

GENERAL NOTES:

1. ALL WORK, AS DEFINED OR IMPLIED WITHIN THESE CONSTRUCTION DRAWINGS AND BUILDING SPECIFICATIONS IS TO BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL BUILDING CODES AND REGULATIONS.
2. ALL DIMENSIONS SHOWN REPRESENT APPROXIMATE DELINEATIONS AND ARE NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES. ALL WIDTH DIMENSIONS ARE APPROXIMATE, AS WALLS ARE UNEVEN STONE AND/OR BRICK MASONRY.
3. THE CONTRACTOR SHALL EXAMINE THE ENTIRE SITE, AND WILL TAKE INTO ACCOUNT ALL CONDITIONS THEREON AS MAY AFFECT THE PERFORMANCE OF THE WORK UNDER THE CONTRACT. ALL DIMENSIONS MUST BE VERIFIED IN-FIELD PRIOR TO COMMENCING WORK. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES AND/OR DEVIATIONS FROM WHAT IS PRESENTED AND/OR INDICATED ON THESE DRAWINGS AND SPECIFICATIONS.
4. ALL REPAIR OF EXISTING BRICK TO BE EXECUTED IN STRICT ACCORDANCE WITH THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AND WITH THE SPECIFICATIONS AND CONSTRUCTION DRAWINGS.
5. THESE DRAWINGS ARE INTENDED TO SHOW THE EXISTING CONDITIONS OF THE EXISTING BUILDING LOCATED AT 139 UNION STREET, INCLUDING PROPOSED REPAIRS AND RENOVATIONS. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN FIELD. DO NOT SCALE DRAWINGS. CONTRACTOR TO NOTIFY THE ARCHITECT AND THE OWNER IF ANY CONDITIONS APPEAR CONTRARY TO THE DRAWINGS AND/OR SPECIFICATIONS.
6. THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE IDENTIFICATION, DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE.

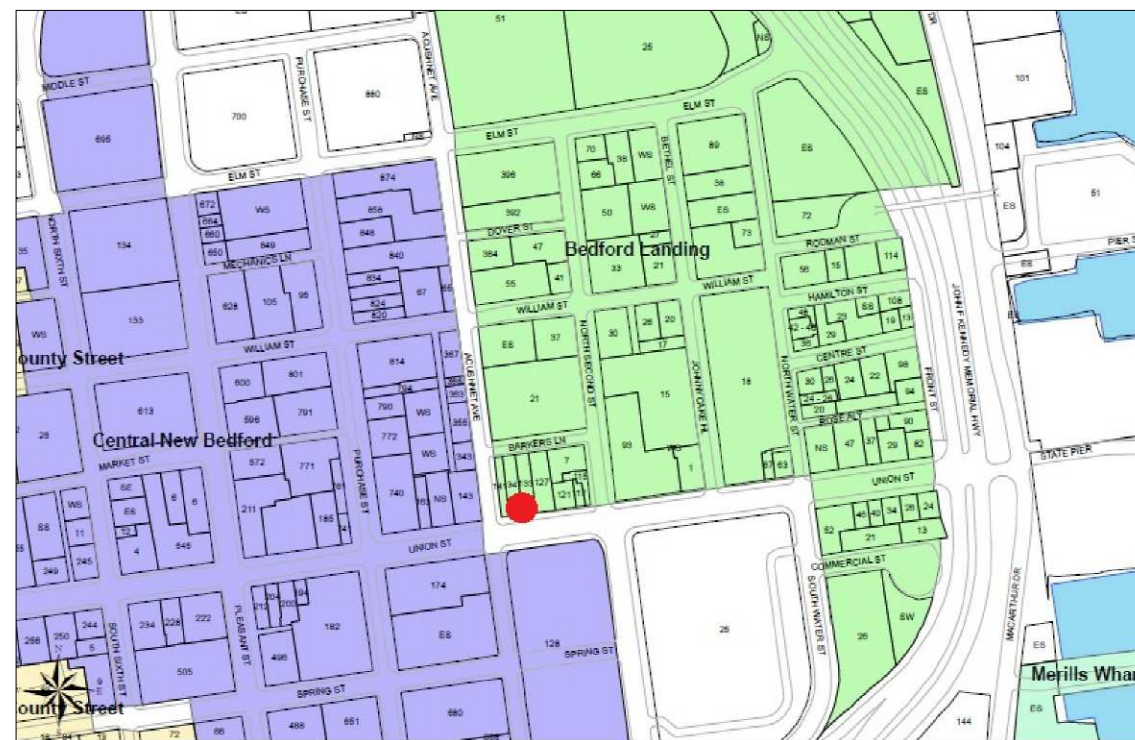
GENERAL PROJECT NOTES:

1. THE SCOPE OF THE PROPOSED PROJECT INCLUDES:
 - A. REHABILITATION OF EXTERIOR BRICK MASONRY FACADES.
 - B. REMOVAL AND REPLACEMENT OF EXISTING ALUMINUM WINDOWS WITH NEW ARCHITECTURAL CALD DOUBLE-HUNG WINDOWS.
 - C. CREATION OF NEW ROOF DECK, INCLUDING ACCESS/EGRESS.
 - D. REPLACEMENT OF EXISTING MODERN STOREFRONT WINDOWS AND DISPLAY AREAS WITH HISTORIC STOREFRONT ENTRANCE.
 - E. CREATION OF PUBLIC MAKER SPACE AND CO-WORK SPACE ON THE FIRST FLOOR AND SECOND FLOOR.
 - F. CREATION OF TWO RESIDENTIAL UNITS ON THE THIRD FLOOR.
2. ALL WORK BEING PROPOSED AND/OR INDICATED TO BE PERFORMED IN STRICT ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL BUILDING CODES AND REGULATIONS.
3. ALL WORK BEING PROPOSED RELATIVE TO THE REPAIR, RESTORATION AND/OR REPLACEMENT OF HISTORIC BUILDING FABRIC TO COMPLY WITH THE SECRETARY FOR THE INTERIOR STANDARDS FOR REHABILITATION.
4. ALL EXISTING CITY OF NEW BEDFORD UTILITIES ARE TO REMAIN.
5. THE CONTRACTOR IS TO NOTIFY THE ARCHITECT AND THE OWNER IMMEDIATELY IF ANY EXISTING CONDITIONS, ELEVATIONS, OR DIMENSIONS APPEAR TO BE CONTRARY TO THE INFORMATION INDICATED AND/OR IMPLIED WITHIN THESE DRAWINGS AND SPECIFICATIONS.

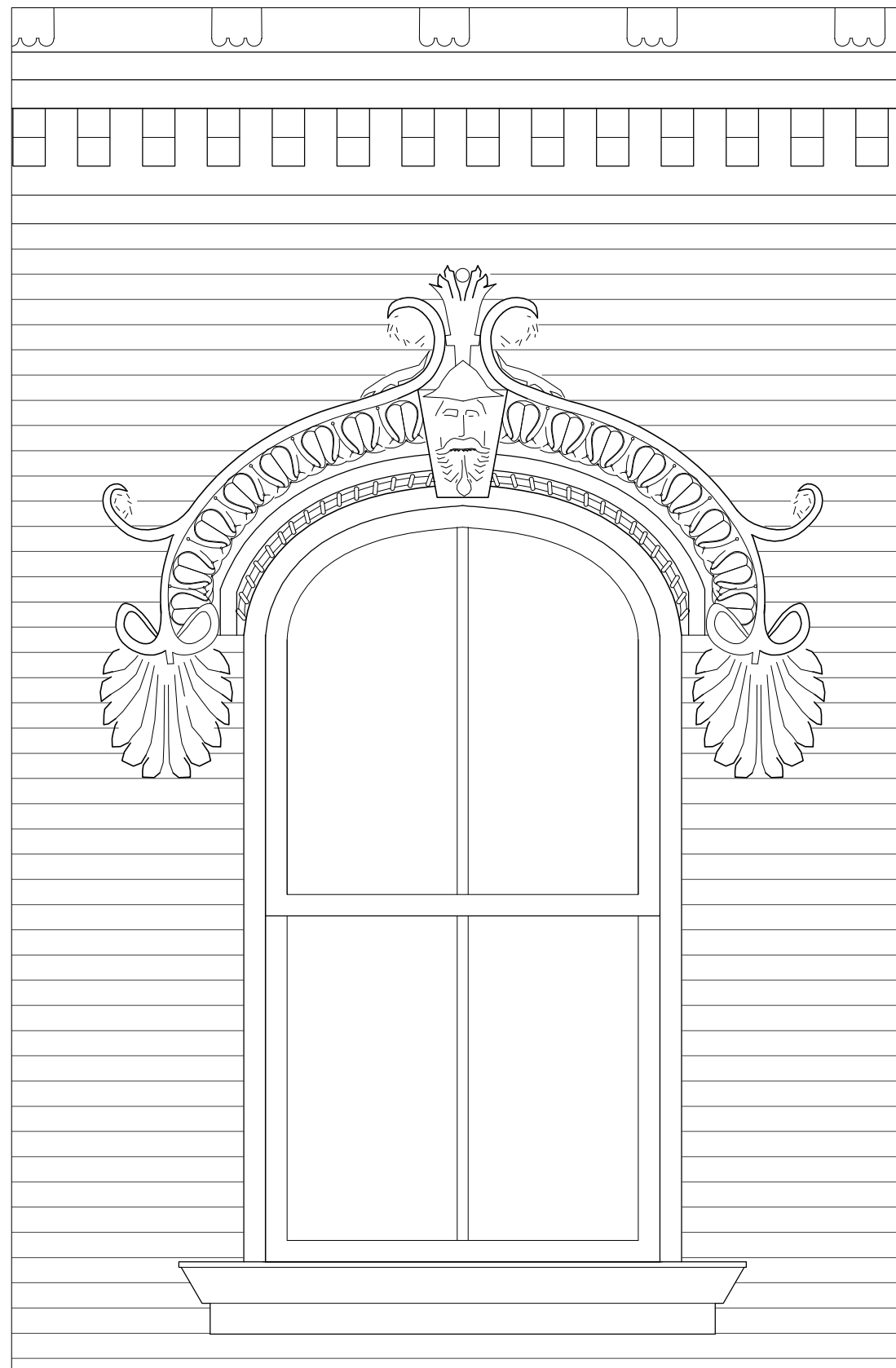
studio2sustain inc - 2015 COPYRIGHT:
 THESE PLANS, IDEAS, DRAWINGS, DESIGNS, ARRANGEMENTS AND ANY RELATED DOCUMENTS ARE TO REMAIN THE SOLE PROPERTY OF THE **studio2sustain inc** AND ARE NOT TO BE USED, REUSED, REPRODUCED OR PUBLISHED, IN WHOLE OR IN PART, WITHOUT EXPRESS, WRITTEN PERMISSION OF THE **studio2sustain inc** AND KATHRYN DUFF.



139 UNION STREET - MARCH 2015



LOCUS MAP - BEDFORD LANDING HISTORIC DISTRICT



ORNAMENTAL WINDOW HOODS - 139 UNION STREET

PROJECT SUMMARY:

PROJECT: THE REHABILITATION OF THE EXTERIOR OF THE HISTORIC BUILDING LOCATED AT 139 UNION STREET IN THE BEDFORD LANDING HISTORIC DISTRICT OF DOWNTOWN NEW BEDFORD, MASSACHUSETTS. THE INTERIOR OF THE BUILDING IS TO RENOVATED INTO COOPERATIVE MAKER SPACE AND WORK SPACE WITH RESIDENTIAL UNITS ON THE TOP THIRD FLOOR.

LOCATION: 139 UNION STREET, NEW BEDFORD, MA, 02740

ZONING CLASSIFICATION: MUB, MIXED USE BUSINESS

USE GROUP CLASSIFICATION: M: MERCANTILE, B: BUSINESS, R-2: RESIDENTIAL

CONSTRUCTION CLASSIFICATION: TYPE III-B

EXPOSURE CATEGORY: URBAN

WIND BORNE DEBRIS REGION: 110 mph BASIC WIND SPEED

ADDITIONAL INFORMATION: 139 UNION STREET IS LOCATED WITHIN THE BEDFORD LANDING - WATERFRONT HISTORIC DISTRICT OF THE CITY OF NEW BEDFORD, MA. ALL REPAIRS AND RENOVATIONS TO THE EXTERIOR MASONRY FACADES TO BE IN STRICT ACCORDANCE WITH THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION.

