

SITEC

Civil and Environmental Engineering
Land Use Planning

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769 Plain Street
Marshfield, MA 02050
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MEMORANDUM

TO: DEPARTMENT OF PUBLIC INFRASTRUCTURE
PLANNING BOARD

FROM: ALISON J. CESAR, PROJECT ENGINEER *AJC*

DATE: SEPTEMBER 14, 2015

RE: **SITE PLAN – 475 UNION STREET
PROPOSED 6-FAMILY DWELLING
PLOT 51 LOT 269**

Attached please find revised site plans for the above referenced project. The plans have been modified to reflect the comments contained in the Department of Public Infrastructure's October 3, 2014 memorandum. The revisions are as follows:

1. New concrete sidewalk on Court Street and a new ribbon cement concrete sidewalk on Union Street will be installed within the limits of this project, as depicted on the Site Layout Plan.
2. Driveway permit is subject to Traffic Commission approval, as referenced in Note #3 on the Site Layout Plan.
3. The driveway will be built in accordance with City of New Bedford regulations with 4-foot transition curb on both sides, as referenced in Note #11 of the Grading and Utilities Plan.
4. Permits for sidewalk, driveway, drainage, sewer, and water must be obtained from the Department of Public Infrastructure Engineering Division, as referenced in Note #4 on the Site Layout Plan.
5. Contractor will protect the tree on the Union Street side while working on the proposed project, as depicted on the Demolition/Erosion Control Plan.
6. Owner must contact the Department of Public Infrastructure to assign a new address for the proposed building, as referenced in Note #9 on the Site Layout Plan.
7. The Developer will uncover and verify the condition of existing water and sewer services to be reused, as referenced in Note #9 on the Grading and Utilities Plan.
8. All utilities will be constructed in accordance with City of New Bedford regulations.
9. The existing water service will be used for this project.
10. The existing sewer service will be used for this project.
11. Developer and site contractor must schedule a pre-construction meeting with the Department of Public Infrastructure and provide a full set of the most recent version of

OCT 19 2015
DEPARTMENT

the site construction plans prior to the start of construction, as referenced in Note #1 of the Grading and Utilities Plan.

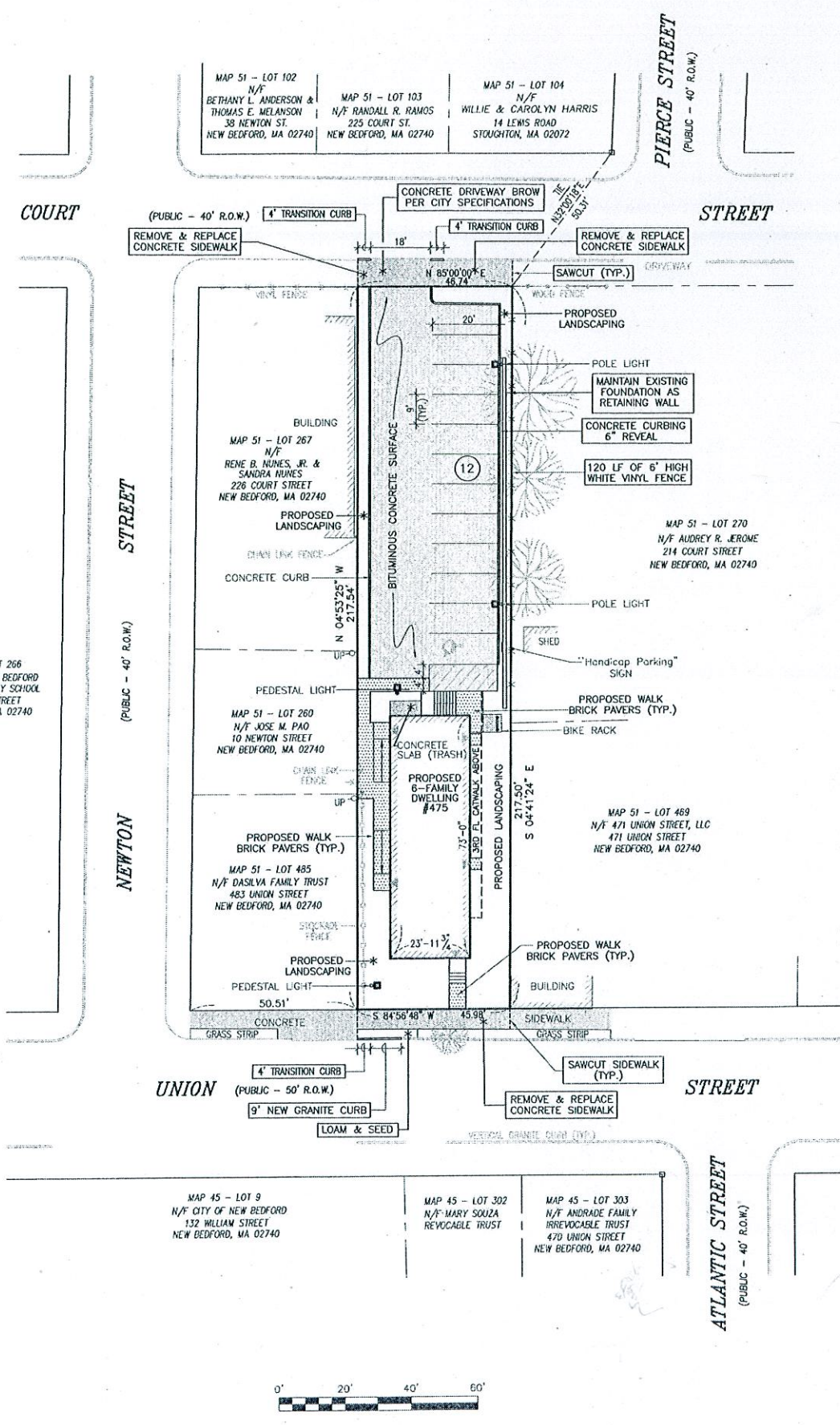
12. Upon completion, Engineer must submit "As-Built drawings" on CADD format prior to the certificate of occupancy, as referenced in Note #10 on the Grading and Utilities Plan.

In response to the comments contained in the Planning Board's notice of decision dated August 12, 2015, we have addressed the conditions as follows:

1. The project is subject to final approval by the City of New Bedford Department of Public Infrastructure, Traffic Commission, and Zoning Board of Appeals.
2. The building architect has determined that cellar drains will not be required for this project due to adequate groundwater separation. Based on this condition, the stormwater recharge system has not been modified.
3. In the event of significant snowfall (greater than 2 inches), the owner's snow removal contractor will truck all excess snow from the parking facility and legally dispose of the snow offsite, as referenced in Note #10 on the Site Layout Plan.
4. The existing trees along the east property line will be preserved and protected, as depicted on the Demolition/Erosion Control Plan.
5. Emergency contact information signage will be added to the building, upon discussion and review with planning staff prior to selection and installation.

