

PROPOSED FAMILY DOLLAR RETAIL STORE

ORCHARD STREET NEW BEDFORD, MASSACHUSETTS

CITY CLERKS OFFICE
NEW BEDFORD, MA

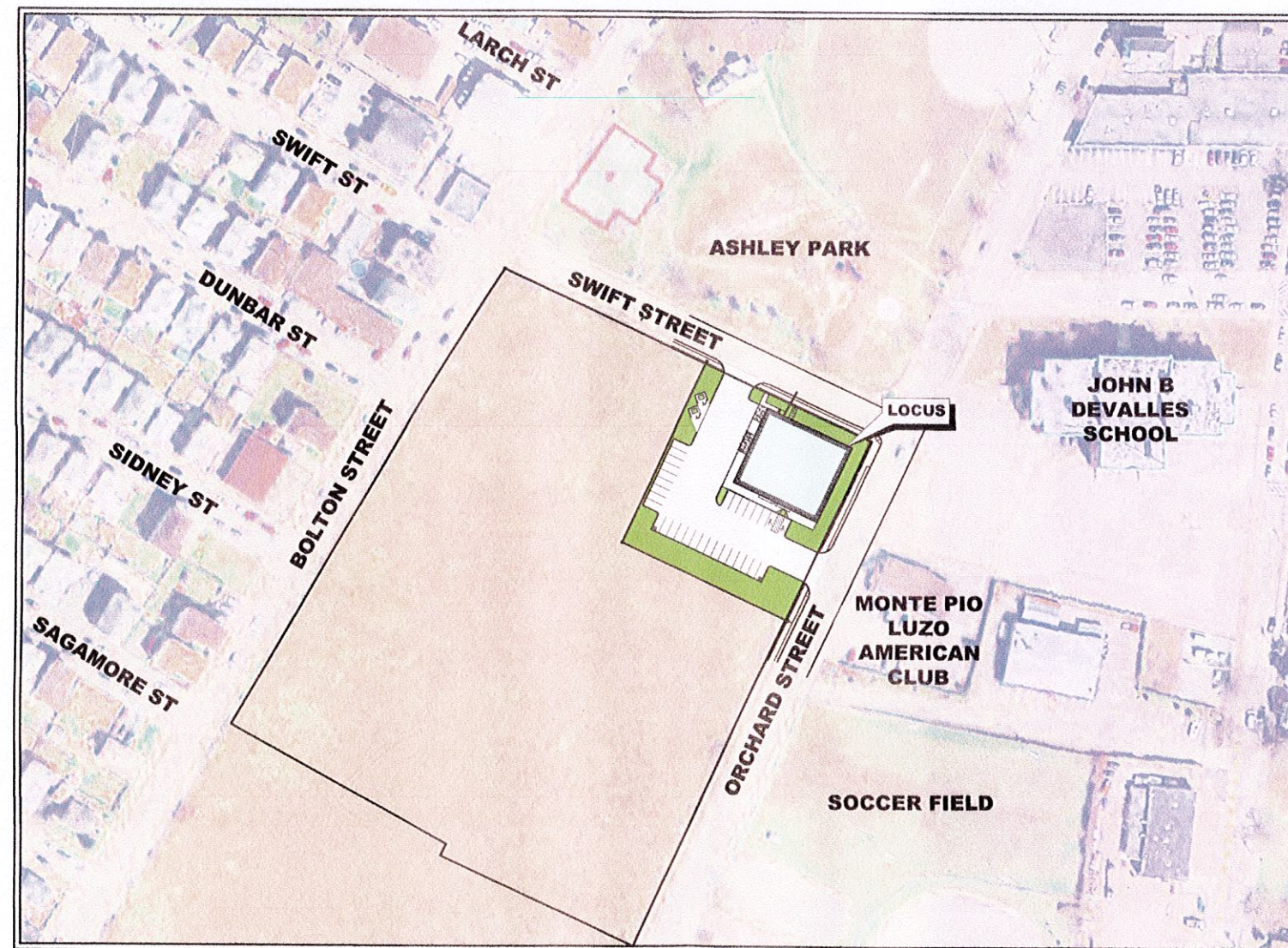
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CITY CLERK

ZONING SUMMARY ZONING: MIXED USE BUSINESS

CRITERIA	EXISTING	REQUIRED	PROVIDED
LOT AREA (SF)	43,500		43,500
LOT WIDTH (FT)	217.5	0	217.5
# OF DWELLING UNITS	0	0	0
TOTAL GROSS FLOOR AREA (SF)	0	N/A	9180
RESIDENTIAL GROSS FLOOR AREA (SF)	0	N/A	0
NON-RES GROSS FLOOR AREA (SF)	0	N/A	9180
BUILDING HEIGHT (FT)	0	100	25
FRONT SETBACK (FT)	0	0	15
SIDE SETBACK (FT)	0	10	112
SIDE SETBACK (FT)	0	12	83
REAR SETBACK (FT)	0	10	N/A
LOT COVERAGE BY BLDG (% OF LOT)	0	100	21.1
PERMEABLE OPEN SPACE (% OF LOT)	100	0	26
GREEN SPACE (% OF LOT)	100	0	26
OFF-STREET PARKING SPACES	0	46	32
VAN ACCESSIBLE HC SPACES	0	1	2
HANDICAP SPACES	0	2	2
LONG TERM BICYCLE PARKING SPACES	0	0	0
SHORT TERM BICYCLE PARKING SPACES	0	0	0
LOADING BAYS	0	1	1

ISSUED FOR SPECIAL PERMIT



SCHEDULE OF DRAWINGS

SHEET NUMBER	PLAN TITLE
	TITLE SHEET
1.	EXISTING CONDITIONS PLAN
2.	DEMOLITION PLAN
3.	SITE LAYOUT
4.	GRADING & DRAINAGE PLAN
5.	UTILITIES PLAN
6.	LANDSCAPE PLAN
7.	EROSION CONTROL PLAN
8.	DETAILS 1
9.	DETAILS 2
PH-1	LIGHTING PLAN
PH-2	LIGHTING FIXTURE PLAN
A1.0	FLOOR PLAN
A2.0	FRONT ELEVATION
A2.1	SIDE AND REAR ELEVATIONS
R1.0	COLOR ELEVATIONS

DEVELOPMENT TEAM

FUNCTION	TEAM MEMBER
DEVELOPER	HUNT REAL ESTATE SERVICES INC. 5100W KENNEDY BLVD, SUITE 100 TAMPA, FL 33609
ARCHITECT	FWH ARCHITECTS 3336 GRAND BLVD, SUITE 201 HOLIDAY, FL 34690
SITE DESIGN ENGINEER	PRIME ENGINEERING, INC. P.O. BOX 1088 LAKEVILLE, MA 02347
CURRENT OWNER	CLARK COVE DEVELOPMENT CO, LLC 651 ORCHARD ST, SUITE 200 NEW BEDFORD, MA 02744

PREPARED BY:



CIVIL ENGINEERING—LAND SURVEYING—ENVIRONMENTAL ASSESSMENT
P.O. BOX 1088, 350 BEDFORD STREET, LAKEVILLE, MA 02347
TEL: 508.947.0050 FAX: 508.947.2004


Case 38-16, 39-16 & 40-16
11/18/2016

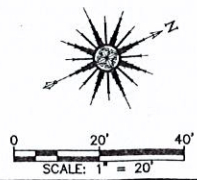
NEIGHBORHOOD LOCUS PLAN
SCALE: 1"=80'
NOVEMBER 4, 2016

SITE LOCUS IS REFERENCED AS NEW BEDFORD ASSESSOR'S
MAP 23 LOT 292. SEE BOOK 7223/ PAGE 263 RECORDED
IN THE BRISTOL COUNTY REGISTRY OF DEEDS, IN NEW BEDFORD.

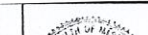

THE SITE IS LOCATED IN THE MIXED USE BUSINESS ZONING DISTRICT

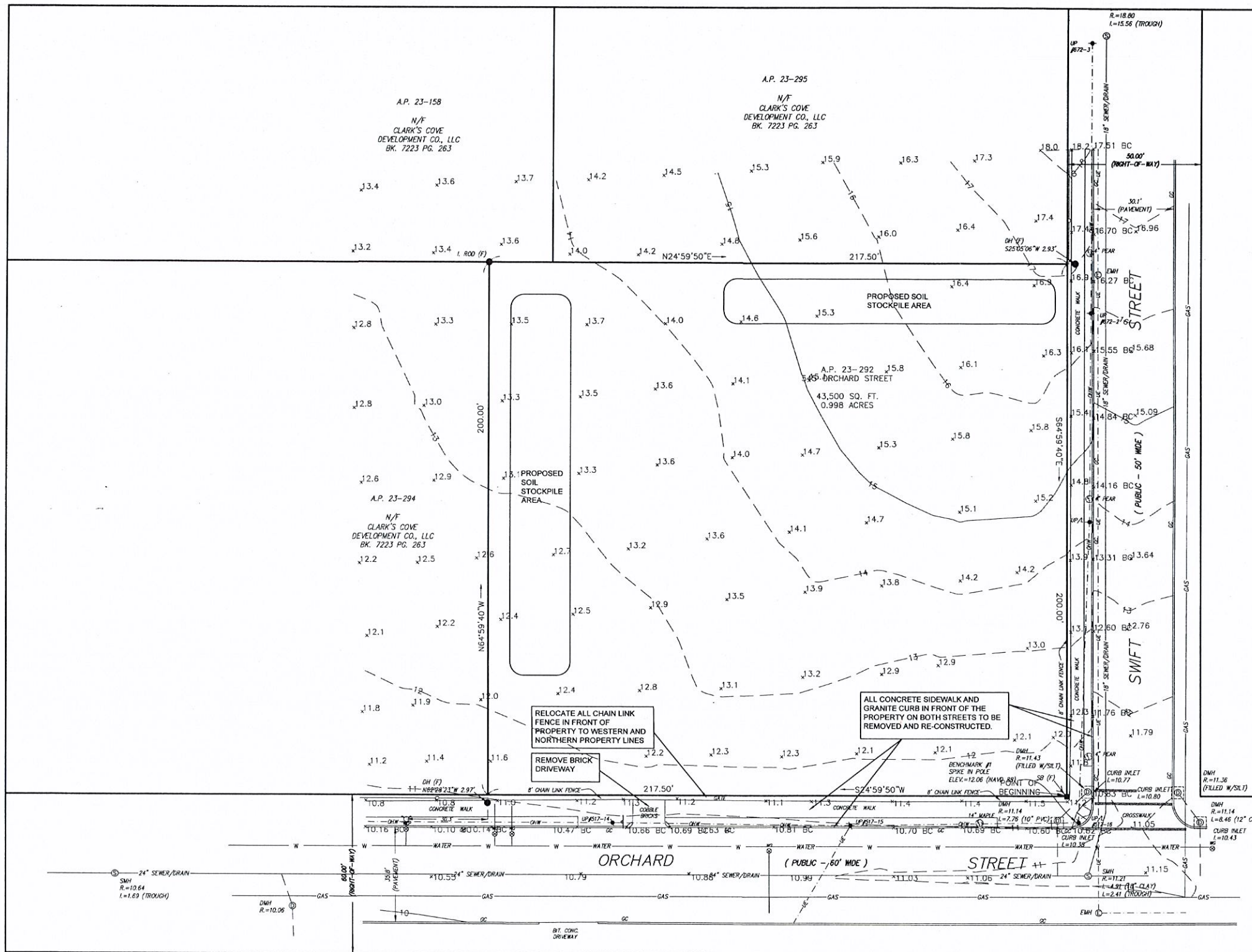
3.
CITY CLERK

- | | | | |
|--|---|---------------------|--------------------------|
|  ENGINEERING
INC. | P.O. BOX 1088
350 BEDFORD ST.
LAKEVILLE, MA 02347
TEL: 508.947.0050
FAX: 508.947.2004 | CHECKED BY:
RJR | SHEET NO.
C1.0 |
| | | APPROVED BY:
RJR | PROJECT NO.
17210303 |



APPROVED _____ ENDORSED _____

				DRAWING TITLE		SCALE: 1" = 20'			
				PROJECT		DATE: 11/4/2016			
				CLIENT		DRAWN BY: EKW			
						DESIGNED BY: RNF			
				* CIVIL ENGINEERING * LAND SURVEYING * ENVIRONMENTAL ASSESSMENT		 PRIME ENGINEERING <small>INC.</small>		SHEET NO. C1.0	
				P.O. BOX 1088 350 BEDFORD ST. LAVERIE, MA 02347 TEL: 508.947.0050 FAX: 508.947.2004		CHECKED BY: RJR APPROVED BY: RJR		PROJECT NO. 17210303	
REV.	DATE	DESCRIPTION	BY	APP.					



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NEW BEDFORD, MA
2016 NOV 18 PM 5:05
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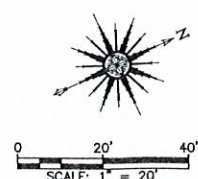
NOTES:

1. THE PROPERTY LINE AND MAPPING SHOWN ON THIS PLAN WAS SUPPLIED BY THE APPLICANT. THE SURVEY WAS COMPLETED BY ODORE SURVEY AND MAPPING ON JULY 21, 2014 AND SHOWN ON A PLAN TITLED ALTAIACSM AND THE SURVEY BY CIVIL DESIGN GROUP, LLC DATED JULY 29, 2014.
2. THE ELEVATIONS SHOWN ON THIS PLAN ARE BASED ON NAVD 1988.
3. THIS PROPERTY IS A LISTED MA CONTINGENCY PLAN MCP SITE # 4-688.
4. REFER TO SHEET C7.0 FOR METHODS TO CONTROL EROSION AND SEDIMENTATION.
5. DUST SHALL BE CONTROLLED ON SITE DURING ALL CONSTRUCTION ACTIVITIES. REFER TO THE SOIL MANAGEMENT PLAN AND SHEET C7.0 FOR DUST CONTROL MEASURES.