IN ADDITION, 139 UNION STREET IS LOCATED WITHIN THE TDI ZONE: GATEWAY CITIES INITIATIVE: "URBAN AND PURCHASE INNOVATION DISTRICT"

ARCHITECT: KATHRYN DUFF, **studio2sustain inc**, 412 COUNTY STREET, NEW BEDFORD, MA 02740. OFFICE: 508.999.5145, FAX: 508.999.5183

STRUCTURAL CONSULTANT: DAVID TIDWELL, YODER + TIDWELL, LTD., 333 SMITH STREET, PROVIDENCE, R.I., 02908, 401.751.2460

DRAWING SCHEDULE:

- A-0 COVER SHEET - PROJECT SUMMARY
- A-1 PLAN, FIRST FLOOR, GENERAL NOTES
- A-2 PLAN, SECOND FLOOR, GENERAL NOTES
- A-3 PLAN, THIRD FLOOR, GENERAL NOTES
- A-4 ELEVATION, SOUTH FACADE, NOTES
- A-5 ELEVATION, NORTH FACADE, BUILDING SECTIONS
- A-6 WINDOW DETAILS, GENERAL NOTES
- A-7 STOREFRONT DETAILS, GENERAL NOTES
- A-8 CONSTRUCTION DETAILS

GENERAL ABBREVIATIONS:

AFF	Above Finish Floor	HF	Hem-Fir
ALUM	Aluminum	INSUL	Insulation
BM	Beam	MTL	Metal
CL	Centerline	NTS	Not To Scale
COL	Column	PT	Pressure Treated
CONC	Concrete	PTD	Painted
CONT	Continuous	SCWV	Solid Core Wood
DBL	Double		Veneer
EL	Elevation	SPF	Spruce Pine Fir
EQ	Equal	SS	Stainless Steel
EXISTG	Existing	SSM	Solid Surfacing Material
FF	Finish Floor		Steel
FNDN	Foundation	STL	Southern Yellow Pine
FOF	Face of Foundation	SYF	Typical
FOS	Face of Stud	TYP	Typical
GALV	Galvanized	U.N.O.	Unless Noted Otherwise
GL	Glass	VIF	Verify In Field
GYP	Gypsum Board	WD	Wood
		WWF	Welded Wire Fabric

DATE: 04.27.2015
REVISION: 08.28.2015

WHALE
 -
139 UNION ST.
NEW BEDFORD,
MASSACHUSETTS
 -
REHABILITATION

PRELIMINARY
NOT FOR CONSTRUCTION

studio2sustain
 architects consultants environmental evangelists

412 county street new Bedford ma 02740 508.999.5145 p 508.999.5183 f studio2sustain.com

139 UNION STREET
 -
REHABILITATION
&
RENOVATION
 -
CO-CREATIVE
CENTER



DATE: 04.27.2015

REVISION: 08.28.2015

WHALE

139 UNION ST.
NEW BEDFORD,
MASSACHUSETTS

REHABILITATION

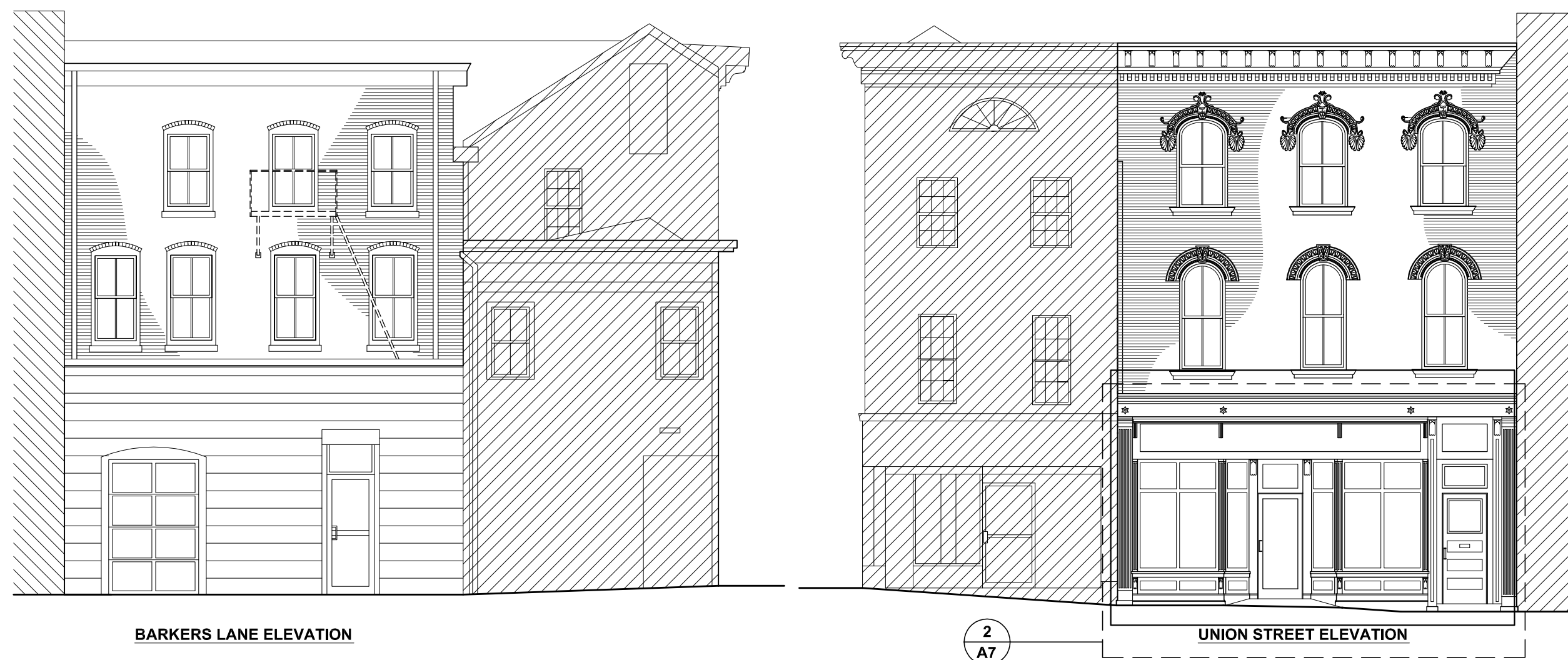
**PRELIMINARY
NOT FOR CONSTRUCTION**

CO-CREATIVE CENTER - PLAN KEY

EXISTING WALLS	
ADJACENT BUILDINGS	
PROPOSED WALLS	

GENERAL NOTES:

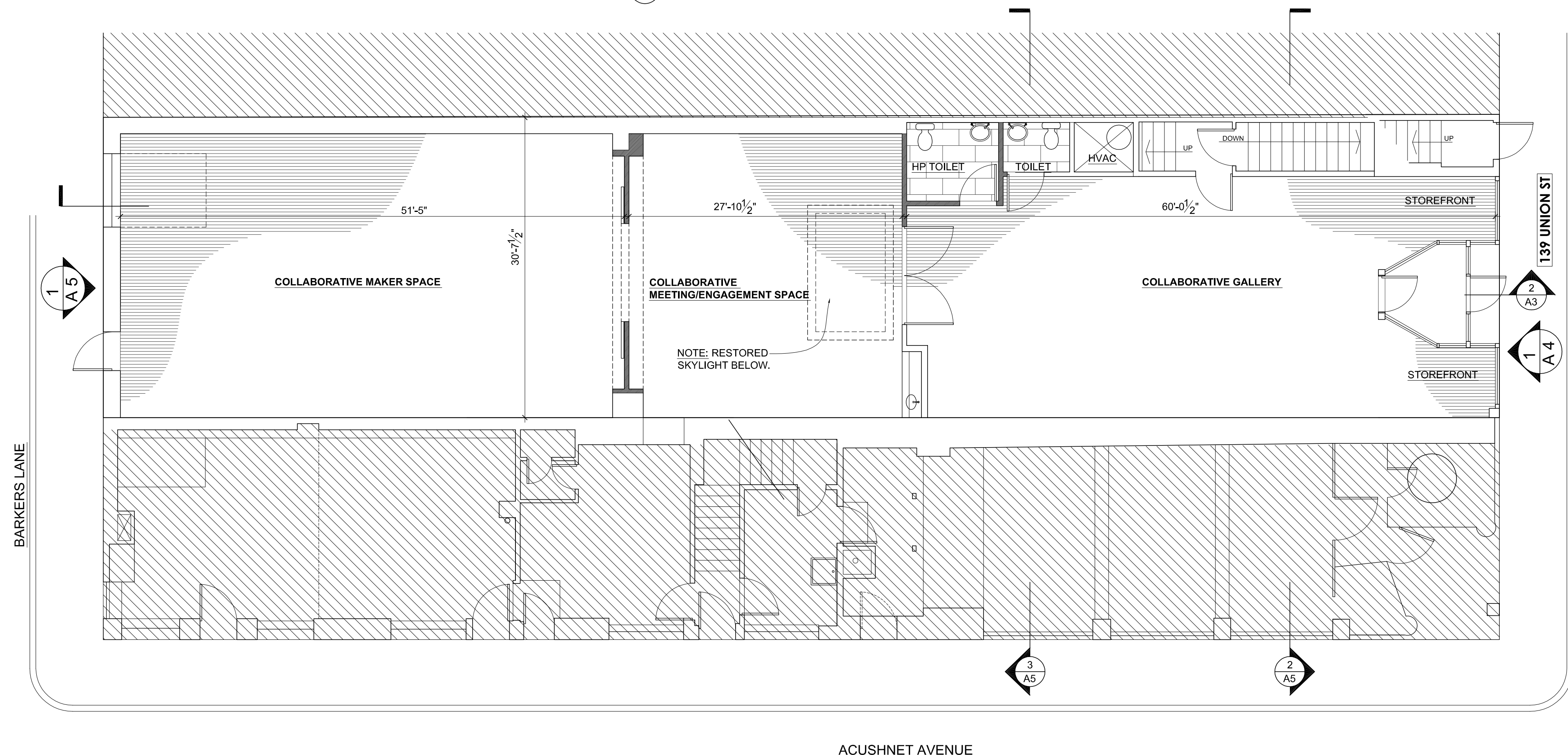
1. ALL WORK, AS DEFINED OR IMPLIED WITHIN THESE CONSTRUCTION DRAWINGS AND BUILDING SPECIFICATIONS IS TO BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL BUILDING CODES AND REGULATIONS.
2. ALL DIMENSIONS SHOWN REPRESENT APPROXIMATE DELINEATIONS AND ARE NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES. ALL WIDTH DIMENSIONS ARE APPROXIMATE, AS WALLS ARE UNEVEN STONE AND/OR BRICK MASONRY.
3. THE CONTRACTOR SHALL EXAMINE THE ENTIRE SITE, AND WILL TAKE INTO ACCOUNT ALL CONDITIONS THEREON AS MAY AFFECT THE PERFORMANCE OF THE WORK UNDER THE CONTRACT. ALL DIMENSIONS MUST BE VERIFIED IN-FIELD PRIOR TO COMMENCING WORK. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES AND/OR DEVIATIONS FROM WHAT IS PRESENTED AND/OR INDICATED ON THESE DRAWINGS AND SPECIFICATIONS.
4. ALL REPAIR OF EXISTING BRICK TO BE EXECUTED IN STRICT ACCORDANCE WITH THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AND WITH THE SPECIFICATIONS AND CONSTRUCTION DRAWINGS.
5. THESE DRAWINGS ARE INTENDED TO SHOW THE EXISTING CONDITIONS OF THE EXISTING BUILDING LOCATED AT 139 UNION STREET, INCLUDING PROPOSED REPAIRS AND RENOVATIONS. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN FIELD. DO NOT SCALE DRAWINGS. CONTRACTOR TO NOTIFY THE ARCHITECT AND THE OWNER IF ANY CONDITIONS APPEAR CONTRARY TO THE DRAWINGS AND/OR SPECIFICATIONS.
6. THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE IDENTIFICATION, DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE.



BARKERS LANE ELEVATION

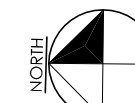
UNION STREET ELEVATION

2
A7



PLAN - EXISTING & PROPOSED - FIRST FLOOR - 139 UNION STREET - COLLABORATIVE MAKER CENTER
SCALE: 5/32" = 1'-0"

1
A1



studio2sustain
architects consultants environmental evangelists

412 county street new Bedford ma 02740 508.999.5145 p 508.999.5183 f studio2sustain.com

FIRST FLOOR PLAN
-
EXISTING/PROPOSED
-
CO-WORK MAKER
SPACE & GALLERY
-
139 UNION STREET

A

1

GENERAL NOTES:

1. ALL WORK, AS DEFINED OR IMPLIED WITHIN THESE CONSTRUCTION DRAWINGS AND BUILDING SPECIFICATIONS IS TO BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL BUILDING CODES AND REGULATIONS.

