

FIRST CITIZENS' FEDERAL CREDIT UNION
SITE DEVELOPMENT PLANS

464 COUNTY STREET
NEW BEDFORD, MASSACHUSETTS MA

ISSUED FOR SITE PLAN APPROVAL : AUGUST 11, 2016
ISSUED TO: NEW BEDFORD PLANNING BOARD

HIGHPOINT

HIGHPOINT ENGINEERING, INC.
CANTON CORPORATE PLACE
45 DAN ROAD, SUITE 140 | CANTON, MA 02021
t 781.770.0970 | www.highpointeng.com

CLIENT:
FIRST CITIZENS' FEDERAL CREDIT UNION
Think First
200 MILL ROAD | SUITE 100
FAIRHAVEN, MA 02719

CONSULTANT:

SEAL

DOUGLAS J. HARTNETT
No. 3779
REGISTERED PROFESSIONAL ENGINEER
10-25-2016

FIRST CITIZENS' FEDERAL CREDIT UNION

464-466 COUNTY STREET AND NW WILLIAM & EIGHTH STREET
NEW BEDFORD, MA 02740
MAP & LOT NUMBERS: 52-176 & 52-178

OWNER/APPLICANT: SOUTH COAST REAL ESTATE HOLDINGS, LLC
A SUBSIDIARY OF FIRST CITIZENS' FEDERAL CREDIT UNION



PROJECT TEAM

OWNER/APPLICANT: FIRST CITIZENS' FEDERAL CREDIT UNION
200 MILL ROAD, SUITE 100
FAIRHAVEN, MA 02719
TEL: (508) 999-1341

CIVIL ENGINEER: HIGHPOINT ENGINEERING, INC.
45 DAN ROAD, SUITE 140
CANTON, MA 02021
TEL: (781) 770-0970
ATTN: Douglas Hartnett
www.highpointeng.com

ARCHITECT: NEW ENGLAND DESIGN ASSOCIATES, INC.
39 SALISBURY STREET
WORCESTER, MA 01609
TEL: (508) 793-2968
www.nedainc.com

LANDSCAPE ARCHITECT: RADNER DESIGN ASSOCIATES, INC.
945 CONCORD STREET, SUITE 100
FRAMINGHAM, MA 01701
TEL: (508) 736-6144
www.radnerdesign.com

LAND SURVEYOR: FIELDSTONE SURVEY SERVICES
45 MELIX AVENUE
PLYMOUTH, MA 02360
TEL: (774) 283-2172

TRAFFIC ENGINEER: RON MULLER ASSOCIATES, TRAFFIC
ENGINEERING AND CONSULTING SERVICES
56 TERESA ROAD
HOPKINTON, MA 01748
TEL: (508) 395-1576
www.ronmullerassociates.com

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ZONING SUMMARY CHART				
ZONING DISTRICT: MIXED USE BUSINESS				
CRITERIA	REQUIRED	EXISTING	PROPOSED	COMPLIANCE
LOT SIZE (MIN)	8,000 SF	24,731 SF	24,731 SF	YES
DENSITY OF DWELLING UNITS PER LOT	1/10,000 SF FOR 1 FAM, 1/5,000 SF FOR 2 FAM, 1/1,000 SF FOR 3 FAM OR MORE	1 UNIT	NO CHANGE	YES
LOT FRONTAGE (FT)	0 FT	128.25 FT	NO CHANGE	YES
HEIGHT OF BUILDINGS (FT)	100 FT	<100 FT	<100 FT	YES
HEIGHT OF BUILDINGS (# OF STORIES)	7 STORIES	1	NO CHANGE	YES
FRONT YARD (FT)	0 FT	7.6 FT	NO CHANGE	YES
SIDE YARD (FT)	8 FT	6.3 FT	NO CHANGE	EXISTING NON CONFORMING
REAR YARD (FT)	10 FT	N/A	N/A	N/A
LOT COVERAGE BY BUILDINGS (%)	30 %	10.5%	NO CHANGE	YES
ARTICLE III. GREEN SPACE	0 %	18.0%	23.7%	YES

PARKING SUMMARY						
PARKING ALLOTMENT REQUIREMENTS						
BUILDING USE		REQUIRED RATE	SIZE (S.F)	EXISTING	REQUIRED	PROPOSED
BANK		1 SPACE/200 SF FOR UP TO 10,000 SF, 1 SPACE/1,000 SF IN EXCESS OF 10,000 SF	2,593	-	13	17
COMPLIANCE						
YES						
PARKING DIMENSIONAL REQUIREMENTS						
CRITERIA	REQUIRED	PROPOSED	ZONING COMPLIANCE			
STALL WIDTH	9 FT	9 FT	YES			
STALL DEPTH	20 FT	20 FT	YES			
ACCESSIBLE STALLS	1	1	YES			
VAN ACCESSIBLE STALLS	1	1	YES			
DRIVEWAY WIDTH	22 FT	22 FT	YES			

LIST OF APPROVED WAIVERS	
ORDINANCE REACTION	CLEARLY DESCRIBE WHY THE REQUEST IS BEING MADE
DEMOLITION & EROSION CONTROL PLAN	COMBINED THE 2 PLANS TOGETHER INTO 1 PLAN CALLED "SITE PREPARATION, DEMOLITION & EROSION CONTROL PLAN"
CONSTRUCTION / LAYOUT PLAN	THIS IS A PERMIT SET. THE CONSTRUCTION DETAILS WILL BE PROVIDED ON THE CONSTRUCTION SET, PROVIDED "LAYOUT & MATERIALS PLAN" ONLY
GRADING & DRAINAGE PLAN, UTILITY & GRADING PLAN	COMBINED THE 2 PLAN INTO 1 PLAN CALLED "GRADING, DRAINAGE & UTILITY PLAN"

ISSUE TYPE:
FOR PERMIT

ISSUE DATE:
08/11/2016

PROJECT NUMBER:
16022

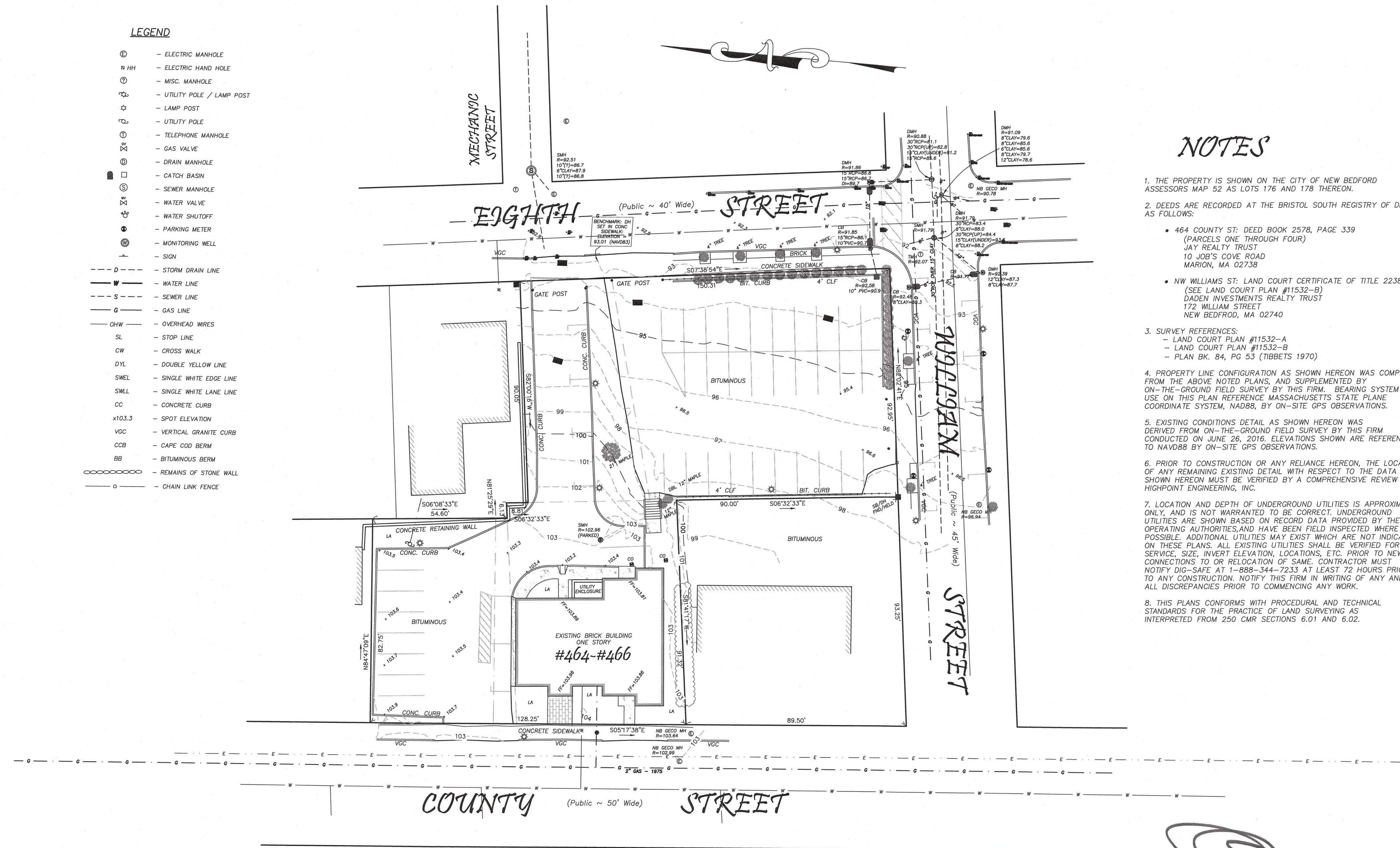
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CHECKED BY: JM

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SHEET TITLE:
TITLE SHEET

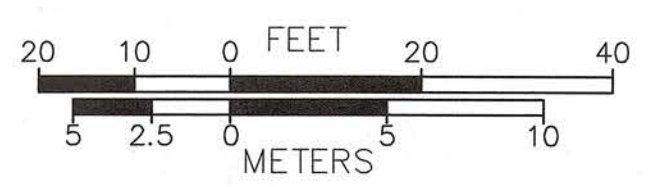
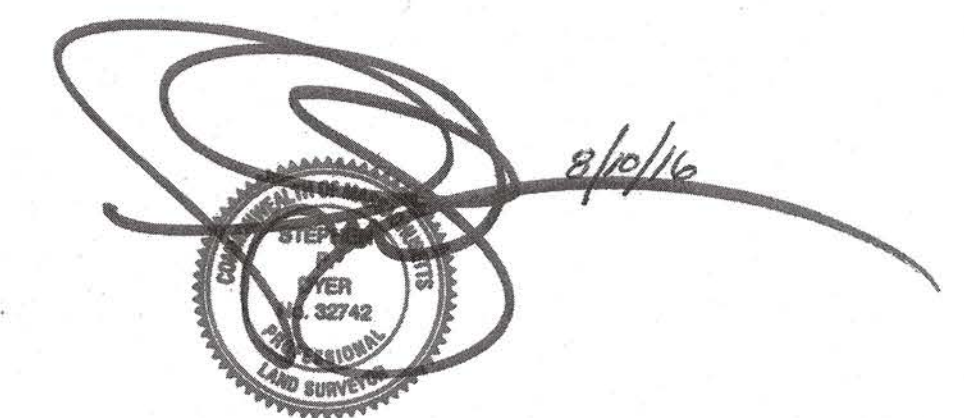
SHEET NUMBER:
T100

- LEGEND**
- ⊕ - ELECTRIC MANHOLE
 - ⊕ HH - ELECTRIC HAND HOLE
 - ⊕ - MISC. MANHOLE
 - ⊕ - UTILITY POLE / LAMP POST
 - ⊕ - LAMP POST
 - ⊕ - UTILITY POLE
 - ⊕ - TELEPHONE MANHOLE
 - ⊕ - GAS VALVE
 - ⊕ - DRAIN MANHOLE
 - ⊕ - CATCH BASIN
 - ⊕ - SEWER MANHOLE
 - ⊕ - WATER VALVE
 - ⊕ - WATER SHUTOFF
 - ⊕ - PARKING METER
 - ⊕ - MONITORING WELL
 - ⊕ - SIGN
 - D --- - STORM DRAIN LINE
 - W --- - WATER LINE
 - S --- - SEWER LINE
 - G --- - GAS LINE
 - OHW --- - OVERHEAD WIRES
 - SL - STOP LINE
 - CW - CROSS WALK
 - DYL - DOUBLE YELLOW LINE
 - SWEL - SINGLE WHITE EDGE LINE
 - SWLL - SINGLE WHITE LANE LINE
 - CC - CONCRETE CURB
 - x103.3 - SPOT ELEVATION
 - VGC - VERTICAL GRANITE CURB
 - CCB - CAPE COD BERM
 - BB - BITUMINOUS BERM
 - ⊕ - REMAINS OF STONE WALL
 - ⊕ - CHAIN LINK FENCE



NOTES

1. THE PROPERTY IS SHOWN ON THE CITY OF NEW BEDFORD ASSESSORS MAP 52 AS LOTS 176 AND 178 THEREON.
2. DEEDS ARE RECORDED AT THE BRISTOL SOUTH REGISTRY OF DEEDS AS FOLLOWS:
 - 464 COUNTY ST: DEED BOOK 2578, PAGE 339 (PARCELS ONE THROUGH FOUR) JAY REALTY TRUST 10 JOB'S COVE ROAD MARION, MA 02738
 - NW WILLIAMS ST: LAND COURT CERTIFICATE OF TITLE 22385 (SEE LAND COURT PLAN #11532-B) DADEN INVESTMENTS REALTY TRUST 172 WILLIAM STREET NEW BEDFORD, MA 02740
3. SURVEY REFERENCES:
 - LAND COURT PLAN #11532-A
 - LAND COURT PLAN #11532-B
 - PLAN BK. 84, PG 53 (TIGBETS 1970)
4. PROPERTY LINE CONFIGURATION AS SHOWN HEREON WAS COMPILED FROM THE ABOVE NOTED PLANS, AND SUPPLEMENTED BY ON-THE-GROUND FIELD SURVEY BY THIS FIRM. BEARING SYSTEM IN USE ON THIS PLAN REFERENCE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM, NAD88, BY ON-SITE GPS OBSERVATIONS.
5. EXISTING CONDITIONS DETAIL AS SHOWN HEREON WAS DERIVED FROM ON-THE-GROUND FIELD SURVEY BY THIS FIRM CONDUCTED ON JUNE 26, 2016. ELEVATIONS SHOWN ARE REFERENCED TO NAVD88 BY ON-SITE GPS OBSERVATIONS.
6. PRIOR TO CONSTRUCTION OR ANY RELIANCE HEREON, THE LOCATION OF ANY REMAINING EXISTING DETAIL WITH RESPECT TO THE DATA SHOWN HEREON MUST BE VERIFIED BY A COMPREHENSIVE REVIEW BY HIGHPOINT ENGINEERING, INC.
7. LOCATION AND DEPTH OF UNDERGROUND UTILITIES IS APPROXIMATE ONLY, AND IS NOT WARRANTED TO BE CORRECT. UNDERGROUND UTILITIES ARE SHOWN BASED ON RECORD DATA PROVIDED BY THE OPERATING AUTHORITIES, AND HAVE BEEN FIELD INSPECTED WHERE POSSIBLE. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT INDICATED ON THESE PLANS. ALL EXISTING UTILITIES SHALL BE VERIFIED FOR SERVICE, SIZE, INVERT ELEVATION, LOCATIONS, ETC. PRIOR TO NEW CONNECTIONS TO OR RELOCATION OF SAME. CONTRACTOR MUST NOTIFY DIG-SAFE AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION. NOTIFY THIS FIRM IN WRITING OF ANY AND ALL DISCREPANCIES PRIOR TO COMMENCING ANY WORK.
8. THIS PLANS CONFORMS WITH PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS INTERPRETED FROM 250 CMR SECTIONS 6.01 AND 6.02.