EXCAVATION AND BACKFILL NOTES:

1. THE SITE HAS ATYPICAL SUBSURFACE CONDITIONS DUE TO ITS HISTORY AS AN INDUSTRIAL USE. THE CONTRACTOR MUST FOLLOW THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT ENTITLED "GEOTECHNICAL ENGINEERING REPORT PROPOSED FAMILY DOLLAR STORE ORCHARD AND SWIFT STREETS NEW BEDFORD, MASSACHUSETTS" COMPILED BY RANSOM CONSULTING, INC. AND DATED JANUARY 28, 2016.

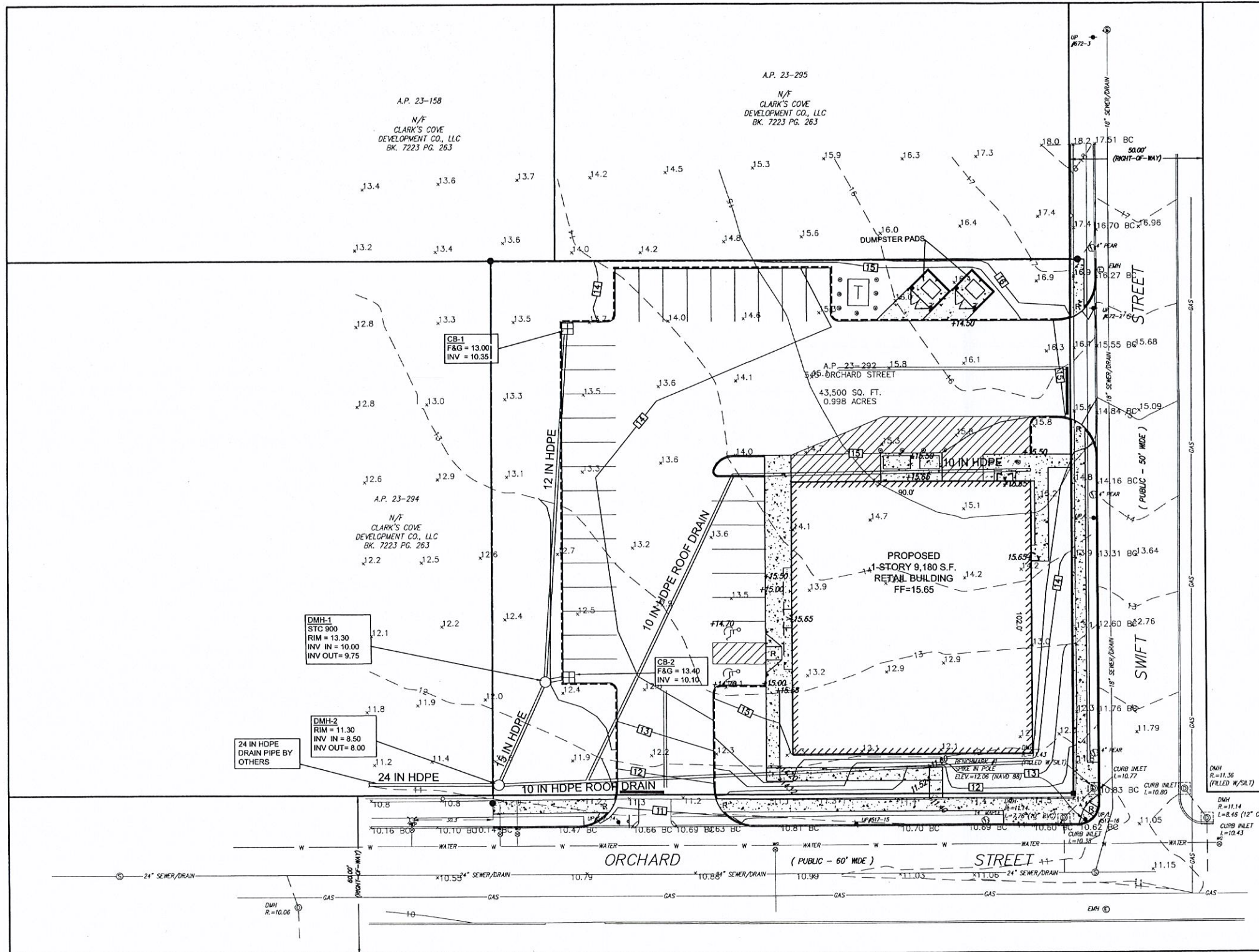
Case 38-16, 39-16 & 40-16
11/18/2016



DRAWING TITLE DEMOLITION PLAN				SCALE: 1" = 20'	
PROJECT FAMILY DOLLAR NEW BEDFORD, MASSACHUSETTS				DATE: 11/4/2016	
CLIENT HUNT REAL ESTATE SERVICES, INC. TAMPA, FLORIDA				DRAWN BY: EKW	
				DESIGNED BY: RME	
				CHECKED BY: RJR	
				APPROVED BY: RJR	
				SHEET NO. C2.0	
				PROJECT NO. 17210303	

P.O. BOX 1088
350 BEDFORD ST.
LAKELAND, MA 02347
TEL: 508.947.0050
FAX: 508.947.2004

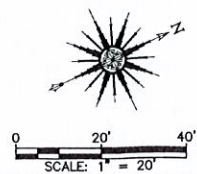
PRIME ENGINEERING



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NEW BEDFORD, MA
2016 NOV 18 P 2:55
CITY CLERK

- NOTES:
1. THE SUBJECT PROPERTY IS SHOWN AS LOT 1 ON THE TOWN OF DARTMOUTH ASSESSORS' MAP NUMBER 68.
 2. EXISTING TOPOGRAPHY AND SITE DETAIL DONE BY AERIAL PHOTOGRAMMETRY BY EASTERN TOPOGRAPHICS, WOLFEBORO, NH, IN OCTOBER 2002.
 3. SUBSEQUENT IMPROVEMENTS TO THE PROPERTY WERE LOCATED BY INSTRUMENT SURVEY BY PRIME ENGINEERING, INC.
 4. PROPERTY LINE INFORMATION IS THE RESULT OF A PROPERTY LINE SURVEY BY PRIME ENGINEERING, INC.

Case 38-16, 39-16 & 40-16
11/18/2016



DRAWING TITLE GRADING AND DRAINAGE PLAN				SCALE: 1" = 20'	
PROJECT FAMILY DOLLAR NEW BEDFORD, MASSACHUSETTS				DATE: 11/4/2016	
CLIENT HUNT REAL ESTATE SERVICES, INC. TAMPA, FLORIDA				DRAWN BY: EKW	
DESIGNED BY: RMF				CHECKED BY: RJR	
APPROVED BY: RJR				PROJECT NO. 17210303	
P.O. BOX 1088 350 BEDFORD ST. LAKEVILLE, MA 02347 TEL: 508.947.0050 FAX: 508.947.2004				SHEET NO. C4.0	

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NEW BEDFORD, MA

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- NOTES:
1. THE CONTRACTOR SHALL OBTAIN A STREET DISTURBANCE AND OBSTRUCTION PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE RIGHT-OF-WAY.
 2. ALL WATER AND SEWER MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
 3. ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF NEW BEDFORD PRIOR TO BEING BACKFILLED.
 4. THE CITY SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE REQUIRED INSPECTIONS.

PROP. TRANSFORMER

A.P. 23-292
545 ORCHARD STREET
43,500 SQ. FT.
0.998 ACRES

PROPOSED
1-STORY 9,180 S.F.
RETAIL BUILDING
FF=15.65

6-INCH SEWER
INV. = 10.50
6" FIRE
2" DOMESTIC

RE-LOCATE EXISTING
UTILITY POLE

3-INCH GAS
SERVICE

6-INCH SEWER
INV. = 9.67

GROUND CLEAN-OUT
2 FT FROM
PROPERTY LINE

ORCHARD

STREET

SWIFT

RE-LOCATE EXISTING
UTILITY POLE



SCALE: 1" = 20'

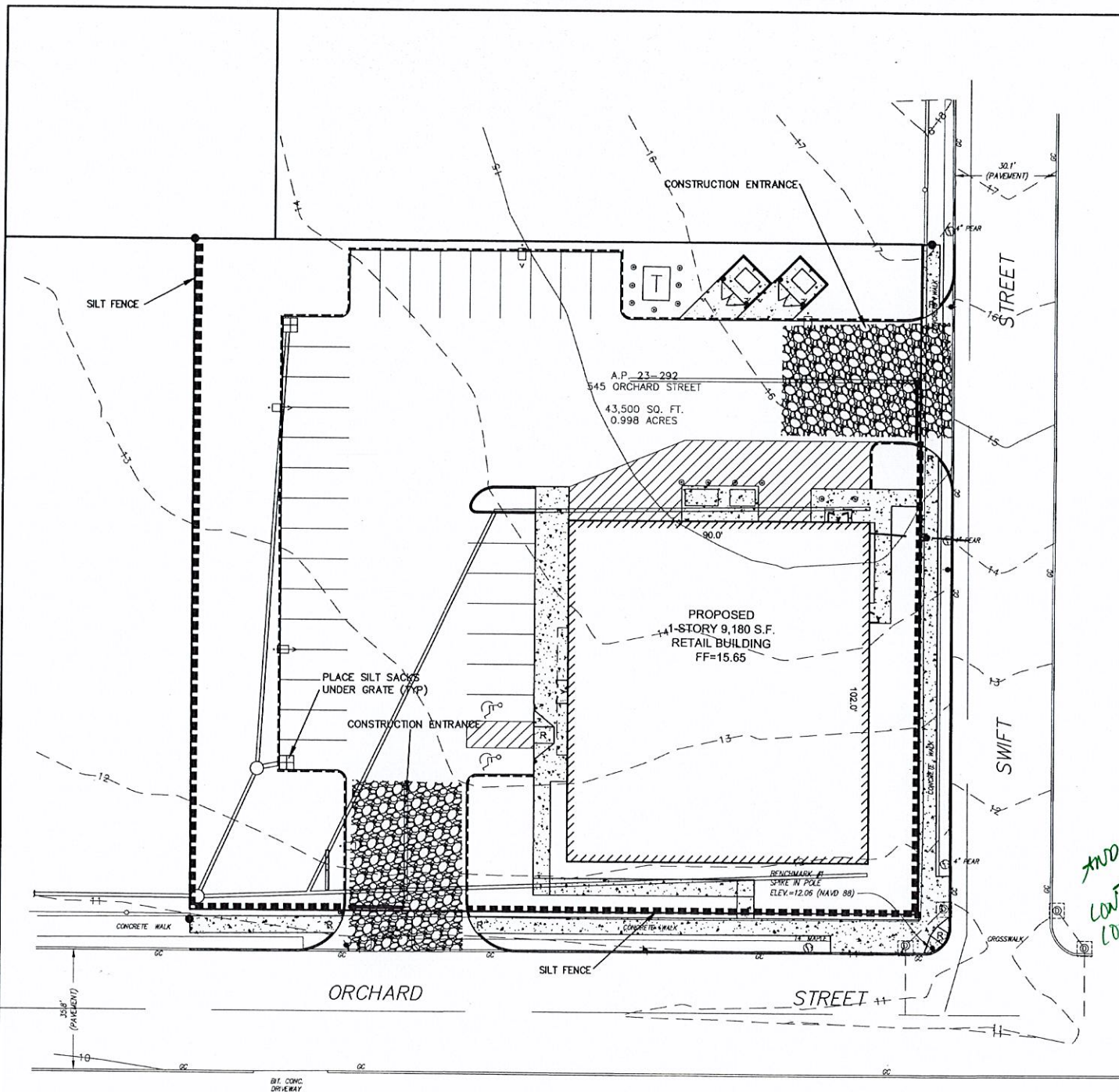
Case 38-16, 39-16 & 40-16
11/18/2016

DRAWING TITLE UTILITIES PLAN				SCALE: 1" = 20'	
PROJECT FAMILY DOLLAR NEW BEDFORD, MASSACHUSETTS				DATE: 11/4/2016	
CLIENT HUNT REAL ESTATE SERVICES, INC. TAMPA, FLORIDA				DRAWN BY: EKW	
				DESIGNED BY: RME	
				CHECKED BY: RJR	
				APPROVED BY: RJR	
				PROJECT NO. 17210303	
REV. DATE DESCRIPTION BY APP. _____ _____ _____				SHEET NO. C5.0 PROJECT NO. 17210303	

PRIME ENGINEERING
350 BEDFORD ST.
LAKEVILLE, MA 02347
TEL: 508.947.0050
FAX: 508.947.2004

P.O. BOX 1068
350 BEDFORD ST.
LAKEVILLE, MA 02347
TEL: 508.947.0050
FAX: 508.947.2004





EROSION & SEDIMENT CONTROL NOTES:

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTROL EROSION AND PREVENT SEDIMENTATION WITHIN 25' OF RESOURCE AREAS OR OFFSITE PROPERTIES. IT IS INTENDED THAT THE IMPLEMENTATION OF THE FOLLOWING MEASURES WILL MEET THIS GOAL. WHEN IT IS CLEAR TO THE DESIGNER THAT EROSION AND SEDIMENTATION HAVE BEEN ADEQUATELY CONTROLLED WITHOUT THE IMPLEMENTATION OF EVERY MEASURE, ADDITIONAL MEASURES NEED NOT BE IMPLEMENTED. ALTERNATIVELY, IF ALL OF THE FOLLOWING MEASURES HAVE BEEN IMPLEMENTED AND THE CONTROL OF EROSION AND SEDIMENTATION IS INADEQUATE, THE CONTRACTOR MUST EMPLOY SUFFICIENT SUPPLEMENTAL MEASURES BEYOND THE SCOPE OF THIS PLAN.

1. EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO CONSTRUCTION. STABILIZATION OF ALL REGRADED AND SOIL STOCKPILE AREAS WILL BE INITIATED AND MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL MUNICIPAL REGULATIONS. ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED AND UPGRADED AS REQUIRED TO ACHIEVE PROPER SEDIMENT CONTROL DURING CONSTRUCTION.
3. ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF DEEMED NECESSARY BY THE OWNER OR AGENTS OF THE OWNER.

4. CATCH BASINS WILL BE PROTECTED WITH HAYBALE FILTERS THROUGHOUT THE CONSTRUCTION PERIOD UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED. SILT SOCKS SHOULD BE INSTALLED UNDER GRATE OPENING UNTIL PAVEMENT IS IN PLACE AND GROUND SURFACE IS STABILIZED.

5. SEEDING MIXTURE FOR FINISHED GRASSED AREAS WILL BE AS FOLLOWS:

KENTUCKY BLUE GRASS	45%
CREeping RED FESCUE	45%
PERENNIAL RYEGRASS	10%

SEED TO BE APPLIED AT A RATE OF 4 LBS./1000 SQ. FT. PLANTING SEASONS SHALL BE APRIL 1 TO JUNE 1 AND AUGUST 1 TO OCTOBER 15. AFTER OCTOBER 15, AREAS WILL BE STABILIZED WITH HAYBALE CHECK, FILTER FABRIC, OR WOODCHIP MULCH, AS REQUIRED, TO CONTROL EROSION.

6. AREAS THAT ARE NOT THE LOCATION OF ACTIVE CONSTRUCTION WHICH ARE TO BE LEFT BARE FOR OVER ONE MONTH BEFORE FINISHED GRADING AND SEEDING IS ACHIEVED, SHALL BE MULCHED OR RECEIVE TEMPORARY STABILIZATION SUCH AS JUTE NETTING OR SHALL RECEIVE A TEMPORARY SEEDING OF PERENNIAL RYEGRASS APPLIED TO A RATE OF 2 LBS./1,000 SQ. FT. LIMESTONE (EQUIVALENT TO BE 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) SHALL BE APPLIED AS SEEDBED PREPARATION AT A RATE OF 90 LBS./1,000 SQ. FT. PLANTING SEASONS SHALL BE APRIL 1 TO JUNE 1 AND AUGUST 1 TO OCTOBER 1. AREAS TO BE LEFT BARE BEFORE FINISH GRADING AND SEEDING OUTSIDE OF PLANTING SEASONS SHALL RECEIVE AN AIR-DRIED WOOD CHIP MULCH, FREE OF COARSE MATTER.

7. AT ALL PROPOSED FILL AREAS WHICH ARE NOT CURRENTLY SHOWN ON THESE PLANS, THE CONTRACTOR SHALL ESTABLISH AN EROSION CONTROL LINE (HAYBALE CHECK OR FILTER FABRIC) ABOUT TEN (10') FEET FROM TOE TO SLOPE OF PROPOSED FILL AREAS PRIOR TO BEGINNING FILL INSTALLATION. STABILIZATION OF SLOPES IN FILL AREAS (USING MULCH OR GRASS) SHALL BE INITIATED WITHIN THIRTY (30) DAYS OF COMMENCEMENT OF FILL INSTALLATION.

8. STABILIZATION OF SLOPES IN CUT AREAS (USING MULCH OR GRASS) AND THE INSTALLATION OF CONTROL LINE (HAYBALE CHECK OR FILTER FABRIC) AT THE TOE OF SLOPE SHALL BE INITIATED WITHIN THIRTY (30) DAYS OF COMPLETION.

9. SEDIMENT REMOVED FROM CONTROL STRUCTURES WILL BE DISPOSED IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THE PLAN. ALL HAYBALES OR SILT FENCE RETAINING SEDIMENT OVER 1/2 THEIR HEIGHT SHALL HAVE THE SEDIMENT REMOVED AND ALL DAMAGED EROSION CONTROLS SHALL BE REPAIRED OR REPLACED.

10. CONTRACTOR WILL BE ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, AND NOTIFYING THE PLANNING BOARD OF ANY TRANSFER OF THIS RESPONSIBILITY. THE OWNER SHALL BE RESPONSIBLE FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.

11. THE CONTRACTOR SHALL VERIFY IN THE FIELD THAT THE CONTROLS REQUIRED BY THIS PLAN ARE PROPERLY INSTALLED. SHALL MAKE INSPECTION OF SUCH FACILITIES NOT LESS FREQUENTLY THAN EVERY 14 DAYS OR AFTER A RAINFALL IN EXCESS OF 1/2 INCH, WHICHEVER OCCURS FIRST. THE INSPECTION REPORTS SHALL BE SUBMITTED TO THE PLANNING DEPARTMENT AND CONSERVATION COMMISSION OFFICE ON A MONTHLY BASIS.

12. STOCKPILES OF SOIL SHALL BE SURROUNDED BY A SEDIMENT BARRIER. SOIL STOCKPILES TO BE LEFT BARE FOR MORE THAN THIRTY (30) DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION OR MULCH. IF SOIL STOCKPILES ARE TO REMAIN FOR MORE THAN SIXTY (60) DAYS, FILTER FABRIC SHALL BE USED IN PLACE OF HAYBALES. SIDE SLOPES SHALL NOT EXCEED 2:1.

13. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE LIFE OF HIS CONTRACT. DUST CONTROL SHALL INCLUDE, BUT IS NOT LIMITED TO SPRINKLING OF WATER ON EXPOSED SOILS AND HAUL ROADS. CONTRACTOR SHALL CONTROL DUST TO PREVENT A HAZARD TO TRAFFIC.

14. WHERE DEWATERING IS NECESSARY, THERE SHALL NOT BE A DISCHARGE DIRECTLY INTO WETLANDS OR WATERCOURSES. PROPER METHODS AND DEVICES SHALL BE UTILIZED TO THE EXTENT PERMITTED BY LAW, SUCH AS PUMPING WATER INTO A TEMPORARY SEDIMENTATION BOWL, PROVIDING SURGE PROTECTION AT THE INLET AND THE OUTLET OF PUMPS, OR FLOATING THE INTAKE OF THE PUMP, OR OTHER METHODS TO MINIMIZE AND RETAIN THE SUSPENDED SOLIDS. IF A PUMPING OPERATION IS CAUSING TURBIDITY PROBLEMS, SAID OPERATION SHALL CEASE UNTIL SUCH TIME AS FEASIBLE MEANS OF CONTROLLING TURBIDITY ARE DETERMINED AND IMPLEMENTED. SAID DISCHARGE POINTS SHALL BE LOCATED OVER 100 FEET FROM THE DELINEATED WETLANDS AS INDICATED ON THIS PLAN.

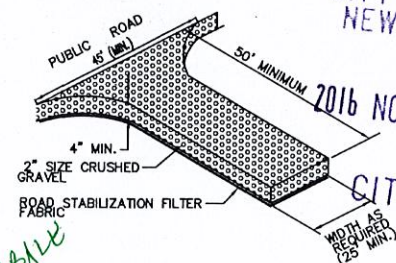
15. SILT SACKS OR OTHER EQUIVALENT ARE TO BE PLACED IN THE FIRST DOWNSTREAM CATCH BASINS FROM THE SITE.

16. ALL BMP EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO DEMOLITION OR ANY SITE WORK.

17. EROSION CONTROL BMPs SHALL CONFORM TO US EPA, NPDES, MA DEP AND MASSACHUSETTS EROSION AND SEDIMENTATION CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS.

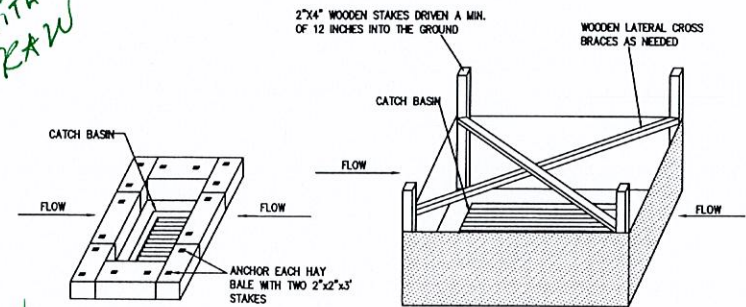
18. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS UNTIL THE SITE HAS BEEN FULLY STABILIZED. THE MAINTENANCE SHALL INCLUDE REPLACEMENT OF THE BMP IF NECESSARY.

CITY CLERKS OFFICE
NEW BEDFORD, MA
2016 NOV 18 P 2:55
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CONSTRUCTION ENTRANCE
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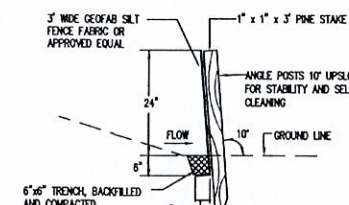
REPLACE WITH STRAW HAY + HAYBALE



STRAW BALE INSTALLATION BASIN AT CATCH BASIN

SILT FENCE INSTALLATION
AT CATCH BASINS

SEDIMENT AND EROSION CONTROL AT CATCH BASINS TO BE INSTALLED IF SPECIFIED BY FIELD ENGINEER NOT TO SCALE

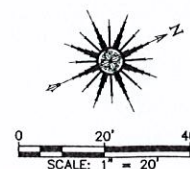


SILT FENCE DETAIL
NOT TO SCALE

APPROVED BY THE CITY OF NEW BEDFORD PLANNING BOARD

CITY OF NEW BEDFORD PLANNING BOARD

APPROVED _____ ENDORSED _____



DRAWING TITLE EROSION CONTROL PLAN				SCALE: 1" = 20'
PROJECT FAMILY DOLLAR NEW BEDFORD, MASSACHUSETTS				DATE: 11/4/2016
CLIENT HUNT REAL ESTATE SERVICES, INC. TAMPA, FLORIDA				DRAWN BY: EKW
DESIGNED BY: RMF				CHECKED BY: RJR
APPROVED BY: RJR				PROJECT NO. 17210303

PRIME ENGINEERING

P.O. BOX 1088
350 BEDFORD ST.
LAKEVILLE, MA 02347
TEL: 508.947.0050
FAX: 508.947.0004

SHEET NO. **C7.0**

Case 38-16, 39-16 & 40-16
11/18/2016

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NEW BEDFORD, MA

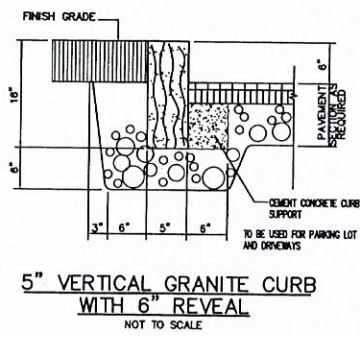
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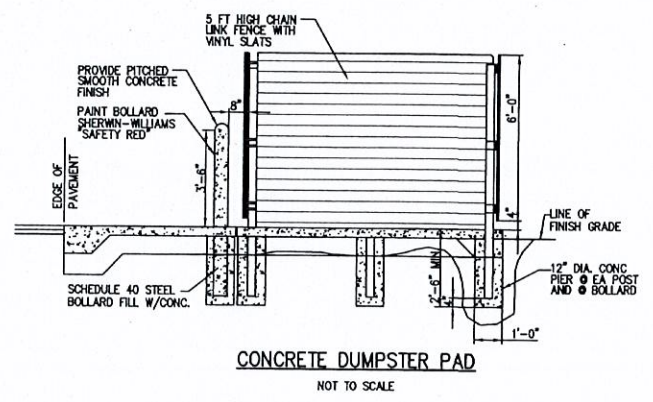


HANDICAP PARKING SPACE
PARKING STALL LAYOUT

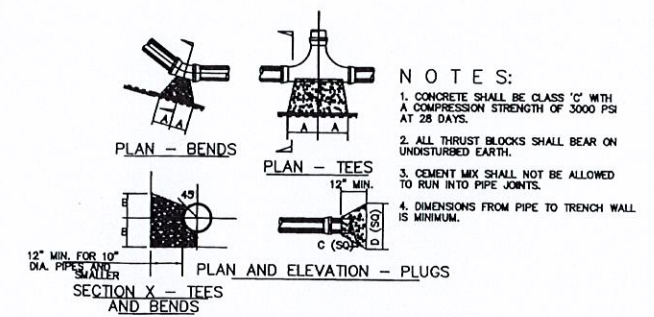
TYPICAL PAVEMENT MARKINGS
NOT TO SCALE



5" VERTICAL GRANITE CURB
WITH 6" REVEAL
NOT TO SCALE



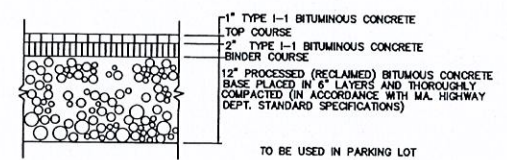
CONCRETE DUMPSTER PAD
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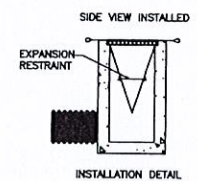
NOTES:
1. CONCRETE SHALL BE CLASS 'C' WITH A COMPRESSION STRENGTH OF 3000 PSI AT 28 DAYS.
2. ALL THRUST BLOCKS SHALL BEAR ON UNDISTURBED EARTH.
3. CEMENT MIX SHALL NOT BE ALLOWED TO RUN INTO PIPE JOINTS.
4. DIMENSIONS FROM PIPE TO TRENCH WALL IS MINIMUM.

