

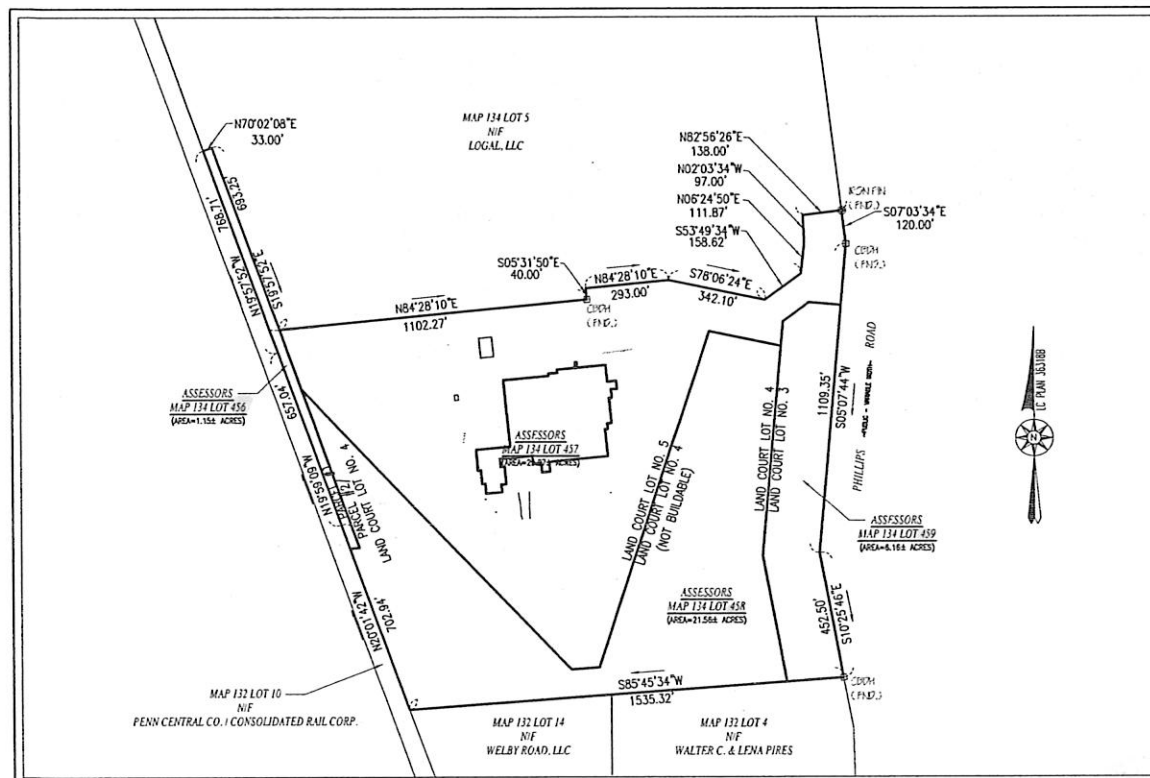
CITY CLERKS OFFICE  
NEW BEDFORD, MA  
2016 NOV 18 P 2:29  
CITY CLERK

# SITE PLAN MODIFICATION

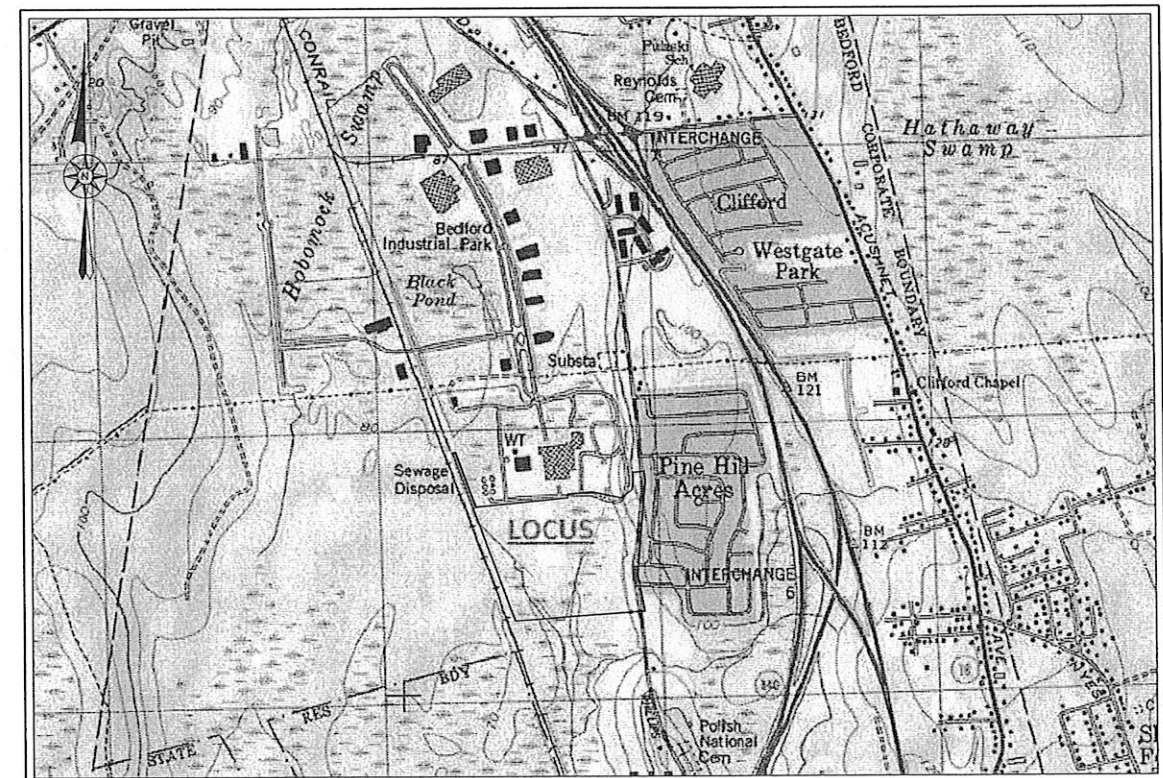
## 50 DUCHAINE BOULEVARD

### ASSESSORS MAP #134 LOTS #456, 457, 458, & 459

### NEW BEDFORD, MASSACHUSETTS



— OVERALL SITE MAP —  
SCALE: 1"=300'



— AREA MAP —  
SCALE: 1"=1,000'±

— ZONING DATA —			
DISTRICT: INDUSTRIAL C			
DESCRIPTION	REQUIRED	PROVIDED	
LOT AREA	0 S.F.	58.14 AC	58.14 AC
LOT FRONTAGE	0 FT	1681.85 FT	1681.85 FT
FRONT SETBACK	25 FT	756 FT	756 FT
SIDE SETBACK	25 FT	219 FT	219 FT
REAR SETBACK	25 FT	522 FT	522 FT
BUILDING HEIGHT (MAXIMUM)	100 FT	<100 FT	<100 FT
BUILDING COVERAGE (MAXIMUM)	50 %	6.0 %	6.0 %
LOT COVERAGE (MAXIMUM)	80 %	16.9 %	16.9 %
— PARKING REQUIREMENT —			
PRINCIPAL USE: ENERGY SUPPLIER CORPORATE OFFICES (FOR PARKING REGULATION PURPOSES: BUSINESS ENGAGED IN WAREHOUSING & DISTRIBUTION)			
REQUIREMENT	REQUIRED	PROVIDED	
1 SPACE PER 1,500 S.F. OF G.F.A. UP TO 15,000 S.F. THEREAFTER, ON ADDITIONAL SPACE FOR EACH 5,000 S.F. OR PORTION THEREOF IN EXCESS OF 15,000 S.F., PLUS ONE SPACE FOR EACH VEHICLE UTILIZED IN THE BUSINESS.	41 SPACES	208 SPACES	
WHEN 51-75 TOTAL PARKING SPACES ARE PROVIDED, 3 MUST BE ACCESSIBLE SPACES. ONE IN EVERY EIGHT ACCESSIBLE SPACES, BUT NOT LESS THAN ONE, SHALL BE VAN ACCESSIBLE.	3 ACCESSIBLE, 1 VAN ACCESSIBLE	5 ACCESSIBLE, 2 VAN ACCESSIBLE	

— INDEX —			
SHEET	DESCRIPTION	SHEET	DESCRIPTION
1	COVER	5	UTILITIES & GRADING
2	NOTES & LEGEND	6	LANDSCAPE
3	EXISTING CONDITIONS	7-8	DETAILS
4	LAYOUT	9	MODIFICATION PLAN

RECORD OWNER:  
ASSESSORS MAP 134  
LOTS 456, 457, 458, & 459  
NSTAR ELECTRIC CO.  
A.K.A. EVERSOURCE ENERGY  
247 STATION DRIVE  
WESTWOOD, MA 02090  
LC CERT(S): 23855 & 24085

