



## City of New Bedford

### Department of Planning, Housing & Community Development

608 Pleasant St, New Bedford, Massachusetts 02740

Telephone: (508) 979.1500 Facsimile: (508) 979.1575

PATRICK J. SULLIVAN

DIRECTOR

## STAFF COMMENTS

### PLANNING BOARD MEETING

December 14, 2016

**Case #37-16: SITE PLAN APPROVAL MODIFICATION**

50 Duchaine Boulevard

Map: 134, Lots: 456, 457, 458 & 459

**Applicant:**

Farland Corp.

401 County Street

New Bedford, MA 02740

**Owner:**

NSTAR Electric Co.

247 Station Drive

Westwood, MA 02090



LOOKING WEST TOWARD SITE FROM DRIVEWAY

### Overview of Request

This is a request to consider Site Plan modification for approved **Case #03-16** for a liquid waste disposal and recycling facility, located at 50 Duchaine Boulevard in New Bedford Business Park in the Industrial C (I-C) zoning district. The proposed use has been changed to energy supplier corporate office, having 167,105 +/- SF with associated parking and loading, at the existing developed 58+/- acre site.

On January 13, 2016 the Planning Board approved a proposal by Parallel Products, Inc., for a liquid waste disposal and recycling facility. Parallel Products of New England reprocesses empty plastic and aluminum beverage containers that come from redemption centers in bottle bill states throughout the New England area. The company grinds, washes and color sorts empty plastic bottles in preparation for the re-manufacture of this plastic into other useful products such as carpeting, strapping and moldable plastic sheeting. The company also specializes in liquid recycling by reclaiming outdated or distressed non-alcohol and alcohol beverages for conversion of these liquids to fuel grade ethanol. Manufacturing and Light Manufacturing defining this proposal are uses permitted by right in the Industrial C zoning district.

On October 28, 2016 SM Real estate, LLC conveyed interest in the parcel known as 50 Duchaine Boulevard to NSTAR Electric Company. Rebranded as "Eversource Energy", **Eversource** is recognized as New England's largest energy provider, serving more than 3.6 million electric and natural gas customers in CT, MA and NH. Business, or professional office, and warehouse use are allowed by right in the Industrial C zoning district. The Protective New Bedford Business Park Covenants imposed by the Industrial Foundation permit the use of the land for the purpose of corporate headquarters and offices.

Existing Conditions

This 58+/- acre parcel is recognized as the site of the former Polaroid Corporation, which was conveyed to Konarka Technologies, Inc., prior to current ownership. The parcel is found at the southern terminus off Duchaine Boulevard via a looped road in the New Bedford Business Park. The existing structure is vacant.

A recent site visit by staff finds common excavation of the vegetation underway at the north side of the building.



Wetlands border the site and are comprised of Wooded Swamp Deciduous Trees (WS1) and Wooded Swamp Mixed Trees (WS3). Due to changes in the stormwater design, parking and proposed use, 50 Duchaine Boulevard requires a new filing with the Conservation Commission to obtain a new Order of Conditions. To date, this new Notice of Intent has not been filed with the Conservation Commission.

Proposed Conditions

At the time this report was written, staff was awaiting a narrative describing the modified proposal.

Appendix C-Table of Parking & Loading Regulations

USE	PARKING REQUIREMENTS	LOADING REQUIREMENTS
Businesses engaged in the warehousing and distribution of goods & materials including building & construction contractors, equipment & supplies on premises, motor freight terminal, facilities for storing & servicing of motor vehicles used in conducting a business or public transportation, industrial machinery & equipment, grain, petroleum products & junkyards.	One (1) space per 1500 sq. ft. of gross floor area up to 15,000 sq. ft. Thereafter, one (1) additional space for each 5,000 sq. ft. or portion thereof in excess of 15,000 sq. ft., plus one (1) space for each vehicle utilized in the business.	Two (2) loading spaces for each building containing 10,000 sq. ft. of gross floor area. Thereafter, one (1) additional loading space shall be required for each additional 25,000 sq. ft. of gross floor area or for each fifteen (15) feet of dock, platform or opening in the building where the loading or unloading of commodities is intended to occur, whichever is the greatest.
Offices: General, professional, business, banks, medical clinics and laboratories, radio and television stations; office of non-profit educational, cultural, or charitable organizations	One (1) space per each 200 sq. ft. of gross floor area but not less than two (2) spaces for each business unit intended to occupy the premises. After 10,000 sq. ft. of gross floor area, one space for every 1,000 sq. ft. of gross floor area	One (1) loading space for each building containing 10,000 sq. ft. or more of gross floor area. Two (2) loading spaces for 100,000 sq. ft. or more of gross floor area

**Parking.** The applicant states the project proposal for **warehouse use** requires forty-one (41) parking spaces under New Bedford ordinance. However, the principal use is described on the cover sheet of the plan set as Energy Supplier Corporate **Offices**. Total parking space requirement for the combined use is 248. Site layout plan sheet notes there are 74 proposed, secure fleet vehicle parking spaces, 208 proposed employee parking spaces,

three (3) spaces at the west building elevation, and seven (7) ADA accessible parking spaces for a total of 292. Parking space length is shown as a dimension of eighteen (18) feet, which do not meet city stipulations of nine feet (9) by twenty (20) feet. While it appears there is land available to satisfy city regulations, the applicant should present revised plans showing the required dimensional parking space.

**Demand and Operations.** The number of customers per day, number of employees, hours and days of operation, and hours and frequency of deliveries are to be determined.

The applicant has omitted a project cost estimate date for completion for the proposed project, as stipulated under §5452.

#### **Site Plan Review**

The submittal is shown as the Site Plan for 50 Duchaine Blvd (Assessors Map 134, Lots 456, 457, 458 and 459) New Bedford, MA dated November 18, 2016 prepared for Eversource Energy, P.O. Box 100085-N2, Duluth, GA 30096 by Thompson Farland 398 County Street, New Bedford, MA 02740, consisting of nine (9) sheets; and

Light Plan, dated 11/16/2016, prepared for Eversource Parking Lot, Building & Roadway, by *nelight*, consisting of one (1) sheet; and

Architectural Plans, dated 11/18/2016, prepared for Eversource, New Bedford, MA, by The SLAM Collaborative, Glastonbury, CT, consisting of three (3) sheets.

Recommended plan revisions are noted as follow:

- **Cover Sheet - Sheet 1 of 9**
  - Revise the number of parking spaces provided using City ordinance regulations of nine (9) feet by twenty (20) feet.
- **Notes & Legend - Sheet 2 of 9**
  - Under General Construction Notes at No. 19, add “and City Planner”.
  - Under General Planting Notes, add **Period of planting:** March 15-May 15 and September 15-November 15, weather permitting.
- **Existing Conditions - Sheet 3 of 9**

Applicant to Provide: 21E Contaminated Site Information, if applicable.  
Restrictive Covenant Doc No. 57647
- **Layout - Sheet 4 of 9**
  - Parking spaces are not dimensioned per municipal code under **§3150**.
- **Grading & Utility-Sheet 5 of 9**
  - Applicant to Provide: Any Utility Easement(s).  
See Comments from DPI.
- **Landscape – Sheet 6 of 9**
  - Significant excavation has been performed at the north elevation of the building, reducing the green cover in preparation of paved parking area. Minimal landscape design has been presented to remedy this loss of vegetation.
  - Given the north south orientation of the site redevelopment, the board may wish to consider requiring the applicant add landscape to islands and increase number of plantings to provide for transpiration due to reduction of green space.
  - The Landscape Plan shall have a note stating period of planting to be March 15-May 15 and September 15-November 15, weather permitting.

- **Detail - Sheet 7 of 9**
- **Detail - Sheet 8 of 9**
- **Modified Layout Plan - Sheet 9 of 9**

The Alta Survey for Phase One and Two Environmental findings should be provided, if applicable.

### Review Comments

As required under city ordinance, the case submittal documents were distributed to City Clerk, City Solicitor, Health Department, Inspectional Services, Engineering, Public Infrastructure, Conservation Commission, Fire Department and School Department.

- The Conservation Commission comments that due to changes in the stormwater design, parking and proposed use, 50 Duchaine Boulevard requires a new filing with the Conservation Commission to obtain a new Order of Conditions. To date, this new Notice of Intent has not been filed with the Conservation Commission.
- The Department of Public Infrastructure has provided comments for the Planning Board's consideration (Attachment 10).

Outside of this, no further comments from city offices were received in this matter.

### Master Plan Goal

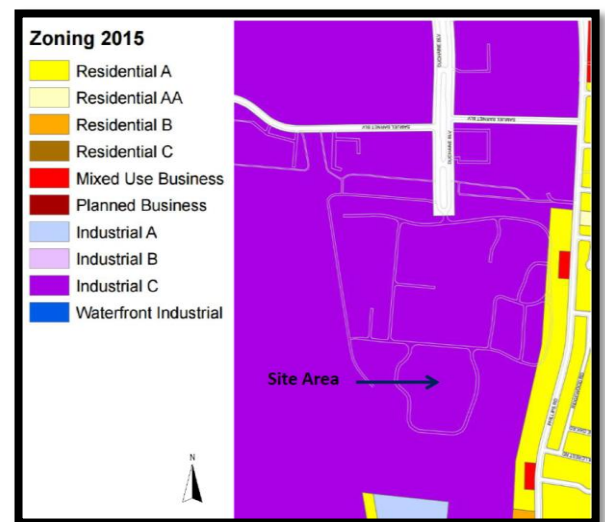
The application for site plan approval under consideration by the Planning Board as part of the development proposal by Eversource meets the criteria set forth under *A City Master Plan: New Bedford 2020* in that the proposal supports existing business as part of the strategic approach for economic development.

### For Board Member Consideration

The proposal for Site Plan Approval is consistent with the master plan's goal to expand workforce opportunities as improves the neighborhood setting and communicates a positive message for business development.

Having reviewed this request, the existing character of the surrounding properties and thresholds for approval of a site plan review, staff recommends the approval of this application with the following conditions:

- ☐ The applicant/owners shall comply with the stipulations set forth by the City of New Bedford Department of Public Infrastructure.
- ☐ The applicant/owners shall comply with the stipulations set forth by the City of New Bedford Department of Environmental Stewardship and Conservation Commission.
- ☐ The applicant shall revise plans for omissions and clarification as noted under Staff Comment Site Plan Review.
- ☐ The applicant shall revise the site layout plan for parking dimension that satisfies municipal code.
- ☐ The applicant shall provide additional documents as noted under Staff Comment Site Plan Review.





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**Attachments:**

1. Minutes of the January 13, 2016 Planning Board
2. Decision - Case #03-16
3. Site Plan Approval Application
4. Letter of Authorization
5. Bristol County (S.D) Registry of Deeds Bk 1159, Pg 271 (Certificate 23855)
6. Land Plan Book 81, Page 78
7. Bristol County (S.D) Registry of Deeds Certificate 24085
8. Land Plans 36318-C
9. New Bedford Business Park CC & R's
10. Department of Public Infrastructure Comments dated 12/08/2016
11. Plan Set





## ***Planning Board***

January 13, 2016 – 6:00 PM –Minutes  
New Bedford City Hall  
Meeting Room 314  
133 Williams Street

**PRESENT:** Colleen Dawicki, Chairperson  
Kathryn Duff  
Peter Cruz  
Arthur Glassman  
Alexander Kalife

**ABSENT:** No members absent

**STAFF:** Constance Brawders, *Staff Planner*

### **CALL TO ORDER**

Chairperson Dawicki called the meeting to order at 6:05 p.m.

### **ROLL CALL**

A formal roll call was conducted confirming members present as stated above.

A motion was made (KD) and seconded (AG) to approve the December 9, 2015 meeting minutes.  
Motion passed unopposed.

### **Item 1 - CASE #1-16**

Request by applicant for a Special Permit for reduction of parking spaces, and Case 02-16: Greater New Bedford Community Health Center HIIP Project - Request by applicant for Site Plan approval for the expansion of an existing medical clinic, located at 838-842 Purchase Street (Map 53, Lots 30, 30A, 30B & 30C), in the Mixed Use Business zoning district. Applicant's Agent: Daniel P. Faber, Dan's Restoration Company, Inc., 49 Doolittle Avenue, Dartmouth, MA 02747.

Ms. Dawicki reported that the Greater New Bedford Community Health Center had requested a continuance. She read the correspondence e-mail into the record.

A motion was made (KD) and seconded (AG) to continuance case 1-16 to the 2016 meeting scheduled on February 10, 2016.  
Motion passed unopposed.

Upon Ms. Dawicki's request, a motion was made (KD) and seconded (AG) to take the matter of **Item 5 - Whaler's Woods Estates** out of order.  
Motion passed unopposed.

*Note: These are minutes only. A complete copy of the meeting audio is available on the City of New Bedford website at:  
<http://www.newbedford-ma.gov/cable-access/government-access-channel-18/program-schedule>*



**Item 5 - Whaler's Woods Estates**

**Request by applicant, Long Built Homes, Inc., to clarify the request for reduction of cash surety to include completion date of subdivision. Applicant's agent: Atty. Lee Castignetti, Jr., Long Built Homes, Inc., 158 Charles McCombs Boulevard., New Bedford, MA 02745.**

Ms. Dawicki noted the request by the applicant Long Built Homes, Inc. to clarify the request for a reduction of cash surety to include completion date of subdivision. Lee Castignetti, attorney for the applicant, reminded the board of the agreement of several weeks ago on the reduction of bond. In that process, the city's solicitors' office has required a completion date for the subdivision. He stated the applicant is therefore requesting a completion date of June 30, 2016.

A motion was made (KD) and seconded (AG) that the board acknowledges the final date of completion of the Whalers Woods Subdivision as June 30, 2016.

Motion passed unopposed, Alex Kalife abstaining so as to act as Notary.

A motion was made (KD) and seconded (AG) to authorize Chairperson Colleen Dawicki to represent the board in the partial release of the subdivision and sign the release form. Motion passed unopposed. Alex Kalife again abstaining.

**PUBLIC HEARINGS**

**Item 2 - CASE #3-16**

**Request by applicant Parallel Products of New England, Inc., of Louisville, KY, for Site Plan approval for a liquid waste disposal and recycling facility, located at 50 Duchaine Boulevard in New Bedford Business Park in the Industrial C zoning district. Applicant: Parallel Products of New England, Inc., 401 Industry Road, Louisville, KY 40208.**

Ms. Duff recused herself from hearing/voting on this matter.

Christian A. Farland, P.E. and President of Thompson Farland Company presented the case submittal for Parallel Products. Senior Project Manager John Marchand of Thompson Farland and Tim Cusson, Vice President of Business Development for Parallel Products, were present to answer questions from the Planning Board.

Mr. Farland stated the applicant has outgrown their current space on Shawmut Avenue and are looking to relocate in the city of New Bedford. He stated the 29.5 acre site is the former Polaroid site at the most southerly portion of the Industrial Park. He noted the 152,000 s.f. building which has been vacant for some ten years and is approximately 2,000' from Ashley Boulevard, limiting the public view of the facility.

Mr. Farland stated the property is surrounded by vegetative wetlands and a Notice of Intent has been filed with the Conservation Commission. He stated the applicant will not expand on the present building, but plans to add twenty-four loading docks and additional employee and trailer parking. He stated the applicant will make storm water improvements to the site, and enumerated the planned improvements on the challenging site. He noted water and sewer will remain the same, and the electric service will be improved as required. Mr. Farland stated lighting, trash removal, and landscaping will remain the same. Mr. Farland discussed the erosion control plan.

Mr. Farland continued, stating he was in receipt of the DPI comment letter and had no issues with the comments or their condition to approval. He expressed excitement over the expansion of the company and its future potential, along with its desire to take over a presently large vacant building. He noted the project meets all City of New Bedford requirements and the applicant is seeking no variances.

Mr. Glassman clarified the location of the company's present building. Mr. Cruz asked for clarification that the front of the building would be mainly truck traffic. Mr. Farland confirmed and explained truck routing on the site. It was noted that truck traffic and pedestrian parking were separated by a strip.

Landscaping was briefly discussed with regard to present drainage ditches. Mr. Farland noted that the applicant had no proposed changes to landscaping due to the distance of the private roadway site from the public way. It was stated that office space would be brought back into use at the site.

Mr. Farland confirmed for Ms. Dawicki that existing lighting will be used and upgraded, adding site lighting to the building.

Mr. Glassman noted the applicant was really not changing anything.

In response to Ms. Dawicki's inquiry, Mr. Farland stated signage will be out on Duchaine Boulevard, the applicant adding onto the permitted NWB sign.

Mr. Cruz had no concerns with the storm water/drainage plans.