TYPE	SIZE	1/4 BEND	1/2 BEND	3/4 BEND	TEES	PLUGS
2,000 PSF SOIL	8"	10"	12"	14"	12"	12"
	10"	12"	14"	16"	14"	14"
	12"	14"	16"	18"	16"	16"
	14"	16"	18"	20"	18"	18"
	16"	18"	20"	22"	20"	20"
	18"	20"	22"	24"	22"	22"
	20"	22"	24"	26"	24"	24"
	22"	24"	26"	28"	26"	26"
	24"	26"	28"	30"	28"	28"
	26"	28"	30"	32"	30"	30"
	28"	30"	32"	34"	32"	32"
	30"	32"	34"	36"	34"	34"

THRUST BLOCK DETAIL
NOT TO SCALE



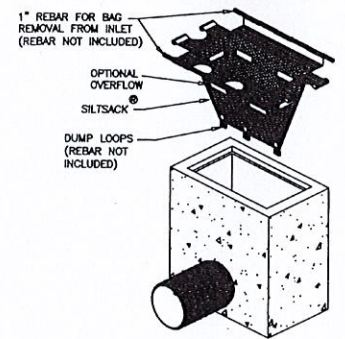
BITUMINOUS CONCRETE PAVEMENT
NOT TO SCALE



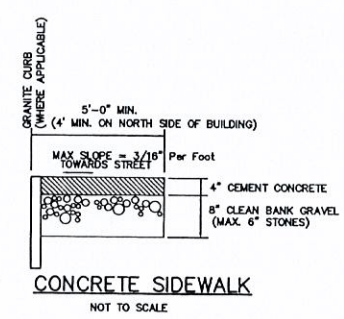
NOTE: THE SILTSACK® WILL BE MANUFACTURED FROM A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS.

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
TENSILE ELONGATION	ASTM D-4632	20%
PUNCTURE MULLEN	ASTM D-3786	120 LBS
BURST TRAPEZOID	ASTM D-4533	120 LBS
TEAR UV RESISTANCE	ASTM D-4355	80%
APPARENT OPENING	ASTM D-4751	40 US SIEVE
SIZE FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT 0.55
PERMITTIVITY	ASTM D-4491	SEC -1

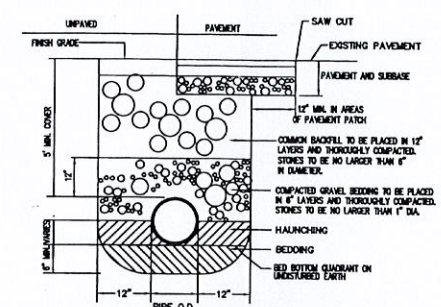
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS
TENSILE ELONGATION	ASTM D-4632	20%
PUNCTURE MULLEN	ASTM D-3786	135 LBS
BURST TRAPEZOID	ASTM D-4533	45 LBS
TEAR UV RESISTANCE	ASTM D-4355	90%
APPARENT OPENING	ASTM D-4751	20 US SIEVE
SIZE FLOW RATE	ASTM D-4491	200 GAL/MIN/SQ FT 1.5
PERMITTIVITY	ASTM D-4491	SEC -1



DETAIL OF INLET SEDIMENT CONTROL DEVICE
WITH CURB DEFLECTOR ("SILT SACK")
NOT TO SCALE

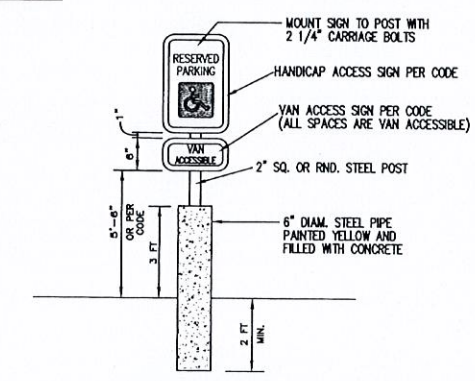


CONCRETE SIDEWALK
NOT TO SCALE

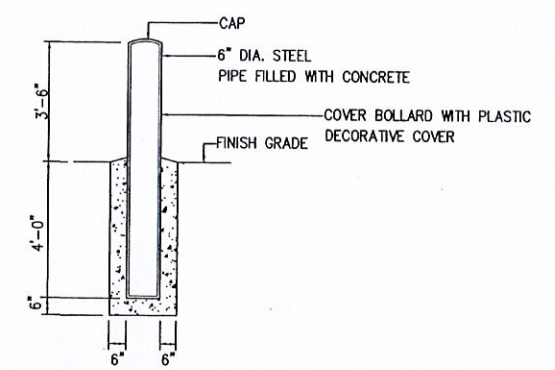


NOTES:
1. IF LEDGE IS ENCOUNTERED MINIMUM CLEARING BETWEEN PIPE AND LEDGE IS 12".
2. HAUNCHING AND BEDDING TO BE CRUSHED STONE OR GRAVEL BORROW, AS DIRECTED, FOR ALL PIPE EXCEPT DUCTILE IRON. USE COMMON BACKFILL, 5" MAX. STONE SIZE FOR DUCTILE IRON.

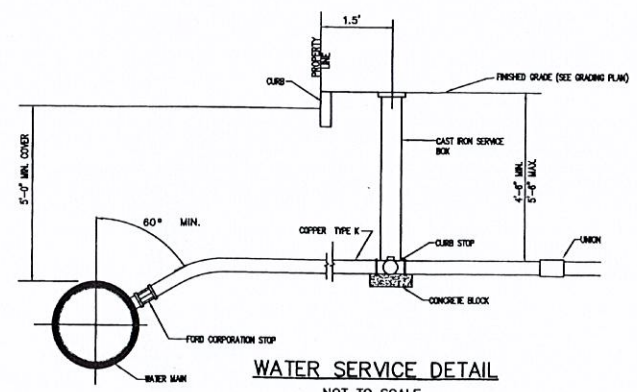
WATER MAIN TRENCH DETAIL
NOT TO SCALE



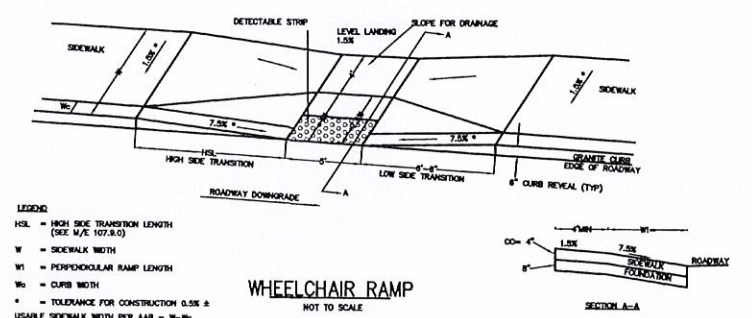
HANDICAP SIGN DETAIL
NOT TO SCALE



BOLLARD DETAIL
NOT TO SCALE

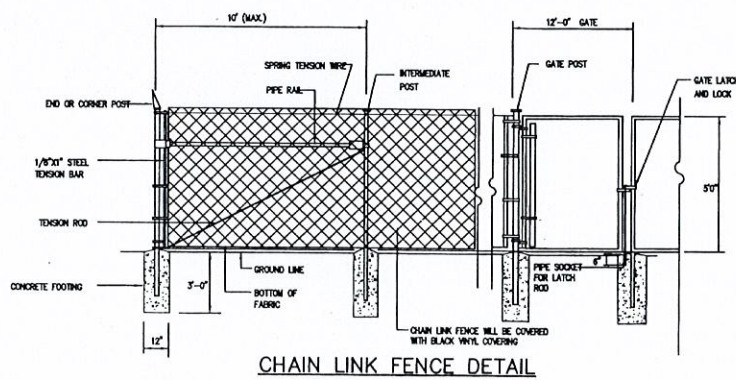


WATER SERVICE DETAIL
NOT TO SCALE



WHEELCHAIR RAMP
NOT TO SCALE

APPROVED BY THE CITY OF NEW BEDFORD PLANNING BOARD
CITY OF NEW BEDFORD PLANNING BOARD
APPROVED _____ ENDORSED _____



CHAIN LINK FENCE DETAIL

Case 38-16, 39-16 & 40-16
11/18/2016

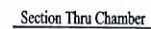
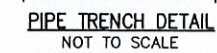
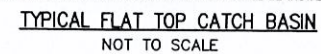
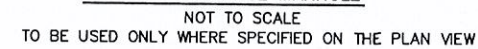
ALL UTILITY WORK SHALL BE DONE IN CONFORMANCE WITH NEW BEDFORD DEPARTMENT OF PUBLIC INFRASTRUCTURE CONSTRUCTION STANDARDS AND SPECIFICATIONS DATED MARCH, 2012

AMENDED

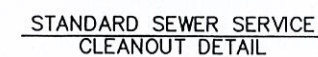
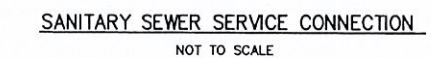
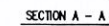
DRAWING TITLE		DETAILS	
PROJECT		FAMILY DOLLAR	
CLIENT		HUNT REAL ESTATE SERVICES, INC.	
DESIGNED BY		RMF	
CHECKED BY		RJR	
APPROVED BY		RJR	
DATE		11/4/2016	
DESCRIPTION		CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL ASSESSMENT	
BY		PRIME ENGINEERING	
APP.		P.O. BOX 1088 350 BEDFORD ST. LAKEVILLE, MA 02347 TEL: 508.947.0050 FAX: 508.947.2004	
REV.		SCALE: AS NOTED	
DATE		DATE: 11/4/2016	
DESCRIPTION		DRAWN BY: EKW	
BY		DESIGNED BY: RMF	
APP.		CHECKED BY: RJR	
REV.		APPROVED BY: RJR	
DATE		PROJECT NO. 17210303	
DESCRIPTION		SHEET NO. C8.0	

Case 38-16, 39-16 & 40-16
11/18/2016

CITY CLERK






**STC 900 Precast Concrete Stormceptor®
(900 U.S. Gallon Capacity)**



AMEND

APPROVED _____ ENDORSED _____

				DRAWING TITLE		SCALE: AS NOTED DATE: 11/4/2016 DRAWN BY: EKW DESIGNED BY: RNF CHECKED BY: RJR APPROVED BY: RJR			
				PROJECT		FAMILY DOLLAR NEW BEDFORD, MASSACHUSETTS			
				CLIENT		HUNT REAL ESTATE SERVICES, INC. TAMPA, FLORIDA			
				CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL ASSESSMENT		P.O. BOX 1068 350 BEDFORD ST. LAKEVILLE, MA 02457 TEL: 508.947.0050 FAX: 508.947.2004		SHEET NO. C9.0	
REV. DATE DESCRIPTION BY APP.						PROJECT NO. 17210303			

Case 38-16, 39-16 & 40-16
11/18/2016

[illegible]

D-Series Size 1 LED Wall Luminaire

d'series

Category: DSXW1 LED 20C 1000 400 T3M MVOLT

Notes:

Type: WB

Use the Tab key to move across the page to save as always the benefits.

Introduction

The D-Series Wall Luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-life, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Specifications Luminaire

Width: 13-3/4" (34.9 cm)
Depth: 10" (25.4 cm)
Height: 6-1/2" (16.2 cm)

Weight: 12 lbs (5.4 kg)

Back Box (BBW, ELCW)

Width: 13-3/4" (34.9 cm) BBW Weight: 5 lbs (2.3 kg)
Depth: 4" ELCW Weight: 10 lbs (4.5 kg)
Height: 6-3/4" (17.1 cm)

For 3/4" NPT side entry connector (BBW only)