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CONSULTANT:
FIELDSTONE SURVEY SERVICES
45 MELIX AVENUE
PLYMOUTH, MA 02360
t 774-283-2172
REGISTERED IN
MA, RI & CT
SOYER@FIELDSTONESURVEY.COM

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1	10/25/2016	PLANNING BOARD DECISION (9/22/2016)

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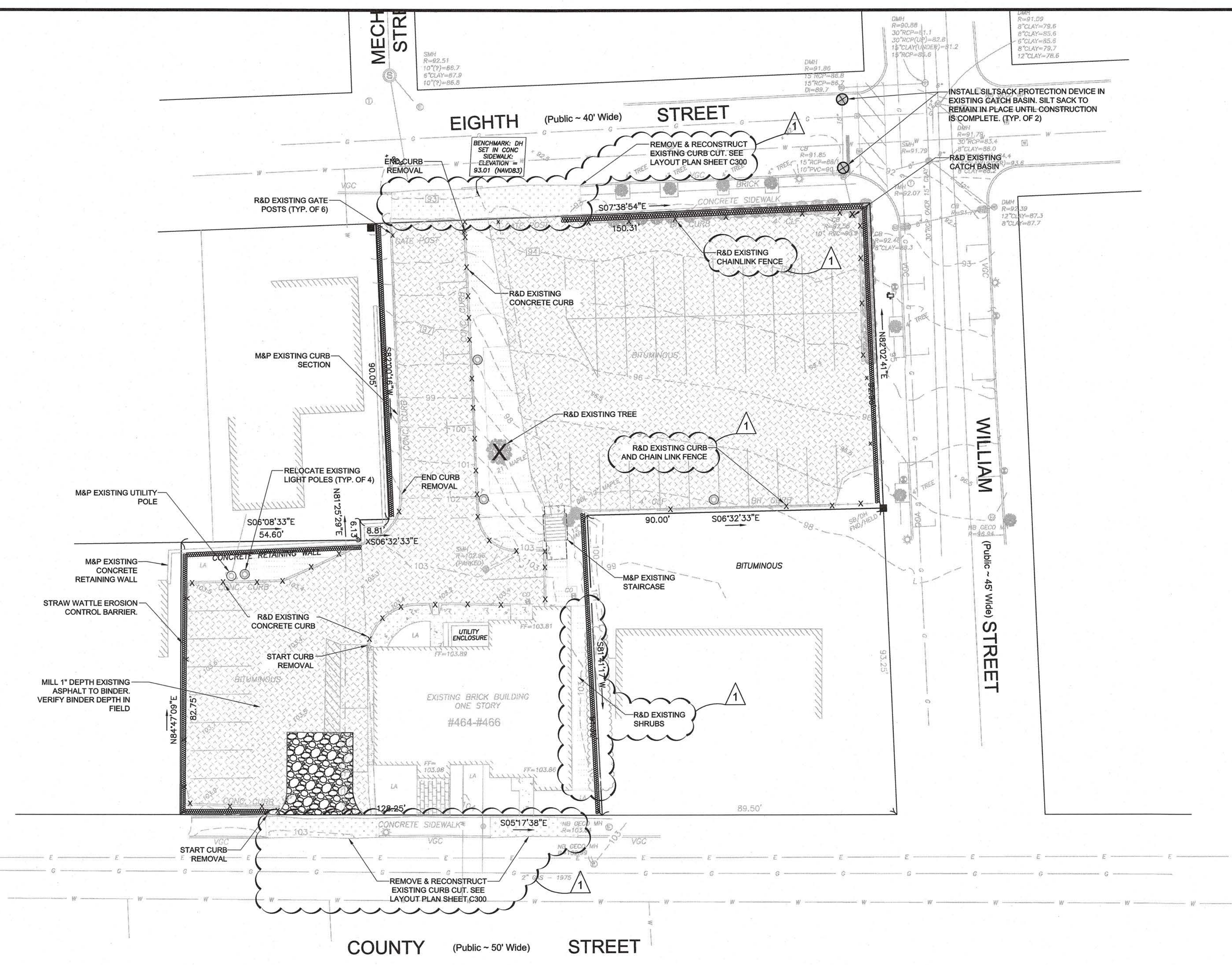
PROJECT NUMBER:
16022

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CHECKED BY: SPD

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SHEET TITLE:
EXISTING CONDITIONS PLAN

SHEET NUMBER:
C100



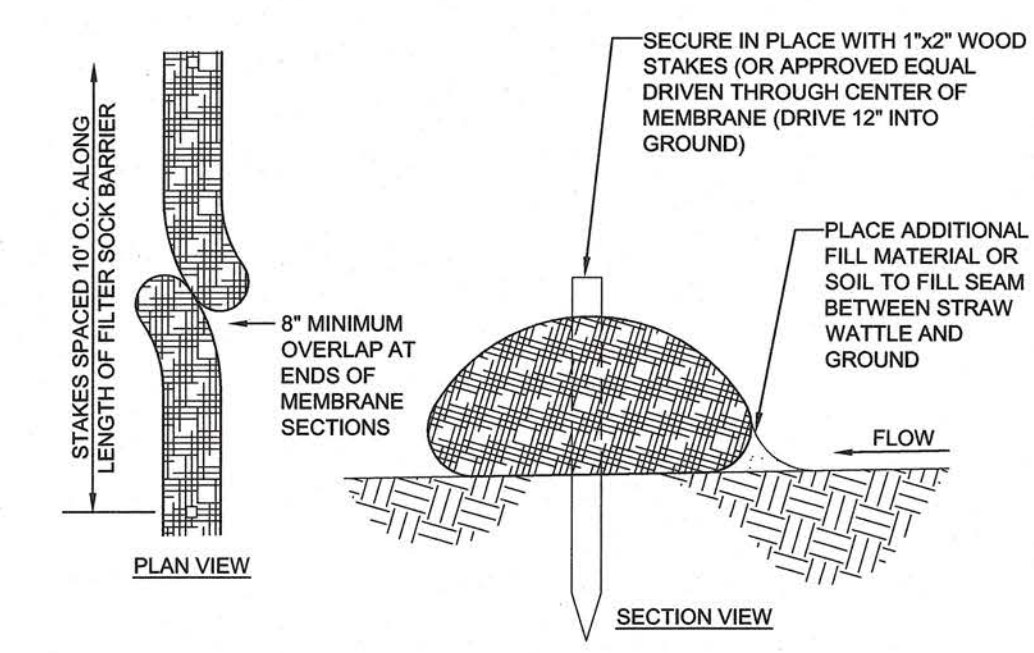
EROSION CONTROL LEGEND			
	PROPOSED SILT SACK		STRAW WATTLE EROSION CONTROL BARRIER
	ANTI TRACKING PAD		SITE CONSTRUCTION LIMIT LINE

DEMOLITION LEGEND			
	TOP SOIL/LOAM REMOVAL		SIDEWALK REMOVAL
	FULL DEPTH PAVEMENT REMOVAL		REMOVE AND DISPOSE
			MAINTAIN AND PROTECT

- ### GENERAL NOTES
- THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER ANY SIGNIFICANT VARIATIONS IN THE EXISTING SITE CONDITIONS FROM THOSE SHOWN ON THESE PLANS. ANY PROPOSED REVISIONS TO THE WORK, IF REQUIRED BY THESE SITE CONDITIONS, SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND ENGINEER.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTITUTE ANY AND ALL SAFETY MEASURES NECESSARY TO PROTECT THE PUBLIC DURING CONSTRUCTION. THESE SHALL INCLUDE SIGNS, BARRICADES, FENCES, POLICE OFFICERS, ETC. OR AS DIRECTED BY THE PUBLIC AUTHORITY AND THE OWNER.
 - AT THE END OF CONSTRUCTION, THE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AND SURPLUS MATERIALS FROM THE SITE. A THOROUGH INSPECTION OF THE WORK PERIMETER IS TO BE MADE AND ALL DISCARDED MATERIALS, BLOWN OR WATER CARRIED DEBRIS, SHALL BE COLLECTED AND REMOVED FROM THE SITE.
 - AREAS NOT DISTURBED BY CONSTRUCTION SHALL BE LEFT NATURAL. CARE SHALL BE TAKEN TO PRESERVE EXISTING TREES, GROUND COVER AND OTHER NATURAL FEATURES.

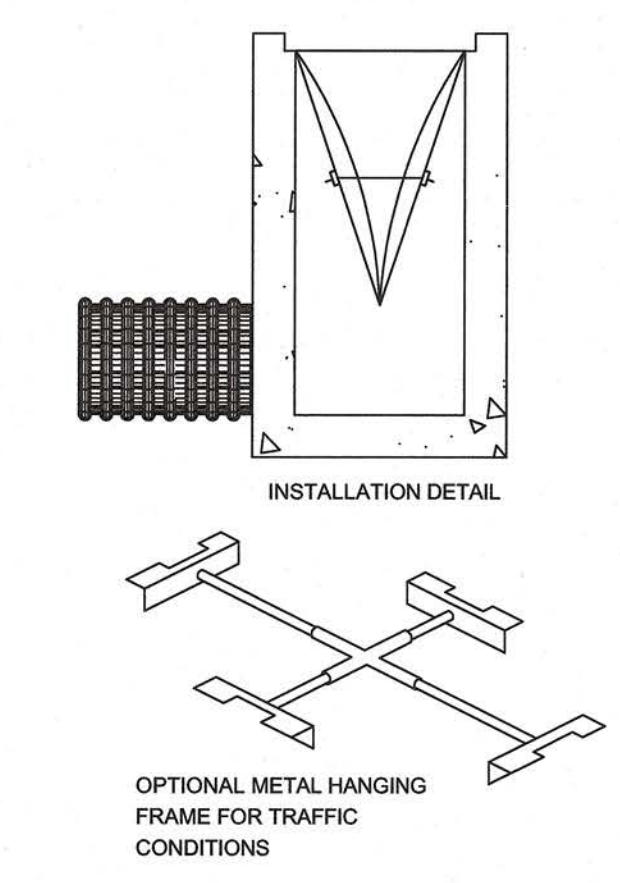
- ### DEMOLITION NOTES
- THE CONTRACTOR SHALL VERIFY IF A DEMOLITION PERMIT IS REQUIRED FROM THE CITY OF NEW BEDFORD.
 - DURING THE CONSTRUCTION PHASE, METAL DUMPSTER TYPE WASTE DISPOSAL RECEPTACLES SHALL BE LOCATED ON SITE.
 - CONSTRUCTION/DEMOLITION DEBRIS SHALL BE RECYCLED TO THE EXTENT POSSIBLE. CONSTRUCTION/DEMOLITION DEBRIS SUITABLE FOR RECYCLING SHALL BE SEPARATED FROM THE WASTE STREAM AND STORED IN METAL DUMPSTER DESIGNATED FOR RECYCLING MATERIAL ONLY.
 - ASPHALT FROM THE EXISTING PARKING LOT SHALL BE REMOVED AND LEGALLY DISPOSED OFF SITE.
 - REMOVAL OF COMMERCIAL SOLID WASTE SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
 - ANY ITEMS OR MATERIALS ABOVE OR BELOW GRADE INDICATED AS "REMOVE AND DISPOSE" (R&D) SHALL BE REMOVED/DEMOLISHED AND LEGALLY DISPOSED OFF SITE. NO ITEMS OR MATERIALS SHALL BE DISPOSED OR BURIED ON-SITE.
 - ANY DAMAGE TO ITEMS OR MATERIALS BEYOND THE INDICATED LIMIT OF WORK SHALL BE REPLACED/REPAIRED AT THE CONTRACTORS EXPENSE.

- ### EROSION CONTROL NOTES
- EROSION CONTROL MEASURES TO COMPLY WITH THE DETAILS SHOW ON THIS PLAN.
 - ALL BMP EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO DEMOLITION OR ANY SITE WORK.
 - EROSION CONTROL BMPs SHALL CONFORM TO US EPA, NPDES, MA DEP, AND MASSACHUSETTS EROSION AND SEDIMENTATION CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS.
 - MAINTENANCE SPECIFICATIONS FOR ALL PROPOSED EROSION AND SEDIMENTATION CONTROLS.
 - DISTURBANCE OF SOIL SURFACES IS REGULATED BY STATE LAW. ALL WORK SHALL COMPLY WITH THE CRITERIA OUTLINED TO PREVENT OR MINIMIZE SOIL EROSION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR TIMELY INSTALLATION, INSPECTION, REPAIR AND REPLACEMENT OF ALL EROSION CONTROL DEVICES TO ENSURE PROPER OPERATION.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CLEAN ROADS ADJACENT TO THE SITE. CONTROL DUST, AND TAKE WHATEVER MEASURES NECESSARY TO ENSURE THAT ALL ROADS ARE MAINTAINED IN A CLEAN, MUD AND DUST FREE CONDITION AT ALL TIMES.
 - ANY EXISTING OR PROPOSED STORMWATER DRAINAGE STRUCTURES WHICH MAY BE SUBJECT TO SEDIMENTATION SHALL BE PROTECTED WITH SILT SACKS AND/OR CRUSHED STONE FILTER SOCK DEVICES THROUGHOUT THE CONSTRUCTION PERIOD.
 - THE EROSION CONTROL MEASURES SHOWN HEREON SHALL BE CONSIDERED MINIMUM STANDARDS.
 - THE EROSION CONTROL MEASURE DETAILS AND NOTES SHALL BE READ IN CONJUNCTION WITH THIS PLAN.
 - THE CONTRACTOR SHALL KEEP ON SITE, AT ALL TIME EXTRA STRAW WATTLES AND STRAW BALES FOR EMERGENCY INSTALLATION OR FOR INSTALLATION AT THE DIRECTION OF THE OWNER'S REPRESENTATIVE, THE ENGINEER, OR THE CITY OF NEW BEDFORD REPRESENTATIVE.

