



City of New Bedford

Department of Planning, Housing & Community Development

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PATRICK J. SULLIVAN

DIRECTOR

STAFF REPORT

PLANNING BOARD MEETING

September 13, 2017

Case #30-17: SPECIAL PERMIT
2112 Acushnet Avenue
Map: 119 Lot: 13

Applicant's Agent: Comprehensive Design Build Services
P.O. Box 578
West Wareham, MA 02575

Owner: c/o Lance Sylvia, Manager
CMAC Realty, LLC
83 Chershire Avenue
Acushnet, MA 02743



LOOKING SOUTH TOWARD SITE FROM
ACUSHNET AVENUE AND HARWICH STREET

Overview

Request by applicant for **Special Permit** approval for Parking Space Reduction located at 2112 Acushnet Avenue (Map 119, Lot 13) on a .501 acre site in the Mixed Use Business (MUB) zoning district under Chapter 9 Comprehensive Zoning, §3100. Parking and Loading., 3100. Applicability., 3120. Special Permit., 3130. Table of Parking and Loading Requirements – Appendix C., and §5300. Special Permit., §5310-5330 and 5360-5390.

The developer proposes to convert the upper-level floor area to two (2) residential dwelling units in an existing building. This non-conforming use and structure was approved by Special Permit from the Zoning Board of Appeals on December 15, 2016, and then amended July 20, 2017, under Case #4259 permitting the conversion from commercial office space to residential dwelling units.

To accommodate this mixed-use proposal, the Building Commissioner finds **56** on-site parking spaces are required; **33** parking spaces are shown on the site plan. The applicant seeks relief for **23** parking spaces.

Existing Conditions

This project site is located at the southeast corner of Acushnet Avenue and Harwich Streets in the city's north end. The topography of the land slopes west to east from a high point at Acushnet Avenue.

Gateway pillars indicate the ingress and egress at Acushnet Avenue; a second access point is from Harwich Street. A 30+/- foot wide easement is shown on plans and viewed onsite just outside the limits of the parcel following the east and south perimeter lot lines. Additional site access is available via two (2) curb cuts at the right-of-way and provides a means for additional interior traffic circulation. It is presumed from deed research that a sewer easement from Harwich Street serves the vacant structure located to the rear of 2112 Acushnet Avenue [shown as Lot A on the Conceptual Site Plan for New Bedford, MA Acushnet Avenue dated 10/07/16, as prepared by Hunt Real Estate]. Site visit by staff also notes an area of pavement disturbance at the north lot line near Harwich Street.

Approximately 98% of the area is comprised of impervious surface marked by building structure and paved surface.

Existing car stops are in place on site, however several require realignment. Realigning car stops is recommended for safety reasons.

The Acushnet Avenue concrete sidewalk serving the public right-of-way has evidence of cracked pavement and subsequent weed overgrowth. Subsidence is evident at the driveway access apron at the Acushnet Avenue frontage.

An existing ground sign advertising the Laundromat is located near the northwest corner of the lot; staff notes the billiard business occupies space within the ground sign for the adjacent CVS pharmacy business.



GATEWAY ENTRANCE FROM ACUSHNET AVENUE



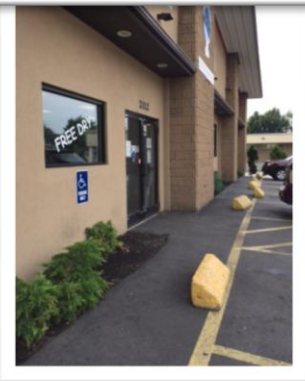
SOUTH LOT LINE EASEMENT



PAVEMENT DISTURBANCE



ACCESS FROM HARWICH STREET



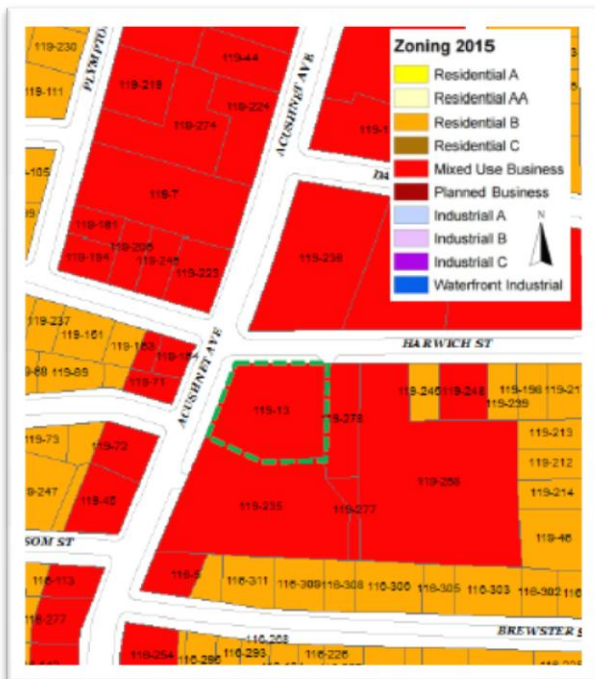
LOOKING TOWARD WEST ELEVATION AT REAR OF STRUTURE

The surrounding context along the Acushnet Avenue arterial road is comprised of commercial uses. Well-maintained single and multi-family dwelling units front Harwich Street.

Neighboring business entities include: CVS pharmacy, Santander Bank, New Bedford Credit Union, Dunkin' Donuts, KFC fast food restaurant, and Hollywood Tanning Salon.

Proposed Conditions

This project before the Planning Board is for consideration of a Special Permit for parking reduction and not subject to the §5420. Applicability of regulations under §5400. Site Plan Review.



The intent of this project is to provide parking for a Mixed Use Business (MUB) zoned site with two residential dwelling units through the adaptive reuse of vacant general office space.

Demand and Operations

The applicant projects the mix of business uses will serve 30 customers per day, with five (5) employees anticipated to satisfy the business needs. The applicant states in the Special Permit Application hours of operation to be 8:00 a.m. to 8:00 p.m. seven (7) days per week. Weekly delivery hours are noted on the application as from 8-5.

Review Comments

As required under city ordinance, the case submittal documents were distributed to City Clerk, City Solicitor, Health Department, Inspectional Services, Engineering, Public Infrastructure, Conservation Commission, Fire Department and School Department.

No comments from city offices were received in this matter at the time of the compilation of this report.

PLANS SUBMITTED FOR CONSIDERATION:

The submittal is shown as Conceptual Site Plan for New Bedford, MA Acushnet Avenue dated 10/07/16, as prepared by Hunt Real Estate, 5100 W. Kennedy Blvd, #100, Tampa, FL 33609, consisting of one (1) sheet;

- It should be noted that the project scope is limited to Lot C, as shown on the Conceptual Site Plan prepared by Hunt Real Estate.

And

The Proposed Renovation for CMAC Realty, LLC, 2112 Acushnet Avenue, New Bedford, MA 02745, DATED 04.07.2016 prepared by Comprehensive Design Service, P.O. Box 578, West Wareham, MA 02576, consisting of five (5) sheets;

- Cover Sheet – A 0.1
- Existing Conditions Lower Level Plan – EX 1.1
- Existing Conditions Main Level Plan – EX 1.2
- Existing Conditions Upper Level Plan - EX 1.3 [MISSING FROM PLAN SET]
- Proposed Renovation Upper Level Plan –A 0.1 [DUPLICATED]

And



Site Layout Plans for Mixed Use Retail at 2112 Acushnet Avenue, New Bedford, MA, dated March 29, 2012, prepared by SITEC, Inc., 449 Faunce Corner Road, Dartmouth, MA 02747, consisting of one (1) sheet.

And

Special Permit Reduction of Parking for 2112 Acushnet Avenue (Plot 119, Lot 13) New Bedford, MA, for CMAC Realty, LLC, 2112 Acushnet Avenue, New Bedford, MA 02746, dated 08.08.2017, prepared by Comprehensive Design Build Services, P.O. Box 578, West Wareham, MA 02576, consisting of two (2) sheets;

- Cover Sheet – C 1.0 [Plan is labeled Proposed Parking Lot]
- Existing Conditions Plan – C 1.1

- Staff recommends adding a Note to read: Any minor modifications (as determined by the City Planner and City Engineer) to the information shown on the approved site plans shall be submitted to the City Planner and City Engineer as a Minor Plan Revision for approval prior to the work being performed.

Waivers

There are no waiver petitions submitted by the applicant for consideration by the Planning Board.

Development Impact Statement (DIS)

The applicant has provided a DIS for the proposed development and may be reviewed at Attachment 3.

Traffic Impact & Access Study

The applicant has not provided a traffic analysis for the proposed development.

Ground Sign Review

A Ground Sign exists on site for Wash World.

Special Permit for Parking Reduction under §3100. Parking and Loading.

The City of New Bedford ordinance states the following under §3120 Special Permit.

Any parking or loading requirement set forth herein may be reduced upon the issuance of a special permit by the Planning Board if the Board finds that the reduction is not inconsistent with public health and safety, or that the reduction promotes a public benefit. Such cases might include:

3123. Peculiarities of the use which make usual measures of demand invalid.

Peculiarities of the preexisting site conditions make usual measures of the demand invalid.

As per **Appendix C-Table of Parking & Loading Regulations** of the zoning ordinance, the applicant is required to provide 56 parking spaces for the intended uses. Shown on the plan submittal are 33 nine by twenty foot parking spaces, which include two (2) ADA compliant spaces. The applicant seeks relief for the balance of **23** parking spaces required under the ordinance.

Parking Calculations

20 spaces for tenants that occupy the 3982+/- SF floor area [absorbed by Shooter's billiard hall and Clip Joint barber/beauty shop] at the east elevation with ingress/egress via the rear of the building on a sloped lot.

32 spaces for the 6262+/- SF street level floor area [currently occupied by Wash World Laundromat, with vacancy left by The Farmer's Kitchen].

4 spaces for the two residential units intended for the 3232 +/- SF top floor.

