

Bristol County Savings Bank

72 NORTH WATER STREET

NEW BEDFORD, MASSACHUSETTS

SITE SUMMARY

ASSESSORS MAP 53 LOTS 68, 291 & 295
ZONING DISTRICT: MIXED USE BUSINESS
PROPOSED USE: OFFICE/RESTAURANT/
BANK WITH DRIVE-UP ATM
DEED REFERENCE: BOOK 11718, PAGE 201

ZONING REQUIREMENTS TABLE

	REQUIRED	PROPOSED
LOT AREA		45,813 SF (100% UPLAND)
LOT FRONTAGE	0'	254.22' (NORTH WATER STREET) 323.69' (ROUTE 18) 228.27' (RODMAN STREET)
FRONT SETBACK (BLDG.)	0'	0'
SIDE SETBACK (BLDG.)	0'	2'
REAR SETBACK (BLDG.)	10'	40'
FRONT SETBACK (PARKING)	0'	10'
SIDE SETBACK (PARKING)	0'	5'
REAR SETBACK (PARKING)	0'	2'
BUILDING HEIGHT	100'	50'
LOT COVERAGE		10%
GREEN SPACE	0	17%
SCREENING BUFFERS	N/A	N/A
OFF STREET PARKING		



LOCUS MAP

SCALE: 1"=200'±

PLAN INDEX

SHEET NO.	TITLE	DATE	REVISED
—	COVER SHEET	FEBRUARY 07, 2017	JUNE 06, 2017
1 OF 7	SITE LAYOUT	FEBRUARY 07, 2017	JUNE 06, 2017
2 OF 7	LOCUS MAP	FEBRUARY 07, 2017	JUNE 06, 2017
3 OF 7	SITE GRADING	FEBRUARY 07, 2017	JUNE 06, 2017
4 OF 7	LANDSCAPE DESIGN	FEBRUARY 07, 2017	JUNE 06, 2017
5 OF 7	EXISTING CONDITIONS	FEBRUARY 07, 2017	JUNE 06, 2017
6 OF 7	DEMOLITION/EROSION CONTROL	FEBRUARY 07, 2017	JUNE 06, 2017
7 OF 7	DETAIL SHEET	FEBRUARY 07, 2017	JUNE 06, 2017
—	DRIVE THRU PLAN & ELEVATIONS	JANUARY 03, 2017	JUNE 06, 2017

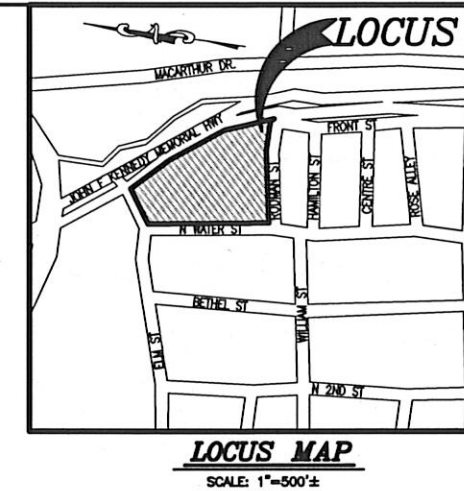
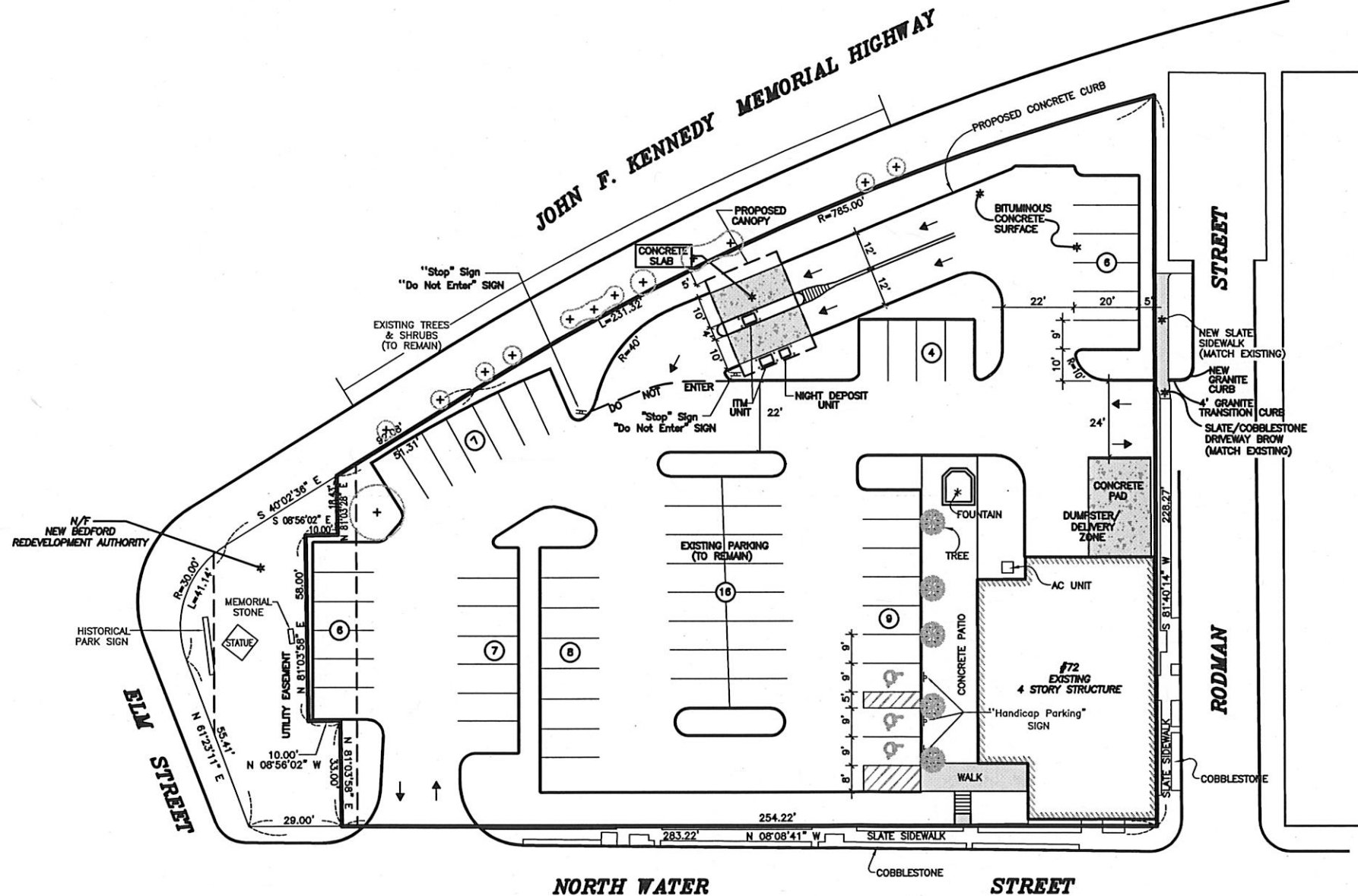
OWNER:
NEW BEDFORD, INC.
29 HUTTLESTON AVENUE
FAIRHAVEN, MA 02719