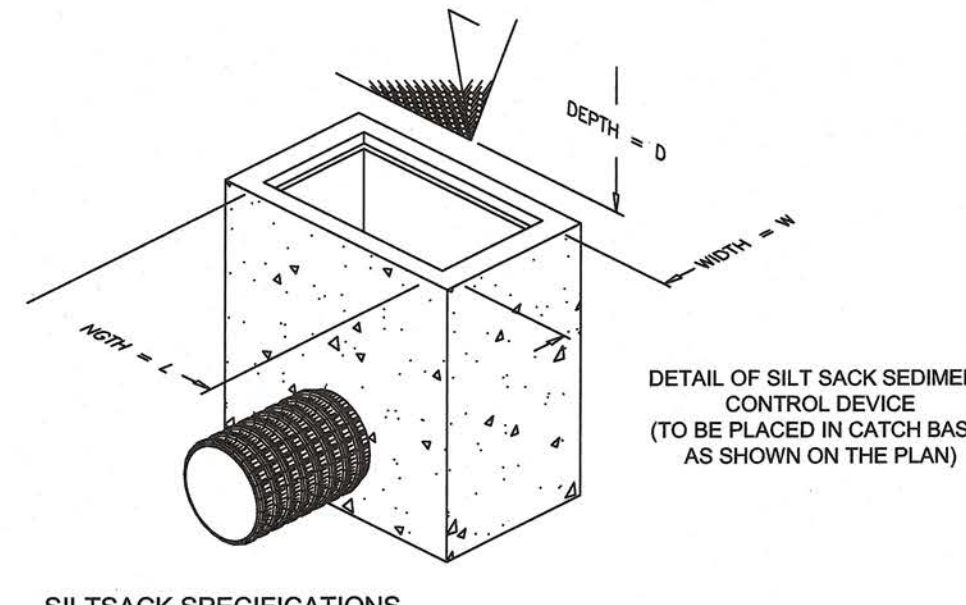


- NOTES
- WATTLES SHALL BE 12\"/>
 - WATTLES SHALL BE INSTALLED PRIOR TO START OF CONSTRUCTION ACTIVITIES AND LEFT IN PLACE TO BIODEGRADE AFTER FINAL STABILIZATION.

STRAW WATTLE EROSION CONTROL BARRIER
NOT TO SCALE **A4**



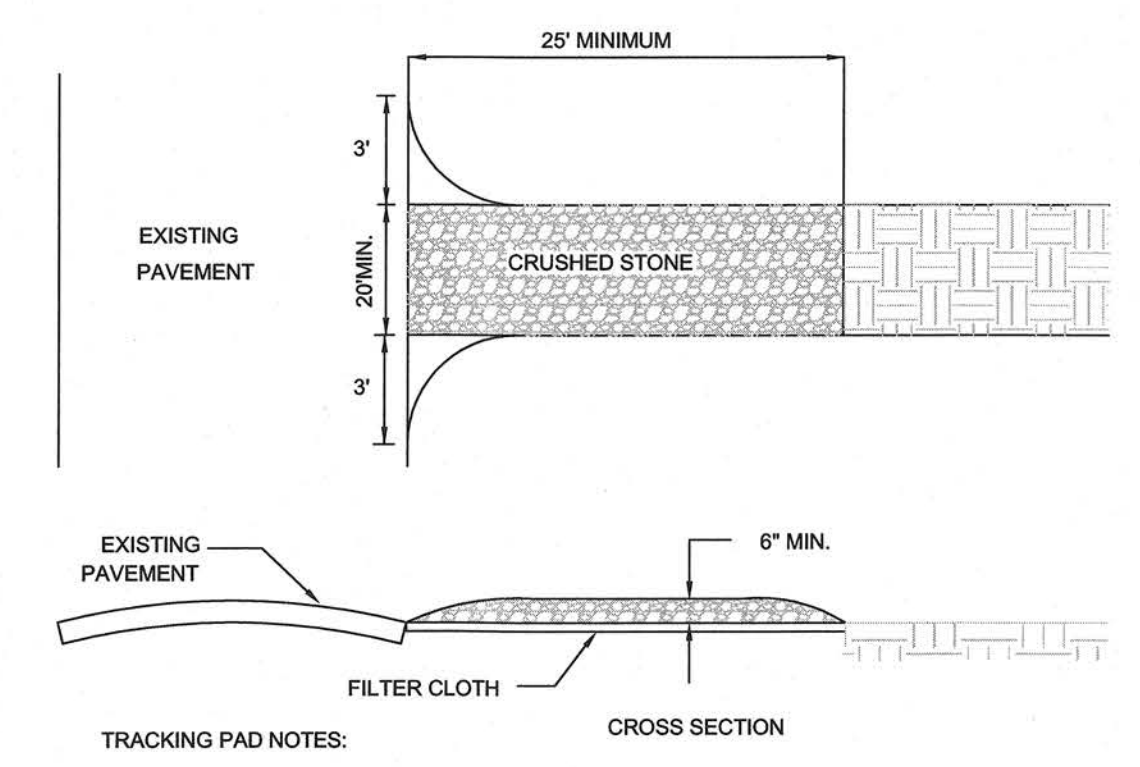
FOR APPROVAL SUBMIT TYPE OF SILT SACK DEPENDING ON THE APPLICATION. THE SILT SACK CAN BE MADE FROM EITHER ONE OF THE ABOVE FABRICS WITH AN OIL-ABSORBANT PILLW INSERT OR, MADE COMPLETELY FROM AN OIL-ABSORBANT SILT SACK, WITH A WOVEN PILLW INSERT.



SILT SACK SPECIFICATIONS
NOTE: THE SILT SACK WILL BE MANUFACTURED FROM A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS.
REGULAR FLOW SILT SACK
(FOR AREAS OF LOW TO MODERATE PRECIPITATION AND RUN-OFF)

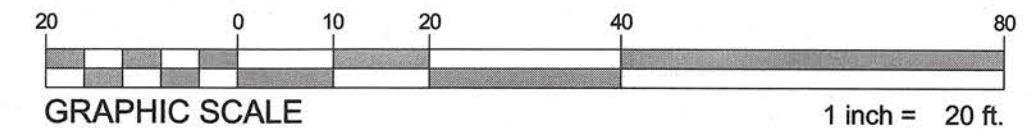
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4832	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4832	20 %
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4365	80 %
APPROXIMATE OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	0.55 SEC-1

SILT SACK INLET PROTECTION DEVICE
NOT TO SCALE **A2**



TRACKING PAD NOTES:
STONE SIZE - USE 2\"/>

CONSTRUCTION ANTI TRACKING PAD
NOT TO SCALE **A3**



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1	10/23/2016	PLANNING BOARD DECISION (9/22/2016)

ISSUE TYPE:
FOR PERMIT

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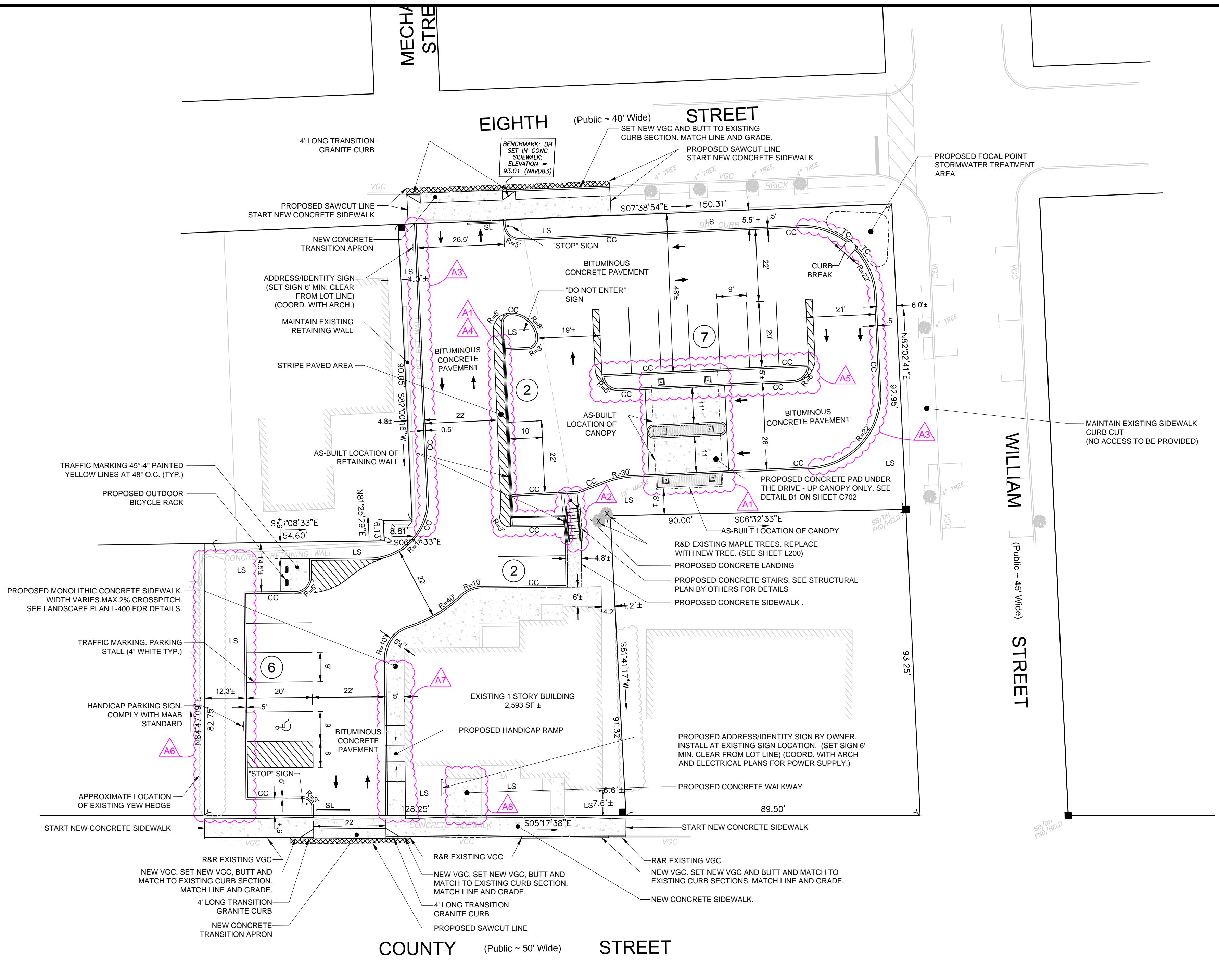
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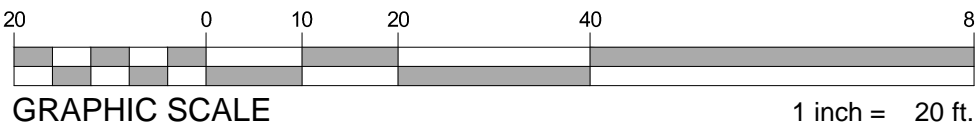
SHEET TITLE:
SITE PREPARATION, DEMOLITION & EROSION CONTROL PLAN

SHEET NUMBER:
C200



SYMBOL LEGEND	
CC	CONCRETE CURB
VGC	VERTICAL GRANITE CURB
R=10'	CURB RADIUS
LS	LANDSCAPE AREA
	HANDICAP PARKING STALL/MARKING
	PROPOSED PARKING STALLS
	PROPOSED SIGN (SEE PLAN FOR TYPE)
	PROPOSED CONCRETE SIDEWALK / CONCRETE PAD
	PROPOSED OUTDOOR BIKE RACK
TC	TRANSITION CURB
	TRAFFIC MARKING DIRECTIONAL ARROW (WHITE)
SL	TRAFFIC MARKING STOP LINE (12" WHITE)
	PROPOSED SAWCUT AND PAVEMENT PATCH AREA
	PROPOSED ADDRESS/IDENTITY SIGN LOCATION
R&R	REMOVE AND RESET

- NOTES:
- ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED
 - ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
 - ALL HANDICAP PARKING, RAMPS, AND ACCESS SHALL CONFORM TO AAB & MAAB REQUIREMENTS.
 - ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO THE CITY OF NEW BEDFORD CONSERVATION COMMISSION.
 - ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD (THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) REQUIREMENTS.
 - SEE ARCHITECTURAL PLANS FOR ATM CANOPY AND ISLAND DESIGN.
 - DRIVEWAYS AND SIDEWALKS TO BE BUILT IN ACCORDANCE WITH THE CITY OF NEW BEDFORD REGULATIONS.
 - SEE SHEET L400 "SIDEWALK PAVING PATTERNS" FOR SIDEWALK PAVING DETAILS, AND IRRIGATION CONDUIT LOCATIONS.



