

**WHALE
CO-CREATIVE
CENTER
NEW BEDFORD, MA**



BID DOCUMENTS

studio2sustain inc
architects consultants environmental evangelists



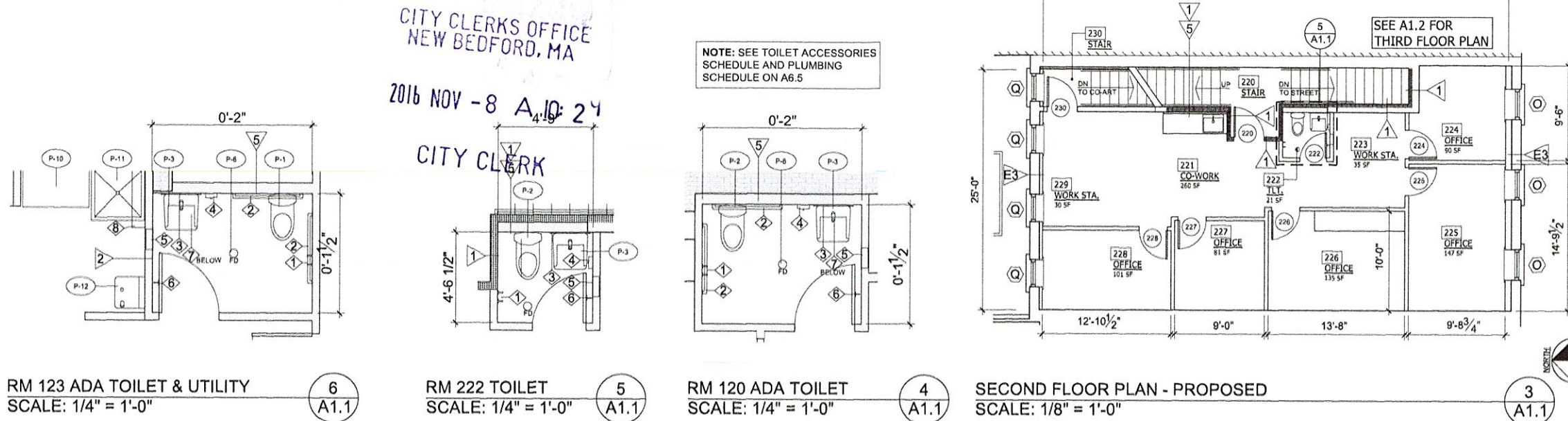
kathryn duff, RA, founder & director, kathryn@studio2sustain.com
412 county street, new bedford, massachusetts, 02740, 508.998.5145

139 UNION STREET

**CONSTRUCTION
DOCUMENTS**

FLOOR PLANS
BSMT, 1ST, 2ND

I A 1.1



RM 123 ADA TOILET & UTILITY
SCALE: 1/4" = 1'-0"
6 A1.1

RM 222 TOILET
SCALE: 1/4" = 1'-0"
5 A1.1

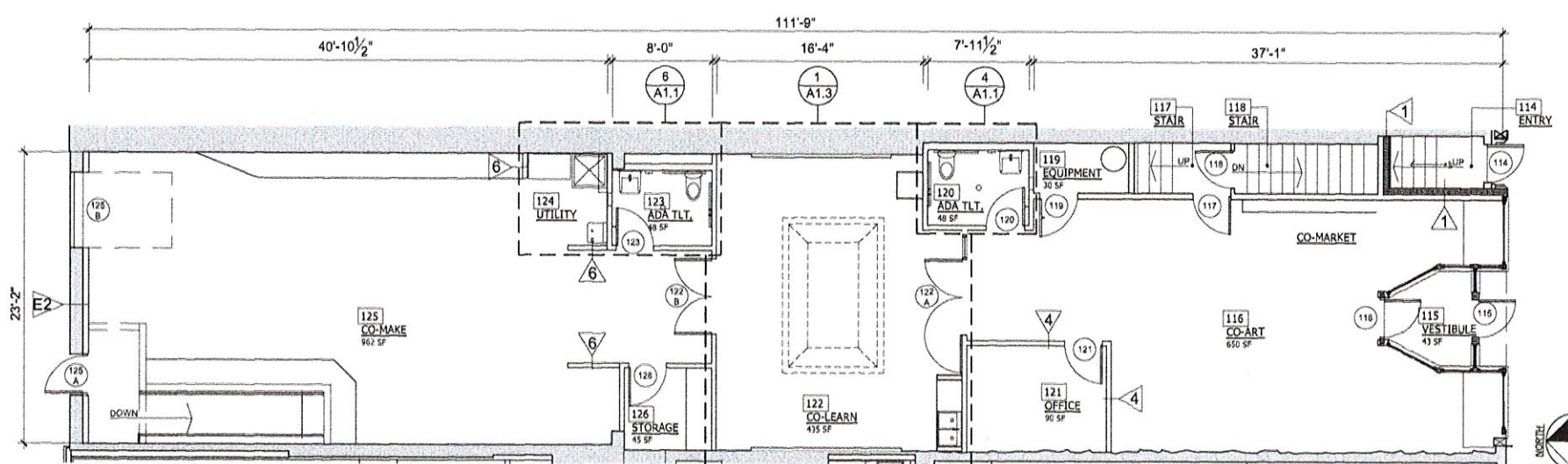
RM 120 ADA TOILET
SCALE: 1/4" = 1'-0"
4 A1.1