2. ALL DIMENSIONS SHOWN REPRESENT APPROXIMATE DELINEATIONS AND ARE NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES. ALL WIDTH DIMENSIONS ARE APPROXIMATE, AS WALLS ARE UNEVEN STONE AND/OR BRICK MASONRY.

3. THE CONTRACTOR SHALL EXAMINE THE ENTIRE SITE, AND WILL TAKE INTO ACCOUNT ALL CONDITIONS THEREON AS MAY AFFECT THE PERFORMANCE OF THE WORK UNDER THE CONTRACT. ALL DIMENSIONS MUST BE VERIFIED IN-FIELD PRIOR TO COMMENCING WORK. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES AND/OR DEVIATIONS FROM WHAT IS PRESENTED AND/OR INDICATED ON THESE DRAWINGS AND SPECIFICATIONS.

4. ALL REPAIR OF EXISTING BRICK TO BE EXECUTED IN STRICT ACCORDANCE WITH THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AND WITH THE SPECIFICATIONS AND CONSTRUCTION DRAWINGS.

5. THESE DRAWINGS ARE INTENDED TO SHOW THE EXISTING CONDITIONS OF THE EXISTING BUILDING LOCATED AT 139 UNION STREET, INCLUDING PROPOSED REPAIRS AND RENOVATIONS. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN FIELD. DO NOT SCALE DRAWINGS. CONTRACTOR TO NOTIFY THE ARCHITECT AND THE OWNER IF ANY CONDITIONS APPEAR CONTRARY TO THE DRAWINGS AND/OR SPECIFICATIONS.

6. THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE IDENTIFICATION, DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE.

DATE: 04.27.2015

REVISION: 08.28.2015

WHALE

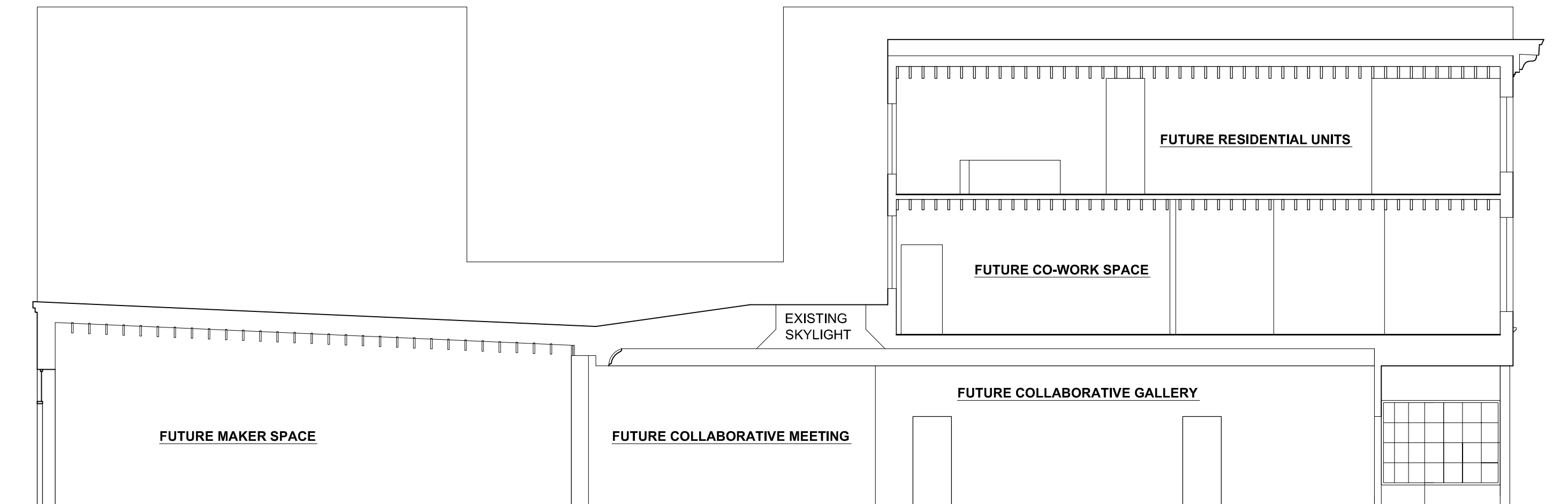
139 UNION ST.
NEW BEDFORD,
MASSACHUSETTS

REHABILITATION

**PRELIMINARY
NOT FOR CONSTRUCTION**

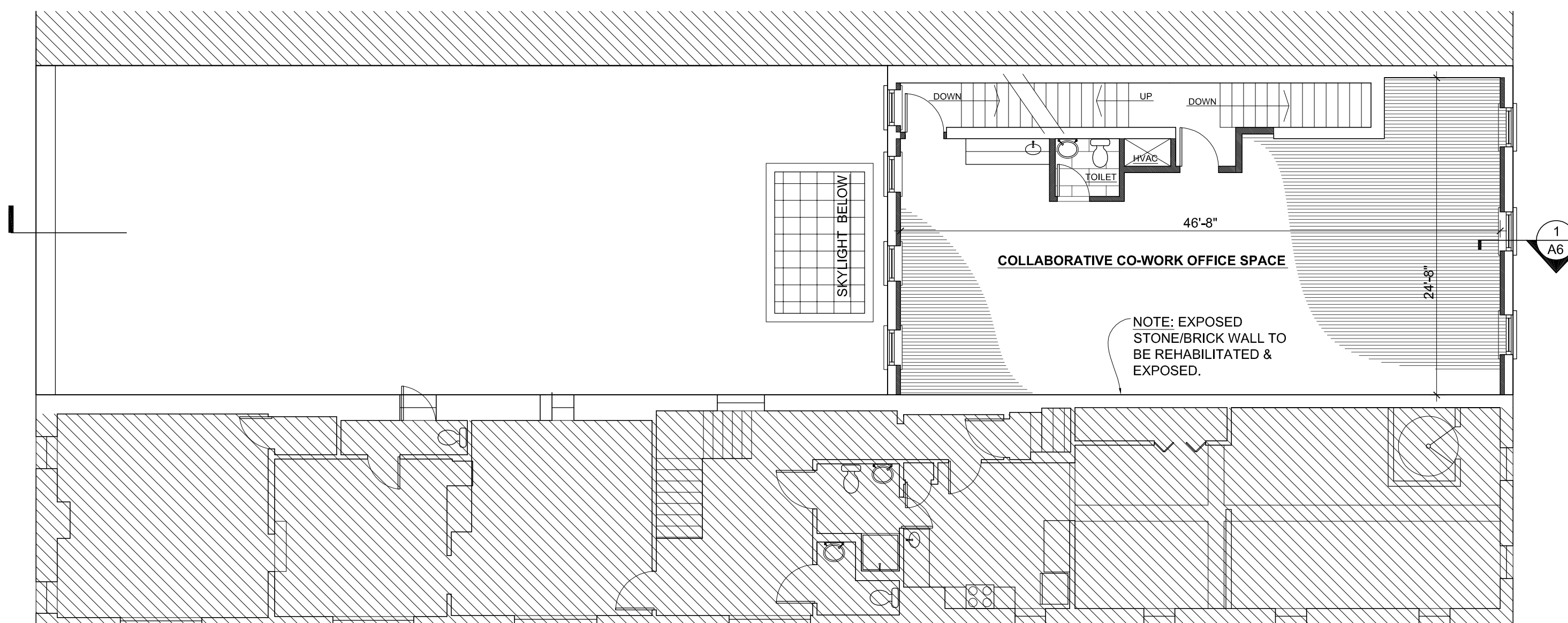
CO-CREATIVE CENTER - PLAN KEY

EXISTING WALLS	
ADJACENT BUILDINGS	
PROPOSED WALLS	



SECTION THROUGH BUILDING - NORTH/SOUTH - 139 UNION STREET
SCALE: 1/8" = 1'-0"

2
A 2



PLAN - EXISTING & PROPOSED - SECOND FLOOR - 139 UNION STREET - COLLABORATIVE WORK SPACE
SCALE: 1/8" = 1'-0"

1
A 2

studio2sustain
architects consultants environmental evangelists

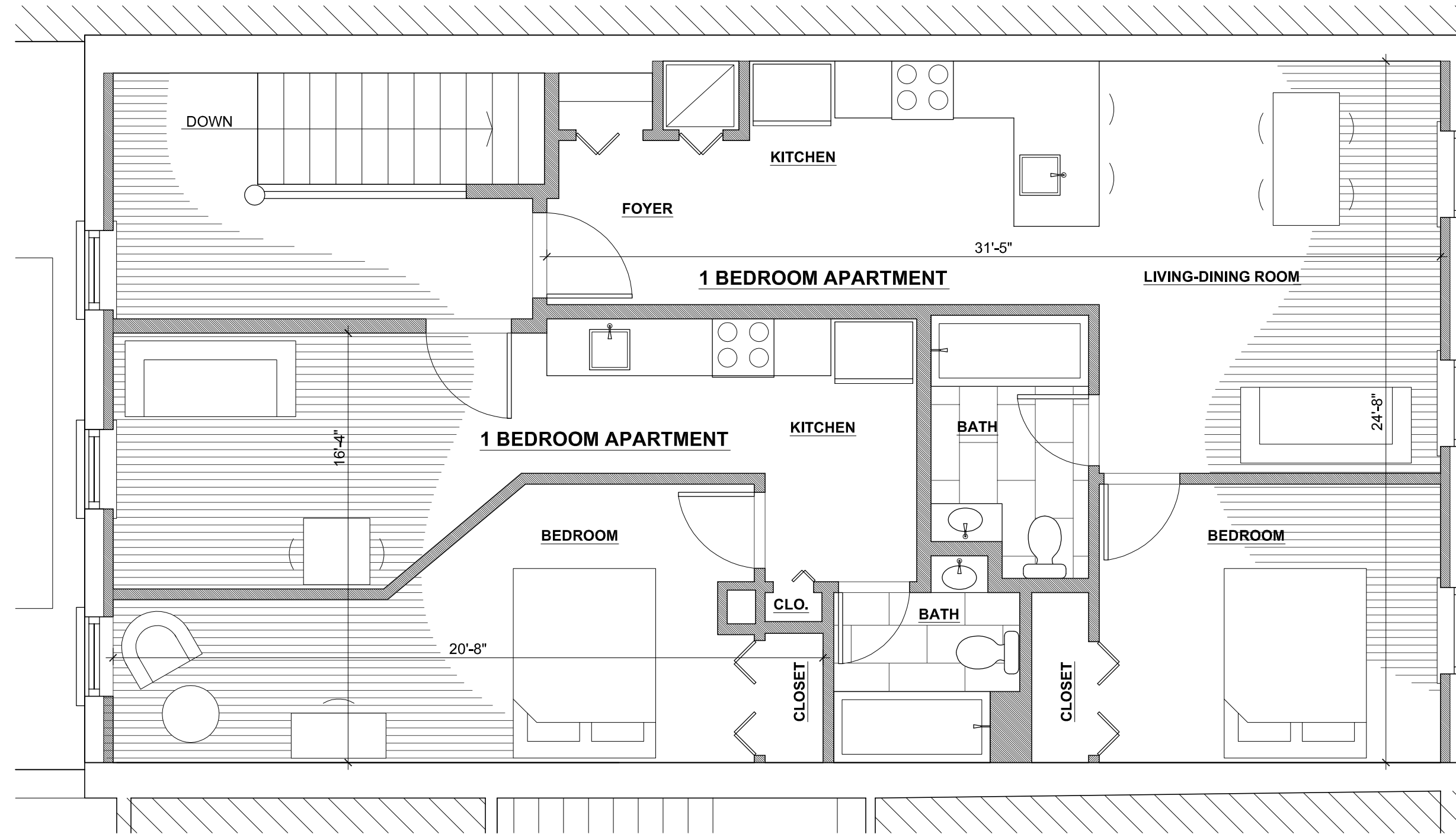
412 county street new Bedford ma 02740 508.999.5145 p 508.999.5183 f studio2sustain.com

SECOND FLOOR PLAN
-
EXISTING/PROPOSED
-
CO-WORK SPACE
-
139 UNION STREET

A 2

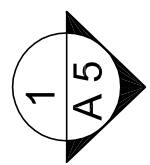
GENERAL NOTES:

1. ALL WORK, AS DEFINED OR IMPLIED WITHIN THESE CONSTRUCTION DRAWINGS AND BUILDING SPECIFICATIONS IS TO BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL BUILDING CODES AND REGULATIONS.
2. ALL DIMENSIONS SHOWN REPRESENT APPROXIMATE DELINEATIONS AND ARE NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES. ALL WIDTH DIMENSIONS ARE APPROXIMATE, AS WALLS ARE UNEVEN STONE AND/OR BRICK MASONRY.
3. THE CONTRACTOR SHALL EXAMINE THE ENTIRE SITE, AND WILL TAKE INTO ACCOUNT ALL CONDITIONS THEREON AS MAY AFFECT THE PERFORMANCE OF THE WORK UNDER THE CONTRACT. ALL DIMENSIONS MUST BE VERIFIED IN-FIELD PRIOR TO COMMENCING WORK. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES AND/OR DEVIATIONS FROM WHAT IS PRESENTED AND/OR INDICATED ON THESE DRAWINGS AND SPECIFICATIONS.
4. ALL REPAIR OF EXISTING BRICK TO BE EXECUTED IN STRICT ACCORDANCE WITH THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AND WITH THE SPECIFICATIONS AND CONSTRUCTION DRAWINGS.
5. THESE DRAWINGS ARE INTENDED TO SHOW THE EXISTING CONDITIONS OF THE EXISTING BUILDING LOCATED AT 139 UNION STREET, INCLUDING PROPOSED REPAIRS AND RENOVATIONS. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN FIELD. DO NOT SCALE DRAWINGS. CONTRACTOR TO NOTIFY THE ARCHITECT AND THE OWNER IF ANY CONDITIONS APPEAR CONTRARY TO THE DRAWINGS AND/OR SPECIFICATIONS.
6. THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE IDENTIFICATION, DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE.

