



City of New Bedford

Department of Planning, Housing & Community Development

608 Pleasant St, New Bedford, Massachusetts 02740
Telephone: (508) 979.1500 Facsimile: (508) 979.1575

PATRICK J. SULLIVAN
DIRECTOR

STAFF REPORT

NEW BEDFORD HISTORICAL COMMISSION MEETING June 5, 2017

Case #2017.09: CERTIFICATE OF APPROPRIATENESS

13-15 Hamilton Street, Unit 3
(Map: 53, Lot: 177C)

**Applicant/
Owner:** Hamilton Realty Trust/
Kreg Espinola
15 Hamilton Street
New Bedford, MA 02740

**Applicant's
Agent:** studio2sustain inc.
412 County Street
New Bedford, MA 02740



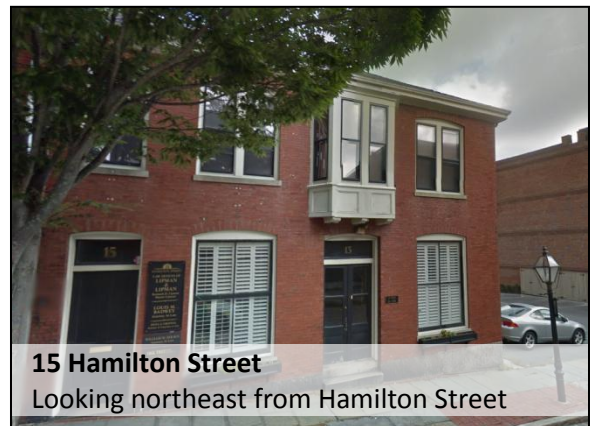
15 Hamilton Street
Looking northwest from Hamilton Street

Overview:

The property owner of 15 Hamilton Street, Unit 3, is seeking to construct a roof deck on the south section of the roof facing Hamilton Street.

Existing Conditions:

The Ivory H. Bartlett & Sons Building, constructed in 1876 as a counting house, is a two-and one-half story four-bay brick building on a granite foundation, located immediately east of, and sharing a party wall with the Double Bank Building. The hipped roof has slate covering and has several skylights on the south, east and north slopes. The building has been divided into three condominium units, with the applicant owning the upper story unit, which has no windows and only skylights for ventilation and natural light.



15 Hamilton Street
Looking northeast from Hamilton Street

Proposal:

The applicant proposes the construction of a recessed roof deck on the center of the south slope of the roof where two skylights currently exist. The proposed roof opening is 9'-3 1/2" wide and is recessed, without any proposed change in the roofline, therefore retaining the existing roof profile. The deck is approximately 7'-10" in depth from the interior wall opening and the edge of the deck will terminate in a knee wall with a mahogany cap trim and a 5 1/2" H tubular steel rail, painted black. The perimeter of the deck will be located approximately 5'-0' from the roof edge.

The associated materials related to the deck construction consist of the following:

- A 6'-0" X 6'-8" *Anderson Frenchwood* double gliding door with a black fiberglass exterior and clear glass;
- *Boral* Board and Batten paneling on exterior walls, paint color TBD;
- *Boral* trim boards, painted white;
- Half round copper gutter and downspout, which drains to copper scuppers at base of knee wall into existing perimeter gutter.
- Mahogany decking and mahogany trim cap on knee wall;
- Pre-finished metal door leading to existing furnace room, paint color TBD.

Statement Of Applicable Guidelines:

The Bedford Landing District Design Guidelines state the following relative to this proposal:

Adding a deck to the roof of a historic building is very difficult without altering the character of the property. Decks should be located so that they are not visible from the public way, do not significantly alter the massing of the property, and do not result in the alteration or loss of significant architectural features. Roof access structures/stairs should not be visible from the public way. If a roof deck will be visible from the public way, the design of the portion of the deck visible from the street should be compatible with the proportion, scale, materials, color and other character-defining elements of the building.

Staff Recommendation:

The proposed roof deck is recessed into the existing roof slope and does not raise or alter the existing roof line. The proposed roof deck will be little more of an intrusion to the roof than the existing skylights. In addition, the proposed deck materials are compatible to the existing elements of the building.

Due to the shallow slope of the hipped roof, the roof deck opening will be minimally visible from the public way, and most aspects related to the deck, such as the door and side walls, may not be visible at all.