Ordering Information

EXAMPLE: DSXW1 LED 20C 1000 400 T3M MVOLT DDBT3D

Start LED	Color	Color temperature	Dimming	Mounting	Control Options	Other Options	Finish	
Series	LEDs	Power	Color temperature	Dimming	Mounting	Control Options	Other Options	Finish
DSXW1	10C 1000 (100 lm/w) 20C 2000 (200 lm/w) 30C 3000 (300 lm/w) 40C 4000 (400 lm/w) 50C 5000 (500 lm/w) 60C 6000 (600 lm/w) 70C 7000 (700 lm/w) 80C 8000 (800 lm/w) 90C 9000 (900 lm/w)	30W 3000 K 40W 4000 K 50W 5000 K 60W 6000 K 70W 7000 K 80W 8000 K 90W 9000 K	AMBIANCE phosphor converter	T35 Type I Short 120° T35 Type II Short 120° T35 Type III Short 120° T35 Type IV Short 120° T35 Type V Short 120° T35 Type VI Short 120° T35 Type VII Short 120° T35 Type VIII Short 120° T35 Type IX Short 120° T35 Type X Short 120° T35 Type XI Short 120° T35 Type XII Short 120° T35 Type XIII Short 120° T35 Type XIV Short 120° T35 Type XV Short 120° T35 Type XVI Short 120° T35 Type XVII Short 120° T35 Type XVIII Short 120° T35 Type XIX Short 120° T35 Type XX Short 120° T35 Type XXI Short 120° T35 Type XXII Short 120° T35 Type XXIII Short 120° T35 Type XXIV Short 120° T35 Type XXV Short 120° T35 Type XXVI Short 120° T35 Type XXVII Short 120° T35 Type XXVIII Short 120° T35 Type XXIX Short 120° T35 Type XXX Short 120° T35 Type XXXI Short 120° T35 Type XXXII Short 120° T35 Type XXXIII Short 120° T35 Type XXXIV Short 120° T35 Type XXXV Short 120° T35 Type XXXVI Short 120° T35 Type XXXVII Short 120° T35 Type XXXVIII Short 120° T35 Type XXXIX Short 120° T35 Type XL Short 120° T35 Type XLI Short 120° T35 Type XLII Short 120° T35 Type XLIII Short 120° T35 Type XLIV Short 120° T35 Type XLV Short 120° T35 Type XLVI Short 120° T35 Type XLVII Short 120° T35 Type XLVIII Short 120° T35 Type XLIX Short 120° T35 Type L Short 120° T35 Type LI Short 120° T35 Type LII Short 120° T35 Type LIII Short 120° T35 Type LIV Short 120° T35 Type LV Short 120° T35 Type LVI Short 120° T35 Type LVII Short 120° T35 Type LVIII Short 120° T35 Type LIX Short 120° T35 Type LX Short 120° T35 Type LXI Short 120° T35 Type LXII Short 120° T35 Type LXIII Short 120° T35 Type LXIV Short 120° T35 Type LXV Short 120° T35 Type LXVI Short 120° T35 Type LXVII Short 120° T35 Type LXVIII Short 120° T35 Type LXIX Short 120° T35 Type LXX Short 120° T35 Type LXXI Short 120° T35 Type LXXII Short 120° T35 Type LXXIII Short 120° T35 Type LXXIV Short 120° T35 Type LXXV Short 120° T35 Type LXXVI Short 120° T35 Type LXXVII Short 120° T35 Type LXXVIII Short 120° T35 Type LXXIX Short 120° T35 Type LXXX Short 120° T35 Type LXXXI Short 120° T35 Type LXXXII Short 120° T35 Type LXXXIII Short 120° T35 Type LXXXIV Short 120° T35 Type LXXXV Short 120° T35 Type LXXXVI Short 120° T35 Type LXXXVII Short 120° T35 Type LXXXVIII Short 120° T35 Type LXXXIX Short 120° T35 Type LXXXX Short 120° T35 Type LXXXXI Short 120° T35 Type LXXXXII Short 120° T35 Type LXXXXIII Short 120° T35 Type LXXXXIV Short 120° T35 Type LXXXXV Short 120° T35 Type LXXXXVI Short 120° T35 Type LXXXXVII Short 120° T35 Type LXXXXVIII Short 120° T35 Type LXXXXIX Short 120° T35 Type LXXXXX Short 120° T35 Type LXXXXXI Short 120° T35 Type LXXXXXII Short 120° T35 Type LXXXXXIII Short 120° T35 Type LXXXXXIV Short 120° T35 Type LXXXXXV Short 120° T35 Type LXXXXXVI Short 120° T35 Type LXXXXXVII Short 120° T35 Type LXXXXXVIII Short 120° T35 Type LXXXXXIX Short 120° T35 Type LXXXXXX Short 120° T35 Type LXXXXXXI Short 120° T35 Type LXXXXXXII Short 120° T35 Type LXXXXXXIII Short 120° T35 Type LXXXXXXIV Short 120° T35 Type LXXXXXXV Short 120° T35 Type LXXXXXXVI Short 120° T35 Type LXXXXXXVII Short 120° T35 Type LXXXXXXVIII Short 120° T35 Type LXXXXXXIX Short 120° T35 Type LXXXXXXX Short 120° T35 Type LXXXXXXXI Short 120° T35 Type LXXXXXXXII Short 120° T35 Type LXXXXXXXIII Short 120° T35 Type LXXXXXXXIV Short 120° T35 Type LXXXXXXXV Short 120° T35 Type LXXXXXXXVI Short 120° T35 Type LXXXXXXXVII Short 120° T35 Type LXXXXXXXVIII Short 120° T35 Type LXXXXXXXIX Short 120° T35 Type LXXXXXXXX Short 120° T35 Type LXXXXXXXXI Short 120° T35 Type LXXXXXXXII Short 120° T35 Type LXXXXXXXIII Short 120° T35 Type LXXXXXXXIV Short 120° T35 Type LXXXXXXXV Short 120° T35 Type LXXXXXXXVI Short 120° T35 Type LXXXXXXXVII Short 120° T35 Type LXXXXXXXVIII Short 120° T35 Type LXXXXXXXIX Short 120° T35 Type LXXXXXXXX Short 120° T35 Type LXXXXXXXXI Short 120° T35 Type LXXXXXXXII Short 120° T35 Type LXXXXXXXIII Short 120° T35 Type LXXXXXXXIV Short 120° T35 Type LXXXXXXXV Short 120° T35 Type LXXXXXXXVI Short 120° T35 Type LXXXXXXXVII Short 120° T35 Type LXXXXXXXVIII Short 120° T3				

SOUHEIL CHEHAYEB, P.E.
CONSULTING PROFESSIONAL ENGINEER

3702 AZEERLE ST.
TAMPA, FL 33609

(813) 876-1416
(fax) 876-0913

LIC #39553 SOUHEIL CHEHAYEB 16-163

☐ "REVIEWED" _____

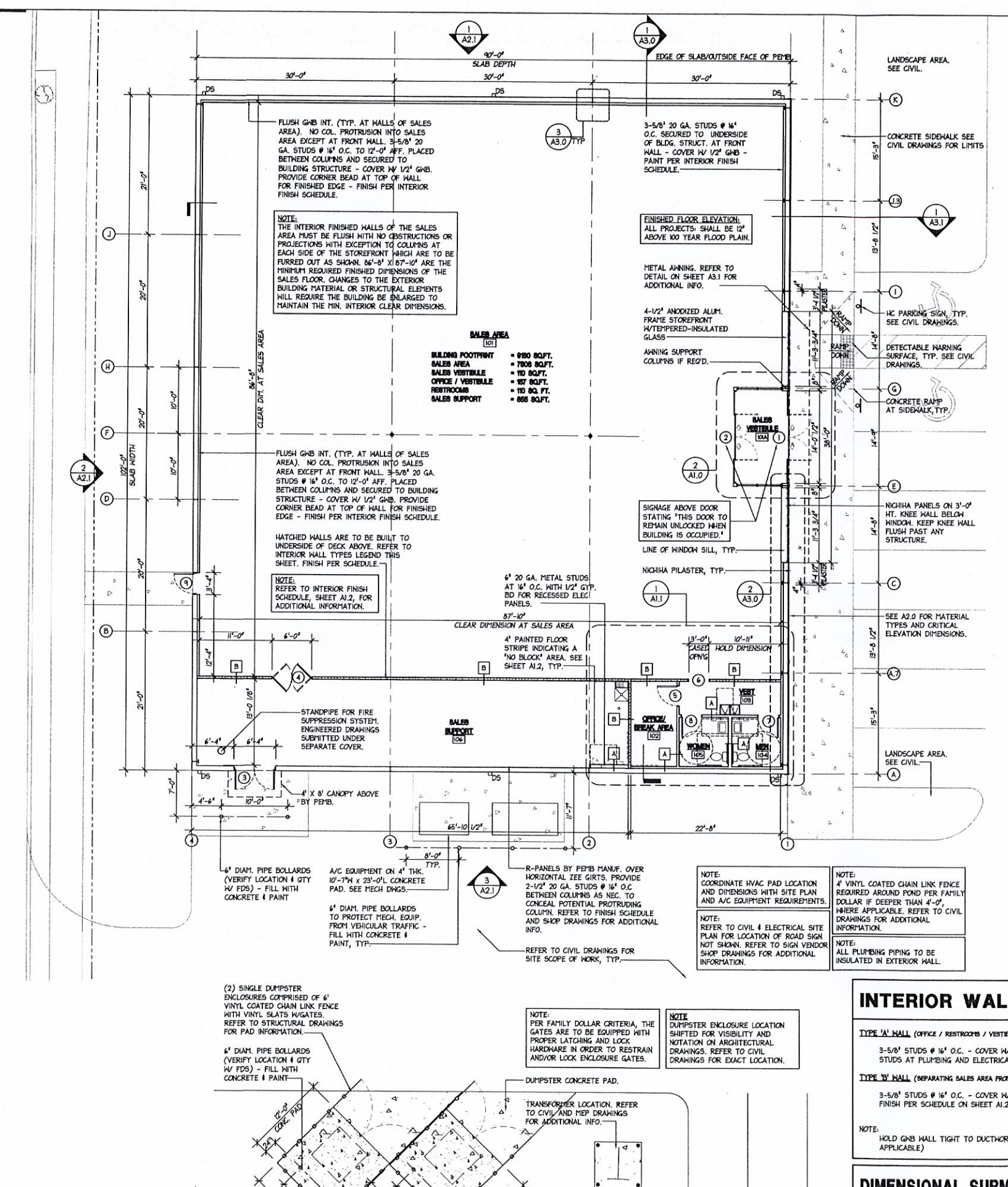
☐ "DISAPPROVED - RESUBMIT" _____

All Site and Building Plan Requirements, including but limited to, Interior Dimensions, Materials, Hardware, Equipment & Specifications are to be designed and built per the Family Dollar Prototype Plan # _____ as indicated in the lease, unless a deviation is approved by Family Dollar's Plan Reviewer, next to each specific deviation. The initials indicate approval of only the one deviation be initiated. Any deviation from designated Prototype Plan that is not initiated by Family Dollar is disapproved and void.

(Approval to plan deviation will be indicated with the following circled initials : _____)

Case 38-16, 39-16 & 40-16
11/18/2016

FLOOR PLAN
SCALE = 1/8" = 1'-0"



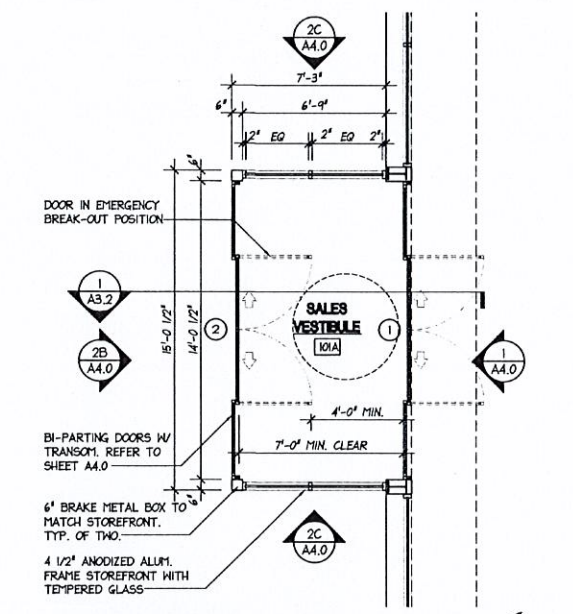
INTERIOR WALL TYPES

- TYPE 'A' WALL (OFFICE / RESTROOMS / VESTIBULE)**
3-5/8" STUDS @ 16" O.C. - COVER W/ 1/2" GNB EACH SIDE TO 6" ABOVE CEILING. (PROVIDE 6" STUDS AT PLUMBING AND ELECTRICAL WALLS). FINISH PER SCHEDULE ON SHEET A1.2
- TYPE 'B' WALL (SEPARATING SALES AREA FROM BOV/SALES SUPPORT)**
3-5/8" STUDS @ 16" O.C. - COVER W/ 1/2" GNB EACH SIDE TO UNDERSIDE OF DECK ABOVE. FINISH PER SCHEDULE ON SHEET A1.2
- NOTE:**
HOLD GNB WALL TIGHT TO DUCTWORK WHERE IT PENETRATES WALLS - ANY TYPE. (WHERE APPLICABLE)

DIMENSIONAL SUBMITTAL TO FAMILY DOLLAR.

DEVELOPER / GENERAL CONTRACTOR MUST UTILIZE THE SITE SPECIFIC FLOOR PLAN (FLP) PROVIDED BY FAMILY DOLLAR'S STORE PLANNING DEPARTMENT FOR THE PURPOSES OF DIMENSIONAL AS-BUILT SUBMITTAL TO FAMILY DOLLAR AS REQUIRED FOR MILESTONE SUBMITTALS.