In response to Ms. Dawicki's inquiry, Mr. Farland stated there was ample snow storage areas on the site, delineated in the green areas.

A motion was made (PC) and seconded (AG) to open the public hearing. Motion passed unopposed.

There was no response to Ms. Dawicki's invitation to speak in favor of the application.  
There was no response to Ms. Dawicki's invitation to speak in opposition.

A motion was made (PC) and seconded (AG) to close the public hearing. Motion passed unopposed.

Ms. Dawicki drew the applicant and board's attention to staff comments. She further discussed issues to include in the motion.

A motion was made (AG) and seconded (PC) to approve Case #3-15 Site Plan approval subject to conditions set by DPI, recommendations per staff comments, the lighting and landscaping plans, waiving Sections 3 and 3c, in addition to conditions of the Conservation Commission.  
Motion passed 4-0.

### **CONTINUED PUBLIC HEARINGS**

#### **Item 3 - CASE #31-15**

**Request by City Councilor Henry Bousquet for recommendation by the Planning Board for rezoning of 170 Reynolds Street (Map 91, Lot 45) from Residence C to Mixed Use Business.**

Councilor Ward 3, Henry Bousquet, stated he had received a number of phone calls when first elected regarding the site on the corner of Gardner and Rockdale Avenue regarding the Mr. Medeiros' legal parking of a

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<http://www.newbedford-ma.gov/cable-access/government-access-channel-18/program-schedule>*





## PLANNING BOARD

CITY OF NEW BEDFORD  
JONATHAN F. MITCHELL, MAYOR

### NOTICE OF DECISION

Case Number: 03-16				
Request Type: Site Plan Approval				
Address: 50 Duchaine Boulevard				
Zoning: Industrial C				
Recorded Owner: Multilayer Coating Technologies, LLC				
Applicant: Parallel Products of New England, Inc.				
Applicant Address: 401 Industry Road, Louisville, KY 40208				
Application Submittal Date		Public Hearing Date		Decision Date
December 14, 2015		January 13, 2016		January 22, 2016
Assessor's Plot Number	Lot Number(s)	Book Number	Page Number	Certificate Number
134	456, 457, 458 & 459			23109
F/K/A 133	F/K/A 1, 5 & 15	132	30	
		8266	278	
F/K/A 133	F/K/A 15A			22029
	F/K/A 3, 4, 5	125	100	23109 Land Plan 36318 - C Sheet 1 of 2
		99	43	21272 Land Plan 36318 - B

Application: **Case 03-16** Request for Site Plan approval for a liquid waste disposal and recycling facility, located at the New Bedford Business Park in the Industrial C zoning district.

Action: GRANTED, WITH THE FOLLOWING WAIVERS AND CONDITIONS:

At the applicant's request, the Planning Board voted Four (4) to Zero (0), with recusal by Board Member Duff, to grant the following waivers from **Site Plan Review**:

1. Waive the requirement that all plans are oriented so that North arrow points to the top of sheet.
2. Waive the requirement for Demolition Plan because there is no proposed demolition.

Site Plan approval was granted with the following conditions:

CITY CLERK'S OFFICE  
NEW BEDFORD, MA  
2015 JUN 22 A 11:56  
CITY CLERK

4. Layout-Sheet 4
5. Grading & Utility-Sheet 5
6. Detail -Sheet 6
7. Detail-Sheet 7

#### **Other Documents and Supporting Materials**

#### **8. Staff Review Comments with Attachments:**

- Land Plans 36318 – C and 36318 – B
- Review Comments
- Plan Set
- Site Plan Approval Application
- Trustees Deed – Bristol county (S.D) Registry of Deeds Document No. 113024
- Narrative
- Stormwater Management Report

### **3) DISCUSSION**

Board Members Colleen Dawicki, Kathryn Duff, Arthur Glassman, Peter Cruz and Alexander Kalife were present on the evening of the discussion.

Constance Brawders (Staff Planner) was present during proceedings for the subject case review.

Board member K. Duff recused herself from the case consideration, citing her office has a current project with Thomson Farland.

Christian A. Farland, P.E. and President of Thompson Farland Company presented the case submittal for Parallel Products. Project Manager John Marchand of Thompson Farland and Tim Cusson, Vice President of Business Development for Parallel Products, were present to answer questions from the Planning Board.

Parallel Products of New England reprocesses empty plastic and aluminum beverage containers that come from redemption centers in bottle bill states throughout the New England area. The company grinds, washes and color sorts empty plastic bottles in preparation for the re-manufacture of this plastic into other useful products such as carpeting, strapping and moldable plastic sheeting. The company also specializes in liquid recycling by reclaiming outdated or distressed non-alcohol and alcohol beverages for conversion of these liquids to fuel grade ethanol. Acquisition of 50 Duchaine Boulevard, a property that has been vacant for approximately ten (10) years, in the Business Park, allows the company to expand existing operations from their current division at 969 Shawmut Avenue and remain in New Bedford.

Discussion ensued regarding storm water mitigation. The applicant filed a Notice of Intent with the City of New Bedford Conservation Commission as the proposal for redevelopment falls within the 100 foot buffer zone to bordering vegetated wetlands. The applicant awaits peer review by the City's consulting engineering firm for compliance with the Massachusetts Department of Environmental Protection Stormwater Management Standards.

Further discussion elaborated on upgrades to electrical service, revitalization of the original declining landscaping design vegetation, installation of solar pole lighting, improvements of the derelict office space,



CITY OF NEW BEDFORD  
JONATHAN F. MITCHELL, MAYOR

# PLANNING BOARD

(Case 03-16)

## MODIFICATION

### SITE PLAN REVIEW APPLICATION

SUBMIT TO:  
Planning Department  
133 William Street  
Room 303  
New Bedford, MA 0274

The undersigned, being the Applicant, seeks Site Plan Approval for property depicted on a plan entitled: Site Plan - 50 Duchaine Blvd. by: Farland Corp. dated: 11-18-16

#### 1. Application Information

Street Address: 50 Duchaine Boulevard

Assessor's Map(s): 134 Lot(s) 456,457,458 & 459

Registry of Deeds Book: LC BK 137 LC CORR Page: PG 126 (Cert #'s 23855)  
24085

Zoning District: Industrial C

Applicant's Name (printed): Parallel Products ? FARLAND CORP.

Mailing Address: 401 Industry Road Louisville KY 40208  
(Street) (City) (State) (Zip)

Contact Information: \_\_\_\_\_

Telephone Number \_\_\_\_\_ Email Address \_\_\_\_\_

Applicant's Relationship to Property: ☐ Owner ☐ Contract Vendee ☐ Other \_\_\_\_\_

List all submitted materials (include document titles & volume numbers where applicable) below:

- Site Plan - 50 Duchaine Boulevard (Assessor's Map 134 Lots 456,457,458 & 459) New Bedford, Massachusetts; Dated: 11/18/16; By: Farland Corp.

By signing below, I/we acknowledge that all information presented herein is true to the best of my/our knowledge. I/we further understand that any false information intentionally provided or omitted is grounds for the revocation of the approval (s). I/we also give Planning Department staff and Planning Board Members the right to access the premises (both interior and exterior) at reasonable times and upon reasonable notice for the purpose of taking photographs and conducting other visual inspections.

11/23/16

Date

Signature of Applicant

City Hall • 133 William Street • Room 303 • New Bedford, MA 02740 • [www.newbedford-ma.gov](http://www.newbedford-ma.gov)  
PH: (508)979-1488 • FX: (508)979-1576

CASE 37-16

PLANNING  
NOV 28 2016  
DEPARTMENT



Rear Setback (ft)	522 Ft	25 Ft	522 Ft
Lot Coverage by Buildings (% of Lot Area)	6.0%	50%	6.0%
Permeable Open Space (% of Lot Area)	89.7%	20%	81.6%
Green Space (% of Lot Area)			
Off-Street Parking Spaces	5	41	208
Long-Term Bicycle Parking Spaces	0	0	0
Short-Term Bicycle Parking Spaces	0	0	0
Loading Bays	4	8	12

**6. Please complete the following:**

	Existing	Proposed
a) Number of customers per day:	<u>0</u>	<u>To Be Determined</u>
b) Number of employees:	<u>0</u>	<u>TBD</u>
c) Hours of operation:	<u>0</u>	<u>TBD</u>
d) Days of operation:	<u>0</u>	<u>TBD</u>
e) Hours of deliveries:	<u>0</u>	<u>TBD</u>
f) Frequency of deliveries: <input type="checkbox"/> Daily <input type="checkbox"/> Weekly <input type="checkbox"/> Monthly <input type="checkbox"/> Other:		<u>TBD</u>

**7. Planning Board Special Permits:**

☐ The applicant is also requesting a Special Permit from the Planning Board.

Specify the requested Special Permit(s) below, and set forth within attached Development Impact Statement how the request meets approval criteria listed in §5320 of the zoning code.

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**8. ZBA Variances and Special Permits:**

**NOTICE: Checking below does not constitute application for a special permit or a variance. The applicant must also file the proper application form and fee with the Zoning Board of Appeals.**

☐ The applicant is also requesting a special permit from the ZBA:

Specify zoning code section & title

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☐ The applicant is also requesting a variance from the ZBA:

Specify zoning code section & title

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November 22, 2016

Christian A. Farland, P.E., LEED AP  
Principal Engineer and President  
Farland Corporation  
401 County Street  
New Bedford, MA 02740

Dear Mr. Farland,

Please accept this document as your Letter of Authorization to act as agent for Eversource Energy with regards to application submissions and Commission hearings for the 50 Duchaine Boulevard, New Bedford, MA project.

Please let me know if you have any questions.

Sincerely,



Thomas R. McDermott  
Manager – Facilities Operations  
860-665-4531  
[Thomas.r.mcdermott@eversource.com](mailto:Thomas.r.mcdermott@eversource.com)

c: C. Ellithorpe  
D. Crowe  
D. Swanson  
W. Pacheco  
S. Madhusudhan  
B. Rhodes

PLANNING  
NOV 28 2016  
DEPARTMENT

**COPY**

BK 11599 PG 271  
02/02/16 02:40 DOC. 2585  
Bristol Co. S.D.

After recording return to:

118467

SM REAL ESTATE, LLC  
401 Industry Road, Suite 100  
Louisville, KY 40208

## QUITCLAIM DEED

**MULTILAYER COATING TECHNOLOGIES, LLC**, a Delaware limited liability company (the "Grantor"), with an address c/o Watermill Group, One Cranberry Hill, 750 Marrett Road, Lexington, MA 02421, for consideration of One Million Seven Hundred Fifty Thousand and 00/100 Dollars (\$1,750,000.00), grants to SM Real Estate, LLC, a Delaware limited liability company (the "Grantee"), with an address of 401 Industry Road, Suite 100, Louisville, KY 40208

with **quitclaim covenants**

the land known and numbered as 50 Duchaine Boulevard in the City of New Bedford, Bristol County, Massachusetts and as more particularly described on Exhibit A attached hereto, together with any improvements thereon,

subject to all matters of record so far as same are in force and applicable.

For reference to Grantor's title, see Deed dated August 10, 2006 from Polaroid New Bedford Real Estate LLC, a Delaware limited liability company, which Deed was recorded with the Bristol South District Registry of Deeds on August 10, 2006 at Book 8266, Page 278 and filed with the Bristol South District of the Land Court on August 11, 2006 as Document No. 97784, as noted on Certificate No. 21272. See also Trustee's Deed from David M. Nickless, as Chapter 7 Bankruptcy Trustee, dated May 30, 2013, filed with said Registry District as Document No. 113024, as noted on Certificate of Title No. 23109.

The Grantor entity is not classified as a corporation for federal income tax purposes for the taxable year in which the sale is made.

REG OF DEEDS  
REG #07  
BRISTOL S

02/02/16 3:43PM 01  
00000 #4886

FEE \$7780.00

ATTACHMENT 5

CASH \$7780.00

Property Address: 50 Duchaine Boulevard, New Bedford Massachusetts

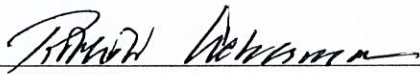
EXECUTED under seal as of the 2nd day of FEBRUARY, 2016.

118467

MULTILAYER COATING TECHNOLOGIES LLC, a  
Delaware limited liability company

By: Watermill-MCT Partners, L.P.  
Its: Manager

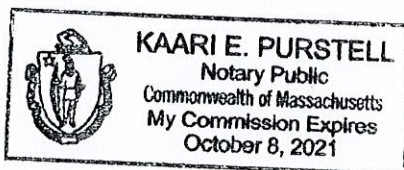
By: Watermill-MCT Enterprises, LLC  
Its: General Partner

  
By: Robert W. Ackerman  
Its: Authorized Signatory

COMMONWEALTH OF MASSACHUSETTS

County of Middlesex, ss.

On this 25 day of January, 2016, before me, the undersigned notary public, personally appeared Robert W. Ackerman, Authorized Signatory of Watermill-MCT Enterprises, LLC the General Partner of Watermill-MCT Partner, L.P., being the Manager of **MULTILAYER COATING TECHNOLOGIES, LLC**, a Delaware limited liability company, proved to me through satisfactory identification, which were driver's license, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that he was duly authorized and signed it voluntarily for its stated purpose.



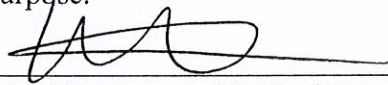
  
(Official Signature and Seal of Notary)  
My Commission Expires:





Exhibit A  
Legal Description

118467

## Parcel 1

The land with any buildings thereon in New Bedford, Bristol County, Massachusetts, bounded and described as follows:

Northerly	33.00 feet by land now or formerly of Polaroid Corporation
Easterly	1,524.00 feet by land now or formerly of Polaroid Corporation
Southerly	34.07 feet by land now or formerly of Polaroid Corporation
Westerly	1,515.00 feet by land now or formerly of Penn Central Company

Containing 1.15 acres, more or less, and being shown on a plan entitled "Plan of Land in New Bedford, Mass., Surveyed for Polaroid Corporation", Scale 1"= 100', dated June 10, 1969, by Tibbets Engineering Corp., recorded with the Bristol South District Registry of Deeds at Plan Book 81, Page 78.

## Parcel 2

## Registered Land

filed with Ctf. 22029 B.125, P.100  
 Lots 4 and 5 on Land Court Plan 36318C entitled "Plan of Land, Being a Subdivision of Lot 1, Shown on Land Court Plan #36318-B Duchaine Boulevard and Phillips Road, New Bedford, Massachusetts Prepared for Multilayer Coating Technologies, LLC", dated January 6, 2009, revised through March 25, 2009, by Cullinan Engineering.





William Francis Galvin  
Secretary of the  
Commonwealth

BR 11099 PG 2/4

*The Commonwealth of Massachusetts*  
*Secretary of the Commonwealth*  
*State House, Boston, Massachusetts 02133*

118467

January 14, 2016

TO WHOM IT MAY CONCERN:

I hereby certify that a certificate of registration of a Foreign Limited Liability Company was filed in this office by

**MULTILAYER COATING TECHNOLOGIES, LLC**

in accordance with the provisions of Massachusetts General Laws Chapter 156C on **July 24, 2006**.

I further certify that said Limited Liability Company has filed all annual reports due and paid all fees with respect to such reports; that said Limited Liability Company has not filed a certificate of cancellation or withdrawal; and that, said Limited Liability Company is in good standing with this office.

I also certify that the names of all managers listed in the most recent filing are:  
**WATERMILL-MCT PARTNERS, L.P.**

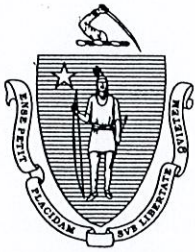
I further certify that the name of persons authorized to act with respect to real property instruments listed in the most recent filings are: **ROBERT W ACKERMAN**



In testimony of which,  
I have hereunto affixed the  
Great Seal of the Commonwealth  
on the date first above written.

*William Francis Galvin*

Secretary of the Commonwealth



William Francis Galvin  
Secretary of the  
Commonwealth

# *The Commonwealth of Massachusetts*

*Secretary of the Commonwealth*

118467

*State House, Boston, Massachusetts 02133*

January 14, 2016

To Whom it May Concern:

I hereby certify that according to the records in this office, an application for registration in the Commonwealth as a foreign Limited Partnership was filed in this office by

## **WATERMILL-MCT PARTNERS, L.P.**

in accordance with the provisions of Massachusetts General Laws, Chapter 109, § 49, on **July 21, 2006**.

I further certify that said Limited Partnership has filed all annual reports due and paid all fees with respect to such reports; that said Limited Partnership said registration has not been cancelled, withdrawn, or revoked; and that, so far as appears of record, said Limited Partnership has legal existence and is in good standing with this office.

