

PROPOSED
DEFINITIVE SUBDIVISION PLAN
STONEY BROOK FARM
NEW BEDFORD, MA 02745

| DRAWING REVISIONS | | |
|-------------------|---------|-------------------------------|
| REVISION | DATE | DESCRIPTION |
| 3 | 6/28/17 | STAFF COMMENTS DATED 6/14/17 |
| 2 | 6/1/17 | NITSCH COMMENTS DATED 5/31/17 |
| 1 | 5/24/17 | NITSCH COMMENTS DATED 5/15/17 |

GENERAL NOTES:

- THE SUBJECT PARCEL IS SHOWN AS MAP 130 BLOCK D LOTS 117, 379-387, 392-419.
- THE VERTICAL DATUM IS THE NEW BEDFORD CITY DATUM.
- LOCUS LIES WITHIN ZONE "X" AS SHOWN ON FIRM COMMUNITY PANEL #25005C03830 PANEL 383 OF 550 REVISED JULY 18, 2014.
- BORDERING VEGETATED WETLANDS FLAGS AND INTERMITTENT STREAM WERE APPROVED BY THE CITY OF NEW BEDFORD CONSERVATION COMMISSION ON 6/13/2016 WITH A NOTICE OF INTENT, SE49-0736.

PLAN REFERENCES:

LAND COURT PLAN #23553-A
PLAN BK/PG:
146\104
133\34
130\30
128\79
121\138
121\110
88\23
85\07
82\70
19\49

BOARD OF SURVEY PLAN #S:
24, 39, 39B, 39C, 80

MASS HIGHWAY DEPT. FIELD BOOK #S:
23040 & 27586

APPROVED BY
NEW BEDFORD PLANNING BOARD

DATE: _____

SIGNED: _____



STONEY BROOK FARM
TITLE SHEET

CAVANARO CONSULTING
687 MAIN STREET
P.O. BOX 5175
NORWELL, MASSACHUSETTS 02061
PHONE: 781.659.8187
FAX: 781.659.8186

OWNER/APPLICANT:
NEW BEDFORD COUSINS LLC
P.O. BOX 36
SCITUATE, MA 02066

| | |
|--------------------|--------------------------------------|
| PROJECT NO. : 5005 | DRAWING NO. |
| SCALE : AS SHOWN | TS |
| DATE : 5/11/17 | |
| DESIGNED BY : BPS | |
| DRAWN BY : BPS | SHEET NO. 1 OF 10 |
| CHECKED BY : JCC | FILENAME: Z:\2017\20170518 1 W-KD |

FOR REGISTRY USE ONLY

- WAIVERS REQUESTED:
- NEW BEDFORD SUBDIVISION REGULATIONS:
- ARTICLE II(A)(8) DEAD END STREET - DEFINITION
15 FOOT DIAMETER ISLAND REQUIRED,
PROPOSED NONE.
 - ARTICLE II(A)(8) AND ARTICLE V(A) DEAD END STREET
MAXIMUM 400 FEET;
PROPOSED 660 FEET.
 - ARTICLE VII(B)(2) STREET RIGHTS OF WAY
REQUIRED 34 FEET;
PROPOSED 28 FEET.
 - ARTICLE III(A) SUBMISSION OF A PRELIMINARY PLAN
- NEW BEDFORD SITE PLAN REVIEW APPLICATION CHECKLIST WAIVERS REQUESTED:
- 3.B EXISTING CONDITIONS PLAN:
- LOCATE EXISTING TREES OVER 12" CALIPER
 - TEST PITS ON EVERY LOT
- NEW BEDFORD ZONING WAIVERS REQUESTED:
- 5451D. PROVIDE ARCHITECTURAL PLANS

I HEREBY CERTIFY THAT 20 DAYS HAVE ELAPSED
SINCE PLANNING BOARD APPROVAL AND THAT NO
APPEAL HAS BEEN FILED IN THIS OFFICE.

CITY OF NEW BEDFORD CLERK _____ DATE _____

SEE COVENANT DATED _____
RECORDED IN BOOK _____ PAGE _____

ZONING REQUIREMENTS:

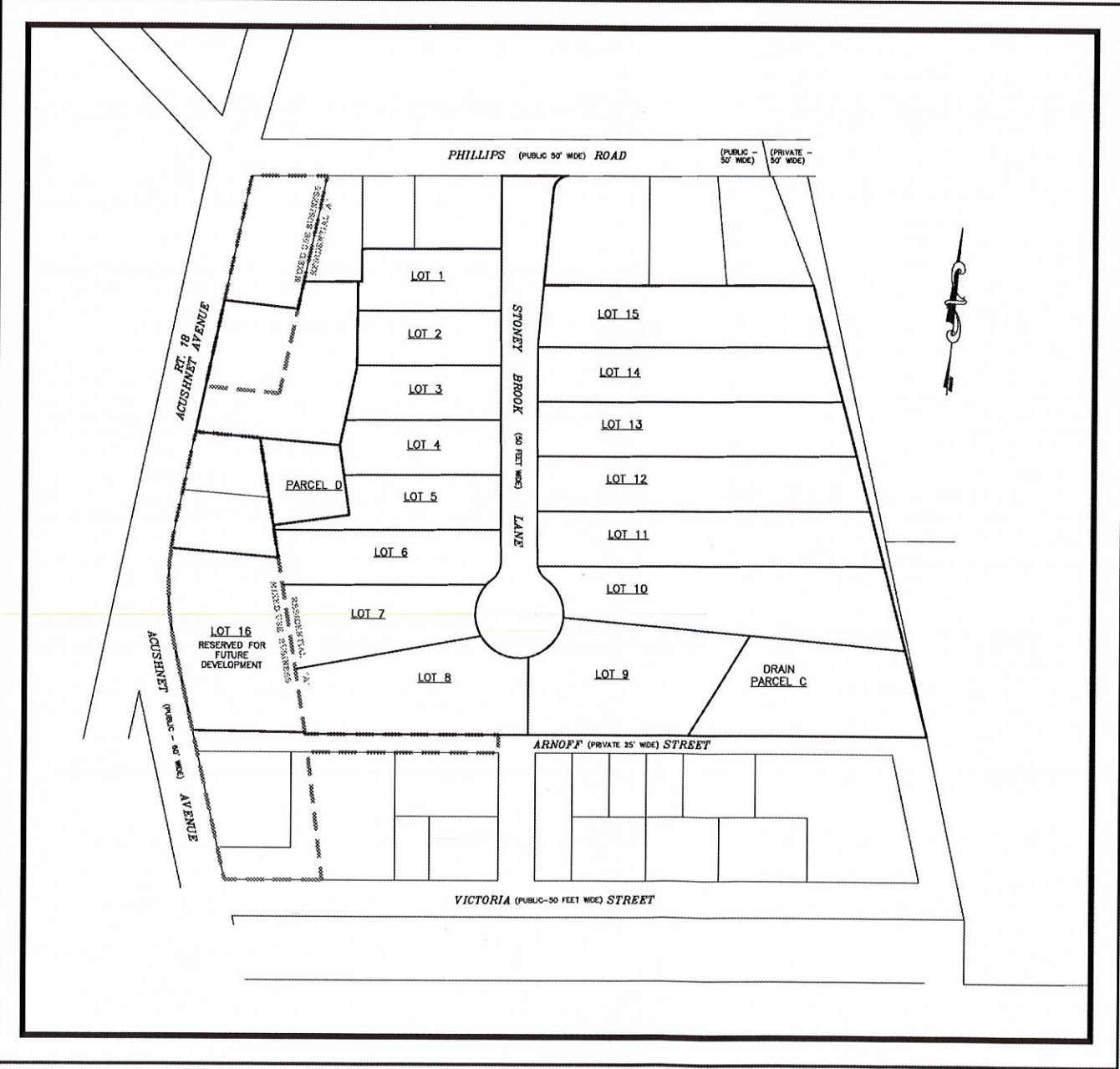
| ITEM | REQUIRED | PROVIDED |
|-------------------|------------|------------------|
| LOT AREA | 8,000 SF | 8,000 S.F. MIN. |
| UPLAND (80%) | 6,400 SF | 15,342 S.F. MIN. |
| FRONTAGE | 75 FT | 75 FT MIN. |
| FRONT SETBACK | 20 FT | 20 FT |
| SIDE SETBACK | 10 & 12 FT | 10 & 12 FT |
| REAR SETBACK | 30 FT | 30 FT MIN. |
| MAX. BLDG. HEIGHT | 45 FT | <45 FT |
| MAX. LOT COVERAGE | 30% | <30% |
| MIN. GREEN SPACE | 35% | >35% |

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN
PREPARED IN CONFORMANCE WITH THE RULES AND
REGULATIONS OF THE REGISTERS OF DEEDS.

5/28/17
DATE _____
Brendan P. Sullivan, P.E., P.L.S.