- CERTIFICATE OF OCCUPANCY NOTE**
G.C. IS RESPONSIBLE FOR THE 'CERTIFICATE OF OCCUPANCY'. CERTIFICATE TO BE FRAMED AND MOUNTED IN THE MANAGERS OFFICE OVER THE DOOR. IF MUNICIPALITY DOES NOT ISSUE A COO, IT IS THE RESPONSIBILITY OF THE G.C. TO GET A LETTER FROM THE MUNICIPALITY STATING AS SUCH ON CITY/ COUNTY LETTERHEAD AND THAT LETTER IS TO BE FRAMED AND MOUNTED IN MANAGER'S OFFICE
- NOTE**
THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION IS IN COMPLIANCE WITH ALL LOCAL, STATE AND NATIONAL CODES GOVERNING THE JURISDICTION, AND WITH THE AMERICANS WITH DISABILITIES ACT. THE GC SHALL COORDINATE THE VARIOUS CONSTRUCTION DOCUMENTS FOR THE PROJECT. IF CONFLICT OF INFORMATION IS FOUND, THE GC SHALL RESOLVE THE CONFLICTS PRIOR TO PROCEEDING.
- GRADING NOTE**
WHERE NECESSARY, SITE AND REAR WALLS, SITE CONTRACTOR TO TRANSITION DOWN FROM DOORWAYS TO A MIN. 3' 4" BELOW SLAB, WHERE APPLICABLE, TO AVOID CONFLICT W/ FINISH OVERLAP AT SLAB, TERMINATING AT THRESHOLDS TO ACCOMMODATE ADA COMPLIANT LANDINGS AT EGRESS DOORS. THIS WILL ALLOW A CONCRETE FINISHING TOOL OR PLATE COMPACTOR UNDER THE BUILDING FINISH TO COMPLETE THE CONCRETE AND ASPHALT WORK NECESSARY. REFER TO CIVIL PLANS FOR EXACT GRADE HEIGHTS AND TRANSITIONS.
- NOTE**
THE ELEVATION OF THE FLOOR SURFACE ON BOTH SIDES OF ANY DOOR SHALL NOT VARY BY MORE THAN 1/2" INCH FOR A DISTANCE NOT LESS THAN THE WIDTH OF THE WIDEST LEAF. PER NFPA 101, SECTION 7.2.1.3.1 & 7.2.1.3.2.
- COLUMN LAYOUT NOTE**
BUILDING COLUMNS MUST BE LOCATED AS NOT TO INTERFERE WITH DOOR LOCATIONS INDICATED ON PLANS.
- COLUMN LOCATIONS SHALL BE VERIFIED BY THE PE'NB MANUF. GENERAL CONTRACTOR SHALL COORDINATE DOOR LOCATIONS WITH THE PE'NB MANUFACTURER'S COLUMN LAYOUT. COLUMN LOCATIONS THAT DIFFER FROM LAYOUT CURRENTLY SHOWN IN THE CONSTRUCTION DRAWINGS MUST BE SUBMITTED TO FAMILY DOLLAR STORE'S CONSTRUCTION DEPT. FOR APPROVAL.
- LOCK BOX REQUIREMENTS**
1. GENERAL CONTRACTOR TO PROVIDE AND INSTALL (MASTER LOCK 5400D OR EQ) LOCK BOX.
 2. THE LOCK BOX SHALL BE SET TO THE LAST 4 DIGITS OF THE STORE NUMBER.
 3. ON GROUND UP LOCATIONS, THE LOCK BOX SHALL BE INSTALLED PRIOR TO THE DELIVERY NOTICE BEING ISSUED TO FAMILY DOLLAR TO PROVIDE ACCESS DURING PUNCHOUT & TURNOVER.
 4. ON EXISTING SPACE RETROFITS, THE LOCK BOX SHALL BE INSTALLED AT THE START OF CONSTRUCTION.
 5. THE LOCK BOX SHALL CONTAIN THE FRONT DOOR KEY.
 6. THE LOCK BOX SHALL BE PLACED ON THE FRONT DOOR HANDLE. FOR STORES WHERE THE FRONT DOOR DOES NOT HAVE A HANDLE, THE LOCK BOX WILL BE INSTALLED ON AN EYEBOLT INSERTED IN THE TOP OF THE RECEIVING DOOR BOLLARD.
- MAIL BOX NOTE**
PER FAMILY DOLLAR CRITERIA, GC IS TO PROVIDE AND INSTALL ONE POSTAL APPROVED MAILBOX IF REQUIRED BY CODE.
- AUTOMATIC DOOR SIGNAGE NOTE**
A READILY VISIBLE, DURABLE SIGN IN LETTERS NOT LESS THAN 1 IN. HIGH ON A CONTRASTING BACKGROUND THAT READS AS FOLLOWS SHALL BE LOCATED ON THE EGRESS SIDE OF EACH DOOR OPENING: IN EMERGENCY, PUSH TO OPEN
- CONSTRUCTION CAMERAS**
ALL PROJECTS (BTS & FEE DEVELOPMENT) ARE REQUIRED TO HAVE A JOBSITE MONITORING SYSTEM FROM OXBLEU CORPORATION WITH NECESSARY POWER FOR THE DURATION OF THE CONSTRUCTION, INCLUDING ANY SITE WORK. REFER TO SHEET T1.0 FOR CONTACT INFORMATION.
- ALLOW 4 WEEKS FOR ORDERING AND DELIVERY OF CAMERAS.



ENLARGED FLOOR PLAN
SCALE = 1/4" = 1'-0"

- ☐ "REVIEWED"
- ☐ "DISAPPROVED - RESUBMIT"
- All Site and Building Plan Requirements, including but limited to, all Interior Dimensions, Materials, Hardware, Equipment & Specifications, are to be designed and built per the Family Dollar Prototype Plan #1, as indicated in the lease, unless a deviation is approved by Family Dollar's Plan Reviewer, next to each specific deviation. The initials indicate approval of only the one deviation being initiated. Any deviation from designated Prototype Plan that is not initiated by Family Dollar is disapproved and void.
- (Approval to plan deviation will be indicated with the following circled initials: _____)



3336 Grand Blvd. Suite 201
Holiday, Florida 34690
Ph. 727. 815. 3336
Fax 727. 815. 3337

TO THE BEST OF THE KNOWLEDGE OF THE ARCHITECTS AND ENGINEERS, PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS

GUY F. FABER
MA License No. 31856

FAMILY DOLLAR
SW CORNER SWIFT ST. & ORCHARD ST.
BEDFORD, MASSACHUSETTS

PROJECT # 712332 PROTOTYPE #2016-01

11.03.16
date
16085
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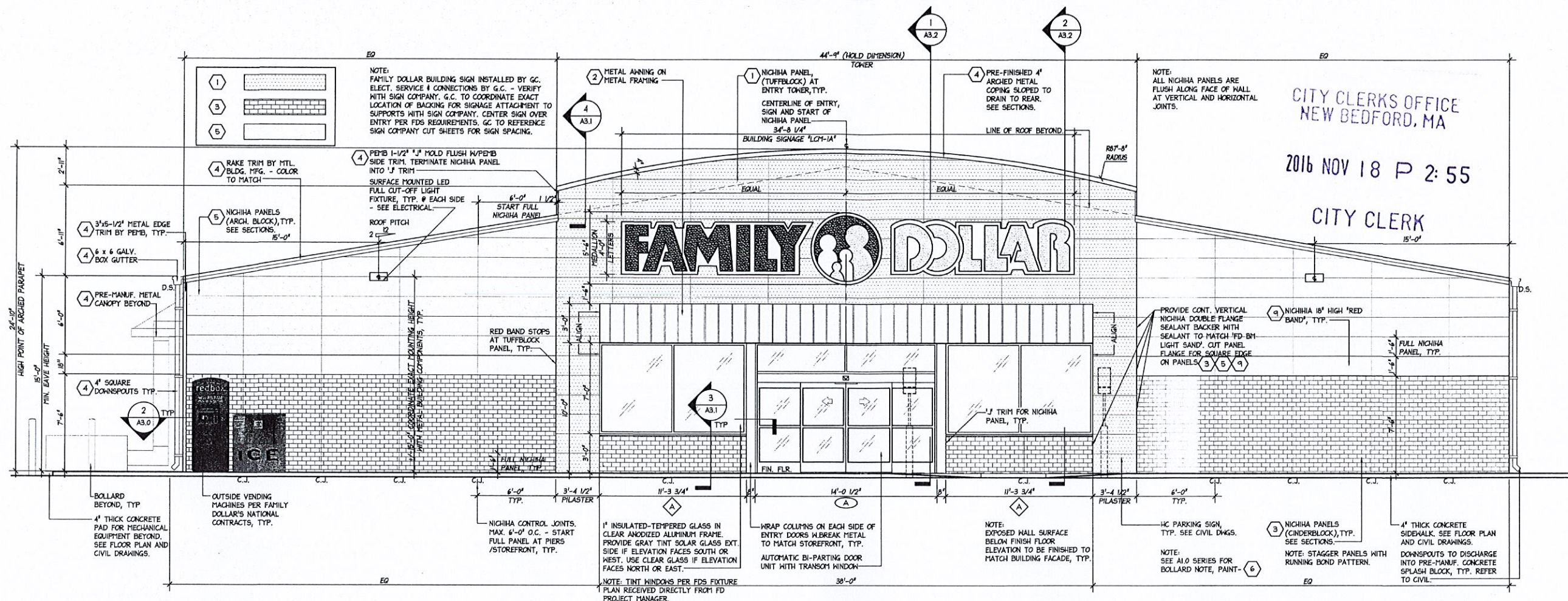
102 X 90
FLOOR PLAN
& NOTES

A1.0

CITY CLERKS OFFICE
NEW BEDFORD, MA

2016 NOV 18 P 2:55

CITY CLERK



SOUTH ELEVATION (PARKING LOT)

SCALE = 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

MATERIALS ARE TO BE APPROVED BY FAMILY DOLLAR STORE. COLORS ARE CRITICAL AND MUST BE APPROVED BY FAMILY DOLLAR STORE REPRESENTATIVE IF THEY DIFFER FROM THE BENJAMIN MOORE COLORS SHOWN BELOW.

NO.	AREA	TYPE	COATS	COLOR
1	'NICHIHA' FIBER CEMENT WALL PANEL	TUFFBLOCK LARGE BLOCK (18"X12") PANEL W/TEXTURED FIN.	PRE-FINISHED	MATCH BENJAMIN MOORE COLOR 'FD BM LIGHT SAND'
2	METAL AWNING	VP - PANEL RIB NUCOR - CLASSIC WALL	PRE-FINISHED	MATCH VP COLOR 'COOL BRIGHT RED' OR MATCH BENJAMIN MOORE COLOR 'FD BM SAFETY RED'
3	'NICHIHA' FIBER CEMENT WALL PANEL	EDA62IE CINDERBLOCK - BROWN (18"X12") PANEL	PRE-FINISHED	
4	DOORS, GUTTERS, DOWNSPOUTS, PTL. TRIM, RAKE TRIM, RECEIVING CANOPY, ARCHED PARAPET CAP	METAL BUILDING MANUFACTURER	PRE-FINISHED	VP COLOR 'TAN' NUCOR COLOR 'SAGEBRUSH TAN' MID-WEST COLOR 'SADDLE TAN' BENJAMIN MOORE COLOR 'FD BM DARK SAND'
5	'NICHIHA' FIBER CEMENT WALL PANEL	ARCHITECTURAL BLOCK SERIES-COLOR TUSCAN	PRE-FINISHED	BENJAMIN MOORE COLOR 'FD BM KHAKI'
6	STEEL BOLLARDS	EXTERIOR LATEX	2	BENJAMIN MOORE COLOR 'FD BM SAFETY RED'
7	METAL ROOF	STANDING SEAM ROOF	PRE-FINISHED	COOL ARCTIC WHITE
8	METAL PANELS	MID-WEST - PBA PANEL NUCOR - ACCENT PANEL VP - VEE RIB PANEL	PRE-FINISHED	MID-WEST COLOR 'SADDLE TAN' NUCOR COLOR 'SAGEBRUSH TAN' VP COLOR 'TAN' BENJAMIN MOORE COLOR 'FD BM DARK SAND'
9	'NICHIHA' FIBER CEMENT WALL PANEL (RED BAND)	ILLUMINATIONS LARGE BLOCK (18"X12") PANEL	PRE-FINISHED	MATCH BENJAMIN MOORE COLOR 'FD BM SAFETY RED'

EXTERIOR FINISH NOTES

1. APPLY MASONRY BLOCK FILLER TO CONCRETE BLOCK PRIOR TO FINISH PAINTING. (AT DUMPSTER ENCLOSURE ONLY)
2. IF METAL BUILDING IS USED, G.C. TO SUBMIT MANUFACTURER'S STANDARD COLORS TO FAMILY DOLLAR FOR APPROVAL.
3. REFER TO PAINT ORDERING INSTRUCTIONS ON SHEET T1.0
4. EXTERIOR PAINT (OTHER THAN TRAFFIC PAINT) - BENJAMIN MOORE: ULTRA SPEC HP DTM ACRYLIC SEMI-GLOSS ENAMEL - HP29
5. TRAFFIC PAINT-BENJAMIN MOORE LATEX TRAFFIC PAINT TD58

METAL PANEL NOTES

1. THIS SYSTEM USES STANDING SEAM ROOF SYSTEM THERMAL BLOCKS. G.C. TO PROVIDE 20 YEAR WEATHER TIGHTNESS WARRANTY.
2. THE WALL PANELS ARE ATTACHED W/ SELF-DRILLING CORROSION RESISTANT TYPE LONG LIFE CARBON STEEL FASTENERS WITH HEX HEAD AND SEALING WASHER (OR EQUAL) FOR ALL EXTERIOR METAL WALL PANELS. FASTENER COLOR TO MATCH PANEL BEING FASTENED.
3. METAL BUILDING EAVE HT. TO BE ADJUSTED AS REQUIRED TO MAINTAIN FAMILY DOLLAR STANDARD CEILING HEIGHT.

VERIFY W/ SPECIFIC METAL BLDG. CO.

DEVELOPMENT PROJECTS

INSTALLATION OF ROAD AND BUILDING SIGN MUST BE INCLUDED IN GENERAL CONTRACTOR'S BID AND SCOPE OF WORK.

ROOF WARRANTY NOTE

CONTRACTOR MUST PROVIDE A 20-YEAR, WEATHERTIGHT WARRANTY THAT HAS BEEN PRE-APPROVED BY FAMILY DOLLAR. NO EXCEPTIONS.

BLOCKING NOTE

GC TO PROVIDE AND INSTALL BLOCKING AT SIGNAGE, AWNING/CANOPY AND EXTERIOR LIGHT FIXTURE LOCATIONS AS NEC. TO ENSURE ADEQUATE SUPPORT IS PRESENT FOR A SECURE CONNECTION TO THE FACE OF THE BUILDING.