APPLICANT:
BRISTOL COUNTY SAVINGS BANK
29 BROADWAY
TAUNTON, MA 02780

DATE: FEBRUARY 07, 2017

PLANNING
JUN 09 2017
DEPARTMENT

SITEC
Civil and Environmental Engineering
Land Use Planning
449 Fauce Corner Road
Dartmouth, MA 02747
(508) 998-2125
FAX (508) 998-7554
WWW.SITEC-ENGINEERING.COM
ACAD NO. 16-6511 LOCUS MAP.DWG



SITE SUMMARY

ASSESSORS MAP 53 LOTS 68, 291 & 295
 ZONING DISTRICT: MIXED USE BUSINESS
 OVERLAY DISTRICT: BEDFORD LANDING HISTORIC DISTRICT
 PARCEL AREA: 45,813 SF
 EXISTING USE: MIXED USE (RESTAURANT/OFFICES)
 PROPOSED USE: MIXED USE (RESTAURANT/BANK/OFFICES)

BUILDING/PARKING SUMMARY

RESTAURANT: 4,135 SF x 1 SPACE / 200 SF = 21 SPACES
 BANK: 3,280 SF x 1 SPACE / 200 SF = 16 SPACES
 OFFICE: 6,560 SF x 1 SPACE / 200 SF = 33 SPACES
 PARKING REQUIRED = 70 SPACES
 PARKING PROPOSED = 63 SPACES

ADA COMPLIANT SPACES REQUIRED = 3 SPACES
 ADA COMPLIANT SPACES PROVIDED = 3 SPACES

OWNER: NEW BEDFORD, INC
 29 HUTTLESTON AVENUE
 FAIRHAVEN, MA 02719

DEED REFERENCE: BOOK 11718, PAGE 201
 PLAN REFERENCE: BOOK 172, PAGE 4

Revision	Description	Date	No.
1	JUNE 08, 2017	PLANNING BOARD/DPT REVISIONS	500

1"=20'	DATE: FEBRUARY 07, 2016	DESIGNER: KJ	CHECKER: SDG	APPROVER: SDG	DRAWING NUMBER: SL-1
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PROJECT: BRISTOL COUNTY SAVINGS BANK 72 NORTH WATER STREET NEW BEDFORD, MASSACHUSETTS	CLIENT: BRISTOL COUNTY SAVINGS BANK	DRAWING TITLE: SITE LAYOUT
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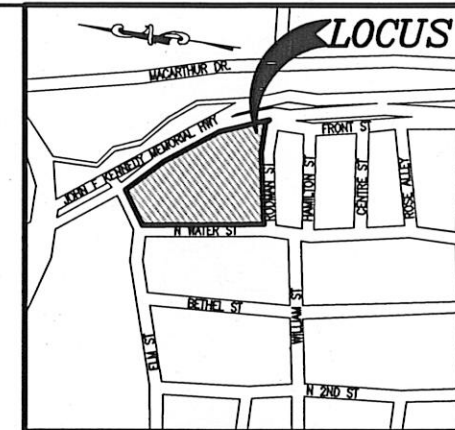
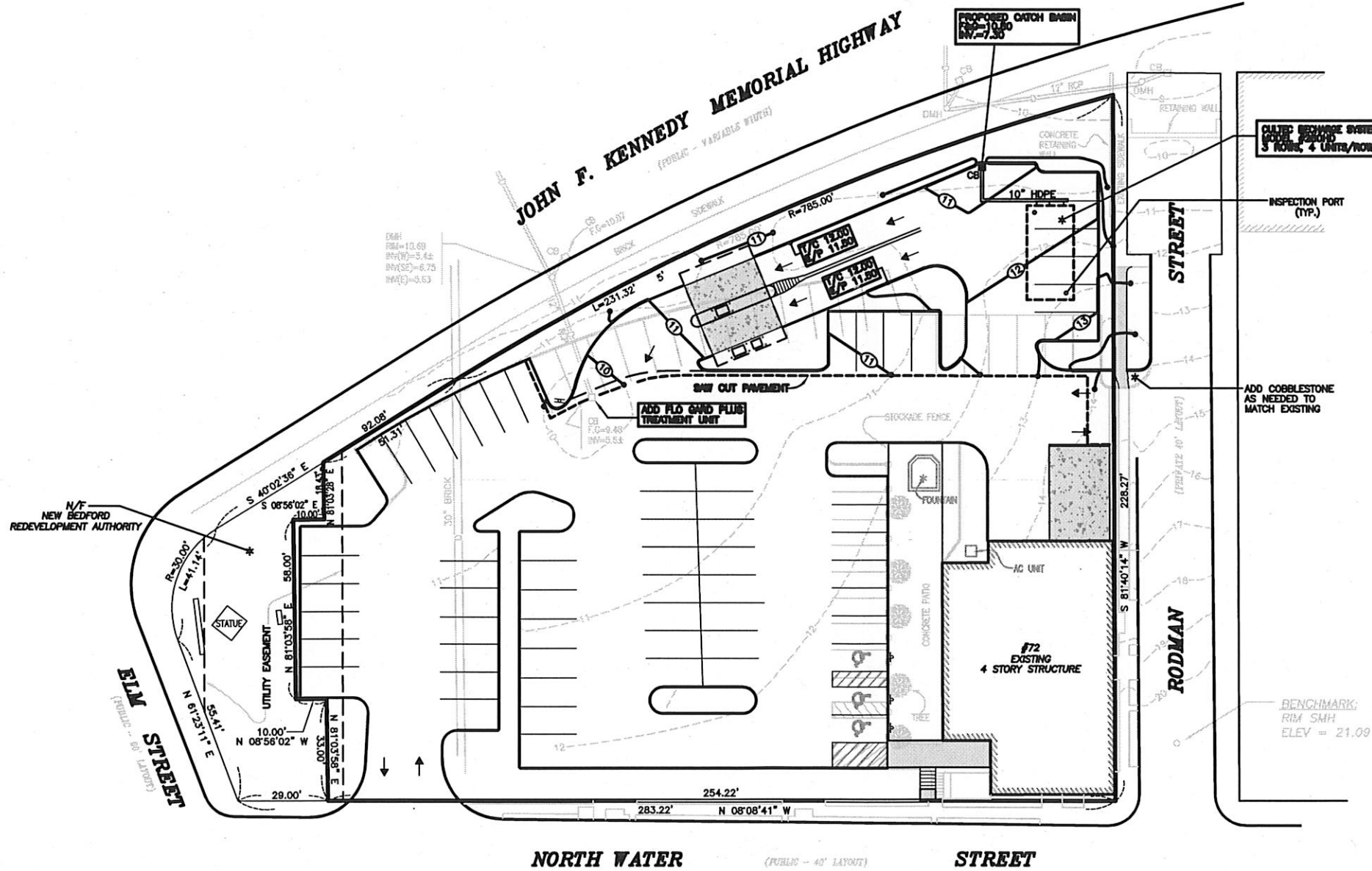
SITEC, Inc. 449 Frances Corner Road Dorchester, MA 02127 TEL: (617) 898-7554 FAX: (617) 898-7554 WWW.SITEC-ENGINEERING.COM	PLANNING JUN 09 2017 DEPARTMENT	Acoord No. NB 16-6511 SITE LAYOUT.DWG File No. 16-6511
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0' 100' 200' 300'
SCALE: 1"=100'±