Please note that the board and batten wall paneling and the metal door do not have a paint color specified, and although these materials may result in not being visible, the Commission may wish to stipulate the color in the event that such is not the case.

For the reasons stated above, staff recommends the approval of the application and the issuance of a Certificate of Appropriateness with the conditions so noted.





VIEW FROM ACROSS STREET

(A)



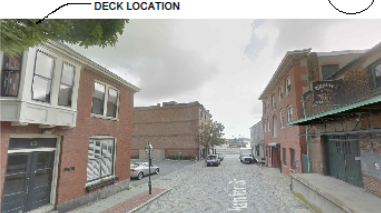
VIEW FROM HAMILTON STREET

(B)



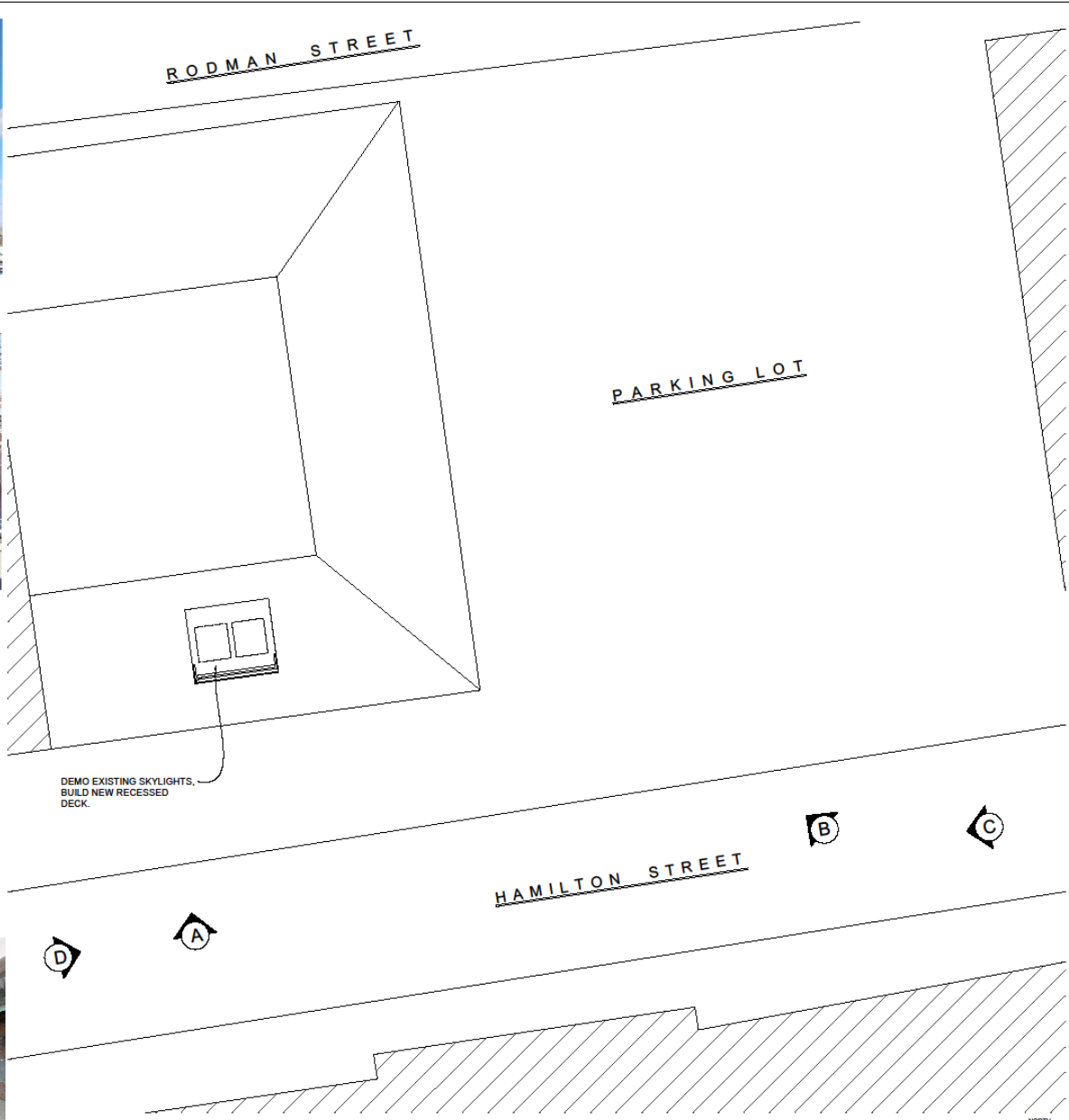
LOOKING WEST

(C)