I also certify that the names of the General Partners as listed in the most recent filings are as follows:

## **WATERMILL-MCT ENTERPRISES, LLC**

**750 Marrett Road**

**Suite 401**

**Lexington, MA 02421 USA**



In testimony of which,

I have hereunto affixed the

Great Seal of the Commonwealth

on the date first above written.

*William Francis Galvin*

Secretary of the Commonwealth

Processed By:jbm





*The Commonwealth of Massachusetts*  
*Secretary of the Commonwealth*  
*State House, Boston, Massachusetts 02133*

118467

William Francis Galvin  
 Secretary of the  
 Commonwealth

January 14, 2016

TO WHOM IT MAY CONCERN:

I hereby certify that a certificate of registration of a Foreign Limited Liability Company was filed in this office by

**WATERMILL-MCT ENTERPRISES, LLC**

in accordance with the provisions of Massachusetts General Laws Chapter 156C on **July 21, 2006**.

I further certify that said Limited Liability Company has filed all annual reports due and paid all fees with respect to such reports; that said Limited Liability Company has not filed a certificate of cancellation or withdrawal; and that, said Limited Liability Company is in good standing with this office.

I also certify that the names of all managers listed in the most recent filing are: **NONE**

I further certify that the name of persons authorized to act with respect to real property instruments listed in the most recent filings are: **ROBERT ACKERMAN**

*u.*



In testimony of which,  
 I have hereunto affixed the  
 Great Seal of the Commonwealth  
 on the date first above written.

*William Francis Galvin*

Secretary of the Commonwealth

9

Cyfr 21272, 23109  
OB- Phillips Rd (W) Lots 1/45 Pl 36318C

(11)

118467  
So. Bristol Land Court  
02/02/16 02:27  
New ~~Heard~~ ~~at~~ ~~Ct.~~ 23855  
Book 137 Page 126  
Match on Cyfr 21272 B.120 P.93  
Match on Cyfr 23109 B.132 P.130



PROPERTY TO BE CONVEYED  
BY  
PENN CENTRAL TRANSPORTATION COMPANY  
TO  
POLAROID CORPORATION

PS\_\_\_\_\_ PROPERTY TO BE CONVEYED

RECORDED

RECISTAY OF DEEDS  
BRISTOL COUNTY  
SOUTHERN DISTRICT

NOTE:

The lot shown is to be incorporated with other land of Polaroid Corporation to form a single lot.

NEW BEDFORD BOARD of SURVEY

Approval under the Subdivision Control Law not required.

Subj. of Building

February 5, 1970

Date 11/11/2019

CITY OF NEW BEDFORD  
BRISTOL COUNTY, MASS.

Board of Directors approval and  
Submission Control Law not required.

DVTs

Superintendent of Buildings



REVISED JAN. 23, 1970  
PLAN OF LAND

NEW BEDFORD, MASS.  
SURVEYED FOR

POLAROID CORPORATION

SCALE: 1" = 100'      JUNE 10, 1969

TIBBETTS ENGINEERING CORP.  
NEW BEDFORD, MASS.

JOB 1891 -

**ATTACHMENT 6**

81-78



2016 00120078

Cert: 24085 Doc: DEED BS  
Registered: 10/28/2016 02:28 PM

### QUITCLAIM DEED

**SM Real Estate, LLC**, a Delaware limited liability company, having a mailing address of c/o Parallel Products of New England, Inc., 969 Shawmut Avenue, New Bedford, MA 02746

for consideration paid, and in full consideration of Eight Million Dollars and 00/100 (\$8,000,000.00)

hereby grants to NSTAR Electric Company, a Massachusetts corporation, having a mailing address of 247 Station Drive, Westwood, MA 02090

#### *with Quitclaim Covenants*

the land known and numbered as 50 Duchaine Boulevard in the City of New Bedford, Bristol County, Massachusetts, and as more particularly described on Exhibit A attached hereto, together with any improvements thereon,

subject to all matters of record so far as same are in force and applicable.

For reference to Grantor's title, see deed dated February 2, 2016 from Multilayer Coating Technologies, LLC, which deed was recorded with the Bristol South District Registry of Deeds on February 2, 2016 at Book 11599, Page 271 and filed with the Bristol South District of the Land Court on February 2, 2016 as Document No. 118467, as noted on Certificate No. ~~221000~~ 23855.

Grantor warrants that this conveyance does not represent a conveyance of all or substantially all the assets of the Grantor in the Commonwealth of Massachusetts.

*[Remainder of page intentionally left blank; Signature page follows]*

#### ATTACHMENT 7

{00553429.DOCX/1}

Case 37-16  
11/18/2016

MASSACHUSETTS EXCISE TAX  
Bristol ROD South 001  
Date: 10/28/2016 02:28 PM  
Ctrl# 020813 08572 Doc# 00120078  
Fee: \$36,480.00 Cons: \$8,000,000.00

Property Address: 50 Duchaine Boulevard, New Bedford, Bristol County, Massachusetts 02745

EXECUTED as a sealed instrument this 28 day of October, 2016.

GRANTOR:

SM REAL ESTATE, LLC

By: [Signature]

Timothy Cusson, Authorized Signatory  
a/k/a Tim Cusson

COMMONWEALTH OF MASSACHUSETTS

Suffolk, ss.

On this 28 day of October 2016, before me, the undersigned notary public, personally appeared Timothy Cusson, who proved to me through satisfactory evidence of identification, which was a driver's license, personally known to me, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that he/she signed it voluntarily for its stated purpose as an authorized signatory of SM Real Estate, LLC.

[Signature]  
Notary Public  
My Commission Expires

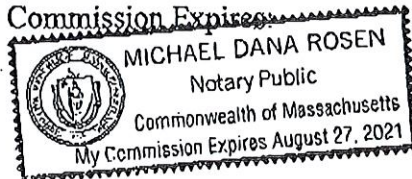




EXHIBIT A

Lot 5 on Land Court Plan 36318C filed with Ctf. 22029 B. 125, P. 100 entitled "Plan of Land, Being a Subdivision of Lot 1, Shown on Land Court Plan #36318-B Duchaine Boulevard and Phillips Road, New Bedford, Massachusetts Prepared for Multilayer Coating Technologies, LLC", dated January 6, 2009, revised through March 25, 2009, by Cullinan Engineering.



William Francis Galvin  
Secretary of the  
Commonwealth

*The Commonwealth of Massachusetts*  
*Secretary of the Commonwealth*  
*State House, Boston, Massachusetts 02133*

October 20, 2016

TO WHOM IT MAY CONCERN:

I hereby certify that a certificate of registration of a Foreign Limited Liability Company was filed in this office by

**SM REAL ESTATE, LLC**

in accordance with the provisions of Massachusetts General Laws Chapter 156C on **October 22, 2015**.

I further certify that said Limited Liability Company has filed all annual reports due and paid all fees with respect to such reports; that said Limited Liability Company has not filed a certificate of cancellation or withdrawal; and that, said Limited Liability Company is in good standing with this office.

I also certify that the names of all managers listed in the most recent filing are: **JASON STEIN**

I further certify that the name of persons authorized to act with respect to real property instruments listed in the most recent filings are: **JASON STEIN, EUGENE KIESEL, DAVID KENNEY, TIM CUSSON**



In testimony of which,  
I have hereunto affixed the  
Great Seal of the Commonwealth  
on the date first above written.

*William Francis Galvin*

Secretary of the Commonwealth

# Delaware

The First State

Page 1

I, JEFFREY W. BULLOCK, SECRETARY OF STATE OF THE STATE OF DELAWARE, DO HEREBY CERTIFY "SM REAL ESTATE, LLC" IS DULY FORMED UNDER THE LAWS OF THE STATE OF DELAWARE AND IS IN GOOD STANDING AND HAS A LEGAL EXISTENCE SO FAR AS THE RECORDS OF THIS OFFICE SHOW, AS OF THE TWENTY-FOURTH DAY OF OCTOBER, A.D. 2016.

AND I DO HEREBY FURTHER CERTIFY THAT THE SAID "SM REAL ESTATE, LLC" WAS FORMED ON THE NINTH DAY OF SEPTEMBER, A.D. 2015.

AND I DO HEREBY FURTHER CERTIFY THAT THE ANNUAL TAXES HAVE BEEN PAID TO DATE.



5814740 8300

SR# 20166331134

You may verify this certificate online at [corp.delaware.gov/authver.shtml](http://corp.delaware.gov/authver.shtml)

A handwritten signature in black ink, appearing to read "JBullock", is written over a horizontal line. Below the line, the text "Jeffrey W. Bullock, Secretary of State" is printed in a small font.

Authentication: 203211988

Date: 10-24-16

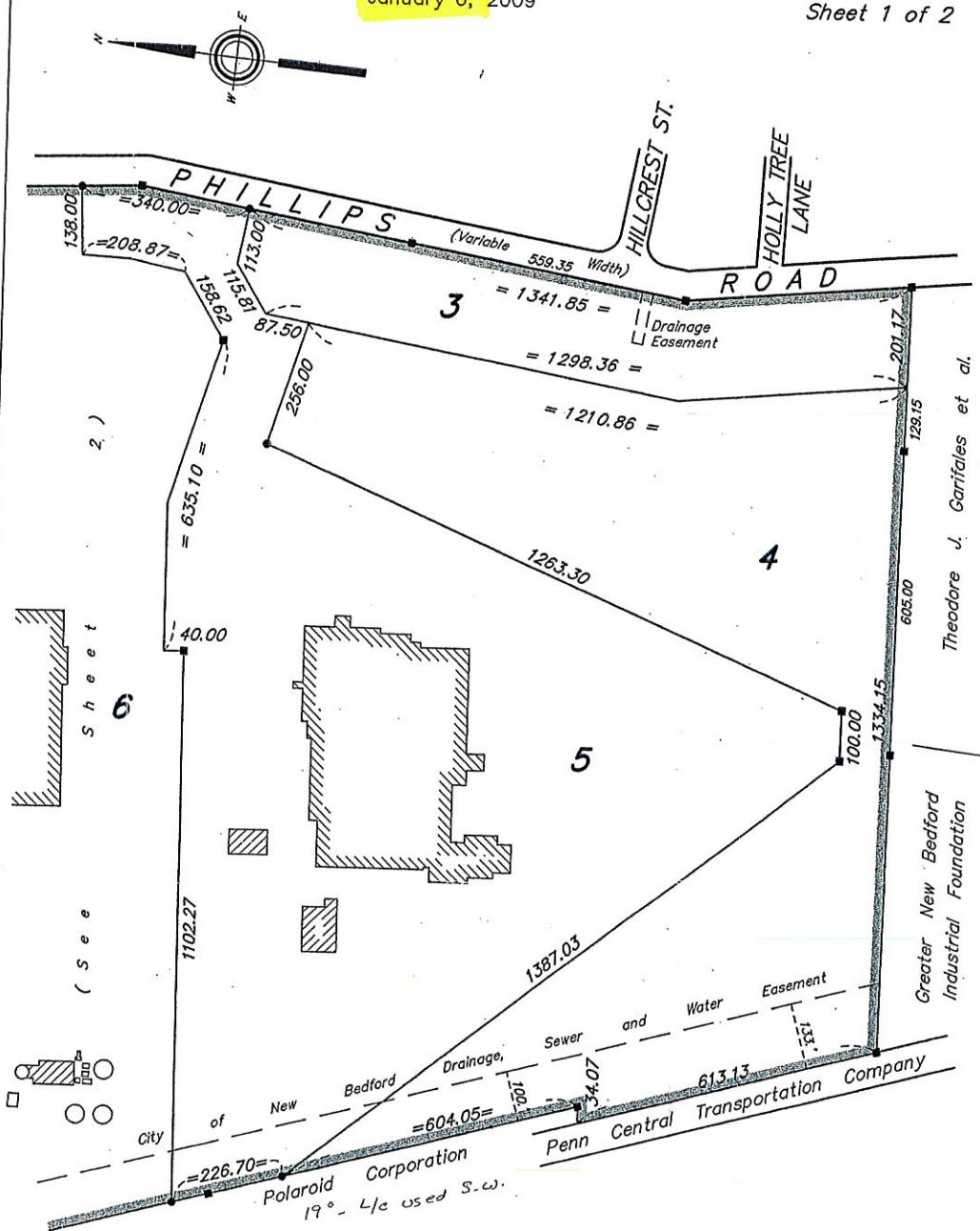


Cullinan Engineering Co., Inc., Surveyors

January 6, 2009

**36318C**

Sheet 1 of 2



Subdivision of Lot 1  
Shown on Plan 36318-B  
Filed with Cert. of Title No. 18072  
South Registry District of Bristol County

Separate certificates of title may be issued for land shown hereon and on Sheet 2 as Lots 3, 4, 5 and 6 By the Court.

April 1, 2009

*Deborah J. Patterson*  
Recorder

SJK-0924

Received N.B. Registry 12/18/2014

■ - denotes C.B.  
● - denotes Irod

Abutters are shown as on original decree plan.

Copy of part of plan filed in  
**LAND REGISTRATION OFFICE**  
April 1, 2009  
Scale of this plan 240 feet to an inch  
T.C. Pontbriand, Acting Engineer for Court

Case 37-16  
11/18/2016

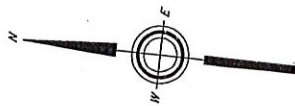
PLANNING

DEPARTMENT

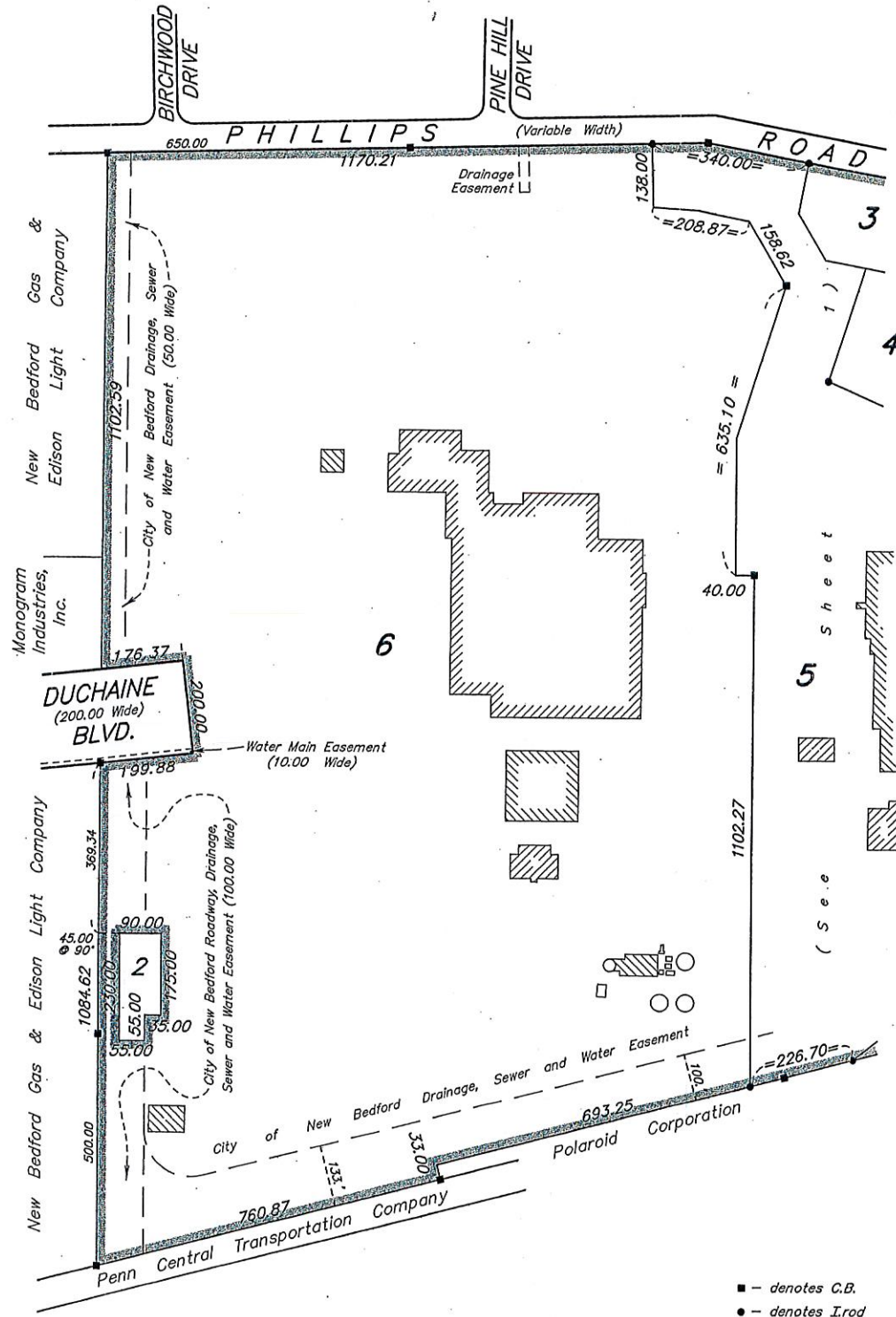
ATTACHMENT 8

36318C

Sheet 2 of 2



Front Area



SJK-089M

Scale of this plan 240 feet to an inch

Case 37-16  
11/18/2016

PLANNING  
DEPARTMENT



**The regulations for the Park were established by the Industrial Foundation to maintain high standards to protect private investment in the past, present and future.**