Appendix C-Table of Parking & Loading Regulations

USE	PARKING REQUIREMENTS	LOADING REQUIREMENTS
<p>Two-family dwelling</p> <p>Places of assembly, including theaters, veterans, fraternal, social and recreational clubs and organizations not operated for a profit; facilities primarily for the education and instruction of persons sixteen (16) yrs. of age and older; taxi, bus & railroad passenger terminals; auditoriums, theaters, bowling alleys and dance halls; sports facilities; places of worship; funeral homes</p> <p>Businesses engaged in retail sale of goods and services.</p>	<p>Two (2) spaces per dwelling unit</p> <p>One (1) spaces for each 200 sq. ft. of gross floor area.</p> <p>One (1) space per each 200 sq. ft. of gross floor area, but not less than two (2) spaces for each business use intended to occupy the premises.</p>	<p>One (1) loading space for each multifamily dwelling containing more than ten (10) dwelling units, or more than twenty (20) housekeeping units.</p> <p>One (1) loading space for each building containing 10,000 sq. ft. or more of gross floor area.</p> <p>One loading space for each building containing more than 5,000 and less than 10,000 sq. ft. of gross floor area.</p>

When considering an application for Special Permit, the Board takes into account the characteristics of the site and of the proposal in relation to that site, in addition to any specific factors that may be set forth under Section 5300 of the zoning ordinance. As to those thresholds, the staff offers the following considerations:

- Social, economic, or community needs which are served by the proposal.**

The vision of the City includes the creation of dynamic neighborhoods. This proposal allows for adaptive reuse of an existing property and provides additional residential stock to the neighborhood.
- Traffic flow and safety, including parking and loading.**

Although the parking to be provided on site is not consistent with existing zoning standards, many of the properties in the city either have inadequate parking or on-street parking that appears to be available. The applicant has informed staff that a shared parking arrangement is being negotiated with adjacent property owners and evidence of such an arrangement will be provided for the Planning Board's consideration at the time of the public hearing. As noted previously, no traffic impact and access study has been provided.
- Adequacy of utilities and other public services.**

Whereas the applicant is replacing utility and public services within an existing structure within a neighborhood, there is no anticipated issue with this adequacy.
- Neighborhood character and social structures.**

Housing is the most prevalent land use in New Bedford, and its cost and availability are critical components that define much of the city's character. Within this neighborhood, a recent windshield survey indicated there were not too many vacant apartments or houses being advertised for sale/lease thus suggesting that the renovation of existing aging housing stock may be appropriate in this area. The proposed special permit for parking reduction would, by extension, allow for adaptive reuse of commercial office space in a MUB zoning district.
- Impacts on the natural environment**

The applicant is renovating an existing structure and this application for parking reduction is for the utilization of urban space currently used for parking; there will be no anticipated negative impacts on the natural environment as a result of granting the special permit.
- Potential fiscal impact, including impact on City services, tax base, and employment**

Having this property renovated and the site improved will provide a positive fiscal impact on the city and the broader neighborhood by improving property values.

- **Master Plan Goal**

The proposal for Special Permit for parking reduction is consistent with the master plan's goal to provide new residential opportunities and communicates a positive message for business development.

Staff Recommendation

Having reviewed the case deliverables, staff recommends approval by the Planning Board of the Special permit, to include the following conditions:

- ☐ That the applicant corrects the typo for side yard setbacks in Zoning Matrix on revised plans.
- ☐ That the car stops be reset for safety reasons.
- ☐ To mitigate the urban heat island effect, existing landscape plantings should be properly maintained and cared for.
- ☐ Areas of pavement on the site where subsidence has occurred should be repaired for safety reasons.

Attachments:

1. Zoning Board of Appeals Decision for Case #4259
2. Special Permit Application
3. Development Impact Statement
4. Construction Control Document
5. Bristol County (S.D) Registry of Deeds Book 10323, Page 289
6. Photos
7. Plan Set



City of New Bedford

ZONING BOARD OF APPEALS

133 William Street, New Bedford

Massachusetts 02740

Telephone: (508) 979.1488

Facsimile: (508) 979.1576

JONATHAN F. MITCHELL

MAYOR

*AMENDED NOTICE OF DECISION

Case Number:		#4259		
Request Type:		Special Permit		
Address:		2112 Acushnet Avenue		
Zoning:		Mixed Use Business Zoned District		
Recorded Owner:		CMAC Realty, LLC		
Owner's Address:		83 Chershire Avenue Acushnet, MA 02743		
Applicant:		CMAC Realty, LLC c/o Lance Sylvia		
Applicant's Address:		83 Chershire Avenue Acushnet, MA 02743		
Application Submittal Date		Public Hearing Date		Decision Date
November 16 th , 2016		December 15 th , 2016		December 15 th , 2016
Assessor's Plot Number	Lot Number(s)	Book Number	Page Number	Certificate Number
119	13	10323	289	

*At a meeting held July 20th, 2017 the Zoning Board of Appeals received and placed on file revised plans stamped received by the City Clerk's Office July 18, 2017. The revised plans eliminate the third studio apartment on the second floor. The zoning board of appeals concurred that the amended plans are consistent with the original ZBA decision and do not create a zoning violation; with a condition that the petitioner amend the recorded decision with the registry of deeds. (*Bold lettering with an asterisk (*) mark the amended sections.)

A Special Permit was requested under provisions of Chapter 9 comprehensive zoning sections 2400 (nonconforming use and structures), 2410 (applicability), 2430-2432 (nonconforming structures other than single and two family structure), and 5300-5330 & 5360-5390 (special permit); relative to property at 2112 Acushnet Avenue, assessor's map 119 lot 13 in a mixed use business zoned district [MUB] to allow the petitioner to convert the existing ~~three (3)~~ ***two (2)** units on the upper level into ~~three (3)~~ ***two (2)** residential living units as plans filed.

Action: GRANTED, WITH CONDITIONS, for the reasons set forth in the attached decision with the Conditions as described in the attached decision. (See Attachment)

A copy of this AMENDED Decision was filed with the City Clerk of the City of New Bedford on August 3rd, 2017. The appeal period for this decision has already passed.

08/03/17
Date

Acting Clerk, Zoning Board of Appeals

AUG 03 2017

Page 1 of 7

Date Issued

A TRUE COPY ATTEST

CITY CLERK-NEW BEDFORD, MA

Stephanie Macomber
Asst City Clerk

This is to certify that notice of the grant of this appeal was filed with City Clerk on DEC 23, 2016. Amended AUG 3, 2017. I warrant from the decision of the ZBA has been filed within the 21 day appeal period.

Stephanie Macomber
Asst

ATTACHMENT 1

Case 30-17

08/11/2017

PLANNING
AUG 11 2017
DEPARTMENT

1.) APPLICATION SUMMARY

The petitioner proposes to convert the existing ~~three (3)~~ ***two (2)** units on the upper level into ~~three (3)~~ ***two (2)** residential living units as plans filed, which requires a Special Permit under provisions of Chapter 9 comprehensive zoning sections 2400 (nonconforming use and structures), 2410 (applicability), 2430-2432 (nonconforming structures other than single and two family structure), and 5300-5330 & 5360-5390 (special permit); relative to property at 2112 Acushnet Avenue, assessor's map 119 lot 13 in a mixed use business zoned district [MUB].

2.) MATERIALS REVIEWED BY THE BOARD

Plans Considered to be Part of the Application

- Site Plan, drawn by SITEC, dated March 29th, 2012, stamped received by City Clerk's Office November 16th, 2016.
- Proposed Renovations Plan Set, prepared by Comprehensive Design-Build Services, stamped received by City Clerk's Office November 16th, 2016, including:
 - A 0.1 Cover Sheet
 - EX 1.1 Existing Condition Lower Level Plan
 - EX 1.2 Existing Condition Main Level Plan
 - EX 1.3 Existing Condition Upper Level Plan
 - A 1.1 Proposed Renovations Upper Level Plan
- *** Proposed Renovations Plan- Sheet A 1.1 Proposed Second Floor Renovations Plan**, prepared by Comprehensive Design-Build Services, stamped received by City Clerk's Office July 18th, 2017.

Other Documents & Supporting Material

- Completed Petition for a Special Permit, stamped received by City Clerk's Office November 16th, 2016
- Letter to ZBA from the Commissioner of Buildings & Inspectional Services, Danny D. Romanowicz, dated November 23rd, 2016.
- Staff Comments to ZBA from Department of Planning, Housing and Community Development, dated December 15th, 2016.
- ***Letter to ZBA from Armando M. Pereira, Comprehensive Design/Build Services, date stamped received by City Clerk's Office July 18th, 2017.**

3.) DISCUSSION

On the evening of the December 15th, 2016 meeting, board members: Leo Schick, Robert Schilling, Sherry McTigue, Horacio Tavares, and Allen Decker were present for the public hearing. City of New Bedford staff: Danny D. Romanowicz (Commissioner of Buildings & Inspectional Services) and Jennifer Gonet (Assistant Project Manager, Planning Division) were present during proceedings for the subject case review.

Mr. Decker made a motion, seconded by Ms. McTigue to receive and place on file the communication from the Commissioner of Buildings & Inspectional Services, Danny D. Romanowicz, dated November

23rd, 2016; communication from the Department of Planning, Housing & Community Development, dated December 15th, 2016; the appeal packet as submitted; the plan as submitted; and, that the owners of the lots as indicated are the ones deemed by the Board to be affected; and that the action of the Clerk in giving notice of the hearing as stated be and is hereby ratified. With all in favor, the motion carried.

Acting Chair Schick then declared the hearing open.

Representative of the petitioner: Mr. Armando Pereira (227 Union Street New Bedford, MA) presented on behalf of Mr. Lance Sylvia, manager of CMAC Realty. Mr. Pereira told the board the building was erected in the late 1970's, had seven units and was previously the AAMCO Transmission building. It is located at the corner of Acushnet Avenue and Harwich Street. He described in the back lower level there are two units consisting of a billiards and barber shop while the upper main level has a laundromat and restaurant kitchen; the third floor has three residential units.

Mr. Pereira explained that the previous owner had converted the third floor into three units however the building department did not have the changes on record. Mr. Pereira shared that in 2007 he previously worked for a company that was a tenant of the building and at that time had submitted a change of use/tenant on one of the spaces. The layout for that unit is the only thing on record for the upper level with the building department; however he said that when he worked in that space there were three units up there.

He then described the petition as being a request to legalize the upper level. He described the third floor interior showing on the plans where there previously was office space that is now residential and the other residential unit in the rear that had been there for a longer timeframe. He said his client is trying to legalize the space. It is adding to the legal housing stock, he said. He explained in order to make it legal they have to install a compartmentalized system. He showed on the floor plan where two fire rated doors are to be installed, egress access points, and stated the petitioner is installing a sprinkler system. He also informed the board this petition requires a Special Permit for parking reduction from the Planning Board.

Acting Chair Schick asked about plans for green space. Mr. Pereira explained that unfortunately even when it was AAMCO Transmission there it was "sea of asphalt". Mr. Pereira further commented that looking at adding green space would take away from parking, which is already restricted. The project requires relief for 10 parking spots, he informed the board. In regards to green space Mr. Pereira detailed that currently there is a planter along the front of the building on the Acushnet Avenue side and there are plantings and trees on the Harwich Street side of the site. He expressed, his concern is that if they cut up the asphalt to create more green space it will reduce parking and create a hardship.

Mr. Decker stated one of the concerns is that it is now a commercial use and now you're proposing to introduce a legal residential use to the property and there is a requirement.

Mr. Pereira again pointed out that the Harwich side entrance is near the green space on the lot and that they would be willing to work on the issue if it wasn't a further reduction in parking.

Acting Chair Schick commented that the area surrounding the lot has lots of trees, and suggested maybe some trees would dress it up a bit as a residential and wouldn't take many parking spaces.

Mr. Pereira shared information about an unrelated plan for a building located to the rear of the site that would address some of those concerns. He further detailed concerns about the site in adding green space. He informed the board that even the corner near the driveway entrance is used for a parking space. He expressed concern that reduction in parking would result in parking on street.

Ms. McTigue confirmed that the petition required Site Plan review for parking and perhaps they could suggest the Planning Board look at the green space. She questioned if the Zoning Board could make a suggestion as to where green space could go citing to the petitioner's agent that "it's not just your [the subject] building it's the whole area there."

Mr. Pereira commented that it is difficult with the three commercial buildings so close to one another in that area. He said it is an issue in a metropolitan area with business that pull people in and out. He offered that the petitioner could add green space by planting shrubbery yet, indicated the parking is currently right on the property line so to pull it back further into the lot would create more issues. Again he reiterated the work was completed by the previous owner and that the petitioner is trying to legitimize what is existing.