PLANNING
JUN 09 2017
DEPARTMENT

SITEC 449 France Corner Road Dorchester, MA 02125 (508) 948-2125 FAX (508) 948-7554 www.sitec-engineering.com Civil and Environmental Engineering Land Use Planning	project: BRISTOL COUNTY SAVINGS BANK 72 NORTH WATER STREET NEW BEDFORD, MASSACHUSETTS		scale: 1"=100'± date: FEBRUARY 07, 2016 drawn: KJ checked: SDG approved: SDG sheet: 2 of 7 drawing title: LOCUS-1		No.	Date	Revision Description	Chgd. by	Appvd. by
	BRISTOL COUNTY SAVINGS BANK				1	JUNE 06, 2017	PLANNING BOARD/DPI REVISIONS	SDG	SDG
LOCUS MAP									
Acad No. NB 16-6511 LOCUS MAP.DWG		File No. 16-6511							



LOCUS MAP
SCALE: 1" = 500'

LEGEND

- PROPERTY LINE
- - - EXISTING CONTOUR
- GUARDRAIL
- STOCKADE FENCE
- POST AND RAIL FENCE
- CHAIN LINK FENCE
- STONEWALL
- OVERHEAD WIRES
- GAS MAIN
- WATER MAIN
- SEWER LINE
- DRAINAGE LINE
- UNDERGROUND ELECTRIC
- CB □ CATCH BASIN
- DMH ○ DRAIN MANHOLE
- SMH ○ SEWER MANHOLE
- HYD * FIRE HYDRANT
- WG * WATER GATE VALVE
- GG * GAS GATE VALVE
- GS * GAS SERVICE
- LP * LIGHT POLE
- UP ○ UTILITY POLE
- MW ○ MONITORING WELL
- 148 * EXISTING SPOT GRADE
- TREE LINE
- TREE
- WF#b2 * EDGE OF BORDERING VEGETATED WETLANDS
- WF#b3 * SHRUB
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED E/PAVEMENT ELEVATION
- PROPOSED CONTOUR
- CB ■ PROPOSED CATCH BASIN

Revision	Description	Date	No.
1	JUNE 06, 2017	PLANNING BOARD/DPI REVISIONS	

Scale: 1"=20'	DATE: FEBRUARY 07, 2016
Drawn: KJ	Check: SDG
Approved: SDG	Stamp: 3 of 7
Stamp: SG-1	

Project: 72 NORTH WATER STREET NEW BEDFORD, MASSACHUSETTS	Client: BRISTOL COUNTY SAVINGS BANK
Site: 72 NORTH WATER STREET	Site Grading

SITEC, Inc. 444 Federal Corner Road Dorchester, MA 02125 (617) 888-2125 FAX: (617) 888-7554 WWW.SITEC-ENGINEERING.COM	Acad No. 16-6511 File No. 16-6511
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PLANNING
JUN 09 2017
DEPARTMENT

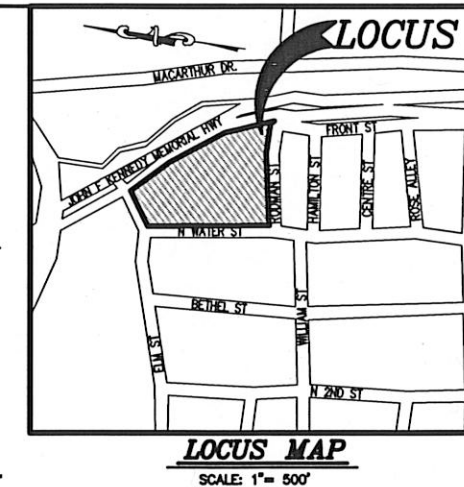


DATE OF SURVEY: JANUARY 31, 2017

PLANTING NOTES

- All new lawn areas shall receive a minimum of 6 inches topsoil of the proper pH and organic content suitable for the healthy growth of lawns. These areas shall be seeded with a fine blade lawn grass seed.
- All tree and shrub pits shall be at least 2 feet wider and 1 foot deeper than the tree or shrub root ball to be planted in it. Backfill shall be high quality loam of the proper pH and organic content suitable for the healthy growth of plant materials.
- All areas to be mulched shall receive 4 inches minimum 100% shredded bark mulch within 48 hours of planting. Unless otherwise noted in planting details.
- All plants shall be nursery grown and conform to the latest edition of "ANSI Z60.1, American Standard for Nursery Stock."
- Plants shall conform to the botanical name as indicated in the latest edition of "American Joint Committee of Horticultural Nomenclature, Standardized Plant Names."
- Plants shall be handled at all times in accordance with the best horticultural practices. Plants in-leaf shall be sprayed with anti-desiccant before digging. Plants shall be dug with firm natural bolls and shall conform to the ratios and sizes specified in ANSI Z60.1. B & B plants shall be wrapped in burlap and tied firmly. Plant materials shall be delivered immediately prior to placement, shall be kept moist and shall be protected from sun and wind. Plants having broken or cracked bolls prior to or during planting will not be accepted.
- All trunks of deciduous trees shall be wrapped immediately after planting with tree wrap. Wrap shall be wound spirally, from the bottom of the trunk to the second branches. All trees shall be staked or guyed immediately after planting in accordance with best horticultural practices.
- The periods for planting shall be from March 15 to May 15 and from September 15 to November 15, weather permitting.
- All disturbed areas shall be loamed and seeded as directed in note #1 above.
- All locations of existing utilities may not be shown on this plan. See other plan sheets for utility locations. Contractor shall be solely responsible for determining actual locations of existing utilities. Utility conflicts may require adjustments to proposed construction. Contractor shall be responsible for repair of any utilities damaged during construction.