REVISIONS

www.FarlandCorp.com

401 COUNTY STREET  
NEW BEDFORD, MA 02740  
P.508.717.3479  
OFFICES IN:  
•TAUNTON  
•MARLBOROUGH  
•WARWICK, RI

DRAWN BY: JKM/MJW  
DESIGNED BY: CAF  
CHECKED BY: CAF

SITE PLAN  
50 DUCHAINE BLVD  
ASSESSORS MAP 134 LOTS 456, 457, 458 & 459  
NEW BEDFORD, MASSACHUSETTS  
PREPARED FOR:  
EVERSOURCE ENERGY  
PO BOX 100085 - N2  
DULUTH, GA 30096

NOVEMBER 18, 2016  
SCALE: AS NOTED  
JOB NO. 15-500  
LATEST REVISION:  
COVER SHEET  
SHEET 1 OF 9

## GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY AND OBTAIN ANY NECESSARY PERMITS AND "DUG SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
2. PROPERTY LINE INFORMATION TAKEN FROM:
  - PLAN ENTITLED: "PLAN OF LAND IN NEW BEDFORD, MASS., SURVEYED FOR POLAROID CORPORATION", DATED JUNE 10, 1969 BY TIBBETS ENGINEERING CORP. (PLAN BOOK 81, PAGE 78), AND
  - LAND COURT PLAN 36318C, ENTITLED: "SUBDIVISION PLAN OF LAND IN NEW BEDFORD", BY CULLINAN ENGINEERING CO., INC., SURVEYORS, DATED JANUARY 6, 2009 (LAND COURT CERTIFICATE OF TITLE NO. 22029).
3. TOPOGRAPHIC SURVEY PERFORMED BY THOMPSON FARLAND, INC. IN SEPTEMBER 2015.
4. WETLAND DELINEATION BY FARLAND CORP. IN JANUARY 2016.
5. VERTICAL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988 AND HORIZONTAL LOCATIONS REFER TO THE NORTH AMERICAN DATUM (NAD) OF 1983.
6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL STANDARDS AND REGULATIONS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.
8. WHERE PROPOSED PAVEMENT AND WALKS ARE TO MEET EXISTING, THE CONTRACTOR SHALL SAWCUT A NEAT LINE AND MATCH GRADE. SEAL ALL JOINTS WITH HOT BITUMINOUS ASPHALT JOINT SEALER.
9. CURBING TO BE AS INDICATED ON THE PLANS.
10. ALL EXISTING TREES, SHRUBS AND GROUND COVER WHERE NATURAL GRADE IS TO BE RETAINED SHALL BE KEPT IN THEIR EXISTING STATE UNLESS REMOVAL IS REQUIRED FOR CONSTRUCTION PURPOSES.
11. ALL AREAS DISTURBED BY CONSTRUCTION AND NOT TO BE PAVED OR OTHERWISE TREATED AS NOTED ON PLAN SHALL BE TREATED WITH 4" OF LOAM, SEEDED AND HAY MULCHED FOR EROSION CONTROL.
12. SITE IMPROVEMENTS SHALL CONFORM TO A.D.A. SPECIFICATIONS.
13. LIGHTING SHALL BE DIRECTED ON SITE AND AWAY FROM TRAFFIC INTERFERENCE.
14. TEST PITS AND/OR BORINGS WERE TAKEN FOR THE PURPOSE OF DESIGN AND SHOW CONDITIONS AT BORING POINTS ONLY. THEY DO NOT NECESSARILY SHOW THE NATURE OF ALL MATERIALS TO BE ENCOUNTERED DURING CONSTRUCTION.
15. THE CONTRACTOR SHALL PROTECT AND/OR CAP OFF ALL EXISTING ON-SITE UTILITY SERVICES ACCORDING TO THE LOCAL AUTHORITY'S SPECIFICATIONS. SERVICES SHALL BE CAPPED OFF WHERE SAME ENTER THE PERIMETER OF THE PROPERTY LINE.
16. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
17. ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION. THESE PLANS ARE PERMITTING PLANS AND SHALL NOT TO BE USED FOR CONSTRUCTION. A FINAL SET OF STAMPED PLANS FOR CONSTRUCTION WILL BE ISSUED AFTER RECEIVING FINAL APPROVAL FROM THE LOCAL AND/OR STATE DEPARTMENTS.
18. ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO WORK BEING PERFORMED.
19. ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
20. ALL HANDICAP PARKING, RAMPS, AND ACCESS SHALL CONFORM TO A.B. & M.B. REQUIREMENTS.
21. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO CITY OF NEW BEDFORD CONSERVATION COMMISSION REQUIREMENTS AS STATED IN THE ORDER OF CONDITIONS.
22. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS.
23. THE CONTRACTOR SHALL OBTAIN A STREET DISTURBANCE & OBSTRUCTION PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE RIGHT OF WAY.
24. ALL WATER AND SEWER MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
25. ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF NEW BEDFORD BEFORE BEING BACKFILLED.
26. THE CITY SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE REQUIRED INSPECTIONS.

## CONSTRUCTION SEQUENCING NOTES

1. CONSTRUCT TEMPORARY AND PERMANENT EROSION CONTROL FACILITIES. EROSION CONTROL FACILITIES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING.
2. TREE PROTECTION FENCE SHALL BE INSTALLED AND APPROVED BY THE OWNER REPRESENTATIVE PRIOR TO ANY EARTH MOVING.
3. ALL PERMANENT DITCHES AND SWALES ARE TO BE STABILIZED WITH VEGETATION OR RIP RAP PRIOR TO DIRECTING RUNOFF TO THEM.
4. CLEAR CUT, DEMOLISH AND DISPOSE OF EXISTING SITE ELEMENTS NOT TO REMAIN.
5. STORMWATER SHALL NOT BE DIRECTED TOWARDS THE INFILTRATION BASINS UNTIL THE ENTIRE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
6. GRADE AND GRAVEL ALL PAVED AREAS. ALL PROPOSED PAVED AREAS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
7. BEGIN ALL PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED IMMEDIATELY AFTER THEIR CONSTRUCTION.
8. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES AND MULCH AND SEED AS REQUIRED.
9. FINISH PAVING ALL HARD SURFACE AREAS.
10. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES.
11. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
12. REMOVE TEMPORARY EROSION CONTROL MEASURES.
13. THE CONSTRUCTION SEQUENCE SHALL BE CONFINED TO THE LIMIT OF WORK AS SHOWN ON THE DRAWINGS.
14. UPON COMPLETION OF CONSTRUCTION THE OWNER SHALL AGREE TO MAINTAIN AND CLEAN ALL DRAINAGE STRUCTURES AS REQUIRED.

## SITE PREPARATION NOTES

1. WITHIN THE LIMIT OF WORK LINE AS NOTED ON THE SITE PLANS, REMOVE AND DISCARD ALL CONCRETE PAVEMENT, BITUMINOUS CONCRETE PAVEMENT, BRICK PAVEMENT, TOP SOIL, MULCH, TRASH, DEAD TREES AND STUMPS, SHRUBBERY, CHAIN LINK FENCE POSTS, RAILS, FENCE, GATES, FOOTINGS AND ALL APPURTENANCES, BOLLARDS, POSTS, CONCRETE FOOTINGS AND FOUNDATIONS, WALLS AND CURBS UNLESS OTHERWISE NOTED.
2. THE OWNER'S REPRESENTATIVE SHALL BE CONSULTED AND WILL REVIEW THE WORK ON SITE WITH THE CONTRACTOR BEFORE ANY WORK SHALL COMMENCE.
3. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO STARTING WORK.
4. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS TO REMAIN THAT ARE DUE TO CONTRACTOR OPERATIONS.
5. ALL ITEMS TO BE REMOVED THAT ARE NOT STOCKPILED FOR LATER REUSE ON THE PROJECT OR DELIVERED TO THE OWNER SHALL BE LEGALLY DISPOSED OF OFF SITE BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS EFFORTS OF THE DEMOLITION WITH ALL TRADES.
7. THE CONTRACTOR SHALL COORDINATE ALL ADJUSTMENT OR ABANDONMENT OF UTILITIES WITH THE RESPECTIVE UTILITY COMPANY.
8. THE CONTRACTOR SHALL MAINTAIN OR ADJUST TO NEW FINISH GRADES AS NECESSARY ALL UTILITY AND SITE STRUCTURES SUCH AS LIGHT POLES, SIGN POLES, MANHOLES, CATCH BASINS, HAND HOLES, WATER AND GAS GATES, HYDRANTS, ETC., FROM MAINTAINED UTILITY AND SITE SYSTEMS UNLESS OTHERWISE NOTED OR DIRECTED BY THE OWNER'S REPRESENTATIVE.