Conveyance of said land is made subject to the following restrictions which shall run with the land, shall be binding upon successive owners thereof, and shall be for the benefit of and enforceable by the "Foundation" as follows: And subject to the Protective New Bedford Business Park Covenants, (sometimes herein referred to as the restrictions or restrictive covenants) imposed by the Foundation upon the Premises. These restrictions set forth below shall run with the land and be binding upon successive owners thereof, shall be for the benefit of and enforceable by (or waived in any particular instance by) the Foundation and shall be in effect for a period of 30 years from the execution date of the Deed and may be further extended for successive periods as provided herein:

1. The first floor square footage of all the buildings on the Premises shall not exceed 40% of the total area of the Premises.
2. All uses on a lot which include, but are not limited to, buildings, driveways, parking areas, impermeable surfaces etc. shall not cover more than 65% of the total area of the Premises.
3. The conveyed parcel of land shall not be used or occupied at any time for any purpose other than the purpose of: Corporate Headquarters; Offices; Service Industries; Research & Development and Testing Laboratories and Facilities; Manufacturing; Processing; Wholesaling; Distribution; and Warehousing, which is in connection with on-site manufacturing, processing, wholesaling and distribution. The conveyed parcel of land can also be used for a Hotel, Restaurant, Day-Care Facility and Health Club.
4. The architecture and type of construction, and the materials used therein, of all buildings and structures to be erected upon said land must be approved in writing by the Foundation. A certificate signed by the Chairman, Vice Chairman or Executive Director of the Foundation, in form suitable for recording, to the effect that these provisions have been complied with, duly recorded in the Registry, shall be conclusive evidence of such approval.
5. An important aspect of the Foundation's decision on whether or not to approve the new building plans or plans to expand an existing building of the applicant in Subsection "4" above shall be the attractiveness of the building and the associated landscaping plans including an initial and ongoing commitment for landscaping and upkeep to improve the appearance of the property such as special plantings and flowers, regular grass mowing and other maintenance actions to keep the appearance of the buildings and property in excellent condition..
6. No use shall be made of the Premises which would be obnoxious, or which would create a nuisance, or which would be hazardous per se to other occupants of the Park or owners of real estate abutting the Business Park, or which would violate applicable state, federal or local laws, regulations or by laws, or which would adversely impact on the quality of the atmosphere of aquifers therein or nearby. No project may go forward which poses any significant risks, hazards or problems to the land in the Park, other companies in the Park or nearby residents to the Park such as: Fire; Explosion; Dust; Noise; Smoke; Odor; Unhealthy Air Emissions; Ground Water Contamination; Soil Contamination; Adverse Wetlands Impacts; Adverse Endangered Species Impacts; or Unsightly Operations.
7. No building shall be erected within fifty (50) feet of any street line or lot line, and the area set back from the street line shall be kept appropriately landscaped and maintained in a professional and aesthetically pleasing manner.
8. Buyer shall provide on-site parking sufficient for all employees and visitors and shall not permit such parking on the public ways. All parking shall be confined to the rear and sides of the building and shall be set back 50 feet or more from property lines. All parking areas shall be properly paved with asphalt or concrete material maintained and screened from view in such manner, as the Foundation shall, in its sole discretion, from time to time determine.



9. All truck loading platforms or doors as well as rail-siding facilities shall be located at the rear of the building and screened from view in such manner as the Foundation shall, in its sole discretion, from time to time, determine.
10. AU outside storage must be appropriately screened on all sides.
11. No topsoil, sand, or gravel shall be removed from the said binds except for the purpose of building excavations and grading. Any topsoil, sand, or gravel removed for any purpose shall be disposed of in a lawful manner. Only borrow soil materials free of debris, roots and organic matter shall be permitted for use as fill. Topsoil shall be natural soil, typical of the locality, fertile and reasonably free from stones, weeds and clay.
12. The Premises shall not be hereafter subdivided or resold without the prior written consent of the Foundation.
13. No building, structure or any condition thereto, or any exterior alteration thereof, shall be erected or placed, and no parking area or driveway shall be constructed until the plans and specifications shall first have been approved in writing by Executive Director of the Foundation. The plans and specifications shall be prepared by a registered architect or engineer and shall include the following:
  - a. Site plans showing existing and proposed contours, site drainage, site utilities, building locations, drive-ways, parking and loading areas, walks, lighting, landscaping, etc.
  - b. Building plans, elevations and sections, including plans for all floor levels; general layout of interior spaces; elevations of all exterior facades (indicating heights, materials, finishes, and signs) typical building and wall sections showing nature of construction.
  - c. Outline specifications noting materials of construction, including paving and landscaping; size and species of plant materials as well as building materials. Upon receipt of adequate and sufficient plans and specifications, the Foundation shall within one (1) week after such receipt, notify the Buyer in writing of its approval or disapproval of such plans. Such approval, however, will be conditional upon certification by the Buyer or its representative that the same plans and specifications as submitted to the Foundation for approval have also been or will be submitted to the building inspector in application for a building permit.
14. The building front must be primarily masonry and glass. The building sides must be masonry and glass or flat steel panels with concealed fasteners. The back of the building may be any material.
15. No billboards or advertising signs, other than those identifying the main business and products of the firms occupying the premises shall be permitted in the New Bedford Business Park. All such signs shall be approved by the Foundation. No un-shaded, flashing or open lights shall be allowed on such signs.
16. To avoid further traffic congestion at the entrance to the Park around 7 a.m. and 3 p.m., the Company shall begin its first shift outside of the 6:50 - 7:10 a.m. time window and end its first shift outside of the 2:50 - 3:10 p.m. time window.
17. The owner of the conveyed Parcel of land shall pay to the Greater New Bedford Industrial Foundation a quarterly payment of about \$600, which is likely to increase in the future, to help cover the costs of the Park's Maintenance and Security Patrol Service.
18. By a date three (3) months after the closing, Buyer shall have commenced, and shall thereafter proceed with dispatch and use reasonable diligence in the construction of a building upon the Premises to be conveyed.
19. Subject to the foregoing, if Buyer shall not have completed construction of one proposed building on the premises to be conveyed by twelve (12) months after Closing, it shall, within thirty (30) days of said date, offer to re-convey said premises to the Foundation for the price of plus the actual cost of construction completed to date. If the Foundation within thirty (30) days after receipt of said offer, does not accept the same, Buyer may retain said premises free of the limitations and agreements contained in this paragraph and/or sell said premises to whomever it wishes.
20. Any re-conveyance of the Premises to the Foundation pursuant to the provisions hereof shall be by a good and sufficient quitclaim deed, conveying a good and clear record and marketable title to the same free from all encumbrances except those set forth herein and; and upon such re-conveyance, the restrictions and obligations imposed upon Buyer set forth herein shall lapse and be of no further force and effect.
21. The Foundation shall have the right to bring proceedings at law or equity against the party or parties violating or attempting to violate the conditions, covenants, restrictions and reservations contained herein, to enjoin them from so doing and to cause any such violation to be remedied, after written notice to the owner and mortgagees of record. Every act, omission to act, or condition which violates the terms of these Protective New Bedford Business Park Covenants shall constitute



a nuisance and every remedy available at law or in equity for the abatement of public or private nuisance shall be available to the Foundation.

22. These covenants and restrictions are intended to constitute a common scheme of restrictions running with the land of the Premises and to be effective and enforceable under the provisions of General Laws Chapter 184, Section 26 et seq., as same may be amended from time to time.
23. The Foundation and its successors and assigns reserve the right to extend the restrictions recited in Paragraphs 1-20 hereof for successive periods of not more than 20 years each from the execution date of the Deed contemplated herein (after the expiration of the initial 30 year period of restriction) so long as the same may be a benefit to the Foundation. Such extension of said restrictions shall be set forth on a Notice of Restrictions and shall:
  1. Be signed by the Chairman (or successor position), the Foundation being entitled of record to the benefit of the restrictions; and
  2. Describe the benefited land of the Foundation; and
  3. Describe the Premises; and
  4. Name the Foundation as having previously owned the Premises; and
  5. Specify the deed imposing the prior restrictions (as set forth herein and in said deed) and its place of record in the public records; and
  6. Be indexed and marginally referred as required by Massachusetts General Laws Chapter 184, Section 29; and
  7. Be recorded in the Registry before the expiration of 30 years of the private restrictions contemplated herein; and
  8. Thereafter, be recorded in said Registry before the expiration of 20 years preceding the filing of a further notice of restriction which is not to exceed 20 years.

This paragraph shall be deemed amended, from time to time, to the extent necessary, to comply with Association Title Standard No. 52 Extension of Restriction and Massachusetts General Laws Chapter 184, Sections 27 and 29, as same may be amended from time to time.

24. The Foundation may prosecute proceedings at law against Buyer for violating or attempting to violate the provisions hereof either to restrain violation or to recover damages. The failure of the Foundation to enforce any restrictions, regulations, covenants or provisions hereof shall not be deemed to be a waiver of the right to do so thereafter as to the same breach or to one occurring prior or subsequent thereto.
25. If any provision hereof or the application of any such provision to any person or circumstance shall be held invalid, the remainder of this Section 5 or the application of such provision to persons or circumstances other than those as to which it is held invalid, shall not be affected thereby.
26. The Foundation agrees for itself and its successors in interest to the Premises benefited by these restrictive covenants timely execute such documents and take such action, including the surrender of certificates of title, if any, for notation thereon as shall be necessary to cause such notices of restriction to be effective and enforceable under the applicable statutes.
27. These covenants and restrictions may be amended solely by the Foundation, its successors and assigns, at any time or from time to time and such amendment shall become effective upon recording. Any such subsequent amendment which would affect a parcel of land owned by a prior grantee, shall not be binding until said amendment has been assented to in writing by such prior grantee.



## Department of Public Infrastructure

**Euzebio Arruda**  
Commissioner

Water  
Wastewater  
Highways  
Engineering  
Cemeteries  
Park Maintenance

### CITY OF NEW BEDFORD

**Jonathan F. Mitchell, Mayor**

## MEMORANDUM

TO: City of New Bedford Planning Board

FROM: Euzebio Arruda, Commissioner, D.P.I.

DATE: December 8, 2016

RE: Proposed Site Plan Modifications  
Plot 134 Lots 456, 457, 458, and 459

The Department of Public Infrastructure has reviewed the proposed site plan modification referenced above and recommends approval with the following conditions:

1. All utilities to be constructed in accordance with the City of New Bedford regulations.
2. This site plan includes 4 different lots, which may need to be combined to meet zoning requirements.
3. Drainage design must comply with phase II Mass Department Stormwater management standards.
4. Owner must reach out to the Department of Public Infrastructure to discuss water supply to the existing building.
5. The Department of Public Infrastructure requires a final set of approval plans to be submitted that reflects all revisions made prior of the start construction.
6. Developer and site contractor must schedule a pre-construction meeting with the Department of Public Infrastructure prior to the start of construction.
7. Upon completion engineer must submit "As Built Drawings" in CADD format prior to the certificate of occupancy being issued.

/ct

Cc: Department of Inspectional Services  
Environmental Stewardship  
Thompson Farland Inc.  
Eversource Energy

PLANNING  
DEC 12 2016  
DEPARTMENT

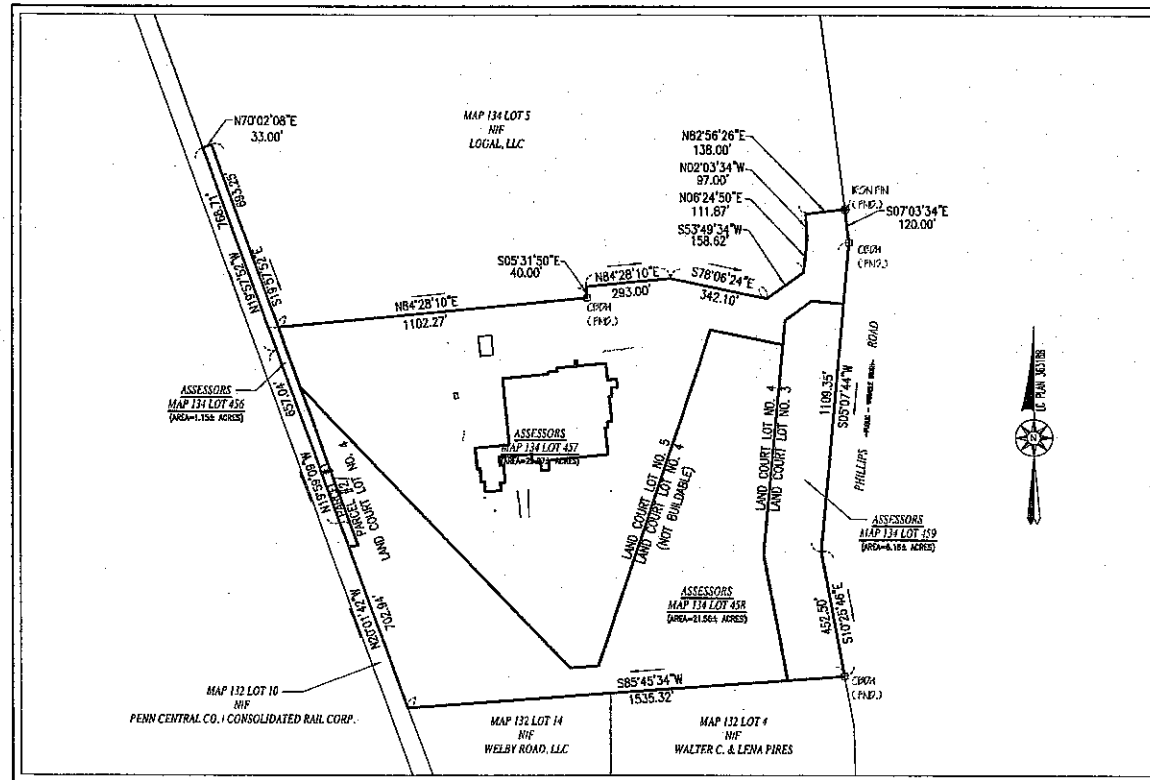


# SITE PLAN MODIFICATION

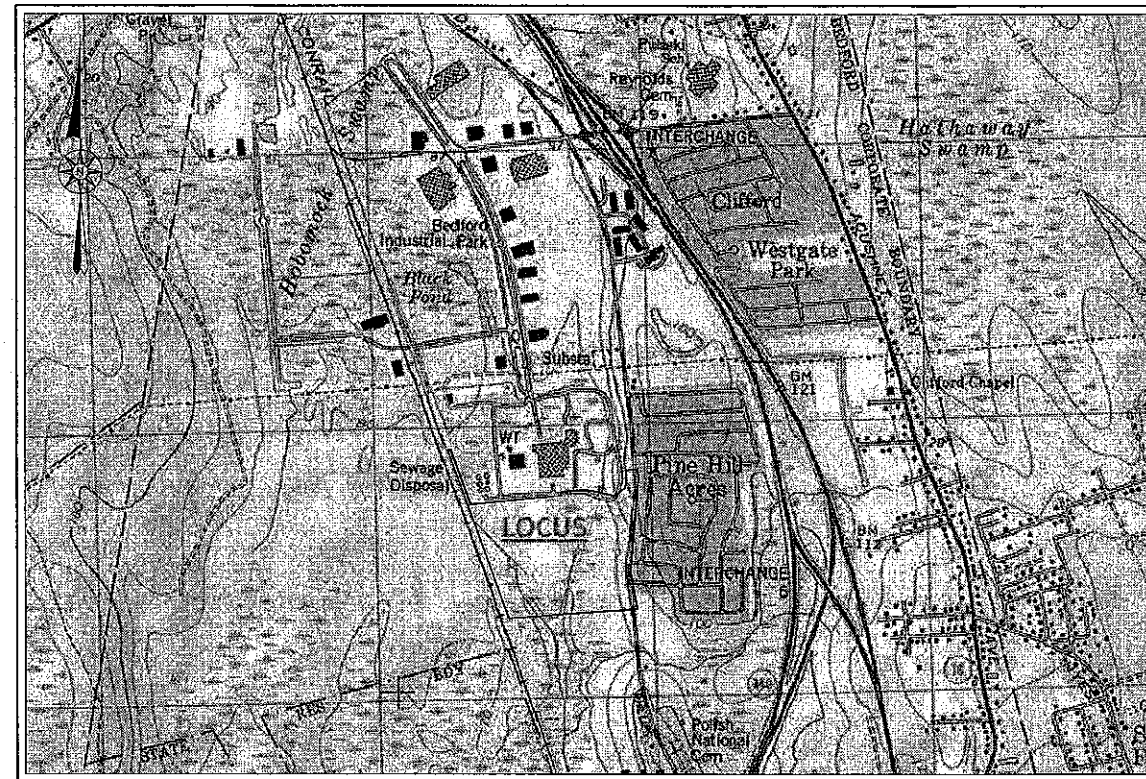
## 50 DUCHAINE BOULEVARD

### ASSESSORS MAP #134 LOTS #456, 457, 458, & 459

### NEW BEDFORD, MASSACHUSETTS



— OVERALL SITE MAP —  
SCALE: 1"=300'



