



PLANNING
 OCT 09 2015
 DEPARTMENT

Case 25-25

FIELD ENGINEERING CO., INC.
 CONSULTING ENGINEERS

110 INDUSTRIAL DRIVE
 P.O. BOX 1178
 MATTAPOISETT, MA 02739
 TEL: (508) 758-2749
 FAX: (508) 758-2849

THE CROCKER BUILDING
 4 COURT STREET SUITE 104
 TAUNTON, MA 02780
 TEL: (508) 824-9279
 FAX: (508) 824-9276

AERIAL PHOTOGRAPH
 RAW SEAFOODS INC.
 SITE PLAN REVIEW

SAMUEL BARNET BOULEVARD, NEW BEDFORD MASSACHUSETTS

Project No. 2064	Date 10/8/15
Scale NTS	Figure AERIAL

FILE COPY

ATTACHMENT 1



Google earth

feet 10
meters 3



SITE PHOTOGRAPH LOOKING WEST ON SAMUEL
BARNET BOULEVARD

CASE 25-15

PLANNING
OCT 09 2015
DEPARTMENT
FILE COPY



Google earth

feet 10
meters 3



EXISTING POWERLINE EASEMENT ON PROPERTY

CASE 25-15

PLANNING
OCT 09 2015
DEPARTMENT
FILE COPY



Google earth

feet 10
meters 3



SITE PHOTOGRAPH LOOKING EAST ON SAMUEL
BARNET BOULEVARD

CASE 25-15

PLANNING
OCT 09 2015
DEPARTMENT
FILE COPY

NARRATIVE TO ACCOMPANY PLANNING BOARD
PETITION FOR SITE PLAN APPROVAL
RAW SEAFOODS INC
PROPOSED COLD STORAGE FACILITY
SAMUEL BARNET BOULEVARD
NEW BEDFORD, MASSACHUSETTS

1.0 PROJECT OVERVIEW

On behalf of our client and applicant of record, Raw Seafoods Inc., Field Engineering has prepared this Planning Board Petition for a Site Plan Approval in accordance with the City of New Bedford Comprehensive Zoning By Law and the Planning Board Rules and Regulations for Site Plan Approval for review and approval of the proposed construction of an approximate 92,000 square foot cold storage facility on an existing vacant lot located on Samuel Barnet Boulevard in the New Bedford Business Park.

The applicant is proposing to this development to expand and supplement their existing operations in the City of New Bedford. Work will include construction of the building with proposed parking and loading areas as shown on the Proposed Site Development Plans accompanying this petition. The applicant is also proposing to construct a railroad spur off the rail line that currently exists along the westerly boundary of the project site.

As the Site Plans show, the proposed impervious surfaces will be serviced by an extensive stormwater management system including sediment forebays, deep sump catch basins and either an extended detention/infiltration basin or wet basin that will serve to treat and attenuate the runoff prior to discharge of the runoff off-site. A portion of the proposed impervious surface will be treated by an on-site proprietary water quality unit prior to discharge to the existing drainage system off-site.

The proposed building will be serviced by water, sewer, electric, and communications utilities currently located within Samuel Barnet Boulevard. The site will be accessed by a single access driveway off Samuel Barnet Boulevard on the easterly side of the site. Finally, as the attached Proposed Site Development Plans show, provisions have been made for the potential future expansion of the proposed facility and the stormwater management system has been sized to accommodate this additional impervious area.

PLANNING
OCT 13 2015
DEPARTMENT
Case 25-15

ATTACHMENT 2

2.0 EXISTING CONDITIONS

The proposed project is located on City of New Bedford Assessor's Lot 63 on Map 133 and the legal address of the project site is NS Samuel Barnet Boulevard. The project site is bounded to the east and north by an extensive wetland system, bounded to the south by Samuel Barnet Boulevard, and bounded to the east by an existing power line easement and wetland complex containing a perennial stream. On the other side of the wetland complex and perennial stream is an existing rail line. An existing grassed swale runs along the front of the property between Samuel Barnet Boulevard and the developable portion of the property. The existing 14.1 acres parcel is currently vacant wooded area and contains approximately 10.6 acres of upland.

The wetland resource areas surrounding the eastern and northern sides of the site have been previously delineated and approved through an Abbreviated Notice of Resource Area Delineation. The wetland resource area and perennial stream along the western property boundary were flagged by Epsilon Associates in September 2015. As was mentioned in previous sections of this narrative, the entire site is currently wooded with the exception of the existing power line easement along the western side of the property. According to the most recent Federal Emergency Management Agency (FEMA) Flood Insurance mapping, Community Panel Nos. 255216-0377-F, dated 7/7/2009, no portion of the proposed project site is located within the 100 year floodplain.

3.0 PROPOSED CONDITIONS

3.1 PROPOSED BUILDING

The project consists of the construction of an approximate 92,000 square foot cold storage warehouse building with associated office, reception, and common spaces as shown on the attached Proposed Site Development Plans prepared by Field Engineering Co. Inc. and floor plan prepared by CMC, Inc. The building will be serviced by eight (8) loading docks located to the rear of the building, one (1) drive-in door adjacent to the loading docks and one (1) loading door along the westerly side of the building for rail access. There will be two separate entrances to the building along the rear façade, one entrance for general employee access and one entrance for truck drivers coming to the facility. As previously mentioned, provisions have also been made for a future addition to the building as shown on the site plans. Finally, the proposed building will be constructed with an energy efficient white TPO roof which help to minimize cooling costs for the proposed freezer building and also minimize "heat island" impacts.

3.2 SITE IMPROVEMENTS

The proposed site improvements will include the construction of a single access drive off of Samuel Barnet Boulevard to the parking and loading areas located behind the proposed building. Twenty seven (27) paved parking spaces are proposed with two (2) handicap spaces as shown on the site plans. In addition eight (8) paved truck spaces and one (1) drive-in door will be provided to access the proposed enclosed loading area. The site will be serviced by existing public utilities currently available within Samuel Barnet Boulevard. Proposed lighting will consist of wall-packs on the building and low-level ground lighting within the landscaped areas.

The applicant is also proposing to construct a rail spur off the existing industrial rail line that is located along the westerly boundary of the project. This rail spur will require a crossing over the existing perennial stream. This crossing will be designed to meet both the standards of the rail company and the U.S. Army Corps Stream Crossing Standards as required by the Massachusetts Wetlands Protection Act. This stream crossing will be reviewed through the Notice of Intent process with the New Bedford Conservation Commission. Wetlands alteration associated with the stream crossing has been kept beneath 5,000 square feet with adequate wetland replication, therefore allowing the Conservation Commission to permit the work.

3.3 STORMWATER MANAGEMENT SYSTEM AND COMPLIANCE WITH APPLICABLE STANDARDS

he proposed stormwater management system has been designed to comply with DEP's stormwater management standards that were incorporated into the regulations on

January 2, 2008 (see 310 CMR 10.05(6)(k)) and incorporates a number of Best Management Practices (BMPs), as prescribed in the Department of Environmental Protection Stormwater Management Handbook. These practices include structural and non-structural measures providing stormwater quantity and quality management. These BMPs will function to minimize potential adverse water quality impacts to the surrounding wetland ecosystem. The Stormwater Management System Report prepared by Field Engineering Co. Inc. describes the temporary and permanent stormwater BMPs proposed for the site development and includes drainage calculations prepared by a Registered Professional Engineer, a DEP Stormwater Management Form Checklist, and a Post Construction Operation and Maintenance Plan with Long Term Pollution Prevention Plan.

The existing and proposed paved and gravel parking areas on the developed lot are the primary target area for water quantity and quality control measures for the project. The goal of the proposed stormwater management system design was to provide the necessary water quality treatment and attenuation for all of the runoff generated in proposed conditions. The stormwater management system makes use of a variety of stormwater Best Management Practices (BMP's) to meet this objective. These BMP's are described in more detail in the attached Stormwater Management System Report.

Runoff from the majority of the site will flow through sediment forebays and extended detention/infiltration systems with culvert outfalls and overflow riprap spillways which will serve to reduce the rates of runoff to the subject analysis point. A portion of the paved surface will discharge to a proprietary water quality inlet for pre-treatment prior to discharge to the analysis point. The predicted Total Suspended Solids (TSS) Removal and Water Quality calculations for these areas are submitted in the Stormwater Management System Report. Calculations have been provided to show that the proposed stormwater management system will provide more than adequate water quality volumes and capabilities to handle the proposed paved and impervious areas on the developed portions of the lot prior to discharge off-site.

Finally, the Project Proponent will file for coverage under the National Pollutant Discharge and Elimination System Construction General Permit. Prior to construction, the Project Proponent will develop Stormwater Pollution Prevention Plan ("SWPPP") identifying BMPs that will be implemented to prevent erosion and sedimentation. A copy of this SWPPP will be forwarded to the Conservation Commission upon completion. The SWPPP will be finalized prior to construction in conjunction with the selection of the site contractor. The SWPPP will be updated as necessary during construction and maintained throughout the period of construction.