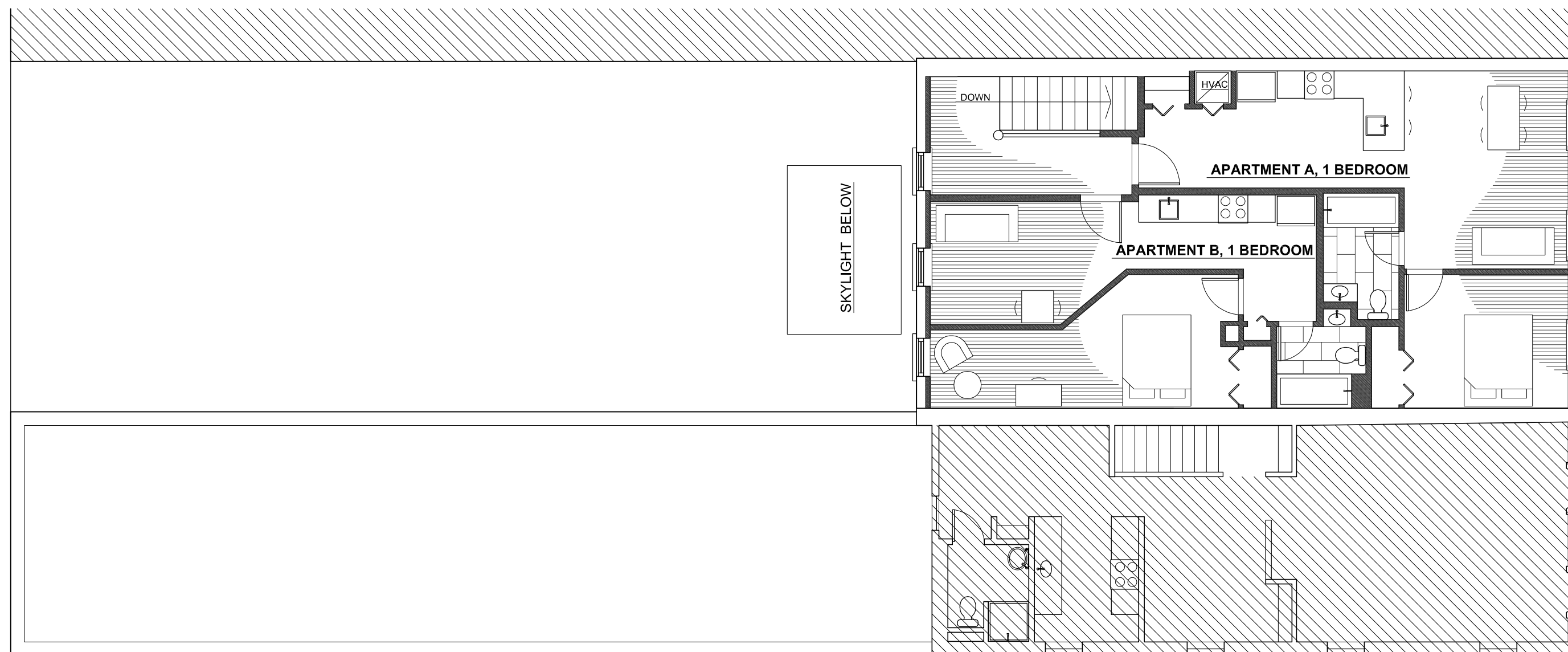


PLAN - EXISTING & PROPOSED - THIRD FLOOR - 139 UNION STREET - RESIDENTIAL UNITS
SCALE: 1/4" = 1'-0"

2
A 3

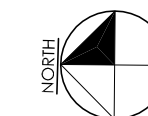


BARKER'S LANE



PLAN - EXISTING & PROPOSED - THIRD FLOOR - 139 UNION STREET - RESIDENTIAL UNITS
SCALE: 1/8" = 1'-0"

1
A 3



DATE: 04.27.2015
REVISION: 08.28.2015

WHALE
-
139 UNION ST.
NEW BEDFORD,
MASSACHUSETTS
-
REHABILITATION

**PRELIMINARY
NOT FOR CONSTRUCTION**

CO-CREATIVE CENTER - PLAN KEY

EXISTING WALLS	
ADJACENT BUILDINGS	
PROPOSED WALLS	

studio2sustain
architects consultants environmental evangelists

412 county street new Bedford ma 02740 508.999.5145 p 508.999.5183 f studio2sustain.com

THIRD FLOOR PLANS
-
EXISTING/PROPOSED
-
RESIDENTIAL UNITS
-
139 UNION STREET

A

3

DATE: 04.27.2015
 REVISION: 08.28.2015

WHALE
 -
 139 UNION ST.
 NEW BEDFORD,
 MASSACHUSETTS
 -
REHABILITATION

**PRELIMINARY
 NOT FOR CONSTRUCTION**

CO-CREATIVE CENTER - PLAN KEY

EXISTING WALLS	
ADJACENT BUILDINGS	
PROPOSED WALLS	

studio2sustain
 architects consultants environmental evangelists
 412 county street new Bedford ma 02740 508.999.5145 p 508.999.5183 f studio2sustain.com

UNION STREET
 SOUTH FACADE
 -
 WINDOW KEY
 -
 WINDOW HOODS
 -
 PROPOSED

A 4

GENERAL ELEVATION & WINDOW PROJECT NOTES:

- THE SCOPE OF THE PROPOSED PROJECT INCLUDES:
 - REPAIR AND/OR REPLACEMENT OF DAMAGED BRICK.
 - REPLACEMENT OF ALUMINUM WINDOWS WITH NEW ARCHITECTURAL CLAD WOOD WINDOWS.
 - RECONSTRUCTION OF EXTERIOR STOREFRONT.
- ALL WORK BEING PROPOSED AND/OR INDICATED TO BE PERFORMED IN STRICT ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL BUILDING CODES AND REGULATIONS.
- ALL WORK BEING PROPOSED RELATIVE TO THE REPAIR, RESTORATION AND/OR REPLACEMENT OF HISTORIC BUILDING FABRIC TO COMPLY WITH THE SECRETARY FOR THE INTERIOR STANDARDS FOR REHABILITATION.
- ALL EXISTING CITY OF NEW BEDFORD UTILITIES ARE TO REMAIN.
- THE CONTRACTOR IS TO NOTIFY THE ARCHITECT AND THE OWNER IMMEDIATELY IF ANY EXISTING CONDITIONS, ELEVATIONS, OR DIMENSIONS APPEAR TO BE CONTRARY TO THE INFORMATION INDICATED AND/OR IMPLIED WITHIN THESE DRAWINGS AND SPECIFICATIONS.

GENERAL NOTES:

- ALL WORK, AS DEFINED OR IMPLIED WITHIN THESE CONSTRUCTION DRAWINGS AND BUILDING SPECIFICATIONS IS TO BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL BUILDING CODES AND REGULATIONS.
- ALL DIMENSIONS SHOWN REPRESENT APPROXIMATE DELINEATIONS AND ARE NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES. ALL WIDTHS SHOWN ARE APPROXIMATE, AS WALLS ARE CONSTRUCTED OF STONE AND/OR BRICK MASONRY.
- THE CONTRACTOR SHALL EXAMINE THE ENTIRE SITE, AND WILL TAKE INTO ACCOUNT ALL CONDITIONS THEREON AS MAY AFFECT THE PERFORMANCE OF THE WORK UNDER THE CONTRACT. ALL DIMENSIONS MUST BE VERIFIED IN-FIELD PRIOR TO COMMENCING WORK. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES AND/OR DEVIATIONS FROM WHAT IS PRESENTED AND/OR INDICATED ON THESE DRAWINGS AND SPECIFICATIONS.
- ALL REPAIR OF EXISTING BRICK TO BE EXECUTED IN STRICT ACCORDANCE WITH THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AND WITH THE SPECIFICATIONS AND CONSTRUCTION DRAWINGS.
- THESE DRAWINGS ARE INTENDED TO SHOW THE EXISTING CONDITIONS OF THE EXISTING BUILDING LOCATED AT 139 UNION STREET, INCLUDING PROPOSED REPAIRS AND RENOVATIONS. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN FIELD. DO NOT SCALE DRAWINGS.
- THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE IDENTIFICATION, DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE.

NOTE: SCROLLED ORNAMENTATION AT THE FACADE CORNICE TO BE PREPLACED - CONTINUE ELEMENTS FROM ADJACENT CORNICE AT 141 UNION STREET TO THE WEST.

NOTE: FACADE TO BE REPAIRED & RESOTRED - BRICK TO BE REPOINTED AND REPLACED IF NECESSARY. ALL WORK TO BE DONE IN ACCORDANCE TO SECRETARY OF THE INTERIOR STANDARDS REQUIREMENTS, TYP.

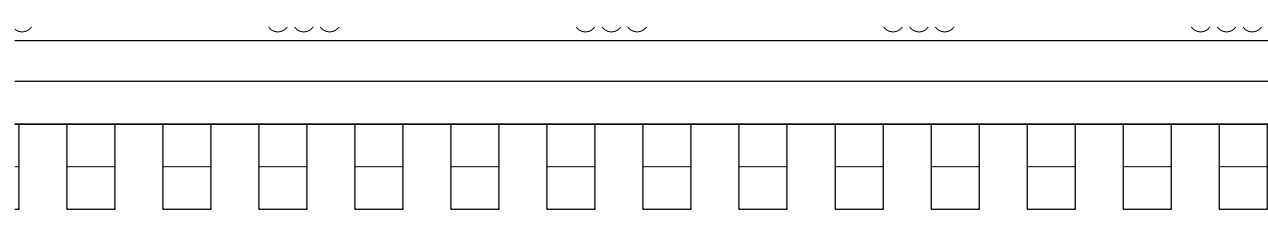


NOTE: NEW STEEL & GLASS CANOPY INSTALLED ABOVE SIGNAGE FRIEZE - ALLOWING FILTERED VIEWING THROUGH CANOPY TO HISTORIC FACADE & PROVIDING COVER FROM ELEMENTS AND SUN.

NOTE: MODERN STOREFRONT TO BE REMOVED. NEW STOREFRONT TO BE RECONSTRUCTED TO MATCH THE HISTORIC AESTHETIC AND TO MEET NEEDS OF NEW USE. ORIGINAL CAST-IRON PILASTERS AND LINTEL TO REMAIN.