REV	DATE	DESCRIPTION
1	5/31/2017	SITE PLAN REVISIONS

ISSUE TYPE:
FOR CONSTRUCTION

ISSUE DATE:
11/22/2016

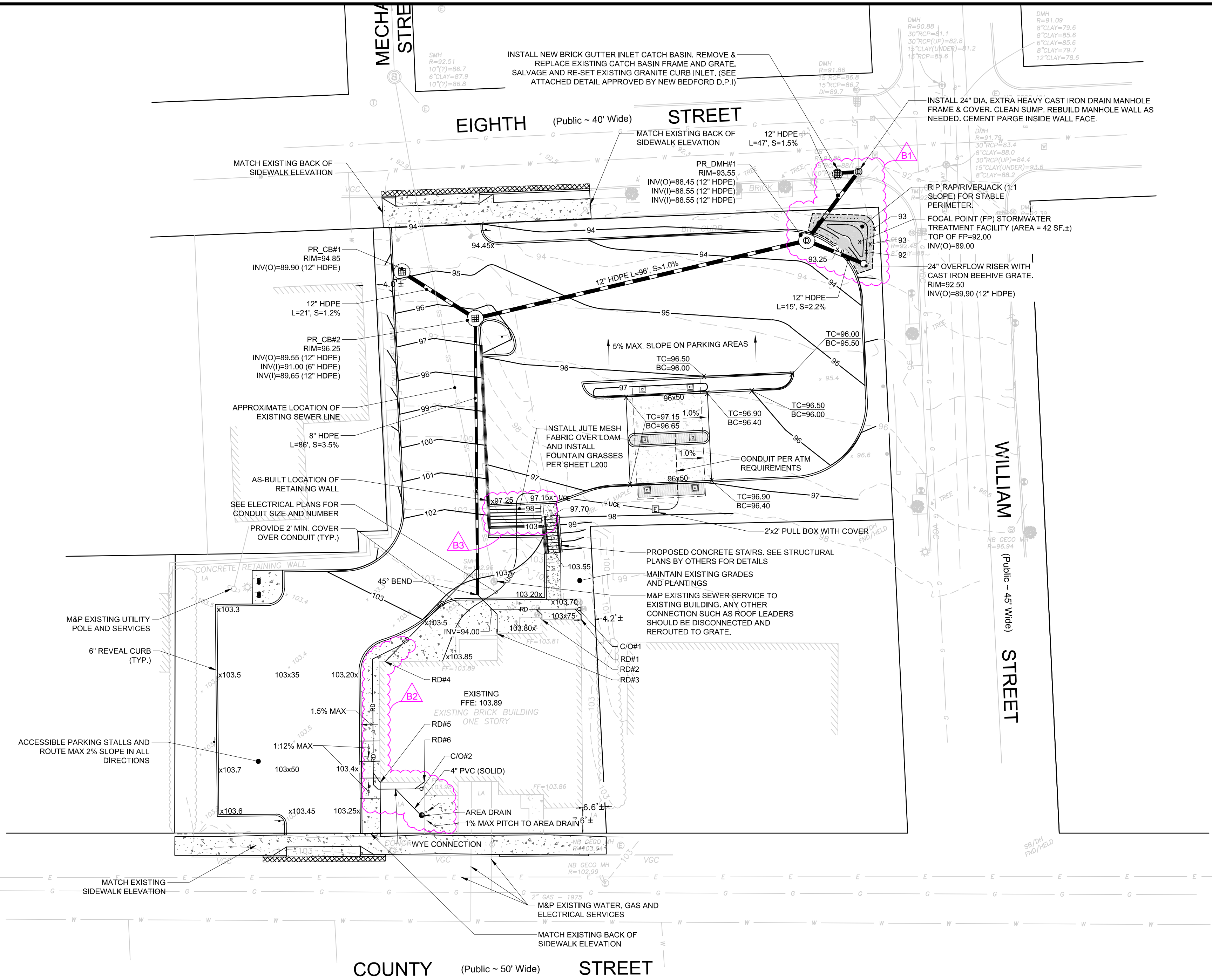
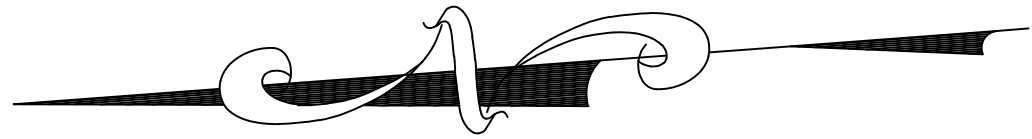
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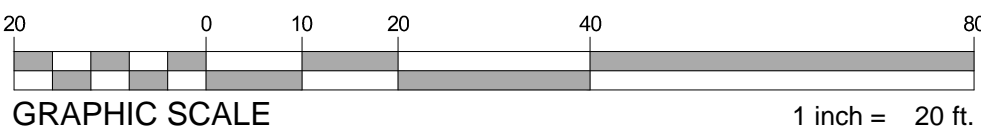
SHEET TITLE:

**LAYOUT &
MATERIALS PLAN**



SYMBOL LEGEND	
M&P	MAINTAIN AND PROTECT
C/O	PROPOSED CLEANOUT
101	PROPOSED ELEVATION CONTOUR
96x5	PROPOSED SPOT ELEVATION
	PROPOSED HDPE PIPE
⊙	PROPOSED DRAIN MANHOLE
⊕	PROPOSED CATCH BASIN
⊙	PROPOSED RAIN GUARDIAN (TURRET)
○	PROPOSED BEEHIVE OVERFLOW
○	PROPOSED ROOF DRAIN
TW=103.5 BW=98.2	PROPOSED TOP OF WALL / BOTTOM OF WALL ELEVATION
E	2x2 ELECTRIC PULL BOX (DEPTH AS REQUIRED FOR CONDUIT COVER)

- NOTES:
- THE CONTRACTOR SHALL OBTAIN A STREET DISTURBANCE & OBSTRUCTION PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE RIGHT-OF-WAY
 - ALL WATER SEWER, AND DRAINAGE MATERIALS AND CONSTRUCTION METHOD SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
 - ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BYT THE CITY OF NEW BEDFORD BEFORE BEING BACKFILLED.
 - THE CITY SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE REQUIRED INSPECTIONS.
 - EXISTING WATER AND SEWER SERVICES TO EXISTING BUILDING TO BE MAINTAINED.
 - SEE LANDSCAPE PLAN FOR PLANTINGS, PEDESTRIAN PAVEMENTS AND LIGHTING.
 - MAINTAIN & PROTECT EXISTING ROOF DRAINS UNLESS OTHERWISE NOTED.
 - OFF SITE PAVEMENT PATCHING SHALL CONFORM TO THE CITY OF NEW BEDFORD STANDARDS, AND BE INSPECTED FOR APPROVAL.



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OWNER/APPLICANT: SOUTH COAST REAL ESTATE HOLDINGS, LLC
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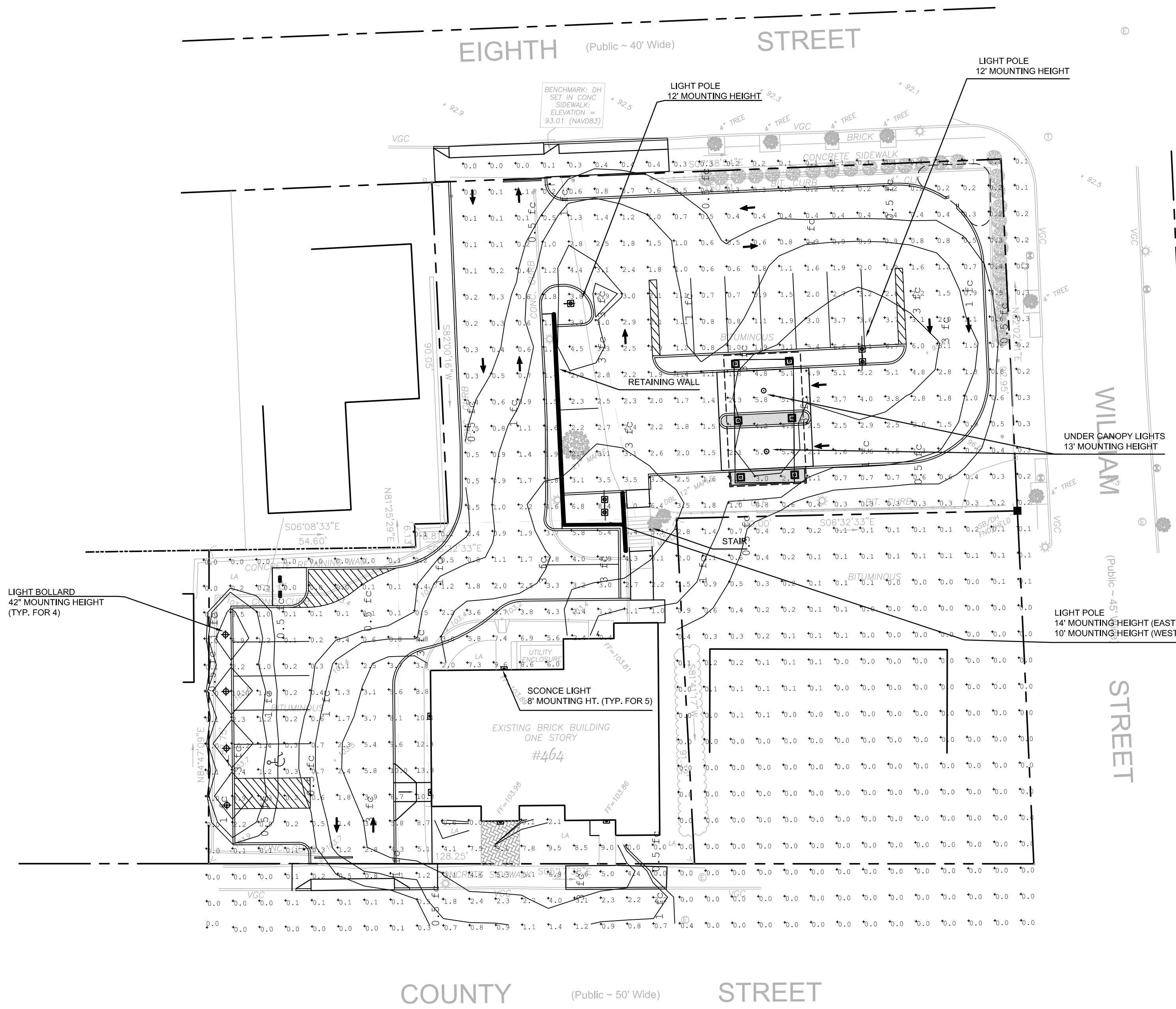
REV	DATE	DESCRIPTION
1	5/31/2017	SITE PLAN REVISIONS

ISSUE TYPE:
FOR CONSTRUCTION
ISSUE DATE:
11/22/2016
PROJECT NUMBER:
16022

DRAWN BY: AK
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SHEET TITLE:
GRADING,
DRAINAGE &
UTILITY PLAN

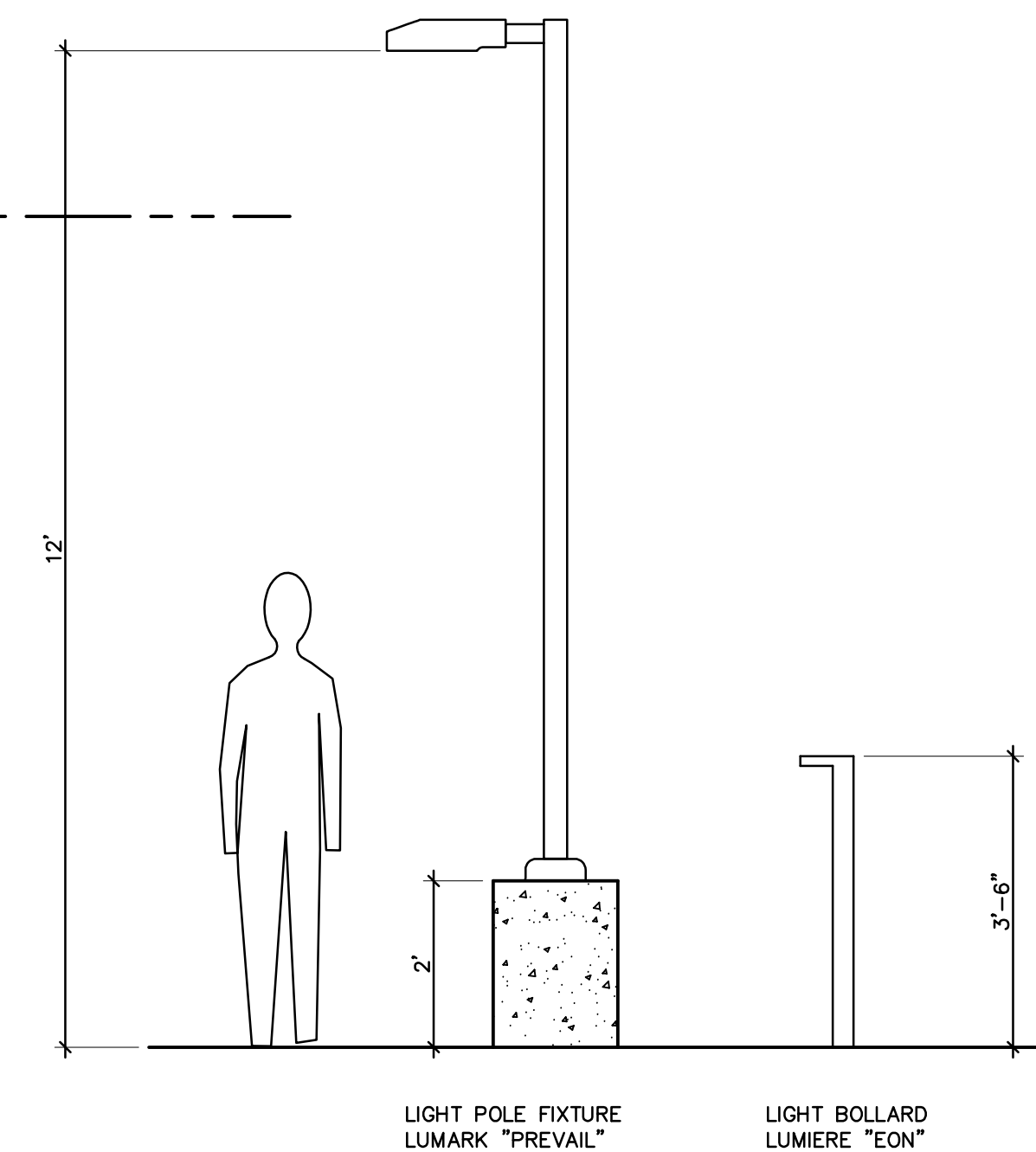
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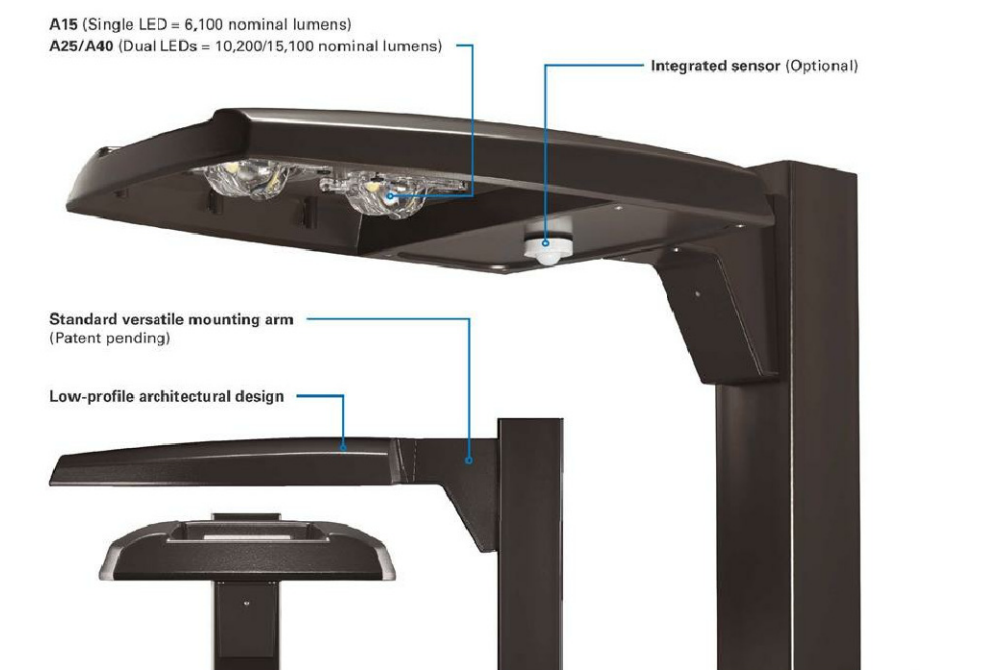
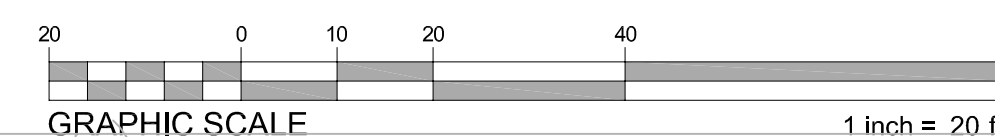
NOTE:
THE CONTRACTOR SHALL INSTALL LIGHTING CONTROLS INCLUDING A CLOCK AND DIMMER THAT WILL ALLOW THE OWNER TO CONTROL THE LIGHTING LEVELS OF THE THREE POLE-MOUNTED LIGHTS. SURFACE LIGHTING LEVELS AS SHOWN ON THIS PLAN ARE ALLOWED DURING STORE OPERATING HOURS.