## UTILITY AND GRADING NOTES

1. ALL ON-SITE STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) OR RCP, UNLESS NOTED OTHERWISE.
2. HDPE PIPE SHALL CONFORM WITH AASHTO DESIGNATIONS M294 AND M252, SHALL BE MANUFACTURED WITH HIGH DENSITY POLYETHYLENE PLASTIC AND SHALL BE ADS M-12 PIPE AS MANUFACTURED BY ADVANCE DRAINAGE SYSTEM, INC. OR HANCOCK H D PIPE AS MANUFACTURED BY HANCO, INC. OR APPROVED EQUAL UNLESS OTHERWISE NOTED OR DETAIL.
3. BEFORE THE DEVELOPMENT SITE IS GRADED, THE AREA OF THE DRAINAGE BASINS SHOULD BE FENCED OFF TO PREVENT HEAVY EQUIPMENT FROM COMPACTING THE UNDERLYING SOIL.
4. WHERE PROPOSED GRADES MEET EXISTING GRADES, CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. PONDING AT TRANSITION AREAS WILL NOT BE ALLOWED.
5. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS AND STRUCTURES.
6. MAXIMUM SLOPE IN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
7. CONTRACTOR SHALL VERIFY EXISTING GRADES AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
8. CONTRACTOR SHALL ADJUST UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
9. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE OWNER'S REPRESENTATIVE FOR RESOLUTION OF THE CONFLICT.
10. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ALL GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
11. THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY AND APPROVED BY THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE AND ELECTRICAL). FINAL DESIGN AND LOCATIONS AT THE BUILDING WILL BE PROVIDED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE UTILITY CONNECTIONS WITH THE RESPECTIVE COMPANIES PRIOR TO ANY UTILITY CONSTRUCTION.

## LAYOUT AND MATERIAL NOTES

1. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
2. ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
3. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAILS CONTIGUOUS TO THE BUILDING INCLUDING SIDEWALKS, RAMPS, UTILITY ENTRANCE LOCATIONS, WALL PACKS, CONCRETE DOOR PADS, ROOF DRAINS, ETC.
4. ACCESSIBLE CURB RAMPS SHALL BE PER THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD AND THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES, WHICH IS MORE STRINGENT.
5. THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN:
  - ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING.
  - ALL DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE.
  - ALL DIMENSIONS ARE TO CENTER OF PAVEMENT MARKINGS.
  - ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.

## GENERAL PLANTING NOTES

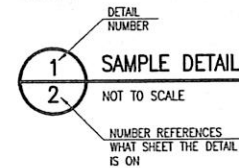
1. ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN OR THE PLANT MATERIAL WILL BE UNACCEPTABLE. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY, SIZE AND BE CERTIFIED DISEASE AND INSECT FREE. THE OWNER AND/OR THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO APPROVE ALL PLANT MATERIAL ON SITE PRIOR TO INSTALLATION.
2. ALL PLANT MATERIAL SHALL BE PROPERLY GUYED, STAKED, WRAPPED, AND PLANTED IN CONFORMANCE WITH THE TYPICAL PLANTING DETAILS. GUY WIRES SHALL BE ATTACHED TO THE TREE AT A HEIGHT OF TWO-THIRDS THE HEIGHT OF THE TREE AND SHOULD BE LOCATED AT POINTS SO AS NOT TO SPLIT THE TRUNK OF MULTI-STEMMED TREES. PROVIDE THREE STAKES PER TREE UNLESS NOTED OTHERWISE. INSTALL ALL PLANT MATERIAL ON UNDISTURBED GRADE. PROVIDE BURLAP WRAPPING WITH A 50% OVERLAP. CUT AND REMOVE BURLAP FROM TOP ONE-THIRD OF THE ROOT BALL.
3. PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. BACKFILL PLANTING PITS WITH ONE PART EACH OF TOP SOIL, PEAT MOSS, AND PARENT MATERIAL. IF WET SOIL CONDITIONS EXIST THEN PLANTING PITS SHALL BE EXCAVATED AN ADDITIONAL 12" AND FILLED WITH SAND.
4. NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF INSTALLATION AND SHALL BE SUBSEQUENTLY FLOODED TWICE WITHIN TWENTY-FOUR (24) HOURS OF PLANTING. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT, GROWTH AND SURVIVAL OF ALL PLANTS.
5. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER THE DATE OF FINAL ACCEPTANCE. ANY PLANT MATERIAL THAT DIES WITHIN THAT TIME PERIOD SHALL BE REMOVED, INCLUDING THE STUMP, AND REPLACED WITH MATERIAL OF SIMILAR SIZE AND SPECIES AT THE EXPENSE OF THE DEVELOPER. THE REPLACED PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER THE REPLACEMENT DATE.
6. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM 4" LAYER OF TOPSOIL IN ALL LAWN AREAS AND A MINIMUM OF 6" OF TOPSOIL IN ALL PLANTING AREAS. A FULL SOIL ANALYSIS SHALL BE CONDUCTED AFTER CONSTRUCTION AND PRIOR TO PLANTING TO DETERMINE THE EXTENT OF SOIL AMENDMENT REQUIRED.
7. ALL DISTURBED LAWN AREAS SHALL BE STABILIZED WITH EITHER SOO OR SEED AS INDICATED ON THE LANDSCAPE PLANS. SEED SHALL CONSIST OF THE MIXTURE LISTED IN THE GENERAL SEEDING NOTES. ALL DISTURBED LAWN AREAS SHALL BE TOP SOILED, LIMED, FERTILIZED, AND FINE GRADED PRIOR TO LAWN INSTALLATION.
8. ALL PLANTING BEDS SHALL RECEIVE 3" OF SHREDDED PINE, CEDAR OR HEMLOCK BARK.
9. ALL SHRUB MASSES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS.
10. ALL TREES ARE TO BE GUYED, 3 EACH, UNLESS OTHERWISE NOTED ON PLAN.
11. ALL DECIDUOUS TREES ARE TO BE WRAPPED, WITH TREE WRAP, UP TO THE FIRST BRANCHING AND SECURED.
12. THE LANDSCAPE CONTRACTOR IS TO PERFORM ALL CONTRACTED WORK IN A REASONABLE PERIOD OF CONTINUOUS WORK.
13. THE LANDSCAPE CONTRACTOR IS TO MAINTAIN PLANT MATERIAL WHILE THE PROJECT IS UNDERWAY AND FOR A PERIOD OF TWO WEEKS AFTER THE COMPLETION OF THE PROJECT UNLESS OTHERWISE SPECIFIED.
14. THE CONTRACTOR IS TO CLEAN UP AND REMOVE ANY DEBRIS FROM THE SITE, CAUSED BY THE LANDSCAPE CONTRACTOR.

