reviewed the case deliverables, staff recommends approval by the Planning Board after duly considering the following stipulations:

- ☐ The applicant must verify map and lot numbers for the two (2) lots that have been created by adjusting the lot lines of Map 134. Staff was unable to find Lot 460 as noted on plans among city records. Plans should be corrected for accuracy.
- ☐ Inconsistencies should be corrected between plan sheets [to include architectural renderings], Project Summary, and application form for number of parking spaces and loading docks.
- ☐ Update Owner of Record to reflect new deed book and page number as Certificate #24201.
- ☐ Because warehouse and distribution facilities are uses permitted by right under zoning district I-C, but are not permitted under R-A zones, and given that the site is a combination of those two zoning districts, the applicant shall ensure that all such development be limited to the area of the project site within the I-C zoning district according to city zoning requirements.
- ☐ The Zoning Matrix on the Cover plan sheet shall be amended to note the GNBIF Regulations for building coverage for first floor square footage shall not exceed 40% of the total area of the premises[as per Item 1 of the GNBIF Regulations].
- ☐ The Zoning Matrix on the Cover plan sheet shall be amended to note the GNBIF Regulations for lot coverage, to include all uses on a lot which include, but are not limited to, buildings, driveways, parking areas, impermeable surfaces, etc., shall not cover more that 65% of the total area of the premises [as per Item 2 of the GNBIF Regulations].
- ☐ The Zoning Matrix on the Cover plan sheet shall be amended to note the GNBIF Regulations for setbacks, which are fifty (50) feet from any street or lot line [as per Item 7 of the GNBIF Regulations].
- ☐ Correct typo on Cover plan sheet to read **§5455** under **Waivers Requested**.
- ☐ As per **§5471**. The applicant shall minimize: the volume of cut and fill, the number of removed trees six-inch caliper or larger, the area of wetland vegetation displaced, the extent of stormwater flow increase from the site, soil erosion, and the threat of air and water pollution.
- ☐ General Construction Note #9, as per **§5471**, amend to read: the applicant shall minimize the number of removed trees six-inch caliper or larger.
- ☐ General Construction Note #20, amend to read: and City Planner.
- ☐ Revise Hay bales/Hay to read Straw bales/Straw in Notes & Legend plan sheet 2 of 9.

- ☐ All requirements and stipulations of the City of New Bedford Conservation Commission including the Order of Conditions are to be honored and completed as a condition of project approval.
- ☐ Identify and note Snow Storage areas on plans.
- ☐ The applicant should provide a construction schedule or cost estimate as required under §5452.
- ☐ Any Waiver from the Landscape Plan submittal should be with written approval from the GNBIF.
- ☐ The applicant ensures and maintains a landscaped buffer zone between the Business Park and residential neighborhood along Phillips Road.
- ☐ Drawings and specifications for the solar canopy have been omitted. Drawings should be provided for review and consideration by the Planning Board, or its designated agent, as a stipulation for approval.
- ☐ Provide cut sheets for all lighting fixtures for review and approval by the Planning Board or its designated agent.
- ☐ Show all structural building elevations (front, sides and rear façades) that will be affected by the proposed project.
- ☐ For additions/alterations: label existing and new construction, as well as items to be removed.
- ☐ Identify all existing and proposed exterior materials, treatments and colors including building and hardscape elements.
- ☐ Show details of proposed new exterior elements.
- ☐ Show any exterior mechanical, duct work, and/or utility boxes.
- ☐ Include dimensions for building height, wall length and identify existing and proposed floor elevations.
- ☐ That the applicant resolve any outstanding issues regarding Petroleum Storage tanks at the site through the City Clerk's Office either by requesting to have their permit revoked (if the storage is no longer present), amended or updated.

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Attachments:

1. Site Plan Review Application
2. Letter of Authorization
3. Deed of Ownership - Bristol County (S.D) Registry of Deeds Cert #24201
4. Commonwealth of MA Business Entity Summary
5. Request for Waivers
6. Stormwater Management Report
7. Greater New Bedford Industrial Foundation Regulations
8. Greater New Bedford Industrial Foundation Comments Dated August 30, 2017
9. Conservation Commission Peer Review Letter from Nitsch Engineering Dated September 1, 2017
10. Plan Set



CITY OF NEW BEDFORD  
JONATHAN F. MITCHELL, MAYOR

## PLANNING BOARD

SUBMIT TO:  
Planning Department  
133 William Street  
Room 303  
New Bedford, MA 0274

### SITE PLAN REVIEW APPLICATION

The undersigned, being the Applicant, seeks Site Plan Approval for property depicted on a plan entitled: Site Plan - 100 Duchaine Blvd. by: Farland Corp. dated: 8-10-17

#### 1. Application Information

Street Address: 100 Duchaine Boulevard

Assessor's Map(s): 134 Lot(s) 5

Registry of Deeds Book: LC Cert #24201 Page: LC Doc #120924

Zoning District: Industrial C / Residential A

Applicant's Name (printed): Tim Cusson - SMRE 100, LLC

Mailing Address: 255 State Street, 7th Floor Boston MA 02109  
(Street) (City) (State) (Zip)

Contact Information: (617) 908-0825 timc@parallelproducts.com  
Telephone Number Email Address

Applicant's Relationship to Property: ☒ Owner ☐ Contract Vendee ☐ Other \_\_\_\_\_

List all submitted materials (include document titles & volume numbers where applicable) below:

- 1.) Site Plan - 100 Duchaine Boulevard (Assessor's Map 134 Lot 5) New Bedford, MA; Dated: 8/10/17; By: Farland Corp.
- 2.) Project Narrative & Stormwater Analysis

By signing below, I/we acknowledge that all information presented herein is true to the best of my/our knowledge. I/we further understand that any false information intentionally provided or omitted is grounds for the revocation of the approval (s). I/we also give Planning Department staff and Planning Board Members the right to access the premises (both interior and exterior) at reasonable times and upon reasonable notice for the purpose of taking photographs and conducting other visual inspections.

8-10-17

Date

Tim Cusson

Signature of Applicant

PLANNING  
AUG 11 2017

City Hall • 133 William Street • Room 303 • New Bedford, MA 02740 • [www.newbedford-ma.gov](http://www.newbedford-ma.gov)  
PH: (508)979-1488 • FX: (508)979-1576

## 2. Review Applicability (Check All That Apply to Your Proposal)

### Category

- ☐ Residential
- ☐ Commercial
- ☒ Industrial
- ☐ Mixed (Check all categories that apply)

### Construction

- ☐ New Construction
- ☒ Expansion of Existing
- ☒ Conversion
- ☐ Rehabilitation

### Scale

- ☐ < 2,000 gross sq feet
- ☒ > 2,000 gross sq feet
- ☐ 3 or more new residential units
- ☐ 1 or more new units in existing res. multi-unit
- ☐ Drive Thru Proposed
- ☐ Ground Sign Proposed
- ☐ Residential Driveway With > 1 curbcut

## 3. Zoning Classifications

Present Use of Premises: Warehouse & Distribution Facility

Proposed Use of Premises: Recycling & Storage Facility

Zoning Relief Previously Granted (Variances, Special Permits, with Dates Granted):

## 4. Briefly Describe the Proposed Project:

The Applicant is seeking permission to construct a 15,000 S.F. Addition on to the existing building. The property is currently in used by a warehousing & distribution company that works predominantly with food transportation. The facility will be converted to a plastics & glass storage and recycling facility that currently operates in New Bedford on Shawmut Avenue as Parallel Products. The majority of the existing site features will remain the same with the addition of a large, triangular concrete pad on the exterior of the building to allow for sorting and storage of materials. The eastern parking lot will also include a proposed solar canopy that encompasses the majority of that lot.

## 5. Please complete the following:

	Existing	Allowed/Required	Proposed
Lot Area (sq ft)	61.5+/- Acres	0	61.5+/- Acres
Lot Width (ft)	1,200+	0	1,200+
Number of Dwelling Units	N/A	N/A	N/A
Total Gross Floor Area (sq ft)	92,218+/-	1,339,470+/-	107,218+/-
Residential Gross Floor Area (sq ft)	N/A	N/A	N/A
Non-Residential Gross Floor Area (sq ft)	92,218+/-	N/A	107,218+/-
Building Height (ft)	<100	100	<100
Front Setback (ft)	843.6+/-	25	843.6+/-
Side Setback (ft)	201.9+/-	25	201.9+/-
Side Setback (ft)	192.3+/-	25	192.3+/-

Rear Setback (ft)	828.9+/-	25	828.9+/-
Lot Coverage by Buildings (% of Lot Area)			
Permeable Open Space (% of Lot Area)			
Green Space (% of Lot Area)			
Off-Street Parking Spaces		55	142
Long-Term Bicycle Parking Spaces			
Short-Term Bicycle Parking Spaces			
Loading Bays	20	17	20

**6. Please complete the following:**

Existing      Proposed

a) Number of customers per day:

\_\_\_\_\_

b) Number of employees:

\_\_\_\_\_

c) Hours of operation:

\_\_\_\_\_

d) Days of operation:

\_\_\_\_\_

e) Hours of deliveries:

\_\_\_\_\_

f) Frequency of deliveries:    ☐ Daily    ☐ Weekly    ☐ Monthly    ☐ Other: \_\_\_\_\_

**7. Planning Board Special Permits:**

☐ The applicant is also requesting a Special Permit from the Planning Board.

Specify the requested Special Permit(s) below, and set forth within attached Development Impact Statement how the request meets approval criteria listed in §5320 of the zoning code.

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**8. ZBA Variances and Special Permits:**

**NOTICE: Checking below does not constitute application for a special permit or a variance. The applicant must also file the proper application form and fee with the Zoning Board of Appeals.**

☐ The applicant is also requesting a special permit from the ZBA:

Specify zoning code section & title

\_\_\_\_\_

\_\_\_\_\_

☐ The applicant is also requesting a variance from the ZBA:

Specify zoning code section & title

\_\_\_\_\_

\_\_\_\_\_

9. OWNERSHIP VERIFICATION

This section is to be completed & signed by the property owner:

I hereby authorize the following Applicant: SMRE 100, LLC

at the following address: 255 State Street, 7th Floor - Boston, MA

to apply for: Site Plan Review

on premises located at: 100 Duchaine Boulevard

in current ownership since: 2017

whose address is: 255 State Street, 7th Floor - Boston, MA

for which the record title stands in the name of: SMRE 100, LLC

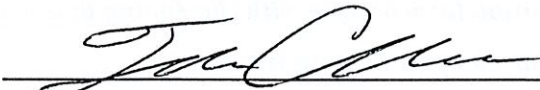
whose address is: 255 State Street, 7th Floor - Boston, MA

by a deed duly recorded in the:

Registry of Deeds of County: \_\_\_\_\_ Book: \_\_\_\_\_ Page: \_\_\_\_\_

OR Registry District of the Land Court, Certificate No.: 24201 Book: \_\_\_\_\_ Page: \_\_\_\_\_

I/we acknowledge that all information presented herein is true to the best of my/our knowledge. I/we further understand that any false information intentionally provided or omitted is grounds for the revocation of the approval(s). I/we also give Planning Department staff and Planning Board Members the right to access the premises (both interior and exterior) at reasonable times and upon reasonable notice for the purpose of taking photographs and conducting other visual inspections.

8-10-17        
Date      Signature of Land Owner (If authorized Trustee, Officer or Agent, so identify)



**ENGINEERING A BETTER TOMORROW**  
ENGINEERING | SITE WORK | LAND SURVEYING

July 20, 2016

New Bedford Planning Board  
New Bedford City Hall  
133 William Street  
New Bedford, MA 02740

**RE: Letter of Authorization for Representation  
100 Duchaine Boulevard – New Bedford, MA (Map 134 Lot 5)**

To whom it concerns:

This letter is to certify that I authorize Farland Corp. to serve as representative for SMRE 100, LLC for any submission of petitions and/or applications in regards to the proposed development on the property located at 100 Duchaine Boulevard (Map 134 Lot 5).

If you should have any questions, please feel free to contact me.

Very truly yours,

SMRE 100, LLC

A handwritten signature in black ink, appearing to be 'J. L. Smith', written over a horizontal line.

Authorized Agent

FARLAND CORP., INC.

A handwritten signature in black ink, appearing to be 'C. A. Farland', written over a horizontal line.

Christian A. Farland, P.E., LEED AP  
Principal Engineer and Vice President

PLANNING  
AUG 11 2017  
DEPARTMENT

Case 32-17  
08/11/2017





2017 00120924

Cert: 24201 Doc: DEED BS  
Registered: 03/10/2017 03:00 PM

RE: 100 Duchaine Boulevard  
Lot 8, Plan No. 36318-D  
New Bedford, MA 02745

MASSACHUSETTS QUITCLAIM DEED  
BY LIMITED LIABILITY COMPANY  
REGISTERED LAND

LOGAL, LLC, a Massachusetts limited liability company, of New Bedford, Massachusetts,

for consideration paid, and in full consideration of SIX MILLION ONE HUNDRED FIFTY  
THOUSAND and 00/100 (\$6,150,000.00) DOLLARS

grants to SMRE 100, LLC, a Massachusetts limited liability company, having a principal office  
address of C/O Ruberto, Israel & Weiner, P.C., 255 State Street, 7<sup>th</sup> Floor, Boston, Massachusetts  
02109,

with Quitclaim Covenants

the land with any buildings and improvements thereon located in New Bedford, Bristol County,  
Massachusetts, described as follows:

SEE EXHIBIT "A" ATTACHED HERETO  
AND  
INCORPORATED HEREIN BY REFERENCE

Grantor hereby certifies that it is not classified as a corporation for federal income tax purposes  
for the current taxable year.

BEING a portion of the property conveyed to the Grantor by deed dated March 20, 2014 and  
filed on March 27, 2014 in the Bristol County (S.D.) Registry of Deeds, Land Court Department  
as Document No. 114700 as Certificate of Title No. 23339.

SEE NEXT PAGE FOR SIGNATURES

MASSACHUSETTS EXCISE TAX  
Bristol ROD South 001  
Date: 03/10/2017 03:00 PM  
Citr# 021554 13994 Doc# 00120924  
Fee: \$28,044.00 Cons: \$6,150,000.00

PLANNING  
AUG 11 2017  
DEPARTMENT

Case 32-17  
08/11/2017

WITNESS my hand and seal as of the 10<sup>th</sup> day of MARCH 2017.

~~BORROWER:~~

LOGAL, LLC

Witness

Eric R. DeCosta, Manager and  
Authorized Signatory

COMMONWEALTH OF MASSACHUSETTS

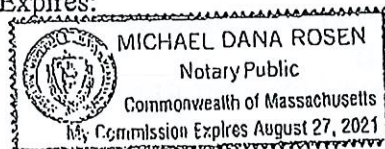
Bristol, ss

MARCH  
February 10, 2017

Then personally appeared the above-named Eric R. DeCosta, Manager and Authorized Signatory, proved to me through satisfactory evidence of identification, which was a Massachusetts Drivers License, to be the person whose name is signed on the within document, and acknowledged the foregoing Instrument to be his free act and deed, on behalf of Logal, LLC, before me

Notary Public

My Commission Expires:



LAND COURT, BOSTON, the Land  
herein described will be shown on  
our approved plan to follow as

MAR 07 2017

36318  
Plan 36318  
(EXAMINED AS DESCRIPTION ONLY)  
CHIEF SURVEYOR

EXHIBIT "A"

RE: 100 Duchaine Boulevard, New Bedford, MA 02745

That certain parcel of land, with the buildings and improvements thereon, situated in New Bedford, Bristol County, Massachusetts, containing 61.52 +/- acres and being shown as Lot 8 on Land Court Plan No. 36318-D (Sheet 1 of 1) entitled "Approval Not Required Plan of Land-Duchaine Boulevard and Phillips Road-Being a Division of Lot 6, L.C. Plan 36318-C, Creating 2 Lots, Owned by Logal, LLC", drawn by Farland Corp., dated January 25, 2017 and filed in the Land Registration Office at Boston, a copy of which is to be filed in the Bristol County (Southern District) Registry of District of the Land Court.



William Francis Galvin  
Secretary of the  
Commonwealth

*The Commonwealth of Massachusetts*  
*Secretary of the Commonwealth*  
*State House, Boston, Massachusetts 02133*

March 7, 2017

TO WHOM IT MAY CONCERN:

I hereby certify that a certificate of organization of a Limited Liability Company was filed in this office by

LOGAL, LLC

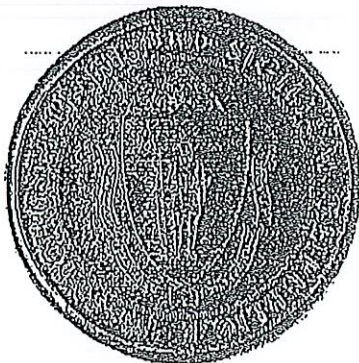
in accordance with the provisions of Massachusetts General Laws Chapter 156C on February 10, 2014.