PLANNING
JUN 29
DEPARTMENT
24-17



LOCUS PLAN:
SCALE: 1" = 100'

SITE SUMMARY:

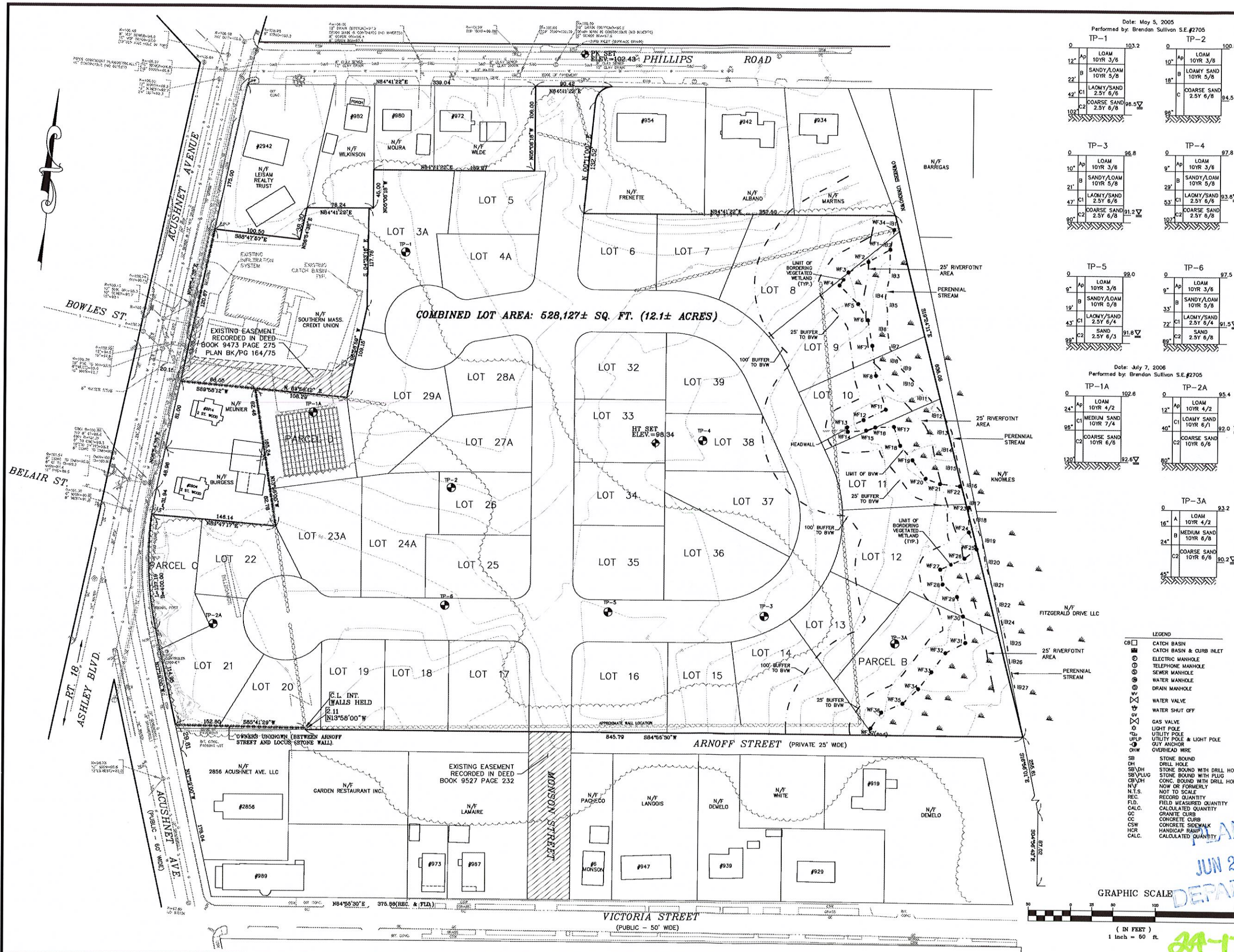
OWNER/APPLICANT: NEW BEDFORD COUSINS LLC
P.O. BOX 36
SCITUATE, MA 02066
DEED BK/PG 7734/340-347

ASSESSORS INFORMATION: MAP 130 BLOCK D LOTS
117, 379-387, 392-419

ZONING DISTRICT: RESIDENTIAL A & MIXED
USE BUSINESS

SHEET INDEX:

- TITLE SHEET - TS (SHEET 1 OF 10)
EXISTING CONDITIONS - EC (SHEET 2 OF 10)
LOT LAYOUT - LL (SHEET 3 OF 10)
GRADING & DRAINAGE - GD (SHEET 4 OF 10)
DRAINAGE LAYOUT - DL (SHEET 5 OF 10)
ROADWAY PROFILE - RP (SHEET 6 OF 10)
DETAIL SHEET I - DTI (SHEET 7 OF 10)
DETAIL SHEET II - DTII (SHEET 8 OF 10)
DETAIL SHEET III - DTIII (SHEET 9 OF 10)
LANDSCAPE & LIGHTING - LP (SHEET 10 OF 10)



Date: May 5, 2005
Performed by: Brendan Sullivan S.E. #2705

| TP-1 | | TP-2 | |
|------|-------------------------|------|-------------------------|
| 0 | 103.2 | 0 | 100.8 |
| 12" | Ap LOAM 10YR 3/6 | 10" | Ap LOAM 10YR 3/6 |
| 22" | B SANDY/LOAM 10YR 5/8 | 18" | B LOAMY SAND 10YR 5/8 |
| 42" | C1 LOAMY/SAND 2.5Y 6/6 | 36" | C COARSE SAND 2.5Y 6/8 |
| 102" | C2 COARSE SAND 2.5Y 6/8 | 96" | C2 COARSE SAND 2.5Y 6/8 |

| TP-3 | | TP-4 | |
|------|-------------------------|------|-------------------------|
| 0 | 95.8 | 0 | 97.8 |
| 10" | Ap LOAM 10YR 3/6 | 9" | Ap LOAM 10YR 3/6 |
| 21" | B SANDY/LOAM 10YR 5/8 | 29" | B SANDY/LOAM 10YR 5/8 |
| 47" | C1 LOAMY/SAND 2.5Y 6/6 | 53" | C1 LOAMY/SAND 2.5Y 6/6 |
| 90" | C2 COARSE SAND 2.5Y 6/8 | 107" | C2 COARSE SAND 2.5Y 6/8 |

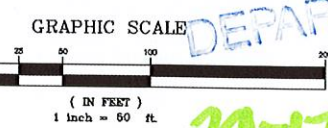
| TP-5 | | TP-6 | |
|------|------------------------|------|------------------------|
| 0 | 99.0 | 0 | 97.5 |
| 9" | Ap LOAM 10YR 3/6 | 9" | Ap LOAM 10YR 3/6 |
| 19" | B SANDY/LOAM 10YR 5/8 | 33" | B SANDY/LOAM 10YR 5/8 |
| 43" | C1 LOAMY/SAND 2.5Y 6/4 | 72" | C1 LOAMY/SAND 2.5Y 6/4 |
| 99" | C2 SAND 2.5Y 6/3 | 89" | C2 SAND 2.5Y 6/8 |

Date: July 7, 2006
Performed by: Brendan Sullivan S.E. #2705

| TP-1A | | TP-2A | |
|-------|-------------------------|-------|-------------------------|
| 0 | 102.6 | 0 | 95.4 |
| 24" | Ap LOAM 10YR 4/2 | 12" | Ap LOAM 10YR 4/2 |
| 98" | C1 MEDIUM SAND 10YR 7/4 | 40" | C1 LOAMY SAND 10YR 6/1 |
| 120" | C2 COARSE SAND 10YR 6/6 | 80" | C2 COARSE SAND 10YR 6/6 |

| TP-3A | |
|-------|-------------------------|
| 0 | 93.2 |
| 16" | A LOAM 10YR 4/2 |
| 24" | B MEDIUM SAND 10YR 6/8 |
| 45" | C2 COARSE SAND 10YR 6/6 |

- LEGEND
- CB CATCH BASIN
 - CB CATCH BASIN & CURB INLET
 - EM ELECTRIC MANHOLE
 - TM TELEPHONE MANHOLE
 - SM SEWER MANHOLE
 - WM WATER MANHOLE
 - DM DRAIN MANHOLE
 - WV WATER VALVE
 - WS WATER SHUT OFF
 - GV GAS VALVE
 - LP LIGHT POLE
 - UP UTILITY POLE & LIGHT POLE
 - AW AWAY ANCHOR
 - OW OVERHEAD WIRE
 - SB STONE BOUND
 - DH DRILL HOLE
 - SB/DH STONE BOUND WITH DRILL HOLE
 - SB/PLUG STONE BOUND WITH PLUG
 - CB/DH CONC. BOUND WITH DRILL HOLE
 - N.O. NOW OR FORMERLY
 - N.T.S. NOT TO SCALE
 - REC. RECORD QUANTITY
 - F.D. FIELD MEASURED QUANTITY
 - CALC. CALCULATED QUANTITY
 - CC GRANITE CURB
 - CC CONCRETE CURB
 - CC CONCRETE SIDEWALK
 - CC HANDICAP RAMP
 - CC CALC. CALCULATED QUANTITY



DRAWING REVISIONS

| 2 | 6/28/17 | STAFF COMMENTS DATED 6/14/17 |
|--|--|-------------------------------|
| 1 <td>5/24/17<td>NITSCH COMMENTS DATED 5/15/17</td></td> | 5/24/17 <td>NITSCH COMMENTS DATED 5/15/17</td> | NITSCH COMMENTS DATED 5/15/17 |

| ACTION | DATE | DESCRIPTION |
|--------|------|-------------|
|--------|------|-------------|

OWNER OF RECORD:

NEW BEDFORD COUSINS LLC
P.O. BOX 38
SCITUATE, MA 02066
DEED BOOK: 7734, PAGE: 340

GENERAL NOTES:

- THE VERTICAL DATUM IS THE NEW BEDFORD CITY DATUM.
- UTILITIES LOCATIONS AS SHOWN RESULT FROM A FIELD SURVEY AS WELL AS COMPILED RECORD INFORMATION.
- LOCUS LIES WITHIN ZONE "X" AS SHOWN ON FIRM COMMUNITY PANEL #2500503830 PANEL 383 OF 550 REVISED JULY 16, 2014.
- BORDERING VEGETATED WETLANDS FLAGS AND INTERMITTENT STREAM FLAGS WERE SET BY JOHN ZIMMER, P.W.S. IN NOVEMBER 2015.
- A COMPLETE ENCROACHMENT SURVEY WAS NOT PERFORMED AT THIS TIME.
- ALL MONUMENTS SHOWN HEREON WERE FOUND AND FIELD LOCATED BY CAVANARO CONSULTING, INC. TOPOGRAPHY AND GROUND FEATURES SHOWN WERE CREATED FROM AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BETWEEN JUNE 2005 AND OCTOBER 2008 BY THIS OFFICE.