PROPOSED SITE DEVELOPMENT RAW SEAFOODS

SITE DRAWINGS

ISSUED FOR: PERMITTING
DATE ISSUED: OCTOBER 8, 2015
LATEST ISSUE:

CITY PLANNING DEPT.
NEW BEDFORD, MA
2015 OCT -9 P 9 08
CITY CLERK

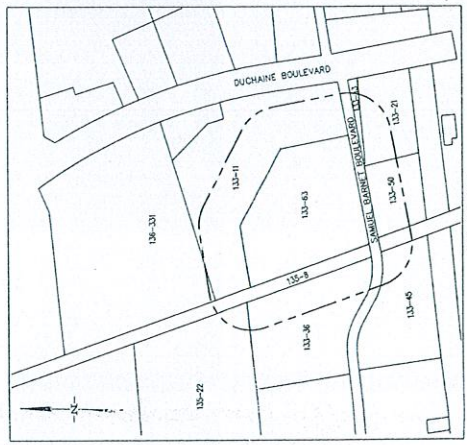
SAMUEL BARNET BOULEVARD
NEW BEDFORD, MASSACHUSETTS

INDEX TO DRAWINGS

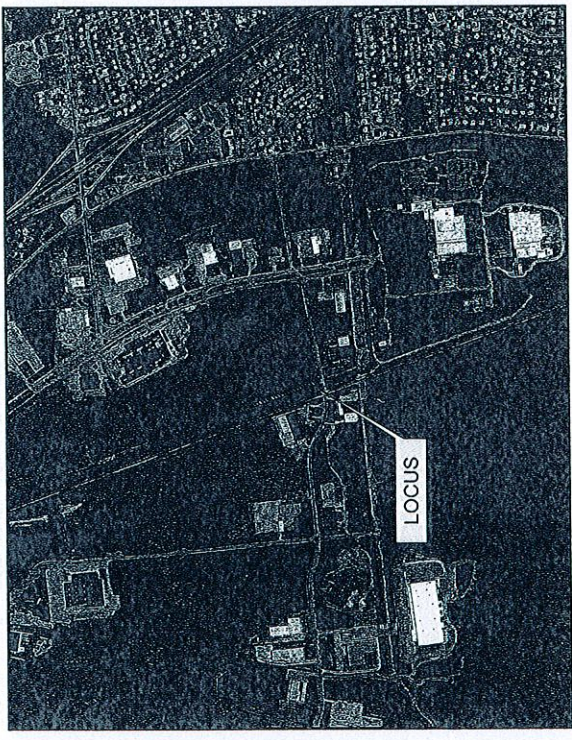
SHEET	DRAWING TITLE
N-1	TITLE SHEET
EC-1	NOTES & LEGEND
SL-1	EXISTING CONDITIONS
SGD-1	SITE LAYOUT
SU-1	SITE GRADING & DRAINAGE
PP-1	SITE UTILITIES
REP-1	RAIL SPUR PLAN & PROFILE
EROS-1	WETLAND REPLICATION
LAND-1	EROSION CONTROL
D-1	SITE LANDSCAPING
D-2	DETAIL SHEET 1
	DETAIL SHEET 2

--- 100' NOTIFICATION LINE
--- 300' NOTIFICATION LINE
--- PROJECT SITE

LOT NO.	OWNER OF RECORD
133-21	GREATER NEW BEDFORD INDUSTRIAL FOUNDATION
133-13	ARTHUR L. WATKINS TRUSTEE
133-20	ARTHUR L. WATKINS TRUSTEE
133-14	SP. BARNES INC. SAMUEL BARNET
133-15	SP. BARNES INC. SAMUEL BARNET
133-25	SEVIA CORPORATION
133-26	SEVIA CORPORATION
133-16	SEVIA CORPORATION
133-17	SEVIA CORPORATION
133-18	SEVIA CORPORATION
133-19	SEVIA CORPORATION
133-22	GREATER NEW BEDFORD INDUSTRIAL FOUNDATION
133-23	GREATER NEW BEDFORD INDUSTRIAL FOUNDATION
133-24	GREATER NEW BEDFORD INDUSTRIAL FOUNDATION
133-27	ACQUIST COMPANY C/O THE BIRNBERG



PROJECT LOCATION:
ASSESSORS MAP 133 LOT 63
NEW BEDFORD, MASSACHUSETTS



ENGINEER: FIELD ENGINEERING CO., INC.
11D INDUSTRIAL DRIVE
P.O. BOX 1178
MATTAPoisETT, MA 02739

APPLICANT: RAW SEAFOODS
481 CURRANT ROAD
FALL RIVER, MA 02720

OWNER: GREATER NEW BEDFORD INDUSTRIAL FOUNDATION
1213 PURCHASE STREET
NEW BEDFORD, MA 02740
DEPARTMENT

PROPOSED SITE DEVELOPMENT
MAP 133 LOT 63
11D INDUSTRIAL DRIVE
P.O. BOX 1178
MATTAPoisETT, MA 02739

FIELD ENGINEERING CO., INC.
CONSULTING ENGINEERS
11D INDUSTRIAL DRIVE
P.O. BOX 1178
MATTAPoisETT, MA 02739
REG. NO. 100073
EXPIRES 12/31/2016

REG. NO. 100073
EXPIRES 12/31/2016

2084

FILE COPY

REC 15-16
PLANNING
OCT 09 2015

ATTACHMENT 3

FIELD ENGINEERING CO., INC.
CONSULTING ENGINEERS

110 INDUSTRIAL DRIVE
P.O. BOX 1118
NEW BEDFORD, MASSACHUSETTS
TEL. (508) 548-2270
FAX. (508) 758-9066

THE GODDARD BUILDING
130 STATE STREET
NEW BEDFORD, MASSACHUSETTS
TEL. (508) 457-0174
FAX. (508) 457-0174

No.	Description	Date	App'd

Date:	10/28/15
Scale:	1"=50'
Drawn by:	RMS
Checked by:	JCC/RRS
Revised for:	PERMITTING



PROPOSED SITE DEVELOPMENT
RAW SEAFOODS

EXISTING CONDITIONS

PROJECT NO. 2044 SHEET 3 OF 12
DATE: 10/28/15

RAW SEAFOODS
SAMUEL BARNETT BOULEVARD
NEW BEDFORD, MASSACHUSETTS



9/24 8/24

FIELD ENGINEERING CO., INC.
CONSULTING ENGINEERS

10 INDUSTRIAL BLVD.
MATTAPAN, MASSACHUSETTS 01903
PHONE: 508-853-1234
FAX: 508-853-1235

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NO.	DESCRIPTION	DATE	BY
1	PROPOSED PERMANENT WETLAND ALTERNATIVE	10/30/15	...
2	PROPOSED PERMANENT WETLAND ALTERNATIVE	10/30/15	...
3	PROPOSED PERMANENT WETLAND ALTERNATIVE	10/30/15	...
4	PROPOSED PERMANENT WETLAND ALTERNATIVE	10/30/15	...
5	PROPOSED PERMANENT WETLAND ALTERNATIVE	10/30/15	...

PROPOSED SITE DEVELOPMENT

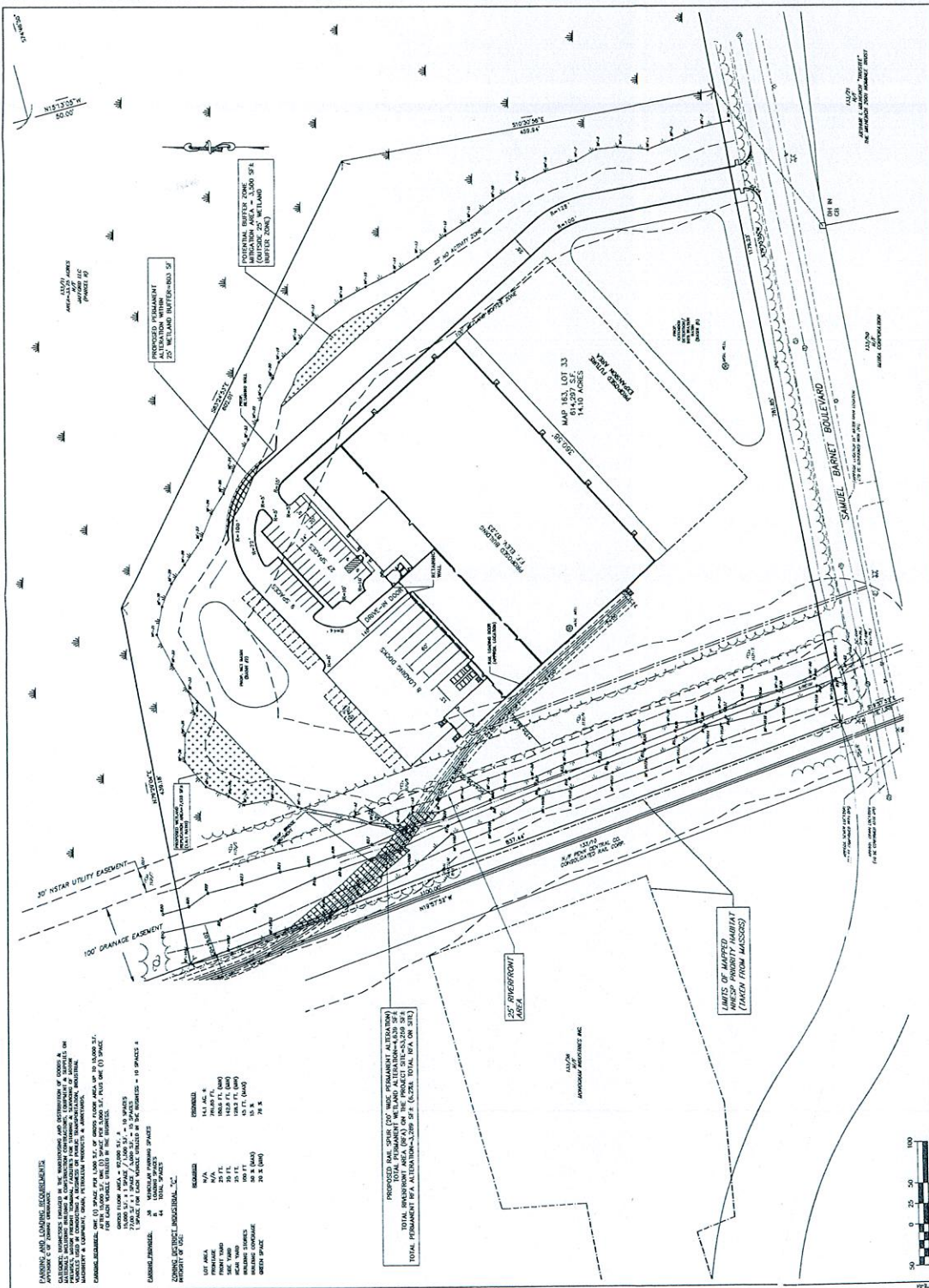
RAW SEAFOODS

SAMUEL BARNET BOULEVARD
NEW BEDFORD, MASSACHUSETTS

SITE LAYOUT

Scale: 4.00" = 1' 00" 12"

Sheet: **SL-1**
CHES 22-15



PAVING AND LANDSCAPE REQUIREMENTS

CONCRETE DRIVEWAYS SHALL BE 4" THICK AND FINISHED WITH BROOM. CONCRETE SIDEWALKS SHALL BE 4" THICK AND FINISHED WITH BROOM. ASPHALT DRIVEWAYS SHALL BE 4" THICK AND FINISHED WITH BROOM. ASPHALT SIDEWALKS SHALL BE 4" THICK AND FINISHED WITH BROOM. ASPHALT DRIVEWAYS SHALL BE 4" THICK AND FINISHED WITH BROOM. ASPHALT SIDEWALKS SHALL BE 4" THICK AND FINISHED WITH BROOM.

PROPOSED PERMANENT WETLAND ALTERNATIVE

TOTAL PERMANENT WETLAND ALTERNATIVE: 1,200 SQ. FT.

TOTAL PERMANENT WETLAND ALTERNATIVE: 1,200 SQ. FT.