## SOIL EROSION AND SEDIMENT CONTROL NOTES

1. THE CONSERVATION COMMISSION SHALL BE NOTIFIED, AT LEAST 72 HOURS PRIOR TO ANY LAND DISTURBANCE.
2. A COPY OF THE SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED ON THE PROJECT SITE DURING CONSTRUCTION.
3. SOIL EROSION AND SEDIMENT CONTROL PRACTICES IN THE PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
4. ALL APPLICABLE SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY DEMOLITION GRADING OPERATIONS AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
5. ALL APPLICABLE SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND/OR THE AREA IS STABILIZED.
6. ALL SOIL EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
7. THE MAINTENANCE OF SOIL EROSION AND SEDIMENT CONTROL MEASURES AND FACILITIES DURING AND IMMEDIATELY AFTER CONSTRUCTION RESTS WITH THE GENERAL CONTRACTOR. UPON ACCEPTANCE OF THE PROJECT, THE OWNER SHALL BECOME RESPONSIBLE FOR MAINTENANCE OF ANY REMAINING MEASURES AND FACILITIES.
8. OFF SITE SEDIMENT DISTURBANCE MAY REQUIRE ADDITIONAL CONTROL MEASURES TO BE DETERMINED BY THE ENGINEER.
9. THE CONSERVATION COMMISSION AND/OR ENGINEER MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR.
10. ADJOINING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS AT ALL TIMES.
11. THE CONTRACTOR SHALL UTILIZE ALL METHODS NECESSARY TO PREVENT BLOWING AND MOVEMENT OF DUST FROM THE EXPOSED SOIL SURFACES.
12. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
13. A CRUSHED STONE TIRE CLEANSING PAD WILL BE INSTALLED WHEREVER A CONSTRUCTION ENTRANCE EXISTS. SEE LOCATION DETAIL ON PLAN.
14. ALL CATCH BASIN INLETS SHALL BE PROTECTED DURING CONSTRUCTION AS DETAILED ON THE PLAN, IF APPLICABLE.
15. ALL STORM DRAINAGE OUTLETS SHALL BE PROTECTED AS REQUIRED HEREON BEFORE DISCHARGE POINTS BECOME OPERATIONAL.
16. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
17. LAND AREAS EXPOSED AT ANY ONE TIME AND THE LENGTH OF EXPOSURE SHALL BE KEPT TO A PRACTICAL MINIMUM. THEY SHALL BE LEFT IN A NEAT AND FINISHED APPEARANCE AND PROTECTED FROM EROSION.
18. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN SIXTY (60) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND FERTILIZATION. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS SHALL BE MULCHED.
19. ALL CRITICAL AREAS SUBJECT TO EROSION SHALL RECEIVE A TEMPORARY SEEDING AND BE MULCHED IN ACCORDANCE WITH THE SPECIFICATIONS IMMEDIATELY FOLLOWING ROUGH GRADING.
20. IMMEDIATELY AFTER COMPLETION OF STRIPPING AND STOCKPILING OF TOPSOIL, SEED THE STOCKPILE WITH ANNUAL RYE GRASS. STABILIZE TOPSOIL STOCKPILES WITH STRAW MULCH FOR PROTECTION IF THE SEASON DOES NOT PERMIT THE APPLICATION AND ESTABLISHMENT OF TEMPORARY SEEDING.
21. SOIL STOCKPILES ARE NOT TO BE LOCATED WITHIN FIFTY (50) FEET OF WETLANDS, THE FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITIES. THE BASE OF ALL STOCKPILES SHALL BE PROTECTED BY A HAY BALE BARRIER OR SEDIMENT FENCE. LOCATIONS ARE DELINEATED ON THE PLAN.
22. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
23. ALL AREAS NOT STABILIZED BY CONSTRUCTION, SODDING OR LANDSCAPING SHALL BE SEEDED AND STABILIZED IN ACCORDANCE WITH THE SEEDING AND MULCHING SPECIFICATIONS.
24. MULCHING IS REQUIRED ON ALL SEEDED AREAS TO INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED TO PROMOTE EARLY VEGETATIVE COVER.
25. ALL DOWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTRATION DEVICE. THE SEDIMENT FILTER MUST BE CAPABLE OF FILTERING THE SEDIMENT AND BE PLACED SO AS NOT TO CAUSE EROSION OF THE DOWNSTREAM AREA.

## LEGEND

	PROPOSED
CONTOUR LINE	101
SPOT GRADE	+101.3
EDGE OF PAVEMENT	EOP
VERTICAL GRANITE CURB	VGC
SLOPED GRANITE CURB	SGC
VERTICAL CONCRETE CURB	VCC
BITUMINOUS CONCRETE CURB	BCC
CAPE COD BERM	CCB
STONE WALL	
CHAIN LINK FENCE	X X
IRON FENCE	Δ Δ
POST & RAIL FENCE	○ ○
STOCKADE FENCE	□ □
GUARD RAIL	
HAY BALES	-W -W-
WATER LINE	
FIRE HYDRANT	⊙
POST INDICATOR VALVE	~
WATER GATE	
WATER METER PIT	
IRRIGATION HAND HOLE	
WELL	
SEWER LINE	
SEWER MANHOLE	
GAS LINE	
GAS METER	
GAS GATE	
DRAIN LINE	
DRAIN MANHOLE	
CATCH BASIN	
OVERHEAD WIRES	
ELECTRIC, TELEPHONE & CABLE	
UTILITY POLE	
GUY WIRE	



## REVISIONS

NO.	DESCRIPTION	DATE



www.FarlandCorp.com

401 COUNTY STREET  
NEW BEDFORD, MA 02740  
P.508.717.3479

OFFICES IN:

•TAUNTON  
•MARLBOROUGH  
•WARWICK, RI

DRAWN BY: JKM/MJW

DESIGNED BY: CAF

CHECKED BY: CAF

SITE PLAN  
50 DUCHAINE BLVD  
ASSESSORS MAP 134 LOTS 456, 457, 458 & 459  
NEW BEDFORD, MASSACHUSETTS

EVERSOURCE ENERGY  
PO BOX 100085 - N2  
DULUTH, GA 30096  
PREPARED FOR:

NOVEMBER 18, 2016

SCALE: N.T.S.

JOB NO. 15-500

LATEST REVISION:

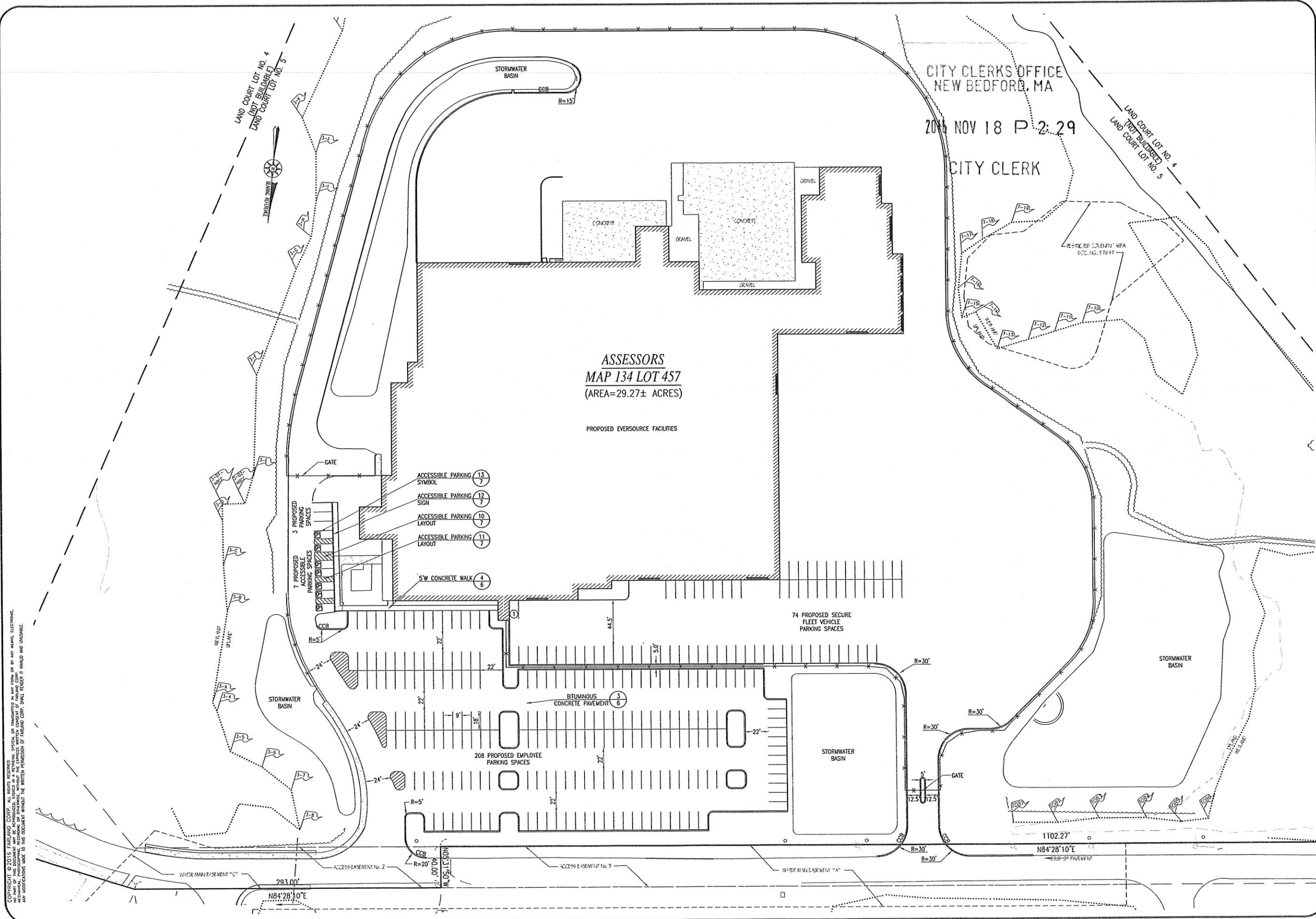
NOTES & LEGEND

SHEET 2 OF 9





COPYRIGHT © 2016 FARLAND CORP. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE EXPRESS WRITTEN CONSENT OF FARLAND CORP. ANY INDICATIONS MADE TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF FARLAND CORP. SHALL RENDER IT INVALID AND UNUSABLE.