Ms. McTigue asked how many units had been there before. Mr. Perreira explained the third floor always had the studio and the two other units. Ms. McTigue asked if the patio seating area shown in a picture was for the business. Mr. Perreira stated it was more for the residents. Ms. McTigue commented that it is unusual for a residential building. Mr. Perreira explained it is split face block, metal roof, and aluminum siding. Further he said that it's happening all over the city and state now that people are willing to put work into a building in foreclosure and these old properties are setup but later they find out the upper levels aren't legal.

Board members briefly discussed the building and how the building was built into the slope of the land. Ms. McTigue noted that the project is required to go for Site Plan Review and Special Permit by the Planning Board so she is sure the green space will be addressed there.

Ms. Gonet asked Commissioner Romanowicz to confirm the proposal required Site Plan Review. Commissioner Romanowicz confirmed the proposal required Site Plan Review.

Following the petitioner's testimony, Acting Chair Schick invited to the podium anyone wishing to speak in favor of the application. Mr. Paul Martins (2112 Acushnet Avenue New Bedford, MA) wished to be recorded in favor of the proposal. No one else in attendance spoke in support of the petition or wished to be recorded in favor of the petition.

Acting Chair Schick invited to the podium anyone wishing to speak in opposition of the petition. No one in attendance spoke in opposition of the petitions or wished to be recorded in opposition of the petition.

Acting Chair Schick closed the hearing and opened the floor for discussion amongst board members. Board members discussed that future Site Plan Review [through the Planning Board] would address the green space. Ms. McTigue indicated that the Zoning Board is considering the nonconformity. Further she commented that considering the site and those around it the “sea of asphalt” isn’t fully their property. Board members indicated their readiness to vote.

***On the evening of the July 20th, 2017 meeting, board members: Deb Trahan, Robert Schilling, Sherry McTigue, Horacio Tavares, and Steven Brown were present, as well as, City of New Bedford staff: Danny D. Romanowicz (Commissioner of Buildings & Inspectional Services) and Jennifer Gonet (Assistant Project Manager, Planning Division).**

Ms. McTigue made a motion, seconded by Mr. Schilling to receive and place on file the package for Case #4259 relative to property at 2112 Acushnet Avenue: a letter from Armando M. Pereira, Comprehensive Design/Build Services, dated July 14th, 2017 and plans submitted. With all in favor, the motion carried.

Ms. McTigue made a motion, seconded by Mr. Schilling, in regards to Case # 4259 Special Permit, plans submitted by Comprehensive Design/Build Services c/o Armando Pereira on behalf of CMAC Realty, LLC c/o Lance Sylvia (83 Cheshire Avenue Acushnet, MA 02743) stamped received by City Clerk's Office July 18, 2017. Plans are in regards to Case # 4259 Special Permit; relative to property at 2112 Acushnet Avenue, assessors map 119 lot 13 in a mixed use business zoned district [MUB]. Revised plans eliminate the third studio apartment on the second floor. The Zoning Board of Appeals [ZBA] concurs that this set of amended plans are consistent with the original ZBA decision and do not create a zoning violation; with a condition that the petitioner amend the recorded decision with the registry of deeds. With all in favor, the motion carried.

4.) FINDINGS

The Board found that in accordance with City of New Bedford Code of Ordinances Chapter 9 Section 5320, the benefit to the City and the neighborhood outweighs the adverse effects of the proposed use, taking into account the characteristics of the site and of the proposal in relation to that site. This determination included consideration of each of the following:

- *Social, economic, or community needs which are served by the proposal;*
 - The Board found that the proposed use provides legal housing stock in the City of New Bedford.
- *Traffic flow and safety, including parking and loading;*
 - The Board found that the proposed use is neutral to these issues.
- *Adequacy of utilities and other public services;*
 - The Board has found that the petition is neutral as to these.
- *Neighborhood character and social structures;*
 - The board found the use is not inconsistent with the neighborhood's character.

- *Impacts on the natural environment;*
 - The Board found the use is not more detrimental.
- *Potential fiscal impact, including impact on City services, tax base, and employment*
 - The Board found the proposed use is neutral as to these issues.

5.) RELIEF

With respect to the relief requested by the Applicant, the Board has been presented with sufficient information at the hearing to justify the relief described below, subject to the conditions set forth in Section 6.

The Board grants the applicant's request for relief from Chapter 9 comprehensive zoning sections 2400 (nonconforming use and structures), 2410 (applicability), 2430-2432 (nonconforming structures other than single and two family structure), and 5300-5330 & 5360-5390 (special permit); relative to property at 2112 Acushnet Avenue, assessor's map 119 lot 13 in a mixed use business zoned district [MUB]. To allow the petitioner to convert the existing ~~three (3)~~ *two (2) units on the upper level into ~~three (3)~~ *two (2) residential living units as plans filed.

6.) DECISION

Based on a review of the application documents, testimony given at the public hearing and the findings described above, the Zoning Board of Appeals hereby GRANTS, WITH CONDITIONS, the requested special permit.

A motion was made by Mr. Decker and seconded by Ms. McTigue, as follows: to allow the petitioner to convert the existing ~~three (3)~~ *two (2) units on the upper level into ~~three (3)~~ *two (2) residential living units as plans filed. filed which requires a Special Permit under the provisions of Chapter 9 comprehensive zoning sections 2400 (nonconforming use and structures), 2410 (applicability), 2430-2432 (nonconforming structures other than single and two family structure), and 5300-5330 & 5360-5390 (special permit); relative to property at 2112 Acushnet Avenue, assessor's map 119 lot 13 in a mixed use business zoned district [MUB]. Having reviewed this petition in light of the City of New Bedford Code of Ordinances, Chapter 9, comprehensive zoning sections as cited, the board finds that in respect to these sections the petition is in compliance.

In addition to the foregoing sections, this petition was also been found to be in accordance with City of New Bedford Code of Ordinances, Chapter 9, sections 5300-5330 and 5360-5390, relative to the granting of special permits, because the board found that the benefit to the city and the neighborhood outweighs the adverse effects of the proposed use, taking into account the characteristics of the site and of the proposal in relation to that site.

In consideration of the following sections, the board has found that in regards to the social, economic or community needs served by this proposal that the proposed use provides legal housing stock in the City of New Bedford.

Concerning traffic flow and safety, including parking and loading, the board found the proposed use is neutral to these issues.

Third in regards to the adequacy of utilities and other public services, the board found that the petition is neutral as to these.

Fourth, the neighborhood's character and social structures, the board found the use the use is not inconsistent with the neighborhood's character.

Fifth, concerning impacts on the natural environment, the board has found the use is not more detrimental.

Lastly, as to potential fiscal impact, including impact on city services, tax base and employment, the board has found the proposed use is neutral as to these issues.


In light of the review of the specifics noted within the motion, the board finding that the material presented is complete, and after its careful consideration of the petitioner's request, the Zoning Board found the petition satisfactorily meets the basis of the requested relief.

Therefore this motion was made and included the following conditions:

- That the project be set forth according to plans submitted with the application;
- That the Notice of Decision be recorded at the Registry of Deeds;
- That the petitioner amend the recorded decision with the Registry of Deeds and
- A building permit be issued by the Department of Inspectional Services and acted upon within one year from the date of the decision.

On a motion by A. Decker, seconded by S. McTigue to grant the requested Special Permit, the vote carried 5-0 with members S. McTigue, H. Tavares, R. Schilling, A. Decker, and L. Schick voting in the affirmative, no member voting in the negative. (Tally 5-0)

Amended Decision Filed with the City Clerk on:



Sherry McTigue, Acting Clerk of the Zoning Board of Appeals

08/03/17

Date



CITY OF NEW BEDFORD
JONATHAN F. MITCHELL, MAYOR

PLANNING BOARD

SUBMIT TO:
Planning Department
133 William Street
Room 303
New Bedford, MA 02740

SPECIAL PERMIT APPLICATION

The undersigned, being the Applicant, seeks Special Permit Approval for property depicted on a plan entitled: Special Permit Reduction of Parking by: CDBS dated: 8-8-2017

1. Application Information

Street Address: 2112 Acushnet Ave

Assessor's Map(s): 119 Lot(s) 13

Registry of Deeds Book: 10323 Page: 289

Zoning District: MUB

Applicant's Name (printed): Lance Sylvia, Manger

Mailing Address: 83 Chershire Ave Acushnet MA 02743
(Street) (City) (State) (Zip)

Contact Information: 508-441-2391 bacollect@comcast.net
Telephone Number Email Address

Applicant's Relationship to Property: ☐ Owner ☐ Contract Vendee ☒ Other LLC Manager

List all submitted materials (include document titles & volume numbers where applicable) below:

Application, Rejection Packet, ZBA Decision, Plan (Cover Sheet and Site Plan), Certified Abbutters List, Deed, Development Impact Statement, and Photos

By signing below, I/we acknowledge that all information presented herein is true to the best of my/our knowledge. I/we further understand that any false information intentionally provided or omitted is grounds for the revocation of the approval(s). I/we also give Planning Department staff and Planning Board Members the right to access the premises (both interior and exterior) at reasonable times and upon reasonable notice for the purpose of taking photographs and conducting other visual inspections.

8/11/17
Date

[Signature]
Signature of Applicant

City Hall • 133 William Street • Room 303 • New Bedford, MA 02740 • www.newbedford-ma.gov
PH: (508)979-1488 • FX: (508)979-1576

2. Zoning Classifications

Present Use of Premises: Mixed Use; Hair Stylist, Billiards, Laundry, Restaurant, Residential

Proposed Use of Premises: Mixed Use; Hair Stylist, Billiards, Laundry, Restaurant, Residential

Zoning Relief Previously Granted (Variances, Special Permits, with Dates Granted):

ZBA Case # 4259 granted residential units on the second floor of building on Dec. 15, 2016 and amended July 20, 2017.

3. Briefly Describe the Proposed Project and Specify all Requested Special Permits:

Legalize 2 (two) undocumented/Business units to residential units.