Cc: SITEC, Inc.
Preferred Realty Services, LLC.

PLANNING
OCT 19 2015
DEPARTMENT



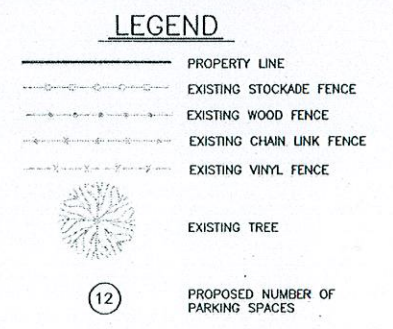
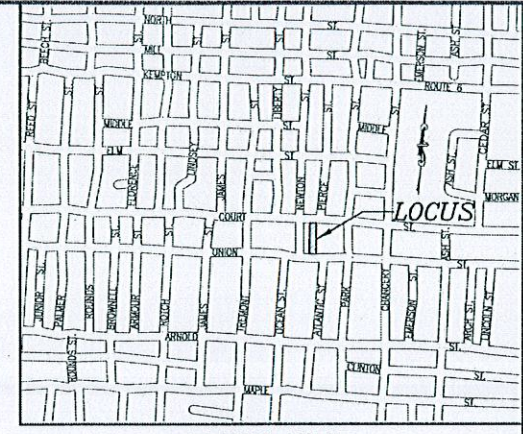
SITE SUMMARY

ASSESSORS MAP 51 - LOT 267
 ZONING DISTRICT: MIXED USE BUSINESS
 PROPOSED USE: (6) UNIT RESIDENTIAL BUILDING
 DEED REFERENCE: BOOK 10833 PAGE 268

ZONING REQUIREMENTS

	REQUIRED	PROPOSED
LOT AREA	15,000 SF	10,084 SF
DENSITY OF DWELLING UNITS PER LOT	1 UNIT/1000 SF = 10 UNITS ALLOWED	6 UNITS
LOT FRONTAGE	150'	45.98' (EXISTING)
BUILDING SETBACKS		
FRONT	15'	15.6'
SIDE	10'/12'	10'/12'
REAR	30'	128'
BUILDING HEIGHT	100'	39'
LOT COVERAGE BY BUILDING	30%	17.4%
GREEN SPACE	35%	35%
OFF STREET PARKING	12 SPACES	12 SPACES

- NOTES**
- PARKING LOT LIGHTING SHALL BE RAB LIGHTING (LED) MODEL # ALED3T78 SET ON 15 POLES, OR APPROVED EQUAL WALKWAY LIGHTS SHALL BE RAB LIGHTING (LED) MODEL # BLEED 20 SET ON 42" POST OR APPROVED EQUAL (BRONZE COLOR)
 - I HEREBY CERTIFY THAT THE PROJECT AS DESIGNED MEETS THE APPLICABLE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD.
[Signature] 9.22.15 DATE
 - DRIVEWAY PERMIT SUBJECT TO TRAFFIC COMMISSION APPROVAL.
 - PERMITS FOR SIDEWALK, DRIVEWAY, DRAINAGE, WATER & SEWER MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC INFRASTRUCTURE ENGINEERING DIVISION.
 - ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
 - ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
 - ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
 - ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS.
 - OWNER MUST CONTACT THE DEPARTMENT OF PUBLIC WORKS INFRASTRUCTURE TO ASSIGN A NEW ADDRESS FOR THE PROPOSED BUILDING.
 - IN THE EVENT OF A SIGNIFICANT SNOWFALL EVENT (>2") THE OWNER'S SNOW REMOVAL CONTRACTOR SHALL TRUCK ALL EXCESS SNOW FROM THE PARKING FACILITY AND DISPOSE OF THE SNOW, LEGALLY OFFSITE.



PLAN INDEX

SHEET NUMBER	TITLE	DATE	REVISED
1 OF 7	SITE LAYOUT	JULY 20, 2015	
2 OF 7	AERIAL LOCUS MAP	JULY 20, 2015	
3 OF 7	SITE GRADING & UTILITIES	JULY 20, 2015	
4 OF 7	LANDSCAPING PLAN	JULY 20, 2015	
5 OF 7	EXISTING CONDITIONS	JULY 20, 2015	
6 OF 7	DEMOLITION / EROSION CONTROL PLAN	JULY 20, 2015	
7 OF 7	DETAIL SHEET	JULY 20, 2015	

SEPT. 22, 2015 REVISE PER DPI AND PLANNING BOARD COMMENTS

Scale: 1"=20'