SECOND FLOOR PLAN - PROPOSED
SCALE: 1/8" = 1'-0"
3 A1.1

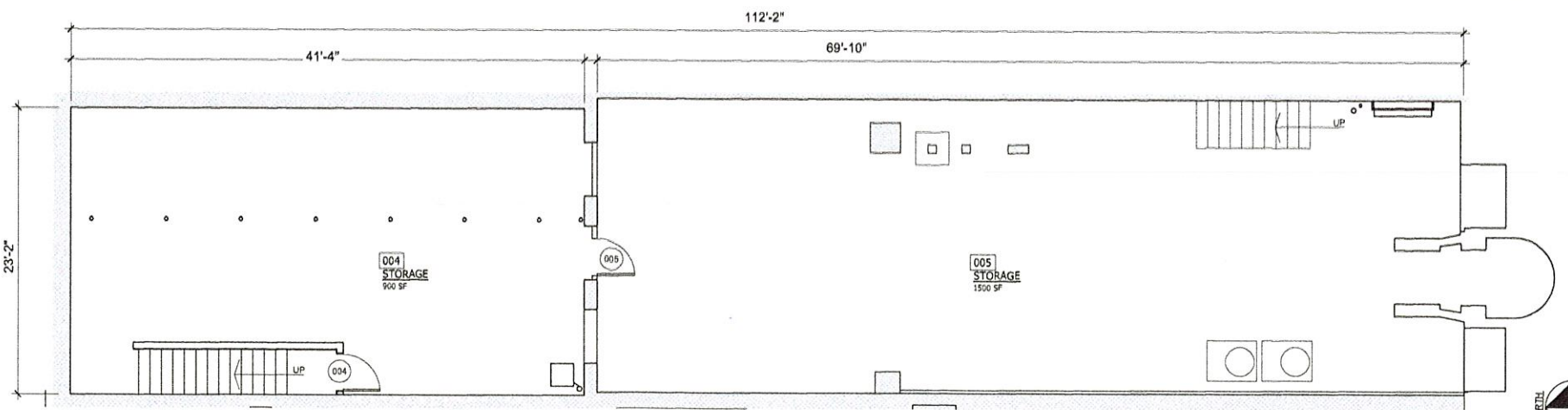
PLAN KEY

EXISTING WALLS	[Symbol]
PROPOSED WALLS - FULL HT.	[Symbol]
PROPOSED WALLS - PART. HT.	[Symbol]
PROP WALLS - 1 HOUR RATED	[Symbol]
PROP WALLS - 1/2 HOUR RATED	[Symbol]
WINDOW TYPE	(A)
DOOR NUMBER	(101)
PLUMBING FIXTURE TYPE	(P-0)
PARTITION TYPE	[Symbol] EXTERIOR [Symbol] INTERIOR

- GENERAL NOTES:**
1. ALL WORK, AS DEFINED OR IMPLIED WITHIN THESE CONSTRUCTION DRAWINGS AND BUILDING SPECIFICATIONS IS TO BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL BUILDING CODES AND REGULATIONS.
 2. ALL DIMENSIONS SHOWN REPRESENT APPROXIMATE DELINEATIONS AND ARE NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES. ALL WIDTH DIMENSIONS ARE APPROXIMATE, AS WALLS ARE UNEVEN STONE AND/OR BRICK MASONRY.
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 4. ALL REPAIR OF EXISTING BRICK TO BE EXECUTED IN STRICT ACCORDANCE WITH THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AND WITH THE SPECIFICATIONS AND CONSTRUCTION DRAWINGS.
 5. THESE DRAWINGS ARE INTENDED TO SHOW THE EXISTING CONDITIONS OF THE EXISTING BUILDING LOCATED AT 139 UNION STREET, INCLUDING PROPOSED REPAIRS AND RENOVATIONS. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN FIELD. DO NOT SCALE DRAWINGS. CONTRACTOR TO NOTIFY THE ARCHITECT AND THE OWNER IF ANY CONDITIONS APPEAR CONTRARY TO THE DRAWINGS AND/OR SPECIFICATIONS.
 6. THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR



FIRST FLOOR PLAN - PROPOSED
SCALE: 1/8" = 1'-0"
2 A1.1



BASEMENT FLOOR PLAN - PROPOSED
SCALE: 1/8" = 1'-0"
1 A1.1

CITY CLERKS OFFICE
NEW BEDFORD, MA
2016 NOV - 8 A 10: 24
CITY CLERK

NOTE: SEE TOILET ACCESSORIES
SCHEDULE AND PLUMBING
SCHEDULE ON A6.5

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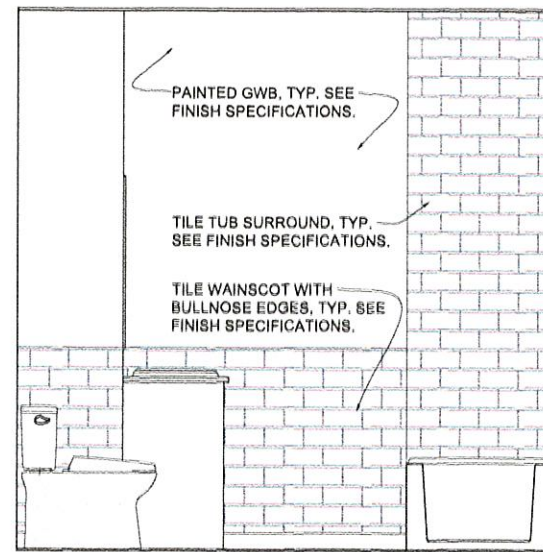


139 UNION STREET

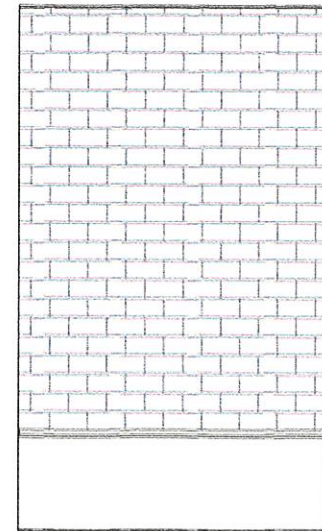
CONSTRUCTION
DOCUMENTS

THIRD FLOOR PLANS

I A 1.2

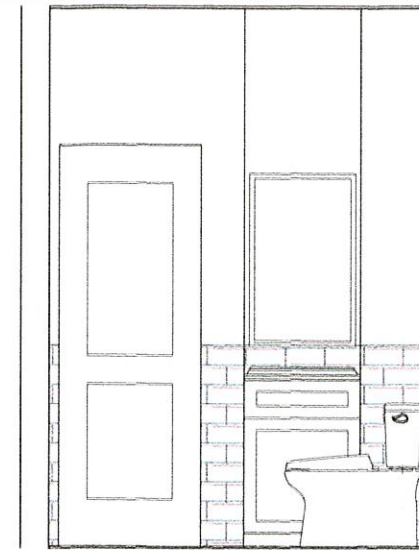


NORTH
ELEVATIONS - 313 BATHROOM
SCALE: 1/2" = 1'-0"