DESCRIPTION	AREA (SQ. FT.)
LOT AREA	14,000
FRONT YARD	2,000
REAR YARD	2,000
SIDE YARD	2,000
OPEN SPACE	2,000
TOTAL SPACES	2,000

PROPOSED PERMANENT WETLAND ALTERNATIVE

TOTAL PERMANENT WETLAND ALTERNATIVE: 1,200 SQ. FT.

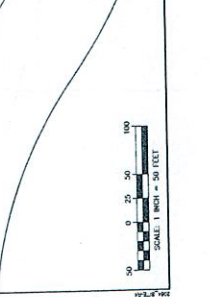
TOTAL PERMANENT WETLAND ALTERNATIVE: 1,200 SQ. FT.

25' RIVERFRONT AREA

APPROXIMATE MEASUREMENT: 25' x 100'

LIMITS OF UNALTERED HABITAT (TAKEN FROM MASSGIS)

APPROXIMATE MEASUREMENT: 100' x 100'



PLANNING

OCT 30 2015

DEPARTMENT

COPY

FIELD ENGINEERING CONSULTING ENGINEERS
 150 INDUSTRIAL CENTER
 P.O. BOX 1118
 NEW BEDFORD, MA 01903
 TEL: (508) 752-2700
 FAX: (508) 752-2999

THE CHOCOMA BUILDING
 4 CORNS STREET SUITE 104
 TEL: (508) 84-8077
 FAX: (508) 84-8252

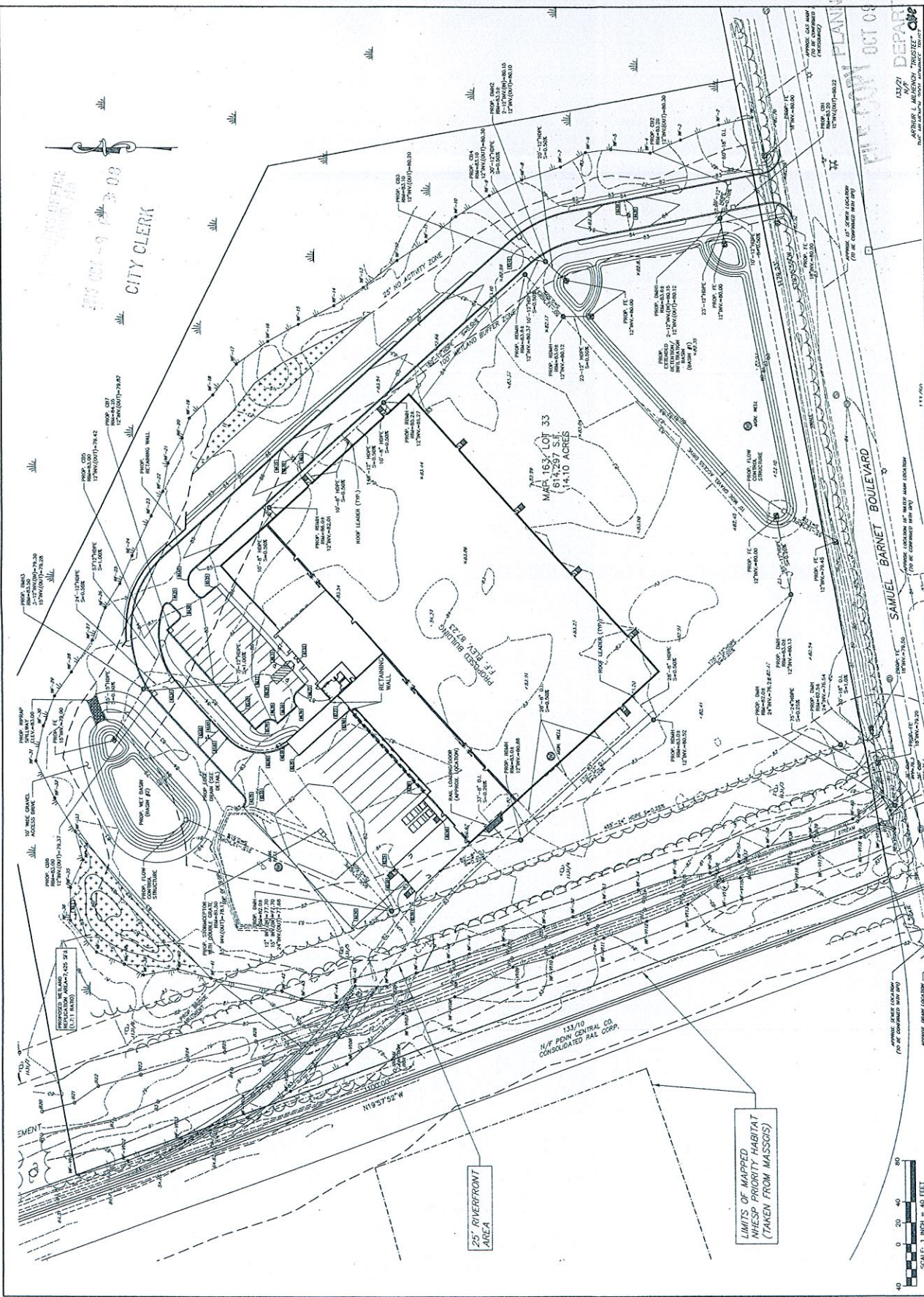
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1088745 <td></td> <td></td> <td></td>			

DATE: 11-14-07
 PROJECT: PERMITTING
 DRAWN BY: [Signature]



PROPOSED SITE DEVELOPMENT
 RAW SEAFOODS
 SAMUEL BARNET BOULEVARD
 NEW BEDFORD, MASSACHUSETTS

DATE: 10/20/06
 SCALE: 5.0/12
ME-SGD-1
 15-15



13/271 DEPARTMENT OF PUBLIC WORKS
 APPROVED FOR THE CITY OF NEW BEDFORD
 FILE NO. 001-09
 OCT 09

13/271 DEPARTMENT OF PUBLIC WORKS
 APPROVED FOR THE CITY OF NEW BEDFORD
 FILE NO. 001-09
 OCT 09

13/271 DEPARTMENT OF PUBLIC WORKS
 APPROVED FOR THE CITY OF NEW BEDFORD
 FILE NO. 001-09
 OCT 09

13/271 DEPARTMENT OF PUBLIC WORKS
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 FILE NO. 001-09
 OCT 09

13/271 DEPARTMENT OF PUBLIC WORKS
 APPROVED FOR THE CITY OF NEW BEDFORD
 FILE NO. 001-09
 OCT 09

13/271 DEPARTMENT OF PUBLIC WORKS
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 OCT 09

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 APPROVED FOR THE CITY OF NEW BEDFORD
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 OCT 09

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 APPROVED FOR THE CITY OF NEW BEDFORD
 FILE NO. 001-09
 OCT 09

13/271 DEPARTMENT OF PUBLIC WORKS
 APPROVED FOR THE CITY OF NEW BEDFORD
 FILE NO. 001-09
 OCT 09


FIELD ENGINEERING CONSULTING ENGINEERS
 165 INDUSTRIAL DRIVE
 P.O. BOX 1179
 NEW BEDFORD, MASSACHUSETTS
 TEL: (508) 754-3228
 FAX: (508) 754-3299

THE CHRONICLE BUILDING
 33 STATE ST
 14TH FLOOR
 NEW BEDFORD, MASSACHUSETTS 01905
 TEL: (508) 844-9279
 FAX: (508) 844-9283

No.	Description	Date	By

Date: 10/09/15
 Scale: 1"=50'
 Drawn by: J. JOHNSON
 Checked by: J. JOHNSON
 Date: 10/09/15

PERMITTING

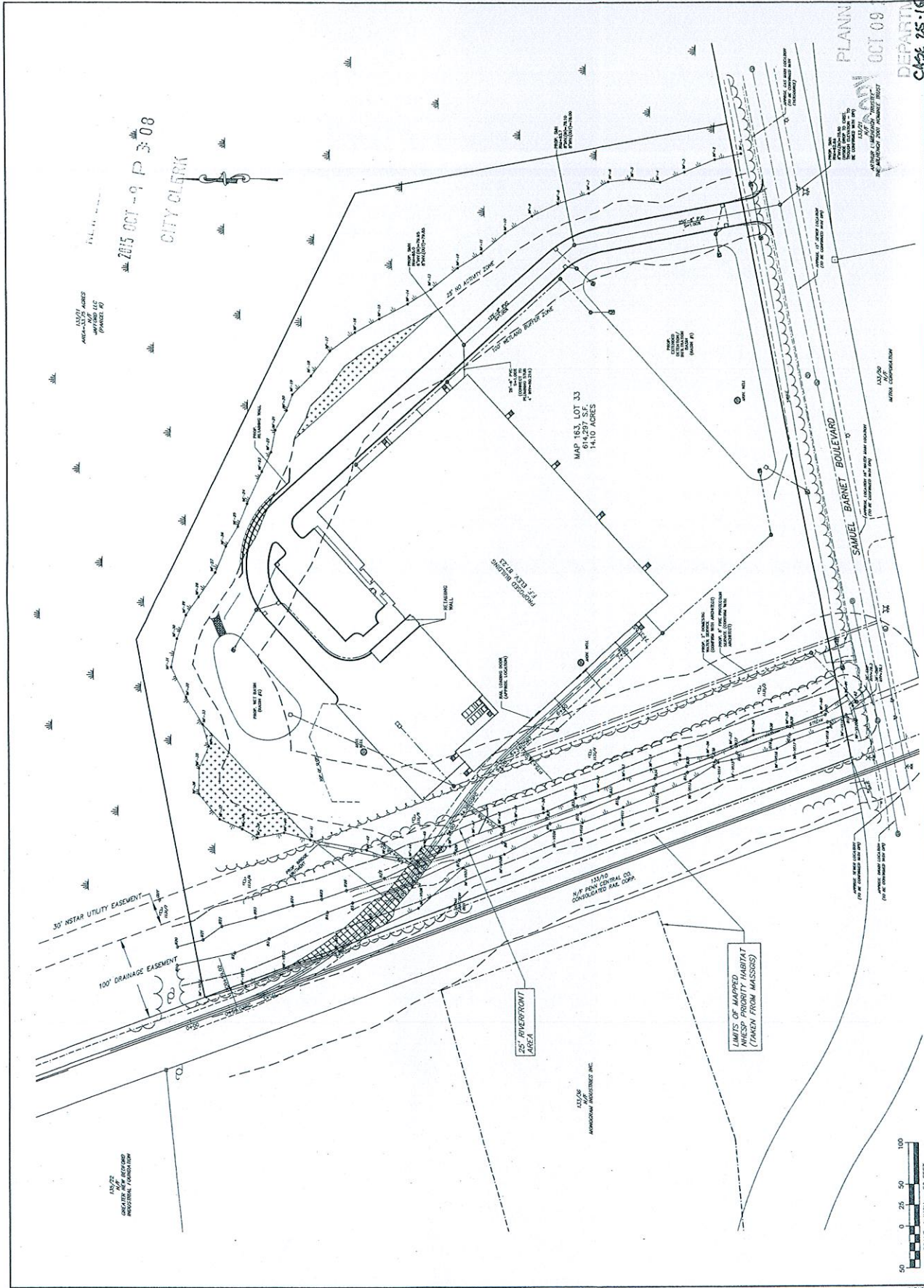
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PROPOSED SITE DEVELOPMENT
 RAW SEAFOODS
 SAUEL BARNET BOULEVARD
 NEW BEDFORD, MASSACHUSETTS