ELEVATION: 139 UNION STREET - SOUTH FACADE
 SCALE: 1/4" = 1'-0"

1
 A4

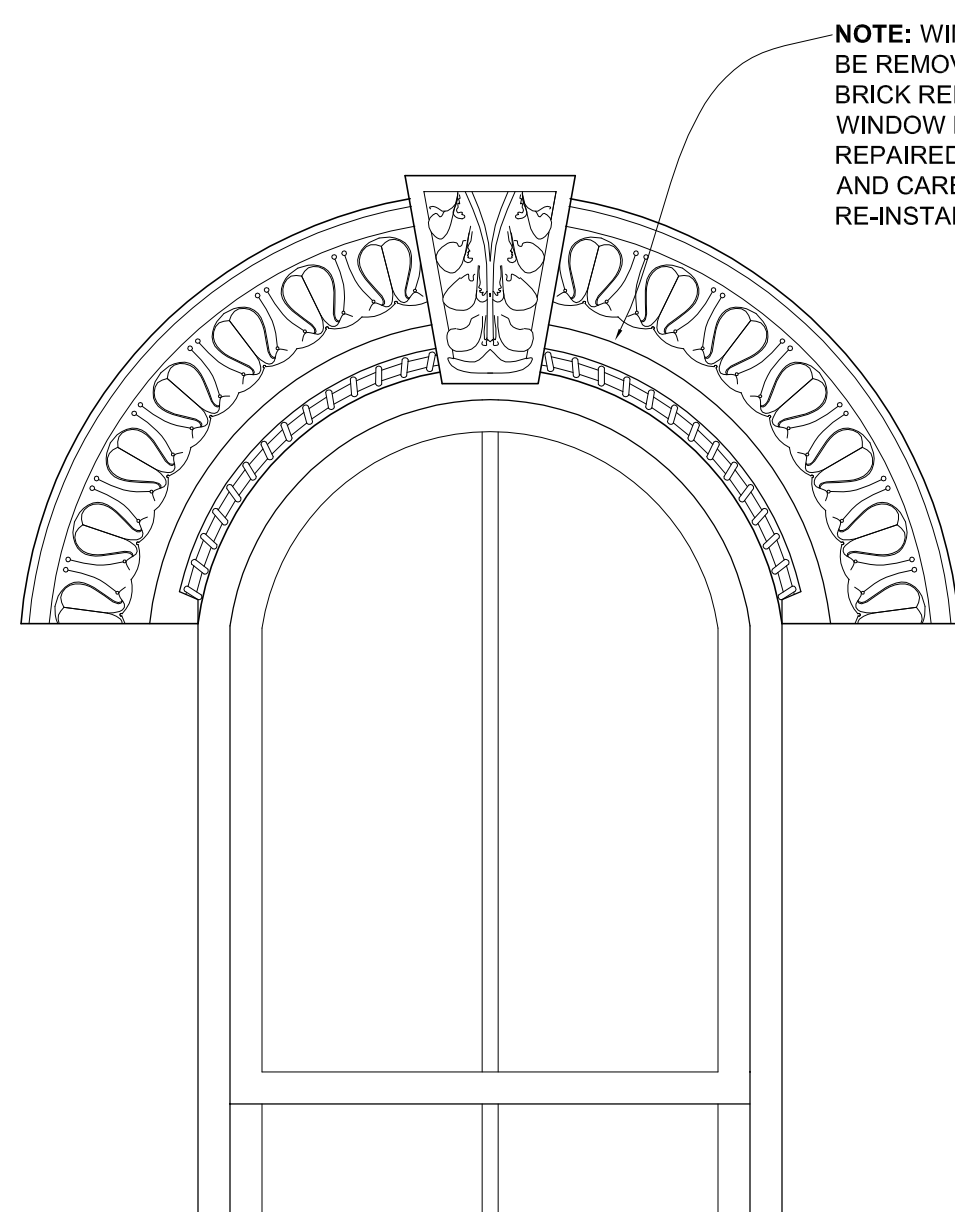


NOTE: WINDOW HOODS TO BE REMOVED DURING BRICK REPAIR AND WINDOW REPLACEMENT, REPAIRED AS REQUIRED AND CAREFULLY RE-INSTALLED.

NOTE: WINDOW REPLACEMENT TO FOLLOW ARC OF ORNAMENTAL HOOD, TYP., AND DIFFERENT AT EACH FLOOR.

ELEVATION: DETAIL - CAST WINDOW HOOD (3RD FL)
 SCALE: 1" = 1'-0"

3
 A4



NOTE: WINDOW HOODS TO BE REMOVED DURING BRICK REPAIR AND WINDOW REPLACEMENT, REPAIRED AS REQUIRED AND CAREFULLY RE-INSTALLED.

ELEVATION: DETAIL - CAST WINDOW HOOD (2ND FL)
 SCALE: 1" = 1'-0"

2
 A4

GENERAL NOTES:

1. ALL WORK, AS DEFINED OR IMPLIED WITHIN THESE CONSTRUCTION DRAWINGS AND BUILDING SPECIFICATIONS IS TO BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL BUILDING CODES AND REGULATIONS.
2. THE CONTRACTOR SHALL EXAMINE THE ENTIRE SITE, AND WILL TAKE INTO ACCOUNT ALL CONDITIONS THEREON AS MAY AFFECT THE PERFORMANCE OF THE WORK UNDER THE CONTRACT..
3. ALL REPAIR OF EXISTING BRICK TO BE EXECUTED IN STRICT ACCORDANCE WITH THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AND WITH THE SPECIFICATIONS AND CONSTRUCTION DRAWINGS.
4. THESE DRAWINGS ARE INTENDED TO SHOW THE EXISTING CONDITIONS OF TEH EXISTING BUILDING LOCATED AT 139 UNION STREET, INCLUDING PROPOSED REPAIRS AND RENOVATIONS. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN FIELD. DO NOT SCALE DRAWINGS. CONTRACTOR TO NOTIFY THE ARCHITECT AND THE OWNER IF ANY CONDITIONS APPEAR DONTRARY TO THE DRAWINGS AND/OR SPECIFICATIONS.
5. THE ARCHTIECT AND THE ARCHITECT'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE IDENTIFICATION, DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE.

NOTE: FACADE TO BE REPAIRED & RESOTRED - BRICK TO BE REPOINTED AND REPLACED IF NECESSARY. ALL WORK TO BE DONE IN ACCORDANCE TO SECRETARY OF THE INTERIOR STANDARDS REQUIREMENTS, TYP.

NOTE: ALUMINUM WINDOW FRAMES AND SASHES WILL BE REPLACED WITH CUSTOM ARCHITECTURAL CLAD DOUBLE HUNG WINDOWS FRAMES AND SASHES IN HISTORICAL AESTHETIC, TYP.



NOTE: EXISTING ROLL-DOWN METAL GARAGE DOOR TO BE REPLACED WITH A STEEL/GLASS FRAME FOLDING OVER-HEAD DOOR.

NOTE: EXISTING EGRESS DOOR TO BE REPLACED WITH STOREFRONT DOOR, TRANSOM AND ABBREVIATED CANOPY.

ELEVATION: 139 UNION STREET - NORTH FACADE - BARKERS LANE
SCALE: 1/4" = 1'-0"

GENERAL ELEVATION & WINDOW PROJECT NOTES:

1. THE SCOPE OF THE PROPOSED PROJECT INCLUDES:
 - A. REPAIR AND/OR REPLACEMENT OF DAMAGED BRICK.
 - B. REPLACEMENT OF ALUMINUM WINDOWS WITH NEW ARCHITECTURAL CLAD WOOD WINDOWS.
 - C. REPLACEMENT OF EXTERIOR STOREFRONT DOORS WITH PANEL DOORS.
2. ALL WORK BEING PROPOSED AND/OR INDICATED TO BE PERFORMED IN STRICT ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL BUILDING CODES AND REGULATIONS.
3. ALL WORK BEING PROPOSED RELATIVE TO THE REPAIR, RESTORATION AND/OR REPLACEMENT OF HSITORIC BUILDING FABRIC TO COMPLY WITH THE SECRETARY FOR THE INTERIOR STANDARDS FOR REHABILITATION.
4. ALL EXISTING CITY OF NEW BEDFORD UTILITIES ARE TO REMAIN.
5. THE CONTRACTOR IS TO NOTIFY THE ARCHITECT AND THE OWNER IMMEDIATELY IF ANY EXISITNG CONDITIONS, ELEVATIONS, OR DIMENSIONS APPEAR TO BE CONTRARY TO THE INFORMATION INDICATED AND/OR IMPLIED WITHIN THESE DRAWINGS AND SPECIFICATIONS.



SECTION - 139 UNION STREET - TOWARD NORTH
SCALE: 1/8" = 1'-0"

3
A5



SECTION - 139 UNION STREET - TOWARD SOUTH
SCALE: 1/8" = 1'-0"

2
A5

DATE: 04.27.2015
REVISION: 08.28.2015

WHALE
-
139 UNION ST.
NEW BEDFORD,
MASSACHUSETTS
-
REHABILITATION

PRELIMINARY
NOT FOR CONSTRUCTION

CO-CREATIVE CENTER - PLAN KEY

EXISTING WALLS	
ADJACENT BUILDINGS	
PROPOSED WALLS	

studio2sustain
architects consultants environmental evangelists

412 county street new Bedford ma 02740 508.999.5145 p 508.999.5183 f studio2sustain.com

BARKERS LANE
NORTH FACADE
-
BUILDING SECTIONS
-
139 UNION ST.
-
PROPOSED

A **5**

1
A5

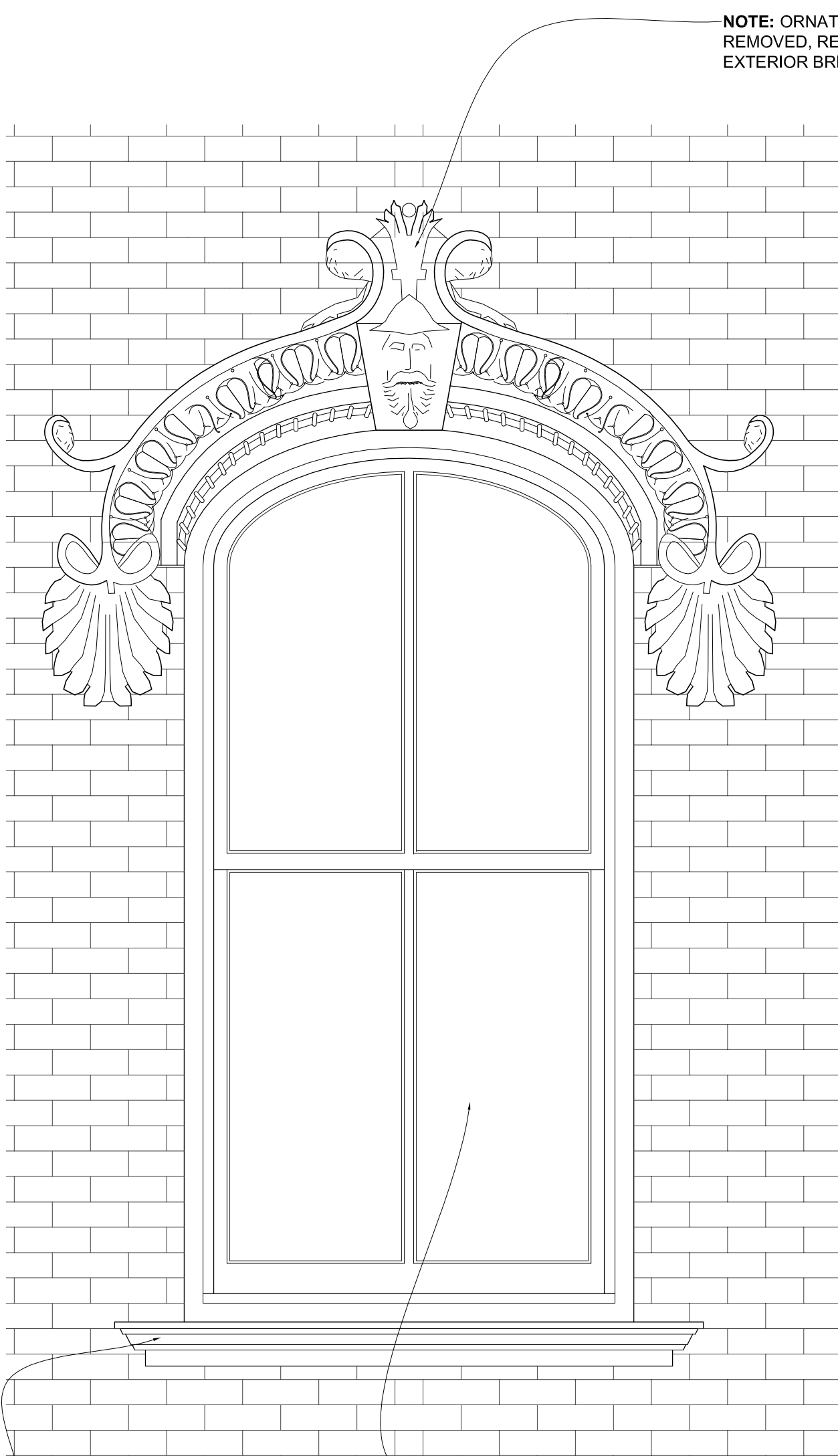
GENERAL NOTES:

1. ALL WORK, AS DEFINED OR IMPLIED WITHIN THESE CONSTRUCTION DRAWINGS AND BUILDING SPECIFICATIONS IS TO BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL BUILDING CODES AND REGULATIONS.
2. ALL DIMENSIONS SHOWN REPRESENT APPROXIMATE DELINEATIONS AND ARE NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES. ALL WIDTH DIMENSIONS ARE APPROXIMATE, AS WALLS ARE UNEVEN STONE AND/OR BRICK MASONRY.
3. THE CONTRACTOR SHALL EXAMINE THE ENTIRE SITE, AND WILL TAKE INTO ACCOUNT ALL CONDITIONS THEREON AS MAY AFFECT THE PERFORMANCE OF THE WORK UNDER THE CONTRACT. ALL DIMENSIONS MUST BE VERIFIED IN-FIELD PRIOR TO COMMENCING WORK. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES AND/OR DEVIATIONS FROM WHAT IS PRESENTED AND/OR INDICATED ON THESE DRAWINGS AND SPECIFICATIONS.
4. ALL REPAIR OF EXISTING BRICK TO BE EXECUTED IN STRICT ACCORDANCE WITH THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AND WITH THE SPECIFICATIONS AND CONSTRUCTION DRAWINGS.
5. THESE DRAWINGS ARE INTENDED TO SHOW THE EXISTING CONDITIONS OF THE EXISTING BUILDING LOCATED AT 139 UNION STREET, INCLUDING PROPOSED REPAIRS AND RENOVATIONS. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN FIELD. DO NOT SCALE DRAWINGS. CONTRACTOR TO NOTIFY THE ARCHITECT AND THE OWNER IF ANY CONDITIONS APPEAR CONTRARY TO THE DRAWINGS AND/OR SPECIFICATIONS.
6. THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE IDENTIFICATION, DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE.