PLAN REFERENCES:

LAND COURT PLAN #23553-A

PLAN BK/PG:

| | | |
|---------|---------|-------|
| 148/104 | 128/79 | 98/23 |
| 133/34 | 121/136 | 85/07 |
| 130/30 | 121/110 | 82/70 |

BOARD OF SURVEY PLAN #S: 24, 38, 398, 390, 80
MASS HIGHWAY DEPT. FIELD BOOK #S: 23040 & 27588

APPROVED BY
NEW BEDFORD PLANNING BOARD

DATE: _____

SIGNED: _____

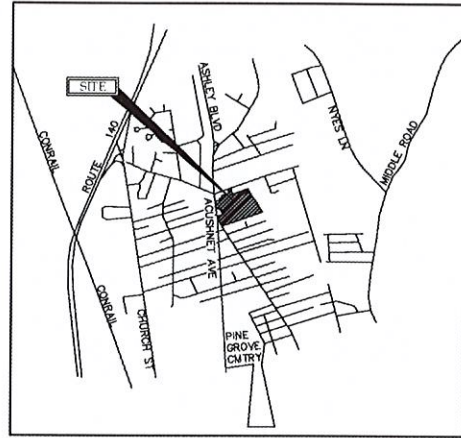
STONEY BROOK FARM
EXISTING CONDITIONS

CAVANARO CONSULTING
687 MAIN STREET
P.O. BOX 5175
NORWELL, MASSACHUSETTS 02061
PHONE: 781.659.8187
FAX: 781.659.8186

OWNER/APPLICANT:
NEW BEDFORD COUSINS LLC
P.O. BOX 38
SCITUATE, MA 02066

PROJECT NO.: 5005
SCALE: AS SHOWN
DATE: 5/11/17
DESIGNED BY: BPS
DRAWN BY: BPS
CHECKED BY: JCC

DRAWING NO.
EC
SHEET NO. 2 OF 10
FILENAME:
2:\2005\5005\5005.DWG



LOCUS
N.T.S.

CONSTRUCTION NOTES:

1. ANY MINOR MODIFICATION TO THE INFORMATION SHOWN ON THE APPROVED PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AND THE CITY PLANNER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
2. ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
3. ALL HANDICAP PARKING, RAMPS AND ACCESS SHALL CONFORM TO AAB & MAAB.
4. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO THE CITY OF NEW BEDFORD CONSERVATION COMMISSION REQUIREMENTS AS STATED IN THE ORDER OF CONDITIONS.
5. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS.

APPROVED BY
NEW BEDFORD PLANNING BOARD
UNDER THE SUBDIVISION
CONTROL LAW

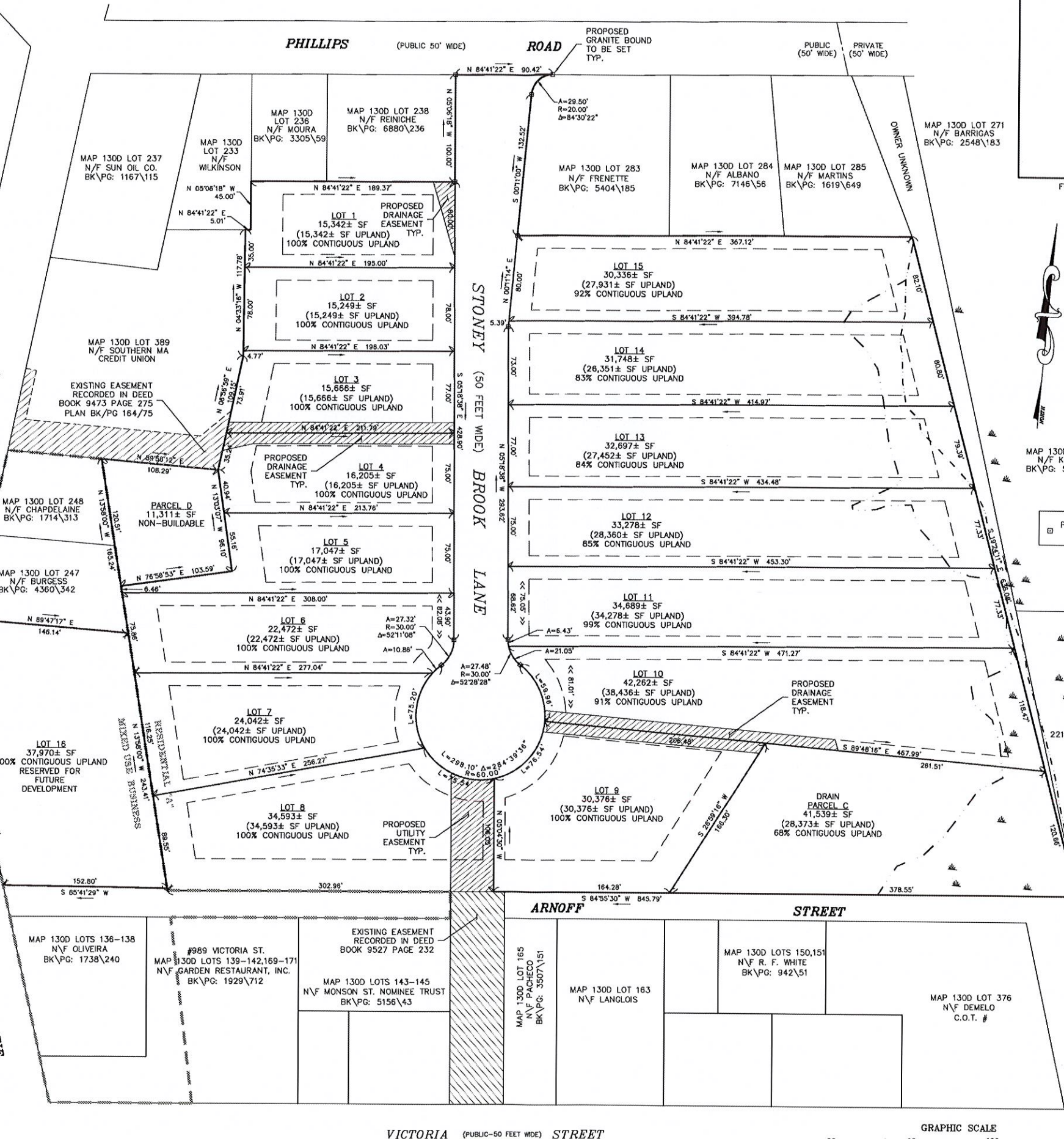
DATE: _____

SIGNED: _____

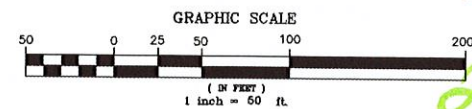
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN
PREPARED IN CONFORMANCE WITH THE RULES AND
REGULATIONS OF THE REGISTERS OF DEEDS.

DATE _____ BRENDAN P. SULLIVAN P.E., P.L.S.

ACUSHNET AVENUE (ROUTE 1B)
ACUSHNET (PUBLIC - 60' WIDE) AVENUE



VICTORIA (PUBLIC-50 FEET WIDE) STREET



FOR REGISTRY USE ONLY

MAP 130D LOT 295
N/F KNOWLES
BK\PG: 5292\227

MAP 130D LOT 135
N/F
221 FITZGERALD DRIVE LLC
BK\PG: 6739\92

DRAWING REVISIONS

| REVISION | DATE | DESCRIPTION |
|----------|---------|--------------------------------|
| 2 | 6/28/17 | STAFF COMMENTS DATED 6/14/17 |
| 1 | 5/24/17 | NITSCHE COMMENTS DATED 5/15/17 |

OWNER INFORMATION:

NEW BEDFORD COUSINS LLC
P.O. BOX 36
SCITUATE, MA 02066
DEED BOOK 7734 PAGES 340-347

GENERAL NOTES:

1. THE SUBJECT PARCEL IS SHOWN AS MAP 130 BLOCK D LOTS 117, 379-387, 382-419.
2. THE VERTICAL DATUM IS THE NEW BEDFORD CITY DATUM.
3. LOCUS LIES WITHIN ZONE "X" AS SHOWN ON FIRM COMMUNITY PANEL #25005C0383G PANEL 383 OF 550 REVISED JULY 18, 2014.
4. BORDERING VEGETATED WETLANDS FLAGS AND INTERMITTENT STREAM WERE APPROVED BY THE CITY OF NEW BEDFORD CONSERVATION COMMISSION ON 6/13/2016 WITH A NOTICE OF INTENT, SE49-0736.

PLAN REFERENCES:

LAND COURT PLAN #23553-A

PLAN BK\PG:

148\104
133\34
130\30
128\79
121\138
121\110
98\23
85\07
82\70
19\48

BOARD OF SURVEY PLAN #S:
24, 39, 398, 390, 80

MASS HIGHWAY DEPT. FIELD BOOK #S:
23040 & 27586

ZONING REQUIREMENTS:

RESIDENCE DISTRICT - RA
AREA 8,000 S.F.
FRONTAGE 75 FEET
DENSITY OF DWELLING UNITS PER LOT 1/10,000 S.F.
HEIGHT 45 FEET
MINIMUM YARDS:
FRONT 20 FEET
SIDE 10' & 12'
REAR 30 FEET
LOT COVERAGE 30%
GREEN SPACE 35%



STONEY BROOK FARM

LOT LAYOUT

CAVANARO CONSULTING

687 MAIN STREET
P.O. BOX 5175
NORWELL, MASSACHUSETTS 02061
PHONE: 781.659.8187
FAX: 781.659.8186

OWNER/APPLICANT:

NEW BEDFORD COUSINS LLC
P.O. BOX 36
SCITUATE, MA 02066

PROJECT NO.: 5005

DRAWING NO.