I further certify that said Limited Liability Company has filed all annual reports due and paid all fees with respect to such reports; that said Limited Liability Company has not filed a certificate of cancellation or withdrawal; and that, said Limited Liability Company is in good standing with this office.

I also certify that the names of all managers listed in the most recent filing are: ERIC R. DECOSTA

I further certify, the names of all persons authorized to execute documents filed with this office and listed in the most recent filing are: ERIC R. DECOSTA

The names of all persons authorized to act with respect to real property listed in the most recent filing are: ERIC R. DECOSTA



In testimony of which,

I have hereunto affixed the

Great Seal of the Commonwealth

on the date first above written.

*William Francis Galvin*

Secretary of the Commonwealth

Doc 00120924

Bristol South LAND COURT  
Registry District

RECEIVED FOR REGISTRATION

On: Mar 10, 2017 at 03:00P

Document Fee 125.00

Receipt Total: \$28,309.00

~~NOTED ON: CERT 24201~~ BK 00140 PG 22

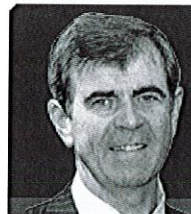
ALSO NOTED ON: CERT 23339 BK 134 PG 60

N.B. - Phillips Rd. (w) Duchaine Blvd  
(S.W. & N.E.) Lot 8 fl. 36318D

What is shown is

5





**William Francis Galvin**  
Secretary of the Commonwealth of Massachusetts



## Corporations Division

### Business Entity Summary

ID Number: 001254769

Request certificate

New search

Summary for: SMRE 100, LLC

**The exact name of the Domestic Limited Liability Company (LLC):** SMRE 100, LLC

**Entity type:** Domestic Limited Liability Company (LLC)

**Identification Number:** 001254769

**Date of Organization in Massachusetts:**  
01-05-2017

**Last date certain:**

**The location or address where the records are maintained** (A PO box is not a valid location or address):

Address: C/O RUBERTO, ISRAEL & WEINER, P.C. 255 STATE STREET, 7TH FLOOR  
City or town, State, Zip code, BOSTON, MA 02109 USA  
Country:

**The name and address of the Resident Agent:**

Name: MICHAEL D. ROSEN  
Address: C/O RUBERTO, ISRAEL & WEINER, P.C. 255 STATE STREET, 7TH FLOOR  
City or town, State, Zip code, BOSTON, MA 02109 USA  
Country:

**The name and business address of each Manager:**

Title	Individual name	Address
MANAGER	MARK A. BULLOCK	215 SOUTH STATE STREET, SUITE 380 SALT LAKE CITY, UT 84111 USA

**In addition to the manager(s), the name and business address of the person(s) authorized to execute documents to be filed with the Corporations Division:**

Title	Individual name	Address
SOC SIGNATORY	MARK A. BULLOCK	215 SOUTH STATE STREET, SUITE 380 SALT LAKE CITY, UT 84111 USA

**The name and business address of the person(s) authorized to execute, acknowledge, deliver, and record any recordable instrument purporting to affect an interest in real property:**

Title	Individual name	Address
REAL PROPERTY	MARK A. BULLOCK	215 SOUTH STATE STREET, SUITE 380 SALT LAKE CITY, UT 84111 USA

LAKE CITY, UT 84111 USA

☐ **Consent**☐ **Confidential  
Data**☐ **Merger  
Allowed**☐ **Manufacturing****View filings for this business entity:**

ALL FILINGS  
Annual Report  
Annual Report - Professional  
Articles of Entity Conversion  
Certificate of Amendment  
Certificate of Cancellation

[View filings](#)**Comments or notes associated with this business entity:**[New search](#)



# City of New Bedford REQUEST FOR WAIVER

Case 32-17  
08/11/2017

## APPLICATION FOR WAIVER FROM SITE PLAN REVIEW REQUIREMENTS


In certain instances, after consulting with the City Planner, the applicant may submit, in writing, a request for waiver for any of the submittal or technical requirements of Section 5430 and 5440 where the project involves relatively simple development plans. The Planning Board will take a separate vote on written waiver requests by the applicant. Each request for waiver must be submitted individually to be considered by the Board. Please provide one (1) original and fifteen (15) copies of the request.

Any granted waivers must be disclosed on the final submitted and approved site plan.

SUBJECT PROPERTY			
ASSESSOR'S MAP PLOT#	134	LOT(S)#	5
REGISTRY OF DEEDS BOOK:		PAGE #	Cert # 24201
PROPERTY ADDRESS: 100 Duchaine Boulevard			
ZONING DISTRICT: Industrial C / Residential A			
OWNER INFORMATION			
NAME: SMRE 100, LLC			
MAILING ADDRESS: 255 State Street, 7th Floor - Boston, MA			
APPLICANT/CONTACT PERSON INFORMATION			
NAME (IF DIFFERENT): Tim Cusson - SMRE 100, LLC			
APPLICANT'S RELATIONSHIP TO THE PROPERTY: Check one:	OWNER <input checked="" type="checkbox"/>	CONTRACT VENDEE <input type="checkbox"/>	OTHER Describe <input type="checkbox"/> _____
MAILING ADDRESS (IF DIFFERENT):			
TELEPHONE #	(617) 908-0825		
EMAIL ADDRESS:	timc@parallelproducts.com		

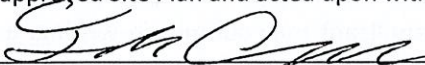
By signing below, I/we acknowledge that all information presented herein is true to the best of my/our knowledge. I/we further understand that any false information intentionally provided or omitted is grounds for the revocation of the approval(s). If petition is granted, I/we understand the approvals are specific to the plans submitted, unless the Board states otherwise and that if granted, that the waiver(s) must be noted on the approved Site Plan and acted upon within one year.

  
\_\_\_\_\_  
Signature of Applicant/s

  
\_\_\_\_\_  
Date: AUG 11 2017  
PLANNING  
DEPARTMENT

If the applicant differs from the owner, this section must be completed/signed by the property owner/s:

I hereby authorize the applicant represented above and throughout this application to apply and to represent my/our interests on my/our behalf for the relief requested herein for the premises I/we own noted as "property address" above and presented throughout this application. Furthermore, by signing this application I/we acknowledge having read and understood this application and the accompanying instructions and information. If petition is granted, I/we understand the approvals are specific to the plans submitted, unless the Board states otherwise and that if granted, that the waiver(s) must be noted on the approved Site Plan and acted upon within one year.

  
Signature of Owner/s

  
Date

DESCRIPTION		Ordinance Section	CLEARLY Describe why this request is being made.
	1	***Example*** 5451. b. Topography and Drainage Plan	***Example*** There currently exists a structure and pavement on the site. No excavation of the site is being proposed, therefore topography and drainage will not be altered.
	2	Code of Ordinances Chapter 9 - Comprehensive Zoning Section 5350 - Development Impact Statement	The property has been previously developed and is currently in use. The proposed work is minimal compared to the development already done on site, and similar businesses surround the property which operate at the same hours.
	3	Site Plan Review Checklist Section 3g. Landscape Plan	The area being previously developed with necessary landscaping should provide adequate screening and meets the required green space. The surrounding properties are of the same use and building type so the need to keep visual aesthetics is unnecessary.
	4	Site Plan Review Checklist Section 8. Traffic Impact & Access Study	The property is accessible only by a private access road , and is currently in use by a similar business. This redevelopment of the property will not constitute a major change in traffic or access to the buildings.

Additional pages describing the waiver request may be attached to this form following the same chart format, if necessary.

☐

Please check here if additional pages are attached.

Number of Waiver requests submitted for consideration:

# STORMWATER MANAGEMENT REPORT AND HYDROLOGIC ANALYSIS

## Proposed Site Plan

**100 Duchaine Boulevard (Assessors Map 134 Lot 5)  
New Bedford, Massachusetts 02745**

## Project Summary

The project area associated with this proposed development is located at the southern terminus of Duchaine Boulevard in the New Bedford Business Park in northern New Bedford. The site is comprised tax parcel Lot 5 on Assessor's Map 134, and consists of approximately 65.1+/- acres. The proposed project area is comprised of the Southern half of the parcel area, and does not include any of the northern half of the property. Much of the parcel area, including the entire proposed project area, is located in the city's Industrial C zoning district. The site currently contains a large commercial building of the warehouse style consistent with other buildings within this business park. There also exists associated parking, loading, and landscaped areas, as well as several flagged areas of bordering vegetated wetlands. Access to the site is gained from a looped road off of Duchaine Boulevard, over which access easements have been provided.

The applicant is seeking permission to provide parking, loading, and drainage improvements to the project site, as well as a 15,000 S.F. addition to the existing building to be used as a shipping and receiving wing. The applicant is also seeking to expand the existing gravel parking area to the west of the existing building while adding in a concrete pad with an asphalt apron which will be utilized for material sorting and storage. The proposed plans depict the addition of a large solar canopy to be installed above the existing parking lot to the east of the existing building. This parking lot will be re-painted to include a total of 60 employee or visitor parking spaces, and 42 large trailer parking spaces. Outside of the parking lot covered by the solar canopy, there is an additional 11 proposed box truck parking spaces, and 11 employee parking spaces. These spaces are to be added to all existing parking spaces on the property for a grand total of 142 available parking spaces which would be in compliance with the zoning requirement of 55 total spaces for the intended use.

The current use of the property is a warehouse and distribution company that handles mostly food products. The applicant will be changing the use to a recycling facility handling mostly plastics and glass products. After meeting parking requirements for the governing zoning laws, the loading requirements will also be met by keeping all existing loading docks in use for a total of 20 loading bays.

Case 32-17  
08/11/2017

**Standard 3:**

- The proposed infiltration basin has been designed to recharge some of the anticipated stormwater runoff from all of the new impervious area and from some of the existing impervious area. The required Recharge Volume has been calculated using the Static Method and calculations are provided in **Exhibit F**. We note that the required Recharge Volume was calculated for the entire impervious area on-site, including existing paved areas as well as the newly proposed paved and roof areas. As a partial re-development project, this Standard is required to be met to the maximum extent practicable for these existing areas. The proposed design, however, provides the required recharge volume within the proposed basins. Drawdown Calculations have also been provided in **Exhibit G**. This standard has been met.

**Standard 4:**

- The proposed stormwater management systems for this project have been designed to remove 80% of the average annual post construction load of Total Suspended Solids in accordance with this standard, as shown in calculations provided in **Exhibit I**. Suitable practices for source control and pollution prevention have been identified in a long-term pollution prevention plan in **Exhibit L**. Structural BMPs have been designed to capture the required water quality volume (**Exhibit H**) determined in accordance with the Stormwater Handbook. As a partial redevelopment project, runoff from the new impervious areas is required to be treated to the maximum extent practicable. This standard has been met.

**Standard 5:**

- Stormwater discharges are proposed to be treated by the specific structural BMPs determined to be suitable for treating runoff from such land uses. Sediment Forebays and Infiltration Basins are appropriate BMPs for use with Land Uses with Higher Potential Pollutant Load. Stormwater treatment has been designed to provide 44% TSS removal prior to discharge to the infiltration BMPs, and BMPs have been designed to treat 1.0 inch of runoff times the total new impervious area at the post-development site. This standard has been met.

**Standard 6:**

- The site does not discharge within the Zone II or IWPA of a public water supply, nor does it discharge near or to any critical areas. This standard does not apply.

**Standard 7:**

- This project is a partial re-development project. Much of the site is currently paved or covered with impervious cover. Those areas where new impervious coverage is proposed have been designed to meet all of

In order to attenuate the increased stormwater runoff generated by the proposed impervious site coverage and to provide the appropriate level of water quality treatment, additional stormwater management practices have been proposed. Proposed structural BMP's include sediment forebays, detention basin and subsurface recharge system.

### **Methodology**

Drainage computations were performed using the Natural Resources Conservation Services (NRCS) TR-20 method and HydroCAD® Drainage Calculation Software to determine the change in the existing and post-development runoff rates from each drainage area for the 2-, 10-, and 100-year 24 hour storm events. The limits of the work proposed to complete the project fall within an area subject to protection by the Wetlands Protection Act, therefore, compliance with DEP Stormwater Management Standards is required. Sketches of the existing and proposed watershed areas, HydroCAD® Report, and copies of the calculation sheets are included as appendices to this report.

### **Existing Conditions**

The soils underlying the site are identified in the Natural Resources Conservation Service (NRCS) Soil Survey of Bristol County (*see Exhibit D*). The site soils are classified as 39A (Scarboro mucky fine sandy loam, 0-3 percent slopes, Hydrologic Soil Group: "C") and 602 (Urban Land, HSG: "Unranked")

### **Stormwater Management Overview**

#### Existing Conditions:

The project site has been divided into two existing subcatchment drainage areas, which discharge to one design point. The design point chosen for this site are the existing infiltration basin located to the west of the existing building. A singular depression in the existing parking lot collects stormwater runoff for this site and directs it to the aforementioned basin, both of which have been incorporated into the existing drainage model. Although this basin is small in depth and volume, it does provide peak rate attenuation for runoff which is directed to it. An existing outlet control within the wet basin has been incorporated into the model, and the outflow from the pond is combined with the off-site runoff to provide a total flow to the design points.

#### Proposed Conditions:

Under proposed conditions, four subcatchment areas have been included in the drainage model. New paved area to be added to the existing gravel parking area direct runoff towards an enlarged infiltration basin, located between the existing driveway and the proposed paved area. The runoff from the new building will be recharged through a subsurface infiltration culvert system.

The proposed infiltration basin has been designed in accordance with the DEP Stormwater Handbook. In accordance with the Stormwater Handbook, the rate

the required Stormwater Standards. Those areas where existing impervious is proposed to remain will be allowed to maintain existing drainage patterns, where much of the runoff from the existing parking lot area is directed through an existing piped drainage system to several existing stormwater basin resource areas throughout the site, which attenuates the runoff prior to discharge to the BVW.

**Standard 8:**

- We have provided for Construction Period Pollution in accordance with the regulations. A formal Construction Period Pollution Prevention Plan will be submitted prior to construction.

**Standard 9:**

- A long-term operation and maintenance plan has been prepared to ensure that stormwater management systems function as designed. (*Exhibit K*)

**Standard 10:**

- We are not proposing any illicit discharges as defined in the Stormwater Management Regulations. See attached letter in (*Exhibit M*)

mitigation facilities have been engineered to reduce post-development runoff rates from pre-development conditions.

### **Stormwater Management Standards**

#### **Standard 1:**

- Under proposed conditions, there will be no new untreated discharges or erosion in wetland areas. Drainage outfalls from the infiltration basin which discharge toward the existing southerly Bordering Vegetated Wetlands are provided with rip-rap spillways to help control velocity and erosion at the outlet. Stormwater discharges have been held below erodible velocities. This standard has been met.