— AREA MAP —  
SCALE: 1"=1,000'±

- ZONING DATA -			
DISTRICT: INDUSTRIAL C			
DESCRIPTION	REQUIRED	EXISTING	PROVIDED
LOT AREA	0 S.F.	9,214 AC	58.14 AC
LOT FRONTAGE	0 FT	1681.85 FT	1681.85 FT
FRONT SETBACK	25 FT	756 FT	756 FT
SIDE SETBACK	25 FT	219 FT	219 FT
REAR SETBACK	25 FT	922 FT	922 FT
BUILDING HEIGHT (MAXIMUM)	100 FT	<100 FT	<100 FT
BUILDING COVERAGE (MAXIMUM)	50 %	6.0 %	6.0 %
LOT COVERAGE (MAXIMUM)	80 %	12.9 %	16.9 %
- PARKING REQUIREMENT -			
PRINCIPAL USE: ENERGY SUPPLIER CORPORATE OFFICES			
(FOR PARKING REGULATION PURPOSES: BUSINESS ENGAGED IN WAREHOUSING & DISTRIBUTION)			
REQUIREMENT	REQUIRED	PROVIDED	
1 SPACE PER 1,500 S.F. OF G.F.A. UP TO 15,000 S.F. THEREAFTER, ON ADDITIONAL SPACE FOR EACH 5,000 S.F. OR PORTION THEREOF IN EXCESS OF 15,000 S.F., PLUS ONE SPACE FOR EACH VEHICLE UTILIZED IN THE BUSINESS.	41 SPACES	208 SPACES	
WHEN 51-75 TOTAL PARKING SPACES ARE PROVIDED, 3 MUST BE ACCESSIBLE SPACES. ONE IN EVERY EIGHT ACCESSIBLE SPACES, BUT NOT LESS THAN ONE, SHALL BE VAN ACCESSIBLE	3 ACCESSIBLE, 1 VAN ACCESSIBLE	5 ACCESSIBLE, 2 VAN ACCESSIBLE	

- INDEX -			
SHEET	DESCRIPTION	SHEET	DESCRIPTION
1	COVER	5	UTILITIES & GRADING
2	NOTES & LEGEND	6	LANDSCAPE
3	EXISTING CONDITIONS	7-8	DETAILS
4	LAYOUT	9	MODIFICATION PLAN

RECORD OWNER:  
ASSESSORS MAP 134  
LOTS 456, 457, 458, & 459  
NSTAR ELECTRIC CO.  
A.K.A. EVERSOURCE ENERGY  
247 STATION DRIVE  
WESTWOOD, MA 02090  
LC CERT(S): 23855 & 24085

REVISIONS



www.FarlandCorp.com  
401 COUNTY STREET  
NEW BEDFORD, MA 02740  
P.508.717.3479  
OFFICES IN:  
•TAUNTON  
•MARLBOROUGH  
•WARWICK, RI

DRAWN BY: JKM/MJW  
DESIGNED BY: CAF  
CHECKED BY: CAF

SITE PLAN  
50 DUCHAINE BLVD  
ASSESSORS MAP 134 LOTS 456, 457, 458 & 459  
NEW BEDFORD, MASSACHUSETTS  
PREPARED FOR:  
EVERSOURCE ENERGY  
PO BOX 100085 - N2  
DULUTH, GA 30096

NOVEMBER 18, 2016  
SCALE: AS NOTED  
JOB NO. 15-500  
LATEST REVISION:

COVER SHEET  
SHEET 1 OF 9

## GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
2. PROPERTY LINE INFORMATION TAKEN FROM:
  - PLAN ENTITLED: "PLAN OF LAND IN NEW BEDFORD, MASS., SURVEYED FOR POLAROID CORPORATION", DATED JUNE 10, 1969 BY TIBBETS ENGINEERING CORP. (PLAN BOOK 81, PAGE 78), AND
  - LAND COURT PLAN 36318C, ENTITLED "SUBDIVISION PLAN OF LAND IN NEW BEDFORD", BY CULLINAN ENGINEERING CO., INC., SURVEYORS, DATED JANUARY 6, 2009 (LAND COURT CERTIFICATE OF TITLE NO. 22029).
3. TOPOGRAPHIC SURVEY PERFORMED BY THOMPSON FARLAND, INC. IN SEPTEMBER 2015.
4. WETLAND DELINEATION BY FARLAND CORP. IN JANUARY 2016.
5. VERTICAL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988 AND HORIZONTAL LOCATIONS REFER TO THE NORTH AMERICAN DATUM (NAD) OF 1983.
6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL STANDARDS AND REGULATIONS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.
8. WHERE PROPOSED PAVEMENT AND WALKS ARE TO MEET EXISTING, THE CONTRACTOR SHALL SAWCUT A NEAT LINE AND MATCH GRADE. SEAL ALL JOINTS WITH HOT BITUMINOUS ASPHALT JOINT SEALER.
9. CURBING TO BE AS INDICATED ON THE PLANS.
10. ALL EXISTING TREES, SHRUBS AND GROUND COVER WHERE NATURAL GRADE IS TO BE RETAINED SHALL BE KEPT IN THEIR EXISTING STATE UNLESS REMOVAL IS REQUIRED FOR CONSTRUCTION PURPOSES.
11. ALL AREAS DISTURBED BY CONSTRUCTION AND NOT TO BE PAVED OR OTHERWISE TREATED AS NOTED ON PLAN SHALL BE TREATED WITH 4" OF LOAM, SEEDED AND HAY MULCHED FOR EROSION CONTROL.
12. SITE IMPROVEMENTS SHALL CONFORM TO A.D.A. SPECIFICATIONS.
13. LIGHTING SHALL BE DIRECTED ON SITE AND AWAY FROM TRAFFIC INTERFERENCE.
14. TEST PITS AND/OR BORINGS WERE TAKEN FOR THE PURPOSE OF DESIGN AND SHOW CONDITIONS AT BORING POINTS ONLY. THEY DO NOT NECESSARILY SHOW THE NATURE OF ALL MATERIALS TO BE ENCOUNTERED DURING CONSTRUCTION.
15. THE CONTRACTOR SHALL PROTECT AND/OR CAP OFF ALL EXISTING ON-SITE UTILITY SERVICES ACCORDING TO THE LOCAL AUTHORITY'S SPECIFICATIONS. SERVICES SHALL BE CAPPED OFF WHERE SAME ENTER THE PERIMETER OF THE PROPERTY LINE.
16. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
17. ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
18. THESE PLANS ARE PERMITTING PLANS AND SHALL NOT TO BE USED FOR CONSTRUCTION. A FINAL SET OF STAMPED PLANS FOR CONSTRUCTION WILL BE ISSUED AFTER RECEIVING FINAL APPROVAL FROM THE LOCAL AND/OR STATE DEPARTMENTS.
19. ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO WORK BEING PERFORMED.
20. ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
21. ALL HANDICAP PARKING, RAMPS, AND ACCESS SHALL CONFORM TO A.B. & M.A.B. REQUIREMENTS.
22. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO CITY OF NEW BEDFORD CONSERVATION COMMISSION REQUIREMENTS AS STATED IN THE ORDER OF CONDITIONS.
23. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS.
24. THE CONTRACTOR SHALL OBTAIN A STREET DISTURBANCE & OBSTRUCTION PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE RIGHT OF WAY.
25. ALL WATER AND SEWER MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
26. ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF NEW BEDFORD BEFORE BEING BACKFILLED.
27. THE CITY SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE REQUIRED INSPECTIONS.

## CONSTRUCTION SEQUENCING NOTES

1. CONSTRUCT TEMPORARY AND PERMANENT EROSION CONTROL FACILITIES. EROSION CONTROL FACILITIES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING.
2. TREE PROTECTION FENCE SHALL BE INSTALLED AND APPROVED BY THE OWNER REPRESENTATIVE PRIOR TO ANY EARTH MOVING.
3. ALL PERMANENT DITCHES AND SWALES ARE TO BE STABILIZED WITH VEGETATION OR RIP RAP PRIOR TO DIRECTING RUNOFF TO THEM.
4. CLEAR CUT, DEMOLISH AND DISPOSE OF EXISTING SITE ELEMENTS NOT TO REMAIN.
5. STORMWATER SHALL NOT BE DIRECTED TOWARDS THE INFILTRATION BASINS UNTIL THE ENTIRE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
6. GRADE AND GRAVEL ALL PAVED AREAS. ALL PROPOSED PAVED AREAS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
7. BEGIN ALL PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDDED AND MULCHED IMMEDIATELY AFTER THEIR CONSTRUCTION.
8. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMES, DRAINS, DITCHES, SILT FENCES AND MULCH AND SEED AS REQUIRED.
9. FINISH PAVING ALL HARD SURFACE AREAS.
10. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES.
11. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
12. REMOVE TEMPORARY EROSION CONTROL MEASURES.
13. THE CONSTRUCTION SEQUENCE SHALL BE CONFINED TO THE LIMIT OF WORK AS SHOWN ON THE DRAWINGS.
14. UPON COMPLETION OF CONSTRUCTION THE OWNER SHALL AGREE TO MAINTAIN AND CLEAN ALL DRAINAGE STRUCTURES AS REQUIRED.

## SITE PREPARATION NOTES

1. WITHIN THE LIMIT OF WORK LINE AS NOTED ON THE SITE PLANS, REMOVE AND DISCARD ALL CONCRETE, PAVEMENT, BITUMINOUS CONCRETE, PAVEMENT, BRICK PAVEMENT, TOP SOIL, MULCH, TRASH, DEAD TREES AND STUMPS, SHRUBBERY, CHAIN LINK FENCE POSTS, RAILS, FABRIC, GATES, FOOTINGS AND ALL APPURTENANCES, BOLLARDS, POSTS, CONCRETE FOOTINGS AND FOUNDATIONS, WALLS AND CURBS UNLESS OTHERWISE NOTED.
2. THE OWNER'S REPRESENTATIVE SHALL BE CONSULTED AND WILL REVIEW THE WORK ON SITE WITH THE CONTRACTOR BEFORE ANY WORK SHALL COMMENCE.
3. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO STARTING WORK.
4. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS TO REMAIN THAT ARE DUE TO CONTRACTOR OPERATIONS.
5. ALL ITEMS TO BE REMOVED THAT ARE NOT STOCKPILED FOR LATER REUSE ON THE PROJECT OR DELIVERED TO THE OWNER SHALL BE LEGALLY DISPOSED OF OFF SITE BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS EFFORTS OF THE DEMOLITION WITH ALL TRADES.
7. THE CONTRACTOR SHALL COORDINATE ALL ADJUSTMENT OR ABANDONMENT OF UTILITIES WITH THE RESPECTIVE UTILITY COMPANY.
8. THE CONTRACTOR SHALL MAINTAIN OR ADJUST TO NEW FINISH GRADES AS NECESSARY ALL UTILITY AND SITE STRUCTURES SUCH AS LIGHT POLES, SIGN POLES, MANHOLES, CATCH BASINS, HAND HOLES, WATER AND GAS GATES, HYDRANTS, ETC., FROM MAINTAINED UTILITY AND SITE SYSTEMS UNLESS OTHERWISE NOTED OR DIRECTED BY THE OWNER'S REPRESENTATIVE.

## UTILITY AND GRADING NOTES

1. ALL ON-SITE STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) OR RCP, UNLESS NOTED OTHERWISE.
2. HDPE PIPE SHALL CONFORM WITH ASHOTO DESIGNATIONS M284 AND M252. SHALL BE MANUFACTURED WITH HIGH DENSITY POLYETHYLENE PLASTIC AND SHALL BE ADS N-12 PIPE AS MANUFACTURED BY ADVANCE DRAINAGE SYSTEM, INC. OR HANCOCK H. Q PIPE AS MANUFACTURED BY HANCOCK, INC. OR APPROVED EQUAL UNLESS OTHERWISE NOTED OR DETAILED.
3. BEFORE THE DEVELOPMENT SITE IS GRADED, THE AREA OF THE DRAINAGE BASINS SHOULD BE FENCED OFF TO PREVENT HEAVY EQUIPMENT FROM COMPACTING THE UNDERLYING SOIL.
4. WHERE PROPOSED GRADES MEET EXISTING GRADES, CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. POINING AT TRANSITION AREAS WILL NOT BE ALLOWED.
5. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS AND STRUCTURES.
6. MAXIMUM SLOPE IN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
7. CONTRACTOR SHALL VERIFY EXISTING GRADES AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
8. CONTRACTOR SHALL ADJUST UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
9. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE OWNER'S REPRESENTATIVE FOR RESOLUTION OF THE CONFLICT.
10. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ALL GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
11. THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY AND APPROVED BY THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE AND ELECTRIC). FINAL DESIGN AND LOCATIONS AT THE BUILDING WILL BE PROVIDED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE UTILITY CONNECTIONS WITH THE RESPECTIVE COMPANIES PRIOR TO ANY UTILITY CONSTRUCTION.

## LAYOUT AND MATERIAL NOTES

1. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
2. ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
3. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAILS CONTIGUOUS TO THE BUILDING INCLUDING SIDEWALKS, RAMPS, UTILITY ENTRANCE LOCATIONS, WALL PACKS, CONCRETE DOOR PADS, ROOF DRAINS, ETC.
4. ACCESSIBLE CURB RAMPS SHALL BE PER THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD AND THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES, WHICH IS MORE STRINGENT.
5. THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN:
  - ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING.
  - ALL DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE.
  - ALL DIMENSIONS ARE TO CENTER OF PAVEMENT MARKINGS.
  - ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.