REVISIONS

**FARLAND**  
CORP.

www.FarlandCorp.com

401 COUNTY STREET  
NEW BEDFORD, MA 02740  
P.508.717.3479  
OFFICES IN:  
•TAUNTON  
•MARLBOROUGH  
•WARWICK, RI

DRAWN BY: JKM/MJW  
DESIGNED BY: CAF  
CHECKED BY: CAF

SITE PLAN

50 DUCHAINE BLVD  
ASSESSORS MAP 134 LOTS 456, 457, 458 & 459  
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:  
EVERSOURCE ENERGY  
PO BOX 100085 - N2  
DULUTH, GA 30096

NOVEMBER 18, 2016

SCALE: 1"=40'

JOB NO. 15-500

LATEST REVISION:

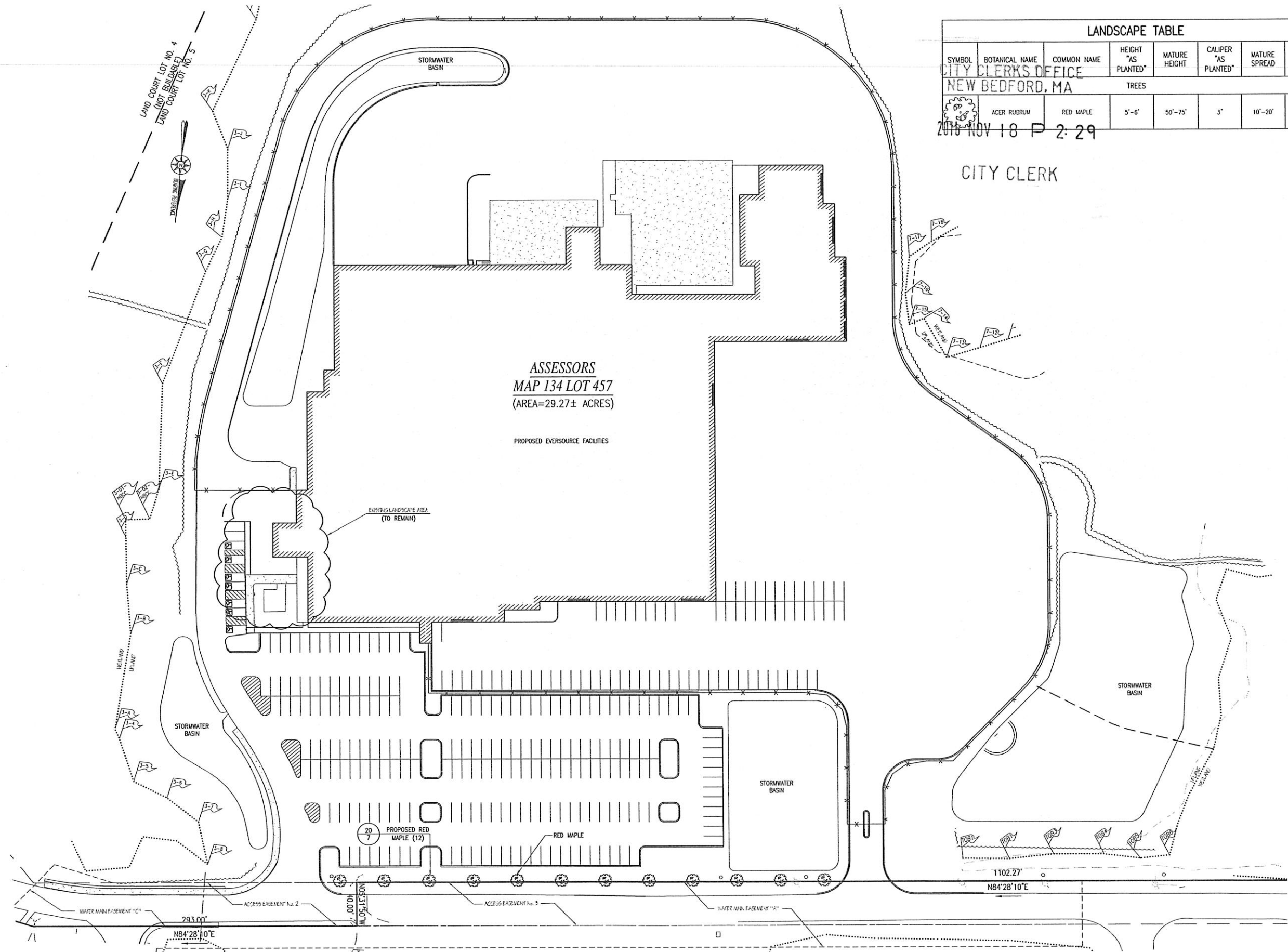
LAYOUT

SHEET 4 OF 9





COPYRIGHT © 2016 FARLAND CORP. ALL RIGHTS RESERVED.  
THIS SITE PLAN AND ANY INFORMATION CONTAINED HEREIN IS THE PROPERTY OF FARLAND CORP. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE, WITHOUT THE EXPRESS WRITTEN PERMISSION OF FARLAND CORP. ANY VIOLATION OF THIS COPYRIGHT SHALL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.



LANDSCAPE TABLE							
SYMBOL	BOTANICAL NAME	COMMON NAME	HEIGHT "AS PLANTED"	MATURE HEIGHT	CALIPER "AS PLANTED"	MATURE SPREAD	QUANTITY
TREES							
	ACER RUBRUM	RED MAPLE	5'-6'	50'-75'	3"	10'-20'	7

2016 NOV 18 P 2:29

CITY CLERK

REVISIONS



www.FarlandCorp.com

401 COUNTY STREET  
NEW BEDFORD, MA 02740  
P.508.717.3479  
OFFICES IN:  
•TAUNTON  
•MARLBOROUGH  
•WARWICK, RI

DRAWN BY: JKM/MJW  
DESIGNED BY: CAF  
CHECKED BY: CAF

SITE PLAN  
50 DUCHAINE BLVD  
ASSESSORS MAP 134 LOTS 456, 457, 458 & 459  
NEW BEDFORD, MASSACHUSETTS  
PREPARED FOR:  
EVERSOURCE ENERGY  
PO BOX 10008  
DULUTH, GA 30096

NOVEMBER 18, 2016

SCALE: 1"=40'

JOB NO. 15-500

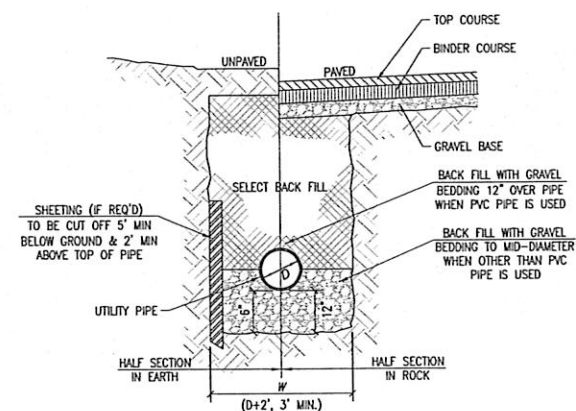
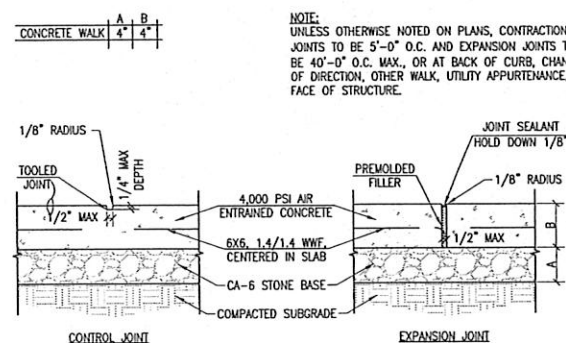
LATEST REVISION:

LANDSCAPE

SHEET 6 OF 9

Case 37-16  
11/18/2016

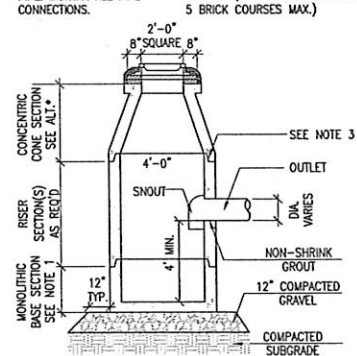




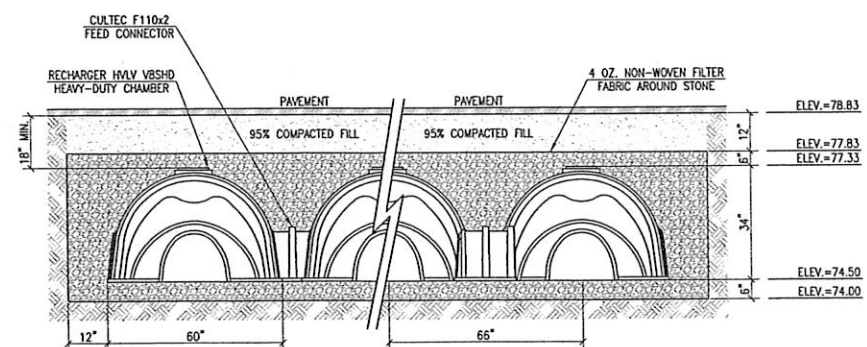
5 UTILITY TRENCH  
6 NOT TO SCALE

NOTES:

1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
2. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 1" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
3. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
4. MANHOLE FRAME SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR. (2 BRICK COURSES MIN. 5 BRICK COURSES MAX.)