CITY CLERK'S OFFICE
NEW BEDFORD, MA
2017 AUG 11 A 9:58
CITY CLERK

4. Please complete the following:

	<u>Existing</u>	<u>Allowed/Required</u>	<u>Proposed</u>
Lot Area (sq ft)	21,807	10,000	21,807
Lot Width (ft)	142.01'	0	142.01'
Number of Dwelling Units	2	1 per 5,000	2
Total Gross Floor Area (sq ft)	13,476	0	13,476
Residential Gross Floor Area (sq ft)	3,232	0	3,232
Non-Residential Gross Floor Area (sq ft)	10,244	0	10,244
Building Height (ft)	20'/30'	100	20'/30'
Front Setback (ft)	56'/95'	0	56'/95'
Side Setback (ft)	21'	8'	21'
Side Setback (ft)	20'	8'	20'
Rear Setback (ft)	26'	10'	26
Lot Coverage by Buildings (% of Lot Area)	29	0	29
Permeable Open Space (% of Lot Area)	0	0	0
Green Space (% of Lot Area)	0	0	0
Off-Street Parking Spaces	33	56 Required	33
Long-Term Bicycle Parking Spaces	0	0	0
Short-Term Bicycle Parking Spaces	0	0	0
Loading Bays	0	1	0

5. Please complete the following:

	Existing	Proposed
a) Number of customers per day:	<u>30</u>	<u>30</u>
b) Number of employees:	<u>5</u>	<u>5</u>
c) Hours of operation:	<u>8-8</u>	<u>8-8</u>
d) Days of operation:	<u>7</u>	<u>7</u>
e) Hours of deliveries:	<u>8-5</u>	<u>8-5</u>
f) Frequency of deliveries:	<input type="checkbox"/> Daily <input checked="" type="checkbox"/> Weekly <input type="checkbox"/> Monthly <input type="checkbox"/> Other: <u>2017 AUG 11 A 9:00</u>	

6. OWNERSHIP VERIFICATION

This section is to be completed & signed by the property owner:

I hereby authorize the following Applicant: CMAC Realty LLC

at the following address: 2112 Acushnet Ave, New Bedford, MA 02745

to apply for: Special Permit/Reduction of Parking

on premises located at: 2112 Acushnet Ave, New Bedford, MA 02745

in current ownership since: CMAC Realty LLC

whose address is: 83 Chershire Ave., Acushnet, MA 02743

for which the record title stands in the name of: CMAC Realty LLC

whose address is: 83 Chershire Ave., Acushnet, MA 02743

by a deed duly recorded in the:

Registry of Deeds of County: Bristol Book: 13,476 Page: 289

OR Registry District of the Land Court, Certificate No.: _____ Book: _____ Page: _____

I/we acknowledge that all information presented herein is true to the best of my/our knowledge. I/we further understand that any false information intentionally provided or omitted is grounds for the revocation of the approval(s). I/we also give Planning Department staff and Planning Board Members the right to access the premises (both interior and exterior) at reasonable times and upon reasonable notice for the purpose of taking photographs and conducting other visual inspections.

8/11/17
Date

[Signature]
Signature of Land Owner (If authorized Trustee, Officer or Agent, so identify)

Development Impact Statement

The existing site sits on the corner of Acushnet Ave. and Harwich St., with retail on the south side and an abandoned building in the rear and is completely covered with a bituminous concrete finish with parking. The existing building fits into the neighborhood because of the commercial setting.

By converting the upper level of undocumented/business units to residential units, there creates traffic relief to the neighborhood because there is a reduction of visitors to the building. Residents leave and return only a few times a day whereas business traffic is constant during the day.

There is no proposed building footprint increase. By converting the upper level to residential units, all work will occur in the interior of the structure. There is existing parking and no excavation is required for any exterior work. No new utilities are required; the existing utilities provide adequate service to the structure for the proposed use. This proposed alteration does not impact the city; the city will not need to provide any additional services that it does not already provide. The proposed alteration actually provides traffic relief to the neighborhood. It also does not substantially change nor does it create a more detrimental impact than the existing nonconforming structure to the neighborhood because all the work is occurring on the interior of the building with that blends in with the character of existing buildings in the neighborhood.

By converting the upper level of undocumented/business units to a residential unit, there is traffic relief to the neighborhood and it creates housing and economic stimulus.

PLANNING
AUG 11 2017
DEPARTMENT

Case 30-17
08/11/2017



Initial Construction Control Document

To be submitted with the building permit application by a

Registered Design Professional

for work per the 8th edition of the

Massachusetts State Building Code, 780 CMR, Section 107

Project Title:

Date: **August 15, 2017**

Property Address: **2112 Acushnet Ave.**

Project: Check (x) one or both as applicable: ☐ New construction ☒ Existing Construction

Project description: **Interior Renovations**

I **Fred Hanack** MA Registration Number: **8789** Expiration date: **6/30/2018**, am a *registered design professional*, and I have prepared or directly supervised the preparation of all design plans, computations and specifications concerning¹:

☒ Architectural ☐ Structural ☐ Mechanical
☐ Fire Protection ☐ Electrical ☒ Other: Describe **Interior Renovations**

for the above named project and that to the best of my knowledge, information, and belief such plans, computations and specifications meet the applicable provisions of the Massachusetts State Building Code, (780 CMR), and accepted engineering practices for the proposed project. I understand and agree that I (or my designee) shall perform the necessary professional services and be present on the construction site on a regular and periodic basis to:

1. Review, for conformance to this code and the design concept, shop drawings, samples and other submittals by the contractor in accordance with the requirements of the construction documents.
2. Perform the duties for registered design professionals in 780 CMR Chapter 17, as applicable.
3. Be present at intervals appropriate to the stage of construction to become generally familiar with the progress and quality of the work and to determine if the work is being performed in a manner consistent with the approved construction documents and this code.

Nothing in this document relieves the contractor of its responsibility regarding the provisions of 780 CMR 107.

When required by the building official, I shall submit field/progress reports (see item 3.) together with pertinent comments, in a form acceptable to the building official.

Upon completion of the work, I shall submit to the building official a 'Final Construction Control Document'.

Enter in the space to the right a "wet" or electronic signature and seal:

FRED K. HANACK
No. 8789
STRUCTURAL
ENGINEERING

Phone number: **508-291-1061**

Email: **armando@cdbdesigns.com**

Building Official Use Only

Building Official Name: _____

Permit No. : _____

Date: _____

Note 1. Indicate with an 'x' project design plans, computations and specifications that you prepared or directly supervised. If 'other' is chosen, provide a description.

Case 30-17

MASSACHUSETTS QUITCLAIM DEED

UB PROPERTIES, LLC, a Massachusetts limited liability company having its usual place of business at 95 Elm Street, West Springfield, Massachusetts, for consideration paid, and in full consideration of SIX HUNDRED THOUSAND (\$600,000.00) DOLLARS,

grants to CMAC REALTY, LLC, a Massachusetts limited liability company with a principal place of business at 83 Chershire Avenue, Acushnet, MA 02743

with QUITCLAIM COVENANTS

The land, together with all building and improvements thereon, in New Bedford, Bristol County, Commonwealth of Massachusetts, being shown as Parcel 1 on that certain Plan of Land entitled "Subdivision of Land in New Bedford, Mass., belonging to William H. Nelson, Scale 1" - 40'", said plan is recorded in the Bristol County (S.D.) Registry of Deeds in Plan Book 106, Page 105.

BEING the same premises described in a Foreclosure Deed dated May 5, 2011 and recorded with the Bristol County Southern District Registry of Deeds in Book 10082, Page 5.

This sale does not constitute the sale of all or substantially all of the Grantor's assets in the Commonwealth of Massachusetts.

IN WITNESS WHEREOF, the said UB PROPERTIES, LLC has caused these presents to be signed, acknowledged and delivered in its name and behalf by John J. Patterson, its Manager hereto duly authorized this 8th day of March, 2012.

UB PROPERTIES, LLC

REG OF DEEDS
REG #07
BRISTOL S

By: 
John J. Patterson, Manager

03/13/12 12:55PM 01
000000 #3591

FEE \$2736.00

CASH \$2736.00

Case 30-17
08/11/2017

PLANNING
AUG 11 2017
DEPARTMENT

COMMONWEALTH OF MASSACHUSETTS

Hampden, ss.

On this 8th day of March, 2012, before me, the undersigned notary public, personally appeared John J. Patterson, Manager of UB Properties, LLC, and proved to me through satisfactory evidence of identification which was, ☐ photographic identification with signature issued by a federal or state governmental agency, ☒ oath or affirmation of a credible witness, ☒ personal knowledge of the undersigned, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that he signed it voluntarily for its stated purpose.

Notary Public
My Commission Expires:



PAUL J O'RIORDAN
NOTARY PUBLIC
COMMONWEALTH OF MASSACHUSETTS
MY COMMISSION EXPIRES 02/13/2015



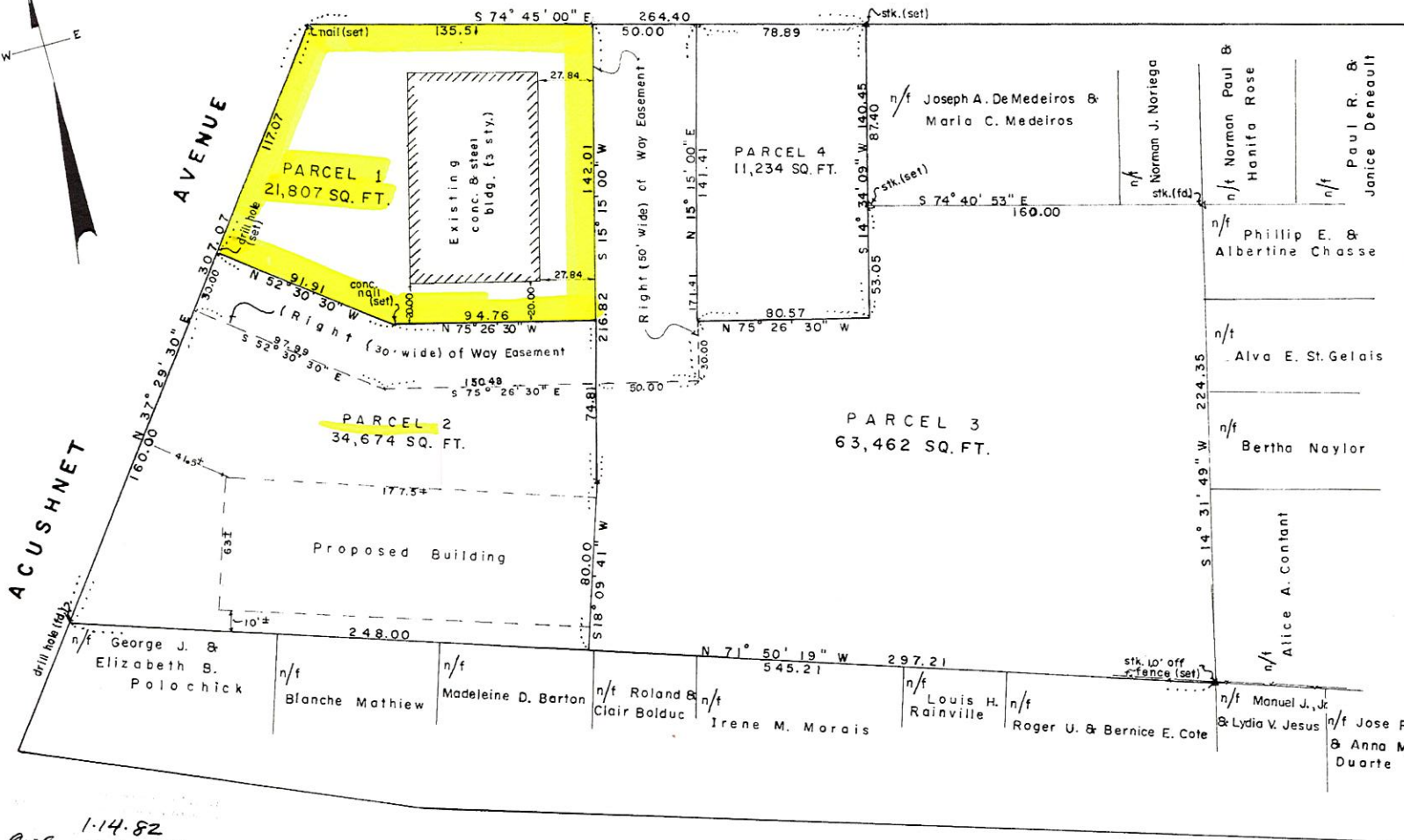
ACUSHNET AVENUE

HARWICH STREET

STREET

AVENUE

BELLEVILLE



Case 30-17
08/11/2017

1-14-82
Richard A. Avalaga
BREWSTER



Quaid M. Fitzgerald

I certify that this plan conforms with the rules and regulations of the Registers of Deeds.
Quaid M. Fitzgerald
SURVEYOR