SCALE: AS SHOWN

DATE: 5/11/17

DESIGNED BY: BPS

DRAWN BY: BPS

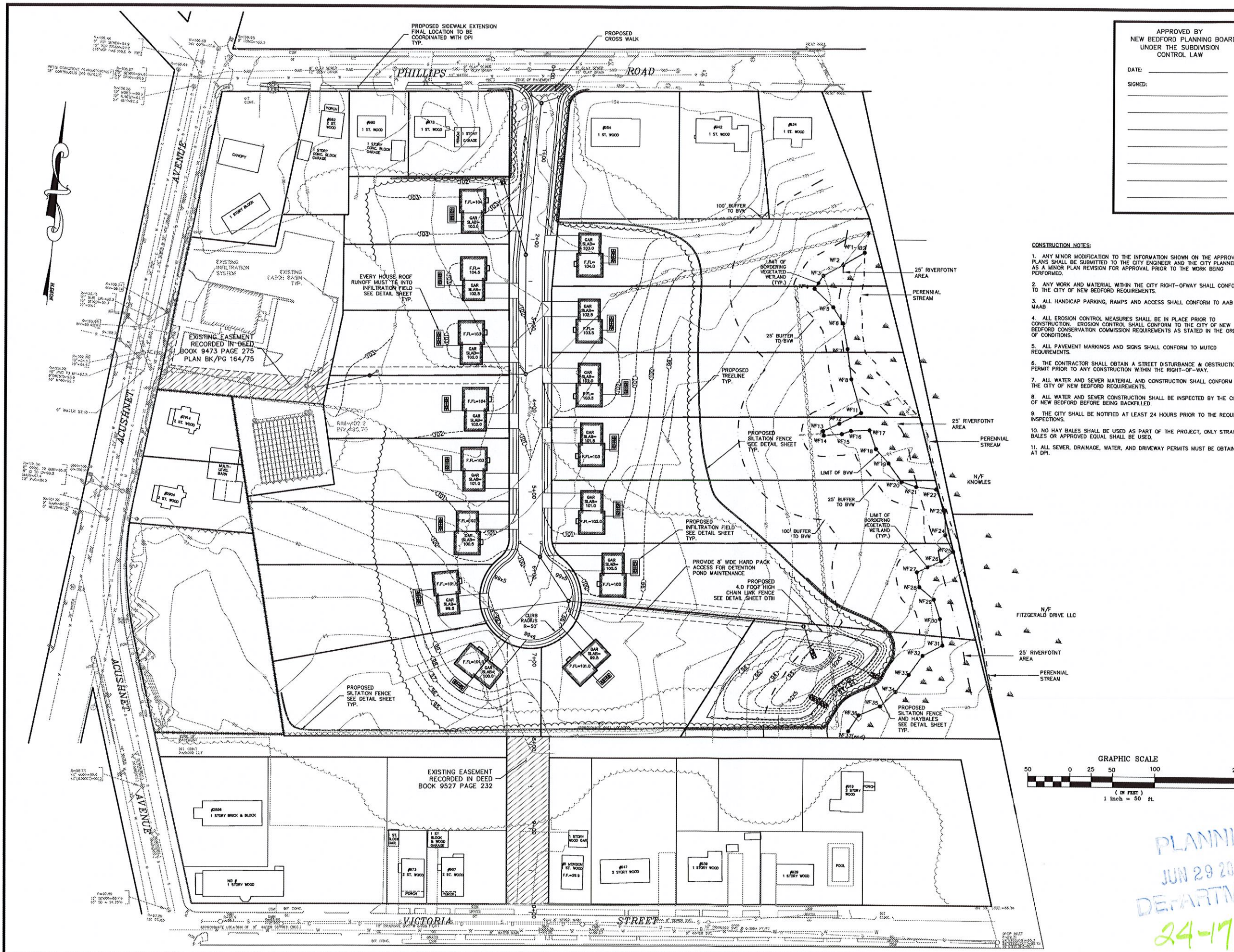
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LL

SHEET NO. 3 of 10

FILENAME:

24-17

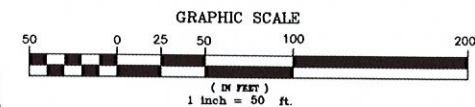


APPROVED BY
NEW BEDFORD PLANNING BOARD
UNDER THE SUBDIVISION
CONTROL LAW

DATE: _____

SIGNED: _____

- CONSTRUCTION NOTES:**
1. ANY MINOR MODIFICATION TO THE INFORMATION SHOWN ON THE APPROVED PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AND THE CITY PLANNER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
 2. ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
 3. ALL HANDICAP PARKING, RAMPS AND ACCESS SHALL CONFORM TO AAB & MAAB.
 4. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO THE CITY OF NEW BEDFORD CONSERVATION COMMISSION REQUIREMENTS AS STATED IN THE ORDER OF CONDITIONS.
 5. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS.
 6. THE CONTRACTOR SHALL OBTAIN A STREET DISTURBANCE & OBSTRUCTION PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE RIGHT-OF-WAY.
 7. ALL WATER AND SEWER MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
 8. ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF NEW BEDFORD BEFORE BEING BACKFILLED.
 9. THE CITY SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE REQUIRED INSPECTIONS.
 10. NO HAY BALES SHALL BE USED AS PART OF THE PROJECT, ONLY STRAW BALES OR APPROVED EQUAL SHALL BE USED.
 11. ALL SEWER, DRAINAGE, WATER, AND DRIVEWAY PERMITS MUST BE OBTAINED AT DPI.



| DRAWING REVISIONS | | |
|--|-----------------------------------|------------------------------|
| 1 | 6/28/17 | STAFF COMMENTS DATED 6/14/17 |
| ACTION | DATE | DESCRIPTION |
| GENERAL NOTES: | | |
| 1. PROPERTY LINE INFORMATION SHOWN ON THIS PLAN IS BASED ON AN INSTRUMENT SURVEY PERFORMED BY CAVANARO CONSULTING USING INFORMATION COMPILED FROM AVAILABLE ASSESSOR'S MAPS AND RECORDED DEED INFORMATION. | | |
| 2. EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY LOCATION PRIOR TO EARTH REMOVAL. | | |
| 3. PROPOSED GAS SERVICE CONNECTION SHALL BE INSTALLED BY THE LOCAL GAS SERVICE PROVIDER. CONSTRUCTION DETAILS OF THE GAS CONNECTION ARE AVAILABLE AT THE GAS COMPANY. | | |
| LEGEND | | |
| — | PROPERTY LINE | |
| — | PROP. TELEPHONE, ELECTRIC & CABLE | |
| — | EX GAS LINE | |
| — | PROPOSED GAS LINE | |
| — | EX WATER LINE | |
| — | PROPOSED WATER LINE | |
| — | EXISTING SEWER LINE | |
| — | PROPOSED SEWER LINE | |
| — | EXISTING DRAIN LINE | |
| — | PROPOSED DRAIN LINE | |
| — | EXISTING HYDRANT | |
| — | PROPOSED HYDRANT | |
| — | EXISTING WATER VALVE | |
| — | PROPOSED WATER VALVE | |
| — | EXISTING CATCH BASIN | |
| — | PROPOSED CATCH BASIN | |
| — | EXISTING DRAIN MANHOLE | |
| — | PROPOSED DRAIN MANHOLE | |
| — | TREE LINE | |
| — | TYP. | |
| — | CLDI | |
| — | TBA | |
| — | PROPOSED THRUST BLOCK | |

STONEY BROOK FARM

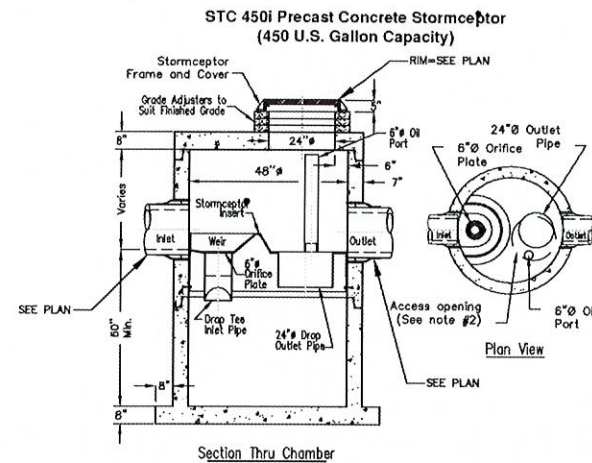
GRADING & DRAINAGE

CAVANARO CONSULTING
687 MAIN STREET
P.O. BOX 5175
NORWELL, MASSACHUSETTS 02061
PHONE: 781.659.8187
FAX: 781.659.8186

OWNER/APPLICANT:
NEW BEDFORD COUSINS LLC
P.O. BOX 36
SCITUATE, MA 02066

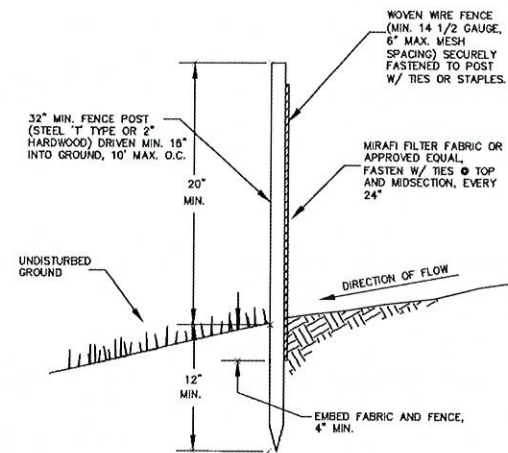
| | |
|--------------------|---------------------------------------|
| PROJECT NO. : 5005 | DRAWING NO. |
| SCALE : AS SHOWN | GD |
| DATE : 5/11/17 | |
| DESIGNED BY : BPS | |
| DRAWN BY : BPS | SHEET NO. 4 OF 10 |
| CHECKED BY : JCC | FILENAME: 2_VSB005.DWG 5.9 11.2017 |

PLANNING
JUN 29 2017
DEPARTMENT
24-17

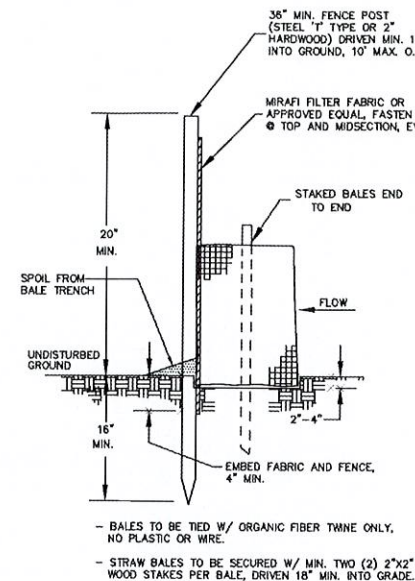


- Notes:
1. The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
 2. The Cover Should be Positioned Over The Outlet Drop Pipe and The Oil Port.
 3. The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148, #5488331, #5725760, #5753115, #5849181, #6068765, #6371690.
 4. Contact a Concrete Pipe Division representative for further details not listed on this drawing.