8 CULTEC RECHARGER V8HD HEAVY DUTY CROSS SECTION  
6 NOT TO SCALE

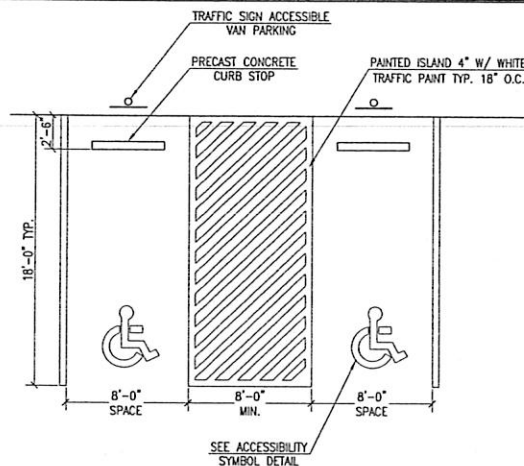


PREPARED FOR: EVERSOURCE ENERGY  
PO BOX 100085 - N2  
DULUTH, GA 30096  
 SILE PLAN 50 DUCHAINE BLVD  
 ASSESSORS MAP 134 LOTS 456, 457, 458 & 459  
 NEW BEDFORD, MASSACHUSETTS

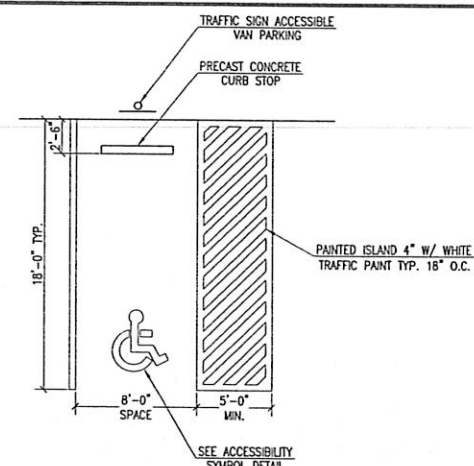
NOVEMBER 18, 2016
SCALE: N.T.S.
JOB NO. 15-500
LATEST REVISION:

DETAIL

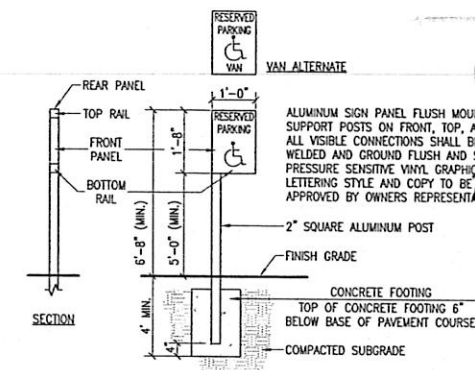
SHEET 7 OF 9



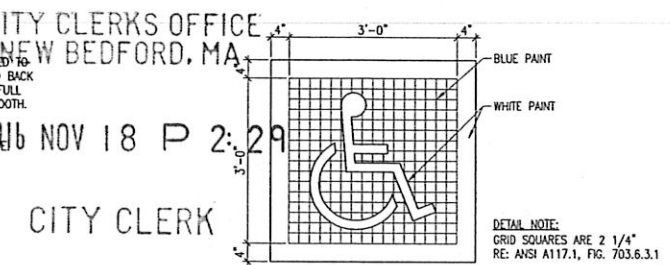
10 ACCESSIBLE PARKING LAYOUT  
7 NOT TO SCALE



11 ACCESSIBLE PARKING LAYOUT  
7 NOT TO SCALE

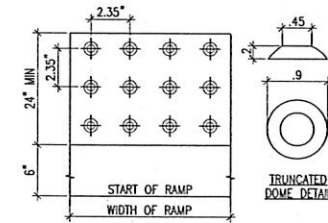


12 ACCESSIBLE PARKING SIGN  
7 NOT TO SCALE

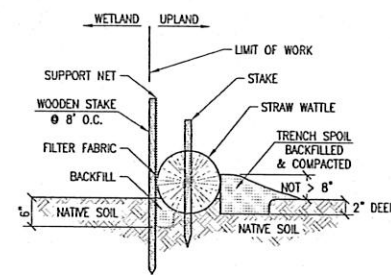


13 ACCESSIBLE PARKING SYMBOL  
7 NOT TO SCALE

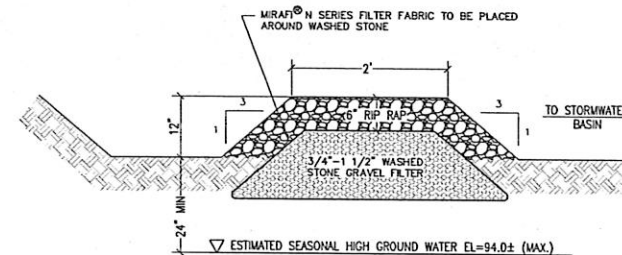
NOTES:  
1. COLOR OF TACTILE DETECTABLE WARNINGS SHALL BE YELLOW.  
2. CONTRACTOR SHALL INSTALL TILE PER MANUFACTURER'S SPECIFICATIONS.  
3. PREFERRED PRODUCT SHALL BE REPLACEABLE (WET-SET) COMPOSITE TACTILE BY ADA SOLUTIONS, INC. FOR PRICING QUOTATIONS, PLACING ORDERS, AND FURTHER INFORMATION, CALL JOHN MEHLMAN, EAST REGIONAL ACCOUNT DIRECTOR FOR ADA SOLUTIONS, INC. AT (800) 372-0519 or (978) 262-9900. DETAILED INFORMATION IS AVAILABLE AT [www.odotile.com](http://www.odotile.com).



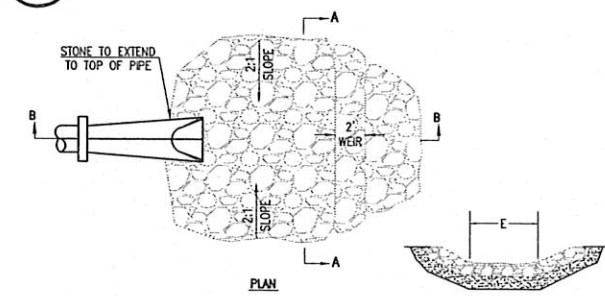
14 DETECTABLE WARNING DETAIL  
7 NOT TO SCALE



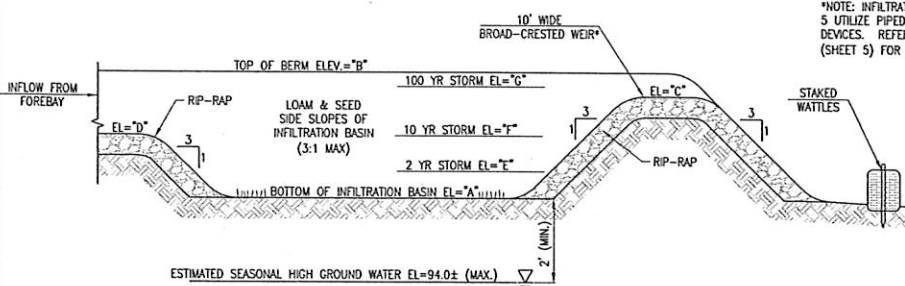
15 STAKED STRAW WATTLE WITH SILT FENCE  
7 NOT TO SCALE



16 SEDIMENT FOREBAY W/ GRAVEL FILTER  
7 NOT TO SCALE

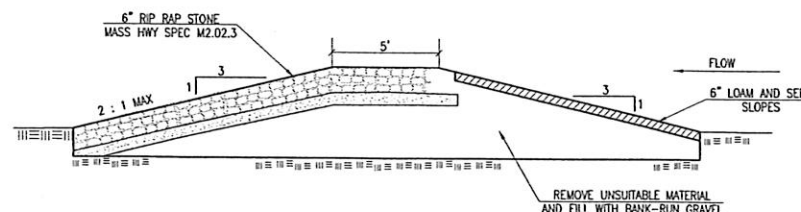


17 FLARED END OUTLET  
7 NOT TO SCALE

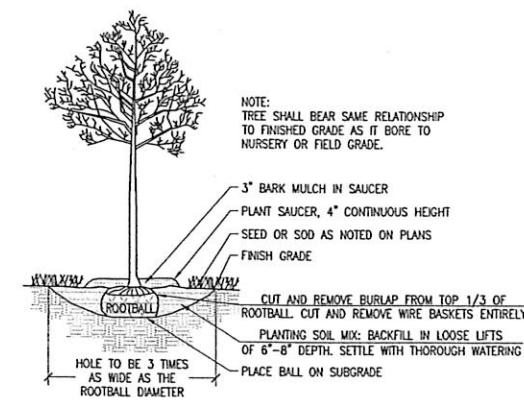


DETENTION BASIN	*A*	*B*	*C*	*D*	*E*	*F*	*G*
1	76.00	78.60	78.10	79.20	77.23	77.66	78.10
2	76.00	78.50	77.51	N/A	76.48	76.81	77.51
3	76.00	79.00	77.75	N/A	77.59	77.90	78.07
4	76.00	79.00	*	79.20	77.93	78.26	78.61