11-10-81
Richard A. Avalaga

SUBDIVISION OF LAND
IN NEW BEDFORD, MASS.
BELONGING TO

WILLIAM H. NELSON

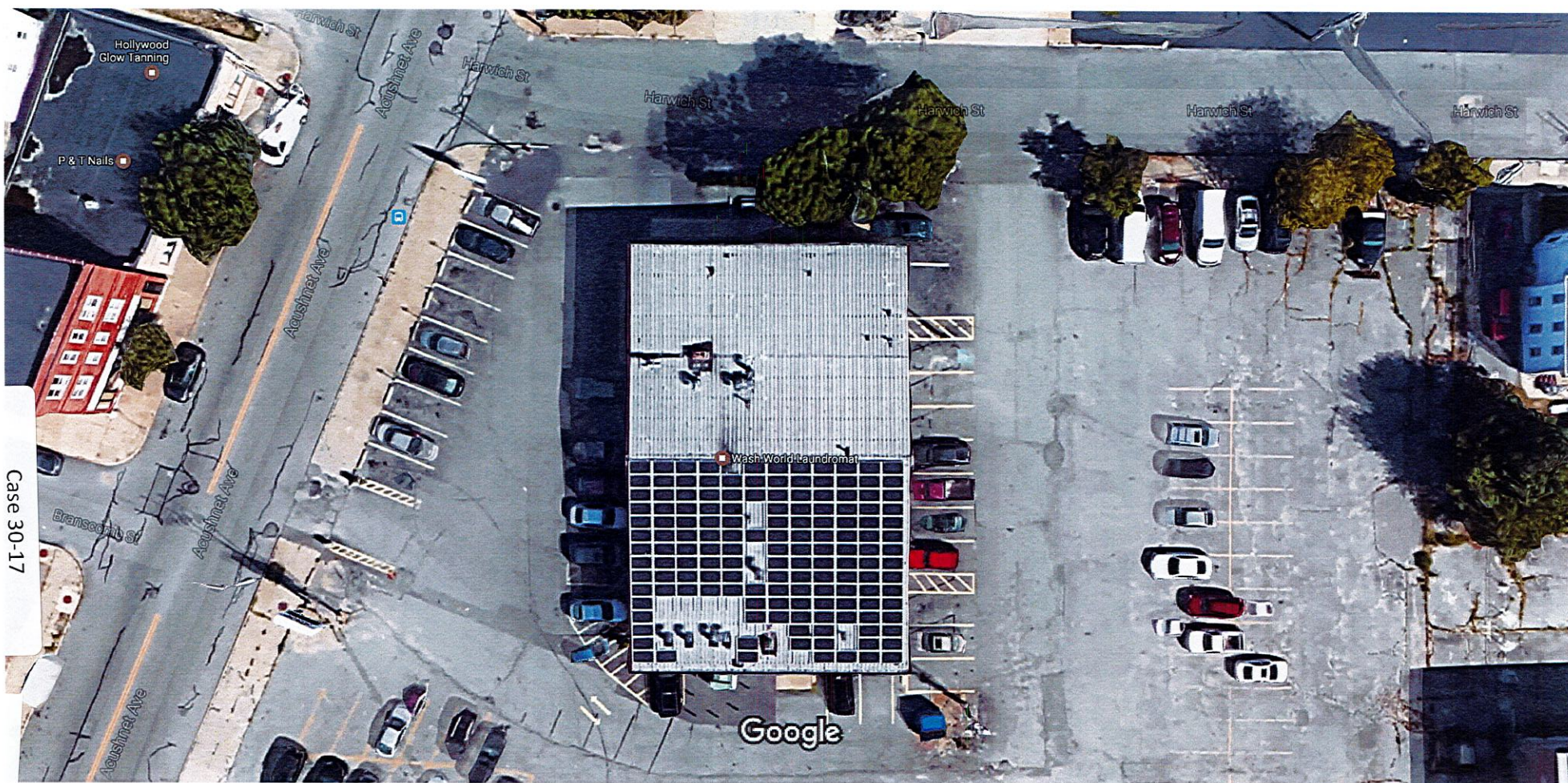
SCALE: 1" = 40'