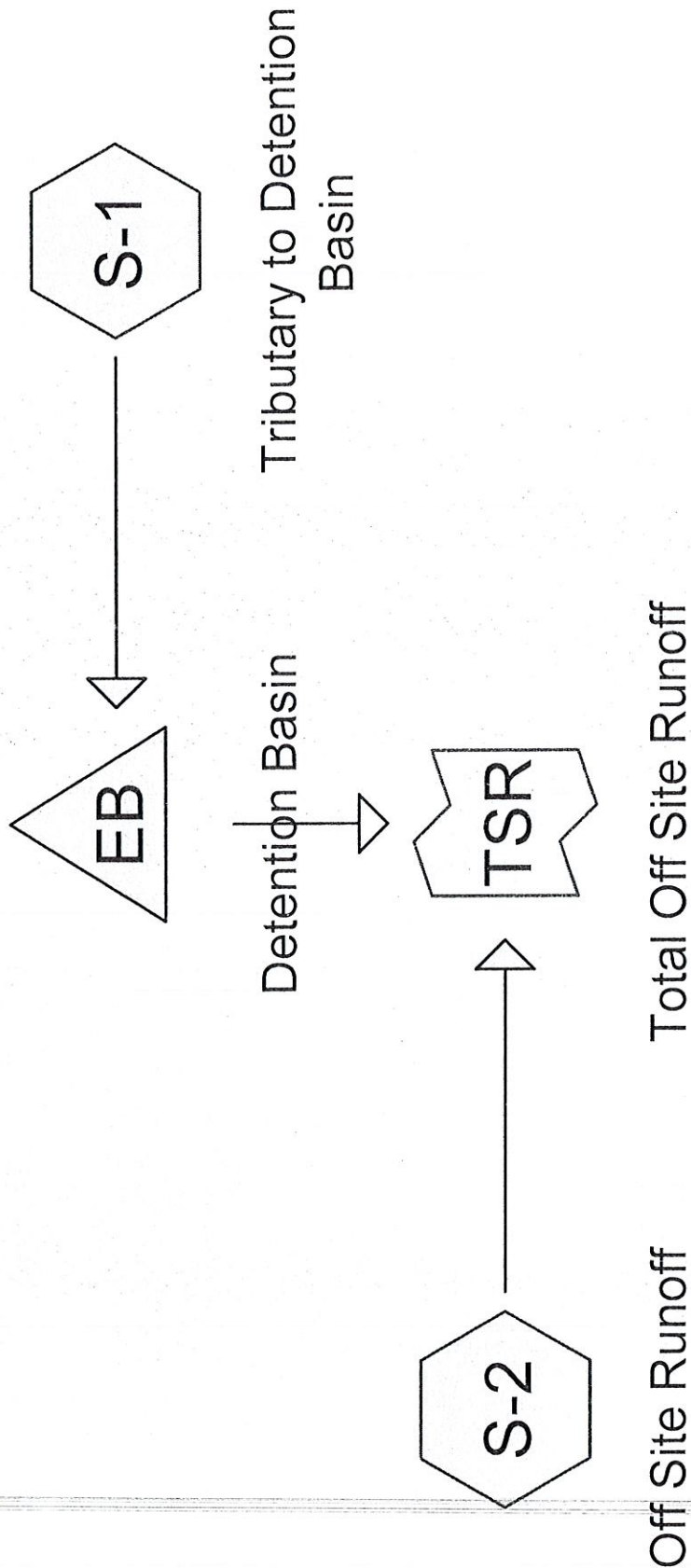
#### **Standard 2:**

- The design of the stormwater system was designed for the post-development conditions to handle all storms' peak discharges and runoff volume to include the 2 and 10-year storm events. An evaluation of peak discharges from the 100-year storm 24-hour storm event demonstrates that although a small increase in the peak discharge rate occurs, the discharge will not result in increased off-site flooding due to the short duration of increased rate and the overall reduced volume of runoff. The site drainage system was designed in consideration of the structural standards and techniques of the Best Management Practices (BMP) and Low Impact Development (LID) outlined in the "Stormwater Management Handbook".

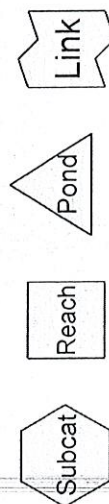
The results of site drainage calculations are presented in the following Table. The results are based upon evaluation of Pre-development conditions and the design of proposed surface drainage systems for the Post-development condition. These results show the Post-Development offsite runoff rates are reduced to less than the Pre-development conditions for the two-year and ten-year storm events, thus meeting the BMP guidelines for this site development.

<b>Table 1 - Comparison of Pre- versus Post-Development Offsite Runoff</b>						
<b>Frequency Storm</b>	<b>2-Year</b>		<b>10-Year</b>		<b>100-Year</b>	
	Rate (cfs)	Volume (af)	Rate (cfs)	Volume (af)	Rate (cfs)	Volume (af)
Pre-Development	0.22	0.127	0.67	0.282	6.17	0.599
Post-Development	0.03	0.012	0.34	0.047	1.58	0.214

\*See **Exhibit E** for supporting hydrologic calculations



Drainage Diagram for 15500.2PRE  
 Prepared by Thompson Farland, Inc., Printed 8/8/2017  
 HydroCAD® 8.50 s/n 002159 © 2007 HydroCAD Software Solutions LLC



**Summary for Subcatchment S-1: Tributary to Detention Basin**

Runoff = 2.31 cfs @ 12.09 hrs, Volume= 0.169 af, Depth= 1.29"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-30.00 hrs, dt= 0.01 hrs  
Type III 24-hr 2-yr Rainfall=3.40"

Area (sf)	CN	Description
7,700	39	>75% Grass cover, Good, HSG A
* 5,800	98	Roadway
6,700	98	Water Surface
47,950	76	Gravel roads, HSG A
68,150	76	Weighted Average
55,650		Pervious Area
12,500		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Min. Tc

**Summary for Subcatchment S-2: Off Site Runoff**

Runoff = 0.00 cfs @ 21.02 hrs, Volume= 0.002 af, Depth= 0.02"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-30.00 hrs, dt= 0.01 hrs  
Type III 24-hr 2-yr Rainfall=3.40"

Area (sf)	CN	Description
42,500	30	Woods, Good, HSG A
6,100	39	>75% Grass cover, Good, HSG A
* 3,800	98	Roadway/Concrete
6,850	76	Gravel roads, HSG A
59,250	41	Weighted Average
55,450		Pervious Area
3,800		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Min. Tc.

**Summary for Subcatchment S-1: Tributary to Detention Basin**

Runoff = 4.34 cfs @ 12.09 hrs, Volume= 0.309 af, Depth= 2.37"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-30.00 hrs, dt= 0.01 hrs  
Type III 24-hr 10-yr Rainfall=4.80"

Area (sf)	CN	Description
7,700	39	>75% Grass cover, Good, HSG A
* 5,800	98	Roadway
6,700	98	Water Surface
47,950	76	Gravel roads, HSG A
68,150	76	Weighted Average
55,650		Pervious Area
12,500		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Min. Tc

**Summary for Subcatchment S-2: Off Site Runoff**

Runoff = 0.08 cfs @ 12.44 hrs, Volume= 0.026 af, Depth= 0.23"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-30.00 hrs, dt= 0.01 hrs  
Type III 24-hr 10-yr Rainfall=4.80"

Area (sf)	CN	Description
42,500	30	Woods, Good, HSG A
6,100	39	>75% Grass cover, Good, HSG A
* 3,800	98	Roadway/Concrete
6,850	76	Gravel roads, HSG A
59,250	41	Weighted Average
55,450		Pervious Area
3,800		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Min. Tc.

**Summary for Subcatchment S-1: Tributary to Detention Basin**

Runoff = 7.80 cfs @ 12.09 hrs, Volume= 0.555 af, Depth= 4.26"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-30.00 hrs, dt= 0.01 hrs  
Type III 24-hr 100-yr Rainfall=7.00"

Area (sf)	CN	Description
7,700	39	>75% Grass cover, Good, HSG A
* 5,800	98	Roadway
6,700	98	Water Surface
47,950	76	Gravel roads, HSG A
68,150	76	Weighted Average
55,650		Pervious Area
12,500		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Min. Tc

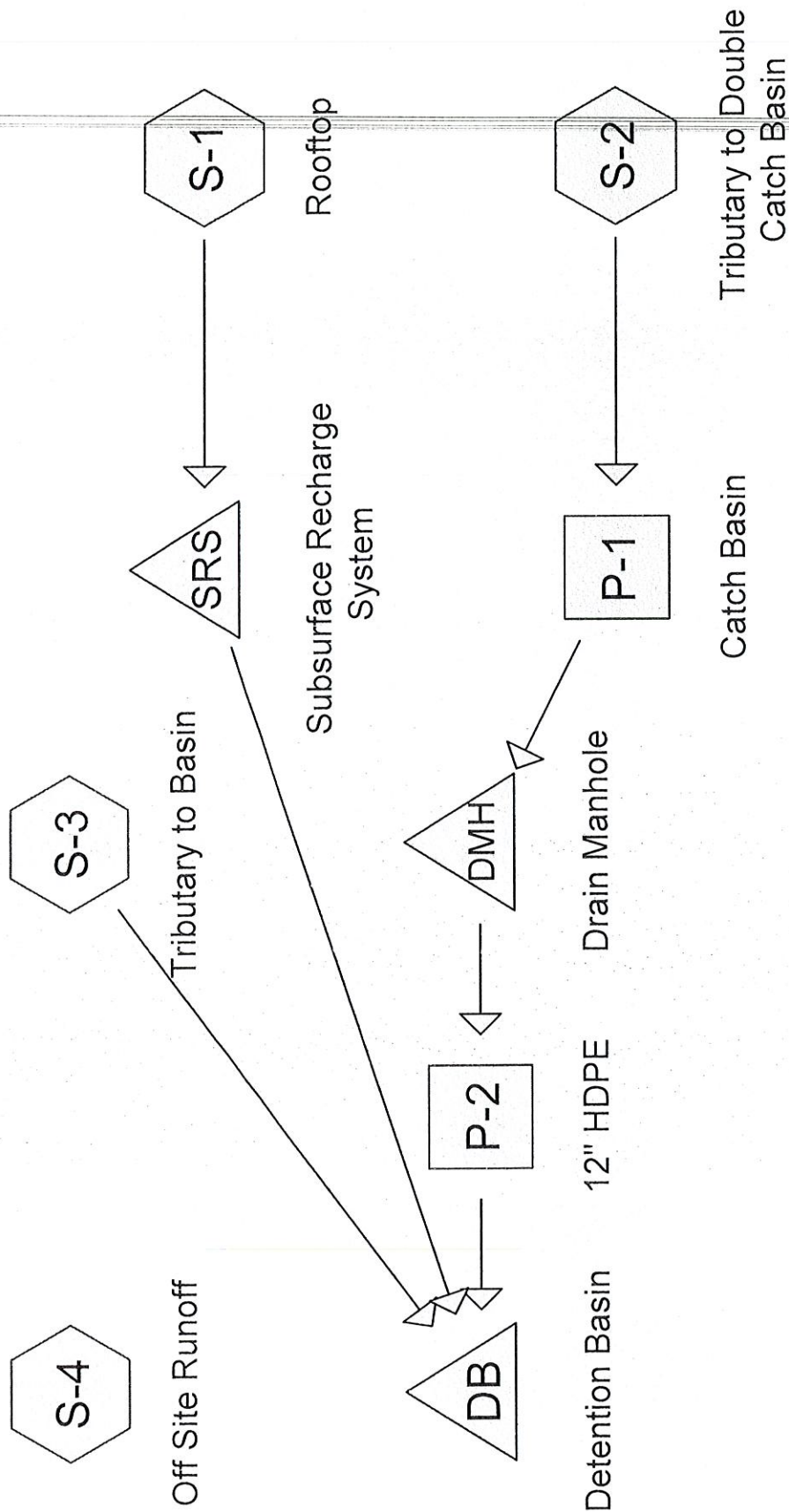
**Summary for Subcatchment S-2: Off Site Runoff**

Runoff = 0.86 cfs @ 12.13 hrs, Volume= 0.104 af, Depth= 0.92"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-30.00 hrs, dt= 0.01 hrs  
Type III 24-hr 100-yr Rainfall=7.00"

Area (sf)	CN	Description
42,500	30	Woods, Good, HSG A
6,100	39	>75% Grass cover, Good, HSG A
* 3,800	98	Roadway/Concrete
6,850	76	Gravel roads, HSG A
59,250	41	Weighted Average
55,450		Pervious Area
3,800		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Min. Tc.



Drainage Diagram for 15500.2POST

Prepared by Thompson Farland, Inc., Printed 8/8/2017

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AUG 11 2017

DEPARTMENT

Case 32-17  
08/11/2017

**15500.2POST**

Prepared by Thompson Farland, Inc.

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Type III 24-hr 2-yr Rainfall=3.40"

Printed 8/8/2017

Page 1

**Summary for Subcatchment S-1: Rooftop**

Runoff = 1.14 cfs @ 12.08 hrs, Volume= 0.091 af, Depth= 3.17"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-30.00 hrs, dt= 0.01 hrs

Type III 24-hr 2-yr Rainfall=3.40"

Area (sf)	CN	Description
* 15,000	98	Roof
15,000		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Min Tc

**Summary for Subcatchment S-2: Tributary to Double Catch Basin**

Runoff = 1.80 cfs @ 12.08 hrs, Volume= 0.143 af, Depth= 3.17"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-30.00 hrs, dt= 0.01 hrs

Type III 24-hr 2-yr Rainfall=3.40"

Area (sf)	CN	Description
* 23,660	98	Roadway
23,660		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Min. Tc

**Summary for Subcatchment S-3: Tributary to Basin**

Runoff = 2.06 cfs @ 12.09 hrs, Volume= 0.147 af, Depth= 1.70"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-30.00 hrs, dt= 0.01 hrs

Type III 24-hr 2-yr Rainfall=3.40"

Area (sf)	CN	Description
* 16,450	98	Basin
* 26,600	76	Gravel roads, HSG A
2,050	39	>75% Grass cover, Good, HSG A
45,100	82	Weighted Average
28,650		Pervious Area
16,450		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Min. Tc

**15500.2POST**

Prepared by Thompson Farland, Inc.

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Type III 24-hr 2-yr Rainfall=3.40"

Printed 8/8/2017

Page 2

**Summary for Subcatchment S-4: Off Site Runoff**

Runoff = 0.03 cfs @ 12.46 hrs, Volume= 0.012 af, Depth= 0.15"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-30.00 hrs, dt= 0.01 hrs

Type III 24-hr 2-yr Rainfall=3.40"

	Area (sf)	CN	Description
*	3,500	98	Pavement
	10,900	76	Gravel roads, HSG A
	8,800	39	>75% Grass cover, Good, HSG A
	20,440	30	Woods, Good, HSG A
	43,640	49	Weighted Average
	40,140		Pervious Area
	3,500		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Min. Tc

**15500.2POST**

Type III 24-hr 10-yr Rainfall=4.80"

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**Summary for Subcatchment S-1: Rooftop**

Runoff = 1.62 cfs @ 12.08 hrs, Volume= 0.131 af, Depth= 4.56"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-30.00 hrs, dt= 0.01 hrs  
Type III 24-hr 10-yr Rainfall=4.80"

Area (sf)	CN	Description
* 15,000	98	Roof
15,000		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Min Tc

**Summary for Subcatchment S-2: Tributary to Double Catch Basin**

Runoff = 2.55 cfs @ 12.08 hrs, Volume= 0.207 af, Depth= 4.56"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-30.00 hrs, dt= 0.01 hrs  
Type III 24-hr 10-yr Rainfall=4.80"

Area (sf)	CN	Description
* 23,660	98	Roadway
23,660		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Min. Tc

**Summary for Subcatchment S-3: Tributary to Basin**

Runoff = 3.52 cfs @ 12.09 hrs, Volume= 0.250 af, Depth= 2.90"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-30.00 hrs, dt= 0.01 hrs  
Type III 24-hr 10-yr Rainfall=4.80"

Area (sf)	CN	Description
* 16,450	98	Basin
* 26,600	76	Gravel roads, HSG A
2,050	39	>75% Grass cover, Good, HSG A
45,100	82	Weighted Average
28,650		Pervious Area
16,450		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Min. Tc

**15500.2POST**

Type III 24-hr 10-yr Rainfall=4.80"

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**Summary for Subcatchment S-4: Off Site Runoff**

Runoff = 0.34 cfs @ 12.13 hrs, Volume= 0.047 af, Depth= 0.56"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-30.00 hrs, dt= 0.01 hrs  
Type III 24-hr 10-yr Rainfall=4.80"

	Area (sf)	CN	Description
*	3,500	98	Pavement
	10,900	76	Gravel roads, HSG A
	8,800	39	>75% Grass cover, Good, HSG A
	20,440	30	Woods, Good, HSG A
	43,640	49	Weighted Average
	40,140		Pervious Area
	3,500		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Min. Tc

**15500.2POST**

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Type III 24-hr 100-yr Rainfall=7.00"

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**Summary for Subcatchment S-1: Rooftop**

Runoff = 2.36 cfs @ 12.08 hrs, Volume= 0.194 af, Depth= 6.76"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-30.00 hrs, dt= 0.01 hrs

Type III 24-hr 100-yr Rainfall=7.00"

	Area (sf)	CN	Description
*	15,000	98	Roof
	15,000		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Min Tc

**Summary for Subcatchment S-2: Tributary to Double Catch Basin**

Runoff = 3.73 cfs @ 12.08 hrs, Volume= 0.306 af, Depth= 6.76"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-30.00 hrs, dt= 0.01 hrs

Type III 24-hr 100-yr Rainfall=7.00"

	Area (sf)	CN	Description
*	23,660	98	Roadway
	23,660		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Min. Tc

**Summary for Subcatchment S-3: Tributary to Basin**

Runoff = 5.87 cfs @ 12.09 hrs, Volume= 0.424 af, Depth= 4.92"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-30.00 hrs, dt= 0.01 hrs

Type III 24-hr 100-yr Rainfall=7.00"