18 INFILTRATION BASIN  
7 NOT TO SCALE



19 OVERFLOW SPILLWAY DETAIL  
7 NOT TO SCALE



20 TREE PLANTING  
7 NOT TO SCALE

REVISIONS

www.FarlandCorp.com

401 COUNTY STREET  
NEW BEDFORD, MA 02740  
P.508.717.3479  
OFFICES IN:  
•TAUNTON  
•MARLBOROUGH  
•WARWICK, RI

DRAWN BY: JKM/MJW  
DESIGNED BY: CAF  
CHECKED BY: CAF

SITE PLAN  
50 DUCHAINE BLVD  
ASSESSORS MAP 134 LOTS 456, 457, 458 & 459  
NEW BEDFORD, MASSACHUSETTS

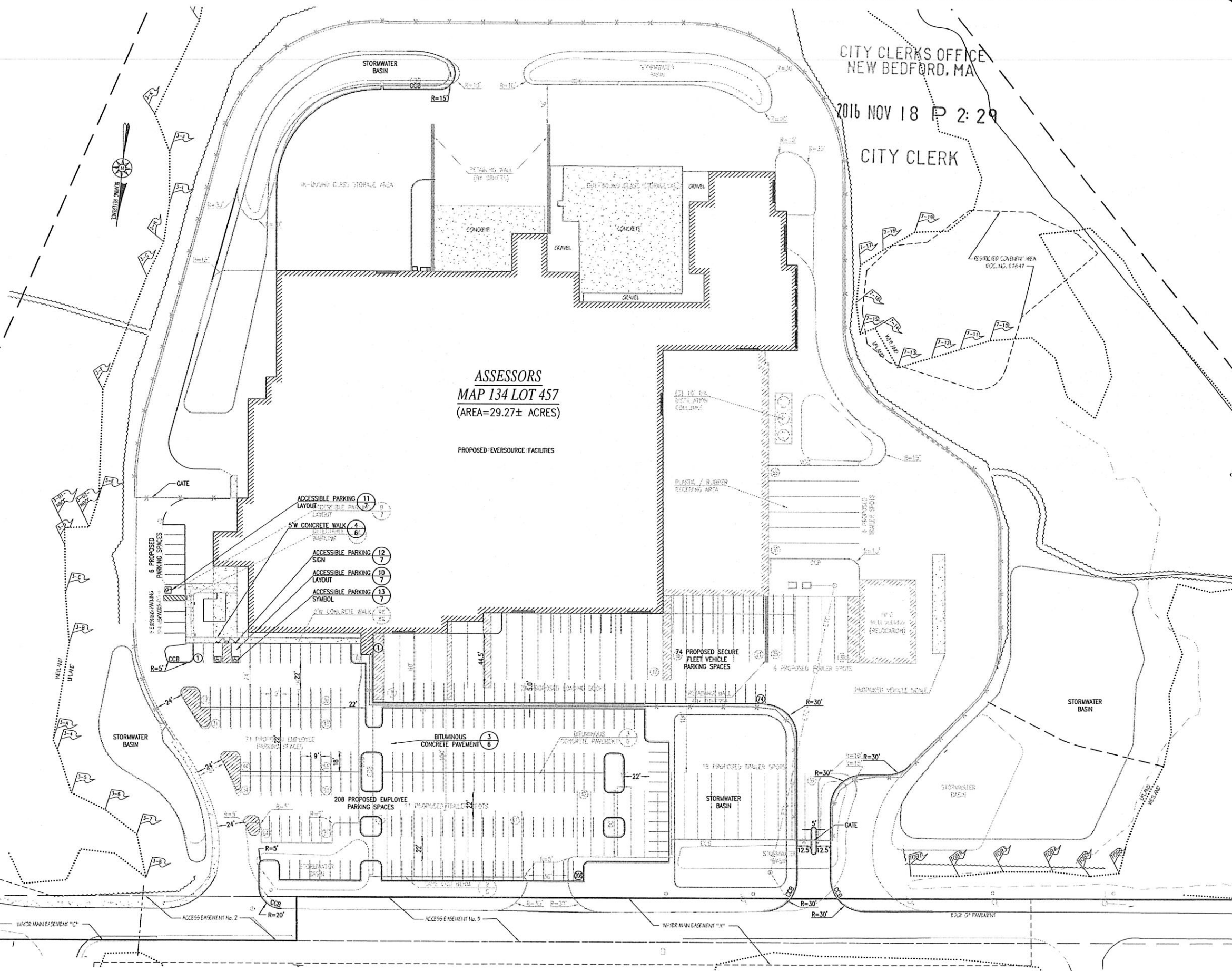
PREPARED FOR:  
EVERSOURCE ENERGY  
PO BOX 100085 - N2  
DULUTH, GA 30095

NOVEMBER 18, 2016  
SCALE: N.T.S.  
JOB NO. 15-500  
LATEST REVISION:

DETAIL  
SHEET 8 OF 9



COPYRIGHT © 2016 FARLAND CORP. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT OR ANY INFORMATION CONTAINED HEREIN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF FARLAND CORP. SHALL BE SUBJECT TO A WRITING. ANY VIOLATION OF THIS AGREEMENT SHALL BE SUBJECT TO THE WRITING PERMISSION OF FARLAND CORP. SHALL BE SUBJECT TO A WRITING.



ASSESSORS  
MAP 134 LOT 457  
(AREA=29.27± ACRES)

PROPOSED EVERSOURCE FACILITIES

CITY CLERK'S OFFICE  
NEW BEDFORD, MA

2016 NOV 18 P 2:29

CITY CLERK

REVISIONS



www.FarlandCorp.com

401 COUNTY STREET  
NEW BEDFORD, MA 02740  
P.508.717.3479

OFFICES IN:

- TAUNTON
- MARLBOROUGH
- WARWICK, RI

DRAWN BY: JKM/MJW

DESIGNED BY: CAF

CHECKED BY: CAF

SITE PLAN

50 DUCHAINE BLVD

ASSESSORS MAP 134 LOTS 456, 457, 458 & 459  
NEW BEDFORD, MASSACHUSETTS

EVERSOURCE ENERGY  
PO BOX 100085 - N2  
DULUTH, GA 30096

NOVEMBER 18, 2016

SCALE: 1"=40'