SEPT. 23, 1981

REVISED DEC 22, 1981

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AUG 11 2017
DEPARTMENT

REC'D & RECORDED
1982 FILED 26 PM 12:17
SOUTHERN DISTRICT
BRISTOL COUNTY
REGISTER OF DEEDS



Imagery ©2017 Google, Map data ©2017 Google 20 ft

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AUG 11 2017
DEPARTMENT

Case 30-17
08/11/2017

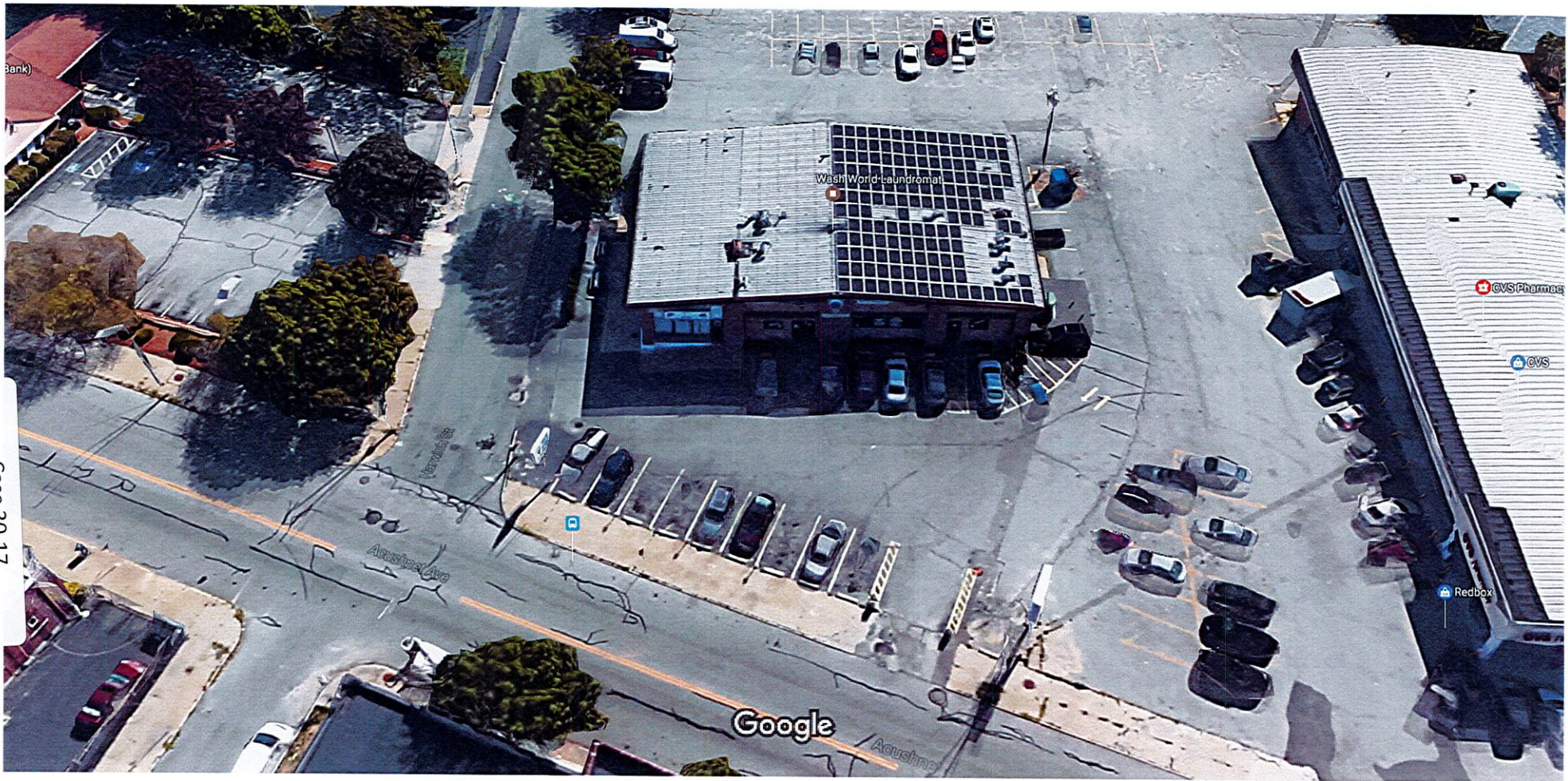
ATTACHMENT 6



Case 30-17
08/11/2017

Imagery ©2017 Google, Map data ©2017 Google 20 ft

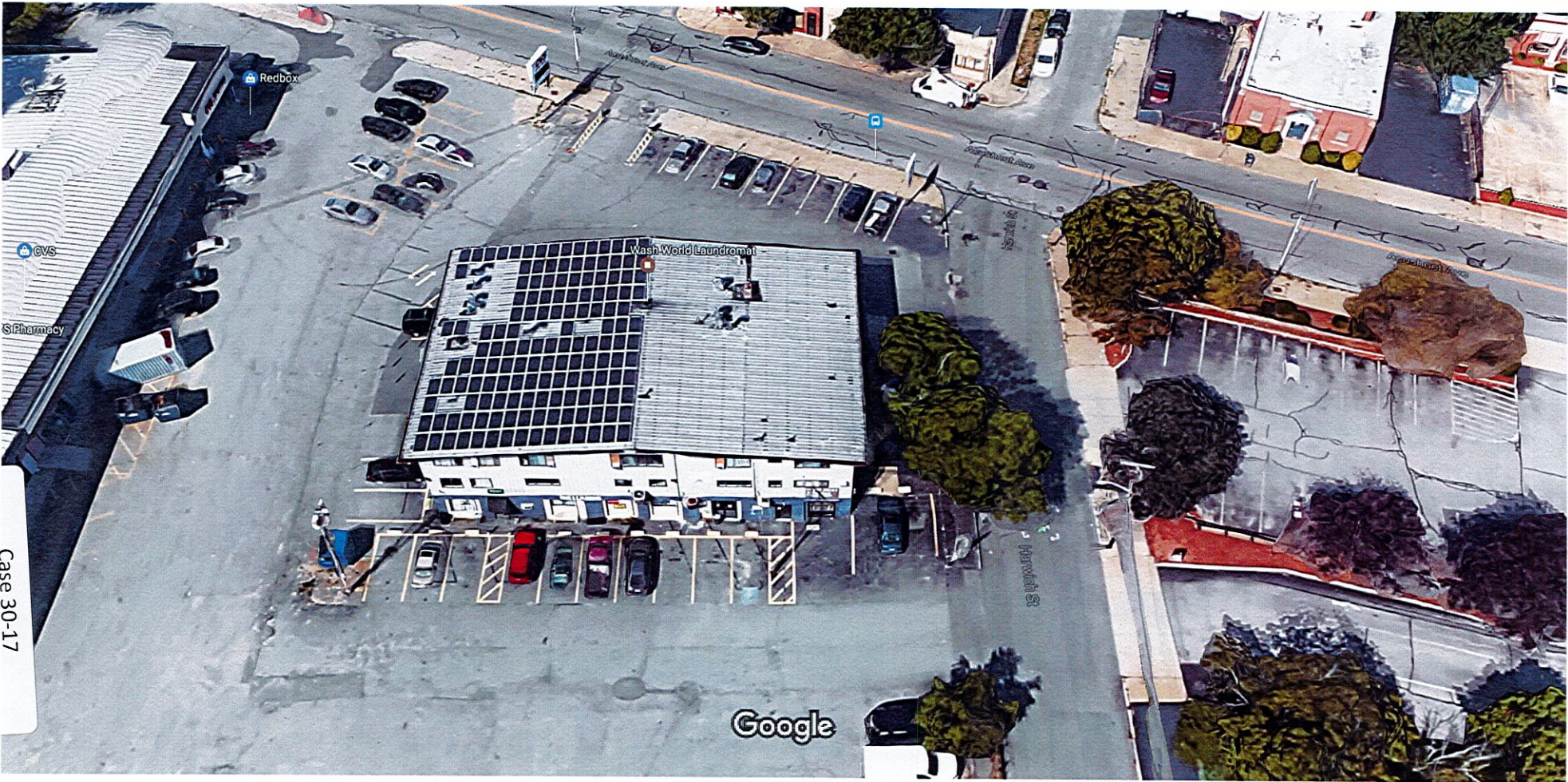
PLANNING
AUG 11 2017
DEPARTMENT



Case 30-17
08/11/2017

Imagery ©2017 Google, Map data ©2017 Google 20 ft

PLANNING
AUG 11 2017
DEPARTMENT



Case 30-17
08/11/2017

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AUG 11 2017
DEPARTMENT



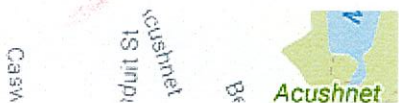
Case 30-17
08/11/2017

Image capture: Oct 2012 © 2017 Google

New Bedford, Massachusetts

Street View - Oct 2012

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DEPARTMENT





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08/11/2017

Image capture: Aug 2012 © 2017 Google

New Bedford, Massachusetts

Street View - Aug 2012

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Case

Acushnet
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08/11/2017

New Bedford, Massachusetts

Street View - Aug 2012

Image capture: Aug 2012 © 2017 Google



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AUG 11 2017
DEPARTMENT

2114 Acushnet Ave



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08/11/2017

New Bedford, Massachusetts
Street View - Oct 2012

Image capture: Oct 2012 © 2017 Google



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AUG 11 2017
DEPARTMENT



Case 30-17
08/11/2017

DEPARTMENT

SPECIAL PERMIT
REDUCTION OF PARKING

For:
2112 ACUSHNET AVE.
Plot: 119, Lot: 13
New Bedford, MA

Deed - Book: 10323 - Page: 289

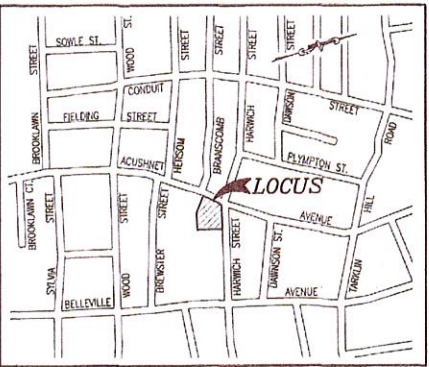
CITY CLERKS OFFICE
NEW BEDFORD, MA

2017 AUG 11 A 10: 53

CITY CLERK

ZONING MATRIX

	Existing	Allowed/Required	Proposed
Lot Area (sq ft)	21,807	10,000	21,807
Lot Width (ft)	142.01'	0	142.01'
Number of Dwelling Units	2	1 per 5,000	2
Total Gross Floor Area (sq ft)	13,476	0	13,476
Residential Gross Floor Area (sq ft)	3,232	0	3,232
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Building Height (ft)	20'/30'	100	20'/30'
Front Setback (ft)	56'/95'	0	56'/95'
Side Setback (ft)	21'	8'	21'
Side Setback (ft)	20'	8'	20'
Rear Setback (ft)	26'	10'	26'
Lot Coverage by Buildings (% of Lot Area)	29	0	29
Permeable Open Space (% of Lot Area)	0	0	0
Green Space (% of Lot Area)	0	0	0
Off-Street Parking Spaces	33	56 Required	33
Long-Term Bicycle Parking Spaces	0	0	0
Short-Term Bicycle Parking Spaces	0	0	0
Loading Bays	0	1	0



LOCUS PLAN
SCALE: N.T.S.

OWNERS INFORMATION:

CMAC REALTY, LLC
83 Cheshire Ave.
Acushnet, MA 02743

DRAWING LIST:

- C 1.0 Cover Sheet
- C 1.1 Existing Conditions Site Plan

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Proposed	Approved
Parking Lot	Approved or Noted
Date	by



Revision	By	Date

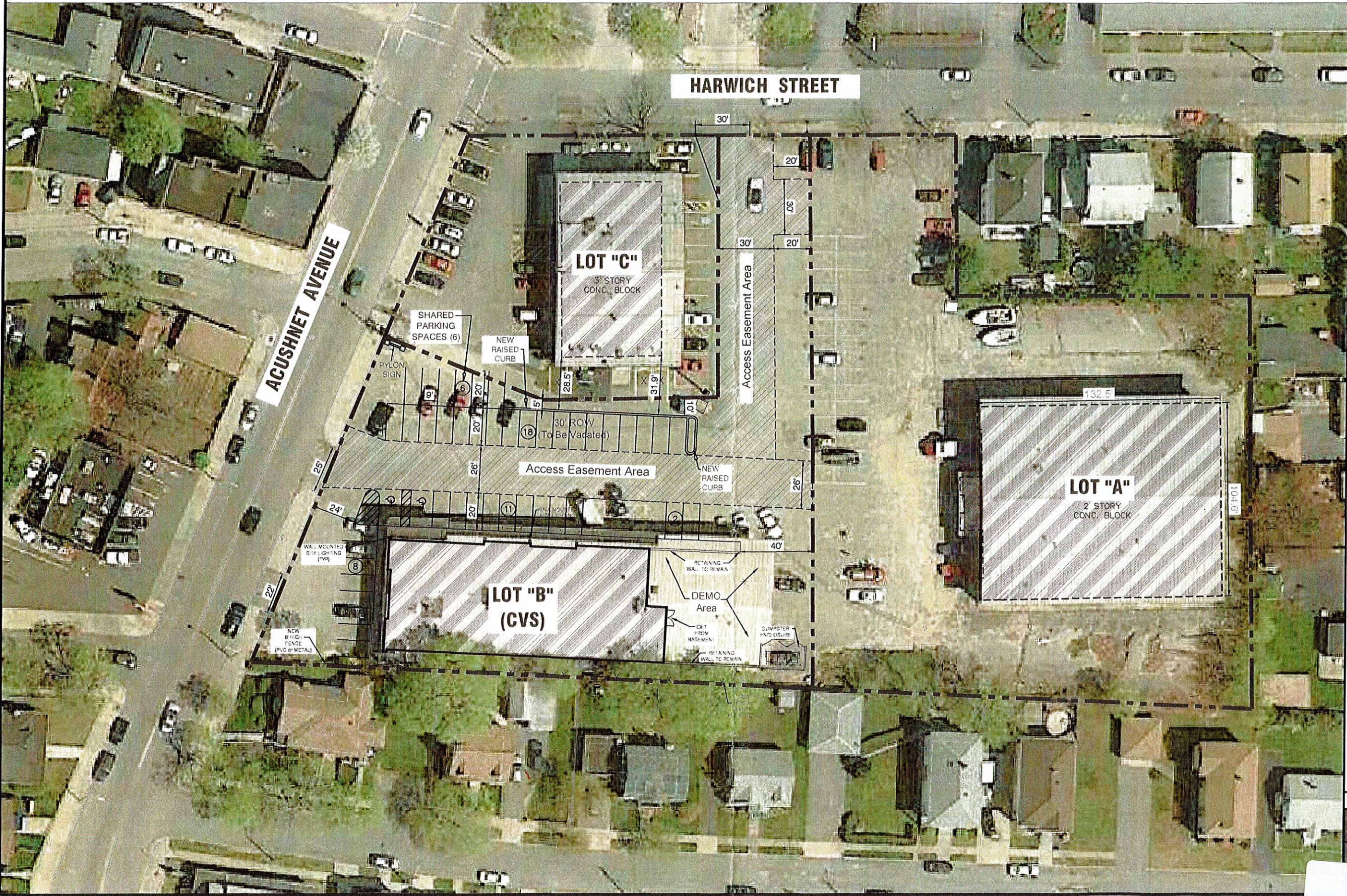
PLANNING
AUG 11 2017
DEPARTMENT

Drawing Title	COVER SHEET
Project No.	2015-05
Sheet No.	C1.0
Scale	AS SHOWN
Author	
Checker	
Engineer	
Professional Seal	

Proposed	Approved
Site Plan	Approved or Noted
FOR	by
CMAC REALTY, LLC	
2112 Acushnet Ave.	
New Bedford, MA 02745	

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CONCEPTUAL SITE PLAN



New Bedford, MA
Acushnet Ave

Conceptual
Site Plan 1

Site Summary

Existing Zoning: MUB

Area Summary:

Total Area:
Project area: 38,772 SF
0.89 Ac
Building: 8,700 SF

Parking Summary:

Ratio: 1 per 200
Required: 44
Provided: 45 Space
Size: 9' x 20'

Building Setbacks:

Front: 0'
Side: 8'
Rear: 10'

Notes:

2017 AUG 11 A 10:52
CITY CLERK
CITY CLERK
CITY CLERKS OFFICE
NEW BEDFORD, MA

PLANNING
AUG 11 2017
DEPARTMENT

Date: 10/07/16 Drawn By: BM

Hunt Real Estate

5100 W. Kennedy Blvd #100
Tampa, FL 33609

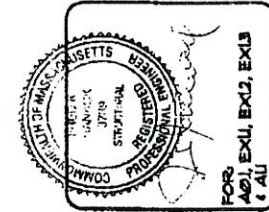
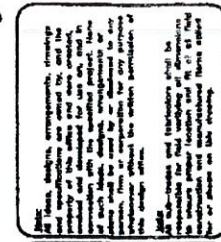
Case 30-17
08/11/2017

PROPOSED
Renovation
For:
CMAC REALTY, LLC.
2112 Acushnet Ave.
New Bedford, MA 02745

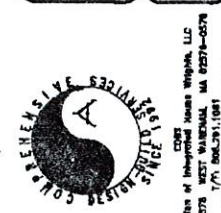
CITY CLERKS OFFICE
NEW BEDFORD, MA

2016 NOV 16 P 3:06

CITY CLERK



Description	Date
Approved as Noted	by



James Wayne, LLC
17719
17719
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2017 AUG 11 A 10:22

CITY CLERKS OFFICE
NEW BEDFORD, MA

Card No. 1 of 1																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																	
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Disclaimer: Classification is not an indication of use allowed under city zoning.
This information is believed to be correct but is subject to change and is not warranted.