DATE: JULY 20, 2015

PROJECT: 475 UNION STREET, NEW BEDFORD, MASSACHUSETTS

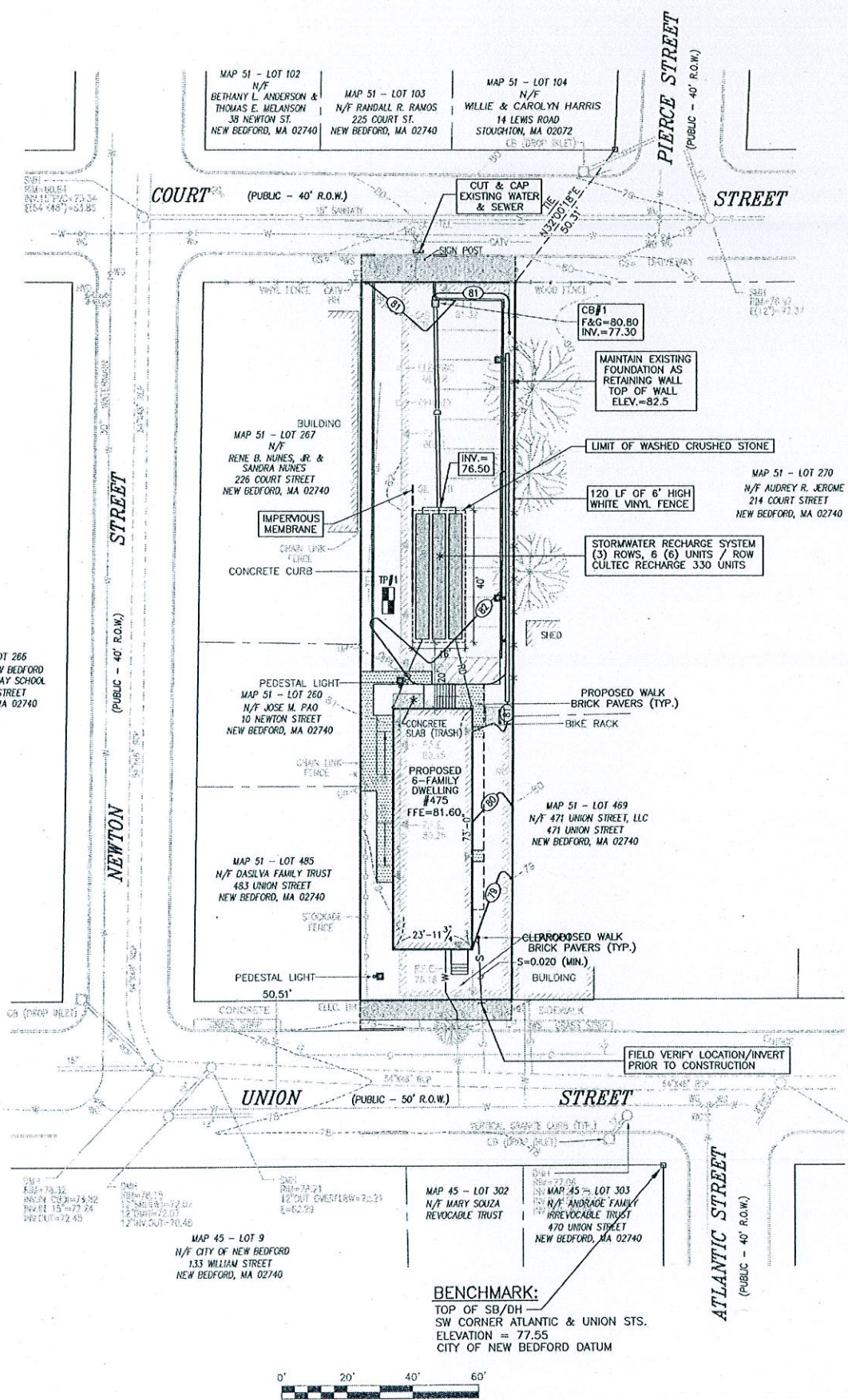
CLIENT: PREFERRED REALTY SERVICES, LLC

ENGINEER: SITEC, Inc. 396 B THIRD BEACH ROAD, MIDDLETOWN R.I. 02942

PLANNING DEPARTMENT

Acad No. NB 14-599B SL-0WG
File No. 14-5898

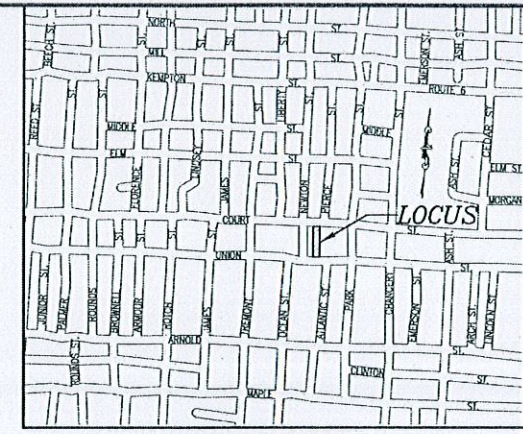
OWNER/APPLICANT:
PREFERRED REALTY SERVICES, LLC
 396 B THIRD BEACH ROAD
 MIDDLETOWN R.I. 02942



TEST PIT #1
SOIL EVALUATOR: DANIEL GIOIOSA
DATE: JANUARY 20, 2015

0	FILL
46"	A SANDY LOAM 10YR 4/2
56"	C FINE SAND 2.5Y 6/2
102"	

MOTTLING @ 66" (ELEV. 75.5)
10YR 6/8



LEGEND

- PROPERTY LINE
- EXISTING BUILDING ENTRANCE
- EXISTING CONTOUR
- EXISTING STOCKADE FENCE
- EXISTING WOOD FENCE
- EXISTING CHAIN LINK FENCE
- EXISTING VINYL FENCE
- EXISTING GAS MAIN
- EXISTING WATER MAIN
- EXISTING SEWER LINE
- EXISTING DRAINAGE LINE
- EXISTING CABLE TELEVISION LINE
- EXISTING TELEPHONE LINE
- EXISTING OVERHEAD WIRES
- EXISTING FIRE HYDRANT
- EXISTING ROOF DRAIN
- EXISTING WATER GATE VALVE
- EXISTING GAS GATE VALVE
- EXISTING GAS SERVICE
- EXISTING CATCH BASIN
- EXISTING RAIN MANHOLE
- EXISTING SEWER MANHOLE
- EXISTING NEW BEDFORD GAS & ELECTRIC MANHOLE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING TREE
- TP#1 TEST PIT
- ▲ PROPOSED BUILDING ENTRANCE
- W — PROPOSED WATER SERVICE
- S — PROPOSED SEWER SERVICE
- D — PROPOSED DRAIN LINE
- CB PROPOSED CATCH BASIN
- RD — PROPOSED ROOF DRAIN
- 79 PROPOSED CONTOUR

- NOTES:**
- THE DEVELOPER & SITE CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE DEPARTMENT OF PUBLIC INFRASTRUCTURE, AND PROVIDE A FULL SET OF THE MOST RECENT VERSION OF THE SITE CONSTRUCTION PLANS PRIOR TO THE START OF CONSTRUCTION.
 - MATERIAL STOCKPILE, IF REQUIRED, SHALL BE LOCATED AT THE NORTHEAST CORNER OF THE SITE.
 - SILT FENCING SHALL BE INSTALLED ALONG DOWNGRADIENT PERIMETER OF ANY STOCKPILE THAT WILL REMAIN FOR MORE THAN 24 HOURS.
 - CONSTRUCTION SAFETY FENCING SHALL BE PROVIDED IF PILES EXCEED 10 FEET.
 - THE CONTRACTOR SHALL OBTAIN A STREET DISTURBANCE & OBSTRUCTION PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE RIGHT-OF-WAY.
 - ALL WATER AND SEWER CONSTRUCTION SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
 - ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF NEW BEDFORD BEFORE BEING BACKFILLED.
 - THE CITY SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE REQUIRED INSPECTIONS.
 - DEVELOPER SHALL UNCOVER AND VERIFY CONDITION OF EXISTING WATER AND SEWER SERVICES TO BE REUSED.
 - UPON COMPLETION, ENGINEER MUST SUBMIT AS-BUILT DRAWINGS ON CADD FORMAT PRIOR TO THE CERTIFICATE OF OCCUPANCY BEING ISSUED.
 - DRIVEWAY WILL BE BUILT IN ACCORDANCE WITH CITY OF NEW BEDFORD REGULATIONS WITH 4-FOOT TRANSITION CURB ON BOTH SIDES.
 - BUILDING WILL NOT HAVE CELLAR DRAINS BASED ON ARCHITECT'S EVALUATION OF SITE.