SITE UTILITIES

Project No.: 2004
 Date: 10/09/15

DEPARTMENT SU-1



2004-10-09 15:03

FIELD ENGINEERING CONSULTING ENGINEERS
 185 INDUSTRIAL DRIVE
 FALMOUTH, MASSACHUSETTS
 TEL: (508) 751-7277
 FAX: (508) 751-2899

THE CHECKER BUILDING
 100 STATE ST.
 BOSTON, MASSACHUSETTS
 TEL: (617) 624-0077
 FAX: (617) 624-0078

No.	Description	Date	Drawn	Checked

PERMITTING

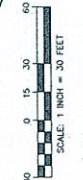
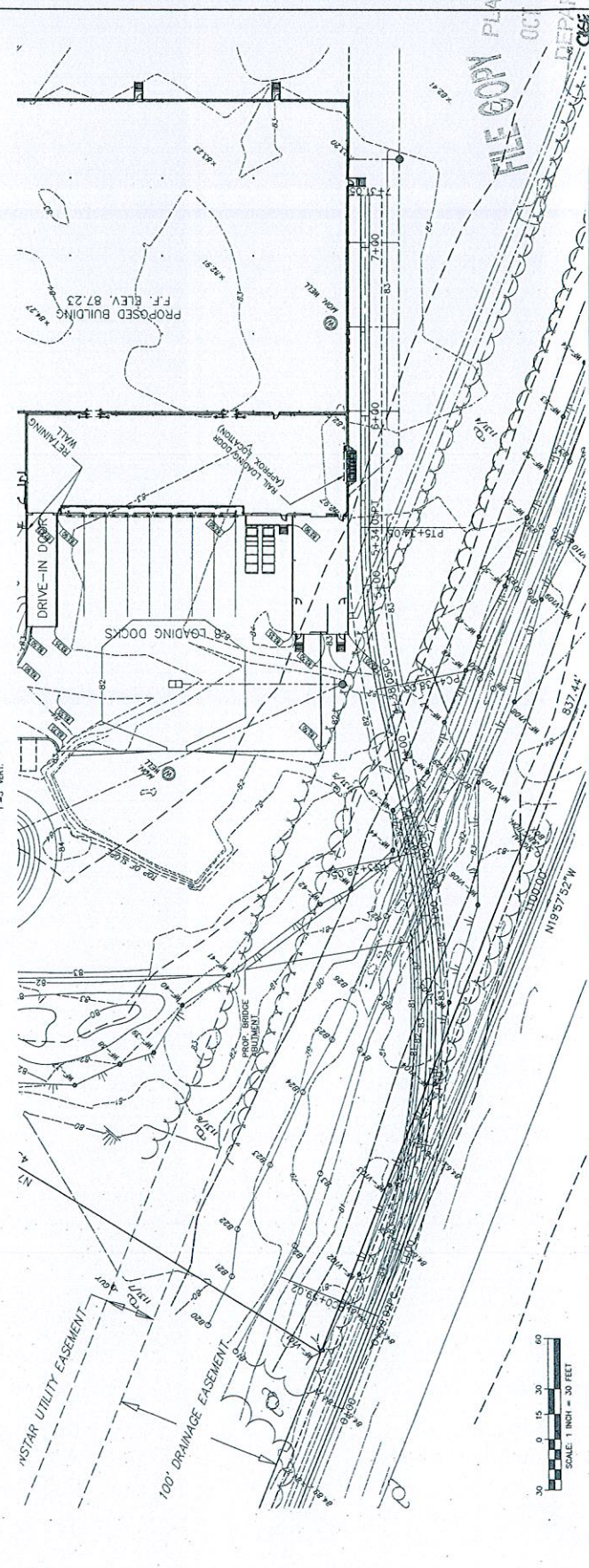
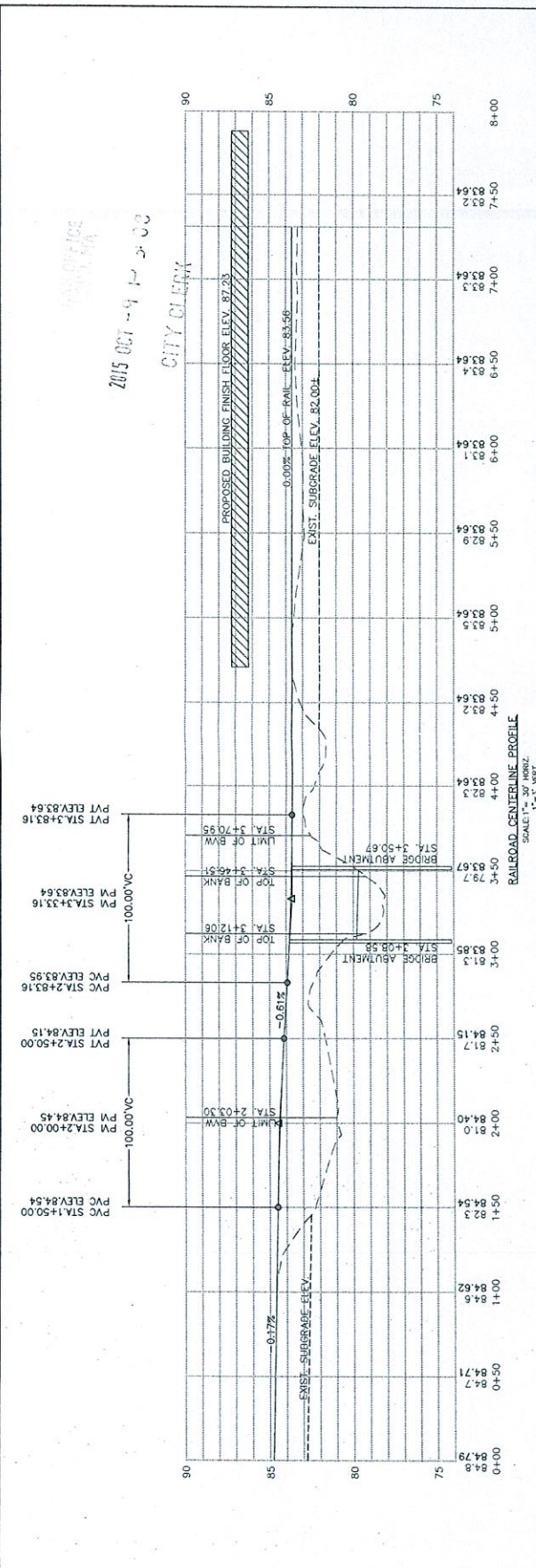
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 Checked By:
 Date:
 Scale:

PROPOSED SITE DEVELOPMENT
 RAW SEAFOODS
 SAMUEL BARNET BOULEVARD
 NEW BEDFORD, MASSACHUSETTS

Contract Title:
 RAILROAD SPUR
 PLAN & PROFILE

Project No:
 Date:
 Sheet: OF

PP-1
 75



FIELD ENGINEERING CONSULTING ENGINEERS
 110 INDUSTRIAL DRIVE
 MATTAPOISETT, MA 02727
 TEL: (508) 226-2800
 FAX: (508) 226-2805

THE GOODWIN BUILDING
 4 COURT THREE, SUITE 104
 NEW BEDFORD, MA 01905
 TEL: (508) 842-0270
 FAX: (508) 842-0270

Date	Description	Drawn	Checked
10/09/75 <td></td> <td></td> <td></td>			

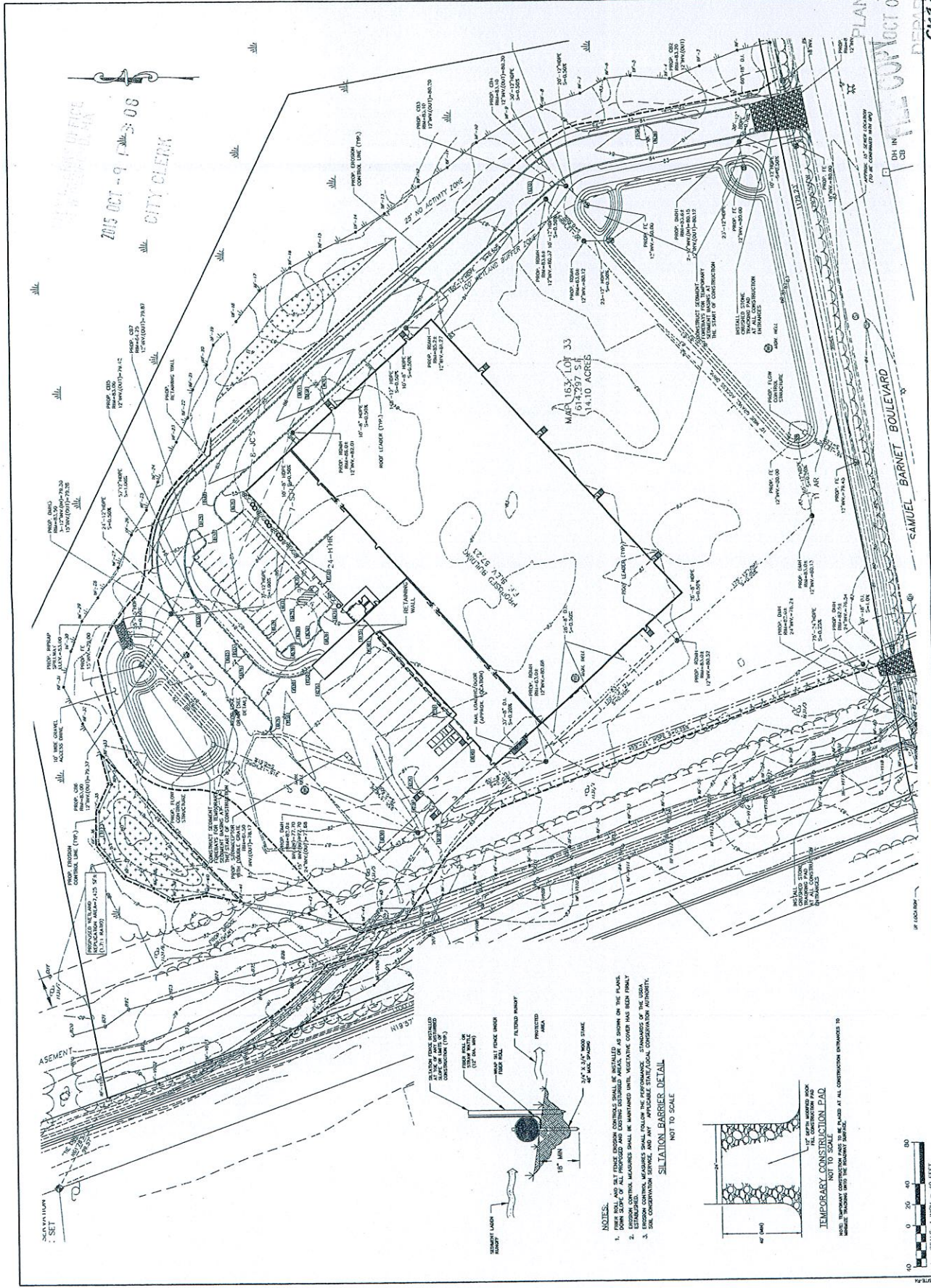
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Designed By: JCC
 Checked By: JCC
 Title: PERMITTING