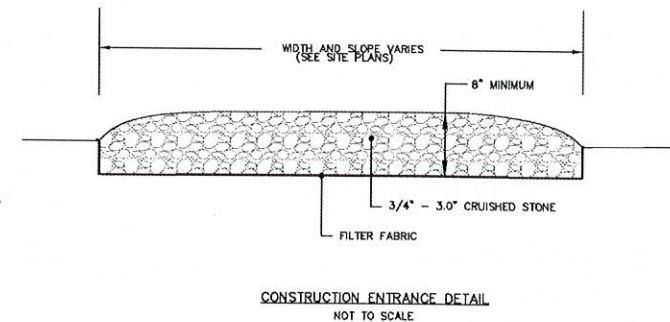
STORMCEPTOR DETAIL
NOT TO SCALE



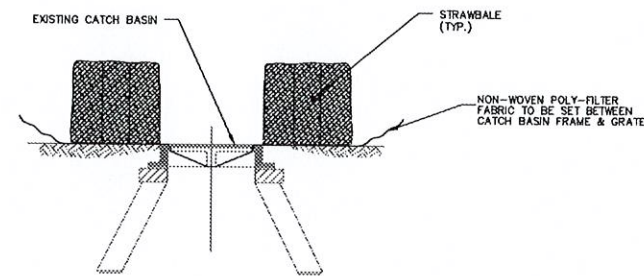
SILTFENCE
NOT TO SCALE



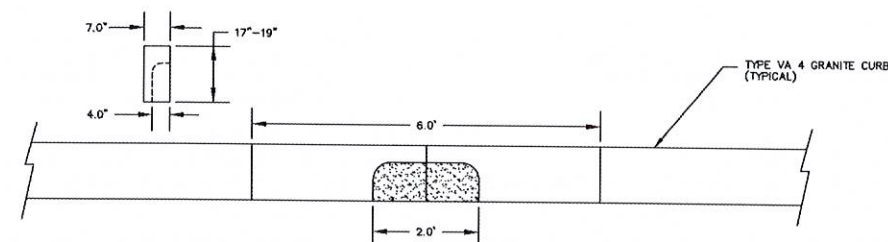
STRAWBALE WITH SILTFENCE
NOT TO SCALE



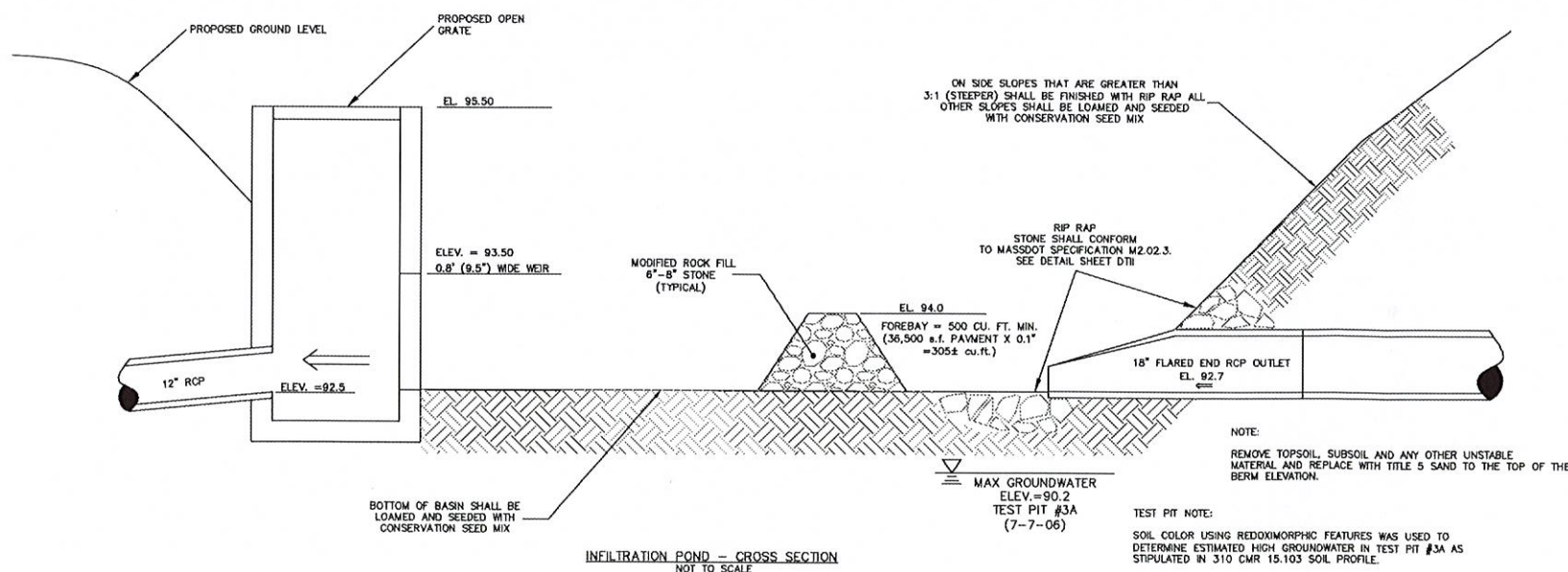
CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



STRAWBALE EROSION CHECK
NOT TO SCALE

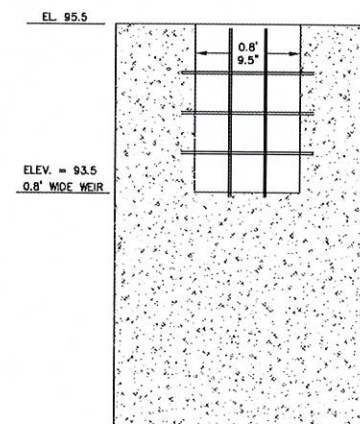


GRANITE CURB INLET DETAIL
NOT TO SCALE
TO BE LOCATED AT EACH CATCH BASIN LOCATION



INFILTRATION POND - CROSS SECTION
NOT TO SCALE

INFILTRATION POND DETAILS



DRAINAGE STRUCTURE - FRONT VIEW
NOT TO SCALE

DRAWING REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|---------|-------------------------------|
| 2 | 6/28/17 | STAFF COMMENTS DATED 6/14/17 |
| 1 | 5/24/17 | NITSCH COMMENTS DATED 5/15/17 |

GENERAL NOTES:

1. PROPERTY LINE INFORMATION SHOWN ON THIS PLAN IS BASED ON AN INSTRUMENT SURVEY PERFORMED BY CAVANARO CONSULTING USING INFORMATION COMPILED FROM AVAILABLE ASSESSOR'S MAPS AND RECORDED DEED INFORMATION.
2. EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY LOCATION PRIOR TO EARTH REMOVAL.
3. PROPOSED GAS SERVICE CONNECTION SHALL BE INSTALLED BY THE LOCAL GAS SERVICE PROVIDER. CONSTRUCTION DETAILS OF THE GAS CONNECTION ARE AVAILABLE AT THE GAS COMPANY.
4. PROPOSED ELECTRICAL SERVICE CONNECTION FROM THE NEAREST UTILITY POLE SHALL BE INSTALLED BY THE LOCAL ELECTRIC SERVICE PROVIDER.
5. PROPOSED WATER SERVICE CONNECTION SHALL BE TO THE NEAREST MAIN LINE BRANCH IN ACCORDANCE WITH CITY OF NEW BEDFORD WATER DEPARTMENT STANDARDS.
6. ALL SANITARY SEWER CONNECTIONS SHALL BE REVIEWED AND APPROVED BY THE CITY OF NEW BEDFORD ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.

CONSTRUCTION NOTES:

1. ANY MINOR MODIFICATION TO THE INFORMATION SHOWN ON THE APPROVED PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AND THE CITY PLANNER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
2. ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
3. ALL HANDICAP PARKING, RAMPS AND ACCESS SHALL CONFORM TO AAB & MAAB.
4. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO THE CITY OF NEW BEDFORD CONSERVATION COMMISSION REQUIREMENTS AS STATED IN THE ORDER OF CONDITIONS.
5. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS.



STONEY BROOK
FARM

DETAIL SHEET I

CAVANARO CONSULTING

687 MAIN STREET
P.O. BOX 5175
NORWELL, MASSACHUSETTS 02061
PHONE: 781.659.8187
FAX: 781.659.8186

OWNER/APPLICANT:

NEW BEDFORD COUSINS LLC
P.O. BOX 36
SCITUATE, MA 02066

| | |
|--------------------|-------------------|
| PROJECT NO. : 5005 | DRAWING NO. |
| SCALE : AS SHOWN | DTI |
| DATE : 5/11/17 | |
| DESIGNED BY : BPS | |
| DRAWN BY : BPS | SHEET NO. 7 OF 10 |
| CHECKED BY : JCC | FILENAME: |

PLANNING
JUN 29 2017
DEPARTMENT
24-17

DRAWING REVISIONS

| ACTION | DATE | DESCRIPTION |
|--------|---------|------------------------------|
| 1 | 6/28/17 | STAFF COMMENTS DATED 6/14/17 |

GENERAL NOTES:

1. PROPERTY LINE INFORMATION SHOWN ON THIS PLAN IS BASED ON AN INSTRUMENT SURVEY PERFORMED BY CAVANARO CONSULTING USING INFORMATION COMPILED FROM AVAILABLE ASSESSOR'S MAPS AND RECORDED DEED INFORMATION.
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STONEY BROOK FARM

DETAIL SHEET II

CAVANARO CONSULTING

687 MAIN STREET
P.O. BOX 5175
NORWELL, MASSACHUSETTS 02061
PHONE: 781.659.8187
FAX: 781.659.8186

OWNER/APPLICANT:

NEW BEDFORD COUSINS LLC
P.O. BOX 36
SCITUATE, MA 02066

PROJECT NO. : 5005

SCALE : AS SHOWN

DATE : 5/11/17

DESIGNED BY : BPS

DRAWN BY : BPS

CHECKED BY : JCC

DRAWING NO.

