



CITY OF NEW BEDFORD
JONATHAN F. MITCHELL, MAYOR

PLANNING BOARD

SUBMIT TO:
Planning Department
133 William Street
Room 303
New Bedford, MA 02740

SITE PLAN REVIEW APPLICATION FOR NEW GROUND SIGN

The undersigned, being the Applicant, seeks Site Plan Approval for property depicted on a plan entitled:
See attached list of drawings by: Prime Engineering, Inc. dated: 11/4/2016

1. Application Information

Street Address: SW Corner of Swift and Orchard Streets

Assessor's Map(s): 23 Lot(s) 292

Registry of Deeds Book: 7223 Page: 263

Zoning District: Mixed Use Business

Applicant's Name (printed): Hunt Real Estate Services, Inc.

Mailing Address: 5100 W Kennedy Blvd. Suite 100 Tampa FL 33609
(Street) (City) (State) (Zip)

Contact Information: 727 458-4055 khess@huntresco.com
Telephone Number Email Address

Applicant's Relationship to Property: ☐ Owner ☐ Contract Vendee ☒ Other Proposed Buyer

List all submitted materials (include document titles & volume numbers where applicable) below:

Refer to attached Pylon Sign Detail

By signing below, I/we acknowledge that all information presented herein is true to the best of my/our knowledge. I/we further understand that any false information intentionally provided or omitted is grounds for the revocation of the approval (s). I/we also give Planning Department staff and Planning Board Members the right to access the premises (both interior and exterior) at reasonable times and upon reasonable notice for the purpose of taking photographs and conducting other visual inspections.

11/22/14

Date

Signature of Applicant

2. Zoning Classifications

Present Use of Premises: Vacant

Proposed Use of Premises: Retail Store

Zoning Relief Previously Granted (Variances, Special Permits, with Dates Granted):

Special Permit for parking space reduction is pending.

3. Will sign be illuminated? Yes, How? Internally

4. Will sign overhang a public sidewalk? No, If yes, an indemnification certificate must be obtained from the City Council Clerk's Office, City Hall Room 215

5. Briefly Describe the Proposed Project:

It is proposed to construct a 9,180 square foot single story Family Dollar retail building with ancillary parking.

6. Please complete the following:

	<u>Existing</u>	<u>Allowed/Required</u>	<u>Proposed</u>
Total Sign Area (sq ft)	N/A	25	24.16
Sign Height (ft)	N/A	15	13' 8"
Total Number of Signs at Subject Parcel(s)	N/A	1	1 Freestanding
Front Setback (ft)	N/A	6	6
Side Setback (ft)	N/A	6	40
Side Setback (ft)	N/A	6	174

7. ZBA Variances and Special Permits:

NOTICE: Checking below does not constitute application for a special permit or a variance. The applicant must also file the proper application form and fee with the Zoning Board of Appeals.

☐ The applicant is also requesting a special permit from the ZBA:

Specify zoning code section & title:

☐ The applicant is also requesting a variance from the ZBA:

Specify zoning code section & title:

8. OWNERSHIP VERIFICATION

This section is to be completed & signed by the property owner:

I hereby authorize the following Applicant: Hunt Real Estate Services, Inc.

at the following address: 5100 W Kennedy Blvd. Suite 100, Tampa, FL 33609

to apply for: Site Plan Review for New Ground Sign

on premises located at: SW Corner of Swift and Orchard Streets

for which the record title stands in the name of: Clark's Cove Development Co, LLC

whose address is: 651 Orchard Street, New Bedford, MA 02744

by a deed duly recorded in the:

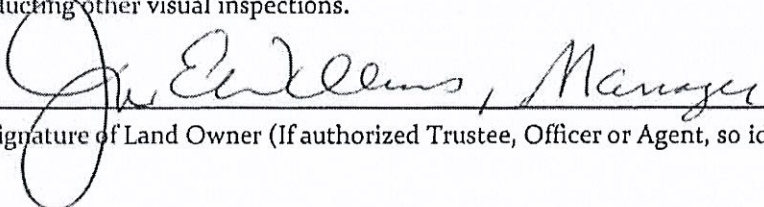
Registry of Deeds of County: Bristol Book: 2223 Page: 263

OR Registry District of the Land Court, Certificate No.: _____ Book: _____ Page: _____