FOR SAFETY AND SECURITY, AN AVERAGE SURFACE LIGHTING LEVEL OF 0.5 FOOTCANDLES SHALL BE MAINTAINED DURING HOURS THE BANK BRANCH STORE IS CLOSED.

ALL LIGHTING FIXTURES TO BE DARK SKY COMPLIANT.



SITE LIGHTING FIXTURES
SCALE: 1/2"=1'-0"



LIGHT POLE
LUMARK "PREVAIL"



GWC GALLEON
WALL AND
PEDESTRIAN
LUMINAIRE



LIGHT BOLLARD
LUMIERE "EON"



REV	DATE	DESCRIPTION
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ISSUE TYPE:
FOR PERMIT
ISSUE DATE:
08/11/2016
PROJECT NUMBER:
16022

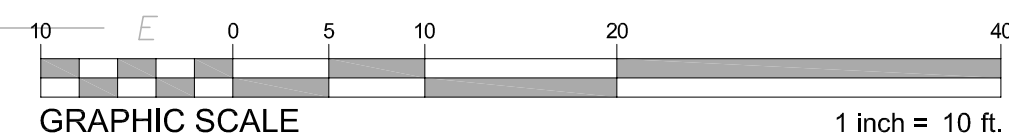
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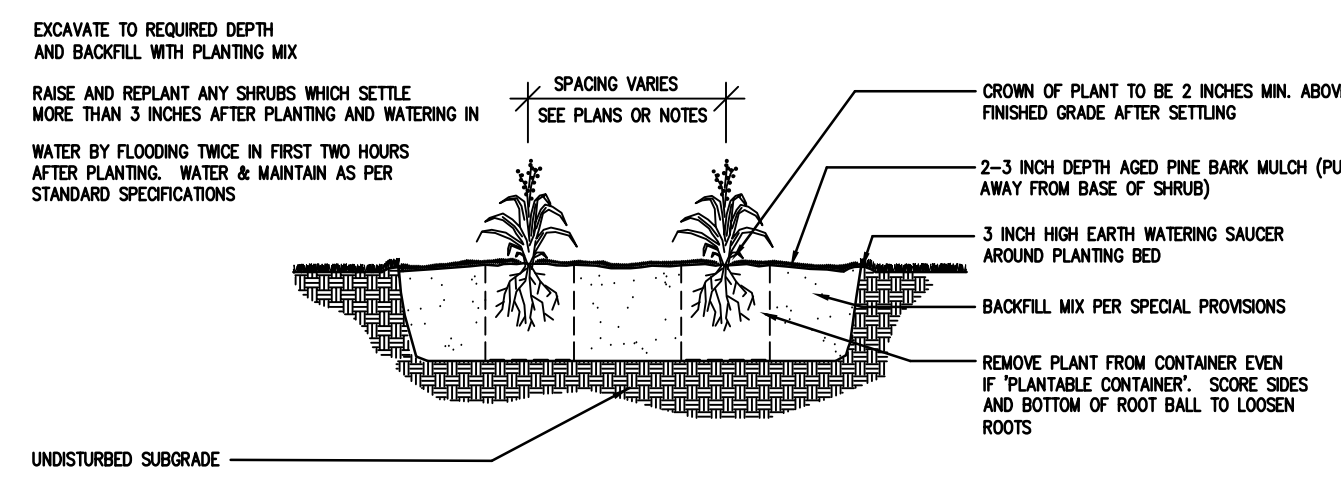
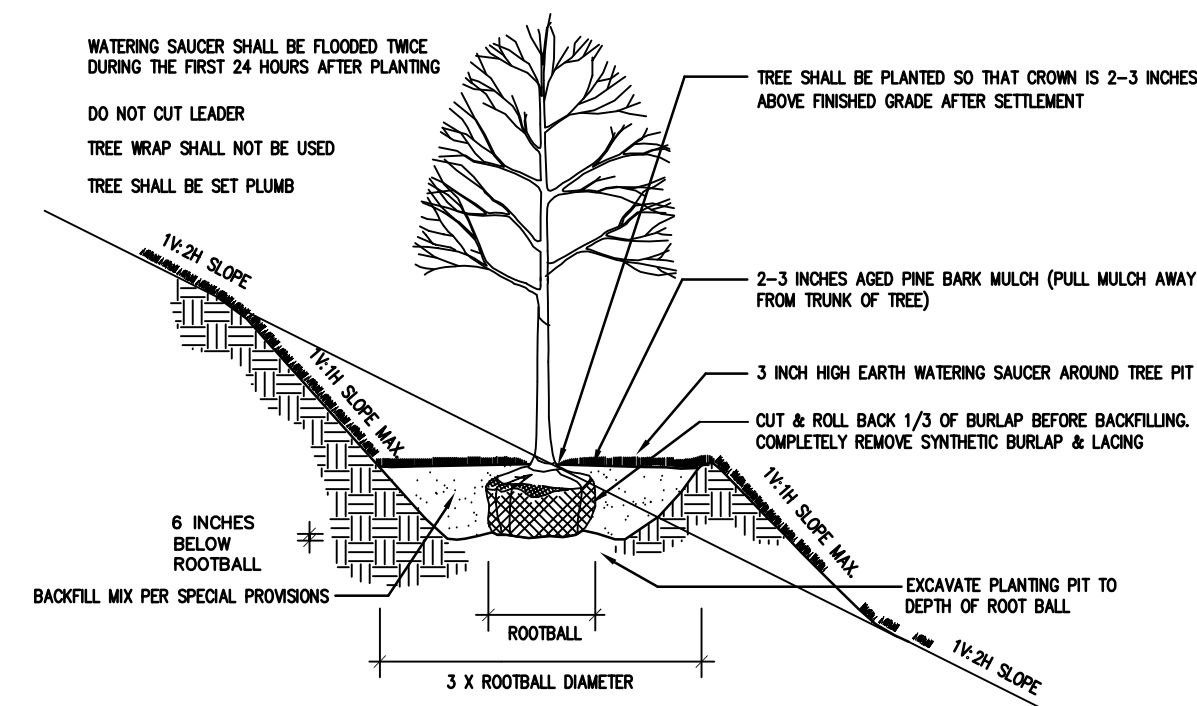
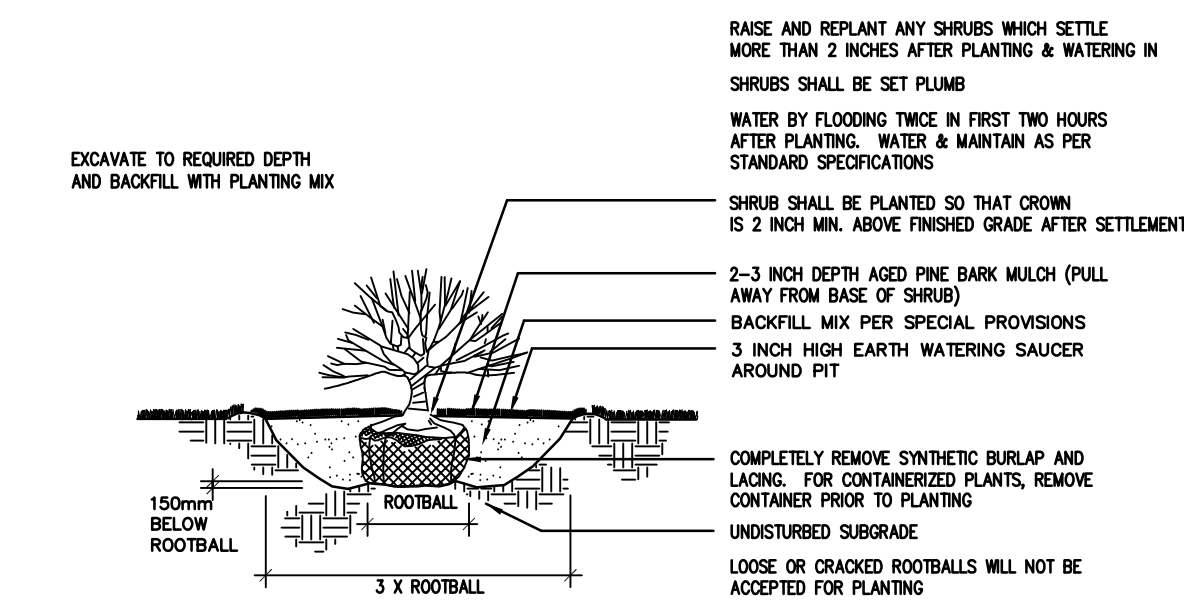
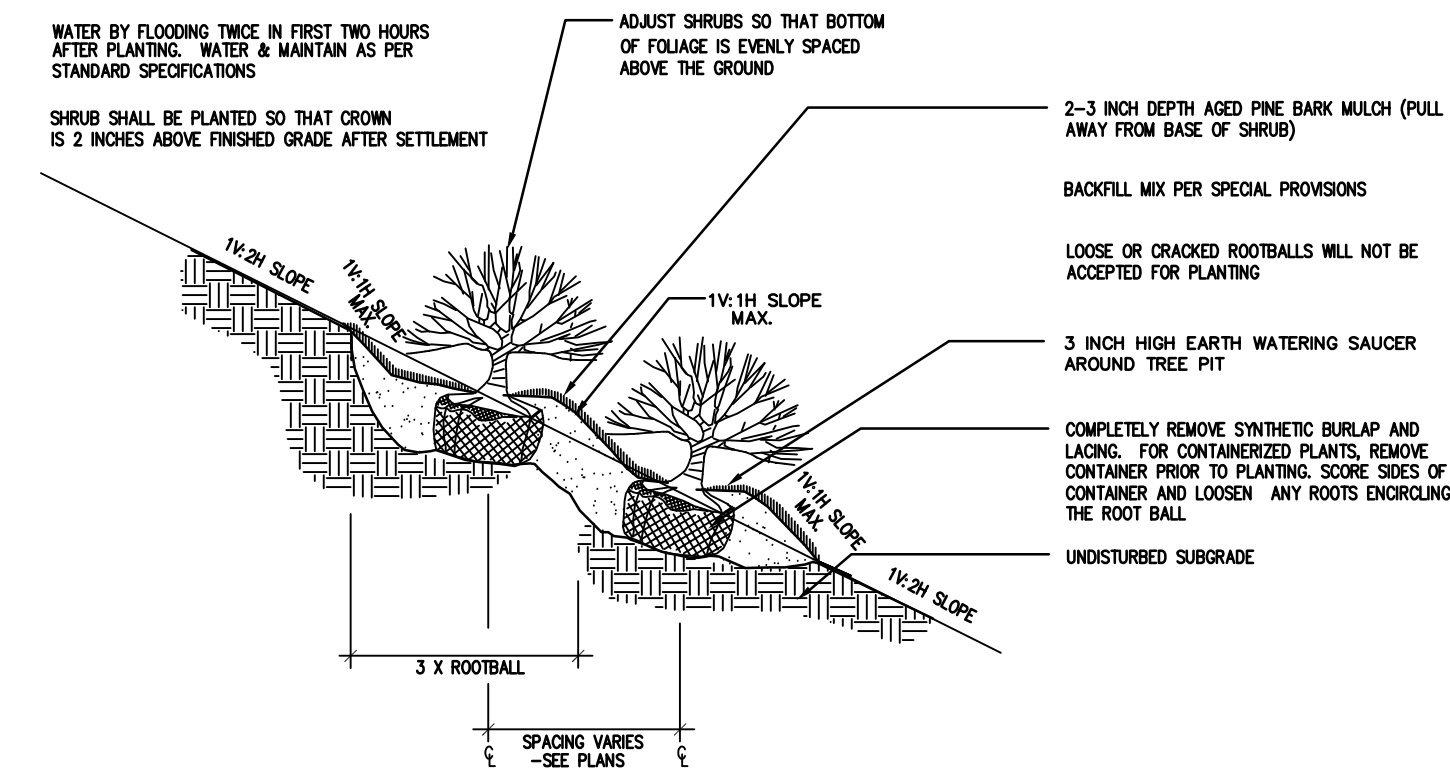
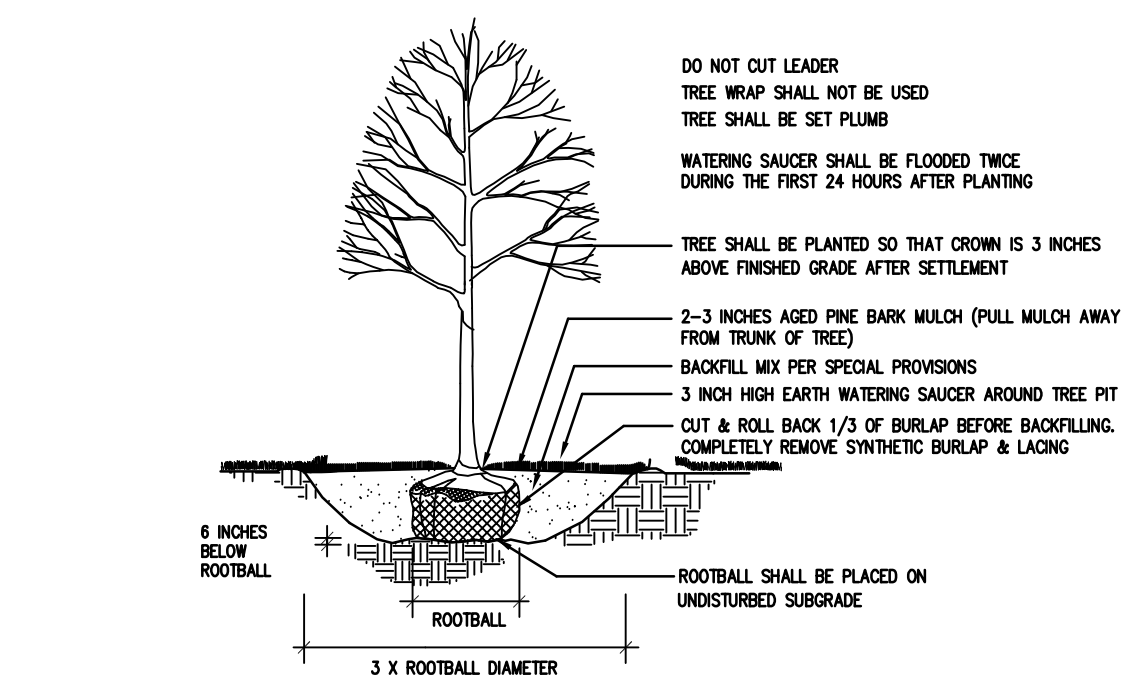
SHEET TITLE:

LIGHTING PLAN

SHEET NUMBER:

L100





PLANTING NOTES

1. FURNISH AND INSTALL PLANTS AS SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR QUANTITY OF SHRUBS GRAPHICALLY SHOWN ON PLANS. IF THERE IS A DISCREPANCY BETWEEN PLANT LIST QUANTITIES AND GRAPHICS, THE GRAPHIC SHALL TAKE PRECEDENCE.
2. PRIOR TO THE START OF EXCAVATION FOR THE PROJECT BOTH ON AND OF THE SITE, THE CONTRACTOR SHALL NOTIFY DISGAS AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES.
3. CONTRACTOR SHALL BEGIN 90 DAY MAINTENANCE PERIOD IMMEDIATELY UPON PLANTING AND WILL CONTINUE UNTIL FINAL ACCEPTANCE.
4. CONTRACTOR SHALL VERIFY TREE REMOVALS WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION START.
5. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATIONS, STRUCTURES, AND PLANTING BEDS.
6. CONTRACTOR SHALL MAINTAIN DISTURBED AREAS SHALL BE REVEGETATED WITH SEED OR PLANTS, UNLESS OTHERWISE NOTED.
7. PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS TO ORIGINAL GRADES BEFORE DIGGING.
8. PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY "THE AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN.
9. PLANTS TO BE BALLED IN BURLAP OR CONTAINERIZED.
10. MUCH FOR PLANTED AREAS TO BE AGED PINK BARK: PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
11. PLANTING SOIL MIX: LOAM THOROUGHLY INCORPORATED WITH ROTTED MANURE PROPORTIONED 5 C.Y. TO 1 C.Y. OR EQUIVALENT. USE OF PEAT MOSS IS PROHIBITED.
12. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE. REQUEST THE LANDSCAPE ARCHITECT PROVIDE A WRITTEN LETTER OF ACCEPTANCE UPON COMPLETION OF EACH PHASE.
13. PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT, AT THE NURSERY, AND AT THE SITE.
14. THE LANDSCAPE ARCHITECT TO FLAG TO BE REMOVED TREES TO BE REMOVED.
15. AREAS OF THE SITE WHICH HAVE BEEN DISTURBED AND NOT OTHERWISE DEVELOPED SHALL BE LOAMED WITH TOPSOIL TO A MINIMUM DEPTH OF 6", AND SEEDED WITH A MIX CONSISTING OF 40% PERENNIAL RYE GRASS; 30% CHEWINGS FESCUE; 30% KENTUCKY BLUEGRASS.
16. SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS OR OTHER STRUCTURES, THE EXISTING CONDITION WILL BE REMOVED ABANDONED AND/OR RELOCATED OR OTHERWISE AS REQUIRED.
17. PROVIDE AUTOMATIC IRRIGATION SYSTEM FOR PLANTINGS AND LAWN AREAS UNLESS OTHERWISE NOTED. SUBMIT DESIGN PLANS AND PRODUCT LITERATURE PER THE SPECIFICATIONS.
18. THERE SHALL BE NO SUBSTITUTION OF PLANT SPECIES WITHOUT AUTHORIZATION BY THE LANDSCAPE ARCHITECT.
19. PLANTS SHALL BE INSTALLED BEFORE ACCEPTANCE OF ROUGH GRADING.
20. PLANTS TO BE THOROUGHLY WATERED AFTER INSTALLATION, AT LEAST TWICE WITHIN THE FIRST 24 HOURS.

HIGHPOINT ENGINEERING, INC.
CANTON CORPORATE PLACE
15 DAN ROAD, SUITE 140 | CANTON, MA 02021
t 781.770.0970 | www.highpointeng.com

CLIENT:



200 MILL ROAD | SUITE 100
FAIRHAVEN, MA 02719

CONSULTANT:

REAL



FIRST CITIZENS' FEDERAL CREDIT UNION

464-466 COUNTY STREET AND NW WILLIAM & EIGHTH STREET
NEW BEDFORD, MA 02740

NEW BEDFORD, MA 02740

MAP & LOT NUMBERS: 52-176 & 52-178

OWNER/APPLICANT: SOUTH COAST REAL ESTATE HOLDINGS, LLC

A SUBSIDIARY OF FIRST CITIZENS' FEDERAL CREDIT UNION

[illegible]

NO	DATE	DESCRIPTION
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ISSUE TYPE:
FOR PERMIT
ISSUE DATE:
08/11/2016
PROJECT NUMBER:
16022

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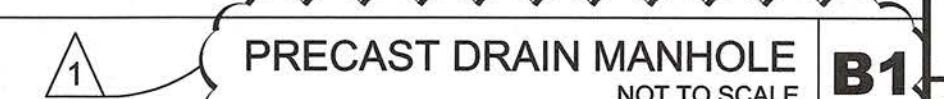
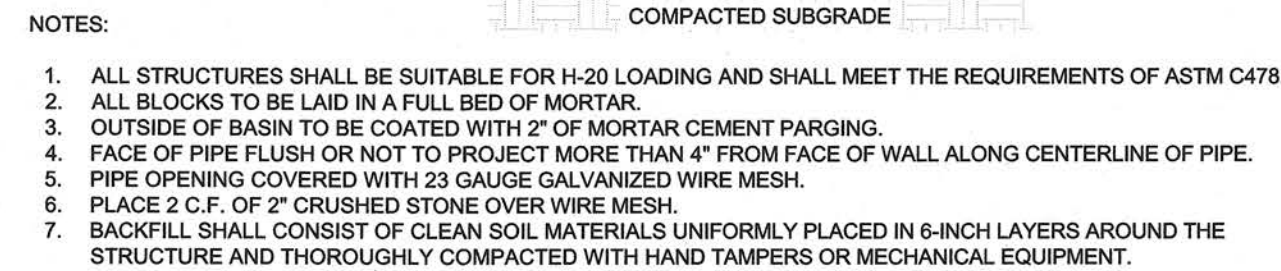
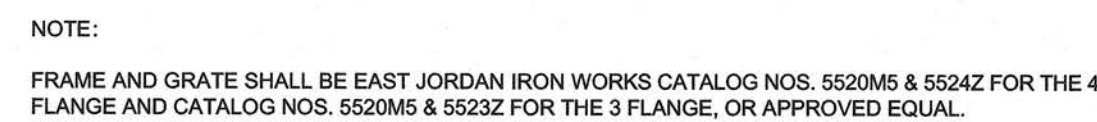
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SHEET TITLE:

LANDSCAPE DETAILS

SHEET NUMBER:

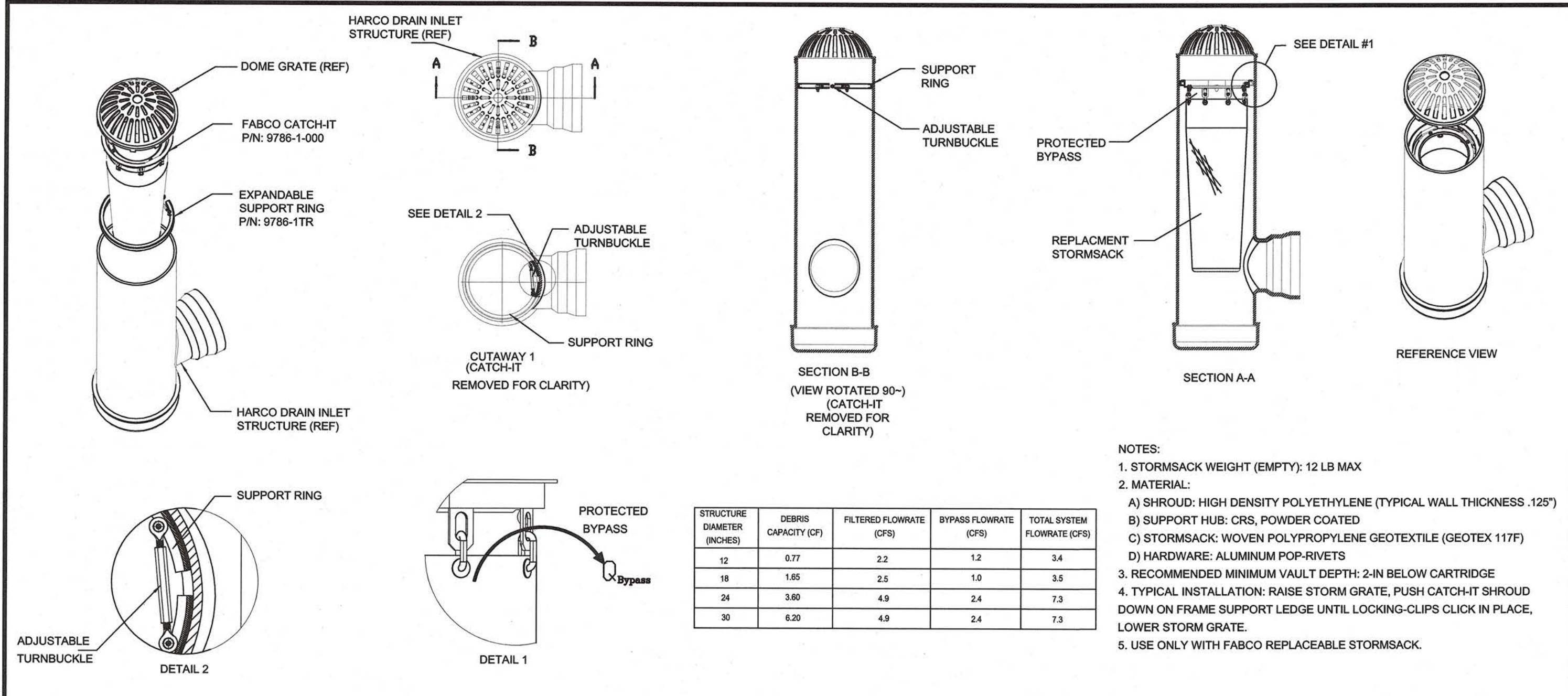
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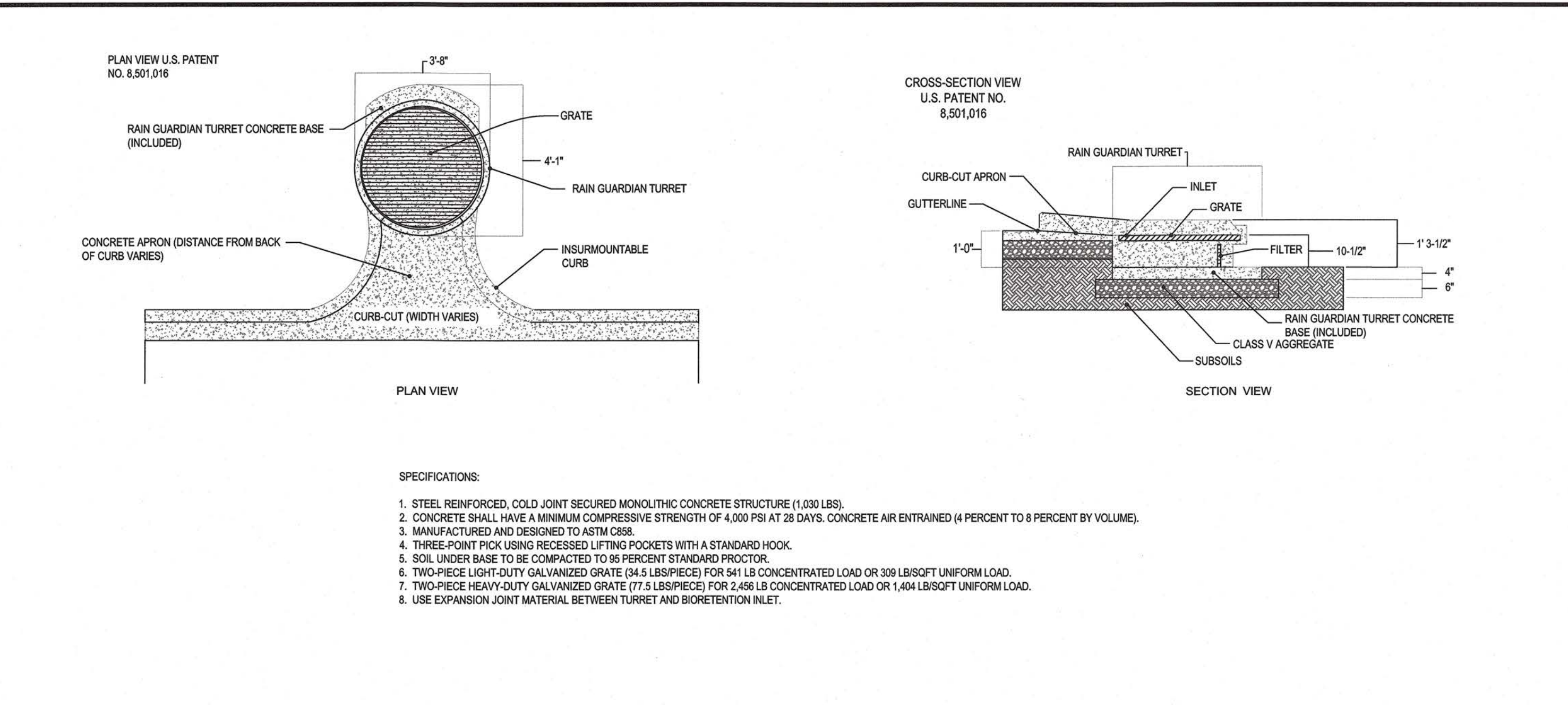
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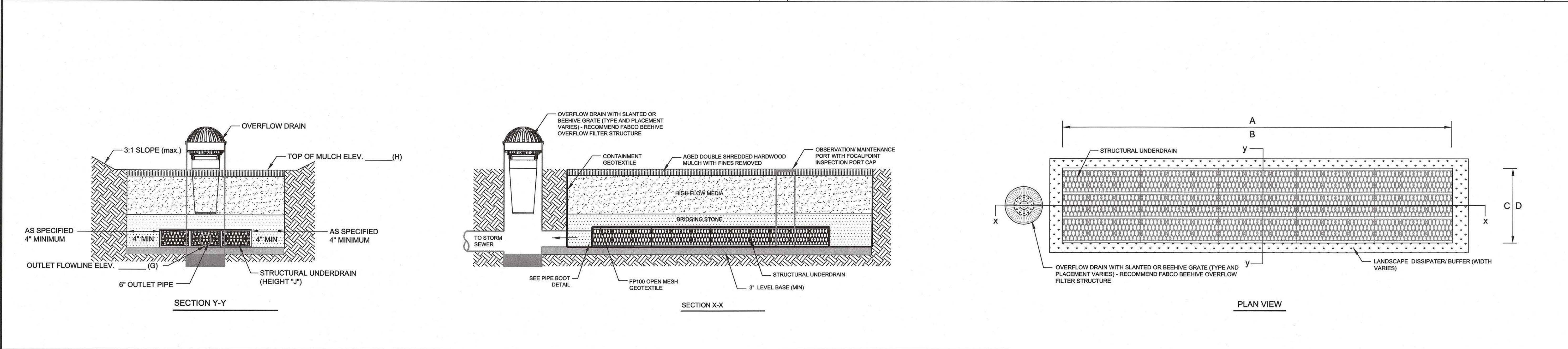
BEEHIVE OVERFLOW DETAIL
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C3