FOR THE EXTERIOR WALL PACKS WHEN MOUNTED TO CORRUGATED WALL PANELS, GC SHALL CUT A PIECE OF WOOD AS A MOUNTING BLOCK, PAINTED TO MATCH PANEL COLOR, SCREEN THROUGH TO BLOCKING ON INSIDE PRIOR TO MOUNTING FIXTURE TO THE WOOD MOUNTING BLOCK.

NOTE

ALL DIMENSIONS SHOWN ARE TAKEN FROM SLAB HEIGHT, NOT SURROUNDING GRADE ELEVATION, TYPICAL.

METAL TRIM NOTE

ALL METAL TRIM TO BE FURNISHED BY BUILDING VENDOR.

1/2" TRIM NOTE

PEYB SHALL FURNISH ALL 1/2" TRIMS OR JAMB EXTENSIONS FOR NICHIHA PANEL TERMINATION. SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION.

NOTE

ALL GLAZING TO BE TEMPERED, U.N.O.

GENERAL EXTERIOR NOTE

PROVIDE SLEEVE, BOOT, OR OTHER APPROPRIATE PENETRATION MATERIAL FOR A CLEAN TRANSITION FROM EXTERIOR TO INTERIOR FOR ALL CONDUIT WIRE, PIPE ETC. OWNER MUST APPROVE METHOD AND FINISH BEFORE BUILDING COMPLETION.

EAVE HEIGHTS

METAL FRAME BUILDINGS SHALL HAVE A MIN. EAVE HEIGHT OF 15'-0". EAVE HEIGHT DEPENDANT ON MIN. INTERIOR REQUIREMENTS. SEE A3.0 BOXED NOTE.

DOWNSPOUT NOTE

DOWNSPOUTS SPACING T.B.D. BY CIVIL ENGINEER, BASED ON LOCAL TYPICAL AND MAXIMUM RAINFALL AMOUNTS, WITH DOWNSPOUTS PLACED EQUALLY APART TYP. NO DOWNSPOUT MAY BE PLACED WITHIN 12" OF A DOOR FRAME. USE A MINIMUM OF THREE STRAPS PER DOWNSPOUT, TYP.

IF SPLASH BLOCKS ARE USED, G.C. SHALL INSURE THAT NO SAFETY HAZARDS ARE CREATED BY THE DISCHARGE OF WATER FROM THE DOWNSPOUTS OR BY ICE WHICH MAY FORM AS A RESULT OF THE WATER DISCHARGE FROM THE DOWNSPOUTS. COORDINATE ROOF STORM WATER DRAINAGE WITH PROJECT CIVIL ENGINEER.

PROVIDE FLUSH TRENCH DRAINS ACROSS SIDEWALKS TO PARKING AREAS IF DOWNSPOUTS DO NOT TIE TO UNDERGROUND STORM SYSTEM.

CANOPY/ANNING NOTE

STOREFRONT # FREIGHT DOORS MUST BE SHIELDED OVERHEAD FROM THE WEATHER. IF THE PROTOTYPE CANOPY IS NOT USED, AN AWNING, VESTIBULE OR OTHER FORM OF PROTECTION MUST BE USED. FINAL APPROVAL FROM FAMILY DOLLAR STORES.

SIGNAGE NOTE

- GENERAL CONTRACTOR SHALL INSTALL SIGNAGE.
- FAMILY DOLLAR STORE SIGNAGE VENDOR SHALL FURNISH SIGNAGE AND METAL SUPPORTS AS REQUIRED FOR SIGNAGE INSTALLATION. GENERAL CONTRACTOR SHALL COORDINATE INSTALLATION AND BACKING FOR METAL SUPPORTS.
- GENERAL CONTRACTOR SHALL PROVIDE ELECTRICAL SERVICE AND CONNECTIONS FOR SIGNAGE. VERIFY ELECTRICAL DEMAND OF SIGNAGE WITH FAMILY DOLLAR STORE.
- COORDINATE ACCESS PANEL LOCATION FOR SIGNAGE MOUNTED ON SIDES OR REAR OF BUILDING FAMILY DOLLAR STORE.

SECONDARY SIGNAGE NOTE

- WALL MOUNTED LIGHT FIXTURES AT SIGNAGE LOCATIONS SHALL BE RECENTERED ABOVE SIGNAGE IF SECONDARY SIGNAGE IS PROVIDED.
- CONFIRM MOUNTING HEIGHT OF SECONDARY SIGNAGE WITH FAMILY DOLLAR STORE.

SIGNAGE APPROVAL

SIGNAGE WILL BE REVIEWED UNDER A SEPARATE SUBMITTAL AND PERMIT. SIGN VENDOR TO SUBMIT NECESSARY DRAWINGS AND APPLICATIONS AS NEC. TO OBTAIN ALL APPROVALS AND PERMITS ASSOCIATED WITH THE PROJECT'S SIGNAGE.

NOTE

IF SITE POLE LIGHTING IS PROVIDED THAT FACES THE FRONT ELEVATION, THEN THE PROTOTYPICAL SURFACE MOUNTED LED FLOOD LIGHTS ARE NOT REQUIRED.

NOTE

REFER TO SECTIONS FOR TYPICAL METAL BUILDING TRIM/PARAPET DETAILS.

PARAPET CAP NOTE

ARCHED METAL COPING SHALL HAVE A SMOOTH RADIUS AND CAN BE MADE UP OF MULTIPLE LENGTHS. MIN. 10' LONG. NO SEAM AT PEAK & SPACE SEAMS EQUALLY FROM PEAK CENTER LINE.

NOTE

PROVIDE CONT. WEEP SCREED AT NICHIHA BASE.

SIDEWALK NOTE

SLOPE SIDEWALK TO PROVIDE A MINIMUM OF 2" OF CLEARANCE BETWEEN THE SIDEWALK SURFACE AND THE BOTTOM OF THE NICHIHA PANELS. SLOPE SHALL COMPLY WITH APPLICABLE HANDICAPPED ACCESSIBILITY REQUIREMENTS.

NOTE

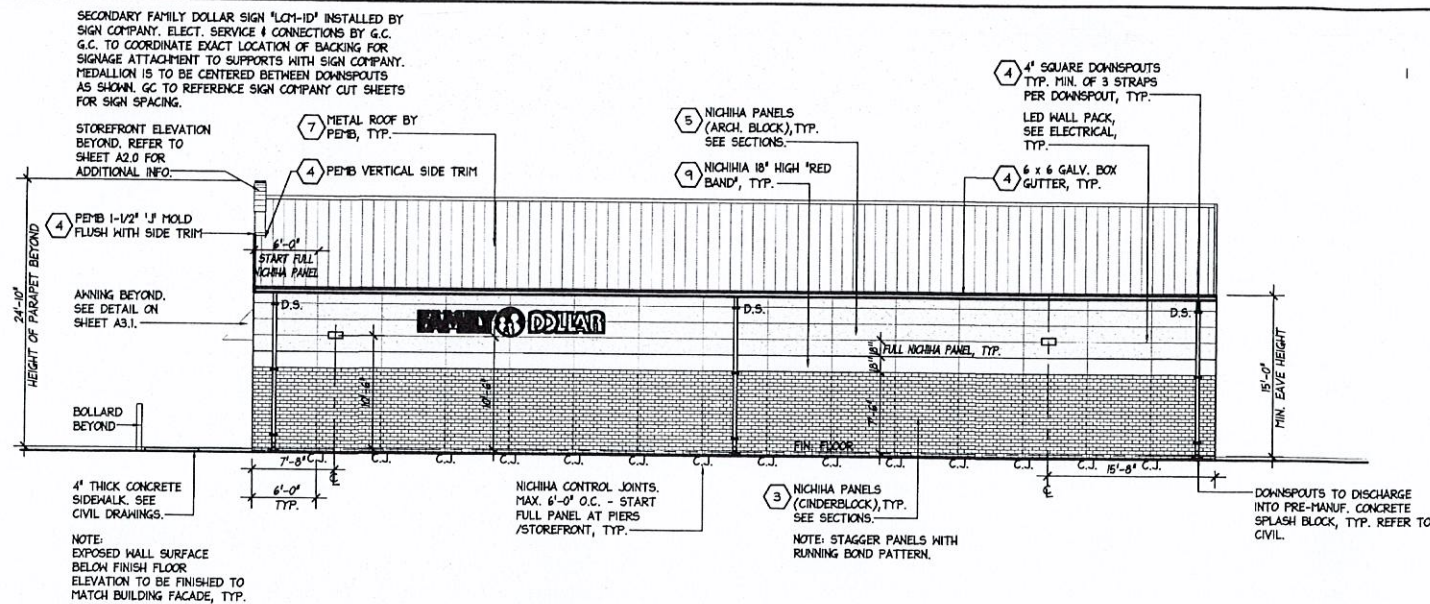
REFER TO SHEET A4.0 FOR STOREFRONT DIMENSIONS AND ADDITIONAL INFORMATION.

☐ "REVIEWED"
☐ "DISAPPROVED - RESUBMIT"

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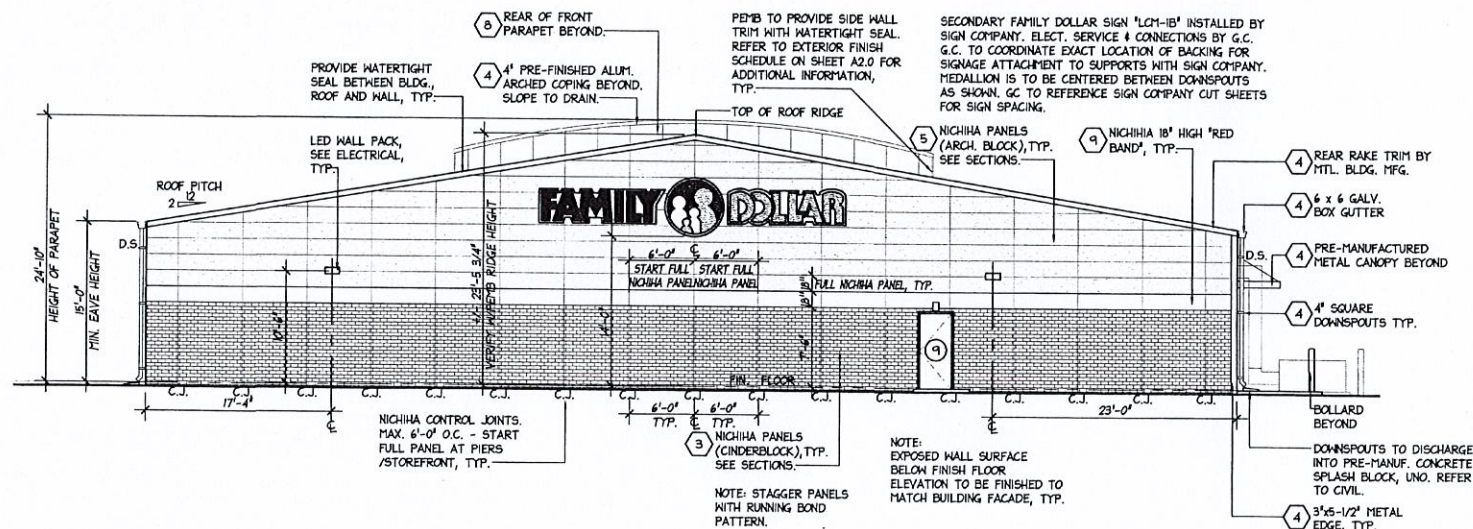
(Approval to plan deviation will be indicated with the following circled initials : _____)

Case 38-16, 39-16 & 40-16
11/18/2016



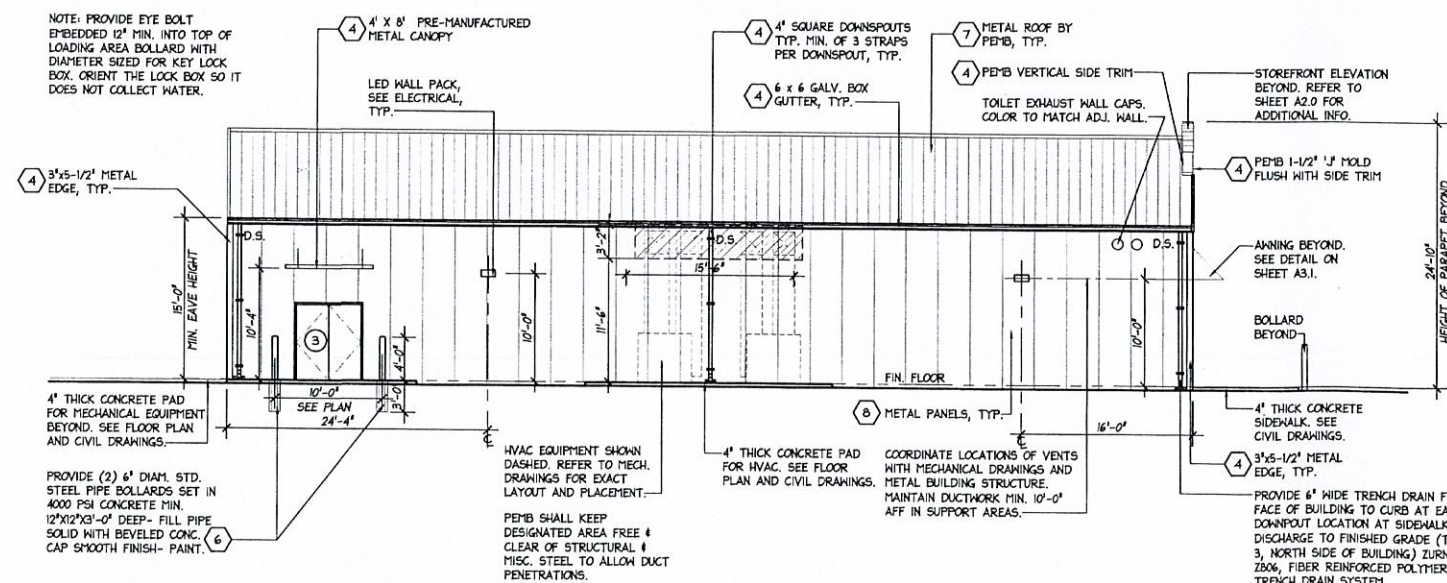
1 EAST ELEVATION (ORCHARD STREET)

A2.1 SCALE = 1/8" = 1'-0"



2 NORTH ELEVATION (SWIFT STREET)

A2.1 SCALE = 1/8" = 1'-0"



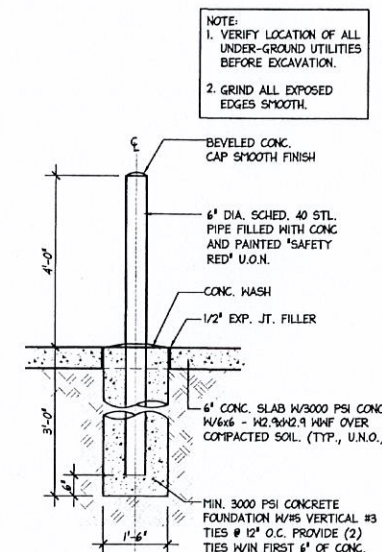
3 WEST ELEVATION (PARKING LOT/ADJ. PROPERTY)

A2.1 SCALE = 1/8" = 1'-0"

CITY CLERKS OFFICE
NEW BEDFORD, MA

2016 NOV 18 P 2:55

CITY CLERK



4 BOLLARD DETAIL

A2.1 SCALE = 1/2" = 1'-0"

NOTE:
REFER TO SHEET A2.0 FOR
EXTERIOR FINISH SCHEDULE
AND ADDITIONAL INFORMATION.