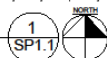


LOOKING EAST

(D)



SITE PLAN WITH PROPOSED DECK
SCALE: 1/8" = 1'-0"



DATE: 05.03.2017

ESPINOLA DECK
NEW BEDFORD, MA

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60% REDUCED
SCALE

studio2sustain inc
architects consultants environmental evangelists

kathryn duff, BA, Founder & director, kathryn@studio2sustain.com
412 county street, new bedford, massachusetts, 02740, 508.999.5145



ESPINOLA DECK
EXISTING &
PROPOSED
SITE PLAN

SP 1.1

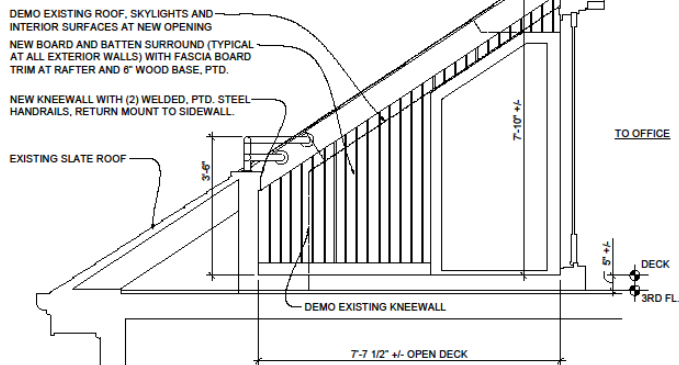


VIEW FROM SIDEWALK ACROSS THE STREET



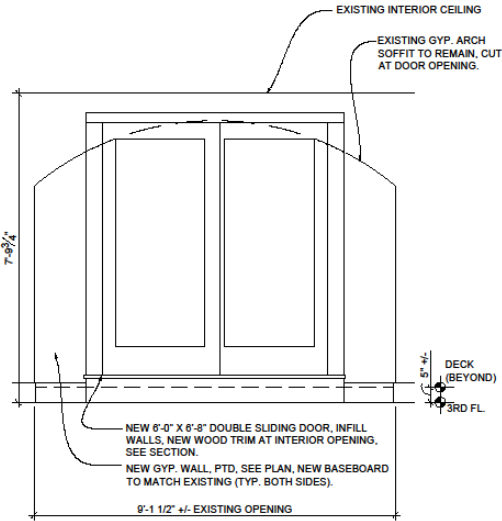
VIEW FROM BASE OF HAMILTON ST.

SEE A1.2 FOR DETAILED SECTION



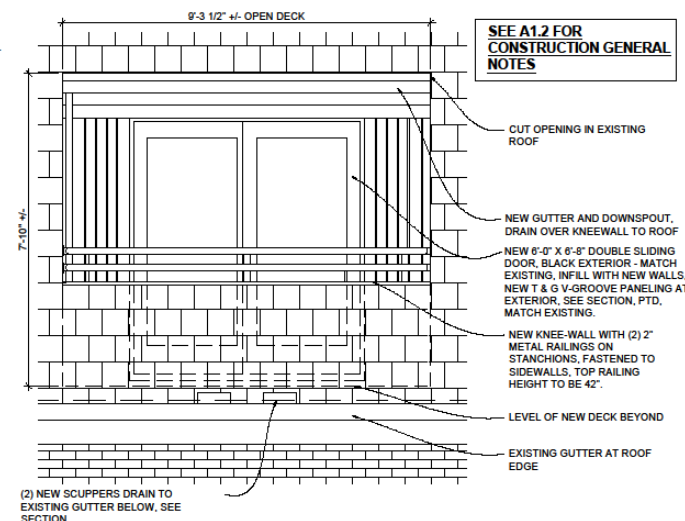
PROFILE SECTION - EXISTING & PROPOSED
SCALE: 1/2" = 1'-0"