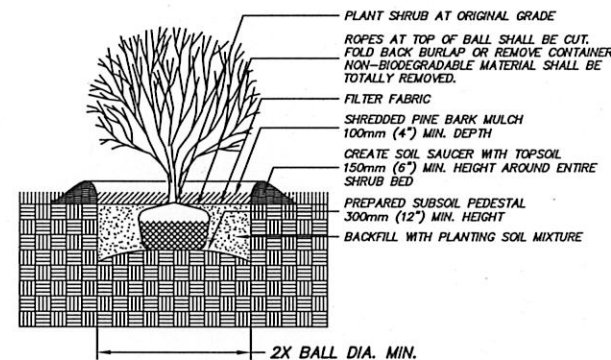
symbol	quantity	name	size
CS	20	CORNUS STOLONIFERA 'FARROW'	3 gallon container
IT	21	IRTEA VIRGINICA 'SPRICH'	2 gallon container
JC	9	JUNIPERUS CHINENSIS 'PFITZERIAN COMPACTA'	2 gallon container
NB	38	HEPETA X BLUE WONDER	1 gallon container
PP	3	PICEA PUNGENS 'HOOPS'	space 24" O.C.
RS	8	RHODODENDRON 'SCINTILLATION'	7 gallon container
RF	14	ROSA 'FLOWER CARPET PINK SUPREME'	2 gallon container
TP	23	THUJA PLICATA 'EVER GOLDY'	7 gallon container



LEGEND

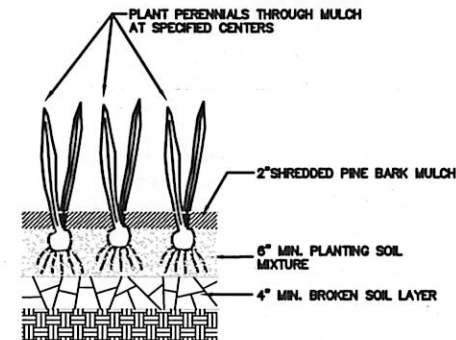
---	PROPERTY LINE
- - - -	EXISTING CONTOUR
=====	GUARDRAIL
□ □ □ □ □	STOCKADE FENCE
• • • • •	POST AND RAIL FENCE
* * * * *	CHAIN LINK FENCE
-----	STONEWALL
--- CHW ---	OVERHEAD WIRES
G	GAS MAIN
W	WATER MAIN
S	SEWER LINE
D	DRAINAGE LINE
--- UGE ---	UNDERGROUND ELECTRIC
CB	CATCH BASIN
DMH	DRAIN MANHOLE
SMH	SEWER MANHOLE
HYD	FIRE HYDRANT
WG	WATER GATE VALVE
GG	GAS GATE VALVE
GS	GAS SERVICE
LP	LIGHT POLE
UP	UTILITY POLE
MV	MONITORING WELL
149	EXISTING SPOT GRADE
---	TREE LINE
☀	TREE
WF#2 WF#3	EDGE OF BORDERING VEGETATED WETLANDS
●	SHRUB

BENCHMARK:
RIM SMH
ELEV = 21.09

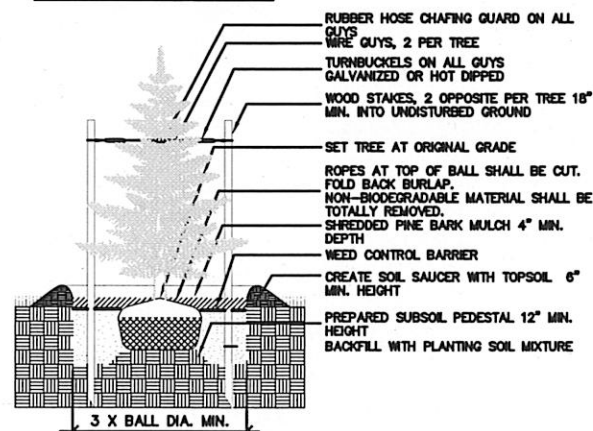


SHRUB PLANTING

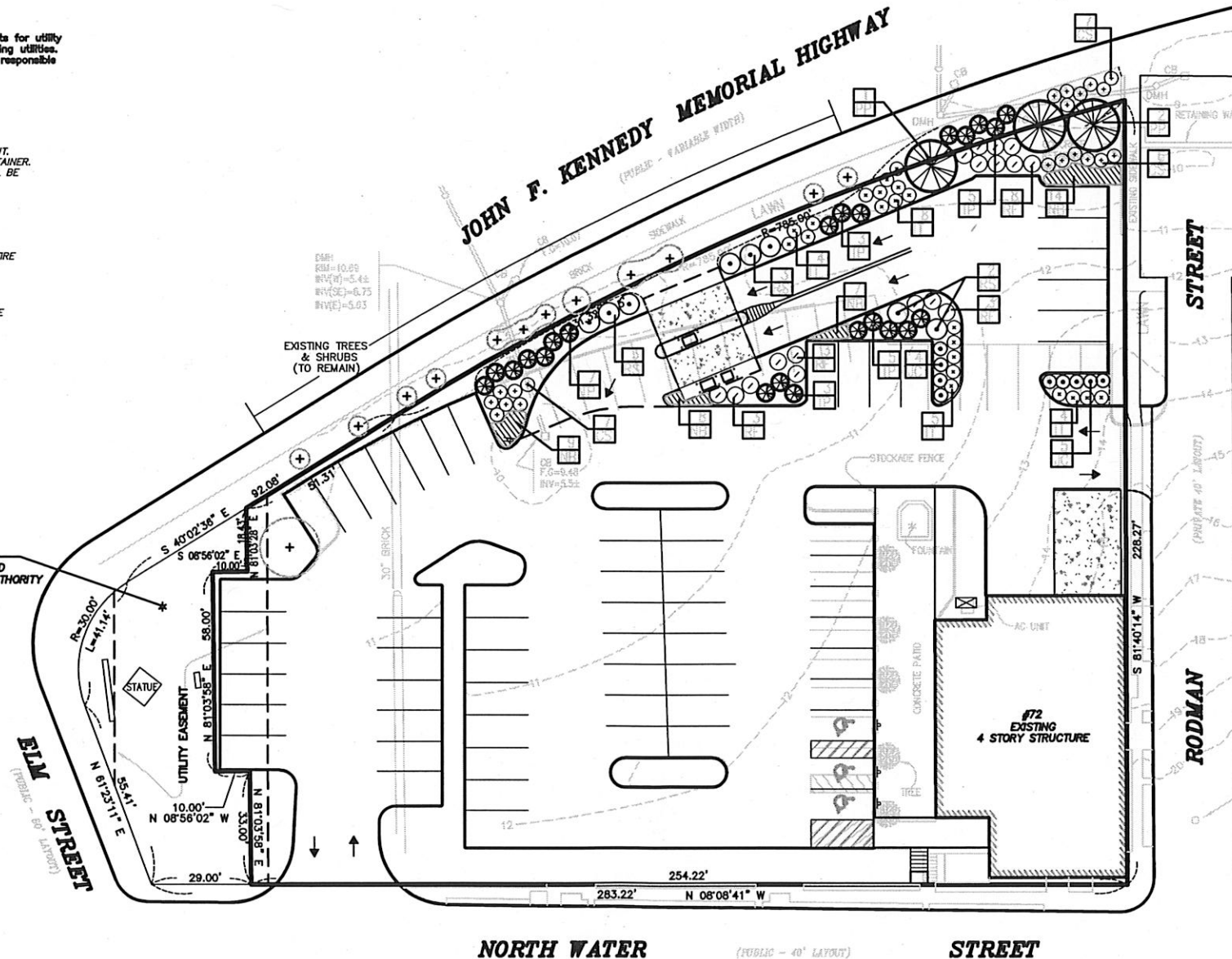
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PERENNIAL PLANTING