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Drawing List:

- A 0.1 Cover Sheet
- EX1.1 Existing Condition Lower Level Plan
- EX1.2 Existing Condition Main Level Plan
- EX1.3 Existing Condition Upper Level Plan
- A 1.1 Proposed Renovations Upper Level Plan

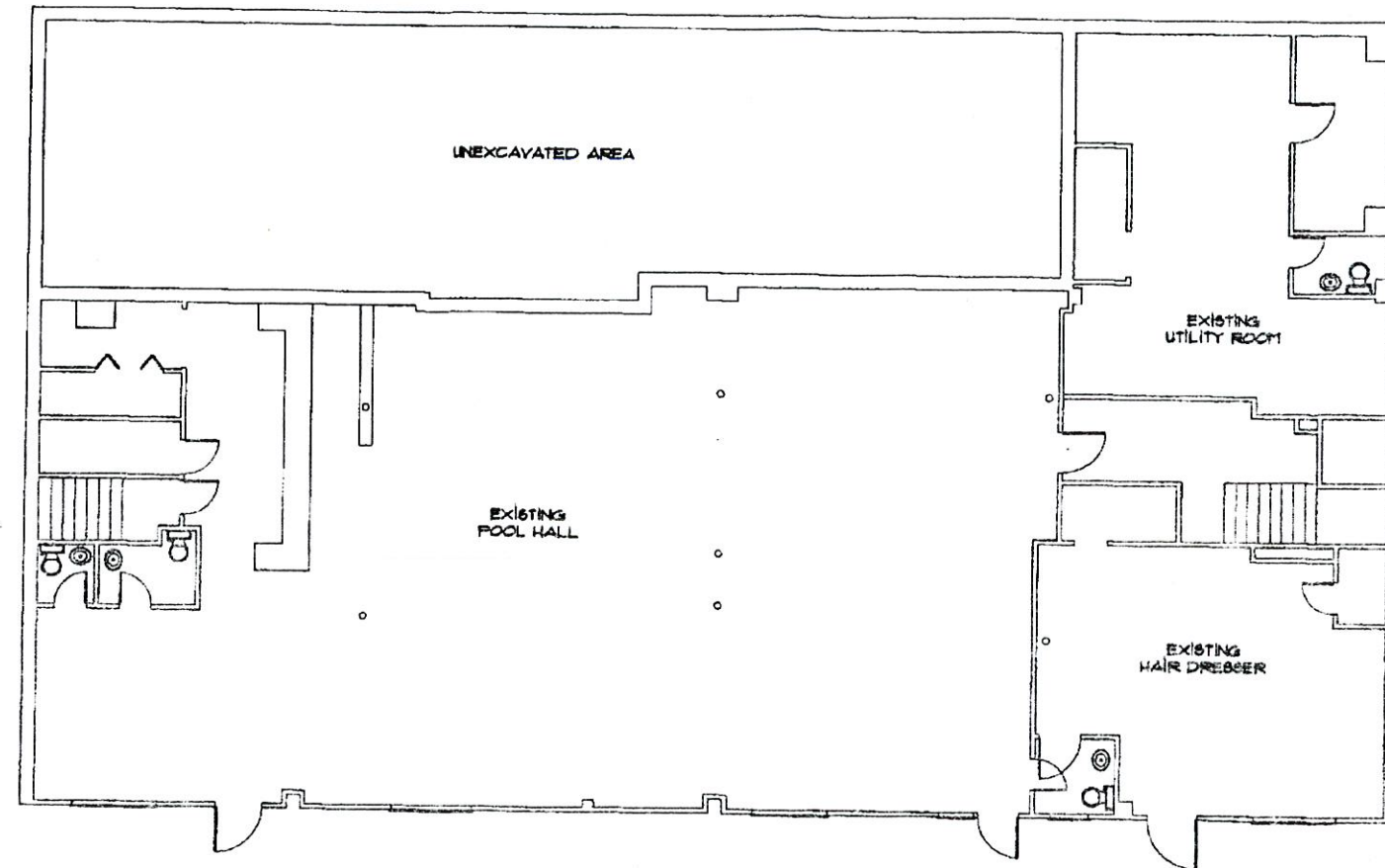
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Drawing Title	Cover Sheet
Drawing No.	A0.1
Date	04/07/2016
Scale	AS SHOWN
Drawn	ASD
Checked	
Approved	
Sheet	1 of 1

Project	PROPOSED Renovations FOR CMAC Realty, LLC 2112 Acushnet Ave. New Bedford, MA 02745
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PLANNING
AUG 11 2017
DEPARTMENT

CITY CLERK



EXISTING CONDITIONS LOWER LEVEL PLAN

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Description	Date
	<input type="checkbox"/> Approved <input type="checkbox"/> Approved on Hold <input type="checkbox"/> by _____



© 2013
a Division of Integrated House Wrights, LLC
P.O. BOX 570 WEST WAREHAM, MA 02576-0570
T/F: 508.791.1041
email: arnold@integratedwrights.com

OFFICE

2017 AUG 11 A 10:22

CITY CLERKS OFFICE
NEW BEDFORD, MA

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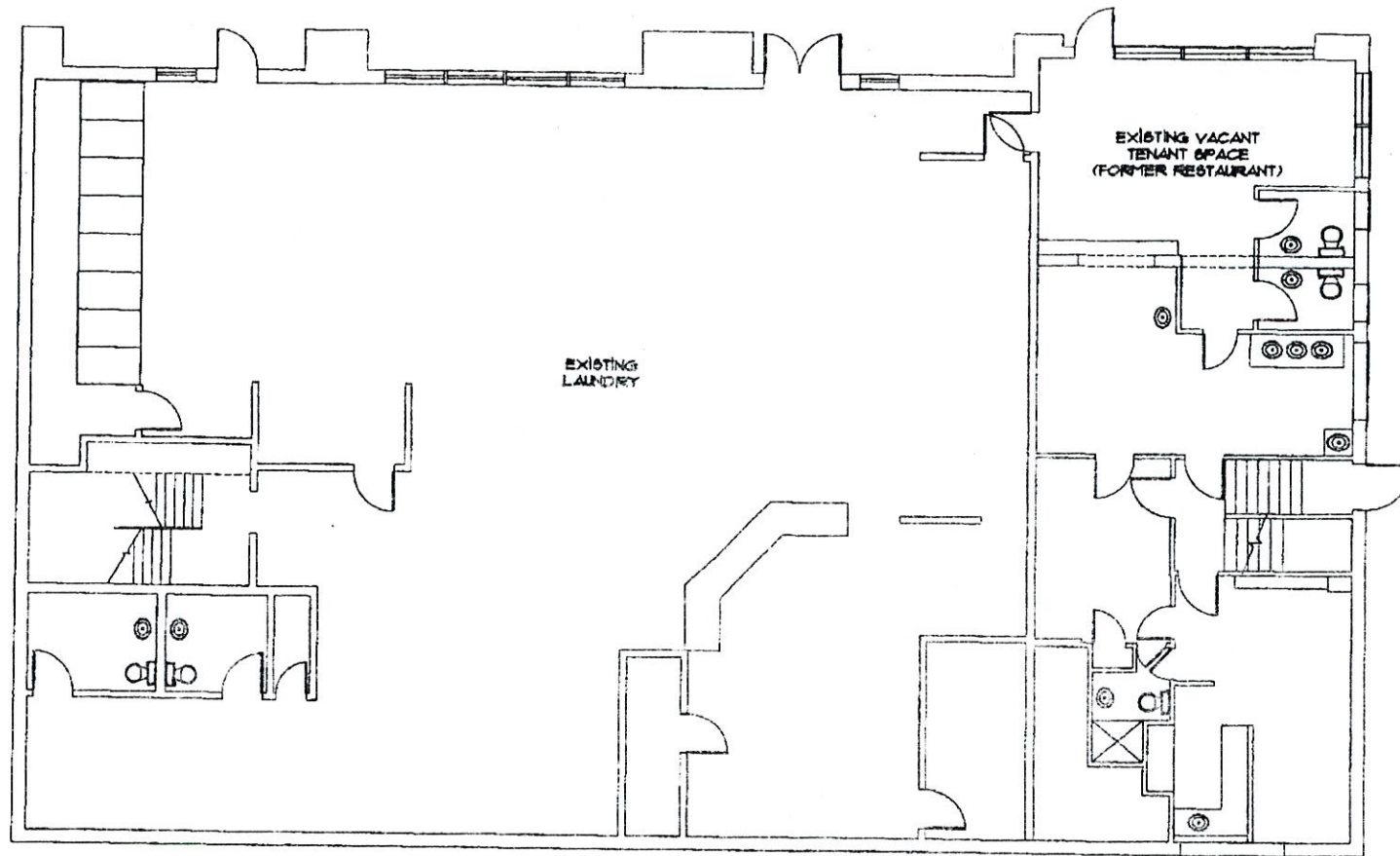
Drawing Title Existing Conditions Lower Level Plan	Date 04/03/2018	Drawing No.	Project No.	2015-85
	Scale 1/8" = 1'-0"	EX1.1		
	Drawn #100	Checked	Approved	Sheet of

Project

PROPOSED
Renovations
FOR
CMAC Realty, LLC
2112 Acushnet Ave.
New Bedford, MA 02745

New Bedford, MA 02745
PLANNING
JUN 11 2017
DEPARTMENT

CITY CLERKS OFFICE
NEW BEDFORD, MA
2016 NOV 16 P 3:06
CITY CLERK



EXISTING CONDITIONS MAIN LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"

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Description	By

Approved	Date

COMPREHENSIVE DESIGN/BUILD SERVICES
A
DESIGN/BUILD
CITY CLERK
Division of Integrated Housekeeping, LLC
P.O. BOX 578 WEST WAREHAM, MA 02576-0578
TEL: 508.291.1061

No.	Date	Revision
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Drawing Title	Drawing No.
Existing Conditions Main Level Floor Plan	EX1.2
Date: 04.07.2016	Scale: 1/8" = 1'-0"
Drawn: JRP	Checked: JRP
Approved: JRP	Sheet: 1 of 1

Project	PROPOSED Renovations FOR CMAC Realty, LLC
	2112 Aoughnet Ave., New Bedford, MA 02746