4
A1.1



ELEVATION - INTERIOR PROP. LOOKING SOUTH
SCALE: 1/2" = 1'-0"

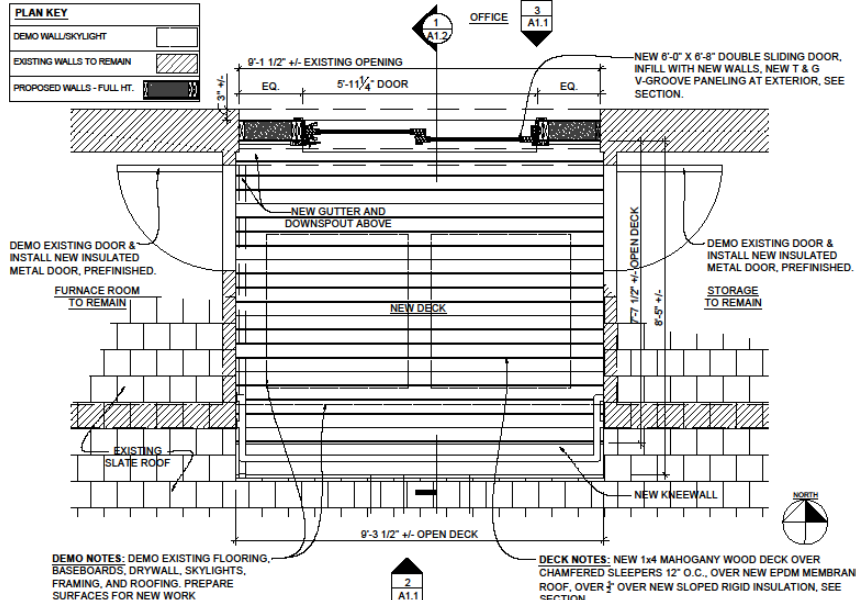
3
A1.1



ELEVATION - EXISTING & PROPOSED
SCALE: 1/2" = 1'-0"

2
A1.1

PLAN KEY	
	DEMO WALL/SKYLIGHT
	EXISTING WALLS TO REMAIN
	PROPOSED WALLS - FULL HT.



SECOND FLOOR PLAN - EXISTING & PROPOSED
SCALE: 1/2" = 1'-0"

1
A1.1

SEE A1.2 FOR CONSTRUCTION GENERAL NOTES

DATE: 05.03.2017

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NEW BEDFORD, MA

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ESPINOLA DECK
EXISTING & PROPOSED

PLANS AND SECTIONS

A 1.1

GENERAL NOTES:

1. ALL WORK, AS DEFINED OR IMPLIED WITHIN THESE CONSTRUCTION DRAWINGS AND BUILDING SPECIFICATIONS IS TO BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL BUILDING CODES AND REGULATIONS.
2. ALL DIMENSIONS SHOWN REPRESENT APPROXIMATE DELINEATIONS AND ARE NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES. ALL WIDTH DIMENSIONS ARE APPROXIMATE, AS WALLS ARE UNEVEN STONE AND/OR BRICK MASONRY. ALL DIMENSIONS MUST BE VERIFIED IN FIELD (V.I.F.)
3. THE CONTRACTOR SHALL EXAMINE THE ENTIRE SITE, AND WILL TAKE INTO ACCOUNT ALL CONDITIONS THEREON AS MAY AFFECT THE PERFORMANCE OF THE WORK UNDER THE CONTRACT. ALL DIMENSIONS MUST BE VERIFIED IN-FIELD PRIOR TO COMMENCING WORK. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES AND/OR DEVIATIONS FROM WHAT IS PRESENTED AND/OR IMPLIED ON THESE DRAWINGS AND SPECIFICATIONS.
5. THESE DRAWINGS ARE INTENDED TO SHOW THE EXISTING CONDITIONS OF THE EXISTING BUILDING, INCLUDING PROPOSED REPAIRS AND RENOVATIONS. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN FIELD. DO NOT SCALE DRAWINGS. CONTRACTOR TO NOTIFY THE ARCHITECT AND THE OWNER IF ANY CONDITIONS APPEAR CONTRARY TO THE DRAWINGS AND/OR SPECIFICATIONS. NOTE: CONTRACTOR MUST PROTECT OFFICE SPACE BELOW FROM WEATHER DURING CONSTRUCTION - PHASE CONSTRUCTION TO OPEN ROOF LAST, AND THEN TO PROVIDE FULL PROTECTION UNTIL ALL CONSTRUCTION IS COMPLETE.
8. THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE IDENTIFICATION, DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE.