PROPOSED SITE DEVELOPMENT
 RAW SEAFOODS
 SAMUEL BARNETT BOULEVARD
 NEW BEDFORD, MASSACHUSETTS

EROSION CONTROL
 Drawing No. EROS-1
 Date: 10/09/75
 Sheet: 1 OF 12

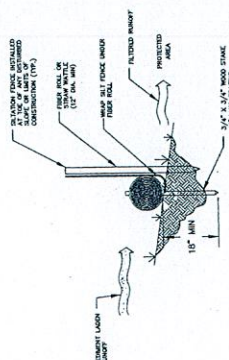


2015 OCT - 9 10:30 AM
 CITY CLERK

MAP 1634 LOT 33
 614297 S
 14.10 ACRES

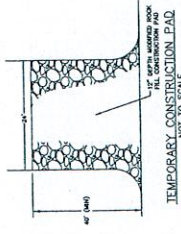
PLAN
 10/09/75
 10/09/75

51-92 294
 0871



- NOTES:
1. 18" DIA. AND 12" DIA. EROSION CONTROLS SHALL BE INSTALLED AS SHOWN ON THE PLANS.
 2. ROCK CHECK DAMS AND BARRIERS SHALL BE MAINTAINED UNTIL VEGETATIVE COVER HAS BEEN FINALLY ESTABLISHED.
 3. ALL CONSTRUCTION SHALL FOLLOW THE PERFORMANCE STANDARDS OF THE USDA, SOIL CONSERVATION SERVICE, AND ANY APPLICABLE STATE/LOCAL CONSERVATION AUTHORITY.

SILTATION BARRIER DETAIL
 NOT TO SCALE



TEMPORARY CONSTRUCTION PAD
 NOT TO SCALE
 NOTE: MAINTAIN COVER OVER THE BARRIERS THROUGHOUT THE CONSTRUCTION PERIOD.



FIELD ENGINEERING CO., INC.
CONSULTING ENGINEERS

110 INDUSTRIAL DRIVE
MAYFIELD HILLS, MASSACHUSETTS 01951
TEL: 508/534-5400
FAX: 508/534-5401

110 INDUSTRIAL DRIVE
MAYFIELD HILLS, MASSACHUSETTS 01951
TEL: 508/534-5400
FAX: 508/534-5401

Project No.	1081/15
Date	1-2-07
Drawn By	J.C. COOPER
Checked By	R.B.R.
Project Name	PERMITTING



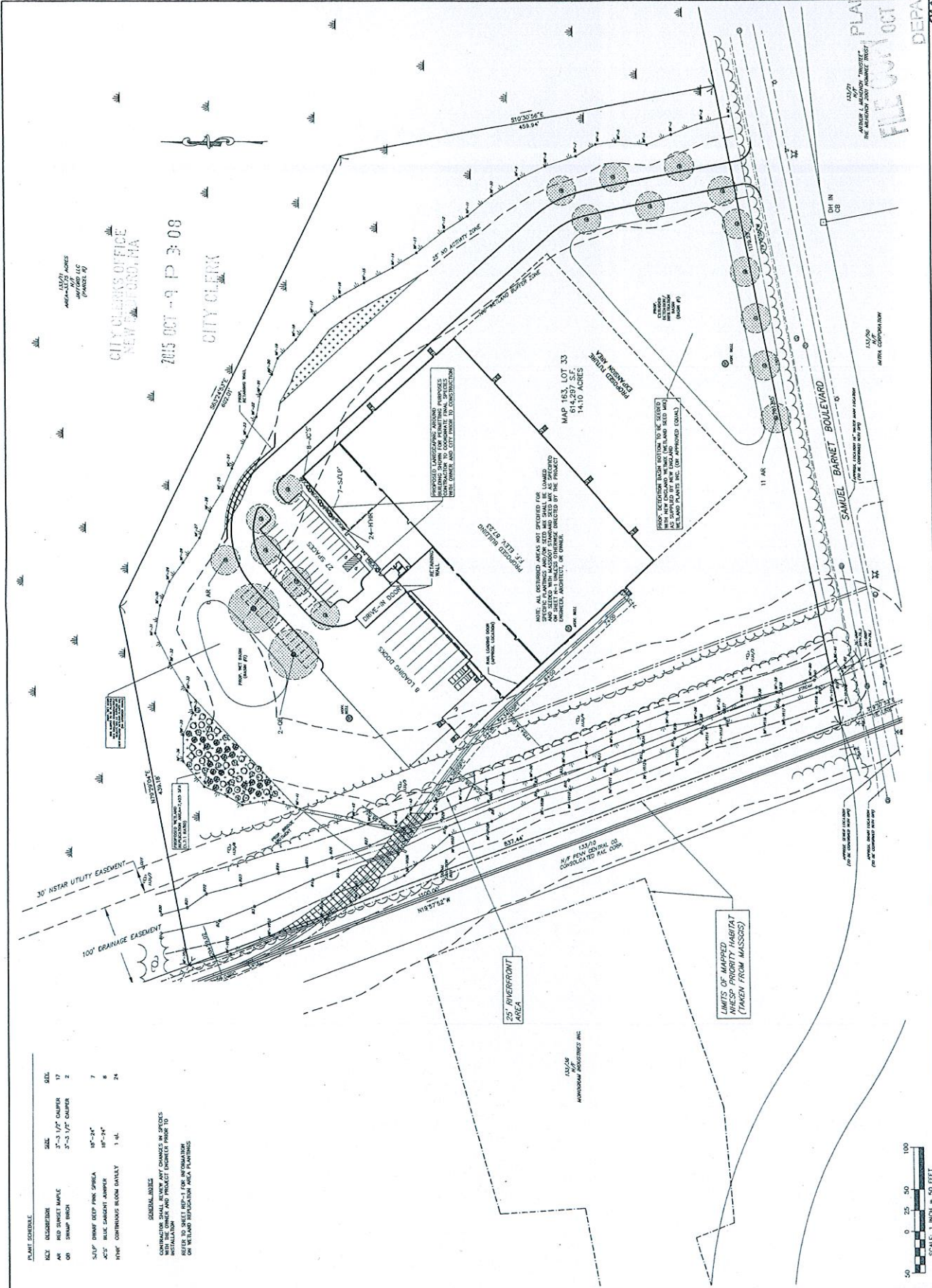
PROPOSED SITE DEVELOPMENT
RAW SEAFOODS

SITE LANDSCAPING

SAMUEL BARNET BOULEVARD
NEW BEDFORD, MASSACHUSETTS

Project No. 2064
Sheet 10 OF 12

LAND-1

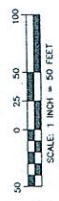


CITY CLERK'S OFFICE
NEW BEDFORD, MA
2015 OCT -9 P 3:08
CITY CLERK

PLANT SCHEDULE

SIZE	DESCRIPTION	QTY
2'-3" 1/2" O.D. x 17'	AM RED BARKED MAPLE	17
2'-3" 1/2" O.D. x 2'	OR SHAMP BIRCH	2
18" x 24"	SLIP SHINE DEEP PINK SPINNA	7
18" x 24"	ACEY BLUE GARDNET JUMPER	6
1" x 1/2"	HYDR CONTINUOUS BLOOM DAILY	24

GENERAL NOTES:
CONTRACTOR SHALL VERIFY ALL SPECIFICATIONS WITH THE OWNER AND PROJECT ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF NEW BEDFORD PLANTING SCHEDULE. SEE SHEET RD-1 FOR INFORMATION ON WILDLIFE REHABILITATION AREA PLANTING.