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OCT 19 2015
DEPARTMENT

Acad No.	NB 14-5898 CU.DWG
File No.	14-5898

Project: 475 UNION STREET NEW BEDFORD, MASSACHUSETTS
Client: PREFERRED REALTY SERVICES, LLC
Drawing Title: SITE GRADING AND UTILITIES

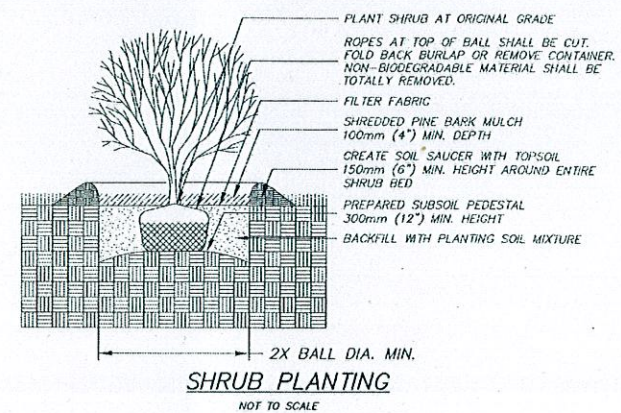
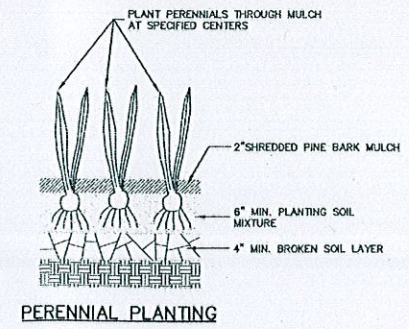
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Date: JULY 20, 2015
Drawn: NAD
Checked: SDG
Approved: SDG
Sheet No. of 7: 3
Drawing No. of 7: GU-1

1 SEPT. 22, 2015 REVISE PER DEP. AND PLANNING BOARD COMMENTS

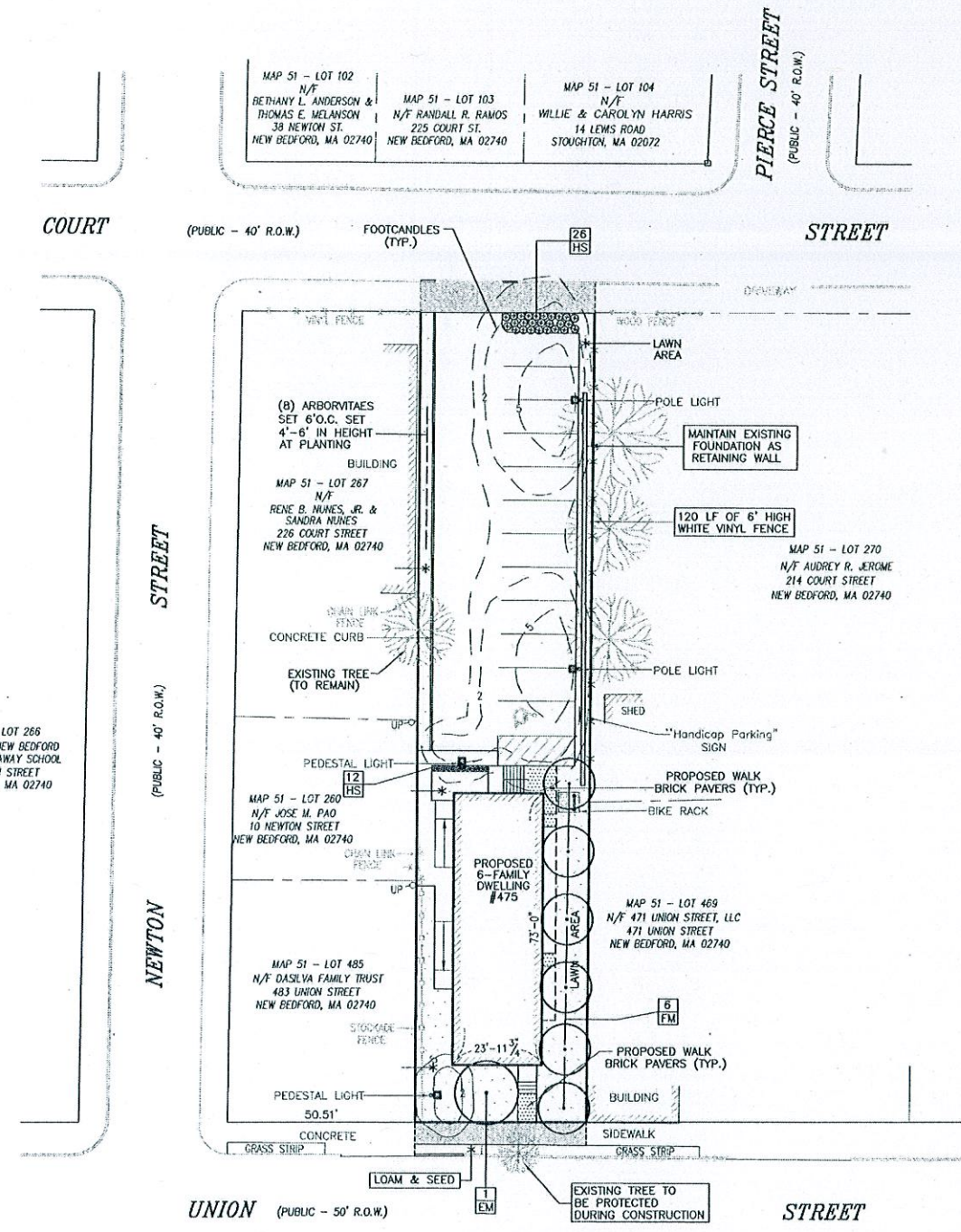
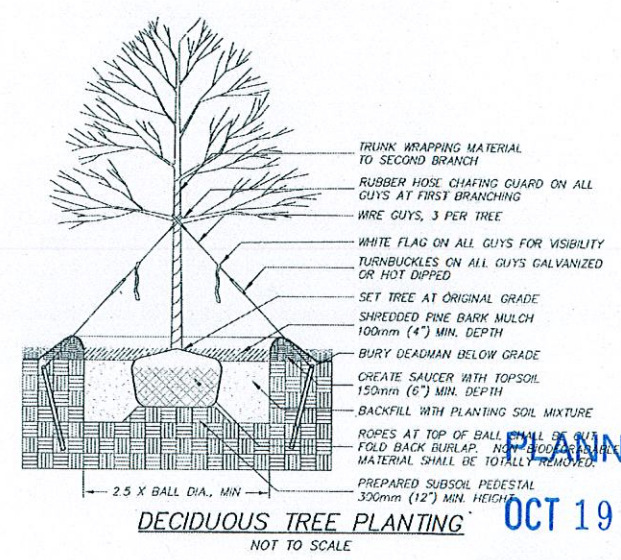
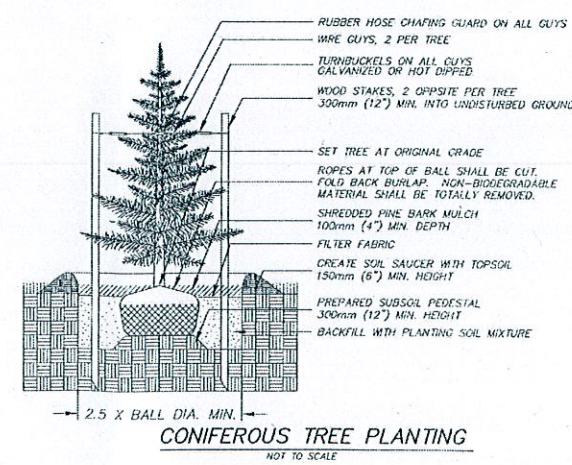