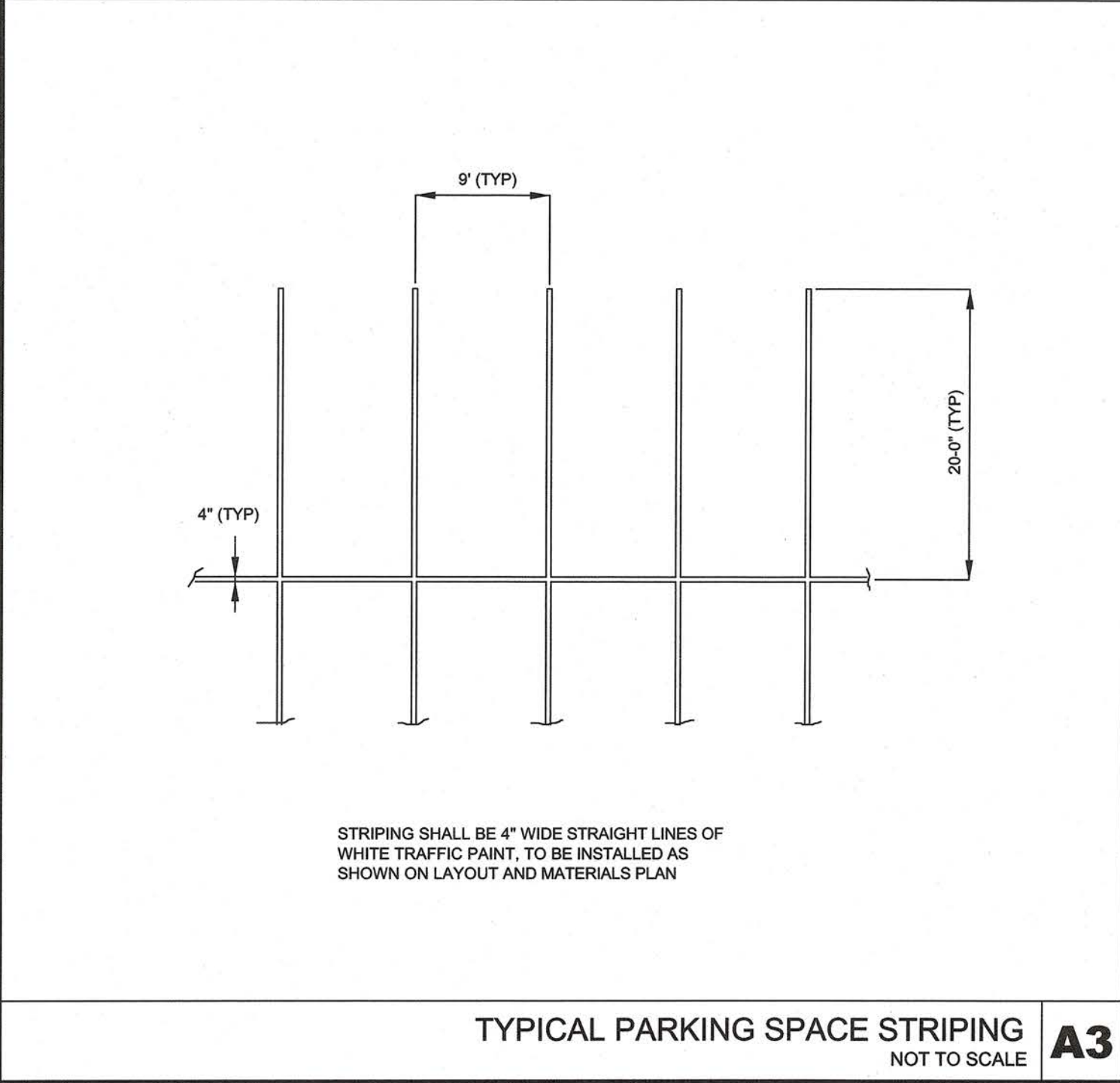
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NOT TO SCALE

C1



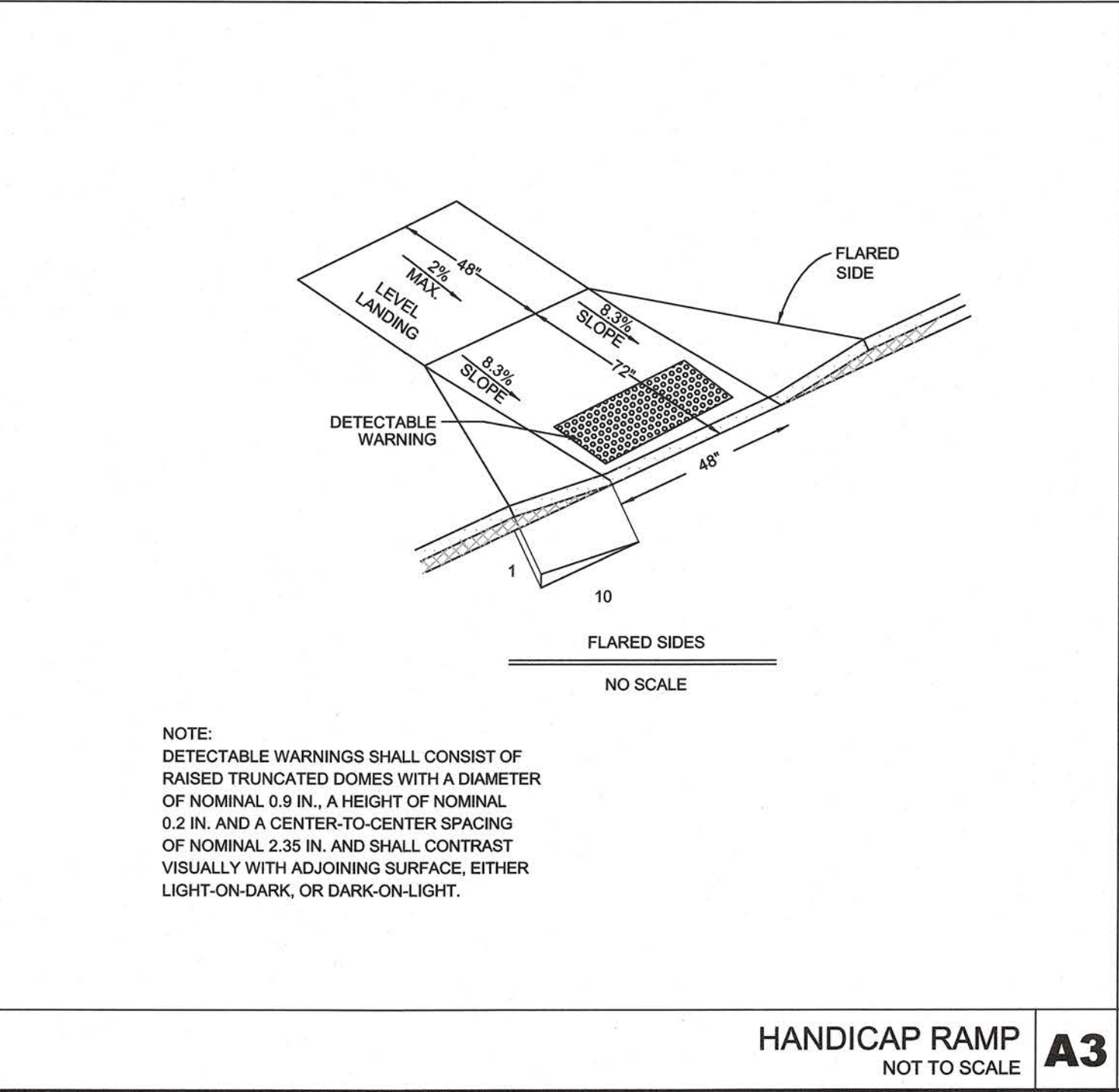
FOCAL POINT STORMWATER TREATMENT FACILITY
NOT TO SCALE

B1



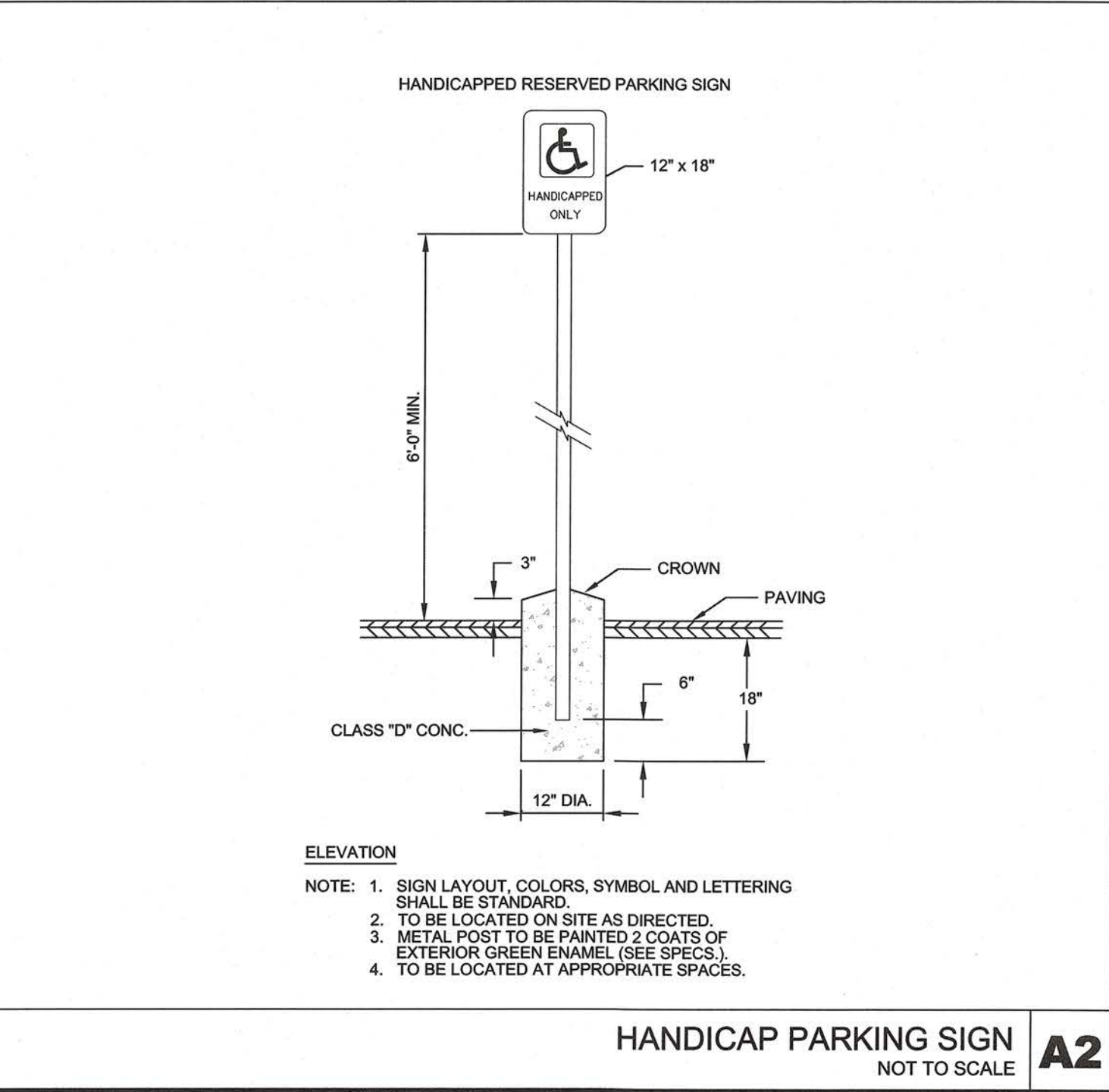
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A3