FILED OCT 10 2015
DEPT. OF ENVIRONMENTAL AFFAIRS
PLANNING
133271
APPROVE: L. MULLIGAN, "REGISTERED"
THE REGISTRY, 2007 HANOVER STREET
NEW BEDFORD, MA 01901

0682 25.15

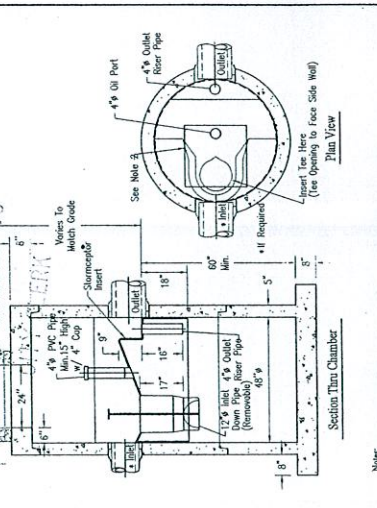
NO.	DESCRIPTION	DATE	BY	CHKD.
1	ISSUED FOR PERMITTING	10/29/15	NTS	
2	REVISED			
3				
4				

Drawn By: N.T.S.
Checked By: J.C. BARR
Date: 10/29/15

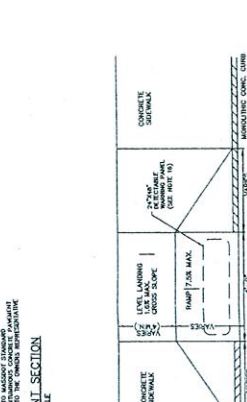
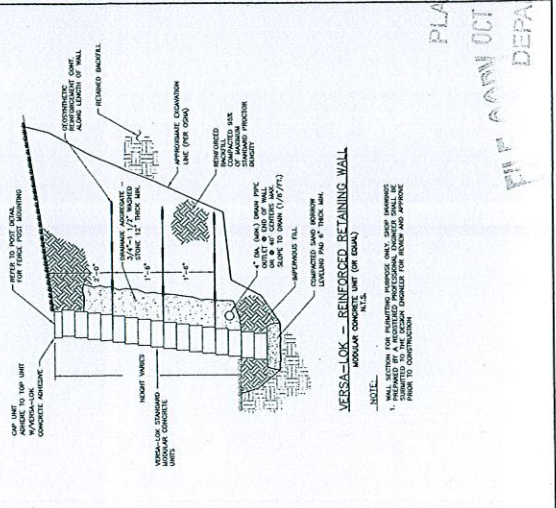
PROJECT FOR: PERMITTING



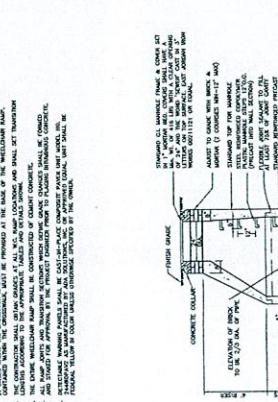
Concrete Pipe Division
STC-450 Precast Concrete Stormceptor
(450 U.S. Gallon Capacity)



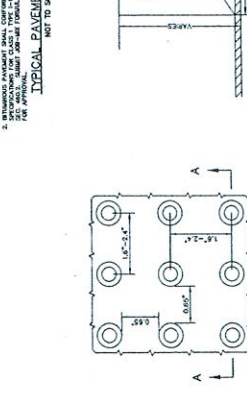
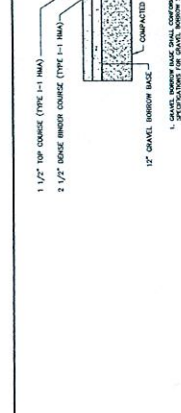
- Note:
1. The Use of Flexible Connection is Recommended at the Inlet and Outlet Where Applicable.
2. The Cover Should be Finished Over the Joint Using the 1/2\"/>



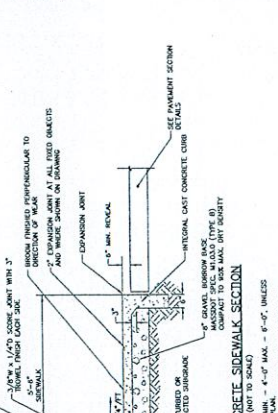
- NOTE:
1. THE SIDEWALK SHALL BE SET AS SHOWN FOR THE CURB OR SIDEWALK TO BE ADJACENT TO THE SIDEWALK.
2. THE SIDEWALK SHALL BE CONCRETE WITH A FINISH OF 3/8\"/>



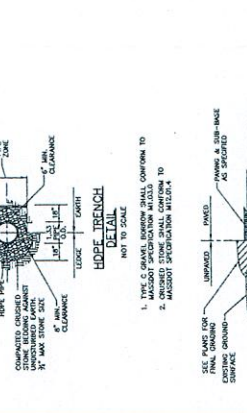
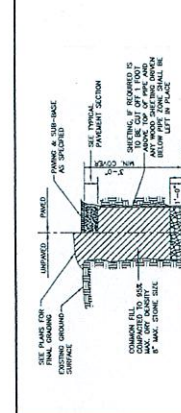
- NOTE:
1. THE MANHOLE SHALL BE CONCRETE TO MATCH THE MANHOLE SECTION-AURA COVER LATEST EDITION.
2. THE COVER SHALL BE CONCRETE TO MATCH THE MANHOLE SECTION-AURA COVER LATEST EDITION.
3. THE COVER SHALL BE SET TO THE FINISH GRADE OF THE SURFACE WITH A 1/2\"/>



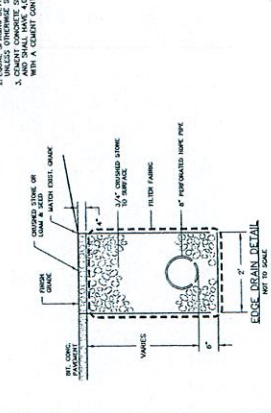
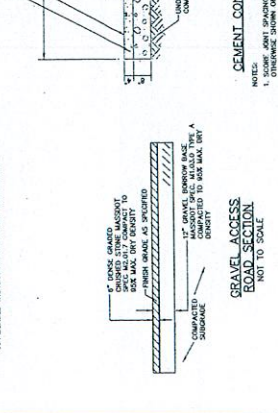
- NOTE:
1. THE CURB SHALL BE CONCRETE WITH A FINISH OF 3/8\"/>



- NOTE:
1. THE CONCRETE SIDEWALK SHALL BE 4\"/>



- NOTE:
1. THE D/RCP TRENCH SHALL CONFORM TO MANHOLE SPECIFICATION.
2. THE TRENCH SHALL BE AS REQUIRED TO PROVIDE ADEQUATE STRENGTH DURING CONSTRUCTION AND OPERATION.
3. THE TRENCH SHALL BE CONCRETE WITH A FINISH OF 3/8\"/>



- NOTE:
1. THE EDGE DRAIN SHALL BE CONCRETE TO MATCH THE EDGE DRAIN SECTION-AURA COVER LATEST EDITION.
2. THE COVER SHALL BE CONCRETE TO MATCH THE EDGE DRAIN SECTION-AURA COVER LATEST EDITION.
3. THE COVER SHALL BE SET TO THE FINISH GRADE OF THE SURFACE WITH A 1/2\"/>

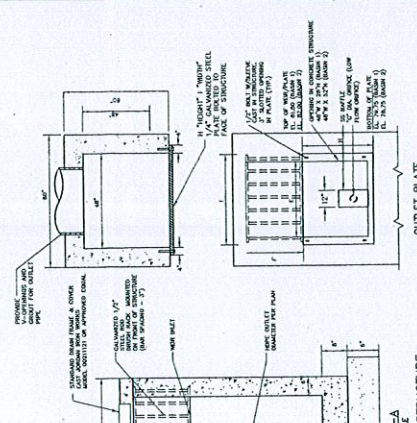
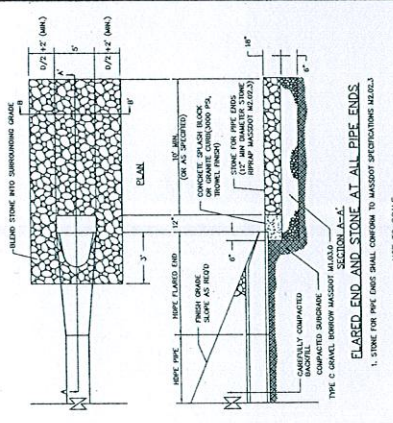
FIELD ENGINEERING CO., INC.
CONSULTING ENGINEERS
110 INDUSTRIAL DRIVE
P.O. BOX 1178
TEL: (603) 752-4477
FAX: (603) 752-2086
THE GRANITE BUILDING
1000 GRANITE BUILDING
NANTUCKET, MA 02554
TEL: (508) 548-2020

Drawn By	Checked By	Permitted By
10/18/15	N.T.S.	RRR
Date	Scale	Issued For
10/18/15	N.T.S.	PERMITTING



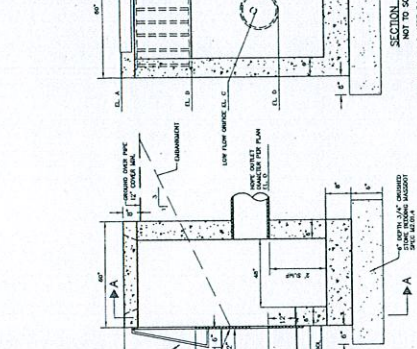
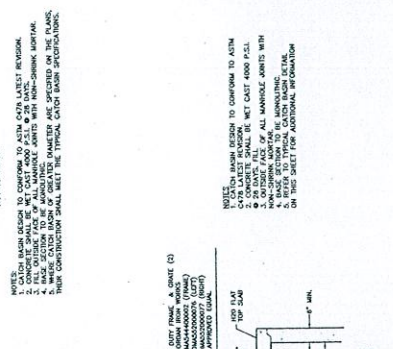
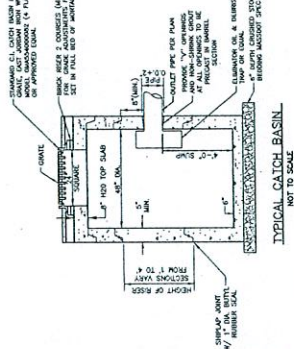
PROPOSED SITE DEVELOPMENT
RAW SEAFOODS
SAMUEL BARNET BOULEVARD
NEW BEDFORD, MASSACHUSETTS
DETAIL SHEET 2
DATE: 12 OF 12
PROJECT NO: 2064

PLANNING DEPARTMENT
FILE COPY OCT 09 2015
D-2
CASE 25-15



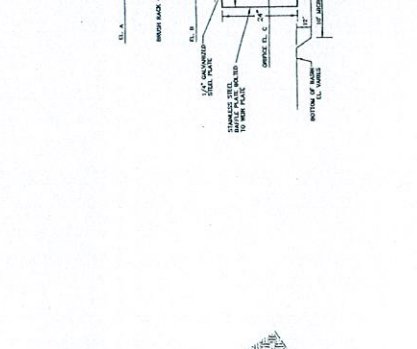
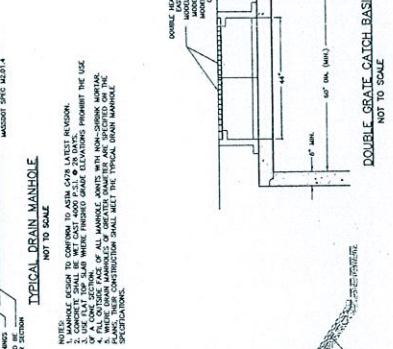
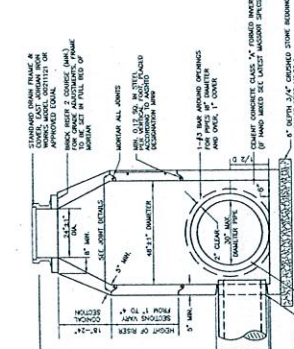
ELEVATION/DIMENSION TABLE