EAST

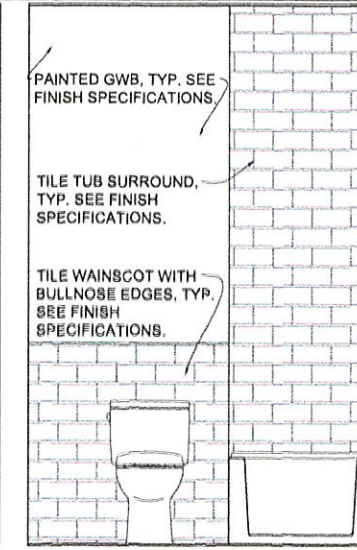
3
A 1.2



EAST

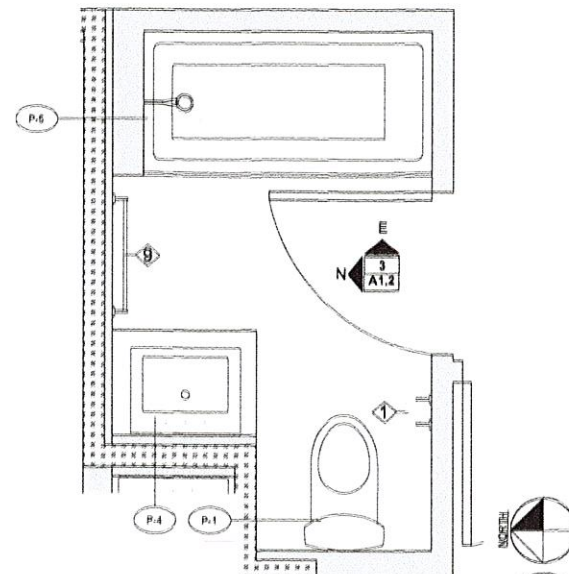
ELEVATIONS - 315 BATHROOM
SCALE: 1/2" = 1'-0"

42" A.F.F. TYP.



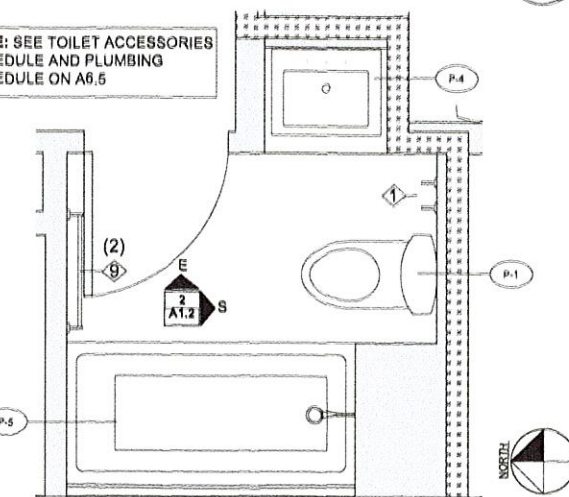
SOUTH

2
A 1.2



PLAN - 313 BATHROOM
SCALE: 1/2" = 1'-0"

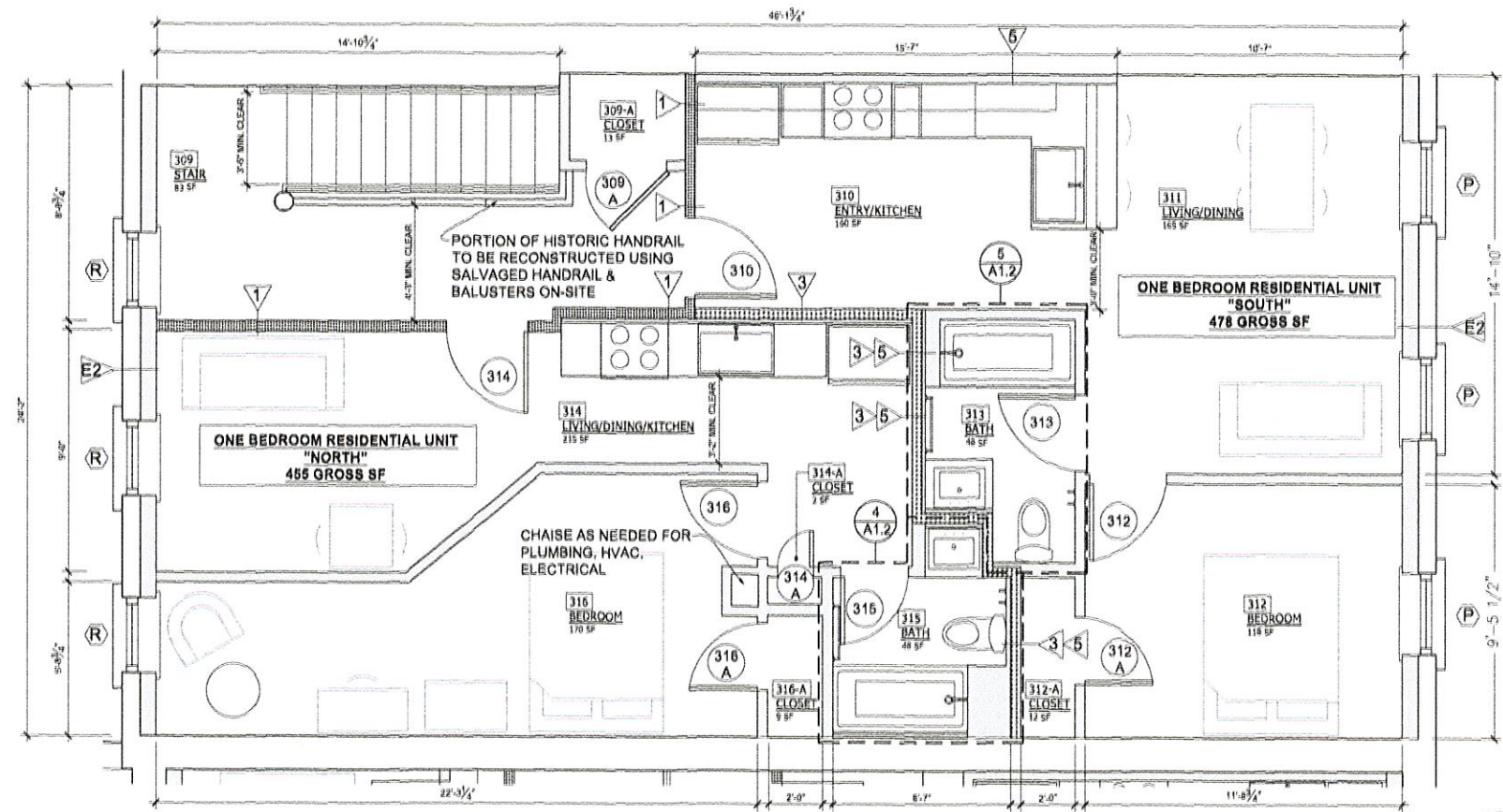
NOTE: SEE TOILET ACCESSORIES
SCHEDULE AND PLUMBING
SCHEDULE ON A6.5



PLAN - 315 BATHROOM
SCALE: 1/2" = 1'-0"

5
A 1.2

4
A 1.2



PLAN - 139 UNION STREET - 3RD FLOOR APARTMENTS
SCALE: 1/4" = 1'-0"

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1. ALL WORK, AS DEFINED OR IMPLIED WITHIN THESE CONSTRUCTION DRAWINGS AND BUILDING SPECIFICATIONS IS TO BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL BUILDING CODES AND REGULATIONS.
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1
A 1.2