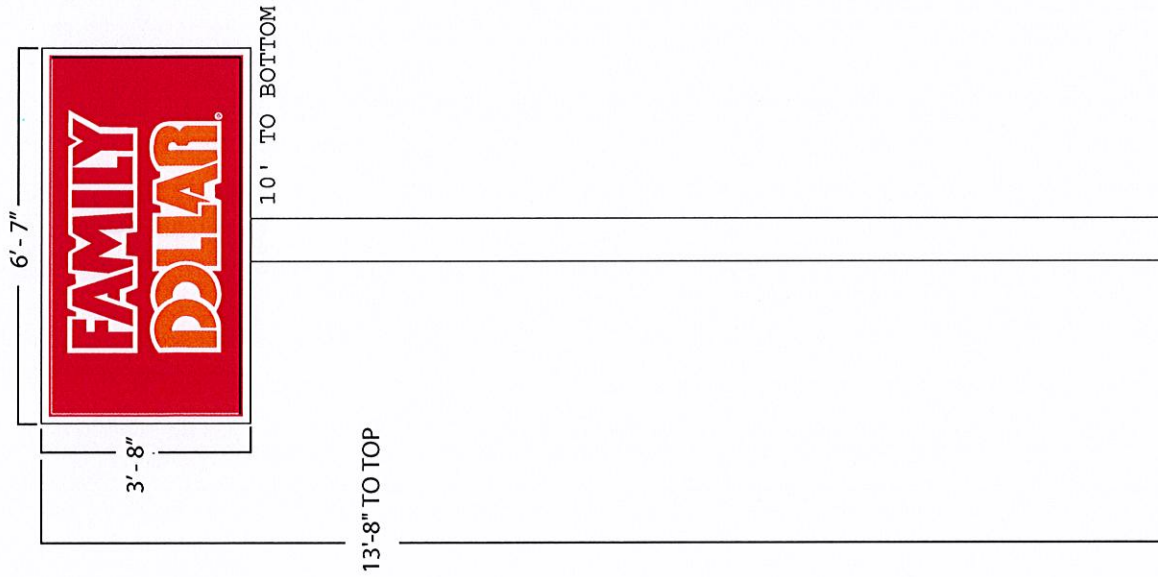
I/we acknowledge that all information presented herein is true to the best of my/our knowledge. I/we further understand that any false information intentionally provided or omitted is grounds for the revocation of the approval(s). I/we also give Planning Department staff and Planning Board Members the right to access the premises (both interior and exterior) at reasonable times and upon reasonable notice for the purpose of taking photographs and conducting other visual inspections.

11/12/14

Date

 J. Williams, Manager

Signature of Land Owner (If authorized Trustee, Officer or Agent, so identify)



GENERAL SPECIFICATIONS:

Materials: Extruded aluminum
 Face: 150 SG polycarbonate vacuum formed
 Face Decoration: 2nd surface
 Access: Remove face
 Area Squared: 24 Sq. Ft.
 Area Actual: 24 Sq. Ft.
 Weight (Est.):
 • TBE (uncrated)
 Wind Load: 120psf

ELECTRICAL

Illumination:
 • (18) GEDS 71 - 1 Power Strip LED
 Ballast/Power Supply:
 • (2) GEPS24-100V
 Line Load:
 • 2.2 Amps @ 100-240 VAC
 • (1) 20 Amp Circuit, 60 Hz UL 48 & NEC Compliant

COLORS:

Interior: Ptd. white
 Exterior: BASE, CABINET & RETAINERS - Ptd. AKSO NOBEL (GRIP GUARD PLUS) "Sign20134"
 Raceway: NA
 Face Graphics Color Specifications:
 "FAMILY" - AKSO NOBEL (GRIP FLEX) "Sign 10399"
 WHITE, "SIGN 0208 RED"
 "DOLLAR" - AKSO NOBEL (GRIP FLEX) "Sign 10399"
 White, "Sign 0209" ORANGE
 SYMBOL - AKSO NOBEL (GRIP FLEX) "Sign 10399"
 White ®

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Everbrite
 Everbrite LLC
 4949 S 110th Street, Greenfield, WI 53220
 Phone: 414-529-3500 • Fax: 414-529-7191
 Website: www.everbrite.com

Part No:
 Description: 24 Sq Ft Pylon Cabinet

Project No: 335537
 Date: 9/18/15
 Drawn By: DB