	Area (sf)	CN	Description
*	16,450	98	Basin
*	26,600	76	Gravel roads, HSG A
	2,050	39	>75% Grass cover, Good, HSG A
	45,100	82	Weighted Average
	28,650		Pervious Area
	16,450		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Min. Tc

**15500.2POST**

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Type III 24-hr 100-yr Rainfall=7.00"

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**Summary for Subcatchment S-4: Off Site Runoff**

Runoff = 1.58 cfs @ 12.10 hrs, Volume= 0.132 af, Depth= 1.58"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-30.00 hrs, dt= 0.01 hrs

Type III 24-hr 100-yr Rainfall=7.00"

	Area (sf)	CN	Description
*	3,500	98	Pavement
	10,900	76	Gravel roads, HSG A
	8,800	39	>75% Grass cover, Good, HSG A
	20,440	30	Woods, Good, HSG A
	43,640	49	Weighted Average
	40,140		Pervious Area
	3,500		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Min. Tc

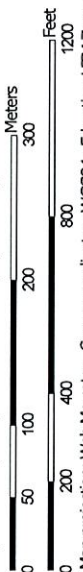
# NRCS SOIL MAP

PLANNING  
AUG 11 2017  
DEPARTMENT

# Soil Map—Bristol County, Massachusetts, Southern Part























































Map Scale: 1:5,020 if printed on A landscape (11" x 8.5") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge ties: UTM Zone 19N WGS84

## MAP LEGEND

	Area of Interest (AOI)		Spoil Area
	Area of Interest (AOI)		Stony Spot
	Soils		Very Stony Spot
	Soil Map Unit Polygons		Wet Spot
	Soil Map Unit Lines		Other
	Soil Map Unit Points		Special Line Features
	Special Point Features		Water Features
	Blowout		Streams and Canals
	Borrow Pit		Transportation
	Clay Spot		Rails
	Closed Depression		Interstate Highways
	Gravel Pit		US Routes
	Gravelly Spot		Major Roads
	Landfill		Local Roads
	Lava Flow		Background
	Marsh or swamp		Aerial Photography
	Mine or Quarry		
	Miscellaneous Water		
	Perennial Water		
	Rock Outcrop		
	Saline Spot		
	Sandy Spot		
	Severely Eroded Spot		
	Sinkhole		
	Slide or Slip		
	Sodic Spot		

## MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Bristol County, Massachusetts, Southern Part  
Survey Area Data: Version 10, Sep 14, 2016

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Dec 31, 2009—Jun 7, 2016

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Map Unit Legend

Bristol County, Massachusetts, Southern Part (MA603)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
38A	Pipestone loamy sand, 0 to 3 percent slopes	12.5	10.4%
39A	Scarboro mucky fine sandy loam, 0 to 3 percent slopes	35.2	29.3%
51A	Swansea muck, 0 to 1 percent slopes	0.6	0.5%
73A	Whitman fine sandy loam, 0 to 3 percent slopes, extremely stony	6.9	5.7%
256B	Deerfield loamy sand, 0 to 5 percent slopes	6.0	5.0%
260A	Sudbury fine sandy loam, 0 to 3 percent slopes	14.1	11.8%
305B	Paxton fine sandy loam, 3 to 8 percent slopes	0.9	0.8%
305C	Paxton fine sandy loam, 8 to 15 percent slopes	3.0	2.5%
306C	Paxton fine sandy loam, 8 to 15 percent slopes, very stony	7.8	6.5%
312B	Woodbridge fine sandy loam, 0 to 8 percent slopes, extremely stony	3.5	2.9%
602	Urban land	27.0	22.4%
651	Udorthents, smoothed	2.8	2.3%
<b>Totals for Area of Interest</b>		<b>120.3</b>	<b>100.0%</b>

# HYDROLOGIC CALCULATIONS & WATERSHED PLANS

# GROUNDWATER RECHARGE CALCULATIONS



**RECHARGE CALCULATIONS**  
**SITE PLAN – 100 DUCHAINE BOULEVARD**

**REQUIRED:**

Recharge Volume Required ("C" Soils) = [Impervious Area x (Recharge  
Depth/12)]  
= [53,533 sf x (0.25"/12)]  
= 1,115 c.f. (Required Volume)

Total Required Recharge Volume = 1,115 c.f.

**STATIC METHOD:**

- Assume the entire Required Recharge Volume is discharged to the infiltration device before infiltration begins.

**PROVIDED:**

**Subsurface Recharge System:**

- Cumulative Volume below the lowest outlet (elev. =78.0) = 2,423 c.f.

**Water Quality Basin #1:**

- Cumulative Volume below the lowest outlet (elev. =79.0) = 24,780 c.f.

Total Recharge Volume Provided = 27,203 c.f.

## DRAWDOWN CALCULATIONS

$$Time_{drawdown} = \frac{Rv}{(K)(Bottom\ Area)}$$

Where:

$Rv$  = Required Storage Volume = (F)(impervious area)

$K$  = Saturated Hydraulic Conductivity For "Static" and "Simple Dynamic" Methods, use Rawls Rate (see Table 2.3.3).

For "Dynamic Field" Method, use 50% of the in-situ saturated hydraulic conductivity.

$$Time_{drawdown} = \frac{Rv}{(K)(Bottom\ Area)} = 7.03\ hours$$

$Rv = 1,115\ C.F.$   
 $K = 0.17\ inch/hr.$   
 $BA = 11,198\ S.F.$

A	sand	0.6-inch
B	loam	0.35-inch
C	silty loam	0.25-inch
D	clay	0.1-inch

Texture Class	NRCS Hydrologic Soil Group (HSG)	Infiltration Rate Inches/Hour
Sand	A	8.27
Loamy Sand	A	2.41
Sandy Loam	B	1.02
Loam	B	0.52
Silt Loam	C	0.27
Sandy Clay Loam	C	0.17
Clay Loam	D	0.09
Silty Clay Loam	D	0.06
Sandy Clay	D	0.05
Silty Clay	D	0.04
Clay	D	0.02

## WATER QUALITY VOLUME CALCULATIONS



**WATER QUALITY VOLUME CALCULATIONS  
SITE PLAN – 100 DUCHAINE BOULEVARD**

**REQUIRED VOLUME:**

\*Water Quality Volume Required =  $(1.0"/12) \times (\text{Total Impervious Area})$

\*Water Quality Volume Required =  $(1.0"/12) \times (53,533 \text{ sf}) = \underline{4,461 \text{ c.f.}}$

**PROVIDED:**

**Subsurface Recharge System:**

- Cumulative Volume below the lowest outlet (elev. =78.0) = 2,423 c.f.

**Water Quality Basin #1:**

- Cumulative Volume below the lowest outlet (elev. =79.0) = 24,780 c.f.

Total Water Quality Volume Provided = 27,203 c.f.

27,203 c.f. (Provided) >>> 4,461 c.f. (Required)

**SUBSURFACE RECHARGE SYSTEM:**

**REQUIRED:**

Water Quality Volume Required =  $(1.0"/12) \times (15,000 \text{ sf}) = 1,250 \text{ c.f.}$

**PROVIDED:**

Cumulative Volume below the lowest outlet (elev. =78.0) = 2,423 c.f.

**WATER QUALITY BASIN #1:**

**REQUIRED:**

Water Quality Volume Required =  $(1.0"/12) \times (19,995 \text{ sf}) = 1,666 \text{ c.f.}$

**PROVIDED:**

Cumulative Volume below the lowest outlet (elev. =79.0) = 24,780 c.f.

# TSS REMOVAL CALCULATIONS

**INSTRUCTIONS:**

1. In BMP Column, click on Blue Cell to Activate Drop Down Menu
2. Select BMP from Drop Down Menu
3. After BMP is selected, TSS Removal and other Columns are automatically completed.

Version 1, Automated: Mar. 4, 2008

Location: Subsurface Roof Recharge System

B BMP <sup>1</sup>	C TSS Removal Rate <sup>1</sup>	D Starting TSS Load*	E Amount Removed (C*D)	F Remaining Load (D-E)
Subsurface Infiltration Structure	0.80	1.00	0.80	0.20
	0.00	0.20	0.00	0.20
	0.00	0.20	0.00	0.20
	0.00	0.20	0.00	0.20
	0.00	0.20	0.00	0.20

Separate Form Needs to  
be Completed for Each  
Outlet or BMP Train

**Total TSS Removal =**

80%

Project:	15-500.2
Prepared By:	Christian A. Farland, P.E.
Date:	10-Aug-17

\*Equals remaining load from previous BMP (E)  
which enters the BMP

**INSTRUCTIONS:**

1. In BMP Column, click on Blue Cell to Activate Drop Down Menu
2. Select BMP from Drop Down Menu
3. After BMP is selected, TSS Removal and other Columns are automatically completed.

Version 1, Automated: Mar. 4, 2008

Location: Detention Basin #1

BMP <sup>1</sup>	C TSS Removal Rate <sup>1</sup>	D Starting TSS Load*	E Amount Removed (C*D)	F Remaining Load (D-E)
Sediment Forebay	0.25	1.00	0.25	0.75
Infiltration Basin	0.80	0.75	0.60	0.15
	0.00	0.15	0.00	0.15
	0.00	0.15	0.00	0.15
	0.00	0.15	0.00	0.15

Separate Form Needs to be Completed for Each Outlet or BMP Train

**Total TSS Removal =**

Project:	15-500.2
Prepared By:	Christian A. Farland, P.E.
Date:	10-Aug-17

\*Equals remaining load from previous BMP (E) which enters the BMP

# SEDIMENT FOREBAY SIZING CALCULATIONS



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### SEDIMENT FOREBAY SIZING CALCULATIONS

#### CONTRIBUTING AREA TO FOREBAY AT WATER QUALITY BASIN #1

Impervious Area = 19,998 s.f.

REQUIRED VOLUME OF SEDIMENT FOREBAY = VOLUME PRODUCED BY 0.25" RUNOFF/IMPERVIOUS ACRE

$$\begin{aligned} &= 0.25 \text{ "/ACRE} \times \frac{1 \text{ ACRE}}{43,560 \text{ S.F.}} \times 19,998 \text{ S.F.} \\ &= 0.115 \text{ INCHES OF RUNOFF} \end{aligned}$$

$$\begin{aligned} \text{TOTAL VOLUME PRODUCED} &= 0.115 \text{ INCHES} \times \frac{1 \text{ FT}}{12 \text{ IN}} \times 19,998 \text{ S.F.} \\ &= 191 \text{ C.F.} \end{aligned}$$

PROVIDED VOLUME OF SEDIMENT FOREBAY

BOTTOM FOREBAY EL. =	77.00	AREA =	11,199 S.F.
FOREBAY BERM EL. =	79.00	AREA =	12,880 S.F.

VOLUME PROVIDED = 24,079 C.F.

# LONG TERM OPERATION & MAINTENANCE PLAN



**ENGINEERING A BETTER TOMORROW**  
ENGINEERING | SITE WORK | LAND SURVEYING

# **Long Term Operation and Maintenance Plan**

## **Site Plan 100 Duchaine Boulevard New Bedford, MA 02745**

August 10, 2017

### **Owner:**

SMRE 100, LLC  
401 Industry Road  
Louisville, KY 40208

### **Prepared For:**

Parallel Products of  
New England  
401 Industry Road  
Louisville, KY 40208

### **Prepared By:**

Christian A. Farland, P.E.  
Farland Corp.  
Project No. 15-500.2

### **Street Sweeping**

The parking lot will be inspected and maintained by the owner.

It shall be the responsibility of the owner to:

Inspections:

Inspect sediment deposit accumulations on the parking lots quarterly.

Maintenance:

Sweep parking lots twice annually. One of the bi-annual sweepings is to be scheduled during the early spring months to clear sediment, sand and debris left behind following the winter accumulation.

Dispose of the accumulated sediment and hydrocarbons in accordance with local, state, and federal guidelines and regulations.

### **Stone/ Rip Rap Areas**

The owner of the rip rap areas shall be the owner.

The rip rap areas are to be inspected and maintained by the owner.

It shall be the responsibility of the owner to:

Inspections:

Inspect the rip rapped areas quarterly.

Maintenance:

Remove accumulated sediment, trash, leaves and debris at least annually. Check for signs of erosion and repair as need. Replace any damaged areas with new rip rap of the same size.

Dispose of the accumulated sediment and hydrocarbons in accordance with local, state, and federal guidelines and regulations.

## **Infiltration Basin**

The owner of the basins shall be the owner.

The basins are to be inspected and maintained by the owner.

It shall be the responsibility of the owner to:

### **Inspections:**

Inspect to basins quarterly and after major storms (>3.2" of rain in 24 hours)

Inspect fore-bay quarterly.

Inspect basins for settlement, subsidence, erosion, cracking or tree growth on the embankment, condition of stone; sediment accumulation around the outlet or within the basin; and erosion within the basin and banks.

Inspect outlet structures and/ or outlet pipes for evidence of clogging, sediment deposits or signs of erosion around the structure/ pipe.

Ensure that the basins are operating as designed. If inspection shows that a basin fails to fully drain within 72 hours following a storm event, then the responsible party shall retain a Registered Professional Civil Engineer licensed in the state of Massachusetts to assess the reason for infiltration/ detention failure and recommend corrective action for restoring the intended functions. For a wet pond, fully drained means that the ponding level in the basin is at or below the lowest elevation of the outlet structure. For an infiltration basin, fully drained means that there is no ponding occurring in the infiltration basin.

Inspect emergency spillways for signs of erosion.

### **Maintenance:**

When mowing the basin and forebay, mow the buffer area, side slopes, and basin bottom. Remove grass clippings and accumulated debris. Mow three times per year in May, July and September.

Remove accumulated trash, leaves, debris in basin and forebay every month between April and November of each year. Inspect areas in February of each year, if possible, to determine whether the aforementioned services are required.

If the infiltration basin is ponding in areas or not infiltrating as designed, use deep tilling to break up clogged surfaces, and re-vegetate immediately.

Replace stone in forebay and at all pipe ends once every five (5) years or when sediment depth is excessive.

Do not store snow in basin area.

Remove sediment from the basin and forebay as necessary and at least once every 5 years but wait until the floor of the basin is thoroughly dry. After removing sediment, replace any vegetation damaged during clean-out by either re-seeding or re-sodding.

Dispose of the accumulated sediment and hydrocarbons in accordance with local, state, and federal guidelines and regulations.

### **Drain Lines**

After construction, the drain lines shall be inspected after every major storm for the first few months to ensure proper functions. Presence of accumulated sand and silt would indicate more frequent maintenance of the pre-treatment devices is required. Thereafter, the drain lines shall be inspected at least once per year. Accumulated silt shall be removed by a vacuum truck or other method preferred.

# LONG TERM POLLUTION PREVENTION PLAN



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# Long Term Pollution Prevention Plan

**Site Plan**  
**100 Duchaine Boulevard**  
**New Bedford, MA 02745**

**August 10, 2017**

**Owner:**

SMRE 100, LLC  
401 Industry Road  
Louisville, KY 40208

**Prepared For:**

Parallel Products of  
New England  
401 Industry Road  
Louisville, KY 40208

**Prepared By:**

Christian A. Farland, P.E.  
Farland Corp.  
Project No. 15-500.2

### **Long Term Pollution Prevention Plan**

This Long Term Pollution Prevention Plan serves to outline good housekeeping practices in order to prevent pollution of the wetland resource areas and surrounding environment. The Long Term Operation & Maintenance Plan shall be taken as part of this document as it is a critical part of this plan and shall be adhered to. Proper operation and maintenance records shall be kept on file at all times.

Snow disposal shall be carried out by the owner. The owner should follow DEP guideline #BRPG 01-01 for all snow removal requirements.

The following areas shall be avoided for snow disposal:

- Avoid dumping the snow in the bordering vegetated wetlands.
- Avoid dumping of snow on top of storm drain catch basins or in stormwater drainage swales or ditches. Snow combined with sand and debris may block a storm drainage system, causing localized flooding. A high volume of sand, sediment, and litter released from melting snow also may be quickly transported through the system into surface water.

In order to prevent or minimize the potential for a spill of hazardous substances or oils to contaminate stormwater, a spill control and containment kit, including spill berm, absorbent materials, rags, gloves, and trash containers, shall be readily available. All product manufacturers recommended spill cleanup methods shall be known by maintenance personnel, who shall be trained regarding these procedures and the location of the cleanup procedure information and supplies. In the event of oil, gasoline or other hazardous waste spill on-site, the City of New Bedford Fire Department, DEP and the Conservation Agent shall be notified immediately. For spills of less than ¼ gallon, clean-up with absorbent materials or other appropriate means, unless circumstances dictate that the spill should be treated by a professional emergency response contractor. Spills which exceed the reportable quantities of substances mentioned in 40 CFR 110, 40 CFR 117, or 40 CFR 302 must be immediately reported to the EPA National Response Center (800) 242-8802. Any catch basin that may be affected by the spill shall be covered immediately with a spill protector drain cover or similar product, or a spill berm placed around the perimeter of the opening to prevent any contamination into the drainage system. Proper cleanup and disposal of hazardous wastes must follow all applicable local and state regulations and must be carried out by a qualified contractor.