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139 UNION STREET

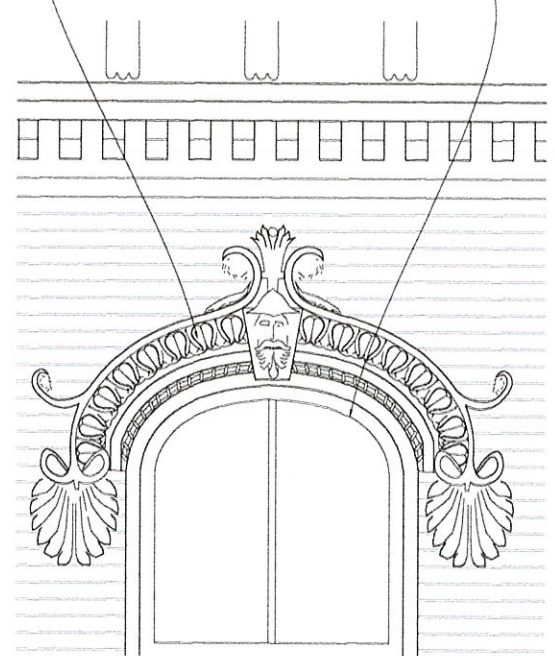
CONSTRUCTION
DOCUMENTS

EXTERIOR
ELEVATIONS

I A 2.1

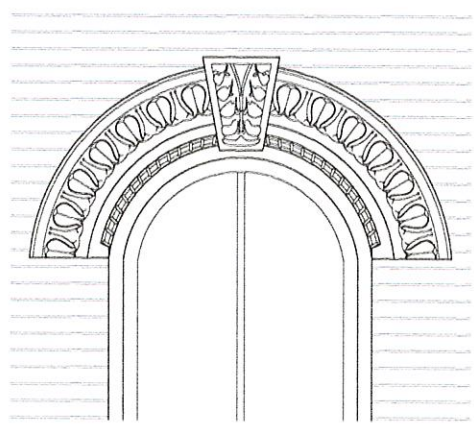
NOTE: FACADE TO BE REPAIRED & RESTORED - BRICK TO BE REPOINTED AND REPLACED IF NECESSARY. ALL WORK TO BE DONE IN ACCORDANCE TO SECRETARY OF THE INTERIOR STANDARDS REQUIREMENTS, TYP.

NOTE: WINDOW REPLACEMENT TO FOLLOW ARC OF ORNAMENTAL HOOD, TYP., AND DIFFERENT AT EACH FLOOR.



THIRD FL. WINDOW HOOD
SCALE: 3/4" = 1'-0"

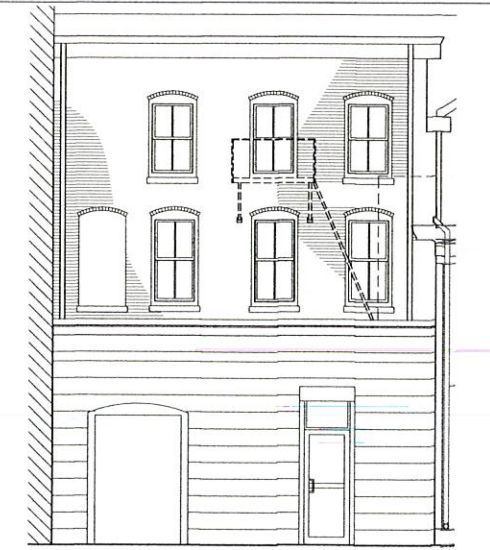
6
A2.1



SECOND FL. WINDOW HOOD
SCALE: 3/4" = 1'-0"

5
A2.1

NOTE: EXISTING ROLL-DOWN METAL GARAGE DOOR TO BE REPLACED WITH A STEEL/GLASS FRAME FOLDING OVER-HEAD DOOR.



NORTH ELEV. - EXISTING
SCALE: 1/8" = 1'-0"

4
A2.1



SOUTH ELEV. - EXISTING
SCALE: 1/8" = 1'-0"

2
A2.1

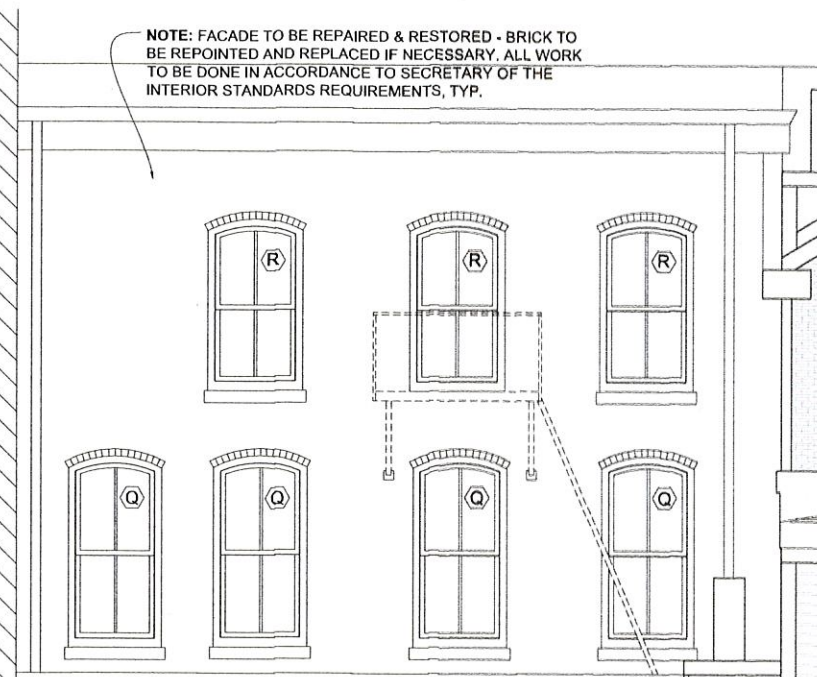
GENERAL ELEVATION NOTES - 2.1:

1. EXTERIOR MASONRY WALLS: ALL EXTERIOR MASONRY WALLS TO BE REPAIRED, AS REQUIRED, IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION. CONTRACTOR TO ASSESS ANY AND ALL DAMAGE, AND PLAN FOR PROPER AND COMPLETE REPAIR (RE-POINTING, REPAIR, REPLACEMENT).
2. STOREFRONTS: EXISTING STOREFRONT AREAS TO BE REPLACED WITH NEW STOREFRONTS, CONSISTING OF ALUMINUM CLAD OPENINGS - MATCHING WINDOW PROFILES - AND WOOD FRAMES WRAPPED IN ALUMINUM CLAD PROFILES. SEE STOREFRONT DRAWINGS.
3. EXISTING WOOD ORNAMENTAL CORNICE: CONTRACTOR TO REPAIR ANY DAMAGED CORNICE PIECES AND REPLACE ALL MISSING ELEMENTS. MATCH EXISTING STYLE. USE BORAL, PVC, OR WOOD, PTD. SUBMIT SAMPLE TO ARCHITECT FOR APPROVAL.