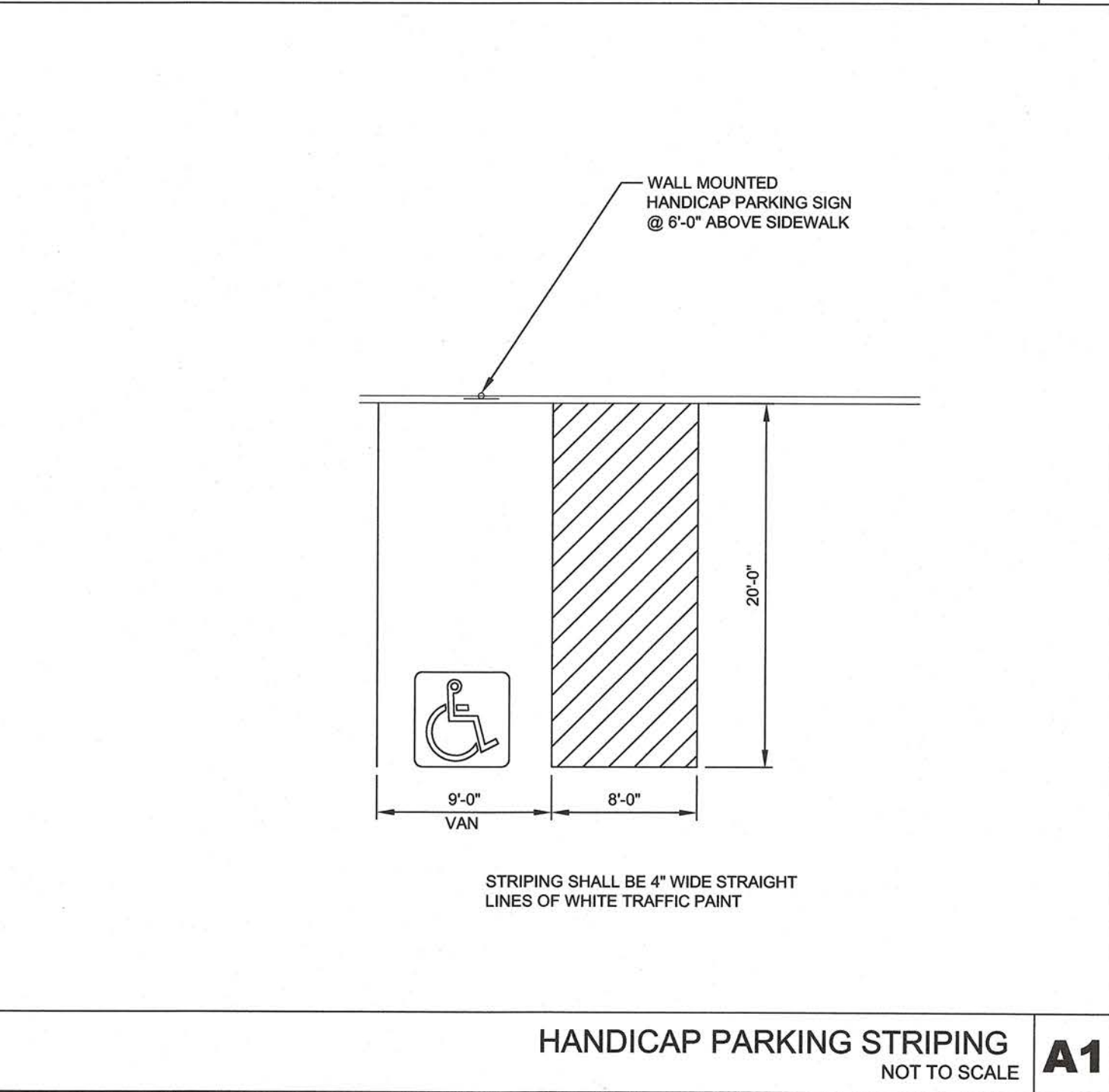
HANDICAP RAMP
NOT TO SCALE

A3



HANDICAP PARKING SIGN
NOT TO SCALE

A2



HANDICAP PARKING STRIPING
NOT TO SCALE

A1

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HIGHPOINT ENGINEERING, INC.
CANTON CORPORATE PLACE
45 DAN ROAD, SUITE 140 | CANTON, MA 02021
t 781.770.0970 | www.highpointeng.com

CLIENT:
FIRST CITIZENS' FEDERAL CREDIT UNION
Think First.
200 MILL ROAD | SUITE 100
FAIRHAVEN, MA 02719

CONSULTANT:

SEAL
DOUGLAS J. HARTNETT
CIVIL
No. 3798
MASSACHUSETTS
REGISTERED PROFESSIONAL ENGINEER
15-25-2016

FIRST CITIZENS' FEDERAL CREDIT UNION
464-466 COUNTY STREET AND NW WILLIAM & EIGHTH STREET
NEW BEDFORD, MA 02740
MAP & LOT NUMBERS: 52-176 & 52-178
OWNER/APPLICANT: SOUTH COAST REAL ESTATE HOLDINGS, LLC
A SUBSIDIARY OF FIRST CITIZENS' FEDERAL CREDIT UNION

1 10/25/2016 PLANNING BOARD DECISION (9/22/2016)

REV	DATE	DESCRIPTION
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ISSUE TYPE:
FOR PERMIT
ISSUE DATE:
08/11/2016
PROJECT NUMBER:
16022

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SHEET TITLE:
SITE DETAILS

SHEET NUMBER:
C701



FIRST CITIZENS' FEDERAL CREDIT UNION

464-466 COUNTY STREET AND NW WILLIAM & EIGHTH STREET
NEW BEDFORD, MA 02740
MAP & LOT NUMBERS: 52-176 & 52-178
OWNER/APPLICANT: SOUTH COAST REAL ESTATE HOLDINGS, LLC
A SUBSIDIARY OF FIRST CITIZENS' FEDERAL CREDIT UNION

[illegible]

10/25/2016	PLANNING BOARD DECISION (9/22/2016)
EV	DATE DESCRIPTION

ISSUE TYPE:
FOR PERMIT

ISSUE DATE:
08/11/2016

PROJECT NUMBER:
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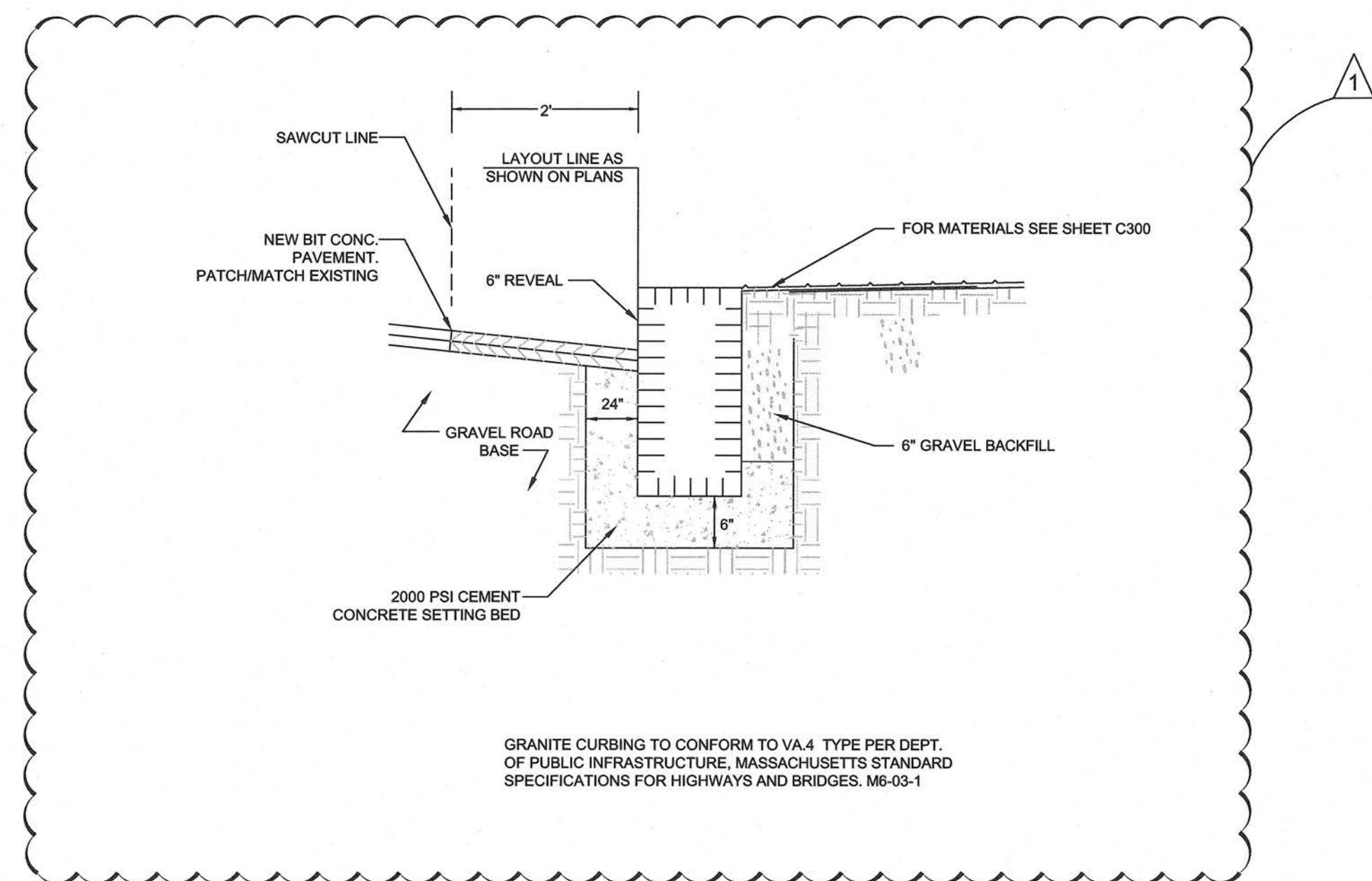
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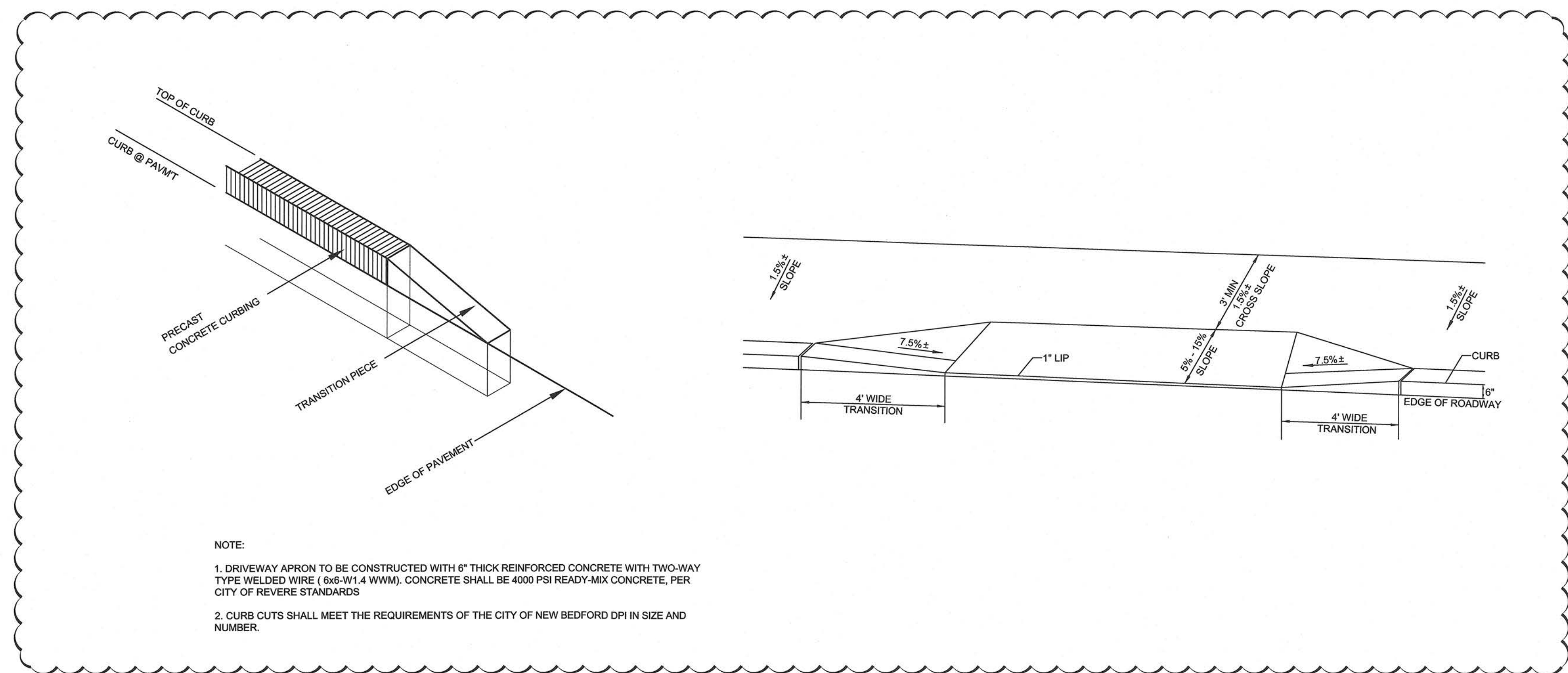
SITE DETAILS

SHEET NUMBER: _____

C702



VERTICAL GRANITE CURB
NOT TO SCALE



DRIVEWAY TRANSITION APRON & CURB TRANSITION
NOT TO SCALE **A1**