GENERAL ELEVATION & WINDOW PROJECT NOTES:

1. THE SCOPE OF THE PROPOSED PROJECT INCLUDES:
 - A. REPAIR AND/OR REPLACEMENT OF DAMAGED BRICK.
 - B. REPLACEMENT OF ALUMINUM WINDOWS WITH NEW ARCHITECTURAL - CLAD WOOD WINDOWS.
 - C. REPLACEMENT OF EXTERIOR STOREFRONT DOORS WITH PANEL DOORS.
2. ALL WORK BEING PROPOSED AND/OR INDICATED TO BE PERFORMED IN STRICT ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL BUILDING CODES AND REGULATIONS.
3. ALL WORK BEING PROPOSED RELATIVE TO THE REPAIR, RESTORATION AND/OR REPLACEMENT OF HISTORIC BUILDING FABRIC TO COMPLY WITH THE SECRETARY FOR THE INTERIOR STANDARDS FOR REHABILITATION.
4. ALL EXISTING CITY OF NEW BEDFORD UTILITIES ARE TO REMAIN.
5. THE CONTRACTOR IS TO NOTIFY THE ARCHITECT AND THE OWNER IMMEDIATELY IF ANY EXISTING CONDITIONS, ELEVATIONS, OR DIMENSIONS APPEAR TO BE CONTRARY TO THE INFORMATION INDICATED AND/OR IMPLIED WITHIN THESE DRAWINGS AND SPECIFICATIONS.

NOTE: ORNATE CAST-IRON WINDOW HOODS TO BE REMOVED, REPAIRED AND REPLACED FOLLOWING EXTERIOR BRICK REPAIR.

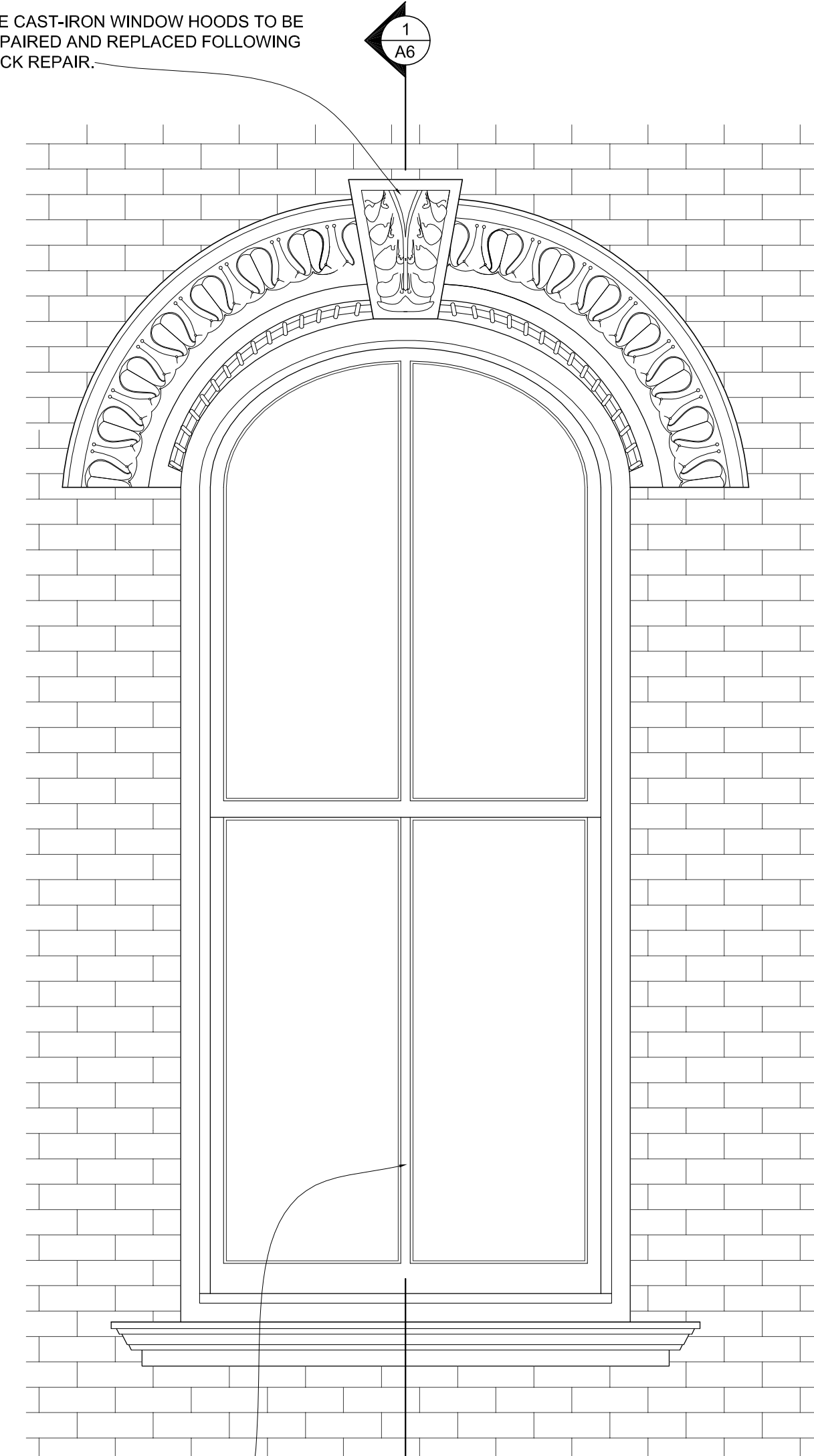


NOTE: CAST-IRON SILL TO BE REMOVED, REPAIRED AND REPLACED FOLLOWING EXTERIOR BRICK REPAIR.

NOTE - REPLACEMENT WINDOWS: PELLA, ALUMINUM-CLAD ARCHITECT SERIES DOUBLE-HUNG WINDOWS WITH "INTEGRAL LIGHT TECHNOLOGY GRILLES -7/8" IN HISTORIC PATTERN OF 2-OVER-2.

ELEVATION - 3RD FL. REPLACEMENT WINDOW - TYP.
SCALE: 1" = 1'-0"

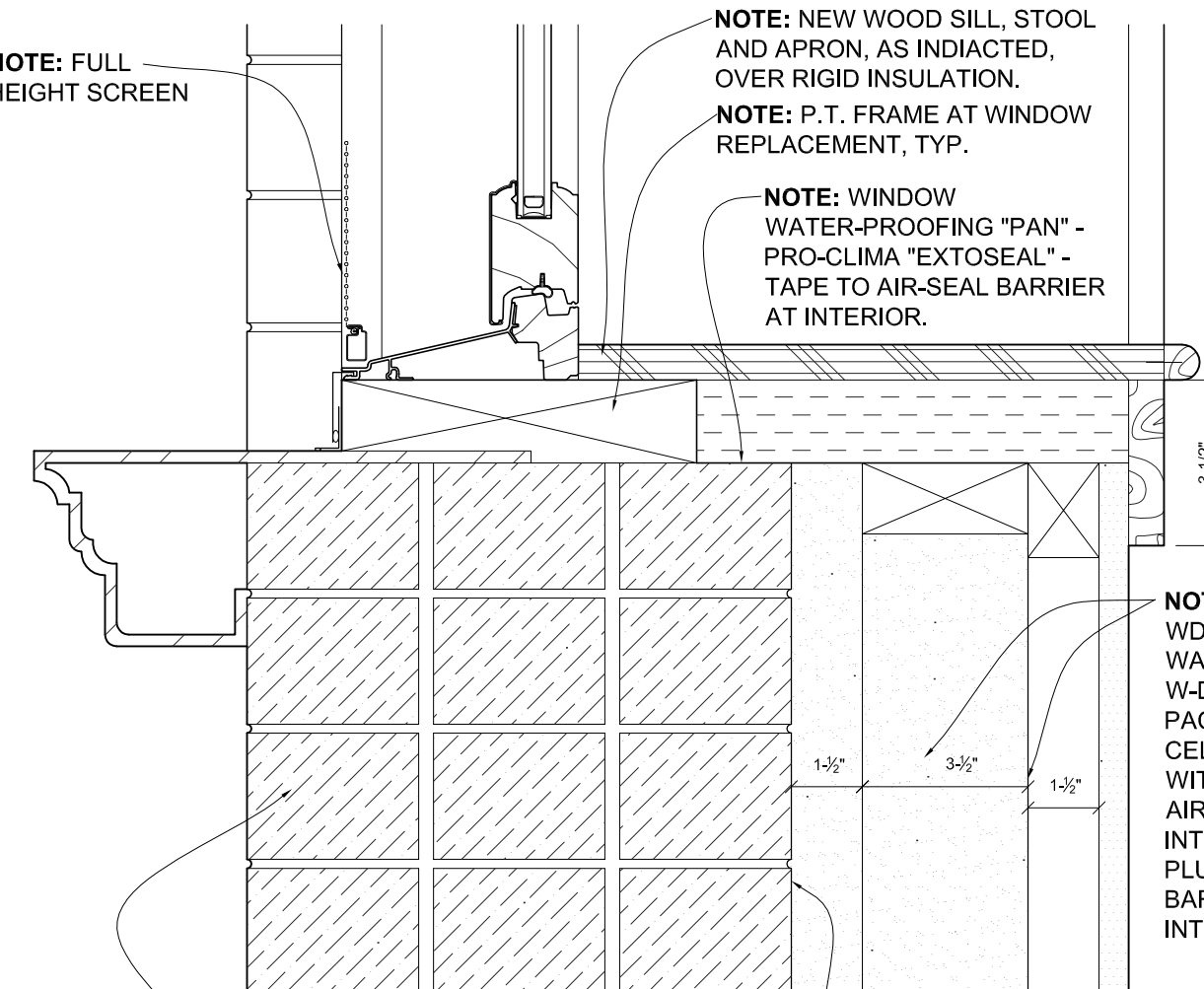
3
A6



ELEVATION - 2ND FL. REPLACEMENT WINDOW - TYP.
SCALE: 1" = 1'-0"

2
A6

NOTE: FULL HEIGHT SCREEN



NOTE: CAST-IRON HOODS ARE ORIGINAL TO THE BUILDING AND SHALL REMAIN. HOOD TO BE REMOVED FOR BRICK REPAIR AND RE-INSTALLED. ORNAMENTATION WILL BE REPAIRED AS REQUIRED, TYP.

NOTE: MASONRY TREATMENT: REPAIR & REPOINT BRICK AS REQUIRED, SEAL WITH LIME PLASTER ON EXISTING BRICK, TYP. AND CONTINUOUS SEAL.

NOTE: 2X4 WD STUD WALL W-DENSE PACK CELLULOSE WITH CONT. AIR-SEAL INTLLO PLUS BARRIER AT INTERIOR.

NOTE: 1/2" GYP. BD. W-PLASTER OVER 2X3 WD. STUD WALL, WIRE CHANNEL.

NOTE: NEW WD TRIM AT HEAD, OVER P.T. FRAME & RIGID INSULATION, PTD.