NOTE: FACADE TO BE REPAIRED & RESTORED - BRICK TO BE REPOINTED AND REPLACED IF NECESSARY. ALL WORK TO BE DONE IN ACCORDANCE TO SECRETARY OF THE INTERIOR STANDARDS REQUIREMENTS, TYP.

NOTE: NEW MOULDED BOREL OR WOOD BRACKETS TO MATCH EXISTING PROFILE AND SPACING AT 141 UNION STREET, PAINTED, TYP.

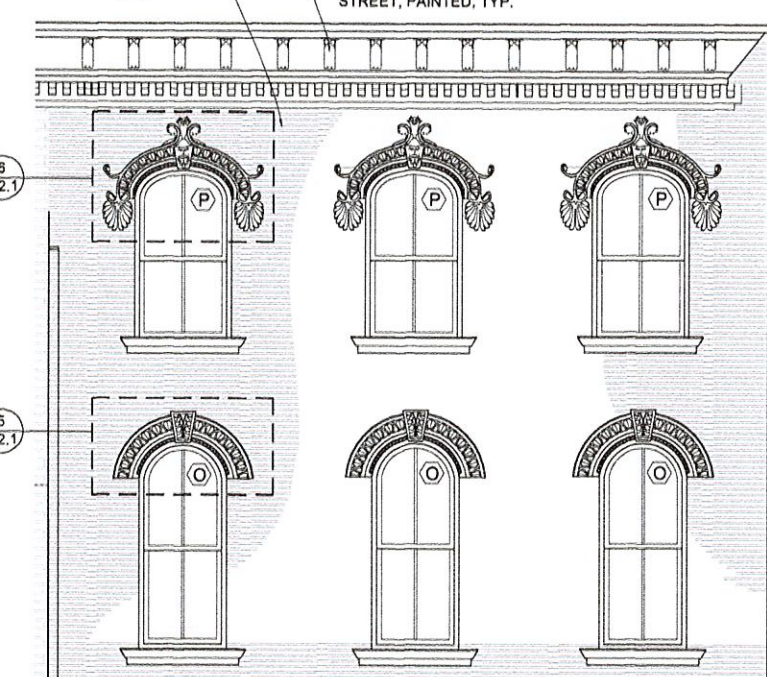
NOTE: FACADE TO BE REPAIRED & RESTORED - BRICK TO BE REPOINTED AND REPLACED IF NECESSARY. ALL WORK TO BE DONE IN ACCORDANCE TO SECRETARY OF THE INTERIOR STANDARDS REQUIREMENTS, TYP.



NOTE: STUCCO FACADE TO BE REPAIRED & REPAINTED IN A DESIGN, ARCHITECT TO APPROVE LAYOUT PRIOR TO FINAL PAINTING

NORTH ELEV. - PROPOSED
SCALE: 1/4" = 1'-0"

3
A2.1



SOUTH ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

1
A2.1

NOTE: EXISTING EGRESS DOOR TO BE REPLACED WITH STOREFRONT DOOR, TRANSOM AND ABBREVIATED CANOPY.

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CREATIVE
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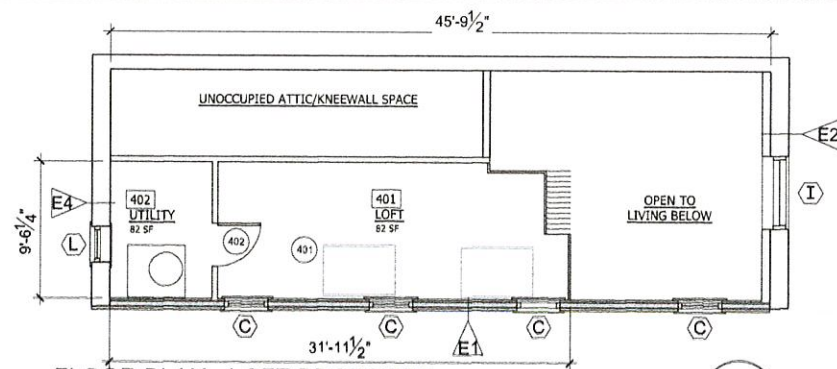
kathryn duff, RA, founder & director, kathryn@studio2sustain.com
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141 UNION STREET

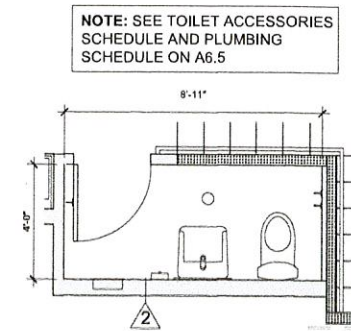
BID DOCUMENTS

FLOOR PLANS
BSMT, 1ST, 2ND, ATTIC

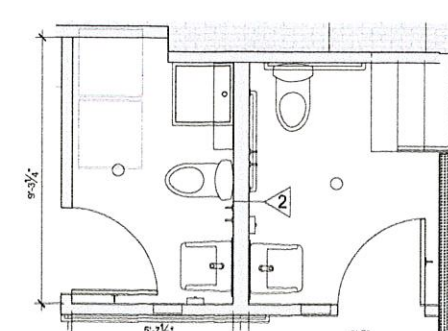
II A 1.1



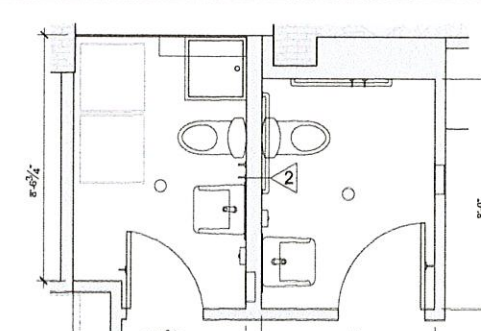
FLOOR PLAN - LOFT PROPOSED
SCALE: 1/8" = 1'-0"



RM. 208 TLT
SCALE: 1/4" = 1'-0"