## GENERAL PLANTING NOTES

1. ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN OR THE PLANT MATERIAL WILL BE UNACCEPTABLE. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY, SIZE AND BE CERTIFIED DISEASE AND INSECT FREE. THE OWNER AND/OR THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO APPROVE ALL PLANT MATERIAL ON SITE PRIOR TO INSTALLATION.
2. ALL PLANT MATERIAL SHALL BE PROPERLY GUIDED, STAKED, WRAPPED, AND PLANTED IN CONFORMANCE WITH THE TYPICAL PLANTING DETAILS. GUY WIRES SHALL BE ATTACHED TO THE TREE AT A HEIGHT OF TWO-THIRDS THE HEIGHT OF THE TREE AND SHOULD BE LOCATED AT POINTS SO AS NOT TO SPLIT THE TRUNK OF MULTI-STEMMED TREES. PROVIDE THREE STAKES PER TREE UNLESS NOTED OTHERWISE. INSTALL ALL PLANT MATERIAL ON UNDISTURBED GRADE. PROVIDE BURLAP WRAPPING WITH A 50% OVERLAP. CUT AND REMOVE BURLAP FROM TOP ONE-THIRD OF THE ROOT BALL.
3. PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. BACKFILL PLANTING PITS WITH ONE PART EACH OF TOP SOIL, PLANT MOSS, AND PARENT MATERIAL. IF WET SOIL CONDITIONS EXIST THEN PLANTING PITS SHALL BE EXCAVATED AN ADDITIONAL 12" AND FILLED WITH SAND.
4. NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF INSTALLATION AND SHALL BE SUBSEQUENTLY FLOODED TWICE WITHIN TWENTY-FOUR (24) HOURS OF PLANTING. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT, GROWTH AND SURVIVAL OF ALL PLANTS.
5. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER THE DATE OF FINAL ACCEPTANCE. ANY PLANT MATERIAL THAT DIES WITHIN THAT TIME PERIOD SHALL BE REMOVED, INCLUDING THE STUMP, AND REPLACED WITH MATERIAL OF SIMILAR SIZE AND SPECIES AT THE EXPENSE OF THE DEVELOPER. THE REPLACED PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER THE REPLACEMENT DATE.
6. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM 4" LAYER OF TOPSOIL IN ALL LAWN AREAS AND A MINIMUM OF 6" OF TOPSOIL IN ALL PLANTING AREAS. A FULL SOIL ANALYSIS SHALL BE CONDUCTED AFTER CONSTRUCTION AND PRIOR TO PLANTING TO DETERMINE THE EXTENT OF SOIL AMENDMENT REQUIRED.
7. ALL DISTURBED LAWN AREAS SHALL BE STABILIZED WITH EITHER SOD OR SEED AS INDICATED ON THE LANDSCAPE PLANS. SEED SHALL CONSIST OF THE MIXTURE LISTED IN THE GENERAL SEEDING NOTES. ALL DISTURBED LAWN AREAS SHALL BE TOP SOILED, LIMED, FERTILIZED, AND FINE GRADED PRIOR TO LAWN INSTALLATION.
8. ALL PLANTING BEDS SHALL RECEIVE 3" OF SHREDDED PINE, CEDAR OR HEMLOCK BARK.
9. ALL SHRUB MASSSES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS.
10. ALL TREES ARE TO BE GUIDED, 3 EACH, UNLESS OTHERWISE NOTED ON PLAN.
11. ALL DECIDUOUS TREES ARE TO BE WRAPPED, WITH TREE WRAP, UP TO THE FIRST BRANCHING AND SECURED.
12. THE LANDSCAPE CONTRACTOR IS TO PERFORM ALL CONTRACTED WORK IN A REASONABLE PERIOD OF CONTINUOUS WORK.
13. THE LANDSCAPE CONTRACTOR IS TO MAINTAIN PLANT MATERIAL WHILE THE PROJECT IS UNDERWAY AND FOR A PERIOD OF TWO WEEKS AFTER THE COMPLETION OF THE PROJECT UNLESS OTHERWISE SPECIFIED.
14. THE CONTRACTOR IS TO CLEAN UP AND REMOVE ANY DEBRIS FROM THE SITE, CAUSED BY THE LANDSCAPE CONTRACTOR.

## SOIL EROSION AND SEDIMENT CONTROL NOTES

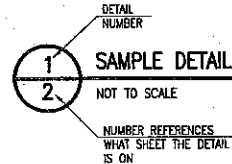
1. THE CONSERVATION COMMISSION SHALL BE NOTIFIED, AT LEAST 72 HOURS PRIOR TO ANY LAND DISTURBANCE.
2. A COPY OF THE SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED ON THE PROJECT SITE DURING CONSTRUCTION.
3. SOIL EROSION AND SEDIMENT CONTROL PRACTICES IN THE PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
4. ALL APPLICABLE SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY DEMOLITION GRADING OPERATIONS AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
5. ALL APPLICABLE SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND/OR THE AREA IS STABILIZED.
6. ALL SOIL EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
7. THE MAINTENANCE OF SOIL EROSION AND SEDIMENT CONTROL MEASURES AND FACILITIES DURING AND IMMEDIATELY AFTER CONSTRUCTION RESTS WITH THE GENERAL CONTRACTOR. UPON ACCEPTANCE OF THE PROJECT, THE OWNER SHALL BECOME RESPONSIBLE FOR MAINTENANCE OF ANY REMAINING MEASURES AND FACILITIES.
8. OFF SITE SEDIMENT DISTURBANCE MAY REQUIRE ADDITIONAL CONTROL MEASURES TO BE DETERMINED BY THE ENGINEER.
9. THE CONSERVATION COMMISSION AND/OR ENGINEER MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR.
10. ADJOINING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS AT ALL TIMES.
11. THE CONTRACTOR SHALL UTILIZE ALL METHODS NECESSARY TO PREVENT BLOWING AND MOVEMENT OF DUST FROM THE EXPOSED SOIL SURFACES.
12. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
13. A CRUSHED STONE TIRE CLEANING PAD WILL BE INSTALLED WHEREVER A CONSTRUCTION ENTRANCE EXISTS. SEE LOCATION DETAIL ON PLAN.
14. ALL CATCH BASIN INLETS SHALL BE PROTECTED DURING CONSTRUCTION AS DETAILED ON THE PLAN, IF APPLICABLE.
15. ALL STORM DRAINAGE OUTLETS SHALL BE PROTECTED AS REQUIRED HEREON BEFORE DISCHARGE POINTS BECOME OPERATIONAL.
16. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
17. LAND AREAS EXPOSED AT ANY ONE TIME AND THE LENGTH OF EXPOSURE SHALL BE KEPT TO A PRACTICAL MINIMUM. THEY SHALL BE LEFT IN A NEAT AND FINISHED APPEARANCE AND PROTECTED FROM EROSION.
18. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN SIXTY (60) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND FERTILIZATION. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS SHALL BE MULCHED.
19. ALL CRITICAL AREAS SUBJECT TO EROSION SHALL RECEIVE A TEMPORARY SEEDING AND BE MULCHED IN ACCORDANCE WITH THE SPECIFICATIONS IMMEDIATELY FOLLOWING ROUGH GRADING.
20. IMMEDIATELY AFTER COMPLETION OF STRIPPING AND STOCKPILING OF TOPSOIL, SEED THE STOCKPILE WITH ANNUAL RYE GRASS. STABILIZE TOPSOIL STOCKPILES WITH STRAW MULCH FOR PROTECTION IF THE SEASON DOES NOT PERMIT THE APPLICATION AND ESTABLISHMENT OF TEMPORARY SEEDING.
21. SOIL STOCKPILES ARE NOT TO BE LOCATED WITHIN FIFTY (50) FEET OF WETLANDS, THE FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITIES. THE BASE OF ALL STOCKPILES SHALL BE PROTECTED BY A HAY BALE BARRIER OR SEDIMENT FENCE. LOCATIONS ARE DELINEATED ON THE PLAN.
22. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
23. ALL AREAS NOT STABILIZED BY CONSTRUCTION, SODDING OR LANDSCAPING SHALL BE SEEDDED AND STABILIZED IN ACCORDANCE WITH THE SEEDING AND MULCHING SPECIFICATIONS.
24. MULCHING IS REQUIRED ON ALL SEEDED AREAS TO INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED TO PROMOTE EARLIER VEGETATIVE COVER.
25. ALL Dewatering OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTRATION DEVICE. THE SEDIMENT FILTER MUST BE CAPABLE OF FILTERING THE SEDIMENT AND BE PLACED SO AS NOT TO CAUSE EROSION OF THE DOWNSTREAM AREA.

CITY CLERKS OFFICE  
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2016 NOV 18 P 225  
CITY CLERK

## LEGEND

PROPOSED	
CONTOUR LINE	(10)
SPOT GRADE	+101.9
EDGE OF PAVEMENT	EOP
RECORD GRANITE CURB	VGC
SLOPED GRANITE CURB	SGC
VERTICAL CONCRETE CURB	VCC
BITUMINOUS CONCRETE CURB	BCC
CAPE COD BERM	CCB
STONE WALL	
CHAIN LINK FENCE	X X
IRON FENCE	△
POST & RAIL FENCE	○
STOCKADE FENCE	□
GUARD RAIL	—
HAY BALES	—
WATER LINE	—W—
FIRE HYDRANT	⊙
POST INDICATOR VALVE	—
WATER GATE	—
WATER METER PIT	—
IRRIGATION HAND HOLE	—
WELL	—
SEWER LINE	—
SEWER MANHOLE	—
GAS LINE	—
GAS METER	—
GAS GATE	—
DRAIN LINE	—
DRAIN MANHOLE	—
CATCH BASIN	—
OVERHEAD WIRES	—
ELECTRIC, TELEPHONE & CABLE	—
UTILITY POLE	—
GUY WIRE	—



REVISIONS

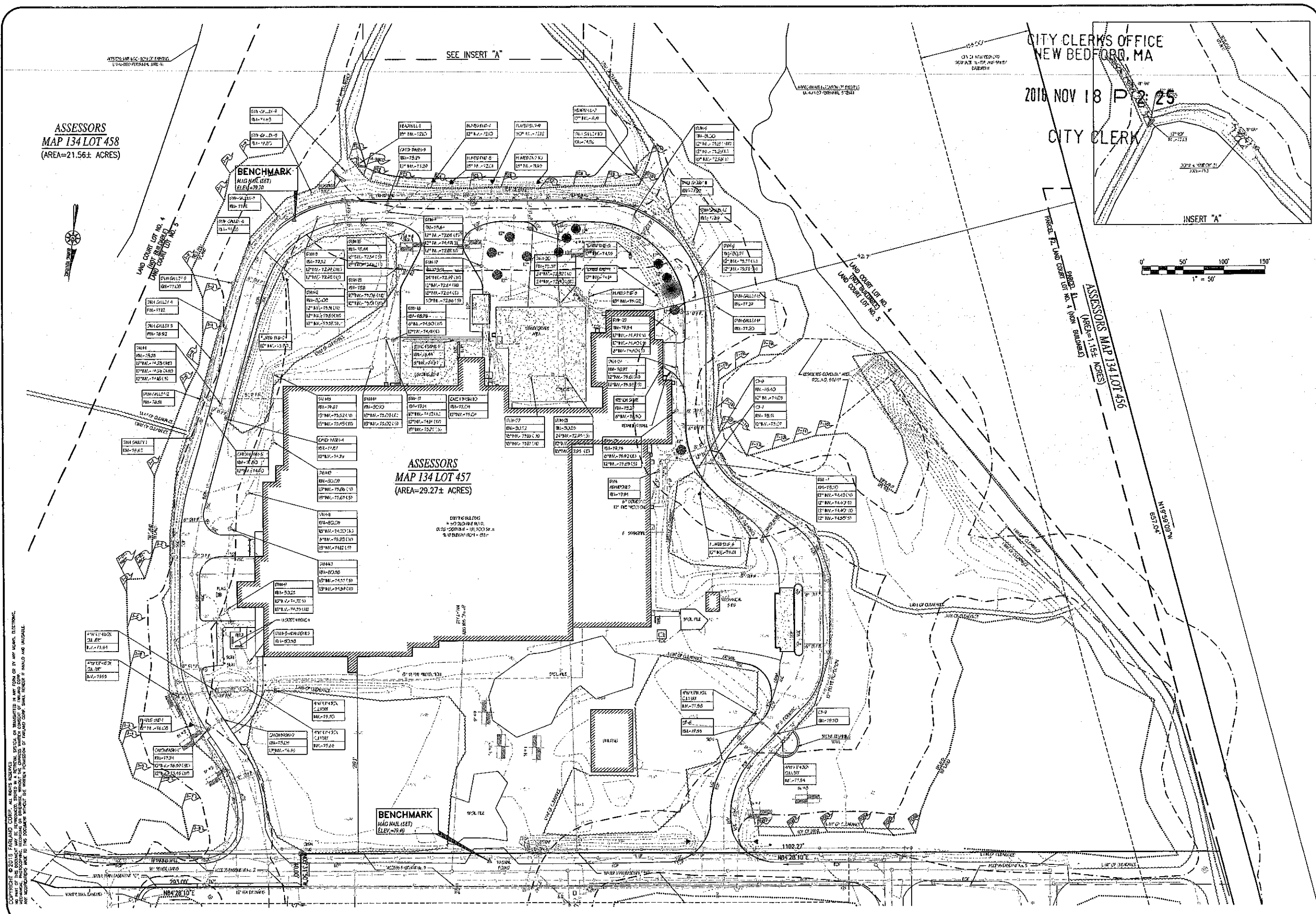
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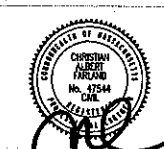
DRAWN BY: JKM/MAW  
DESIGNED BY: CAF  
CHECKED BY: CAF

SITE PLAN  
50 DUCHAINE BLVD  
ASSESSORS MAP 134 LOTS 456, 457, 458 & 459  
NEW BEDFORD, MASSACHUSETTS  
PREPARED FOR:  
EVERSOURCE ENERGY  
PO BOX 100085 - N2  
DULUTH, GA 30086

NOVEMBER 18, 2016  
SCALE: N.T.S.  
JOB NO. 15-500  
LATEST REVISION:  
NOTES & LEGEND  
SHEET 2 OF 9



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•WARWICK, RI

DRAWN BY: JKM/MAW  
DESIGNED BY: CAF  
CHECKED BY: CAF

SITE PLAN

50 DUCHAINE BLVD

ASSASSORS MAP 134 LOTS 456, 457, 458 & 459

NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:  
EVERSOURCE ENERGY  
PO BOX 100085 - N2  
DULUTH, GA 30096

NOVEMBER 18, 2016

SCALE: 1" = 50'

JOB NO. 15-500

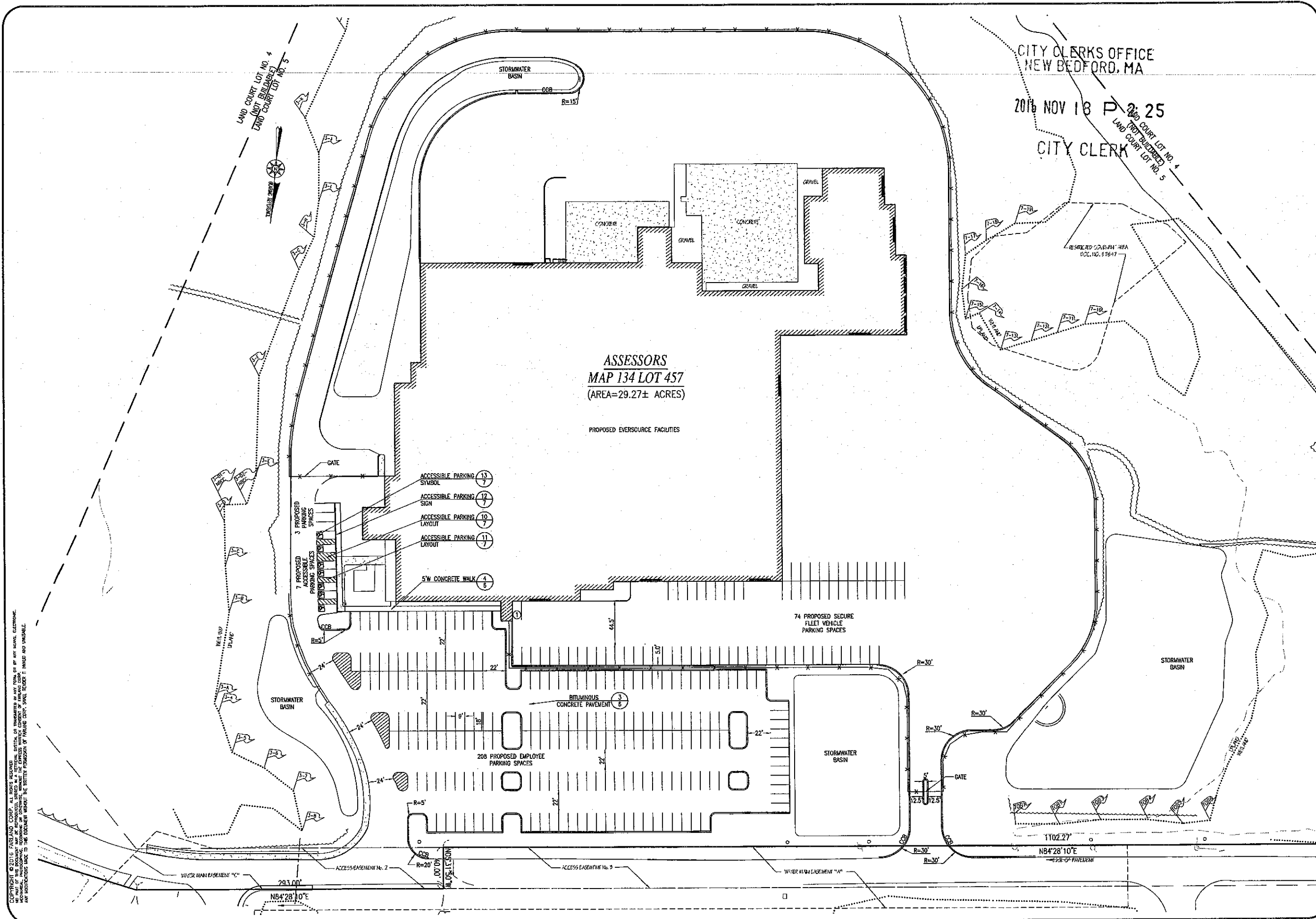
LATEST REVISION:

EXISTING CONDITIONS

SHEET 3 OF 9



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DESIGNED BY: CAF  
CHECKED BY: CAF