PLANTING NOTES

- All new lawn areas shall receive a minimum of 6 inches topsoil of the proper pH and organic content suitable for the healthy growth of lawns. These areas shall be seeded with a fine blade lawn grass seed.
- All tree and shrub pits shall be at least 2 feet wider and 1 foot deeper than the tree or shrub root ball to be planted in it. Backfill shall be high quality loam of the proper pH and organic content suitable for the healthy growth of plant materials.
- All areas to be mulched shall receive 4 inches minimum 100% shredded bark mulch within 48 hours of planting. Unless otherwise noted in planting details.
- All plants shall be nursery grown and conform to the latest edition of "ANSI Z60.1, American Standard for Nursery Stock."
- Plants shall conform to the botanical name as indicated in the latest edition of "American Joint Committee of Horticultural Nomenclature, Standardized Plant Names."
- Plants shall be handled at all times in accordance with the best horticultural practices. Plants in-leaf shall be sprayed with anti-desiccant before digging. Plants shall be dug with firm natural balls and shall conform to the ratios and sizes specified in ANSI Z60.1. B & B plants shall be wrapped in burlap and tied firmly. Plant materials shall be delivered immediately prior to placement, shall be kept moist and shall be protected from sun and wind. Plants having broken or cracked balls prior to or during planting will not be accepted.
- All trunks of deciduous trees shall be wrapped immediately after planting with tree wrap. Wrap shall be wound spirally, from the bottom of the trunk to the second branches. All trees shall be staked or guyed immediately after planting in accordance with best horticultural practices.
- The periods for planting shall be from March 15 to May 15 and from September 15 to November 15, weather permitting.
- All disturbed areas shall be loamed and seeded as directed in note #1 above.
- All locations of existing utilities may not be shown on this plan. See other plan sheets for utility locations. Contractor shall be solely responsible for determining actual locations of existing utilities. Utility conflicts may require adjustments to proposed construction. Contractor shall be responsible for repair of any utilities damaged during construction.



symbol	quantity	PLANT LIST name	size/notes
HS	38	STELLA D'ORO DAYLILY	1 GALLON CONTAINER
---	8	ARBORVITAE	4' - 6' HEIGHT AT PLANTING
FM	6	FIRE GLOW JAPANESE MAPLE	5' - 6' B & B
EM	1	EMPOROR JAPANESE MAPLE	5' - 6' B & B



No.	Date	Revision Description
1	SEPT. 22, 2015	REVISE PER DPI AND PLANNING BOARD COMMENTS

scale: 1" = 20'
date: JULY 20, 2015
drawn: NAD
checked: SOG
approved: SOG
sheet 4 of 7
drawing number: [P-1]

475 UNION STREET
NEW BEDFORD, MASSACHUSETTS
PREFERRED REALTY SERVICES, LLC
LANDSCAPING PLAN

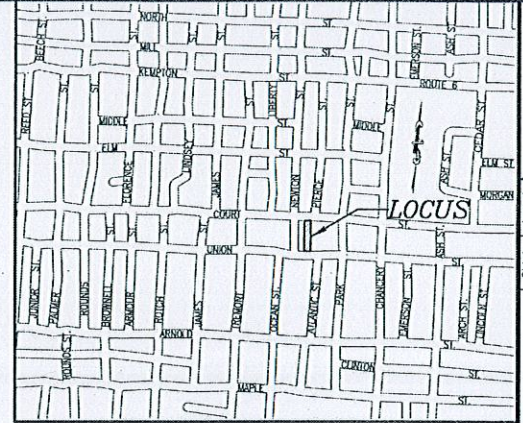
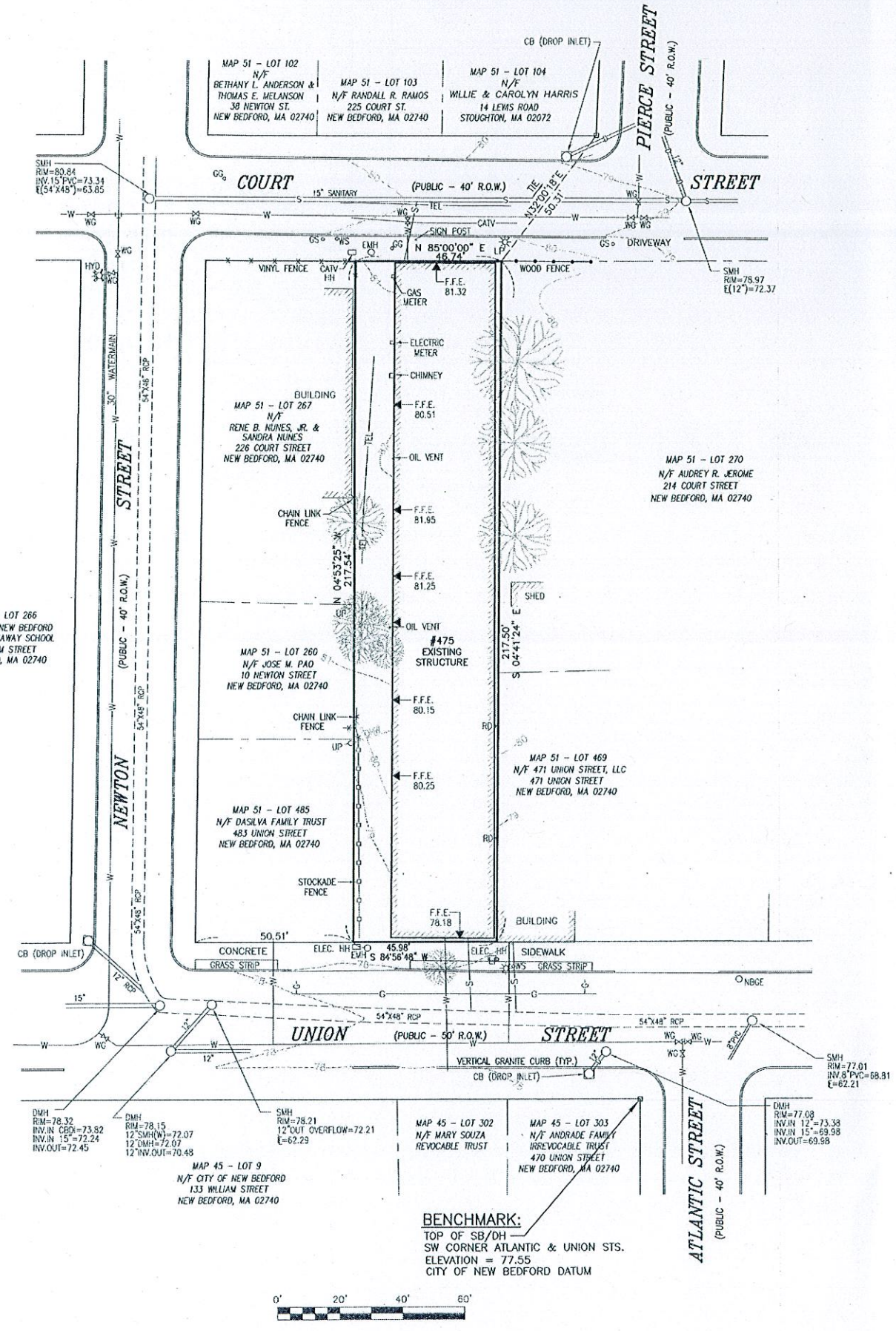
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Acad. No. NB 14-5898
LANDSCAPING PLAN.DWG
File No. 14-5898