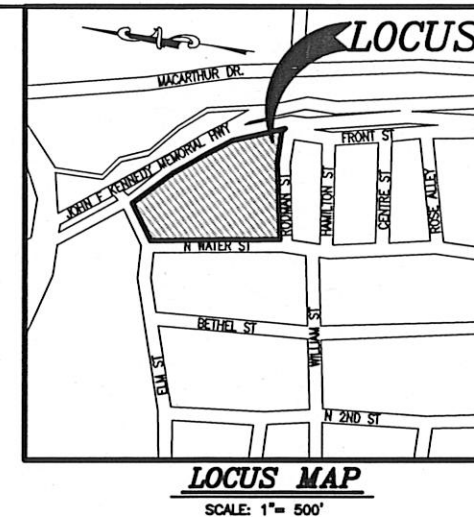
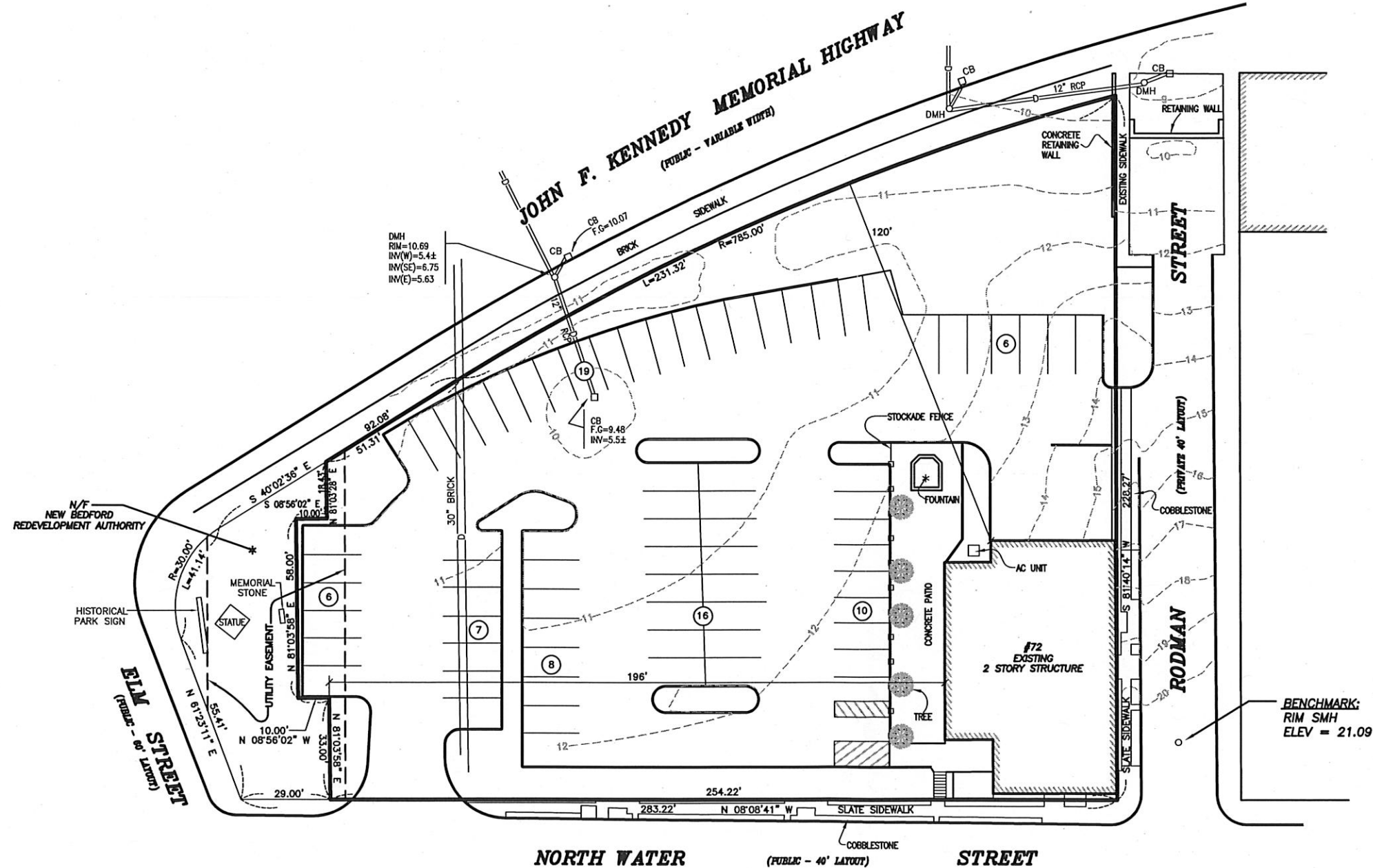
CONIFEROUS TREE PLANTING