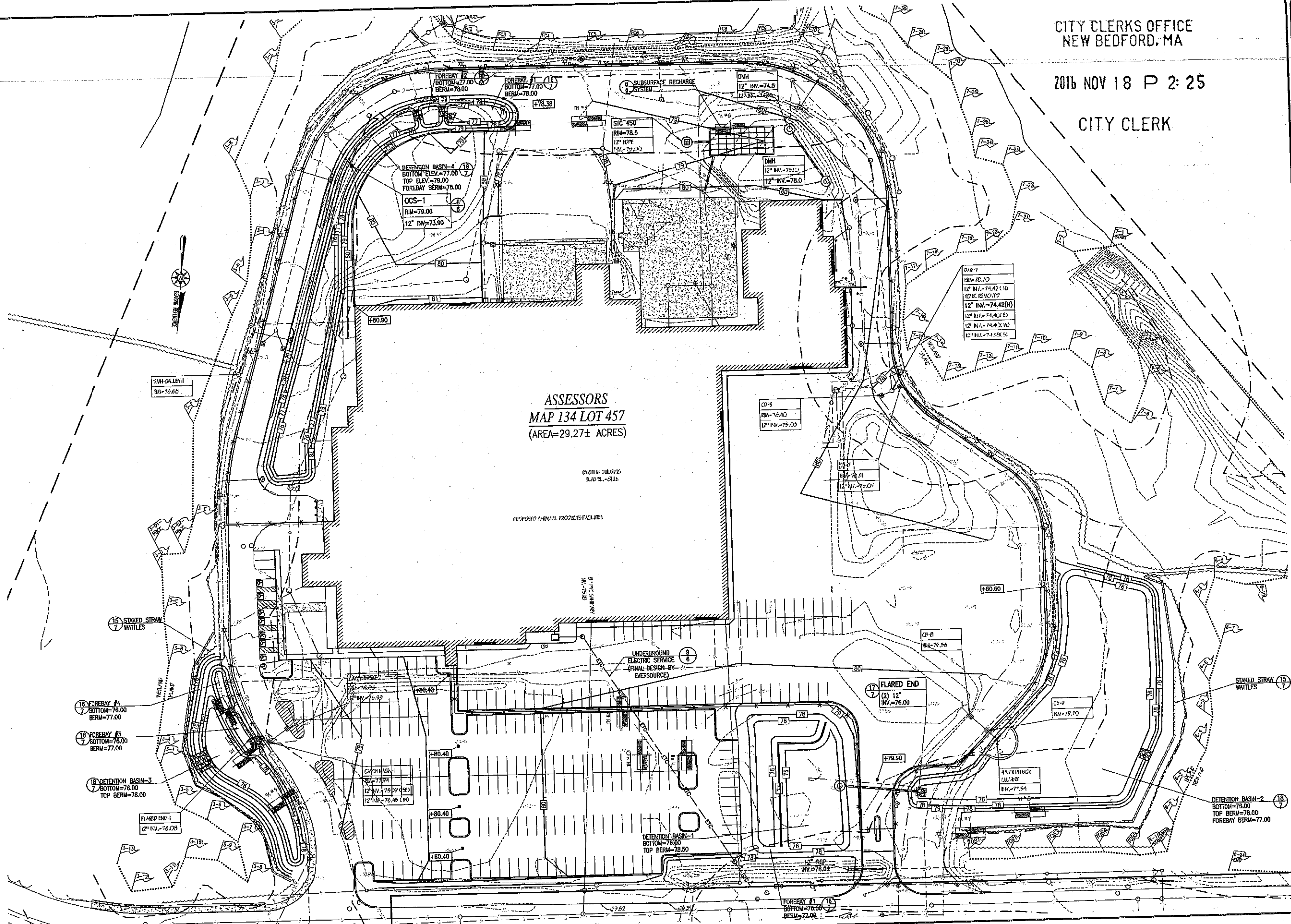
**SITE PLAN**  
50 DUCHAINE BLVD  
ASSESSORS MAP 134 LOTS 456, 457, 458 & 459  
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:  
EVERSOURCE ENERGY  
PO BOX 100085 - N2  
DULUTH, GA 30096

NOVEMBER 18, 2016  
SCALE: 1"=40'  
JOB NO. 15-500  
LATEST REVISION:

LAYOUT  
SHEET 4 OF 9

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CITY CLERKS OFFICE  
NEW BEDFORD, MA  
2016 NOV 18 P 2:25  
CITY CLERK

ASSESSORS  
MAP 134 LOT 457  
(AREA=29.27± ACRES)

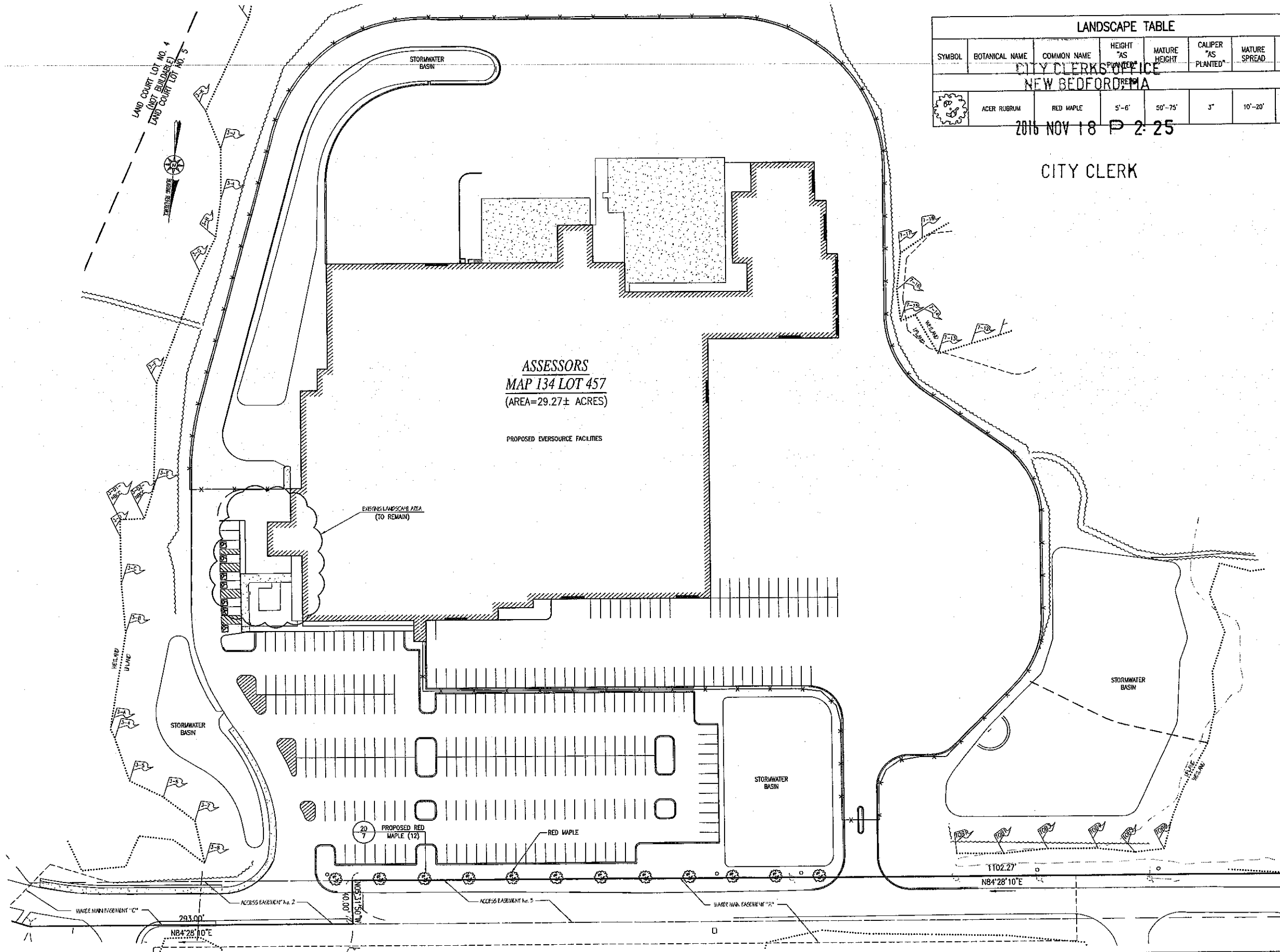
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NEW BEDFORD, MA 02740  
P. 508.717.3479  
OFFICES IN:  
•TAUNTON  
•MARLBOROUGH  
•WARWICK, RI  
DRAWN BY: JKM/MJM  
DESIGNED BY: CAF  
CHECKED BY: CAF

SITE PLAN  
50 DUCHAINE BLVD  
ASSESSORS MAP 134 LOTS 456, 457, 458 & 459  
NEW BEDFORD, MASSACHUSETTS  
PREPARED FOR:  
EVERSOURCE ENERGY  
PO BOX 100085 - N2  
DULUTH, GA 30096

NOVEMBER 18, 2016  
SCALE: 1"=40'  
JOB NO. 15-500  
LATEST REVISION:  
GRADING & UTILITY  
SHEET 5 OF 9

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LANDSCAPE TABLE							
SYMBOL	BOTANICAL NAME	COMMON NAME	HEIGHT "AS PLANTED"	MATURE HEIGHT	CALIPER "AS PLANTED"	MATURE SPREAD	QUANTITY
	ACER RUBRUM	RED MAPLE	5'-6'	50'-75'	3"	10'-20'	7

2016 NOV 18 P 2:25

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DRAWN BY: JKM/MJW

DESIGNED BY: CAF

CHECKED BY: CAF

**SITE PLAN**  
50 DUCHAINE BLVD  
ASSESSORS MAP 134 LOTS 456, 457, 458 & 459  
NEW BEDFORD, MASSACHUSETTS  
PREPARED FOR:  
EVERSOURCE ENERGY  
PO BOX 100085 - N2  
DULUTH, GA 30096

NOVEMBER 18, 2016

SCALE: 1"=40'

JOB NO. 15-500

LATEST REVISION:

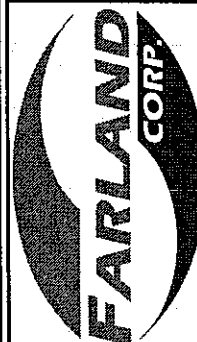
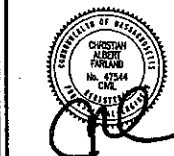
LANDSCAPE

SHEET 6 OF 9

Case 37-16  
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•WARWICK, RI

DRAWN BY: JKM/MJW  
DESIGNED BY: CAF  
CHECKED BY: CAF

**SITE PLAN**  
50 DUCHAINE BLVD  
ASSESSORS MAP 134 LOTS 456, 457, 458 & 459  
NEW BEDFORD, MASSACHUSETTS

EVERSOURCE ENERGY  
PO BOX 100085 - N2  
DULUTH, GA 30096  
PREPARED FOR:

NOVEMBER 18, 2016

SCALE: N.T.S.

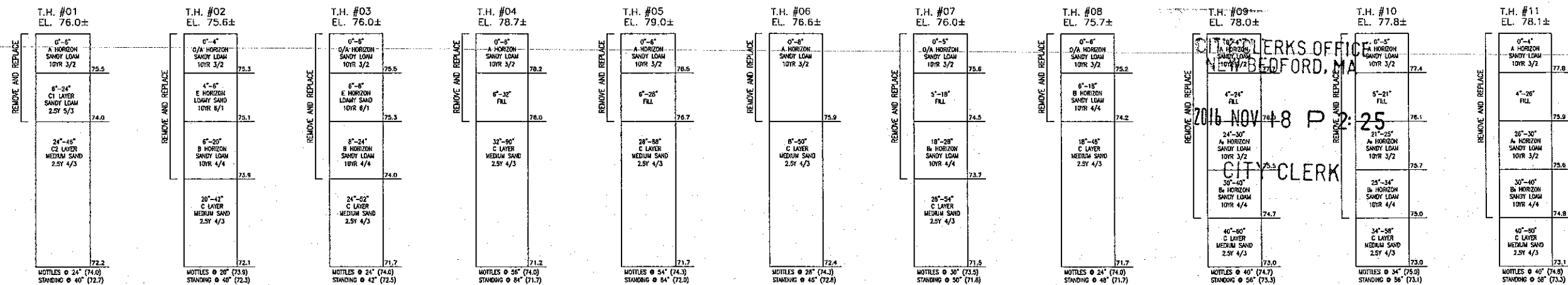
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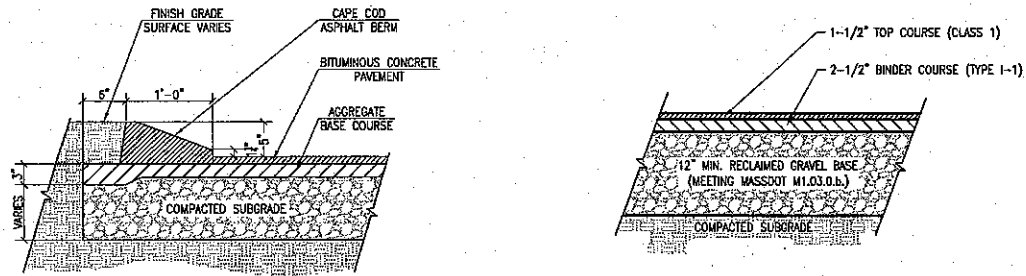
DETAIL

SHEET 7 OF 9

Case 37-16  
11/18/2016

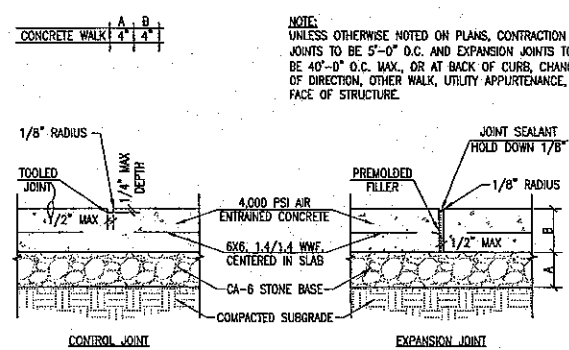


1 SOIL PROFILES  
6 NOT TO SCALE

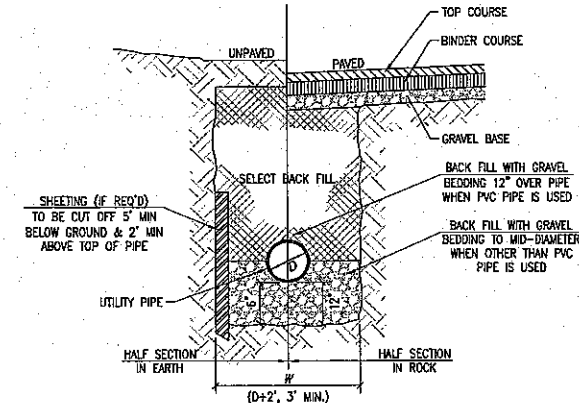


2 BITUMINOUS CONCRETE CAPE COD BERM  
6 NOT TO SCALE

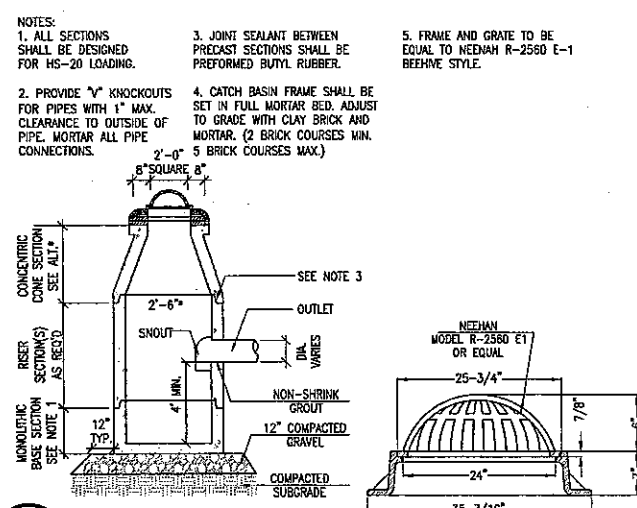
3 BITUMINOUS CONCRETE PAVEMENT - RECLAIMED  
6 NOT TO SCALE



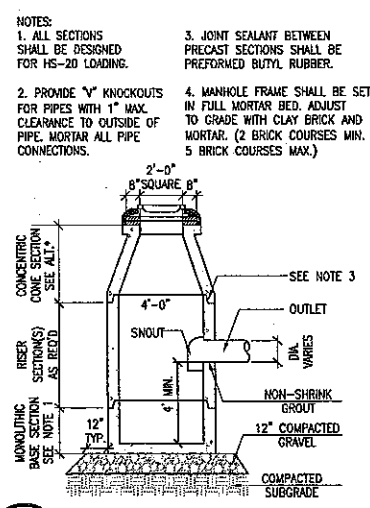
4 CONCRETE PAVEMENT SIDEWALK  
6 NOT TO SCALE