CITY CLERKS OFFICE
NEW BEDFORD, MA
2017 AUG 11 A 10:52
CITY CLERK

PLANNING
AUG 11 2017
DEPARTMENT

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NEW BEDFORD, MA

2016 NOV 16 P 3:06

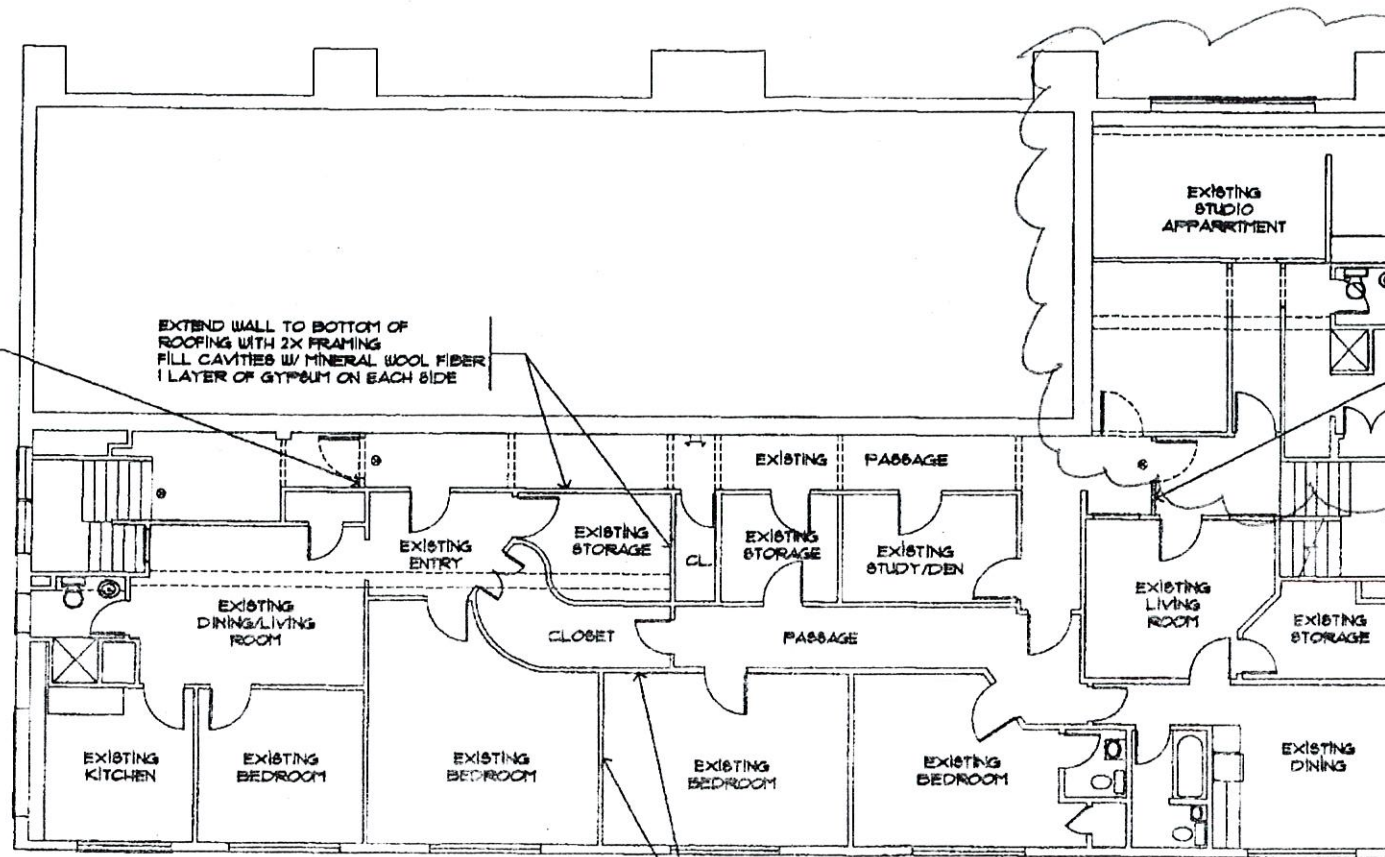
CITY CLERK

2X4 STUDS @ 16" O.C.
FILL CAVITIES W/ MINERAL WOOL FIBER
1 LAYER OF GYPSUM ON EACH SIDE

EXTEND WALL TO BOTTOM OF
ROOFING WITH 2X FRAMING
FILL CAVITIES W/ MINERAL WOOL FIBER
1 LAYER OF GYPSUM ON EACH SIDE

2X4 STUDS @ 16" O.C.
FILL CAVITIES W/ MINERAL WOOL FIBER
1 LAYER OF GYPSUM ON EACH SIDE

Studio
Apartment
to be
Removal



EXTEND WALL TO BOTTOM OF
ROOFING WITH 2X FRAMING
FILL CAVITIES W/ MINERAL WOOL FIBER
1 LAYER OF GYPSUM ON EACH SIDE



PROPOSED SECOND FLOOR RENOVATIONS PLAN

SCALE: 1/8" = 1'-0"

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These drawings, specifications, designs, and arrangements are prepared by, and the responsibility for their accuracy and completeness rests with, Comprehensive Design/Build Services. Comprehensive Design/Build Services shall not be responsible for construction means, methods, techniques, or procedures utilized by the contractors, nor for the safety of public or contractor's employees; or for the failure of the contractor to carry out the work in accordance with the contract documents. Comprehensive Design/Build Services liability for this plan is limited to the extent of its fee less third party costs.

DESCRIPTION

DATE
APPROVED AS NOTED
BY



Rev.	Revisions

Drawing Title
Proposed Second Floor Renovations Plan
Drawing No.
A1.1
Scale: 1/8" = 1'-0"
Checked
By
Approved
By

Project
PROPOSED
Renovations
FOR
CMAC Realty, LLC
2112 Acushnet Ave.
New Bedford, MA 02745

2017 AUG 11 A 10:52

CITY CLERKS OFFICE
NEW BEDFORD, MA

PLANNING
AUG 11 2017
DEPARTMENT

Case 30-17
08/11/2017

SITE SUMMARY

ASSESSORS MAP 119 - LOT 13

PARCEL AREA = 21,807

ZONING DISTRICT: MIXED USE BUSINESS

PROPOSED USE:

LOWER LEVEL - 3,982 SF
• BILLIARD HALL
• BEAUTY SALON / BARBER

MAIN FLOOR - 6,262 SF
• LAUNDROMAT
• ICE CREAM SHOP

UPPER FLOOR - 3,232 SF
• UNOCCUPIED

PARKING REQUIRED

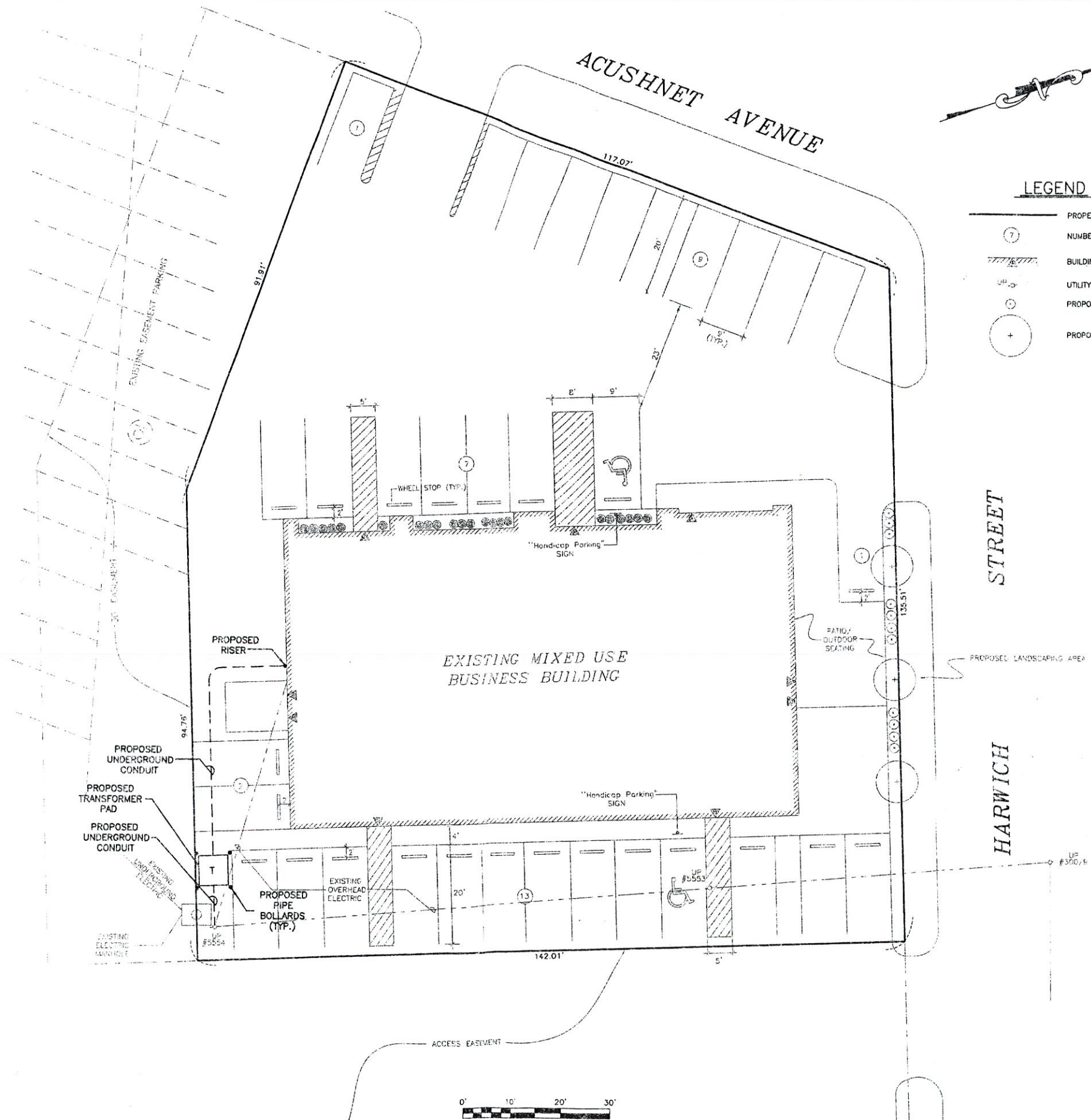
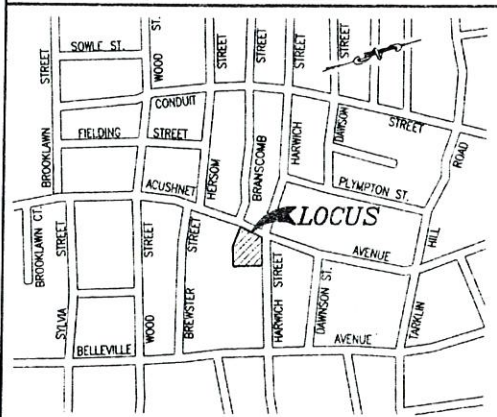
LOWER LEVEL - 1 SPACE/200 SF x 3,232 SF = 16 SPACES
MAIN FLOOR - 1 SPACE/200 SF x 6,262 SF = 31 SPACES
47 SPACES

ONSITE PARKING PROVIDED 33 SPACES
EASEMENT PARKING 10 SPACES
HARWICH STREET / ACUSHNET AVENUE PARKING 7 SPACES
TOTAL 50 SPACES

OWNER/APPLICANT: CMAC REALTY, LLC
83 CHERSHIRE AVENUE
ACUSHNET, MA 02743

LOCUS MAP

SCALE: 1"=400'±



LEGEND

- PROPERTY LINE
- NUMBER OF PARKING SPACES
- BUILDING ENTRANCE
- UTILITY POLE
- PROPOSED SHRUB
- PROPOSED TREE

Project	MIXED USE RETAIL	2112 ACUSHNET AVENUE NEW BEDFORD, MASSACHUSETTS	Client	CMAC REALTY, LLC	Site Layout
Drawn By	DATE	2012	Scale	1"=10'	Sheet of 1
Checked By	DATE	2012	Scale	1"=10'	Sheet of 1
Revision Description	Date	No.	1	7/20/2012	ADD ELECTRIC SERVICE
<p>PLANNING DEPARTMENT</p> <p>DATE: 08/11/2017</p> <p>FILE: 12-5080</p>					