The maintenance of all individual lawns, gardens and landscaped areas shall be performed by the owner. The site is not located within or near an Area of Critical Environmental Concern. However, good housekeeping practices should include proper storage and minimal use of cleaning products and fertilizers.

# ILLICIT DISCHARGE STATEMENT



ENGINEERING A BETTER TOMORROW

ENGINEERING | SITE WORK | LAND SURVEYING

August 10, 2017

New Bedford Conservation Commission  
City Hall, Room 304  
133 William Street  
New Bedford, MA 02740

**RE: Illicit Discharge Compliance Statement (IDCS)  
Site Plan - 100 Duchaine Boulevard**

Dear Mr. Radcliffe,

As required, we are submitting this Illicit Discharge Compliance Statement verifying that no illicit discharges exist on the site or are proposed. We have included in the pollution prevention plan measures to prevent illicit discharges to the stormwater management system, including wastewater discharges and discharges of stormwater contaminated by contact with process wastes, raw materials, toxic pollutants, hazardous substances, oil, or grease.

The site plan identifies the location of any systems for conveying wastewater and/or groundwater on the site and show that there are no connections between the stormwater and wastewater management systems and the location of any measures taken to prevent the entry of illicit discharges into the stormwater management system.

Please feel free to contact us if you should need any further information.

Very Truly Yours,

FARLAND CORP.

*Christian A. Farland*

Christian A. Farland, P.E., LEED AP  
Principal Engineer and Vice President

The regulations for the Park were established by the Industrial Foundation to maintain high standards to protect private investment in the past, present and future.

Conveyance of said land is made subject to the following restrictions which shall run with the land, shall be binding upon successive owners thereof, and shall be for the benefit of and enforceable by the "Foundation" as follows: And subject to the Protective New Bedford Business Park Covenants, (sometimes herein referred to as the restrictions or restrictive covenants) imposed by the Foundation upon the Premises. These restrictions set forth below shall run with the land and be binding upon successive owners thereof, shall be for the benefit of and enforceable by (or waived in any particular instance by) the Foundation and shall be in effect for a period of 30 years from the execution date of the Deed and may be further extended for successive periods as provided herein:

1. The first floor square footage of all the buildings on the Premises shall not exceed 40% of the total area of the Premises.
2. All uses on a lot which include, but are not limited to, buildings, driveways, parking areas, impermeable surfaces etc. shall not cover more than 65% of the total area of the Premises.
3. The conveyed parcel of land shall not be used or occupied at any time for any purpose other than the purpose of: Corporate Headquarters; Offices; Service Industries; Research & Development and Testing Laboratories and Facilities; Manufacturing; Processing; Wholesaling; Distribution; and Warehousing, which is in connection with on-site manufacturing, processing, wholesaling and distribution. The conveyed parcel of land can also be used for a Hotel, Restaurant, Day-Care Facility and Health Club.
4. The architecture and type of construction, and the materials used therein, of all buildings and structures to be erected upon said land must be approved in writing by the Foundation. A certificate signed by the Chairman, Vice Chairman or Executive Director of the Foundation, in form suitable for recording, to the effect that these provisions have been complied with, duly recorded in the Registry, shall be conclusive evidence of such approval.
5. An important aspect of the Foundation's decision on whether or not to approve the new building plans or plans to expand an existing building of the applicant in Subsection "4" above shall be the attractiveness of the building and the associated landscaping plans including an initial and ongoing commitment for landscaping and upkeep to improve the appearance of the property such as special plantings and flowers, regular grass mowing and other maintenance actions to keep the appearance of the buildings and property in excellent condition..
6. No use shall be made of the Premises which would be obnoxious, or which would create a nuisance, or which would be hazardous per se to other occupants of the Park or owners of real estate abutting the Business Park, or which would violate applicable state, federal or local laws, regulations or by laws, or which would adversely impact on the quality of the atmosphere of aquifers therein or nearby. No project may go forward which poses any significant risks, hazards or problems to the land in the Park, other companies in the Park or nearby residents to the Park such as: Fire; Explosion; Dust; Noise; Smoke; Odor; Unhealthy Air Emissions; Ground Water Contamination; Soil Contamination; Adverse Wetlands Impacts; Adverse Endangered Species Impacts; or Unsightly Operations.
7. No building shall be erected within fifty (50) feet of any street line or lot line, and the area set back from the street line shall be kept appropriately landscaped and maintained in a professional and aesthetically pleasing manner.
8. Buyer shall provide on-site parking sufficient for all employees and visitors and shall not permit such parking on the public ways. All parking shall be confined to the rear and sides of the building and shall be set back 50 feet or more from property lines. All parking areas shall be properly paved with asphalt or concrete material maintained and screened from view in such manner, as the Foundation shall, in its sole discretion, from time to time determine.

9. All truck loading platforms or doors as well as rail-siding facilities shall be located at the rear of the building and screened from view in such manner as the Foundation shall, in its sole discretion, from time to time, determine.
10. AU outside storage must be appropriately screened on all sides.
11. No topsoil, sand, or gravel shall be removed from the said binds except for the purpose of building excavations and grading. Any topsoil, sand, or gravel removed for any purpose shall be disposed of in a lawful manner. Only borrow soil materials free of debris, roots and organic matter shall be permitted for use as fill. Topsoil shall be natural soil, typical of the locality, fertile and reasonably free from stones, weeds and clay.
12. The Premises shall not be hereafter subdivided or resold without the prior written consent of the Foundation.
13. No building, structure or any condition thereto, or any exterior alteration thereof, shall be erected or placed, and no parking area or driveway shall be constructed until the plans and specifications shall first have been approved in writing by Executive Director of the Foundation. The plans and specifications shall be prepared by a registered architect or engineer and shall include the following:
  - a. Site plans showing existing and proposed contours, site drainage, site utilities, building locations, drive-ways, parking and loading areas, walks, lighting, landscaping, etc.
  - b. Building plans, elevations and sections, including plans for all floor levels; general layout of interior spaces; elevations of all exterior facades (indicating heights, materials, finishes, and signs) typical building and wall sections showing nature of construction.
  - c. Outline specifications noting materials of construction, including paving and landscaping; size and species of plant materials as well as building materials. Upon receipt of adequate and sufficient plans and specifications, the Foundation shall within one (1) week after such receipt, notify the Buyer in writing of its approval or disapproval of such plans. Such approval, however, will be conditional upon certification by the Buyer or its representative that the same plans and specifications as submitted to the Foundation for approval have also been or will be submitted to the building inspector in application for a building permit.
14. The building front must be primarily masonry and glass. The building sides must be masonry and glass or flat steel panels with concealed fasteners. The back of the building may be any material.
15. No billboards or advertising signs, other than those identifying the main business and products of the firms occupying the premises shall be permitted in the New Bedford Business Park. All such signs shall be approved by the Foundation. No un-shaded, flashing or open lights shall be allowed on such signs.
16. To avoid further traffic congestion at the entrance to the Park around 7 a.m. and 3 p.m., the Company shall begin its first shift outside of the 6:50 - 7:10 a.m. time window and end its first shift outside of the 2:50 - 3:10 p.m. time window.
17. The owner of the conveyed Parcel of land shall pay to the Greater New Bedford Industrial Foundation a quarterly payment of about \$600, which is likely to increase in the future, to help cover the costs of the Park's Maintenance and Security Patrol Service.
18. By a date three (3) months after the closing, Buyer shall have commenced, and shall thereafter proceed with dispatch and use reasonable diligence in the construction of a building upon the Premises to be conveyed.
19. Subject to the foregoing, if Buyer shall not have completed construction of one proposed building on the premises to be conveyed by twelve (12) months after Closing, it shall, within thirty (30) days of said date, offer to re-convey said premises to the Foundation for the price of plus the actual cost of construction completed to date. If the Foundation within thirty (30) days after receipt of said offer, does not accept the same, Buyer may retain said premises free of the limitations and agreements contained in this paragraph and/or sell said premises to whomever it wishes.
20. Any re-conveyance of the Premises to the Foundation pursuant to the provisions hereof shall be by a good and sufficient quitclaim deed, conveying a good and clear record and marketable title to the same free from all encumbrances except those set forth herein and; and upon such re-conveyance, the restrictions and obligations imposed upon Buyer set forth herein shall lapse and be of no further force and effect.
21. The Foundation shall have the right to bring proceedings at law or equity against the party or parties violating or attempting to violate the conditions, covenants, restrictions and reservations contained herein, to enjoin them from so doing and to cause any such violation to be remedied, after written notice to the owner and mortgagees of record. Every act, omission to act, or condition which violates the terms of these Protective New Bedford Business Park Covenants shall constitute

a nuisance and every remedy available at law or in equity for the abatement of public or private nuisance shall be available to the Foundation.

22. These covenants and restrictions are intended to constitute a common scheme of restrictions running with the land of the Premises and to be effective and enforceable under the provisions of General Laws Chapter 184, Section 26 et seq., as same may be amended from time to time.
23. The Foundation and its successors and assigns reserve the right to extend the restrictions recited in Paragraphs 1-20 hereof for successive periods of not more than 20 years each from the execution date of the Deed contemplated herein (after the expiration of the initial 30 year period of restriction) so long as the same may be a benefit to the Foundation. Such extension of said restrictions shall be set forth on a Notice of Restrictions and shall:
  1. Be signed by the Chairman (or successor position), the Foundation being entitled of record to the benefit of the restrictions; and
  2. Describe the benefited land of the Foundation; and
  3. Describe the Premises; and
  4. Name the Foundation as having previously owned the Premises; and
  5. Specify the deed imposing the prior restrictions (as set forth herein and in said deed) and its place of record in the public records; and
  6. Be indexed and marginally referred as required by Massachusetts General Laws Chapter 184, Section 29; and
  7. Be recorded in the Registry before the expiration of 30 years of the private restrictions contemplated herein; and
  8. Thereafter, be recorded in said Registry before the expiration of 20 years preceding the filing of a further notice of restriction which is not to exceed 20 years.

This paragraph shall be deemed amended, from time to time, to the extent necessary, to comply with Association Title Standard No. 52 Extension of Restriction and Massachusetts General Laws Chapter 184, Sections 27 and 29, as same may be amended from time to time.

24. The Foundation may prosecute proceedings at law against Buyer for violating or attempting to violate the provisions hereof either to restrain violation or to recover damages. The failure of the Foundation to enforce any restrictions, regulations, covenants or provisions hereof shall not be deemed to be a waiver of the right to do so thereafter as to the same breach or to one occurring prior or subsequent thereto.
25. If any provision hereof or the application of any such provision to any person or circumstance shall be held invalid, the remainder of this Section 5 or the application of such provision to persons or circumstances other than those as to which it is held invalid, shall not be affected thereby.
26. The Foundation agrees for itself and its successors in interest to the Premises benefited by these restrictive covenants timely execute such documents and take such action, including the surrender of certificates of title, if any, for notation thereon as shall be necessary to cause such notices of restriction to be effective and enforceable under the applicable statutes.
27. These covenants and restrictions may be amended solely by the Foundation, its successors and assigns, at any time or from time to time and such amendment shall become effective upon recording. Any such subsequent amendment which would affect a parcel of land owned by a prior grantee, shall not be binding until said amendment has been assented to in writing by such prior grantee.

## Constance M. Brawders

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**From:** Jennifer Clarke  
**Sent:** Wednesday, August 30, 2017 4:21 PM  
**To:** Constance M. Brawders  
**Subject:** BUSINESS PARK APPLICATIONS

Connie...

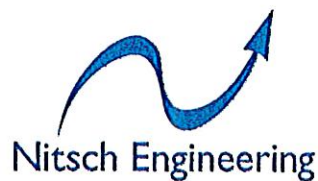
Just wanted to advise you that the GNBIF Exec Committee has been presented with both the John Vertente Blvd and 100 Duchaine plans and finds that both meet the park's regulations. Please be sure to note that in the staff reports.

Let me know when they are ready for review.

Thanks!



**JENNIFER CLARKE, AICP**  
Deputy Director of Planning & Community Development  
Department of Planning, Housing & Community Development  
608 Pleasant Street  
New Bedford, MA 02740  
508.979.1500 x117 - [www.newbedford-ma.gov](http://www.newbedford-ma.gov)



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Boston, MA 02108-1928  
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F: 617-338-6472  
[www.nitscheng.com](http://www.nitscheng.com)

September 1, 2017

Mr. Craig Dixon  
Chairman  
New Bedford Conservation Commission  
New Bedford City Hall  
133 William Street  
New Bedford, MA 02744

RE: Nitsch Project #9972  
100 Duchaine Boulevard  
New Bedford, MA

Dear Mr. Dixon:

This letter is in regards to the proposed project located at 100 Duchaine Boulevard in New Bedford, Massachusetts. Nitsch Engineering has reviewed the following documents for compliance with the Massachusetts Department of Environmental Protection (MassDEP) Stormwater Management Standards:

- Plans entitled, "Site Plan, 100 Duchaine Boulevard, Assessor's Map #134 Lot #5, New Bedford, Massachusetts," prepared by Farland Corp., dated August 10, 2017; and
- Notice of Intent entitled, "Site Plan, Assessors Map 134 – Lot 5, 100 Duchaine Boulevard, New Bedford, Massachusetts," prepared by Farland Corporation., including stormwater calculations, dated August 10, 2017.

This project includes additional construction at 100 Duchaine Boulevard including revisions to an existing parking area located to the east of the existing building, a 150-foot by 100-foot building addition, the installation of an underground infiltration facility, layout changes in the vicinity of the new addition, and expansion on an existing stormwater basin.

Below are our comments on the proposed project regarding stormwater management only:

1. The improvements on the parking lot to the east of the existing building include a new 100-foot-long access driveway. The plans do not show any proposed grades on this driveway, implying that the driveway is flat. The plans should be revised to show proposed grades and indicate how stormwater generated by the driveway will be handled.
2. The proposed discharge to the existing detention basin should include a flared end and rip-rap pad.
3. The applicant should perform a test hole in the vicinity of the proposed underground infiltration facility to determine seasonal high groundwater elevation and insure that there is two feet of separation between the bottom of the system and seasonal high groundwater. The detail shows seasonal high groundwater elevation as 96.7, which is incorrect.
4. The infiltration basin shows the 100-year storm elevation above the elevation of the berm for this facility. The Stormwater Management Guidelines require one foot of freeboard between the 100-year storm elevation and the top of the basins berm.
5. The hydrologic calculations provided include only flows from subcatchments and do not include flows for the existing and proposed stormwater basin or the underground infiltration facility. The complete calculations for all storms need to be provided. It appears that the flows shown in the summary table are inconsistent with the flows shown on the subcatchments.

Mr. Craig Dixon: Nitsch Project #9972  
September 1, 2017  
Page 2 of 2

6. The routing diagram for the hydrologic calculations show the underground infiltration system discharging to the stormwater basin. It is unclear how this connection occurs. The plans – and perhaps the existing conditions plans – should show this connection.
7. Pipe sizing calculations should be provided.
8. We recommend that additional information be provided describing the outlet control structure from the underground infiltration system.
9. The plans seem to imply that there is a stone diaphragm proposed along the paved pad. The pad also contains a water quality treatment device. It is unclear whether all the stormwater runoff over the pad is intended to flow towards the water quality structure. If so, there should be curb shown on the plans that directs water to the structure.
10. A water quality treatment device detail should be added to the plans.

If you have any questions, please call us at 617-338-0063.