PLANNING
OCT 19 2015
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016036-14



LOCUS MAP
SCALE: 1"=600'±

LEGEND

- PROPERTY LINE
- ▲ BUILDING ENTRANCE
- - - EXISTING CONTOUR
- - - STOCKADE FENCE
- - - WOOD FENCE
- - - CHAIN LINK FENCE
- - - VINYL FENCE
- - - GAS MAIN
- - - WATER MAIN
- - - SEWER LINE
- - - DRAINAGE LINE
- - - CABLE TELEVISION LINE
- - - TELEPHONE LINE
- - - OVERHEAD WIRES
- HD FIRE HYDRANT
- RD ROOF DRAIN
- WG WATER GATE VALVE
- WS WATER SERVICE (CURB STOP)
- GS GAS GATE VALVE
- GS GAS SERVICE
- CB CATCH BASIN
- DMH DRAIN MANHOLE
- SMH SEWER MANHOLE
- NBGE NEW BEDFORD GAS & ELECTRIC MANHOLE
- UP UTILITY POLE
- LP LIGHT POLE
- TREE

UTILITY COMPANIES

WATER/SEWER: DEPARTMENT OF PUBLIC INFRASTRUCTURE
1105 SHAWMUT AVENUE
NEW BEDFORD, MA 02740

ELECTRIC: EVERSOURCE ELECTRIC
1 NSTAR WAY
WESTWOOD MA 02790

GAS: EVERSOURCE GAS
1 NSTAR WAY
WESTWOOD MA 02790



No.	Date	Revision Description
1	SEPT. 22, 2015	REVISE PER DPI AND PLANNING BOARD COMMENTS

Scale: 1"=20'
Date: JULY 20, 2015
Drawn: NAD
Checked: SDG
Approved: SDG
Sheet 5 of 7
Drawing Number: EC-1

Project: 475 UNION STREET
NEW BEDFORD, MASSACHUSETTS
Client: PREFERRED REALTY SERVICES, LLC
Drawing Date: EXISTING CONDITIONS

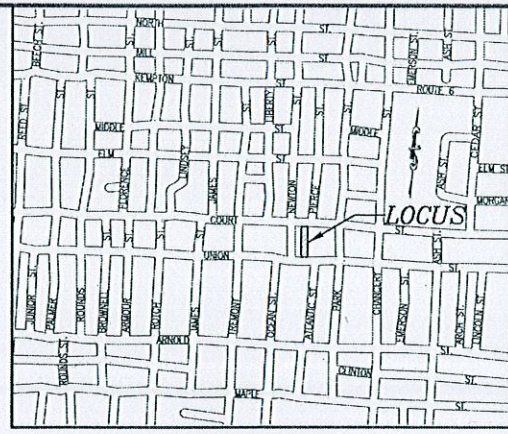
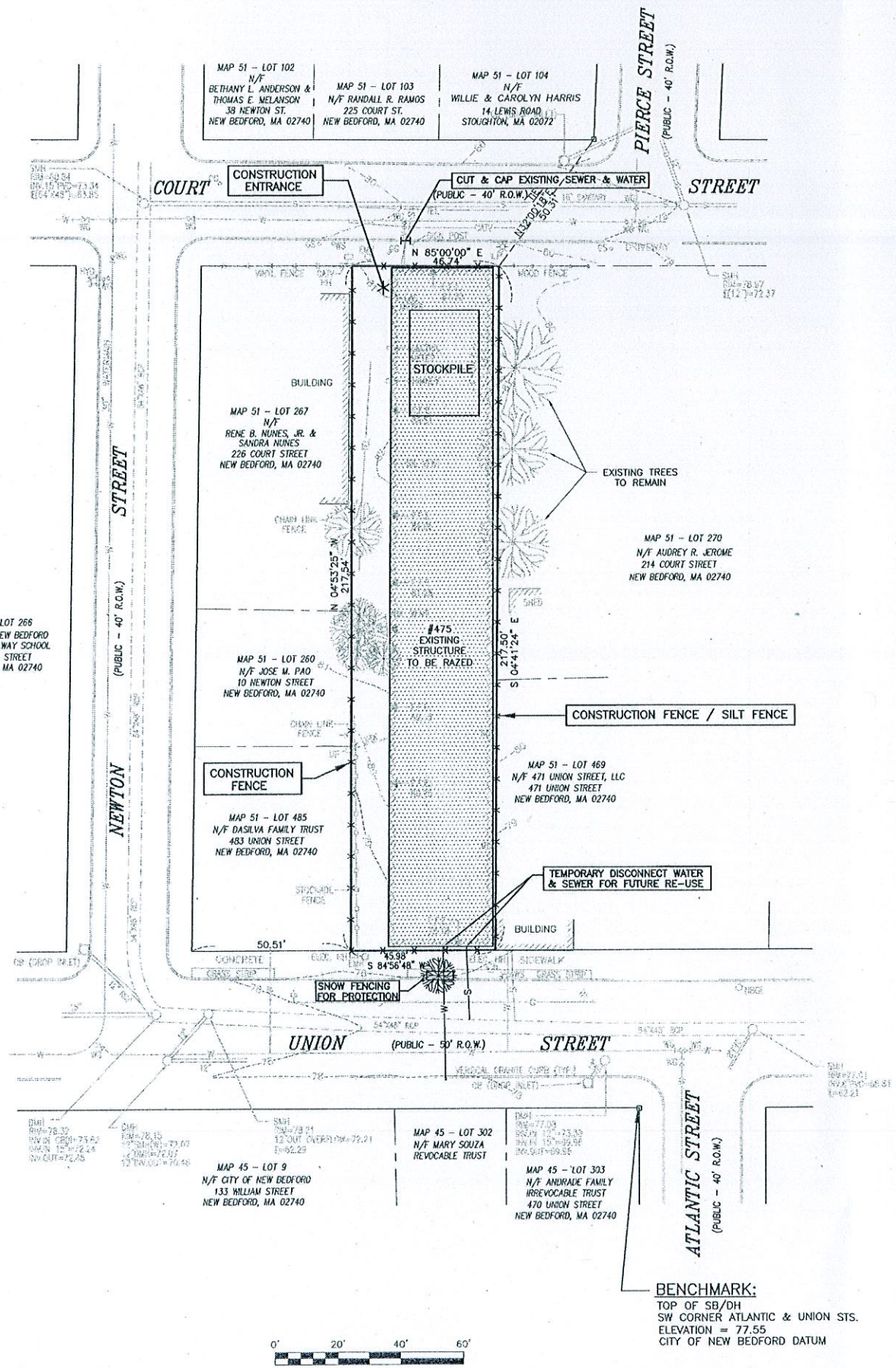
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Land Use Planning