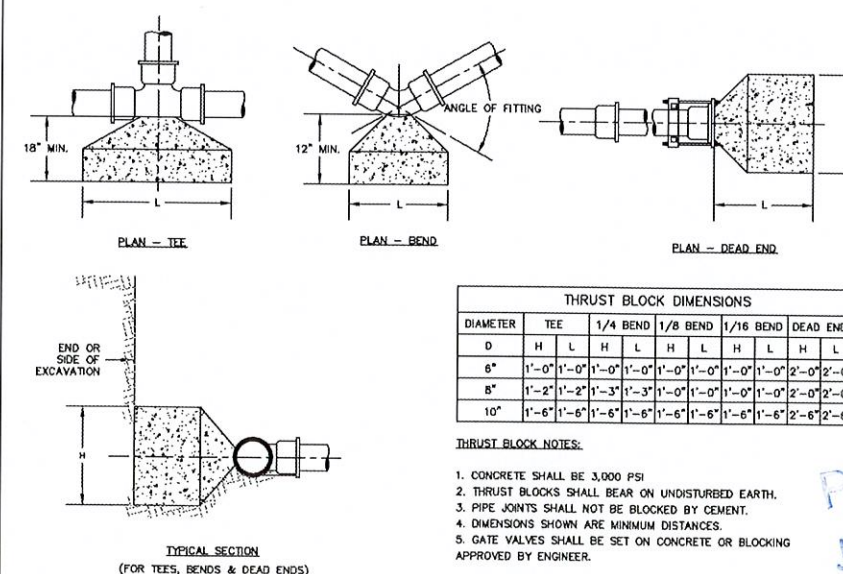
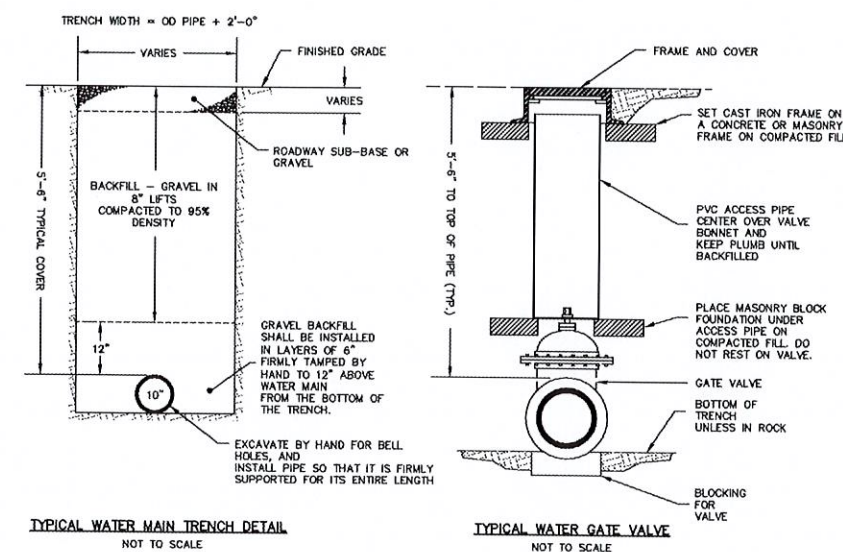
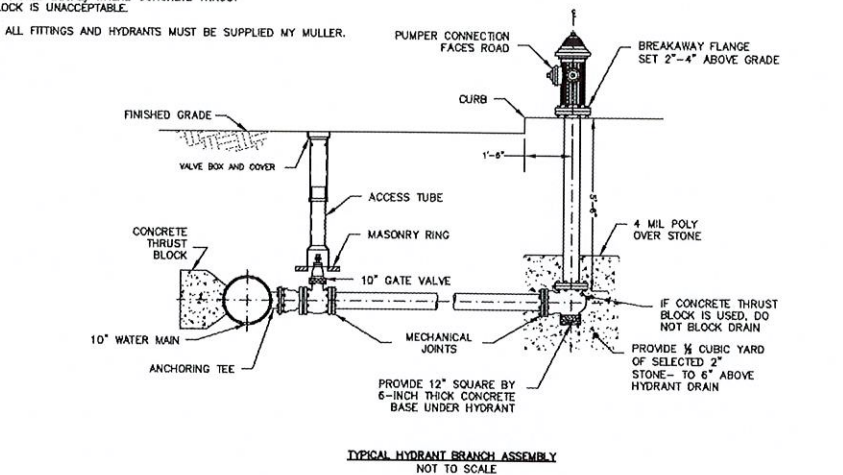
DTII

SHEET NO. 8 OF 10

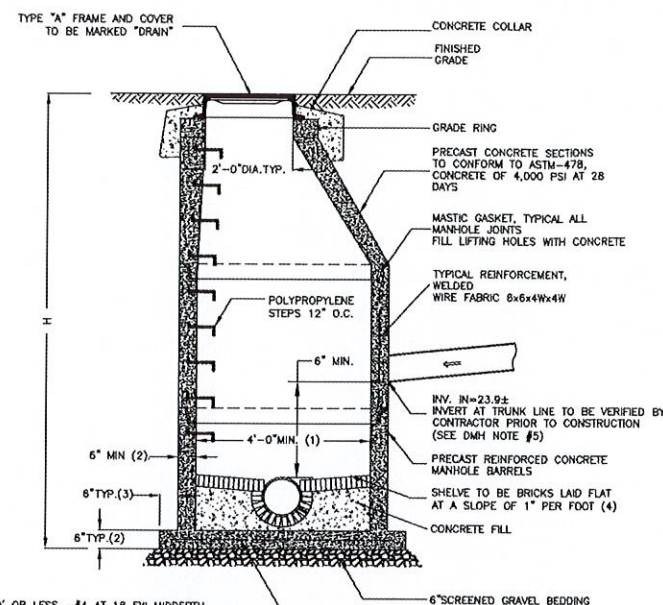
FILENAME: 2150050101NORTHSHORE FARM.DWG

HYDRANT NOTES:

1. CONCRETE THRUST BLOCK TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH.
2. USE RESTRAINED JOINT FITTINGS (MEGALUG OR APPROVED EQUAL) WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE.
3. ALL FITTINGS AND HYDRANTS MUST BE SUPPLIED BY MULLER.



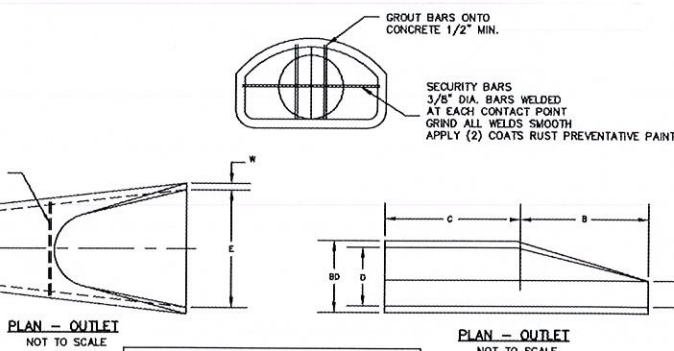
WATER LINE DETAILS



H= 10' OR LESS - #4 AT 18 EW MIDDLE
H= 10' TO 20' - #4 AT 12 EW MIDDLE
H= 20' TO 30' - #5 AT 12 EW MIDDLE
IN ADDITION TO WELDED WIRE FABRIC

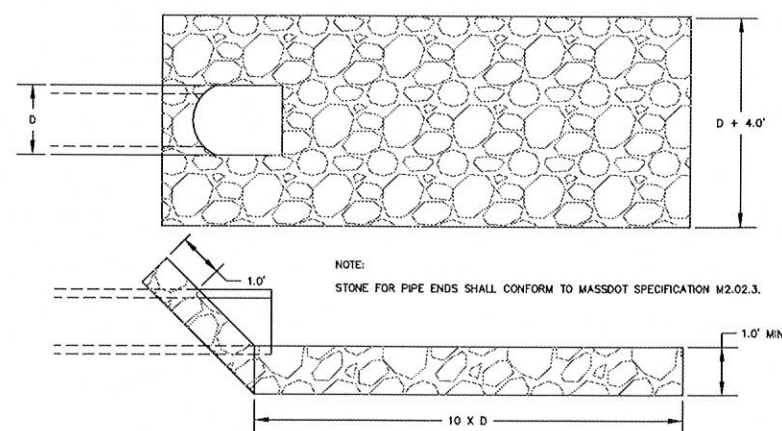
DRAINAGE MANHOLE NOTES:

1. 5'-0" DIAMETER FOR ALL MANHOLE DEPTHS GREATER THAN 20 FEET OR WHEN ORDERED BY THE ENGINEER.
2. 6" MIN. WALL THICKNESS AND 7 INCH MIN. BASE THICKNESS WITH 5'-0" DIAMETER MANHOLES.
3. 6 INCH UP OPTIONAL UNLESS OTHERWISE NOTED.
4. CONCRETE INVERT AND SHELF MAY BE SUBSTITUTED IN STORM DRAIN MANHOLES AS DIRECTED BY THE ENGINEER.



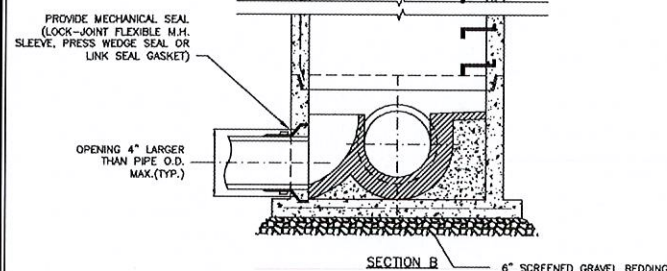
| FLARED END DIMENSIONS | | | | | | |
|-----------------------|------|------|------|------|------|------|
| DIAMETER | A | B | BD | C | D | E |
| 12" | 4" | 2" | 1.7" | 4" | 4.5" | 2.0" |
| 18" | 9.5" | 3.6" | 3.0" | 2.5" | 3.0" | 4.0" |