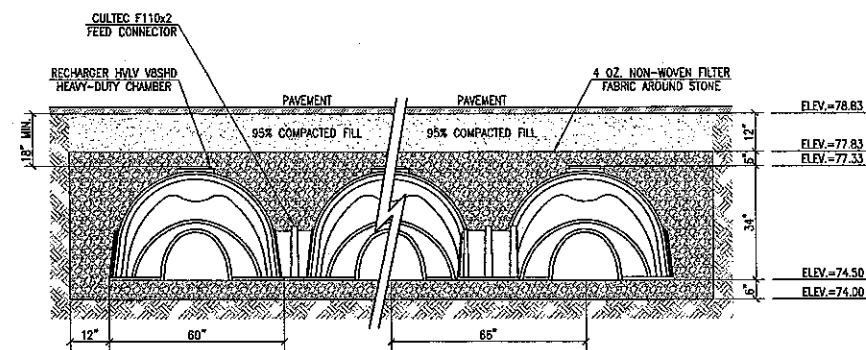
5 UTILITY TRENCH  
6 NOT TO SCALE



6 BEEHIVE CATCH BASIN  
6 NOT TO SCALE



7 DEEP SUMP MANHOLE  
6 NOT TO SCALE



8 CULTEC RECHARGER VBHD HEAVY DUTY CROSS SECTION  
6 NOT TO SCALE

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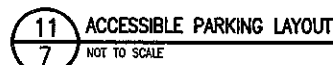
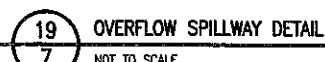
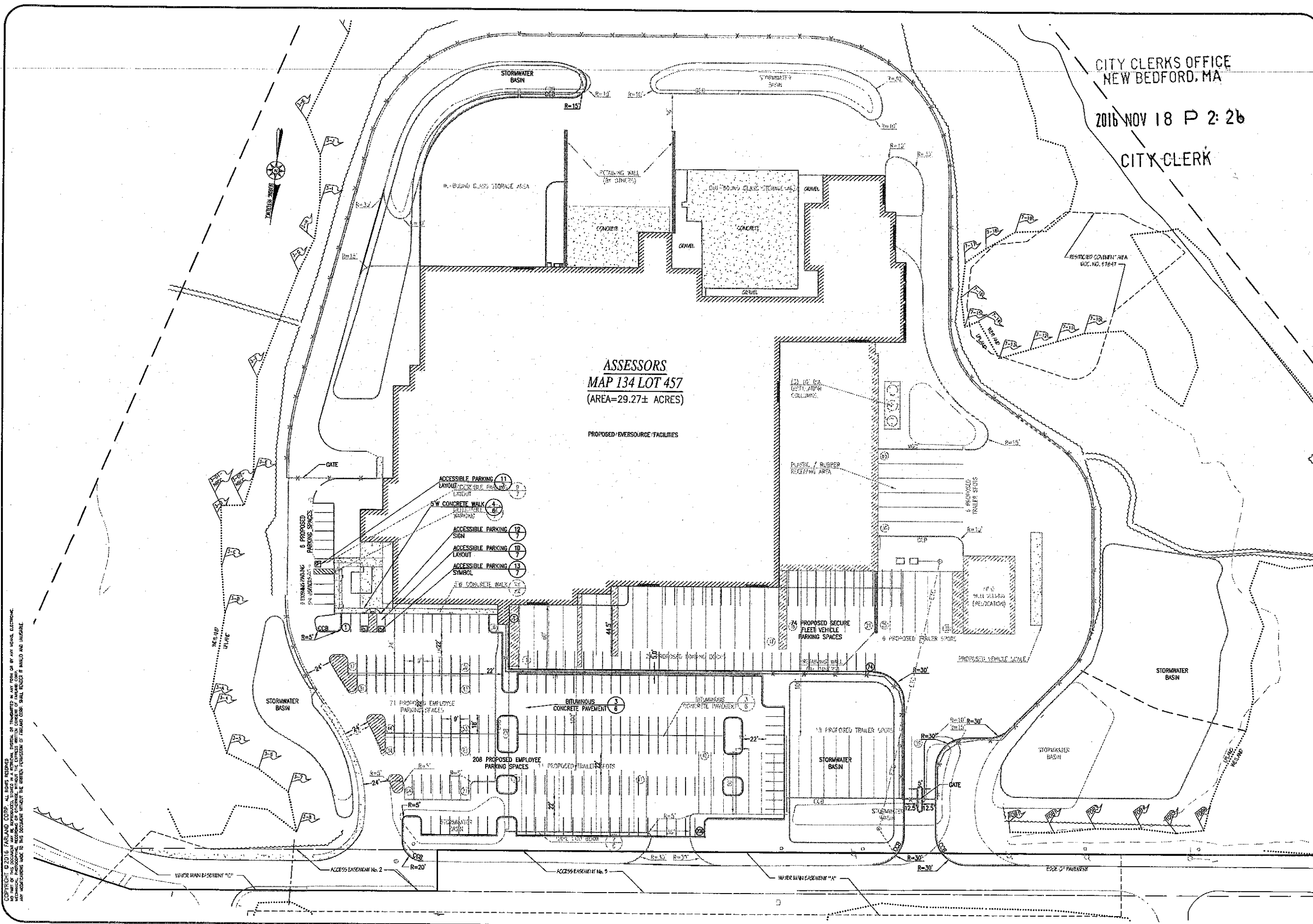


Figure 10 shows a plan view of a truncated dome structure. The dome is defined by a central square area with a width of 9 inches. The overall width of the structure is 24 inches. The height of the dome is 2.35 inches. A detail view of the dome shows a cross-section with a top width of 4.5 inches and a height of 2.35 inches. The plan view includes a grid of reinforcement bars. Labels include "START OF RAMP" and "WIDTH OF RAMP".



18 INFILTRATION BASIN  
7 NOT TO SCALE





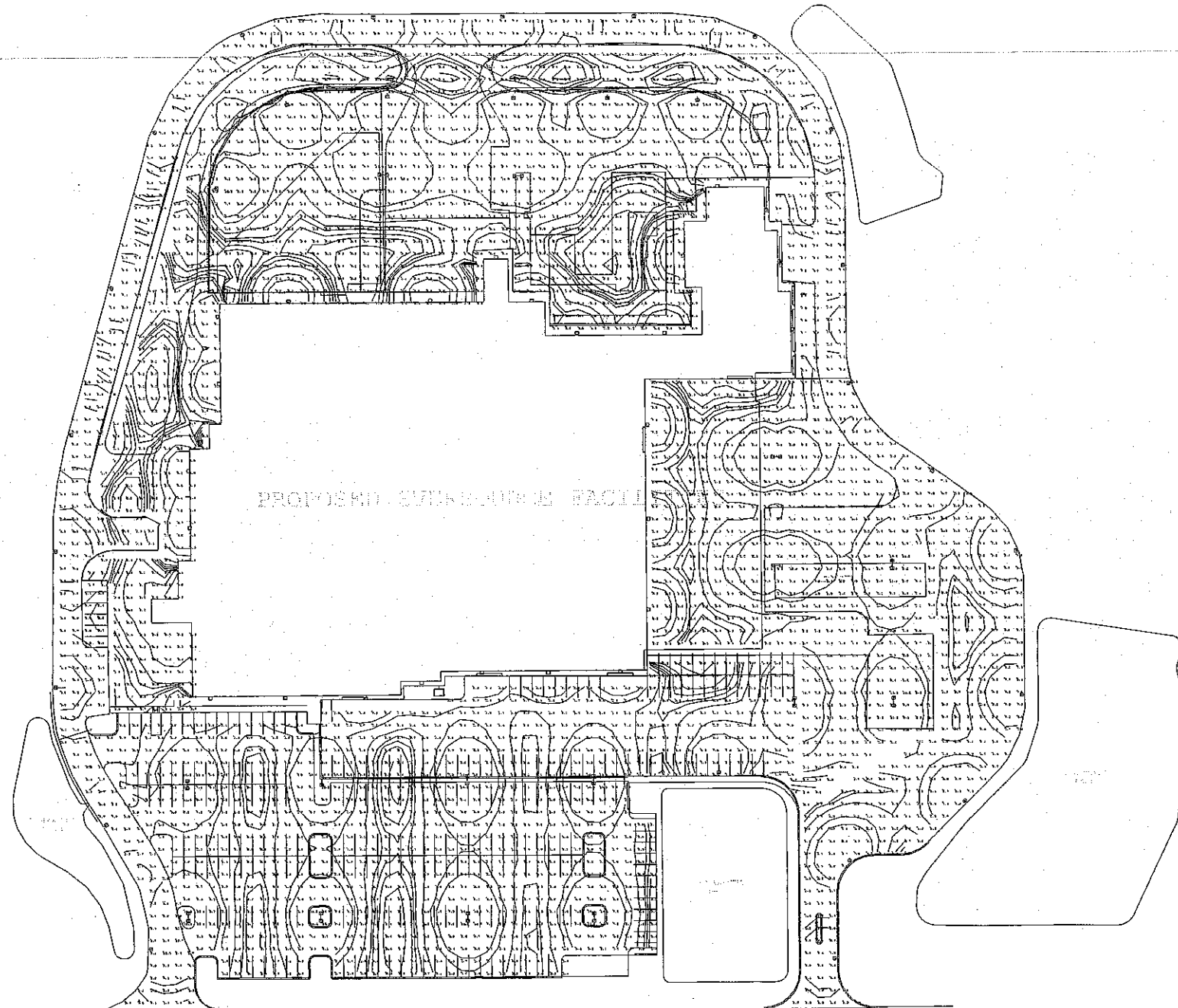
CITY CLERKS OFFICE  
NEW BEDFORD, MA

ASSESSORS  
MAP 134 LOT 457  
(AREA=29.27± ACRES)

## REVISIONS

Case 37-16  
11/18/2016





CITY CLERKS OFFICE  
NEW BEDFORD, MA

2016 NOV 18 P 2:26

CITY CLERK

neight





Calculated light levels and visualizations are based on  
assumed light source distribution, mounting height,  
any differences in luminaire installation, light beam  
geometry and distribution in the light area and produce  
approximate results. Actual results may vary due to  
variations of voltage, lamp output, and ambient and  
luminaire performance will affect results.

NOTES:

Drawn By: Ryan Thomson  
Checked By:  
Date: 11/16/2016  
Scale:

Eversource Parking Lot, Building & Roadway

Page 1 of 1

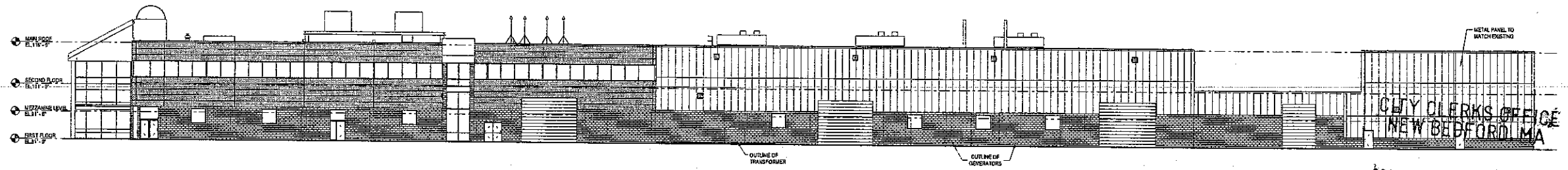
Luminaire Schedule					
Symbol	Qty	Label	Arrangement	Description	
	21	T1	SINGLE	VUE-1-T3-64L-700-55K-UNV	
	15	T3	BACK-BACK	VUE-1-T4-64L-700-55K-UNV	
	7	T2	SINGLE	VUE-1-T4-64L-700-55K-UNV	
	25	T4	SINGLE	HERMOBA-1-T2-32L-700-55K	

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Behind the Building	Illuminance	Fc	2.22	15.5	0.2	11.10	77.50
Left Side of the Building	Illuminance	Fc	1.25	7.1	0.0	N.A.	N.A.
Parking Lot	Illuminance	Fc	2.63	16.6	0.3	8.03	55.33
Right Side of Building	Illuminance	Fc	2.66	14.4	0.2	13.30	72.00
Roadway	Illuminance	Fc	2.84	12.8	0.3	9.47	42.67



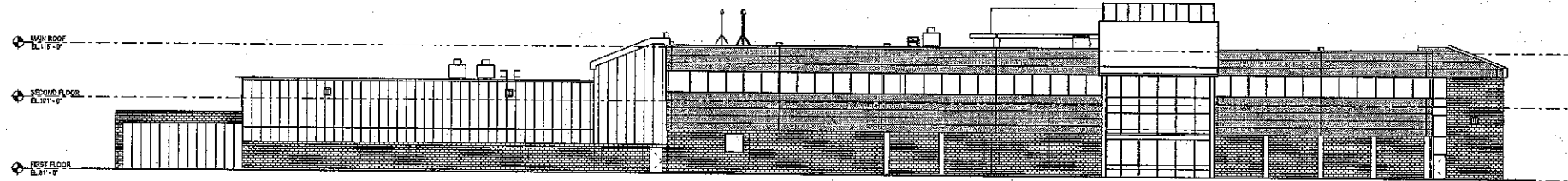




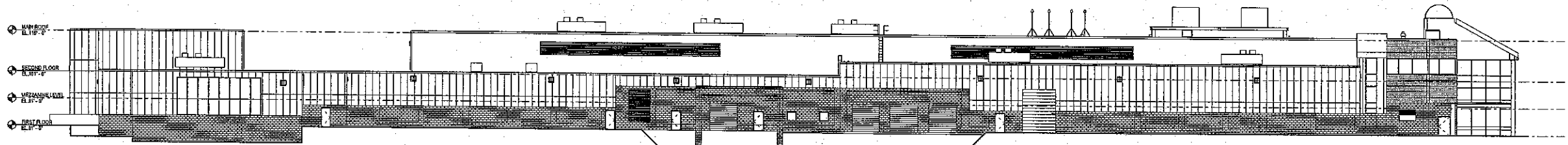


① PROPOSED NORTH ELEVATION  
1/16" = 1'-0"

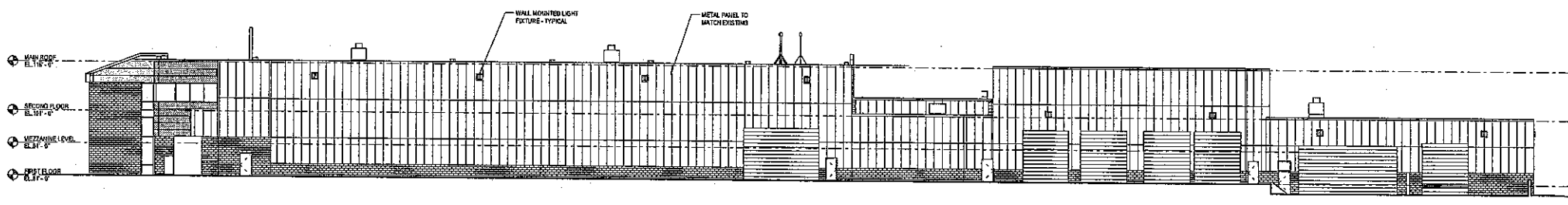
2016 NOV 18 P 2: 26  
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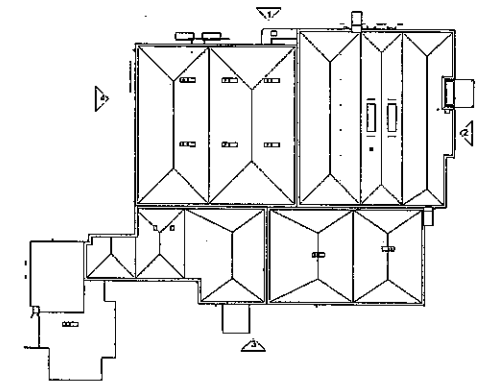
② PROPOSED EAST ELEVATION  
1/16" = 1'-0"



③ PROPOSED SOUTH ELEVATION  
1/16" = 1'-0"



④ PROPOSED WEST ELEVATION  
1/16" = 1'-0"



**EVERSOURCE**  
NEW BEDFORD, MA

**EXTERIOR ELEVATIONS**

11/18/2016

Case 37-16  
11/18/2016

**SLAM**  
The S:L:A:M Collaborative  
Glastonbury CT  
phone 860 657 8077  
fax 860 657 3141  
www.slamcoll.com