DATE OF SURVEY: JANUARY 31, 2017

PLANNING
JUN 09 2017
DEPARTMENT

Project	72 NORTH WATER STREET NEW BEDFORD, MASSACHUSETTS	Client	KJ	Checklist	SDG	Approved	SDG	Drawn	LD-1
Scale	1" = 20'	Date	FEBRUARY 07, 2016	Drawn	KJ	Checklist	SDG	Approved	SDG
Project	BRISTOL COUNTY SAVINGS BANK								
Project	LANDSCAPE DESIGN								
Sitec, Inc.	449 Federal Center Road Dorchester, MA 02127 Tel: (617) 888-7854 Fax: (617) 888-7854 www.sitec-engineering.com								
Asad No.	16-0511 LD.DWG								
File No.	16-0511								



Project	Client	Drawn	Checked	Approved	Sheet	Revision	Date	By	App'd.
72 NORTH WATER STREET NEW BEDFORD, MASSACHUSETTS	BRISTOL COUNTY SAVINGS BANK	KJ	SDG	SDG	5 of 7	EC-1	JUNE 06, 2017	PLANNING BOARD/DPI	REVISIONS
EXISTING CONDITIONS									
UTILITY COMPANIES SANITARY SEWER - NEW BEDFORD DPI (508) 979-1550 WATER SUPPLY - NEW BEDFORD DPI (508) 979-1550 GAS - EVERSOURCE GAS (855) 645-2427 ELECTRIC - EVERSOURCE ELECTRIC (888) 633-3797 CABLE - COMCAST (800) 934-6489									
EXISTING SOILS MEDIUM - COARSE SAND									
DATE OF SURVEY: JANUARY 31, 2017									
FILE NO. 16-6511 EC.DWG									

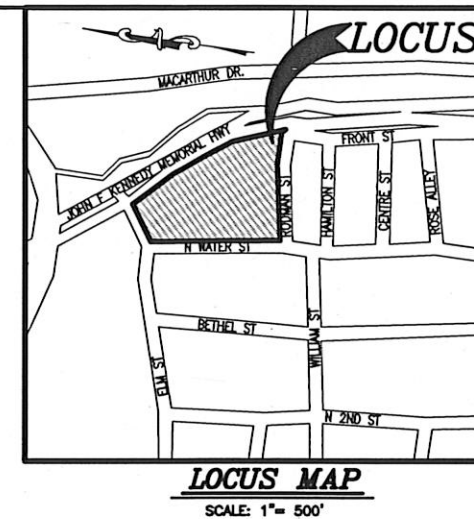
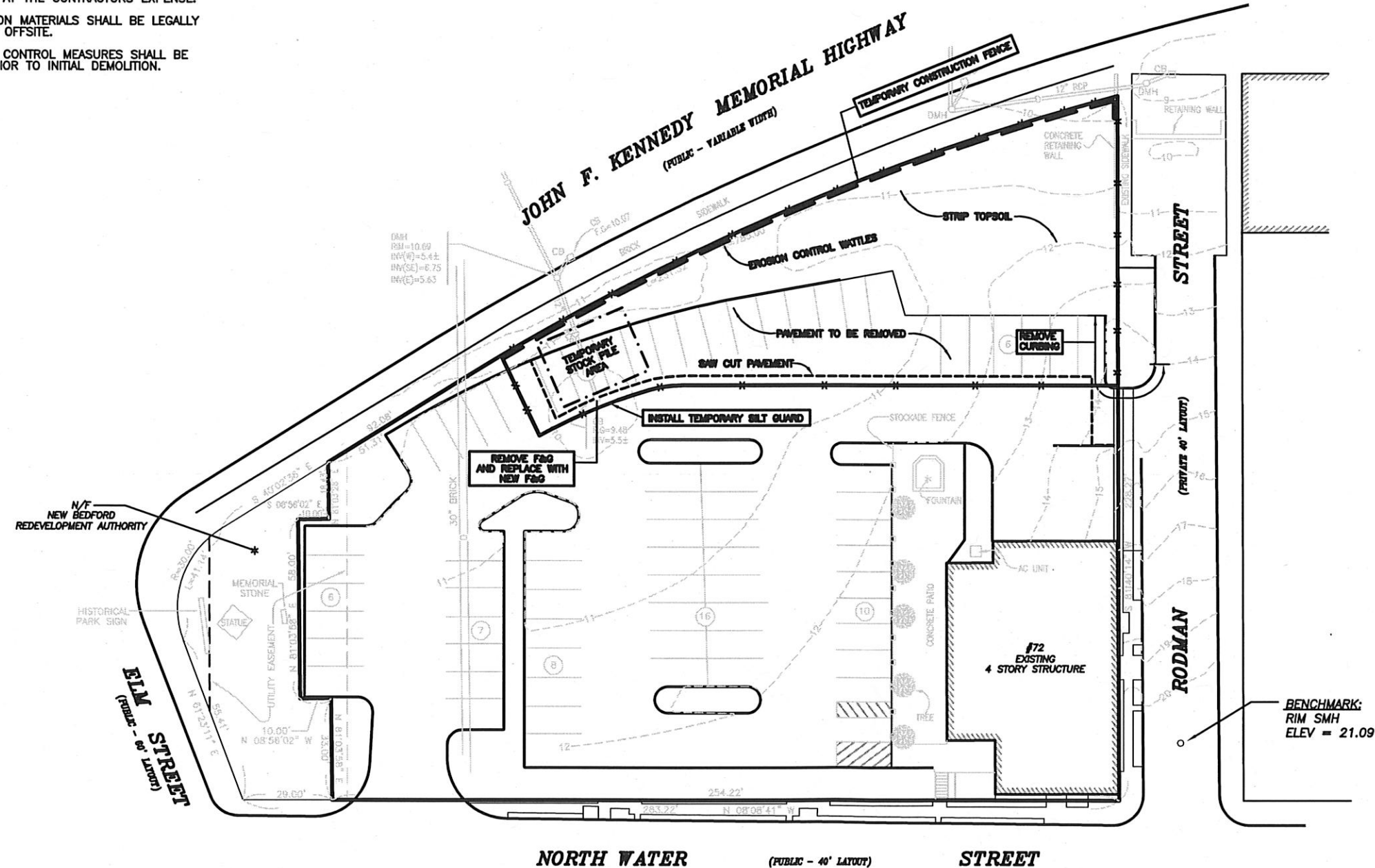
SITEC, Inc.
449 Fenner Corner Road
Canton, MA 02747
Tel: (508) 898-7354
Fax: (508) 898-7354
WWW.SITEC-ENGINEERING.COM

SITEC
Civil and Environmental Engineering
Land Use Planning

Acad No. 16-6511 EC.DWG
File No. 16-6511

NOTES:

1. ALL BMP EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO DEMOLITION OR ANY SITE WORK.
PRIOR TO DEMOLITION OR ANY SITE WORK.
2. EROSION CONTROL BMP'S SHALL CONFORM TO US EPA, NPDES, MA DEP AND MASSACHUSETTS EROSION AND SEDIMENTATION CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS.
3. CONTRACTOR SHALL HAVE WATER AVAILABLE FOR DUST CONTROL OR, AS AN ALTERNATIVE, AN APPROVED DUST CONTROL AGENT CAN BE UTILIZED.
4. MATERIAL STOCKPILE SHALL BE AS NOTED. SAFETY FENCING SHALL BE USED AROUND STOCKPILES THAT EXCEED 10' IN HEIGHT.
5. SILT FENCE SHALL BE SET ON DOWNGRADIENT EDGE OF ANY STOCKPILE.
6. DEMOLITION SHALL BE LIMITED TO THE AREA OUTLINED.
7. CONTRACTOR SHALL PROTECT ABUTTING AREAS FROM DAMAGE. DAMAGE OF ABUTTING AREAS SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
8. ALL DEMOLITION MATERIALS SHALL BE LEGALLY DISPOSED OF OFFSITE.
9. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO INITIAL DEMOLITION.



LEGEND

- | | |
|--|---|
| | PROPERTY LINE |
| | EXISTING CONTOUR |
| | GUARDRAIL |
| | STOCKADE FENCE |
| | POST AND RAIL FENCE |
| | CHAIN LINK FENCE |
| | STONEWALL |
| | OVERHEAD WIRES |
| | GAS MAIN |
| | WATER MAIN |
| | SEWER LINE |
| | DRAINAGE LINE |
| | UNDERGROUND ELECTRIC |
| | CATCH BASIN |
| | DRAIN MANHOLE |
| | SEWER MANHOLE |
| | FIRE HYDRANT |
| | WATER GATE VALVE |
| | GAS GATE VALVE |
| | GAS SERVICE |
| | LIGHT POLE |
| | UTILITY POLE |
| | MONITORING WELL |
| | EXISTING SPOT GRADE |
| | TREE LINE |
| | TREE |
| | EDGE OF BORDERING
VEGETATED WETLANDS |
| | SHRUB |

[illegible]

Project:	72 NORTH WATER STREET NEW BEDFORD, MASSACHUSETTS
Client:	BRISTOL COUNTY SAVINGS BANK
Working Title:	DEMOLITION/EROSION CONTROL PLAN

SITEC
Civil and Environmental Engineering
Land Use Planning

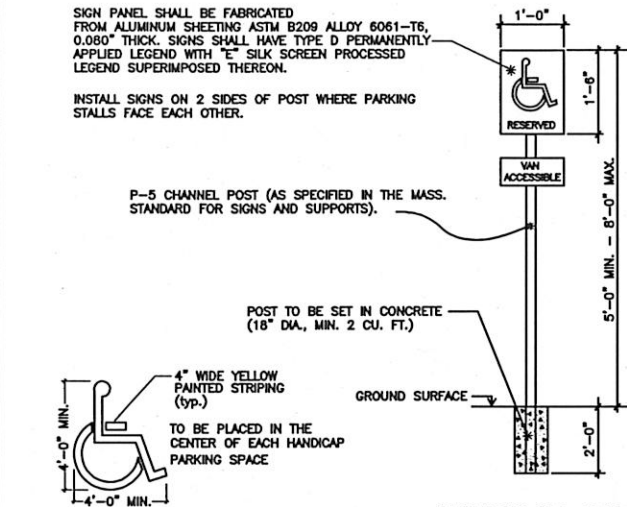
SITEC, Inc.
448 Furness Corner Road
Dorchester, MA 02747
Tel. (617) 267-1100
Fax (208) 688-7354
WWW.SITEC-ENGINEERING.COM

Acad No. NB 16-6511 DEM
PROSION CONTROL PLANNING
File No. 16-6511

PLANNING
JUN 09 2002
DEPARTMENT

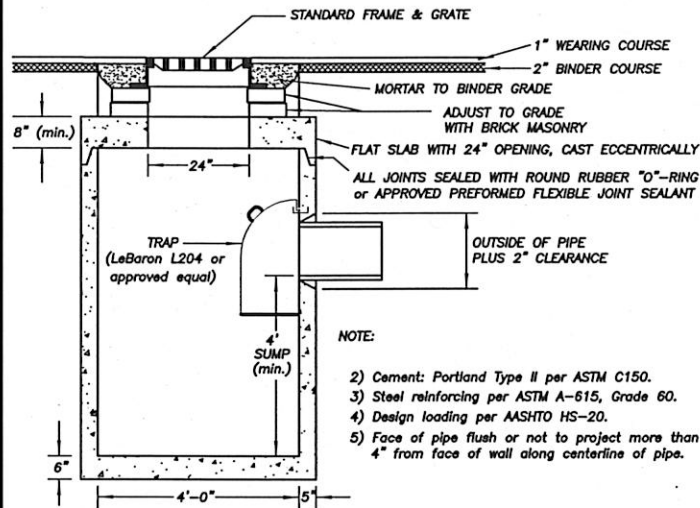


DATE OF SURVEY: JANUARY 31, 2017



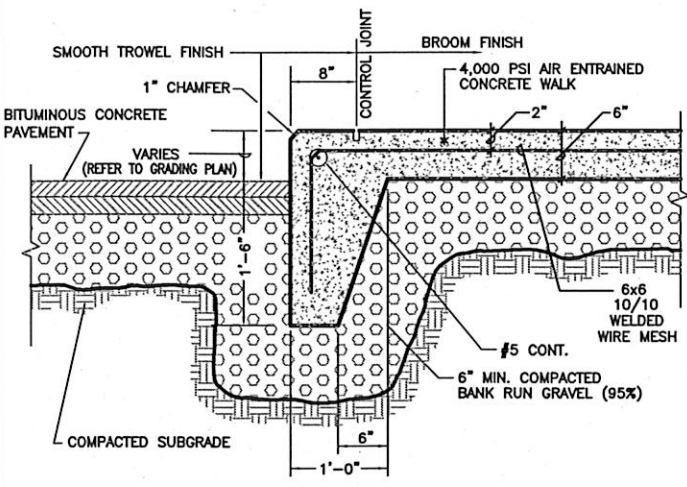
HANDICAP PARKING SPACE INDICATOR
NOT TO SCALE

HANDICAP PARKING SPACE SIGN
NOT TO SCALE



NOTE: CATCH BASIN SHALL BE FITTED WITH FLO GARD PLUS (SHALLOW) CATCH BASIN INSERT FILTER AS MANUFACTURED BY KRISTAR ENTERPRISES, INC. OR APPROVED EQUAL.