PRECAST CONCRETE FLARED END DETAIL



RIP RAP END DETAIL

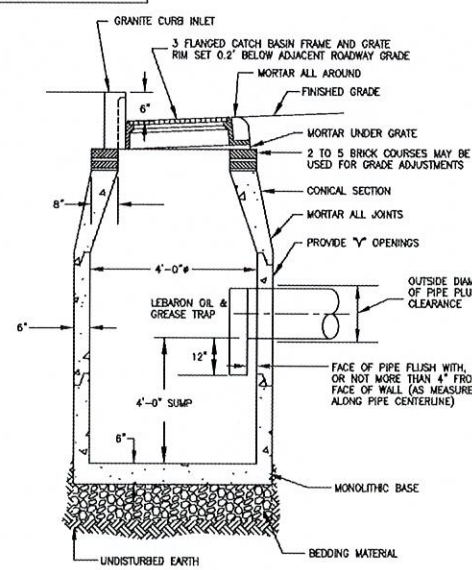
SEWER AND DRAINAGE DETAILS



PRECAST CONCRETE SEWER MANHOLE

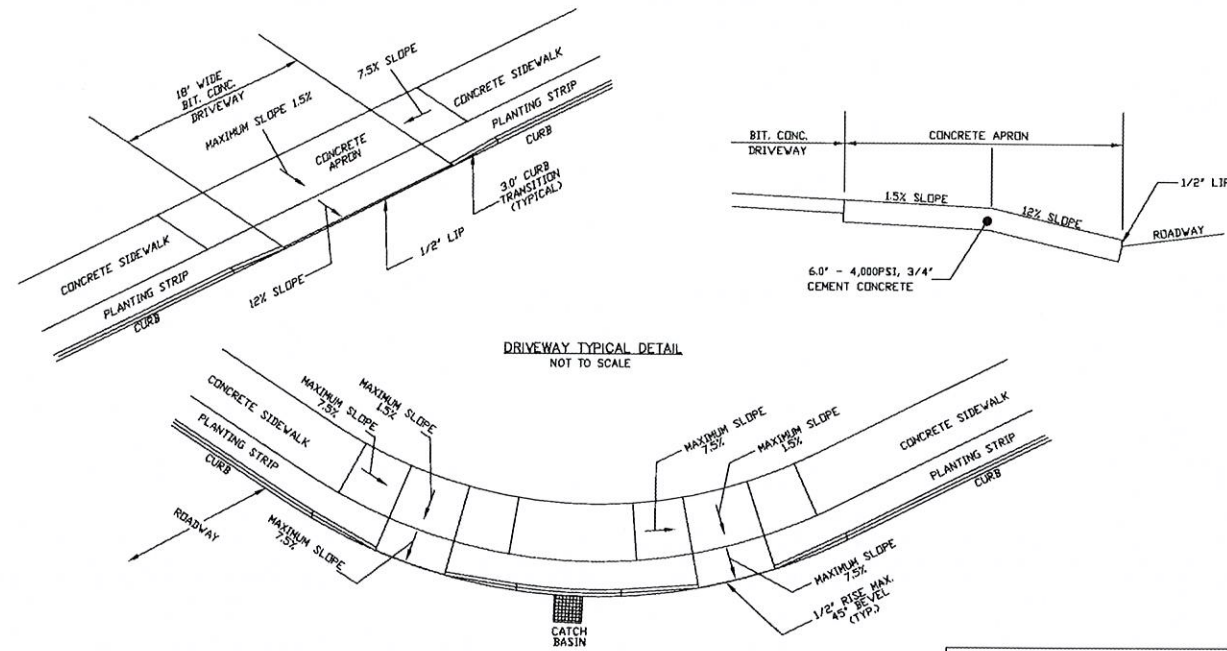
N.T.S.

LEBARON CAST IRON OIL AND GREASE TRAP
TO BE INSTALLED IN ACCORDANCE WITH THE
MANUFACTURER'S SPECIFICATIONS.



DEEP SUMP CATCH BASIN

NOT TO SCALE

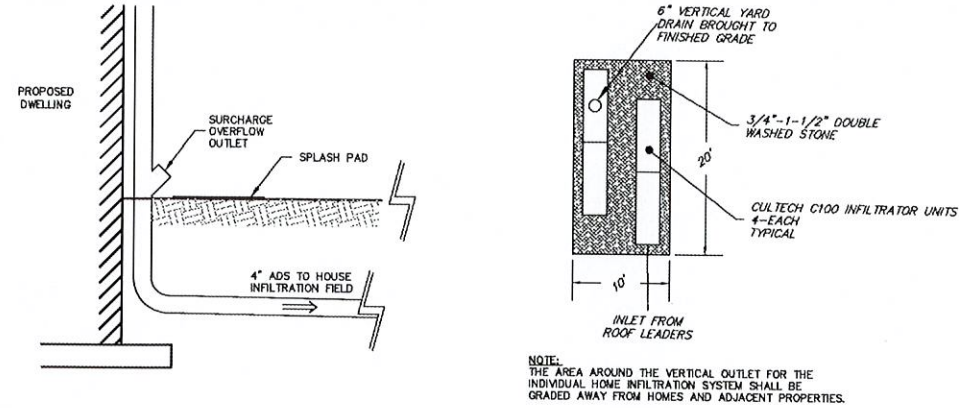


DRIVEWAY TYPICAL DETAIL
NOT TO SCALE

WHEELCHAIR RAMP TYPICAL DETAIL
NOT TO SCALE

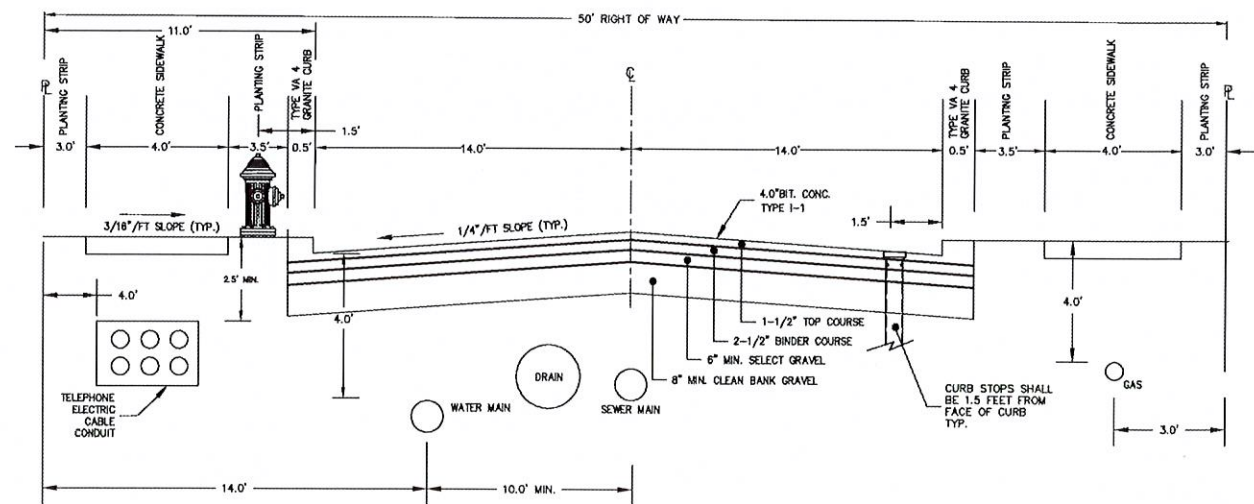
CONCRETE SIDEWALK NOTES:

1. SIDEWALKS SHALL BE 4,000 PSI 3/4" CEMENT CONCRETE.
2. CONCRETE SHALL BE 4.0" IN DEPTH AT SIDEWALKS AND 6.0" IN DEPTH AT DRIVEWAY AND WHEELCHAIR LOCATIONS.
3. THE CONCRETE SHALL BE PLACED IN ALTERNATE SLABS 30 FEET IN LENGTH AND SEPARATED BY TRANSVERSE PREFORMED EXPANSION JOINT FILLER 1/2" IN THICKNESS.
4. ALL SIDEWALKS AND WHEELCHAIR RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH A.D.A. AND THE CITY OF NEW BEDFORD STANDARDS.



TYPICAL HOUSE INFILTRATION BED - PLAN VIEW
NOT TO SCALE

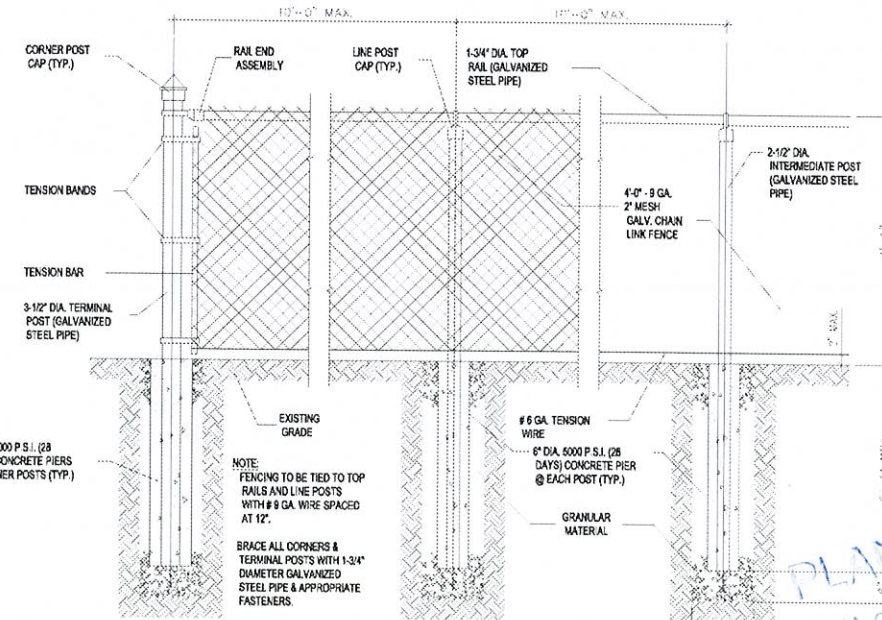
TYPICAL HOUSE INFILTRATION BED - CROSS SECTION
NOT TO SCALE



TYPICAL ROADWAY SECTION
NOT TO SCALE

UTILITY CONSTRUCTION NOTES:

1. ALL UTILITY CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTION REQUIRED FOR STREET ACCEPTANCE EFFECTIVE JAN 1, 1991.
2. ALL UTILITIES SHALL BE INSTALLED AS PER CITY OF NEW BEDFORD REGULATIONS.



CHAIN LINK FENCE DETAIL
NOT TO SCALE

DRAWING REVISIONS

| 1 | 6/28/17 | STAFF COMMENTS DATED 6/28/17 |
|--------|---------|------------------------------|
| ACTION | DATE | DESCRIPTION |

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STONEY BROOK FARM

DETAIL SHEET III

CAVANARO CONSULTING

687 MAIN STREET
P.O. BOX 5175
NORWELL, MASSACHUSETTS 02061
PHONE: 781.659.8187
FAX: 781.659.8186

OWNER/APPLICANT:

NEW BEDFORD COUSINS LLC
P.O. BOX 36
SCITUATE, MA 02066

PROJECT NO. : 5005

SCALE : AS SHOWN

DATE : 5/11/17

DESIGNED BY : BPS

DRAWN BY : BPS

CHECKED BY : JCC

DRAWING NO.