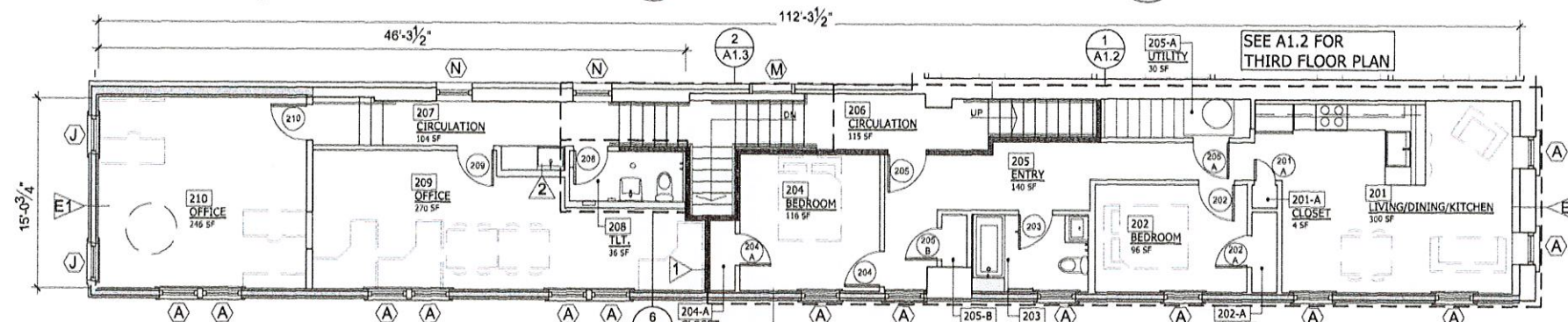


RM. 111 TOILET & 112 ADA TOILET
SCALE: 1/4" = 1'-0"

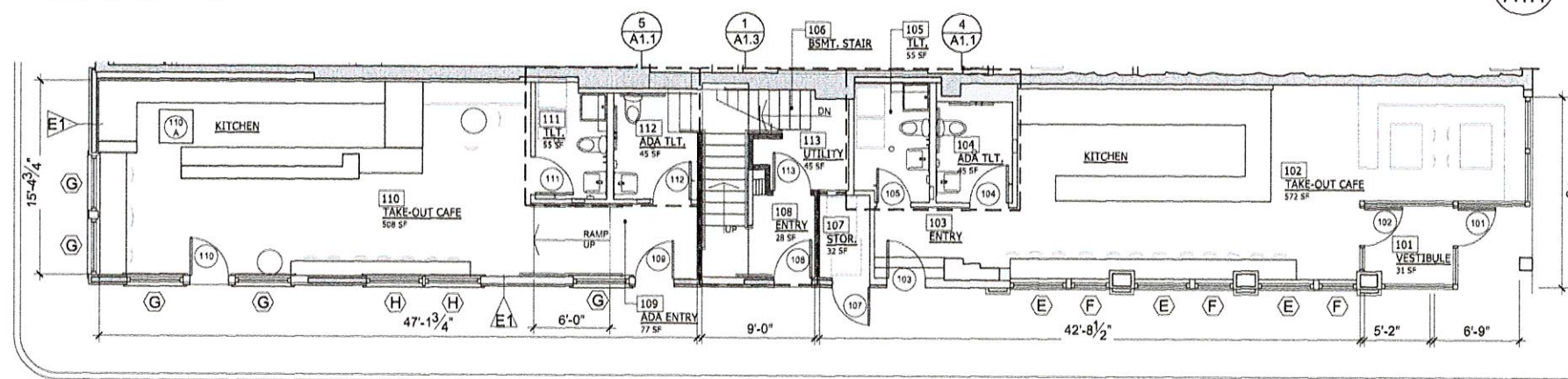


RM. 106 TOILET & 104 ADA TOILET
SCALE: 1/4" = 1'-0"

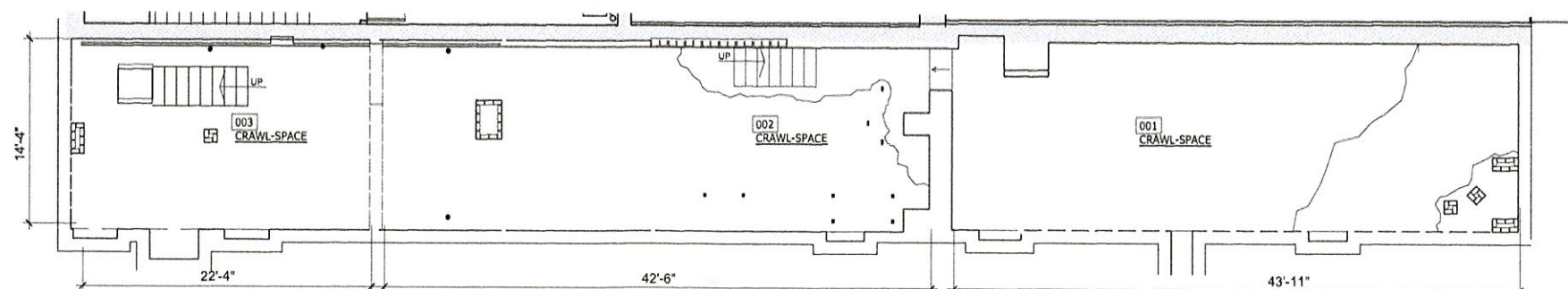
PLAN KEY	
EXISTING WALLS	[Symbol]
PROPOSED WALLS - FULL HT.	[Symbol]
PROPOSED WALLS - PART. HT.	[Symbol]
PROP WALLS - 1 HOUR RATED	[Symbol]
PROP WALLS - 1/2 HOUR RATED	[Symbol]
WINDOW TYPE	(A)
DOOR NUMBER	(101)
PLUMBING FIXTURE TYPE	(P-0)
PARTITION TYPE	E1 EXTERIOR, I1 INTERIOR



SECOND FLOOR PLAN - PROPOSED
SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN - PROPOSED
SCALE: 1/8" = 1'-0"



BASEMENT FLOOR PLAN - PROPOSED
SCALE: 1/8" = 1'-0"

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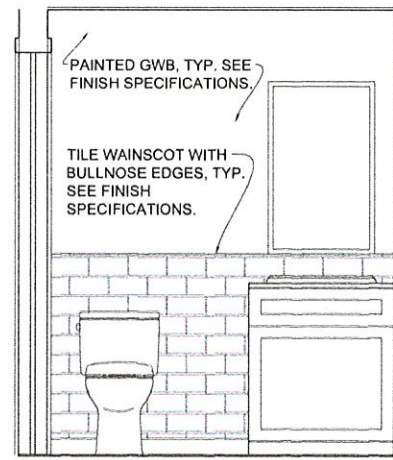