NOTE - REPLACEMENT WINDOWS: PELLA, ALUMINUM-CLAD WOOD ARCHITECT SERIES DOUBLE-HUNG WINDOWS WITH "INTEGRAL LIGHT TECHNOLOGY GRILLES -7/8" IN HISTORIC PATTERN OF 2-OVER-2.

NOTE: NEW WOOD SILL, STOOL AND APRON, AS INDICATED, OVER RIGID INSULATION.

NOTE: P.T. FRAME AT WINDOW REPLACEMENT, TYP.

NOTE: WINDOW WATER-PROOFING "PAN" - PRO-CLIMA "EXTOSEAL" - TAPE TO AIR-SEAL BARRIER AT INTERIOR.

NOTE: 2X4 WD STUD WALL W-DENSE PACK CELLULOSE WITH CONT. AIR-SEAL INTLLO PLUS BARRIER AT INTERIOR.

NOTE: EXISTING MASONRY WALL - REPAIR & REPOINT AS REQUIRED TO SHED WATER AT EXTERIOR FACE & MAKE WINDTIGHT.

NOTE: MASONRY TREATMENT: REPAIR & REPOINT BRICK AS REQUIRED, SEAL WITH LIME PLASTER ON EXISTING BRICK, TYP. AND CONTINUOUS SEAL.

DETAIL - SECTION AT WINDOW REPLACEMENT
SCALE: 3" = 1'-0"

1
A6

DATE: 04.27.2015
REVISION: 08.28.2015

WHALE
-
139 UNION ST.
NEW BEDFORD,
MASSACHUSETTS
-
REHABILITATION

**PRELIMINARY
NOT FOR CONSTRUCTION**

CO-CREATIVE CENTER - PLAN KEY

EXISTING WALLS	
ADJACENT BUILDINGS	
PROPOSED WALLS	

studio2sustain
architects consultants environmental evangelists

412 county street new Bedford ma 02740 508.999.5145 p 508.999.5183 f studio2sustain.com

WINDOW DETAILS
-
ARCHITECTURAL
CLAD REPLACEMENT
-
PROPOSED
-
139 UNION STREET

A

6

GENERAL STOREFRONT NOTES:

1. THE SCOPE OF THE PROPOSED PROJECT INCLUDES:
 - A. REPAIR AND/OR REPLACEMENT OF DAMAGED BRICK.
 - B. RECONSTRUCTION OF EXISTING STOREFRONT & DOORS.
 - C. ADDITION OF VESTIBULE AND NEW ENTRANCE DOOR.
2. ALL WORK BEING PROPOSED AND/OR INDICATED TO BE PERFORMED IN STRICT ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL BUILDING CODES AND REGULATIONS.
3. ALL WORK BEING PROPOSED RELATIVE TO THE REPAIR, RESTORATION AND/OR REPLACEMENT OF HISTORIC BUILDING FABRIC TO COMPLY WITH THE SECRETARY FOR THE INTERIOR STANDARDS FOR REHABILITATION.
4. ALL EXISTING CITY OF NEW BEDFORD UTILITIES ARE TO REMAIN.
5. THE CONTRACTOR IS TO NOTIFY THE ARCHITECT AND THE OWNER IMMEDIATELY IF ANY EXISTING CONDITIONS, ELEVATIONS, OR DIMENSIONS APPEAR TO BE CONTRARY TO THE INFORMATION INDICATED AND/OR IMPLIED WITHIN THESE DRAWINGS AND SPECIFICATIONS.

NOTE: RECONSTRUCTED SCROLLED BRACKETS TO MATCH EXISTING.



RENDERING OF PROPOSED AWNING
NO SCALE



EXISTING STOREFRONT - SOUTH ELEVATION
NOT TO SCALE



EXISTING STOREFRONT - SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

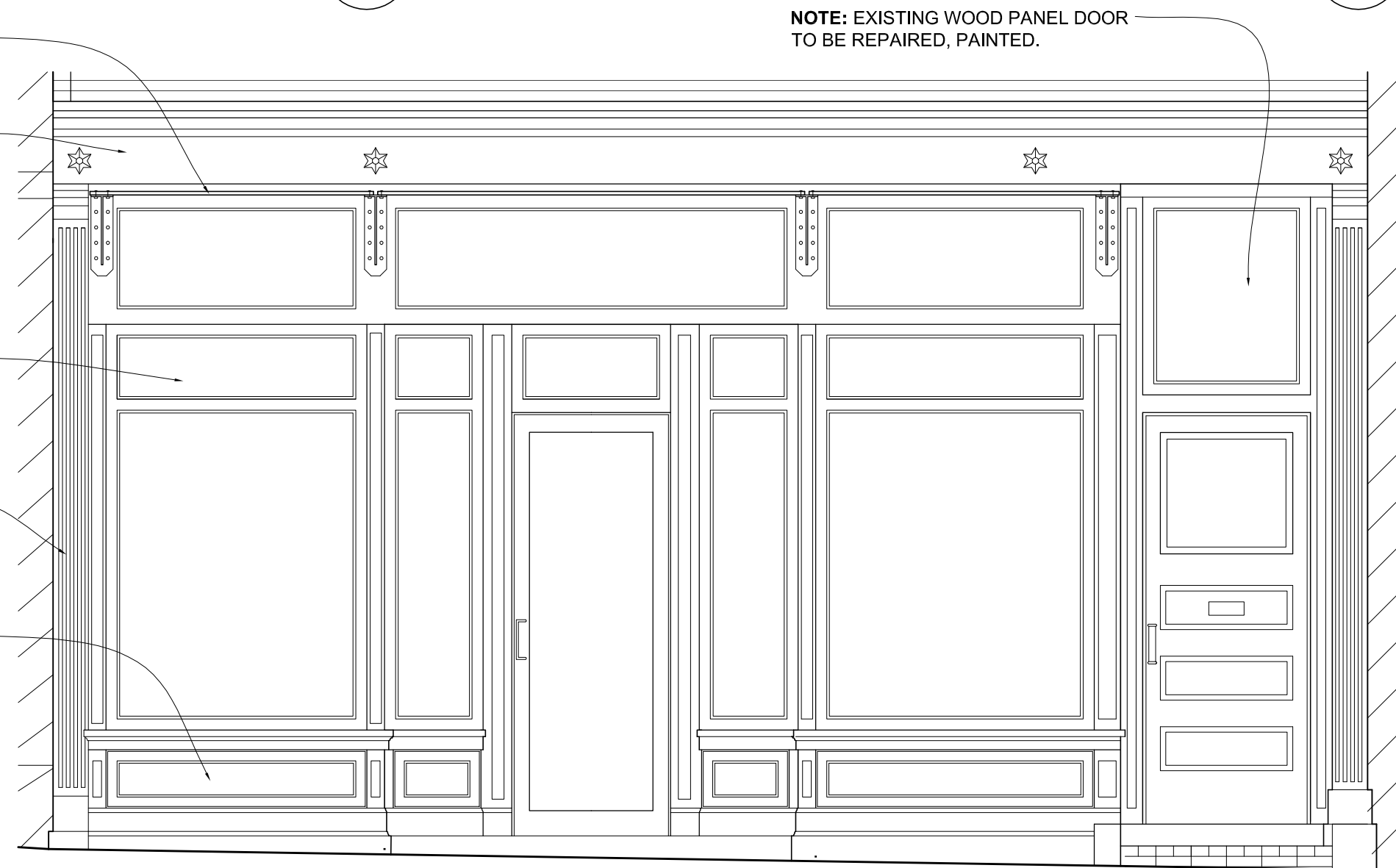
NOTE: NEW TEMPERED, SAFETY GLASS AWNING WITH STAINLESS STEEL BRACKETS FASTENED TO STRUCTURE ALONG FACADE.

NOTE: EXISTING STEEL LINTEL - REPAIRED & PAINTED.

NOTE: INSULATED AND TEMPERED FIXED GLASS UNITS INSTALLED IN WOOD FRAME, PAINTED.

NOTE: EXISTING STEEL COLUMN - REPAIRED AND PAINTED.

NOTE: PAINTED CEMENT FIBER PANELS WITH BOREL TRIM BOARDS, PAINTED. SEE A-8.



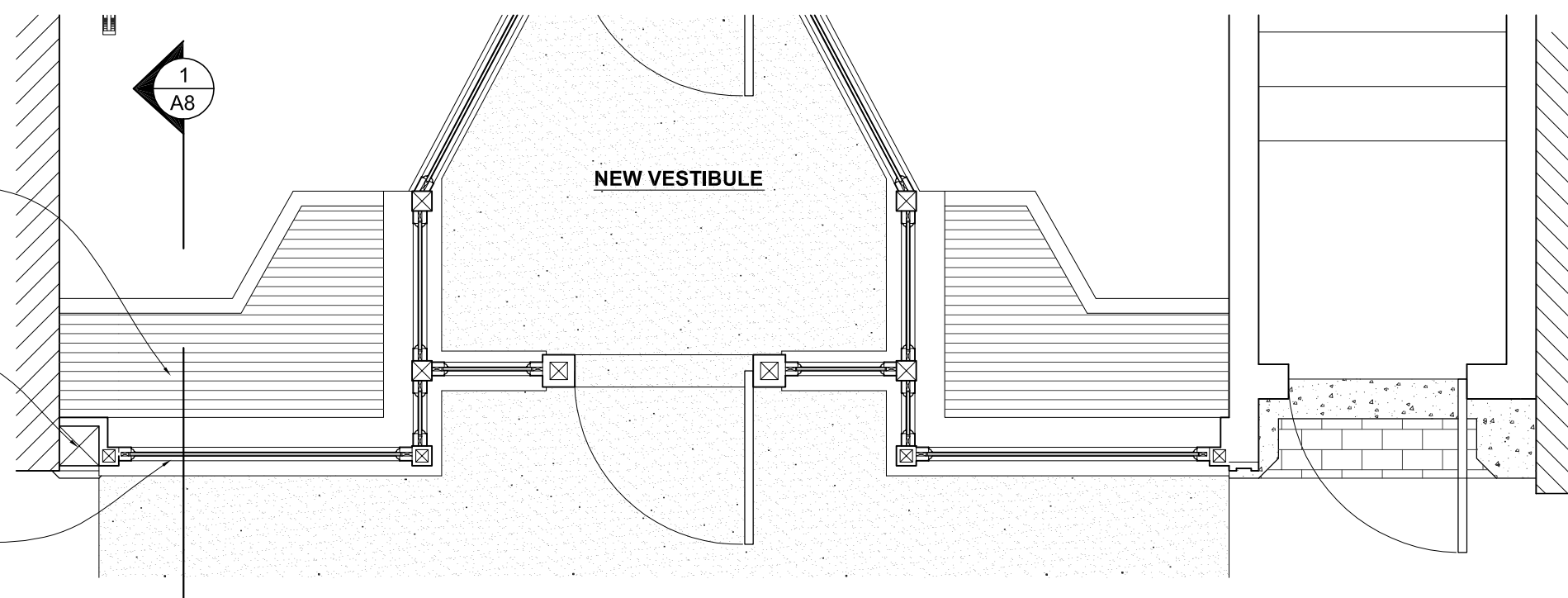
NOTE: EXISTING WOOD PANEL DOOR TO BE REPAIRED, PAINTED.

PROPOSED RECONSTRUCTED STOREFRONT - SOUTH ELEVATION
SCALE: 3/8" = 1'-0"

NOTE: ELEVATED DISPLAY PLATFORM WITH T & G WOOD FLOORING, MATCH EXISTING.

NOTE: HISTORIC CAST IRON COLUMN TO BE REPAIRED. EXTERIOR FLUTED FACE TO REMAIN AND TO BE PAINTED.

NOTE: RECONSTRUCTED STOREFRONT, SEE A-8.