☐ "REVIEWED"
☐ "DISAPPROVED - RESUBMIT"

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(Approval to plan deviation will be indicated with the following circled initials: _____)

Case 38-16, 39-16 & 40-16

11/18/2016

11.03.16
date
16085
comm. no.

EXT. ELEVATIONS

A2.1



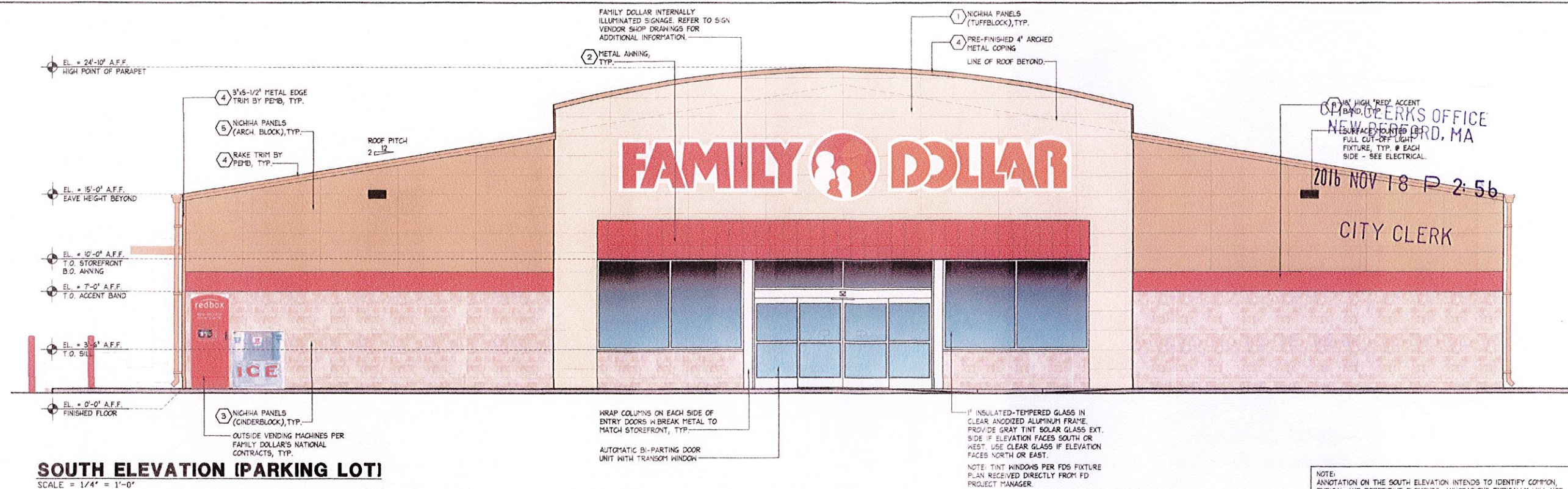
3336 Grand Blvd. Suite 201
Holiday, Florida 34690
Ph. 727. 815. 3336
Fax 727. 815. 3337

TO THE BEST OF THE KNOWLEDGE OF
THE ARCHITECTS AND ENGINEERS, PLANS
AND SPECIFICATIONS COMPLY WITH THE
APPLICABLE MINIMUM BUILDING CODES
AND THE APPLICABLE MINIMUM FIRE
SAFETY STANDARDS

GUY F. FABER
MA License No. 31856

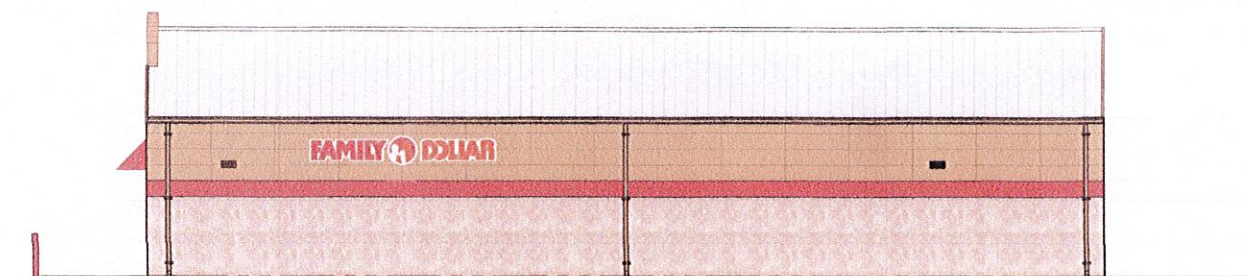
FAMILY DOLLAR
SW CORNER SWIFT ST. & ORCHARD ST.
BEDFORD, MASSACHUSETTS
PROJECT # 712332 PROTOTYPE #2016-01

revision	descriptions	date	no.



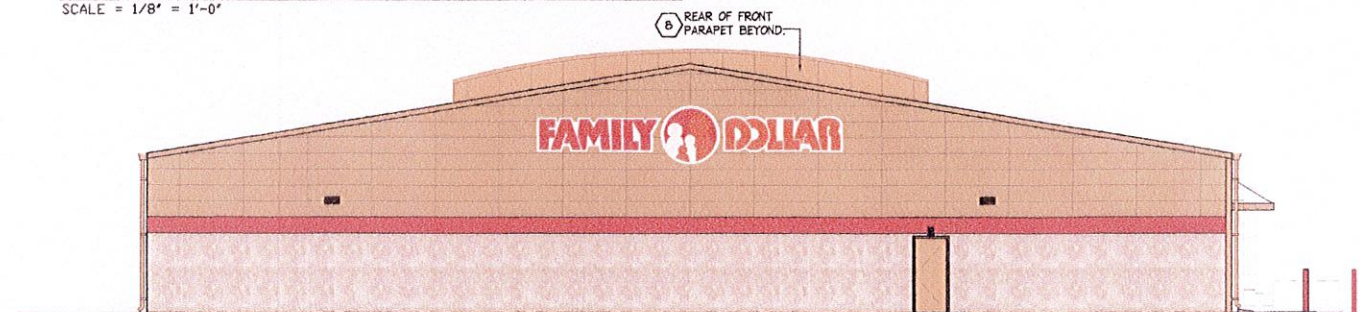
SOUTH ELEVATION (PARKING LOT)

SCALE = 1/4" = 1'-0"



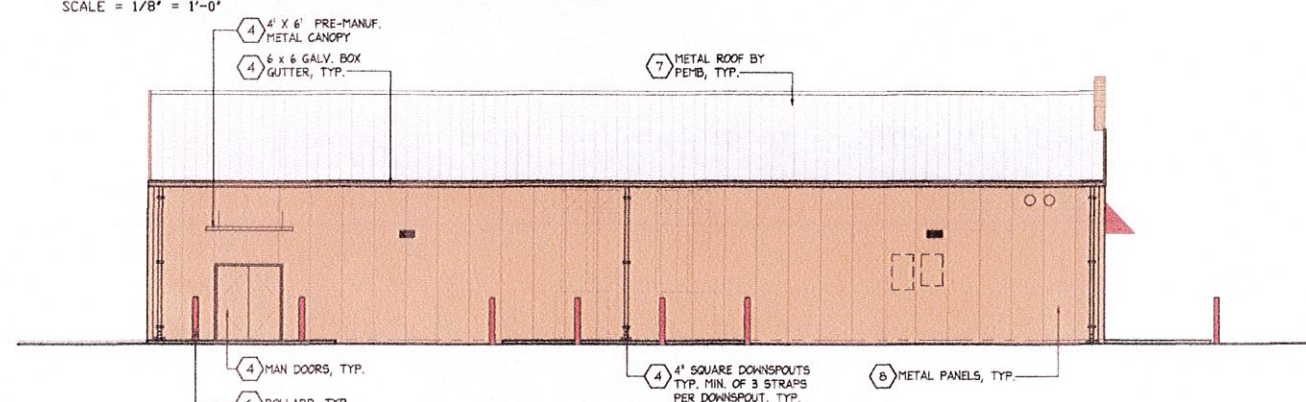
EAST ELEVATION (ORCHARD STREET)

SCALE = 1/8" = 1'-0"



NORTH ELEVATION (SWIFT STREET)

SCALE = 1/8" = 1'-0"



WEST ELEVATION (PARKING LOT/ADJ. PROPERTY)

SCALE = 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE

MATERIALS ARE TO BE APPROVED BY FAMILY DOLLAR STORE. COLORS ARE CRITICAL AND MUST BE APPROVED BY FAMILY DOLLAR STORE REPRESENTATIVE IF THEY DIFFER FROM THE BENJAMIN MOORE COLORS SHOWN BELOW.

NO.	AREA	TYPE	COATS	COLOR
1	'NICHHA' FIBER CEMENT WALL PANEL	TUFFBLOCK LARGE BLOCK (18"x12") PANEL W/TEXTURED FIN.	PRE-FINISHED	MATCH BENJAMIN MOORE COLOR 'FD B1 LIGHT SAND'
2	METAL ANNING	VP - PANEL RIB NUCOR - CLASSIC WALL	PRE-FINISHED	MATCH VP COLOR 'COOL BRIGHT RED' OR MATCH BENJAMIN MOORE COLOR 'FD B1 SAFETY RED'
3	'NICHHA' FIBER CEMENT WALL PANEL	ED42IE CINDERBLOCK - BROWN (18"x12") PANEL	PRE-FINISHED	
4	DOORS, GUTTERS, DOWNSPOUTS, MTL. TRIM, RAKE TRIM, RECEIVING CANOPY, ARCHED PARAPET CAP	METAL BUILDING MANUFACTURER	PRE-FINISHED	VP COLOR 'TAN' NUCOR COLOR 'SAGEBRUSH TAN' MID-WEST COLOR 'SADDLE TAN' BENJAMIN MOORE COLOR 'FD B1 DARK SAND'
5	'NICHHA' FIBER CEMENT WALL PANEL	ARCHITECTURAL BLOCK SERIES-COLOR TUSCAN	PRE-FINISHED	BENJAMIN MOORE COLOR 'FD B1 KHAKI'
6	STEEL BOLLARDS	EXTERIOR LATEX	2	BENJAMIN MOORE COLOR 'FD B1 SAFETY RED'
7	METAL ROOF	STANDING SEAM ROOF	PRE-FINISHED	COOL ARCTIC WHITE
8	METAL PANELS	MID-WEST - FBA PANEL NUCOR - ACCENT PANEL VP - VEE RIB PANEL	PRE-FINISHED	MID-WEST COLOR 'SADDLE TAN' NUCOR COLOR 'SAGEBRUSH TAN' VP COLOR 'TAN' BENJAMIN MOORE COLOR 'FD B1 DARK SAND'
9	'NICHHA' FIBER CEMENT WALL PANEL (RED BAND)	ILLUMINATIONS LARGE BLOCK (18"x12") PANEL	PRE-FINISHED	MATCH BENJAMIN MOORE COLOR 'FD B1 SAFETY RED'

EXTERIOR FINISH NOTES

- APPLY 1/2" GROUT FILLER TO CONCRETE BLOCK PRIOR TO FINISH PAINTING. (AT DOWNSPUT ENDS ONLY)
- IF METAL BUILDING IS USED, G.C. TO SUBMIT MANUFACTURER'S STANDARD COLORS TO FAMILY DOLLAR FOR APPROVAL.
- REFER TO PAINT ORDERING INSTRUCTIONS ON SHEET T1.0
- EXTERIOR PAINT (OTHER THAN TRAFFIC PAINT) - BENJAMIN MOORE, ULTRA SPEC HP DTM ACRYLIC SEMI-GLOSS ENAMEL - HP29
- TRAFFIC PAINT-BENJAMIN MOORE LATEX TRAFFIC PAINT TD58

- ☐ "REVIEWED" _____
☐ "DISAPPROVED - RESUBMIT" _____

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