Very truly yours,

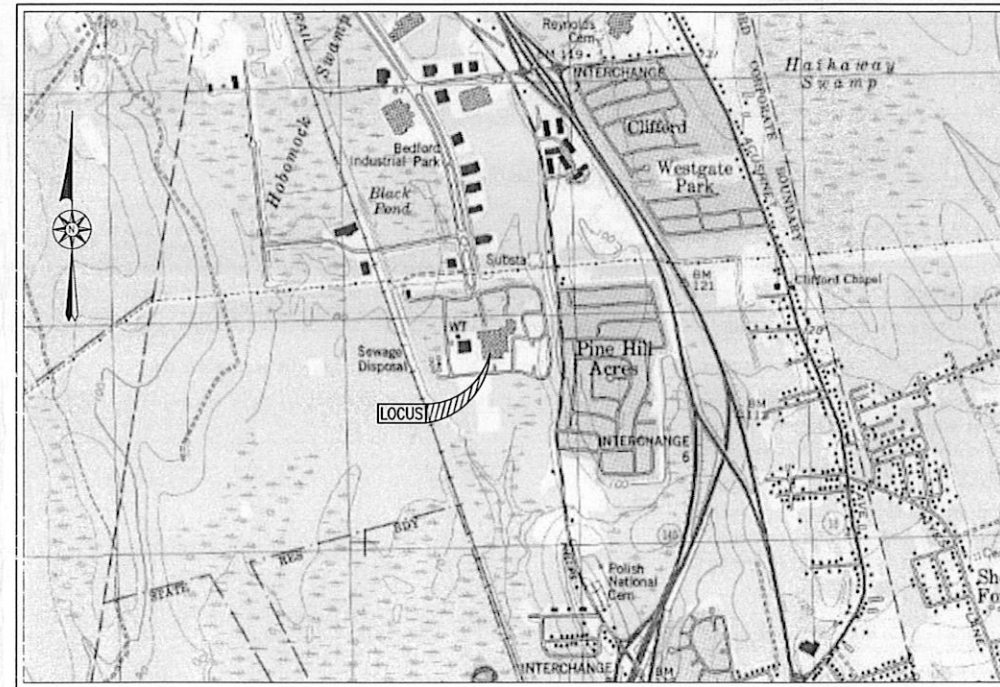
**Nitsch Engineering, Inc.**



Scott D. Turner, PE, AICP, LEED AP ND  
Director of Planning

SDT/vas

CITY CLERK



— AREA MAP —  
SCALE: 1"=1,000'±

- INDEX -			
<u>SHEET</u>	<u>DESCRIPTION</u>	<u>SHEET</u>	<u>DESCRIPTION</u>
1	COVER	5	UTILITIES & GRADING
2	NOTES & LEGEND	6	LIGHTING
3	EXISTING CONDITIONS	7	DETAILS
4	LAYOUT	8-9	ARCHITECTURALS

**RECORD OWNER:**  
ASSESSORS MAP 134 LOT 5  
SM REAL ESTATE, LLC  
401 INDUSTRY ROAD  
LOUISVILLE, KY 40208  
LC CERT# 23339  
LC PLAN# 36318C

SHEET 1 OF 9

Case 32-17  
08/11/2017

## GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
2. TOPOGRAPHIC AND PROPERTY LINE SURVEY PERFORMED BY FARLAND CORP. IN SEPTEMBER OF 2015.
3. VERTICAL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988 AND HORIZONTAL LOCATIONS REFER TO THE NORTH AMERICAN DATUM (NAD) OF 1983.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL STANDARDS AND REGULATIONS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.
6. ALL BENCHMARKS SHOWN ON THIS PLAN ARE TO BE CHECKED FOR CONSISTENCY BY THE CONTRACTOR. ANY DISCREPANCIES MUST BE RESOLVED BY THIS OFFICE PRIOR TO CONSTRUCTION.
7. WHERE PROPOSED PAVEMENT AND WALKS ARE TO MEET EXISTING, THE CONTRACTOR SHALL SAWCUT A NEAT LINE AND MATCH GRODE, SEAL, ALL JOINTS WITH HOT BITUMINOUS ASPHALT JOINT SEALER.
8. CURBING TO BE AS INDICATED ON THE PLANS.
9. ALL EXISTING TREES, SHRUBS AND GROUND COVER WHERE NATURAL GRADE IS TO BE RETAINED SHALL BE KEPT IN THEIR EXISTING STATE UNLESS REMOVAL IS REQUIRED FOR CONSTRUCTION PURPOSES.
10. ALL AREAS DISTURBED BY CONSTRUCTION AND NOT TO BE PAVED OR OTHERWISE TREATED AS NOTED ON PLAN SHALL BE TREATED WITH 4" OF LOAM, SEEDED AND MOW MULCHED FOR EROSION CONTROL.
11. SITE IMPROVEMENTS SHALL CONFORM TO A.D.A. SPECIFICATIONS.
12. ALL HANDICAP PARKING, RAMPS AND ACCESS SHALL CONFORM TO ASB & MAB REQUIREMENTS.
13. ALL PAVEMENT FINISHES AND SLOPES SHALL CONFORM TO MTCO REQUIREMENTS.
14. LIGHTING SHALL BE DIRECTED ON SITE AND AWAY FROM TRAFFIC INTERFERENCE.
15. TEST PITS AND/OR BORINGS WERE TAKEN FOR THE PURPOSE OF DESIGN AND SHOW CONDITIONS AT BORING POINTS ONLY. THEY DO NOT NECESSARILY SHOW THE NATURE OF ALL MATERIALS TO BE ENCOUNTERED DURING CONSTRUCTION.
16. THE CONTRACTOR SHALL PROTECT AND/OR CAP OFF ALL EXISTING ON-SITE UTILITY SERVICES ACCORDING TO THE LOCAL AUTHORITY'S SPECIFICATIONS. SERVICES SHALL BE CAPPED OFF WHERE SAME ENTER THE PERIMETER OF THE PROPERTY LINE.
17. ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
18. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
19. ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
20. ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED BY THE CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
21. THESE PLANS ARE PERMITTING PLANS AND SHALL NOT BE USED FOR CONSTRUCTION. A FINAL SET OF STAMPED PLANS FOR CONSTRUCTION WILL BE ISSUED AFTER RECEIVING FINAL APPROVAL FROM THE LOCAL AND/OR STATE DEPARTMENTS.

## CONSTRUCTION SEQUENCING NOTES

1. ALL BMP EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO DEMOLITION OR ANY SITE WORK.
2. EROSION CONTROL BMPs SHALL CONFORM TO US EPA, NPDES, MA DEP AND MASSACHUSETTS EROSION AND SEDIMENTATION CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS.
3. CONSTRUCT TEMPORARY AND PERMANENT EROSION CONTROL FACILITIES. EROSION CONTROL FACILITIES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING.
4. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO THE CITY OF NEW BEDFORD CONSERVATION COMMISSION REQUIREMENTS AS STATED IN THE ORDER OF CONDITIONS.
5. TREE PROTECTION FENCE SHALL BE INSTALLED AND APPROVED BY THE OWNER REPRESENTATIVE PRIOR TO ANY EARTH MOVING.
6. ALL PERMANENT DITCHES AND SWALES ARE TO BE STABILIZED WITH VEGETATION OR RIP RAP PRIOR TO DIRECTING RUNOFF TO THEM.
7. CLEAR CUT, DEMOLISH AND DISPOSE OF EXISTING SITE ELEMENTS NOT TO REMAIN.
8. STORMWATER SHALL NOT BE DIRECTED TOWARDS THE INFILTRATION BASINS UNTIL THE ENTIRE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
9. GRADE AND GRAVEL ALL PAVED AREAS. ALL PROPOSED PAVED AREAS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
10. BEGIN ALL PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED IMMEDIATELY AFTER THEIR CONSTRUCTION.
11. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES AND MULCH AND SEED AS REQUIRED.
12. FINISH PAVING ALL HARD SURFACE AREAS.
13. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES.
14. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
15. REMOVE TEMPORARY EROSION CONTROL MEASURES.
16. THE CONSTRUCTION SEQUENCE SHALL BE CONFINED TO THE LIMIT OF WORK AS SHOWN ON THE DRAWINGS.
17. UPON COMPLETION OF CONSTRUCTION THE OWNER SHALL AGREE TO MAINTAIN AND CLEAN ALL DRAINAGE STRUCTURES AS REQUIRED.
18. MAINTENANCE SPECIFICATIONS SHALL BE PROVIDED FOR ALL PROPOSED EROSION AND SEDIMENTATION CONTROLS.

## UTILITY AND GRADING NOTES

1. THE CONTRACTOR SHALL OBTAIN A STREET DISTURBANCE AND OBSTRUCTION PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE RIGHT-OF-WAY.
2. ALL WATER AND SEWER MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
3. ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF NEW BEDFORD BEFORE BEING BACKFILLED.
4. THE CITY SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE REQUIRED INSPECTIONS.
5. ALL ON-SITE STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) OR RCP, UNLESS NOTED OTHERWISE.
6. HDPE PIPE SHALL CONFORM WITH AASHTO DESIGNATIONS M24 AND M252, SHALL BE MANUFACTURED WITH HIGH DENSITY POLYETHYLENE PLASTIC AND SHALL BE ADS N-12 PIPE AS MANUFACTURED BY ADVANCE DRAINAGE SYSTEM, INC. OR HANCOCK HI Q PIPE AS MANUFACTURED BY HANCOCK, INC. OR APPROVED EQUAL UNLESS OTHERWISE NOTED OR DETAILED.
7. A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES.
8. ALL SERVICE CONNECTIONS SHALL BE INSTALLED TO A POINT OF 10 FEET FROM THE BUILDING WALL UNLESS OTHERWISE NOTED OR DETAILED.
9. BEFORE THE DEVELOPMENT SITE IS GRADED, THE AREA OF THE DRAINAGE BASINS SHOULD BE FENCED OFF TO PREVENT HEAVY EQUIPMENT FROM COMPACTING THE UNDERLYING SOIL.
10. WHERE PROPOSED GRADES MEET EXISTING GRADES, CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. PONDING AT TRANSITION AREAS WILL NOT BE ALLOWED.
11. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS AND STRUCTURES.
12. MAXIMUM SLOPE IN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
13. CONTRACTOR SHALL VERIFY EXISTING GRADES AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
14. CONTRACTOR SHALL ADJUST UTILITY ELEMENT MEANT TO BE FLUSH WITH GROUND THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
15. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE OWNER'S REPRESENTATIVE FOR RESOLUTION OF THE CONFLICT.
16. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ALL GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
17. ELECTRICAL DUCT BANK LOCATION IS SHOWN FOR COORDINATION PURPOSES, REFER TO ELECTRICAL PLANS FOR SECTIONS AND DETAILS OF THE UTILITY DUCT BANK.
18. THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY AND APPROVED BY THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE AND ELECTRICAL). FINAL DESIGN AND LOCATIONS AT THE BUILDING WILL BE PROVIDED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE UTILITY CONNECTIONS WITH THE RESPECTIVE COMPANIES PRIOR TO ANY UTILITY CONSTRUCTION.

## LAYOUT AND MATERIAL NOTES

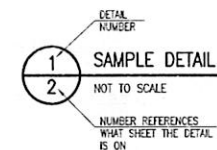
1. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
2. ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
3. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAILS CONTIGUOUS TO THE BUILDING INCLUDING SIDEWALKS, RAMPS, UTILITY ENTRANCE LOCATIONS, WALL PACKS, CONCRETE DOOR PADS, ROOF DRAINS, ETC.
4. ACCESSIBLE CURB RAMP SHALL BE PER THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD AND THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES, WHICH IS MORE STRINGENT.
5. THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN:  
ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING.  
ALL DIMENSIONS ARE TO FACE OF CURB AT CUTTER LINE.  
ALL DIMENSIONS ARE TO CENTER OF PAVEMENT MARKINGS.  
ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.

## SOIL EROSION AND SEDIMENT CONTROL NOTES

1. THE CONSERVATION COMMISSION SHALL BE NOTIFIED, AT LEAST 72 HOURS PRIOR TO ANY LAND DISTURBANCE.
2. A COPY OF THE SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED ON THE PROJECT SITE DURING CONSTRUCTION.
3. SOIL EROSION AND SEDIMENT CONTROL PRACTICES IN THE PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
4. ALL APPLICABLE SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY DEMOLITION GRADING OPERATIONS AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
5. ALL APPLICABLE SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND/OR THE AREA IS STABILIZED.
6. ALL SOIL EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
7. THE MAINTENANCE OF SOIL EROSION AND SEDIMENT CONTROL MEASURES AND FACILITIES DURING AND IMMEDIATELY AFTER CONSTRUCTION RESTS WITH THE GENERAL CONTRACTOR. UPON ACCEPTANCE OF THE PROJECT, THE OWNER SHALL BECOME RESPONSIBLE FOR MAINTENANCE OF ANY REMAINING MEASURES AND FACILITIES.
8. OFF SITE SEDIMENT DISTURBANCE MAY REQUIRE ADDITIONAL CONTROL MEASURES TO BE DETERMINED BY THE ENGINEER.
9. THE CONSERVATION COMMISSION AND/OR ENGINEER MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR.
10. ADJOINING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS AT ALL TIMES.
11. THE CONTRACTOR SHALL UTILIZE ALL METHODS NECESSARY TO PREVENT BLOWING AND MOVEMENT OF DUST FROM THE EXPOSED SOIL SURFACES.
12. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
13. A CRUSHED STONE TIRE CLEANING PAD WILL BE INSTALLED WHEREVER A CONSTRUCTION ENTRANCE EXISTS. SEE LOCATION DETAIL, ON PLAN.
14. ALL CATCH BASIN INLETS SHALL BE PROTECTED DURING CONSTRUCTION AS DETAILED ON THE PLAN, IF APPLICABLE.
15. ALL STORM DRAINAGE OUTLETS SHALL BE PROTECTED AS REQUIRED HEREON BEFORE DISCHARGE POINTS BECOME OPERATIONAL.
16. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
17. LAND AREAS EXPOSED AT ANY ONE TIME AND THE LENGTH OF EXPOSURE SHALL BE KEPT TO A PRACTICAL MINIMUM. THEY SHALL BE LEFT IN A NEAT AND FINISHED APPEARANCE AND PROTECTED FROM EROSION.
18. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN SIXTY (60) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND FERTILIZATION. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTRIBUTED AREAS SHALL BE MULCHED.
19. ALL CRITICAL AREAS SUBJECT TO EROSION SHALL RECEIVE A TEMPORARY SEEDING AND BE MULCHED IN ACCORDANCE WITH THE SPECIFICATIONS IMMEDIATELY FOLLOWING RROUGH GRADING.
20. IMMEDIATELY AFTER COMPLETION OF STRIPPING AND STOCKPILING OF TOPSOIL, SEED THE STOCKPILE WITH ANNUAL RYE GRASS. STABILIZE TOPSOIL STOCKPILES WITH STRAW MULCH FOR PROTECTION IF THE SEASON DOES NOT PERMIT THE APPLICATION AND ESTABLISHMENT OF TEMPORARY SEEDING.
21. SOIL STOCKPILES ARE NOT TO BE LOCATED WITHIN FIFTY (50) FEET OF WETLANDS, THE FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITIES. THE BASE OF ALL STOCKPILES SHALL BE PROTECTED BY A HAY BALE BARRIER OR SEDIMENT FENCE. LOCATIONS ARE DELINEATED ON THE PLAN.
22. MAXIMUM SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
23. ALL AREAS NOT STABILIZED BY CONSTRUCTION, SODDING OR LANDSCAPING SHALL BE SEEDED AND STABILIZED IN ACCORDANCE WITH THE SEEDING AND MULCHING SPECIFICATIONS.
24. MULCHING IS REQUIRED ON ALL SEEDING AREAS TO INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED TO PROMOTE EARLIER VEGETATIVE COVER.
25. ALL Dewatering OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTRATION DEVICE. THE SEDIMENT FILTER MUST BE CAPABLE OF FILTERING THE SEDIMENT AND BE PLACED SO AS NOT TO CAUSE EROSION OF THE DOWNSTREAM AREA.