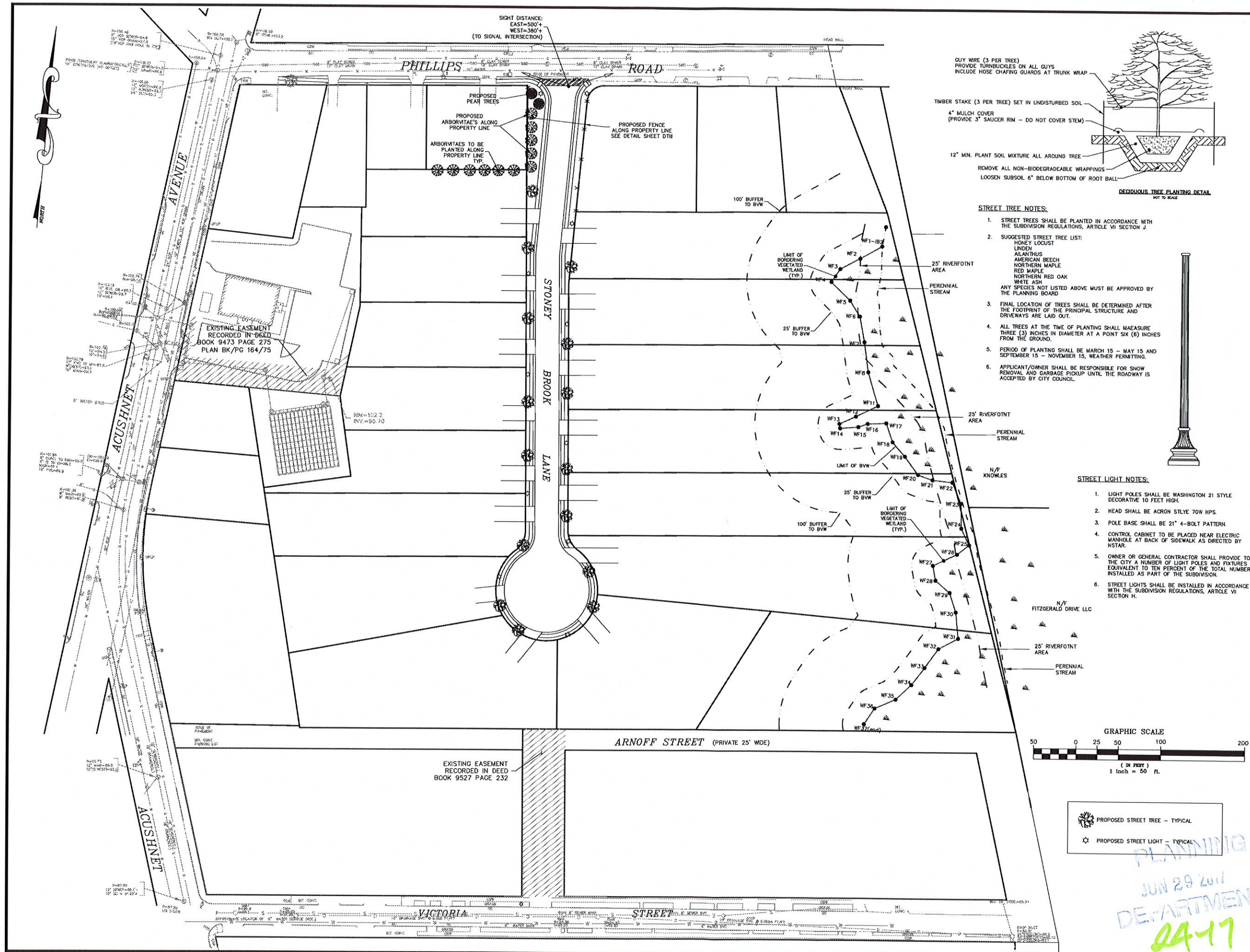
DTIII

SHEET NO. 9 OF 10

FILENAME:

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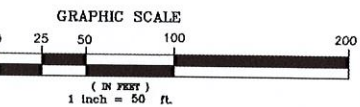
PLANNING
JUL 29 2017
DEPARTMENT
24-17



| DRAWING REVISIONS | | |
|-------------------|---------|------------------------------|
| 1 | 8/28/17 | STAFF COMMENTS DATED 8/14/17 |
| ACTION | DATE | DESCRIPTION |

- EROSION CONTROL NOTES:**
1. A CONTINUOUS ROW OF STRAW BALES WITH SILT FENCE SHALL BE PLACED, AS SHOWN ON THE NOTICE OF INTENT PLAN APPROVED BY THE CITY OF NEW BEDFORD CONSERVATION COMMISSION AND ORDER OF CONDITIONS.
 2. STRAW BALE EROSION CHECKS SHALL BE PLACED AT EACH CATCH BASIN INLET DURING CONSTRUCTION AND SHALL REMAIN IN PLACE UP TO THE TIME OF FINAL PAVEMENT CONSTRUCTION. THE STRAW BALES AND/OR SILT FENCE SHALL BE MAINTAINED BY THE CONTRACTOR AND/OR OWNER UNTIL ALL DISTURBED AREAS OF THE PROJECT ARE STABLE.
 3. ALL DISTURBED AREAS WITHIN THE SITE, NOT PROPOSED TO BE OTHERWISE TREATED (I.E. PAVEMENT, STONE RIP-RAP, CRUSHED STONE, PLANTINGS, ETC.), INCLUDING THE DETENTION BASIN SIDE SLOPES AND BOTTOM, SHALL BE LOAMED AND SEEDED WITH AN APPROPRIATE SEED MIX, AS SOON AS PRACTICABLE AFTER CONSTRUCTION, TO REDUCE SOIL EROSION.
 4. THE SITE SHALL BE "ROUGH GRADED" TO THE ELEVATIONS AND CONTOURS AS SHOWN ON THE PLANS, ALLOWING FOR FINAL GRADING AND LOAMING ABOVE THIS ELEVATION.
 5. THE SIDE SLOPES, TREE BELT, AND ALL AREAS WITHIN THE LIMITS OF THE STREET LINES, WHICH ARE NOT PAVED SHALL BE FILLED TO WITHIN 8" OF FINISHED GRADE WITH RANDOM BORROW OR EXCAVATED MATERIAL, AND THE SURFACE GRADED PARALLEL TO THE FINISHED SURFACE. LOAM SHALL BE SPREAD OVER THE SUBGRADE IN SUFFICIENT QUANTITY TO PRODUCE, WITHOUT ROLLING AND AFTER NATURAL SETTLEMENT HAS TAKEN PLACE, A STANDARD DEPTH OF 6". THE SURFACE OF THE LOAM SHALL BE GRADED AND RAKED CLEAN OF ALL ROOTS, STONES, AND OTHER OBJECTIONABLE MATERIALS. THE SURFACE SHALL BE MAINTAINED DURING A PERIOD OF SETTLING AND CONSOLIDATION WITH LOAM BORROW. AFTER SETTLING HAS TAKEN PLACE, FERTILIZER (6-8-4 MIXTURE OR EQUIVALENT) SHALL BE APPLIED AT A RATE OF TWENTY POUNDS PER 100 SQUARE YARDS. THE FULL DEPTH OF LOAM SHALL BE LOOSENED AND MADE SATISFACTORY FOR SEEDING. SEED SHALL THEN BE APPLIED AT A RATE OF 3.6 POUNDS PER 100 SQUARE YARDS. THE SEED SHALL BE THOROUGHLY COVERED WITH A THIN LAYER OF LOAM BY RAKING AND THEN ROLLED WITH A HAND ROLLER WEIGHING NOT MORE THAN 100 POUNDS PER FOOT OF WIDTH. THE SEEDED AREAS SHALL BE SPRINKLED WITH WATER ON A DAILY BASIS AND SHALL BE PROTECTED FROM DAMAGE. ALL AREAS WHICH FAIL TO SHOW A UNIFORM GROWTH OF GRASS SHALL BE RESEDED UNTIL THE ENTIRE AREA IS COVERED WITH A UNIFORM GROWTH OF GRASS. SEEDED AREAS SHALL BE MAINTAINED AND KEPT MOVED UNTIL THE STREET HAS BEEN ACCEPTED. LOAM SHALL BE FERTILE, FRIABLE, NATURAL TOPSOIL, TYPICAL OF LOCALITY, WITHOUT ADMIXTURE OF SUBSOIL, REFUSE, OR OTHER FOREIGN MATERIALS. IT SHALL CONTAIN A NORMAL AMOUNT OF ORGANIC MATTER AND SHALL BE REASONABLY FREE FROM STUMPS, ROOTS, HARD DIRT, HEAVY OR STIFF CLAY, STONES LARGER THAN ONE INCH IN DIAMETER, COARSE SAND, LUMPS, NOXIOUS WEEDS, STICKS, BRUSH OR OTHER LITTER. GRASS SEED SHALL BE FRESH, CLEAN, NEW CROP SEED, GERMINATE TO AT LEAST 85 PERCENT AND COMPOSED PRIMARILY OF THE FOLLOWING SPECIES: KENTUCKY BLUEGRASS, FANCY SOIL REDTOP, DOMESTIC RYEGRASS, AND CHEWING FESCUE.
 6. FOR ADDITIONAL DETAILS, REFER TO DWG.'S DTI, DTB & DTII.

- STREET LIGHT NOTES:**
1. LIGHT POLES SHALL BE WASHINGTON 21 STYLE DECORATIVE 10 FEET HIGH.
 2. HEAD SHALL BE ACORN STYLE 70W HPS.
 3. POLE BASE SHALL BE 21" 4-BOLT PATTERN.
 4. CONTROL CABINET TO BE PLACED NEAR ELECTRIC MANHOLE AT BACK OF SIDEWALK AS DIRECTED BY NSTAR.
 5. OWNER OR GENERAL CONTRACTOR SHALL PROVIDE TO THE CITY A NUMBER OF LIGHT POLES AND FIXTURES EQUIVALENT TO TEN PERCENT OF THE TOTAL NUMBER INSTALLED AS PART OF THE SUBDIVISION.
 6. STREET LIGHTS SHALL BE INSTALLED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS, ARTICLE VI SECTION H.



- PROPOSED STREET TREE - TYPICAL
- PROPOSED STREET LIGHT - TYPICAL

STONEY BROOK FARM

LANDSCAPE AND LIGHTING PLAN

CAVANARO CONSULTING
687 MAIN STREET
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