JOB NO. 15-500

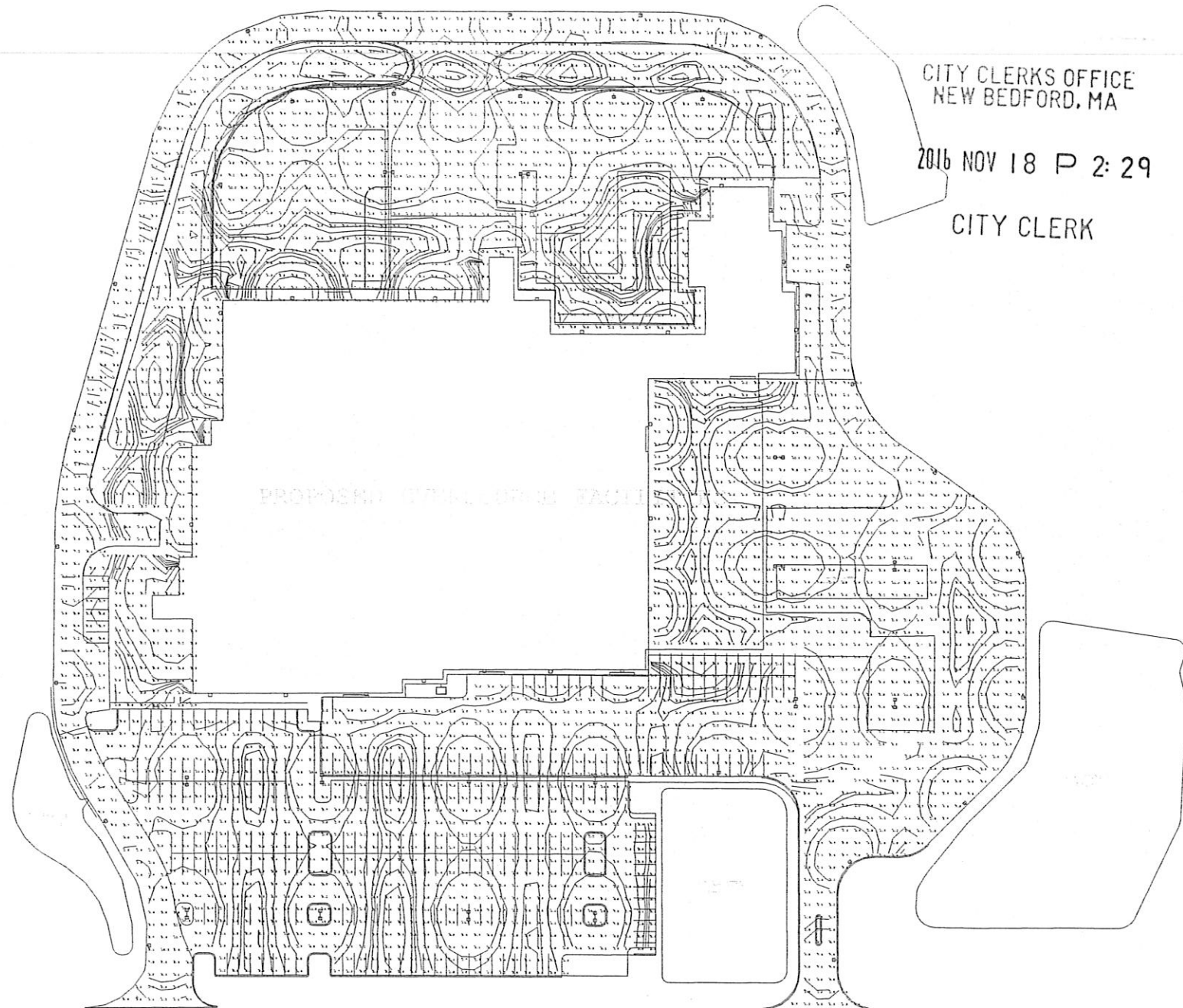
LATEST REVISION:

MODIFIED LAYOUT  
PLAN

SHEET 9 OF 9

Case 37-16

11/18/2016



CITY CLERKS OFFICE  
NEW BEDFORD, MA

2016 NOV 18 P 2:29

CITY CLERK

PROPOSED LIGHTING LAYOUT

Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
	21	T1	SINGLE	VUE-1-T3-64L-700-55K-UNV
	15	T3	BACK-BACK	VUE-1-T4-64L-700-55K-UNV
	7	T2	SINGLE	VUE-1-T4-64L-700-55K-UNV
	25	T4	SINGLE	HERMOSA-1-T2-32L-700-55K

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Behind the Building	Illuminance	Fc	2.22	15.5	0.2	11.10
Left Side of the Building	Illuminance	Fc	1.25	7.1	0.0	N.A.
Parking Lot	Illuminance	Fc	2.65	16.6	0.3	8.83
Right Side of Building	Illuminance	Fc	2.56	14.4	0.2	13.30
Roadway	Illuminance	Fc	2.84	12.8	0.3	9.47

Calculated light levels and illuminance are based on specific information that has been supplied to us. Any differences in luminaires, mounting, lighting area, or other factors may result in different values. Normal luminaires manufacture will affect results.

NOTES:

Drawn By: Ryan Thomson

Checked By:

Date:11/16/2016

Scale:

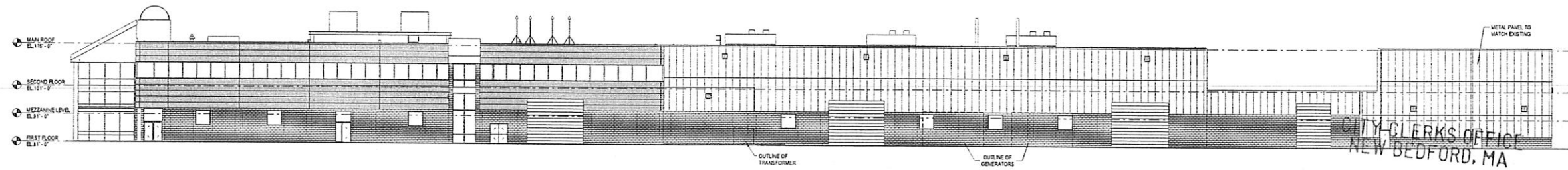
Eversource Parking Lot, Building & Roadway







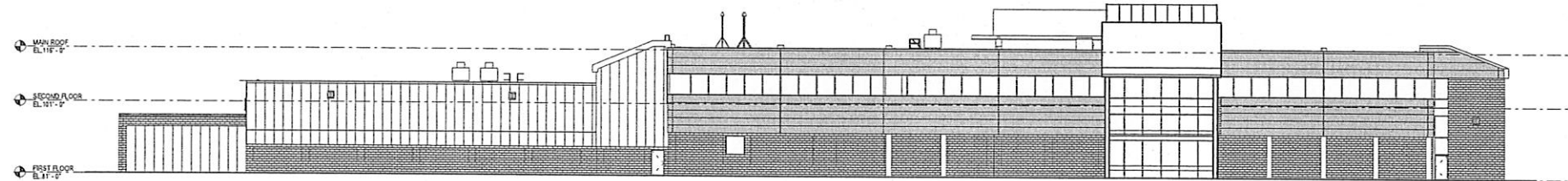




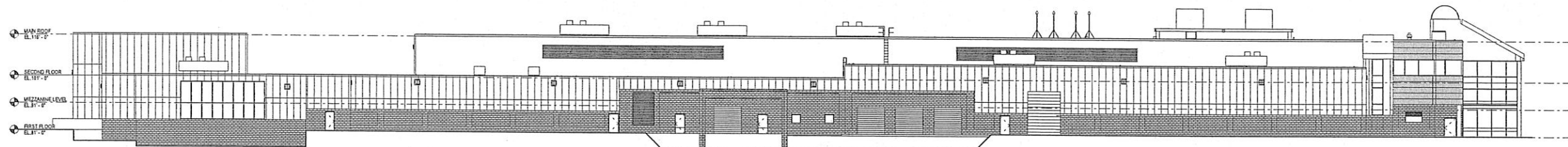
1 PROPOSED NORTH ELEVATION  
1/16" = 1'-0"

2016 NOV 18 P 2: 29

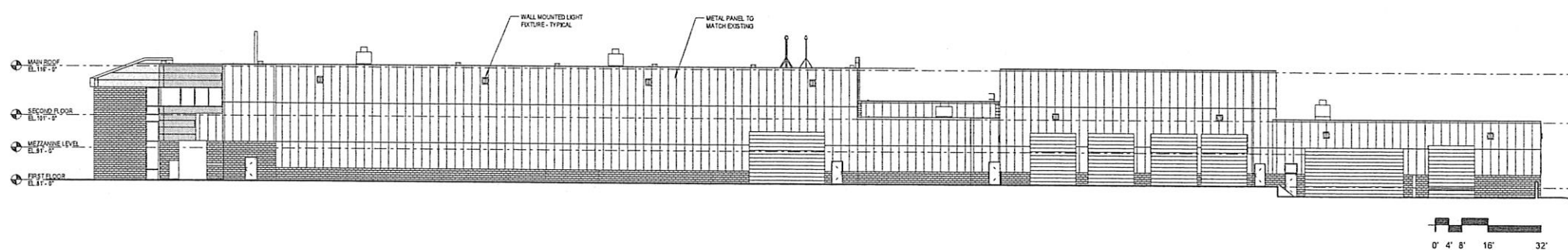
CITY CLERK



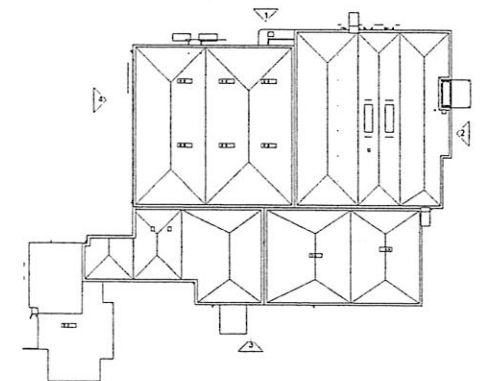
2 PROPOSED EAST ELEVATION  
1/16" = 1'-0"



3 PROPOSED SOUTH ELEVATION  
1/16" = 1'-0"



4 PROPOSED WEST ELEVATION  
1/16" = 1'-0"



**EVERSOURCE**  
NEW BEDFORD, MA

## EXTERIOR ELEVATIONS

11/18/2016

Case 37-16  
11/18/2016

**SLAM**  
A.M. Collaborative  
Glastonbury CT  
phone 860 657.8077  
fax 860 657.3141  
www.slamcoll.com