141 UNION STREET

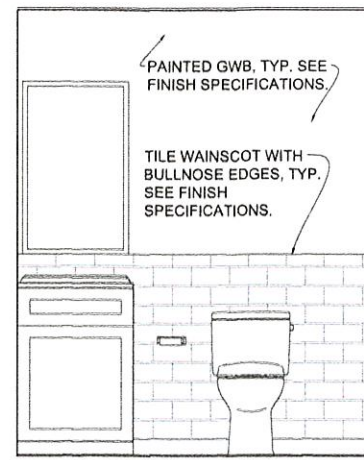
BID DOCUMENTS

ENL. PLANS & BATHS
RESIDENTIAL UNITS

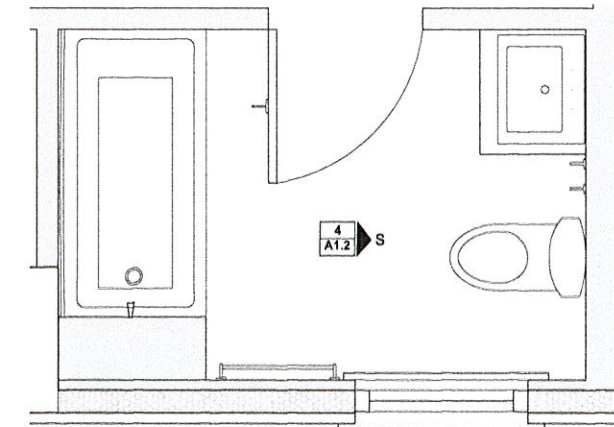
II A 1.2



W. ELEV - 141 UNION ST - 3RD FL. APT. BATHROOM
SCALE: 1/2" = 1'-0" **6**
A 1.2

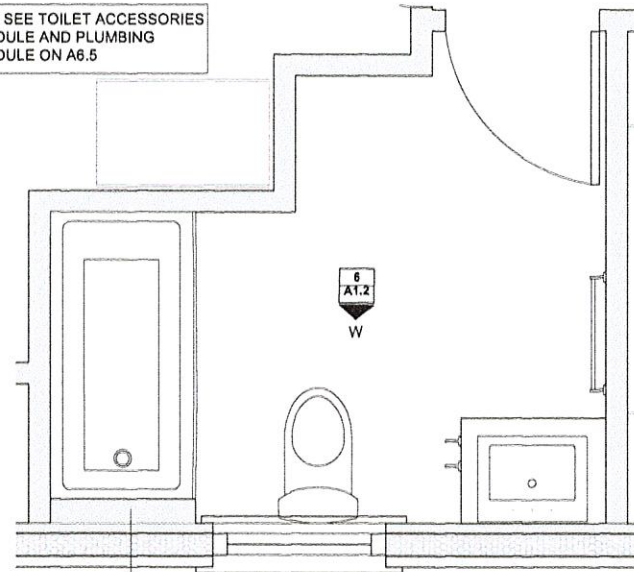


S. ELEV - 141 UNION ST - 2ND FL. APT. BATHROOM
SCALE: 1/2" = 1'-0" **4**
A 1.2

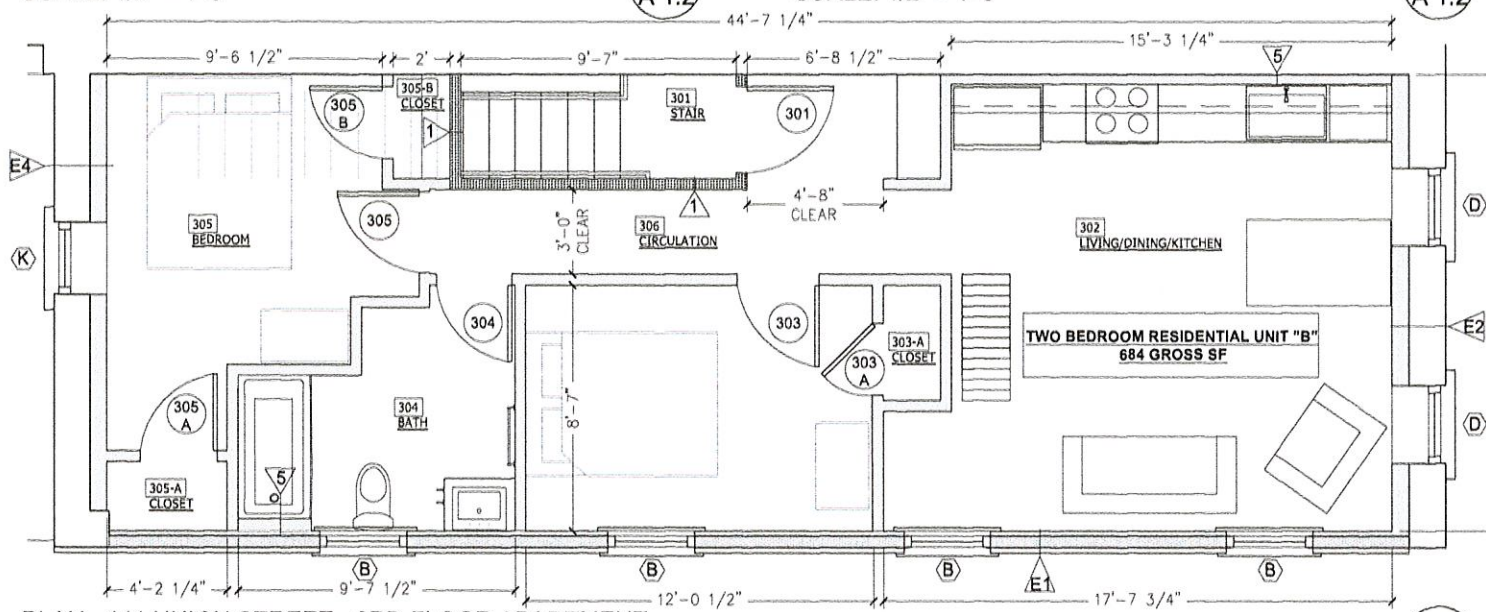


PLAN - RM. 203 - 2ND FL. APT. BATHROOM
SCALE: 1/2" = 1'-0" **3**
A 1.2

NOTE: SEE TOILET ACCESSORIES
SCHEDULE AND PLUMBING
SCHEDULE ON A6.5

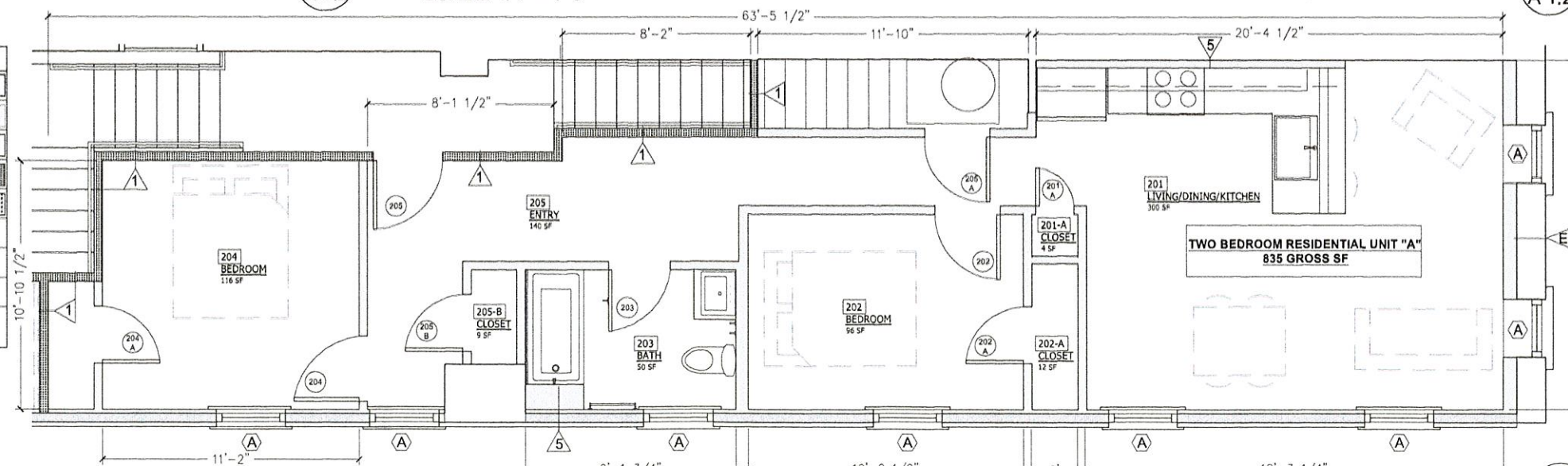


PLAN - RM. 304 - 3RD FL. BATH
SCALE: 1/2" = 1'-0" **5**
A 1.2



PLAN - 141 UNION STREET - 3RD FLOOR APARTMENT
SCALE: 1/4" = 1'-0" **2**
A 1.2

PLAN KEY	
EXISTING WALLS	[Symbol]
PROPOSED WALLS - FULL HT.	[Symbol]
PROPOSED WALLS - PART. HT.	[Symbol]
PROP WALLS - 1 HOUR RATED	[Symbol]
PROP WALLS - 1/2 HOUR RATED	[Symbol]
WINDOW TYPE	(A)
DOOR NUMBER	(101)
PLUMBING FIXTURE TYPE	(P-0)
PARTITION TYPE	E1 (EXTERIOR), 1 (INTERIOR)



PLAN - 141 UNION STREET - 2ND FLOOR APARTMENT
SCALE: 1/4" = 1'-0" **1**
A 1.2

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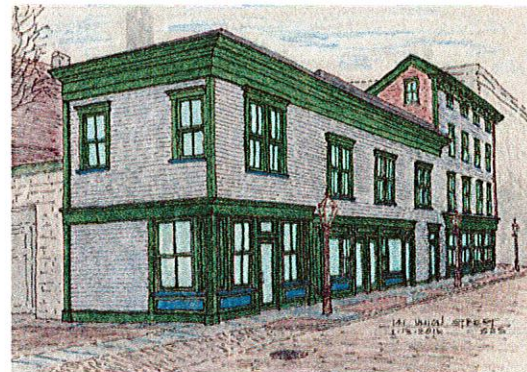
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EXTERIOR
ELEVATIONS

II A 2.1

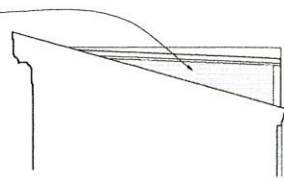