## LEGEND

EXISTING	PROPOSED
CONTOUR LINE	100
SPOT GRADE	101.3
EDGE OF PAVEMENT	EOP
VERTICAL GRANITE CURB	VGC
SLOPED GRANITE CURB	SGC
VERTICAL CONCRETE CURB	VCC
BITUMINOUS CONCRETE CURB	BCC
CAPE COD BERM	CCB
STONE WALL	
CHAIN LINK FENCE	X X
IRON FENCE	Δ Δ
POST & RAIL FENCE	○ ○
STOCKADE FENCE	□ □
GUARD RAIL	— — — — —
HAY BALES	— — — — —
WATER LINE	— W — — — W — — —
FIRE HYDRANT	⊙
POST INDICATOR VALVE	
WATER GATE	⊞
WATER METER PIT	
IRRIGATION HAND HOLE	
WELL	
SEWER LINE	
SEWER MANHOLE	
GAS LINE	
GAS METER	
GAS GATE	
DRAIN LINE	
DRAIN MANHOLE	
CATCH BASIN	
OVERHEAD WIRES	
ELECTRIC, TELEPHONE & CABLE	
UTILITY POLE	
GUY WIRE	



## REVISIONS

NO.	DESCRIPTION



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DRAWN BY: M.W.  
DESIGNED BY: JKM  
CHECKED BY: CAF

SITE PLAN  
— 100 DUCHAINE BOULEVARD —  
ASSESSORS MAP 134 LOT 5  
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:  
PARALLEL PRODUCTS OF NEW ENGLAND  
401 INDUSTRY ROAD  
LOUISVILLE, KY 40208

AUGUST 10, 2017

SCALE: AS NOTED

JOB NO. 15-500.2

LATEST REVISION:

NOTES & LEGEND

SHEET 2 OF 9

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— 100 DUCHAINE BOULEVARD —  
ASSESSORS MAP 134 LOT 5  
NEW BEDFORD, MASSACHUSETTS

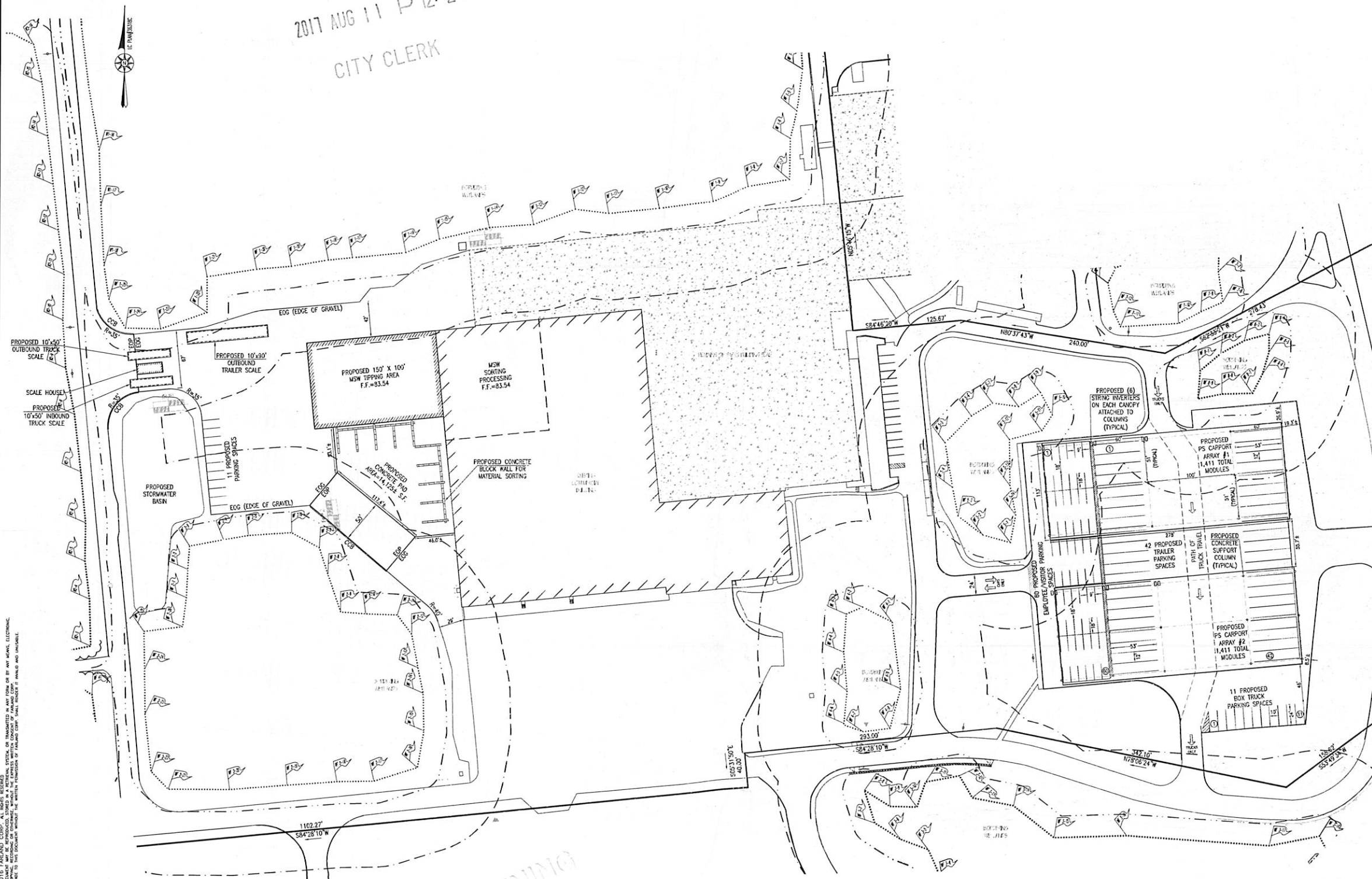
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SHEET 3 OF 9

Case 32-17  
08/11/2017

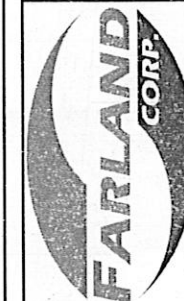
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CHECKED BY: CAF

SITE PLAN

— 100 DUCHAINE BOULEVARD —  
ASSESSORS MAP 134 LOT 5  
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:  
PARALLEL PRODUCTS OF NEW ENGLAND  
401 INDUSTRY ROAD  
LOUISVILLE, KY 40208

AUGUST 10, 2017

SCALE: 1"=50'

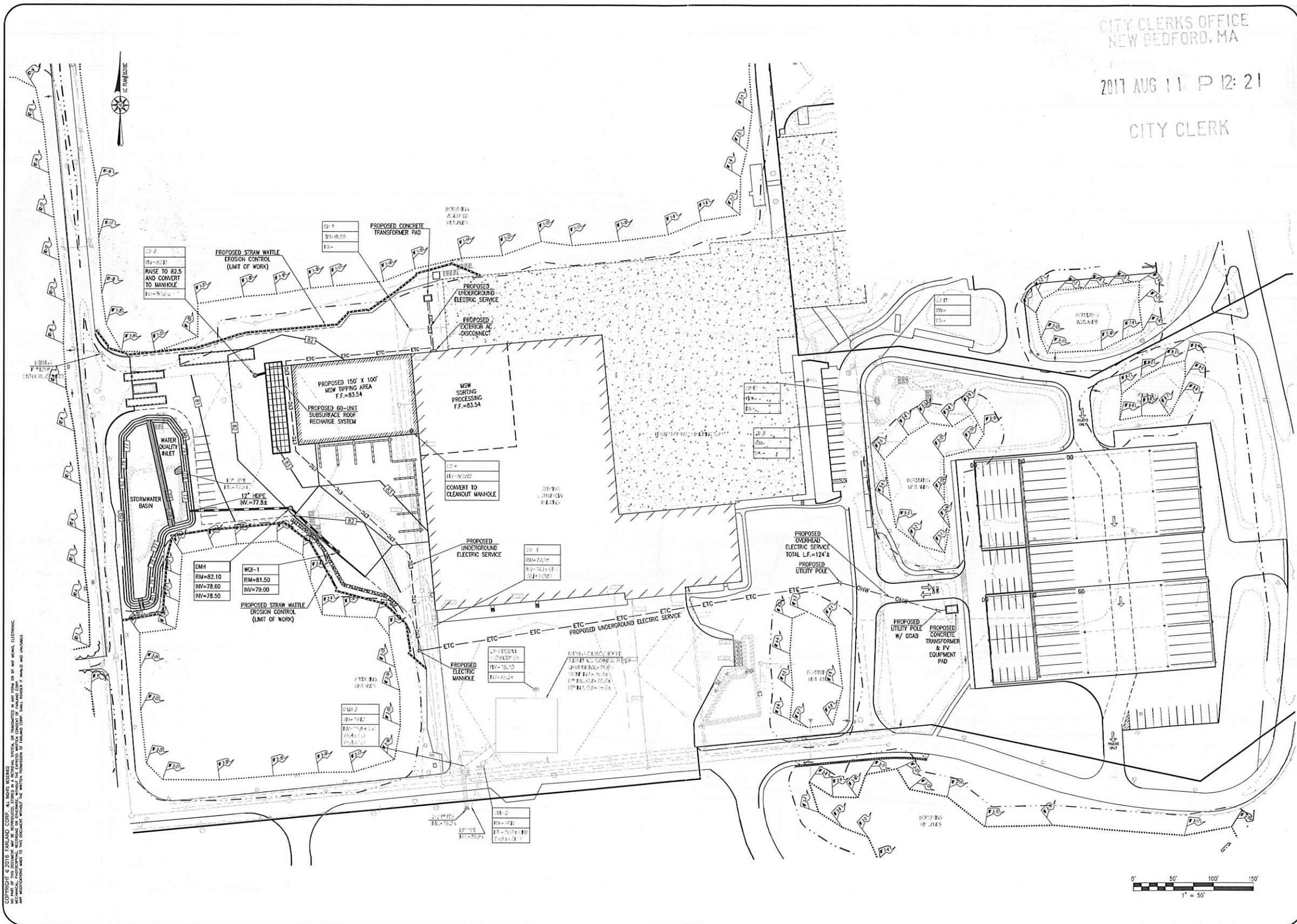
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SHEET 4 OF 9

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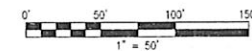
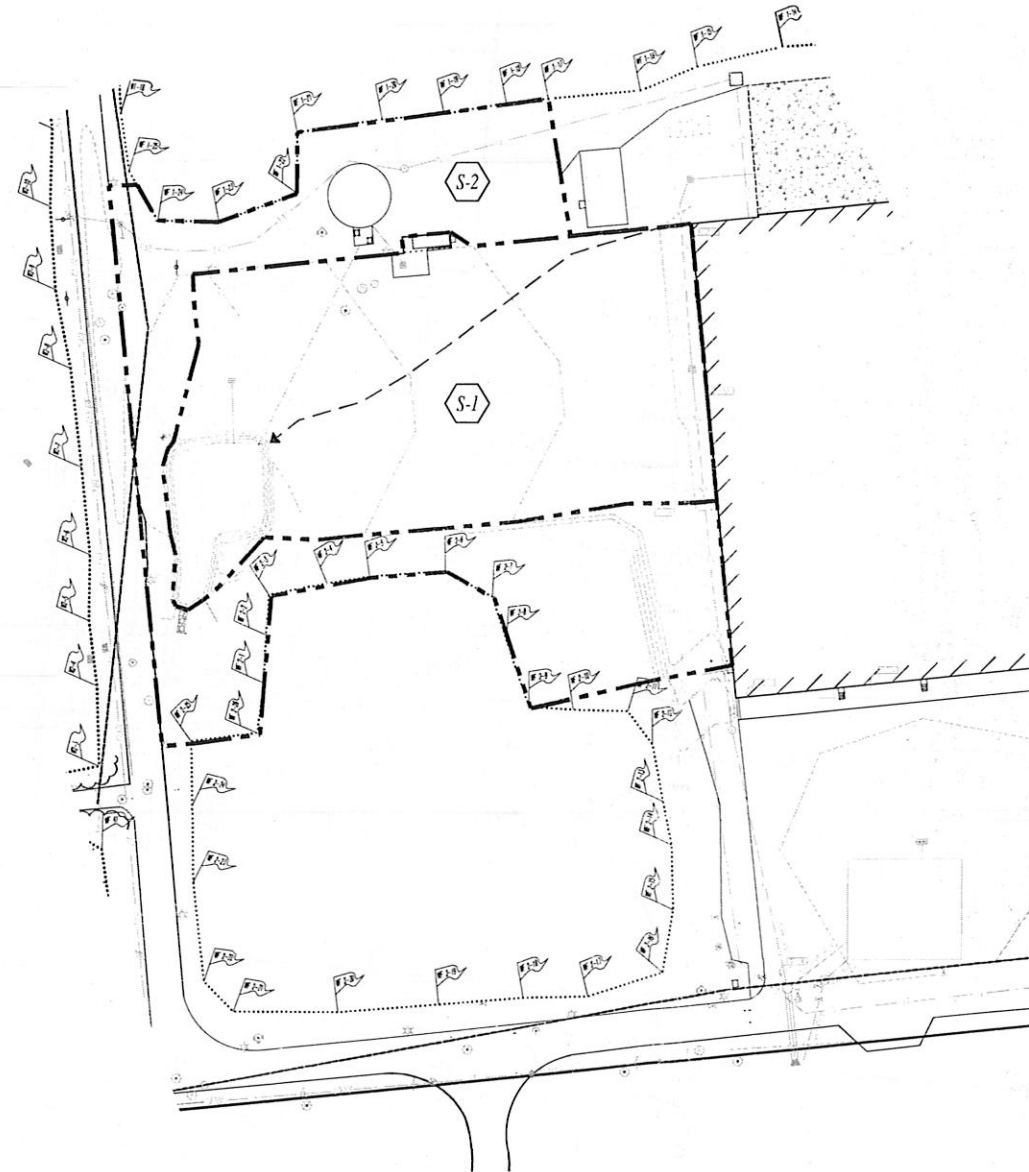
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DESIGNED BY: J.K.W.  
CHECKED BY: C.A.F.

**SITE PLAN**  
— 100 DUCHAINE BOULEVARD —  
ASSESSORS MAP 134 LOT 5  
NEW BEDFORD, MASSACHUSETTS  
PREPARED FOR:  
PARALLEL PRODUCTS OF NEW ENGLAND  
401 INDUSTRY ROAD  
LOUISVILLE, KY 40208

AUGUST 10, 2017  
SCALE: 1"=50'  
JOB NO. 15-500.2  
LATEST REVISION:  
UTILITIES & GRADING  
SHEET 5 OF 9

PLANNING  
AUG 11 2017  
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**SITE PLAN**  
— 100 DUCHAINE BOULEVARD —  
ASSESSORS MAP 134 LOT 5  
NEW BEDFORD, MASSACHUSETTS  
PREPARED FOR: PARALLEL PRODUCTS OF NEW ENGLAND  
401 INDUSTRY ROAD  
LOUISVILLE, KY 40208

AUGUST 10, 2017  
SCALE: 1"=50'  
JOB NO. 15-500.2  
LATEST REVISION:  
PRE-SUBCATCHMENT  
SHEET 5a OF 9

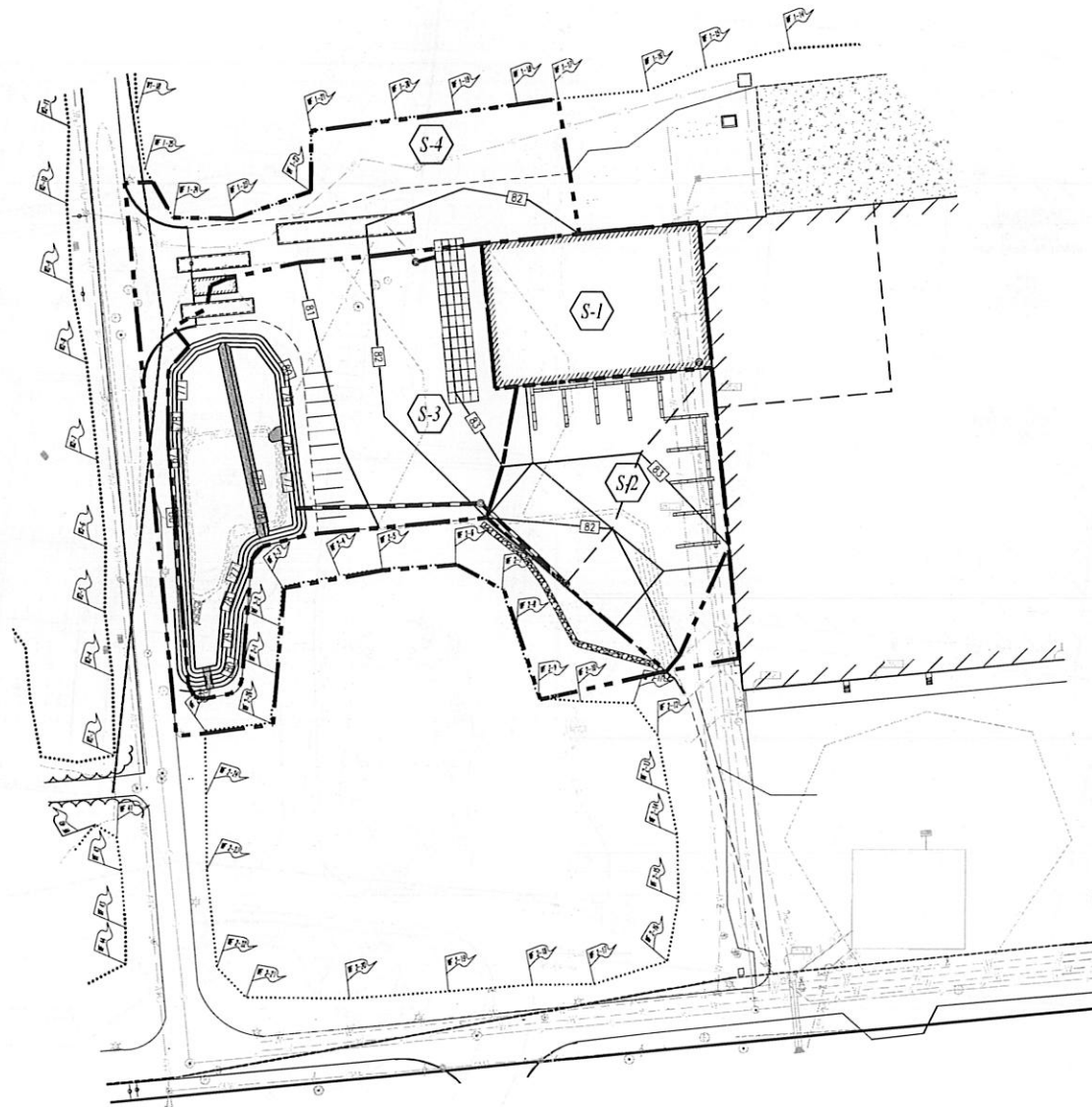
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0' 50' 100' 150'  
1" = 50'

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CHECKED BY: C.A.F.