STRUCTURE	A	B	C	D	E	F	G	H	I
DETENTION BASIN #1	85.00	81.50	80.75	80.00	48"	10"	2"	21"	50"
DETENTION WETLAND #1	84.00	82.00	79.00	79.00	48"	16"	2"	30"	50"



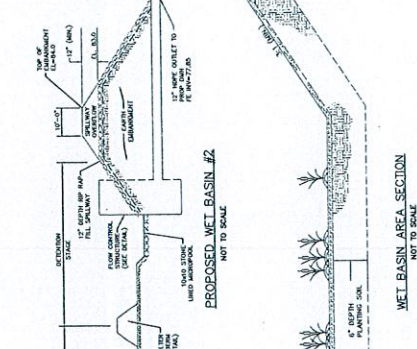
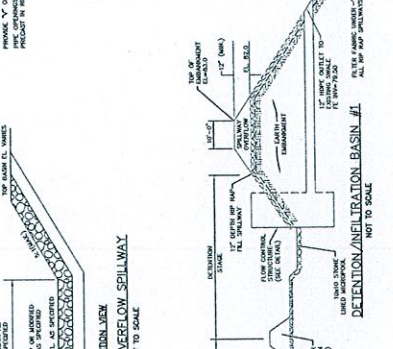
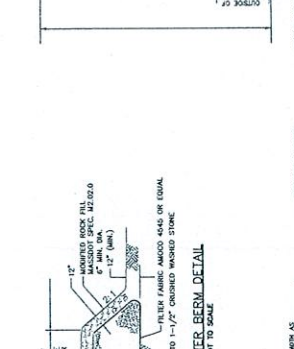
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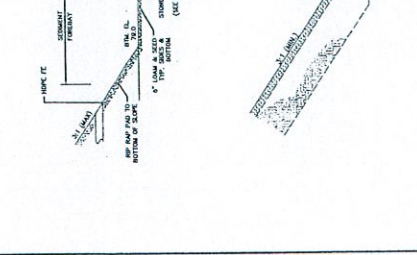
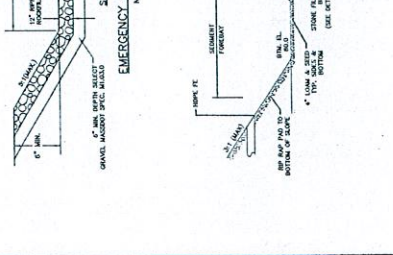
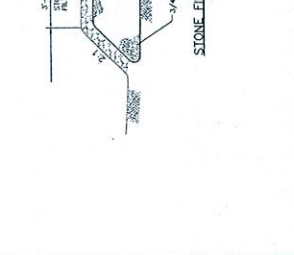
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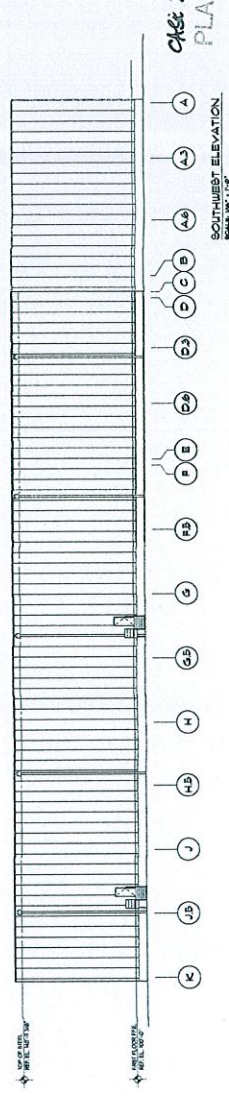
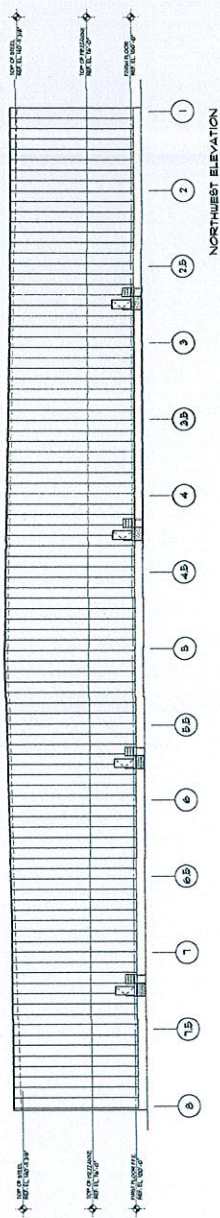
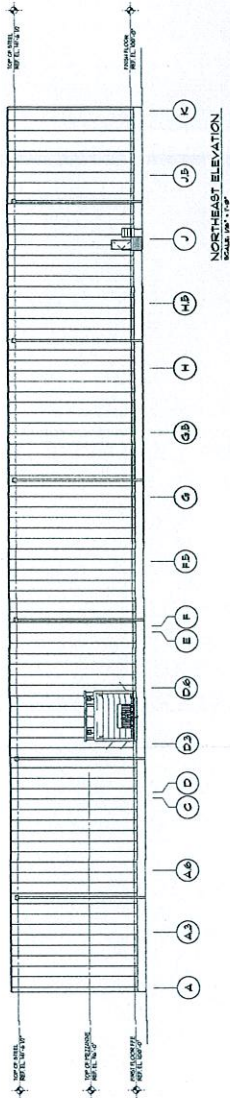
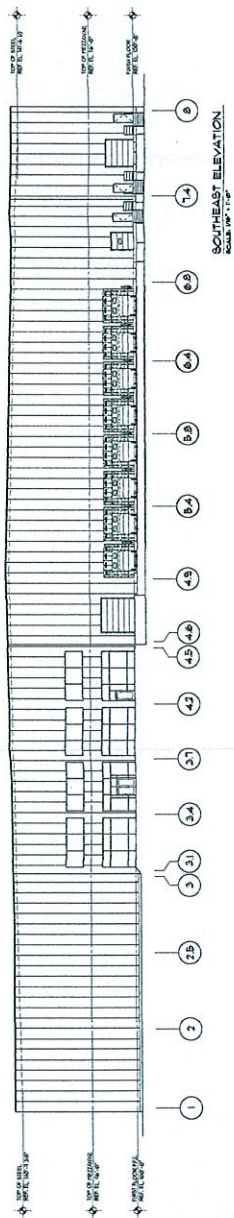
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Maintaining Efficiency In Food & Beverage Facilities Since 1999.



REV	DESCRIPTION
A	REVISION DESCRIPTION
B	
C	
D	
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N	
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V	
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X	
Y	
Z	

THE ARCHITECT HAS PREPARED THIS PLAN IN ACCORDANCE WITH THE PROFESSIONAL SEAL AND EXERCISE OF HIS OR HER LICENSE AS AN ARCHITECT IN THE STATE OF MASSACHUSETTS. THE ARCHITECT'S OFFICE IS NOT PROVIDING ANY SERVICES IN ANY OTHER STATE.

RAW SEAFOODS, INC.
200 WEST STREET
SOMERSET, MASSACHUSETTS 02745

Raw Seafoods, Inc.
Proposed Gold Storage Facility
Somerset, Massachusetts 02745



www.cmcarchitect.com

Elevations



DATE: 10/20/2014
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: 1/8" = 1'-0"
PROJECT NO.: 2014-001
P.A.D. FILE COPY
20483

Maximizing Efficiency in Food & Beverage Facilities Since 1989

Rev.	CMR	Revision Description
1	CMR	Initial Design

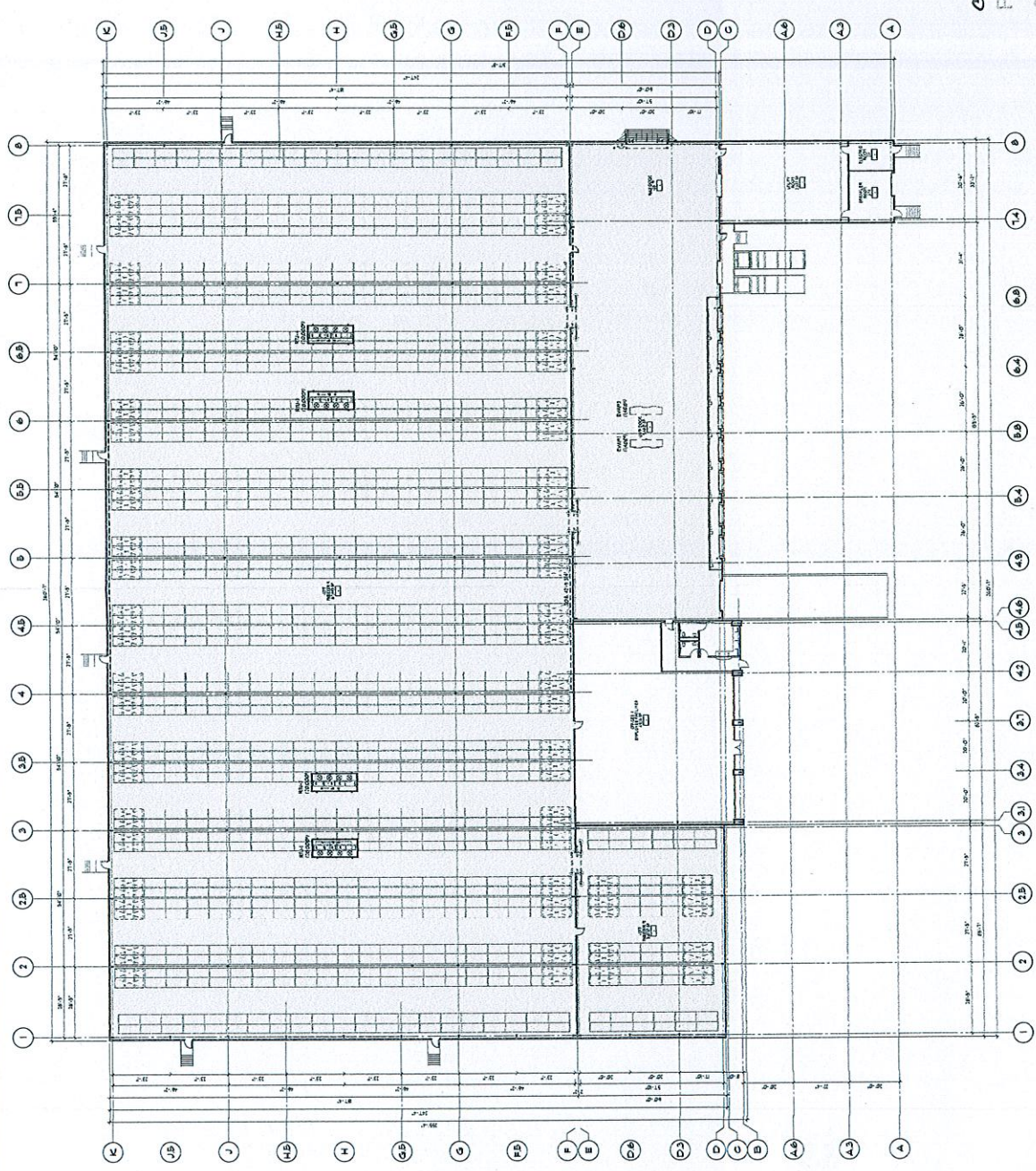
PROPOSED GOLD STORAGE FACILITY
 1000 WEST 10TH AVENUE
 NEW BEDFORD, MASSACHUSETTS 02745