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4. WOOD CLAPBOARD SIDING: EXISTING SIDING TO BE REMOVED. CONTRACTOR TO PATCH AND REPAIR EXISTING WOOD PLANK SHEATHING, INSTALL NEW W.R.B., NEW RIGID INSULATION, NEW P.T. FURRING AND NEW CLAPBOARDS (BORAL OR WOOD), PTD.
5. FLAT & LOW-SLOPE ROOFS: EXISTING FLAT AND LOW-SLOPE ROOFS TO BE REPLACED. CONTRACTOR TO PATCH AND REPAIR EXISTING ROOF PLANK SHEATHING, INSTALL NEW ROOF UNDERLAYMENT, RIGID INSULATION - RE-USE ROXUL INSULATION BOARDS ON-SITE - AND NEW 60 MIL TPO ROOFING WITH COPPER FLASHING. EAVE, FASCIA AND RAKE TRIM TO BE REPLACED WITH BORAL, AS INDICATED IN BUILDING SECTIONS. PTD.



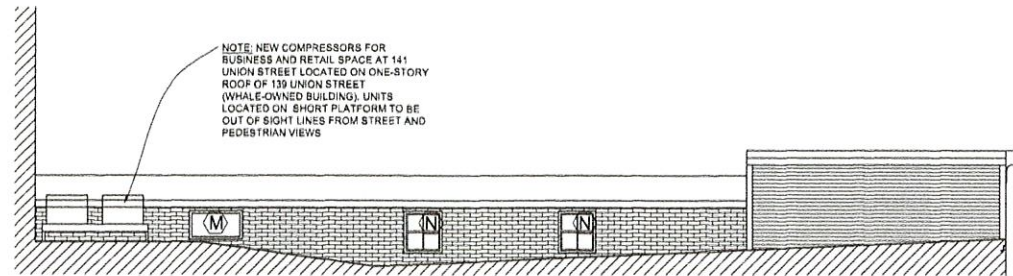
PROPOSED SKETCH

NOTE: REMOVE EXISTING CLAPBOARDS AND REPLACE WITH NEW FIBER CEMENT CLAPBOARDS AND NEW TRIM BOARDS, PAINTED.



REAR SOUTH ELEVATION - PROPOSED
SCALE: 1/8" = 1'-0"

4
A2.1



EAST ELEVATION - PROPOSED
SCALE: 1/8" = 1'-0"

5
A2.1



NORTH ELEV. - PROPOSED
SCALE: 1/8" = 1'-0"

2
A2.1



EXISTING WEST ELEVATION, NTS

TYPICAL WINDOW NOTE: NEW WINDOWS TO ALIGN VERTICALLY AT CENTERLINE OF EXISTING OPENINGS.



WEST ELEVATION - PROPOSED
SCALE: 1/8" = 1'-0"

3
A2.1

SOUTH ELEV. - PROPOSED
SCALE: 1/8" = 1'-0"

1
A2.1

NOTE: REPAIR EXISTING CRACK IN MASONRY, REPAIR WITH APPROVED MORTAR AND GROUTS. SEE SPECIFICATIONS. MUST MEET SECRETARY OF THE INTERIOR STANDARDS FOR REHABILITATION OF EXISTING MASONRY.