SITE PLAN

100 DUCHAINE BOULEVARD  
ASSESSORS MAP 134 LOT 5  
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:  
PARALLEL PRODUCTS OF NEW ENGLAND  
401 INDUSTRY ROAD  
LOUISVILLE, KY 40228

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DESIGNED BY:	JKM
CHECKED BY:	CAF

# SITE PLAN

**SITE PLAN**  
— 100 DUCHAINE BOULEVARD —  
ASSESSORS MAP 134 LOT 5  
NEW BEDFORD, MASSACHUSETTS

PREPARED BY: **PARALLEL PRODUCTS OF NEW ENGLAND**  
FOR: **401 INDUSTRY ROAD**  
**LOUISVILLE, KY 40208**

AUGUST 10, 2017

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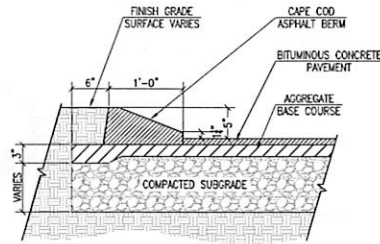
LATEST REVISION:

## LIGHTING

SHEET 6 OF 9

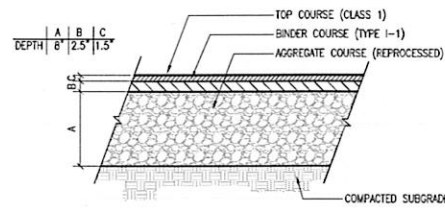
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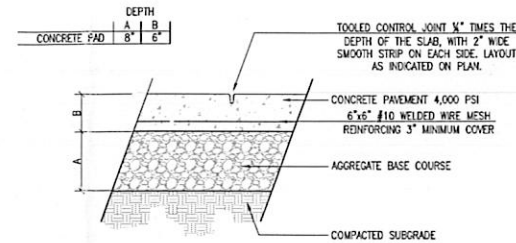
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NOT TO SCALE



BITUMINOUS CONCRETE PAVEMENT

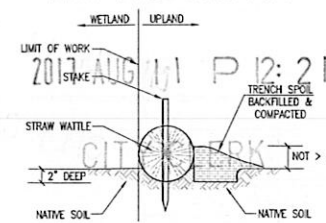
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CONCRETE PAVEMENT PAD

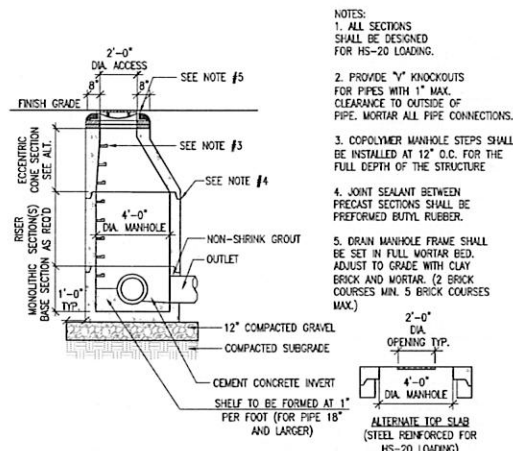
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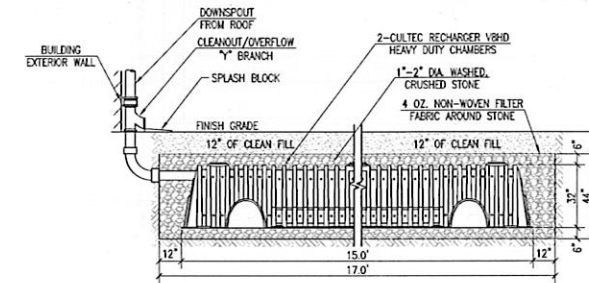
STAKED STRAW WATTLE

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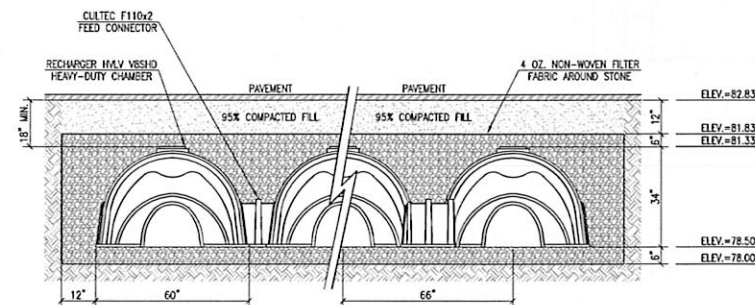
DRAIN MANHOLE

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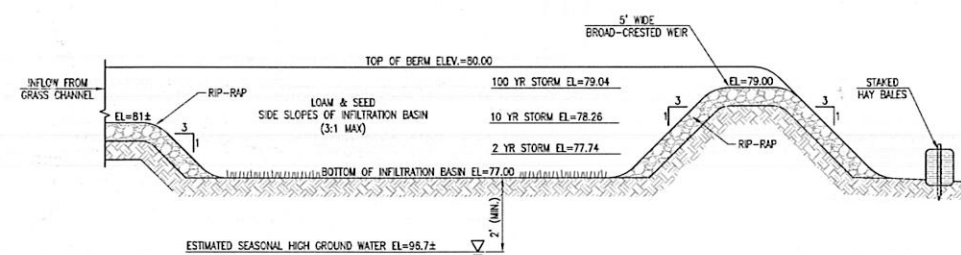
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NOT TO SCALE



CULTEC RECHARGER V8HD HEAVY DUTY CROSS SECTION

NOT TO SCALE

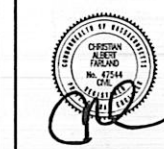


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DESIGNED BY: JKM  
CHECKED BY: CAF

SITE PLAN  
100 DUCHAINE BOULEVARD  
ASSESSORS MAP 134 LOT 5  
NEW BEDFORD, MASSACHUSETTS  
PREPARED FOR:  
PARALLEL PRODUCTS OF NEW ENGLAND  
401 INDUSTRY ROAD  
LOUISVILLE, KY 40208

AUGUST 10, 2017  
SCALE: N.T.S.  
JOB NO. 15-500.2  
LATEST REVISION:

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SHEET 7 OF 9

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## SCHEME 1.1

PROJECT NAME: PARALLEL  
PROJECT #: 6141762

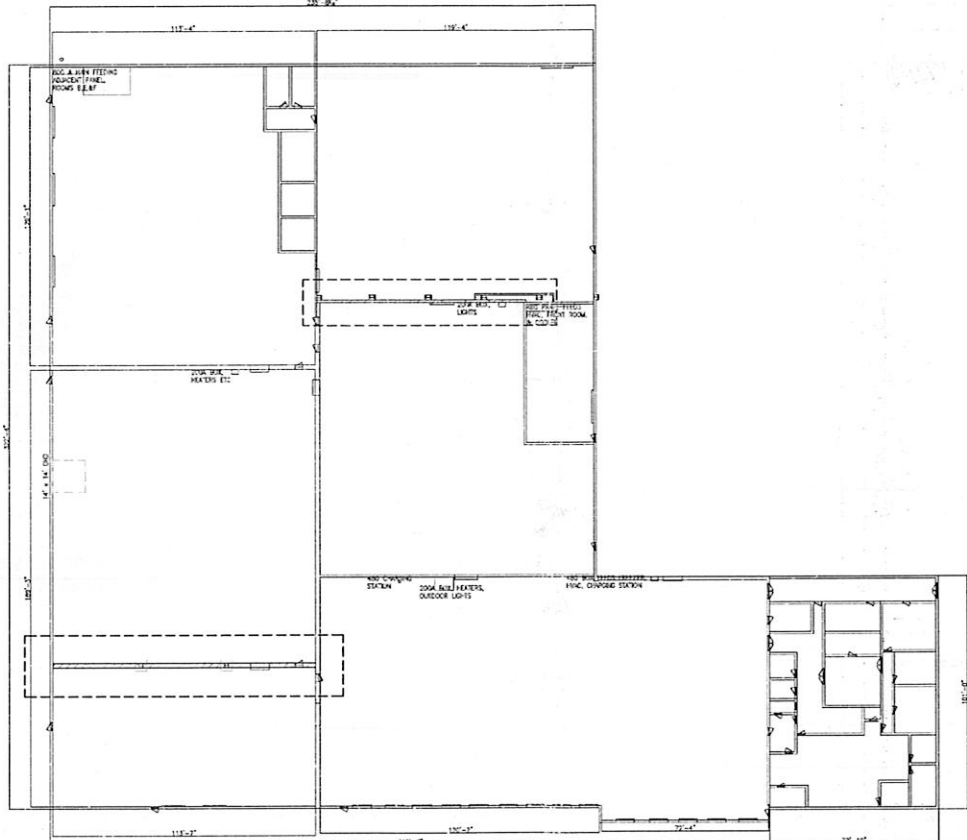
OWNER: "

LOCATION:  
100 DUCHANE BLVD.  
NEW BEDFORD, MA 02745

DATE:  
7.31.17

DRAWN BY: CHECKED BY:

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EXISTING FLOOR PLAN  
SCALE: 1/32" = 1'-0"

SCALE: 1/32" = 1'-0"

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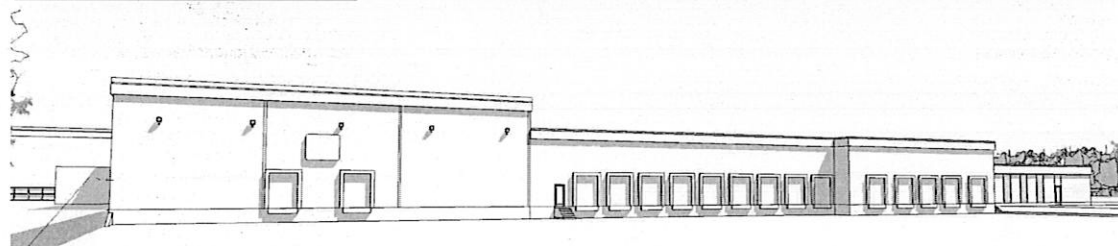
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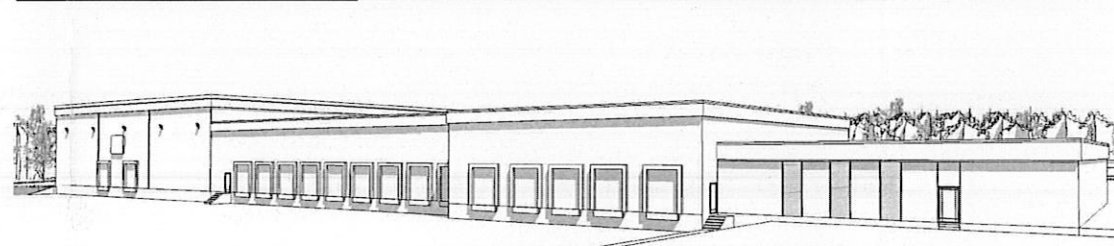
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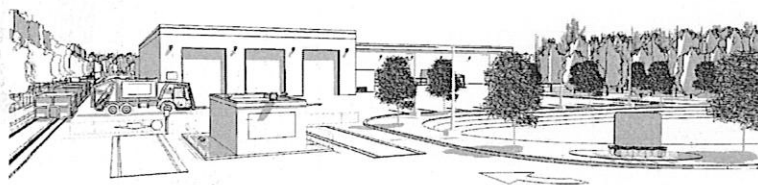
WEST RENDER 1



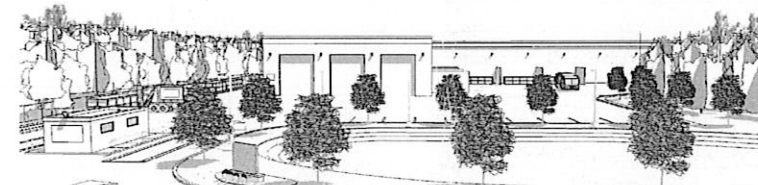
SOUTH WEST PERSPECTIVE



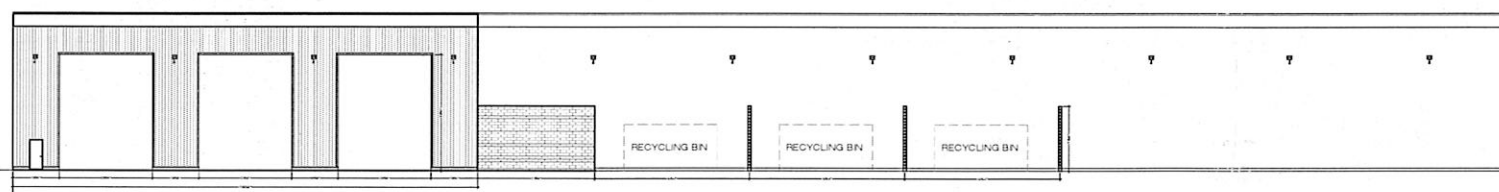
SOUTH EAST PERSPECTIVE



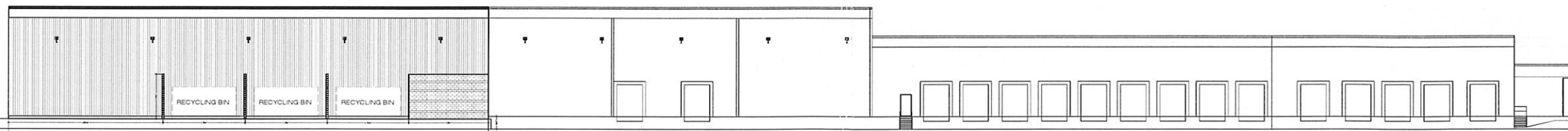
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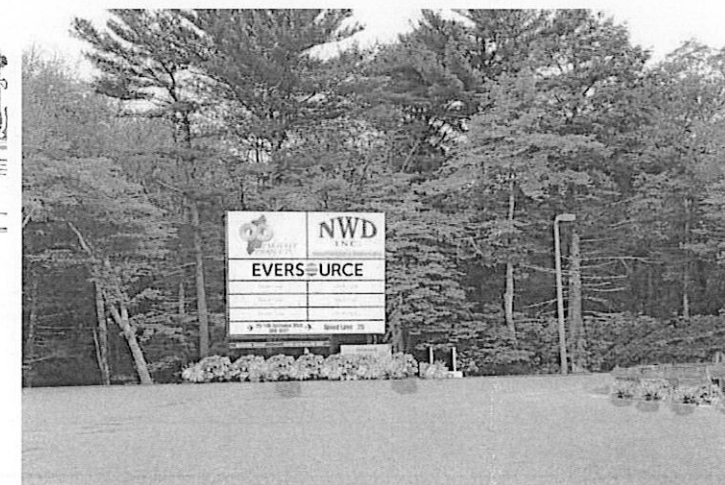
WEST PERSPECTIVE



WEST ELEVATION (PROPOSED)  
SCALE: 1/16\"/>



SOUTH ELEVATION (PROPOSED)  
SCALE: 1/16\"/>



FRONT ENTRY SIGNAGE

**SOUTH COAST ARCHITECTURE**  
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PROJECT NAME: PARALLEL  
PROJECT #: 691759

OWNER:

LOCATION:  
100 DUCHANE BLVD.  
NEW BEDFORD, MA 02740

DATE:  
6.27.17

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