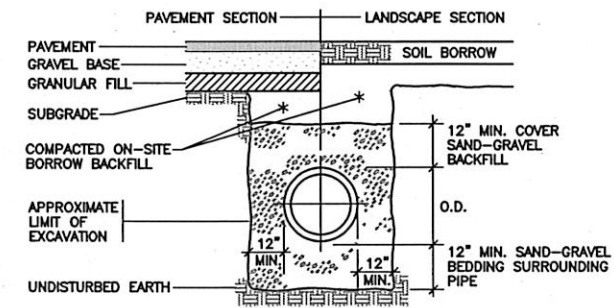
PRECAST CONCRETE CATCH BASIN
NOT TO SCALE



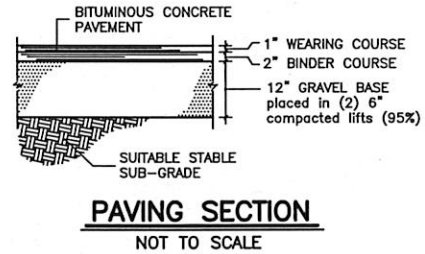
NOTE: PROVIDE CONTROL JOINT & EXPANSION AS REQUIRED FOR CONCRETE WALK.

TYPICAL CONCRETE WALK-CURB DETAIL
NOT TO SCALE

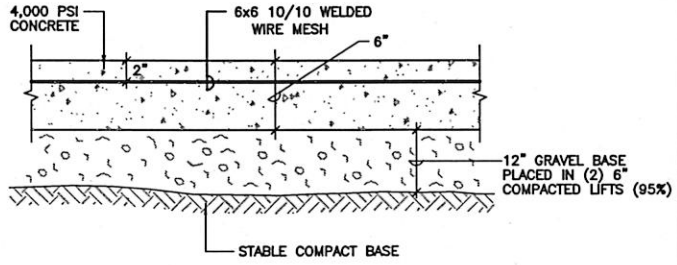
- GENERAL NOTES:**
1. CONTRACTOR SHALL NOTIFY DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
 2. CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. THESE PLANS ARE BASED ON FIELD AND RECORD INFORMATION AND, THEREFORE, MAY NOT COMPLETELY DEPICT ALL EXISTING UTILITIES.
 3. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IMMEDIATELY IF FIELD CONDITIONS ARE FOUND TO DIFFER WITH THESE DRAWINGS.
 4. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF THE ADJUTING AREA AND UTILITIES IN THE CONSTRUCTION OF THIS SITE. REPAIR OF DAMAGED PROPERTY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO COST TO THE OWNER.
 5. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL CONSTRUCTION.
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF PUBLIC INFRASTRUCTURE CONSTRUCTION SPECIFICATIONS, LATEST REVISION.
 7. ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF NEW BEDFORD DPW STANDARDS.
 8. THE PROPOSED CONCRETE SIDEWALK AND DRIVEWAY APRONS MUST MEET CURRENT A.D.A. AND CITY STANDARDS. THE PROPOSED DRIVEWAYS SHALL BE 6" CEMENT CONCRETE WITH 6"x6" GAUGE WIRE MESH.
 9. ALL DRIVEWAY PERMITS ARE SUBJECT TO TRAFFIC COMMISSION APPROVAL. THE CONTRACTOR SHALL NOTIFY THE ENGINEERING DIVISION 24 HOURS IN ADVANCE TO ENSURE THE PROPOSED SIDEWALK AND DRIVEWAY APRONS AND WHEELCHAIR RAMPS WILL MEET THE CURRENT A.D.A. AND CITY OF NEW BEDFORD STANDARDS.
 10. PERMITS FOR DRAINAGE, WATER, SIDEWALKS AND DRIVEWAYS MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC INFRASTRUCTURE (DPI) ENGINEERING DIVISION BY OWNER.
 11. ALL UTILITY WORK TO BE CONDUCTED PER DPI SPECIFICATION.
 12. THE DEVELOPER AND SITE CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE DEPARTMENT OF PUBLIC INFRASTRUCTURE PRIOR TO START OF CONSTRUCTION.
 13. UPON COMPLETION OF THE PROJECT, THE ENGINEER MUST SUBMIT AS-BUILT DRAWINGS IN CADD FORMAT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 14. OWNER/DEVELOPER MUST CONTACT THE DEPARTMENT OF PUBLIC INFRASTRUCTURE ENGINEERING DIVISION TO ASSIGN A NEW ADDRESS FOR BRISTOL COUNTY SAVINGS BANK.



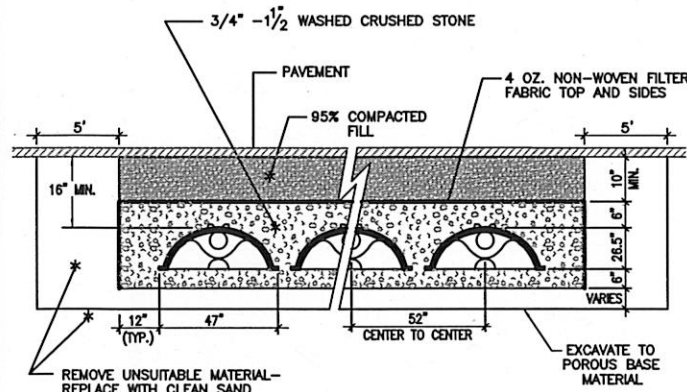
TYPICAL STORM DRAIN TRENCH SECTION
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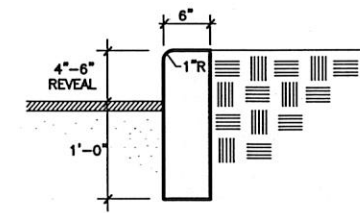
PAVING SECTION
NOT TO SCALE



DRIVE-UP PAD DETAIL
NOT TO SCALE



CULTEC CONTACTOR 280HD
TYPICAL CROSS SECTION DETAIL
RECHARGE CHAMBER SYSTEM
NOT TO SCALE



PRECAST CONCRETE CURB
NOT TO SCALE

PLANNING
JUN 09 2017
DEPARTMENT

No.	Date	Revision Description	Checked By	Approved By
1	JUNE 06, 2017	PLANNING BOARD/DPI REVISIONS	SDG	SDG

scale: 1"=20'
date: FEBRUARY 07, 2016
drawn: KJ
checked: SDG
approved: SDG
sheet: 7 of 7
drawing name: DET-1

project: BRISTOL COUNTY SAVINGS BANK
72 NORTH WATER STREET
NEW BEDFORD, MASSACHUSETTS

client: BRISTOL COUNTY SAVINGS BANK

drawing title: DETAIL SHEET

SITEC, Inc.
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