RAW SEAFOODS, INC.
 1000 WEST 10TH AVENUE
 NEW BEDFORD, MASSACHUSETTS 02745

CMC
 CONSULTING ENGINEERS
 1000 WEST 10TH AVENUE
 NEW BEDFORD, MASSACHUSETTS 02745

Overall Floor Plan
 SCALE: 1/8" = 1'-0"
 DATE: 18 SEPTEMBER 2014
 DRAWN BY: [Signature]

PR10
 20483



case 25-15
 PLANNING
 OCT 09 2015
 DEPARTMENT

OVERALL FLOOR PLAN
 CASE 25-15




CITY OF NEW BEDFORD


Jonathan F. Mitchell, Mayor

Department of Public Infrastructure

Ronald H. Labelle
Commissioner

Water
Wastewater
Highways
Engineering
Cemeteries
Park Maintenance
Energy

TO:  City of New Bedford Planning Board

From:  Ronald H. Labelle, Commissioner

Date: October 27, 2015

Re: Site Plan - Raw Seafoods
Samuel Barnet Boulevard
Plot 133 Lot 63

PLANNING
OCT 29 2015
DEPARTMENT

The Department of Public Infrastructure has reviewed the proposed site plan referenced above and recommends approval with the following conditions:

1. Driveway Permit is subject to Traffic Commission approval.
2. All utilities to be installed in accordance with City of New Bedford Standards.
3. Permits for driveway, sewer, drainage and water must be obtained from the Department of Public Infrastructure Engineering Division.
4. Drainage design must comply with Phase II, Massachusetts Department Storm Water Management Standards.
5. Owner/Engineer to verify the functionality of the existing swale.
6. Owner/Engineer to verify the capacity of the existing 8" sewer main on Samuel Barnet Boulevard.
7. Owner must contact the Department of Public Infrastructure Engineering Division to assign a new address for the proposed building.
8. The Department of Public Infrastructure requires a final set of approval plans to be submitted that reflects all revisions made prior to the start of construction.

ATTACHMENT 5

1105 Shawmut Avenue, New Bedford, MA 02746 Telephone 508-979-1550 Fax 1-508-961-3054
RONALDL@NEWBEDFORD-MA.GOV

9. Developer and site contractor must schedule a pre-construction meeting with the Department of Public Infrastructure prior to the start of construction.
10. Upon completion Engineer must submit "As Built Drawings" in CADD format prior to the certificate of occupancy being issued.

/ejl

Cc: Department of Inspectional Services
Environmental Stewardship
Field Engineering Co., Inc
Raw Seafoods



CITY OF NEW BEDFORD
JONATHAN F. MITCHELL, MAYOR

PLANNING BOARD

SUBMIT TO:
Planning Department
133 William Street
Room 303
New Bedford, MA 0274

SITE PLAN REVIEW APPLICATION

The undersigned, being the Applicant, seeks Site Plan Approval for property depicted on a plan entitled: Proposed Site Development-Raw Seafoods by: Field Engineering Co., Inc. dated: 10/8/15

1. Application Information

Street Address: NS Samuel Barnet Boulevard

Assessor's Map(s): 133 Lot(s) 63

Registry of Deeds Book: 8452 Page: 99

Zoning District: Industrial C

Applicant's Name (printed): Raw Seafoods Inc., Jason Hutchens, President

Mailing Address: 481 Currant Rd. Fall River MA 02720
(Street) (City) (State) (Zip)

Contact Information: (508) 673-0111 jhutchens@rawseafoods.com

Applicant's Relationship to Property: Telephone Number Email Address
 Owner Contract Vendee Other Buyer

List all submitted materials (include document titles & volume numbers where applicable) below:

Proposed Site Development Plans-Raw Seafoods Inc., dated 10/8/15
Stormwater Management System Report-Raw Seafoods Inc., dated 10/8/15
Planning Board Submittal-Project Narrative, dated 10/8/15

By signing below, I/we acknowledge that all information presented herein is true to the best of my/our knowledge. I/we further understand that any false information intentionally provided or omitted is grounds for the revocation of the approval (s). I/we also give Planning Department staff and Planning Board Members the right to access the premises (both interior and exterior) at reasonable times and upon reasonable notice for the purpose of taking photographs and conducting other visual inspections.

6 Oct 2015

Date

J. J. J. A.
Signature of Applicant

PLANNING

OCT 09 2015

DEPARTMENT

City Hall • 133 William Street • Room 303 • New Bedford, MA 02740 • www.newbedford-ma.gov

PH: (508)979-1488 • FX: (508)979-1576

ONE 25-16

CITY CLERKS OFFICE
NEW BEDFORD, MA
2015 OCT -9 P 1:01

2. Review Applicability (Check All That Apply to Your Proposal)

Category

- Residential
- Commercial
- Industrial
- Mixed (Check all categories that apply)

Construction

- New Construction
- Expansion of Existing
- Conversion
- Rehabilitation

Scale

- < 2,000 gross sq feet
- > 2,000 gross sq feet
- 3 or more new residential units
- 1 or more new units in existing res. multi-unit
- Drive Thru Proposed
- Ground Sign Proposed
- Residential Driveway With > 1 curbcut

3. Zoning Classifications

Present Use of Premises: Vacant Industrial Land

Proposed Use of Premises: Warehouse/Freezer Building

Zoning Relief Previously Granted (Variances, Special Permits, with Dates Granted):
N/A

4. Briefly Describe the Proposed Project:

Proposed 92,000-square foot warehouse/freezer building with associated parking, loading, and rail spur.

5. Please complete the following:

** INDUSTRIAL - RESIDENTIAL USE ONLY PERMITTED BY ZBA FOR GROUP, ASSISTED OR NURSING HOMES*

	Existing	Allowed/Required	Proposed
Lot Area (sq ft) ✓	614,297 sf	0 sf	614,297 sf
Lot Width (ft)	785 ft +/-	0 sf	785 ft +/-
Number of Dwelling Units	N/A	N/A	N/A
Total Gross Floor Area (sq ft)	N/A	N/A	92,015 sf
* Residential Gross Floor Area (sq ft)	N/A	N/A	N/A
Non-Residential Gross Floor Area (sq ft)	N/A	N/A	92,015 sf
✓ Building Height (ft)	N/A	100 ft	45 ft
✓ Front Setback (ft)	N/A	25 ft	180.6 ft
✓ Side Setback (ft)	N/A	25 ft	142.8 ft (West)
✓ Side Setback (ft)	N/A	25 ft	239.2 ft (East)

✓ Rear Setback (ft)	N/A	25 ft	128.2 ft
✓ Lot Coverage by Buildings (% of Lot Area)	N/A	50% (max)	15%
✓ Permeable Open Space (% of Lot Area)	100%	N/A	N/A
✓ Green Space (% of Lot Area)	100%	20% (min)	76%
* Off-Street Parking Spaces <i>SPEC PERMIT</i>	N/A	<i>2/36</i>	27
Long-Term Bicycle Parking Spaces	N/A	N/A	N/A
Short-Term Bicycle Parking Spaces	N/A	N/A	N/A
Loading Bays	N/A	<i>66</i>	8

*WORLD
LIKE
TO SEE*

6. Please complete the following:

	Existing	Proposed
a) Number of customers per day:	N/A	N/A
b) Number of employees:	N/A	<u>15-20</u>
c) Hours of operation:	N/A	<u>7AM-5PM</u>
d) Days of operation:	N/A	<u>7 Days</u>
e) Hours of deliveries:	N/A	<u>7AM-5PM</u>
f) Frequency of deliveries:	<input checked="" type="checkbox"/> Daily <input type="checkbox"/> Weekly <input type="checkbox"/> Monthly <input type="checkbox"/> Other: _____	

7. Planning Board Special Permits:

The applicant is also requesting a Special Permit from the Planning Board.
Specify the requested Special Permit(s) below, and set forth within attached Development Impact Statement how the request meets approval criteria listed in §5320 of the zoning code.

8. ZBA Variances and Special Permits:

NOTICE: Checking below does not constitute application for a special permit or a variance. The applicant must also file the proper application form and fee with the Zoning Board of Appeals.

The applicant is also requesting a special permit from the ZBA:
Specify zoning code section & title

The applicant is also requesting a variance from the ZBA:
Specify zoning code section & title

9. OWNERSHIP VERIFICATION

This section is to be completed & signed by the property owner:

I hereby authorize the following Applicant: Raw Seafoods, Inc.

at the following address: 481 Currant Road, Fall River, MA 02720

to apply for: Site Plan Review

on premises located at: Samuel Barnet Boulevard

in current ownership since: 11/29/06

08 01 whose address is: _____

for which the record title stands in the name of: Greater New Bedford Industrial Foundation

08 01 whose address is: 1213 Purchase St., New Bedford, MA 02740

by a deed duly recorded in the:
Registry of Deeds of County: Bristol South Book: 8452 Page: 99

OR Registry District of the Land Court, Certificate No.: _____ Book: _____ Page: _____

I/we acknowledge that all information presented herein is true to the best of my/our knowledge. I/we further understand that any false information intentionally provided or omitted is grounds for the revocation of the approval(s). I/we also give Planning Department staff and Planning Board Members the right to access the premises (both interior and exterior) at reasonable times and upon reasonable notice for the purpose of taking photographs and conducting other visual inspections.

10/6/15
Date

[Signature] VICE CHAIR of GNBIF
Signature of Land Owner (If authorized Trustee, Officer or Agent, so identify)