FRAMING NOTES:

1. ALL FRAMING SHALL BE KILN DRIED 19% MAXIMUM MOISTURE CONTENT. LUMBER SHALL MEET AS A MINIMUM THE FOLLOWING DESIGN VALUES FOR "SPRUCE-PINE-FIR":
 - A) 2X STUD CONSTRUCTION - GRADE: Fb=875 psi, Fv=135 psi, Fc=725 psi.
 - B) 2X JOISTS/RAFTERS - NO. 2, GRADE: Fb=875 psi, Fv=135 psi, & Fc=1,150 psi.
 - C) POSTS - NO. 1 - GRADE: Fb=800 psi, Fv=85 psi, Fc=675 psi.
2. ALL FASTENING OF FRAMING, PLATES, SILLS, SHEATHING AND OTHER WOOD MEMBERS SHALL BE IN ACCORDANCE WITH THE DETAILS SHOWN AND MINIMUM REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE.
3. CONNECTORS SHOWN ARE AS MANUFACTURED BY SIMPSON STRONG-TIE CO., INC. SUBSTITUTIONS MUST BE APPROVED IN WRITING BY AN ENGINEER. INSTALLATION OF ALL CONNECTORS SHALL BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION AND MUST EMPLOY ALL REQUIRED FASTENERS.
4. ALL CONNECTORS SHALL BE HOT DIP GALVANIZED.
5. INSTALL ALL CONNECTOR FASTENERS BEFORE LOADING THE JOINT.
6. SPLIT WOOD IS NOT ACCEPTABLE FOR ANY CONNECTIONS.
7. ALL MANUFACTURED LVL WOOD FRAMING COMPONENTS SHALL HAVE THE FOLLOWING PHYSICAL PROPERTIES AS A MINIMUM: E=1,900,000 psi, Fb=2,850 psi, Fv=285 psi, Fc=2,510 psi.
8. ALL PLYWOOD SHALL BE APA PERFORMANCE RATED PANELS CONFORMING TO THE FOLLOWING MINIMUM REQUIREMENTS:
 - A) FLOOR: STUD-1-FLOOR T&G, EXPOSURE 1, 3/4", SPAN RATING 24".
 - B) WALL SHEATHING: EXPOSURE 1, 3/4", SPAN RATING 24".
 - C) ROOF SHEATHING: EXPOSURE 1, 3/4", SPAN RATING 24".
9. ALL SCREWS AND NAILS TO BE FASTENED "SNUG-TIGHT" UNLESS OTHERWISE NOTED.

ROOF FRAMING NOTES:

1. ALL FRAMING SHALL BE KILN DRIED 19% MAXIMUM MOISTURE CONTENT. LUMBER SHALL MEET AS A MINIMUM THE FOLLOWING DESIGN VALUES FOR "SPRUCE-PINE-FIR":
 - A) 2X STUD CONSTRUCTION - GRADE: Fb=875 psi, Fv=135 psi, Fc=725 psi.
 - B) 2X JOISTS/RAFTERS - NO. 2, GRADE: Fb=875 psi, Fv=135 psi, & Fc=1,150 psi.
 - C) POSTS - NO. 1 - GRADE: Fb=800 psi, Fv=85 psi, Fc=675 psi.
2. ALL FASTENING OF FRAMING, PLATES, SILLS, SHEATHING AND OTHER WOOD MEMBERS SHALL BE IN ACCORDANCE WITH THE DETAILS SHOWN AND MINIMUM REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE.
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FASTENERS:

4. ALL CONNECTORS SHALL BE HOT DIP GALVANIZED.
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6. SPLIT WOOD IS NOT ACCEPTABLE FOR ANY CONNECTIONS.
7. ALL MANUFACTURED LVL WOOD FRAMING COMPONENTS SHALL HAVE THE FOLLOWING PHYSICAL PROPERTIES AS A MINIMUM: E=1,900,000 psi, Fb=2,850 psi, Fv=285 psi, Fc=2,510 psi.
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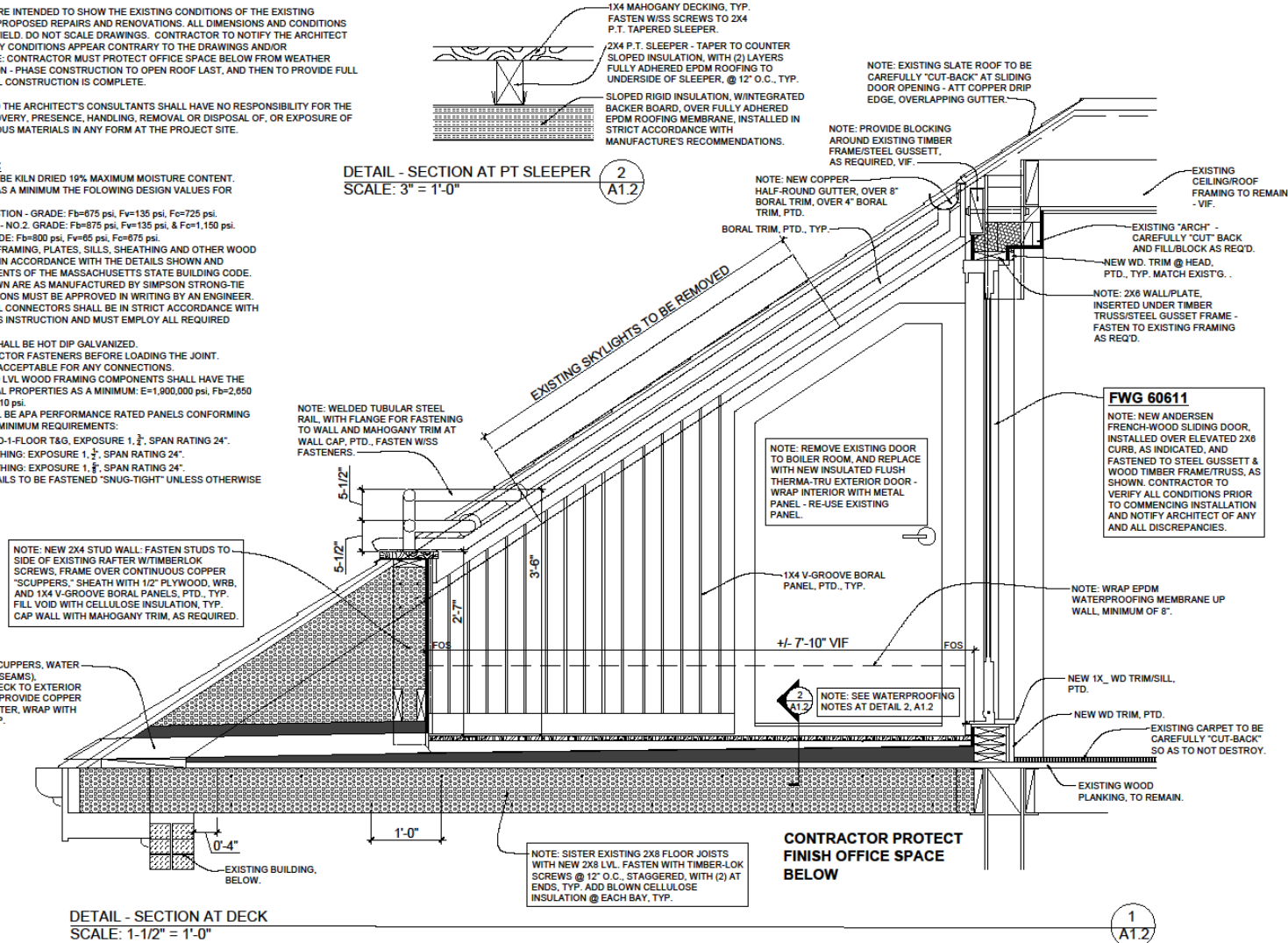


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432 county street, new bedford, massachusetts, 02748, 508.998.5143

**ESPINOLA DECK
-
EXISTING &
PROPOSED
SECTION - NOTES**

A 1.2

DETAIL - SECTION AT PT SLEEPER
SCALE: 3" = 1'-0"



DETAIL - SECTION AT DECK
SCALE: 1-1/2" = 1'-0"