PROPOSED STOREFRONT - ENLARGED PLAN
SCALE: 3/8" = 1'-0"

DATE: 04.27.2015
REVISION: 08.28.2015

WHALE
-
139 UNION ST.
NEW BEDFORD,
MASSACHUSETTS
-
REHABILITATION
-
**PRELIMINARY
NOT FOR CONSTRUCTION**

CO-CREATIVE CENTER - PLAN KEY

EXISTING WALLS	
ADJACENT BUILDINGS	
PROPOSED WALLS	

studio2sustain
architects consultants environmental evangelists

412 county street new Bedford ma 02740 508.999.5145 p 508.999.5183 f studio2sustain.com

STOREFRONT
DETAILS
-
EXISTING &
PROPOSED
-
139 UNION STREET

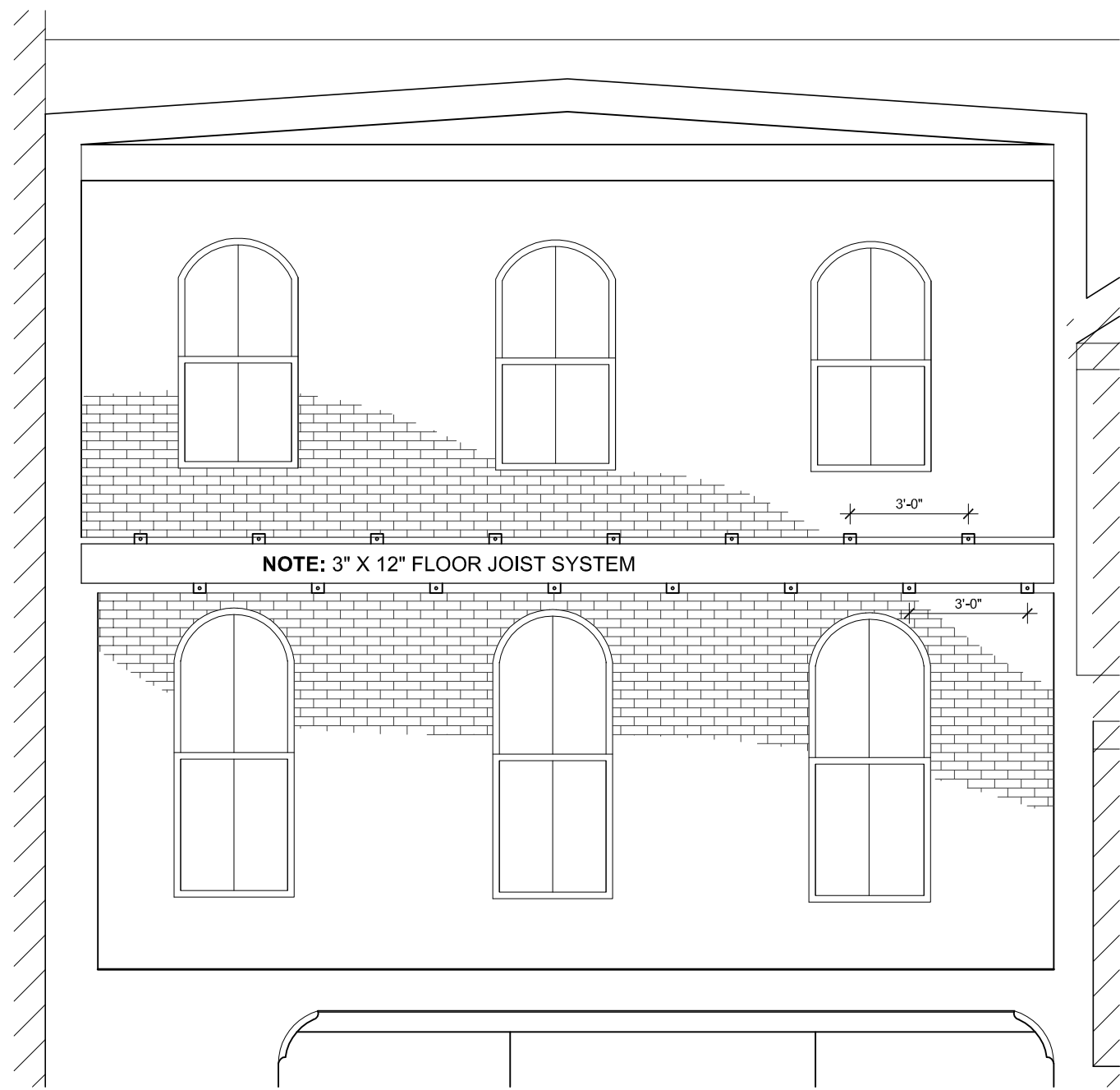
5
A7

1
A7

A 7

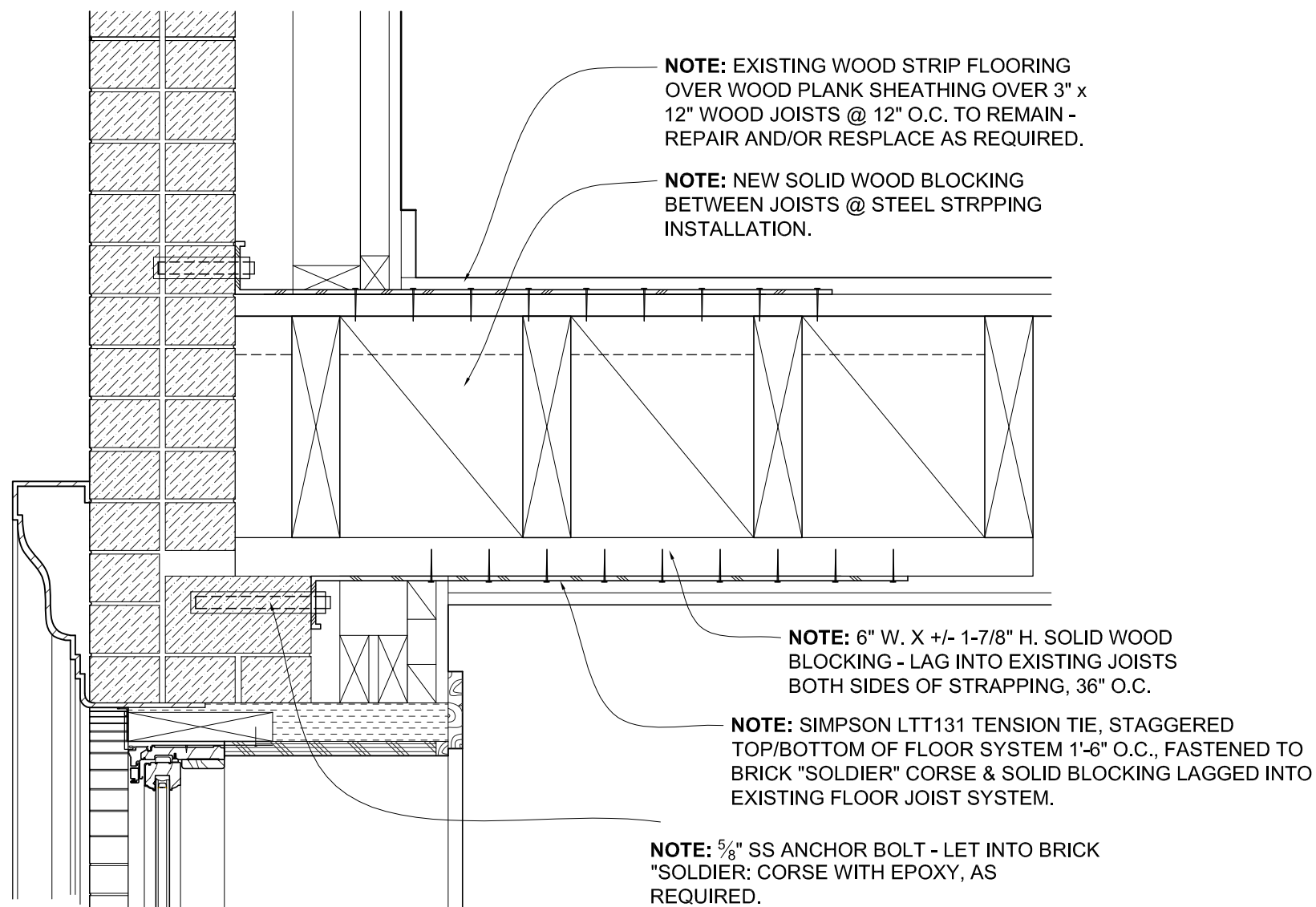
GENERAL NOTES:

1. REFER TO A-0 FOR GENERAL PROJECT NOTES & TO OTHER SHEETS FOR ADDITIONAL NOTES AND SPECIFICATIONS.



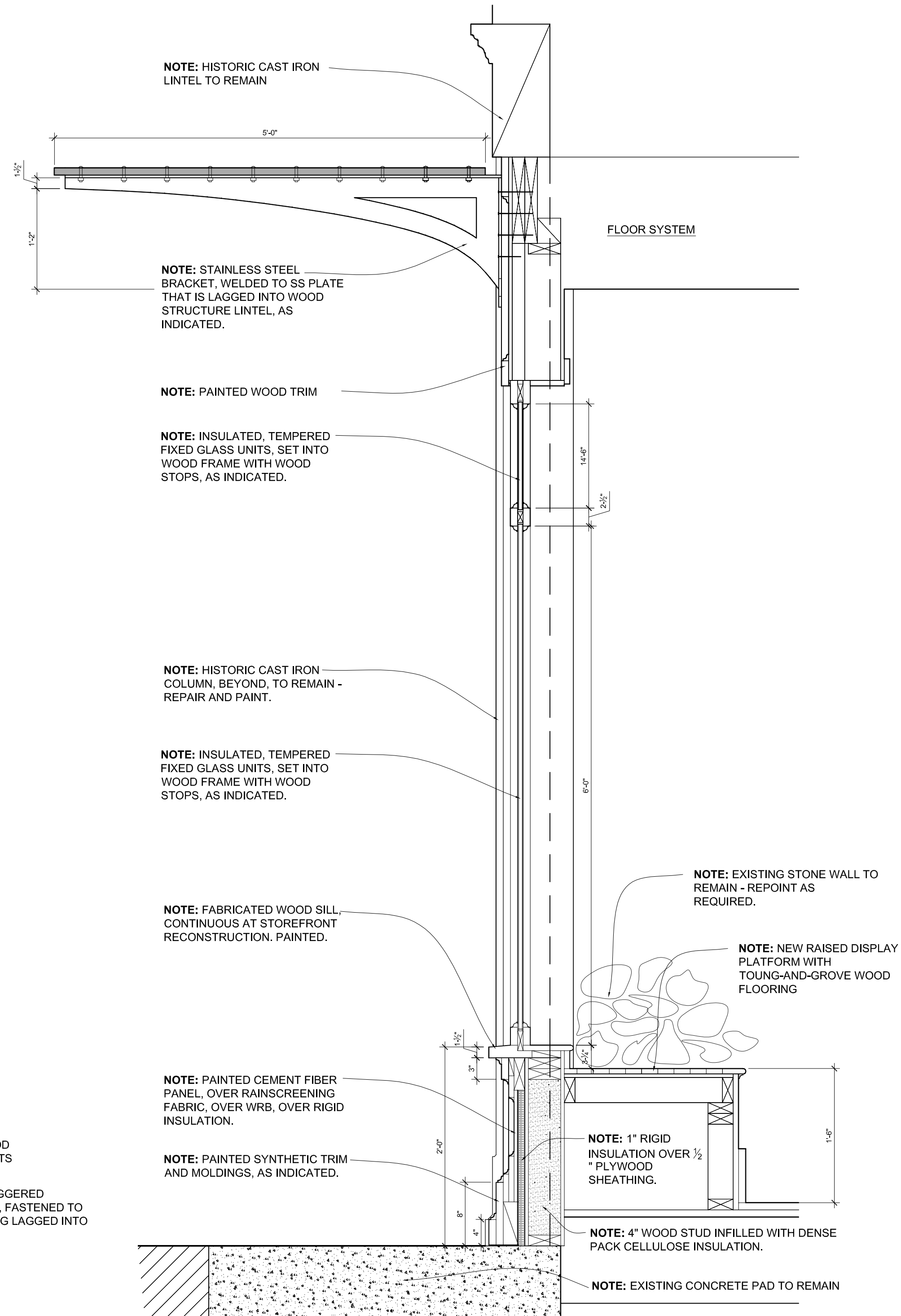
INTERIOR SOUTH ELEVATION - EXIST. & PROP. STRAPPING
SCALE: 1/4" = 1'-0"

3
A8



DETAIL - STEEL STRAPPING: BRICK WALL TO STRUCTURE
SCALE: 1-1/2" = 1'-0"

2
A8



DETAIL - SECTION AT PROPOSED STOREFRONT
SCALE: 1" = 1'-0"

1
A8

DATE: 04.27.2015
REVISION: 08.28.2015

WHALE
-
139 UNION ST.
NEW BEDFORD,
MASSACHUSETTS
-
REHABILITATION

**PRELIMINARY
NOT FOR CONSTRUCTION**

CO-CREATIVE CENTER - PLAN KEY

EXISTING WALLS	
ADJACENT BUILDINGS	
PROPOSED WALLS	

studio2sustain
architects consultants environmental evangelists

412 county street new Bedford ma 02740 508.999.5145 p 508.999.5183 f studio2sustain.com

**CONSTRUCTION
DETAILS**
-
EXISTING &
PROPOSED
-
139 UNION STREET

A 8