Acad No. NB 14-5898 EC.DWG
File No. 14-5898

PLANNING
OCT 19 2015

SURVEY DATE: DECEMBER 24, 2014
JANUARY 15, 2015



LEGEND

- PROPERTY LINE
- ▲— BUILDING ENTRANCE
- - - - - EXISTING CONTOUR
- - - - - EXISTING STOCKADE FENCE
- - - - - EXISTING WOOD FENCE
- - - - - EXISTING CHAIN LINK FENCE
- - - - - EXISTING VINYL FENCE
- - - - - EXISTING GAS MAIN
- - - - - EXISTING WATER MAIN
- - - - - EXISTING SEWER LINE
- - - - - EXISTING DRAINAGE LINE
- - - - - EXISTING CABLE TELEVISION LINE
- - - - - EXISTING TELEPHONE LINE
- CHSE - - - - - EXISTING OVERHEAD WIRES
- HTD - - - - - EXISTING FIRE HYDRANT
- RD - - - - - EXISTING ROOF DRAIN
- WV - - - - - EXISTING WATER GATE VALVE
- WS - - - - - EXISTING WATER SERVICE (CURB STOP)
- CG - - - - - EXISTING GAS GATE VALVE
- CS - - - - - EXISTING GAS SERVICE
- CB - - - - - EXISTING CATCH BASIN
- EMH - - - - - EXISTING DRAIN MANHOLE
- SMH - - - - - EXISTING SEWER MANHOLE
- NEG - - - - - EXISTING NEW BEDFORD GAS & ELECTRIC MANHOLE
- UP - - - - - EXISTING UTILITY POLE
- LP - - - - - EXISTING LIGHT POLE
- EXISTING TREE

NOTES:

1. DEMOLITION SHALL BE LIMITED TO THE AREA OUTLINED.
2. CONTRACTOR SHALL PROTECT ABUTTING AREAS FROM DAMAGE. DAMAGE OF ABUTTING AREAS SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
3. ALL DEMOLITION MATERIALS SHALL BE LEGALLY DISPOSED OF OFFSITE.
4. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO INITIAL DEMOLITION.
5. CONTRACTOR SHALL HAVE WATER AVAILABLE FOR DUST CONTROL OR AN APPROVED DUST CONTROL AGENT.
6. MATERIAL STOCKPILE AREA SHALL BE AS NOTED
7. EROSION CONTROL BMP'S SHALL CONFORM TO US EPA, NPDES, MA DEP AND MASSACHUSETTS EROSION AND SEDIMENTATION CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS.
8. MATERIAL STOCKPILE SHALL BE AS NOTED. SAFETY FENCING SHALL BE USED AROUND STOCKPILES THAT EXCEED 10' IN HEIGHT.
9. SILT FENCE SHALL BE SET ON DOWNGRAIDENT EDGE OF ANY STOCKPILE.

BENCHMARK:
TOP OF SB/DH
SW CORNER ATLANTIC & UNION STS.
ELEVATION = 77.55
CITY OF NEW BEDFORD DATUM



PLANNING
OCT 19 2015
DEPARTMENT

		App'd. by	SDG
		Checked by	SDG
Revision	Description	Date	
1	REVISE PER DPI AND PLANNING BOARD COMMENTS	SEPT. 22, 2015	SDG
Scale:	1"=20'	Date:	JULY 20, 2015
Drawn:	NAD	Checked:	SDG
Approved:	SDG	Approved:	SDG
Sheet:	6 of 7	Project:	475 UNION STREET, NEW BEDFORD, MASSACHUSETTS
Drawn:	DP-1	Client:	PREFERRED REALTY SERVICES, LLC
Checked:		Company:	DEMOLITION / EROSION CONTROL PLAN
SITEC, Inc. 2000 North Main Street New Bedford, MA 01905 (508) 998-2125 (508) 998-7054 WWW.SITEC-ENGINEERING.COM			
Acad No. NB 14-5898 DEMOLITION PLAN.DWG		File No. 14-5898	

CA88 3B-14

GENERAL NOTES:

1. CONTRACTOR SHALL NOTIFY DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. THESE PLANS ARE BASED ON FIELD AND RECORD INFORMATION AND, THEREFORE, MAY NOT COMPLETELY DEPICT ALL EXISTING UTILITIES.
3. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IMMEDIATELY IF FIELD CONDITIONS ARE FOUND TO DIFFER WITH THESE DRAWINGS.
4. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF THE ABUTTING AREA AND UTILITIES IN THE CONSTRUCTION OF THIS SITE. REPAIR OF DAMAGED PROPERTY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO COST TO THE OWNER.
5. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL CONSTRUCTION.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF PUBLIC INFRASTRUCTURE CONSTRUCTION SPECIFICATIONS, LATEST REVISION.
7. ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF NEW BEDFORD DPW STANDARDS.
8. THE PROPOSED CONCRETE SIDEWALK AND DRIVEWAY APRONS MUST MEET CURRENT A.D.A. AND CITY STANDARDS. THE PROPOSED DRIVEWAYS SHALL BE 6" CEMENT CONCRETE WITH 6"x6" GAUGE WIRE MESH.
9. ALL DRIVEWAY PERMITS ARE SUBJECT TO TRAFFIC COMMISSION APPROVAL. THE CONTRACTOR SHALL NOTIFY THE ENGINEERING DIVISION 24 HOURS IN ADVANCE TO ENSURE THE PROPOSED SIDEWALK AND DRIVEWAY APRONS AND WHEELCHAIR RAMP WILL MEET THE CURRENT A.D.A. AND CITY OF NEW BEDFORD STANDARDS.
10. PERMITS FOR DRAINAGE, WATER, SEWER, SIDEWALKS AND DRIVEWAYS MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC INFRASTRUCTURE (DPI) ENGINEERING DIVISION BY OWNER.
11. ALL UTILITY WORK TO BE CONDUCTED PER DPI SPECIFICATION.
12. THE DEVELOPER AND SITE CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE DEPARTMENT OF PUBLIC INFRASTRUCTURE PRIOR TO START OF CONSTRUCTION.
13. UPON COMPLETION OF THE PROJECT, THE ENGINEER MUST SUBMIT AS-BUILT DRAWINGS IN CADD FORMAT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.



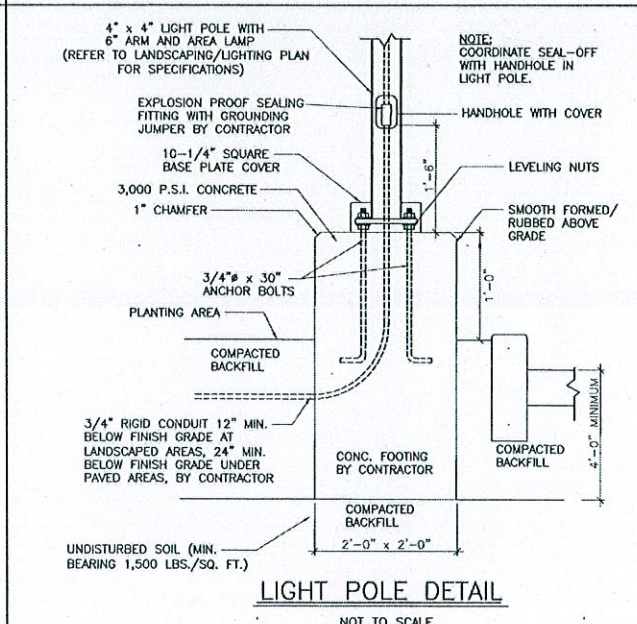
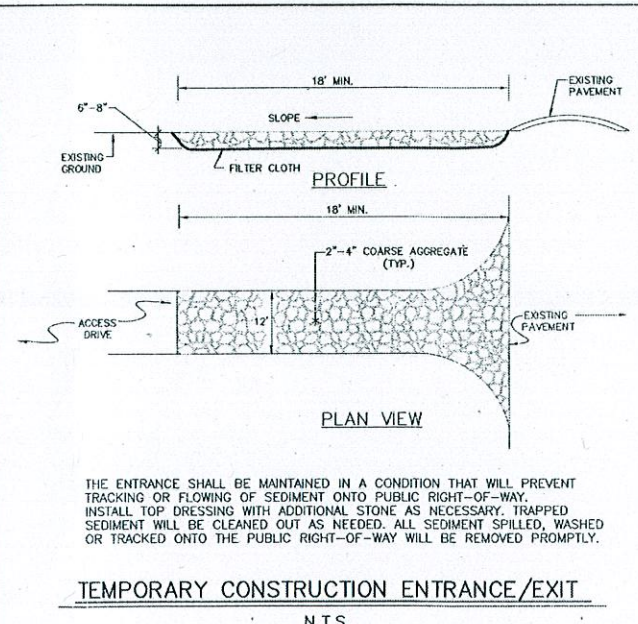
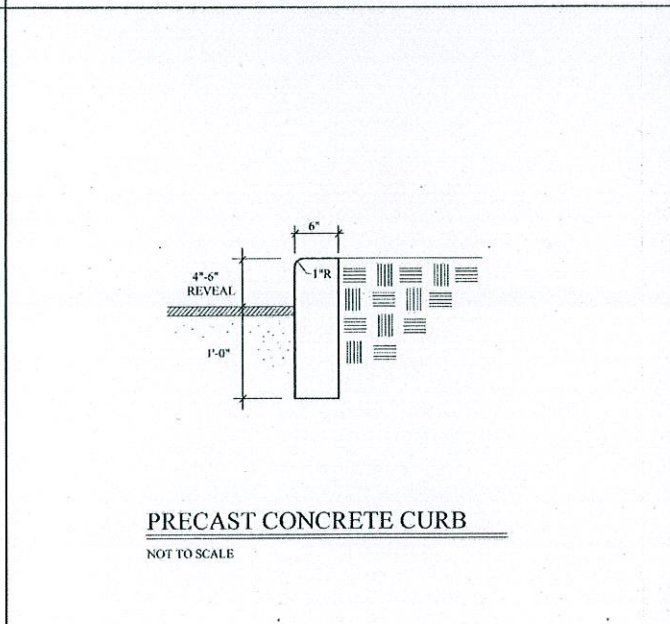
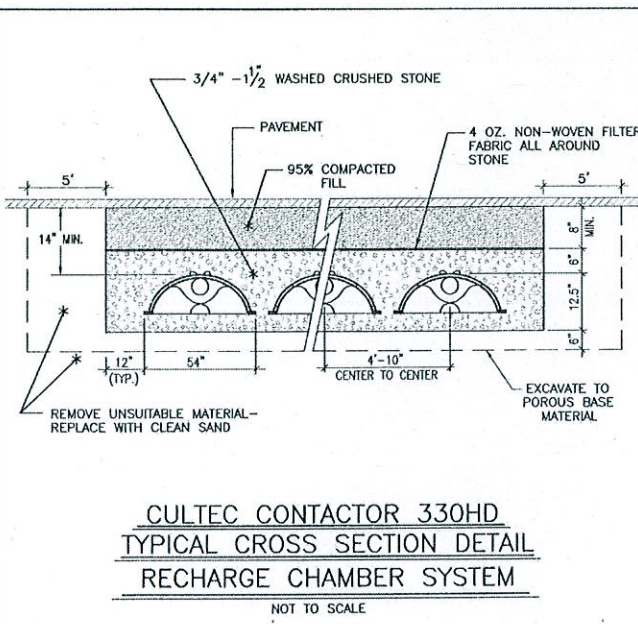
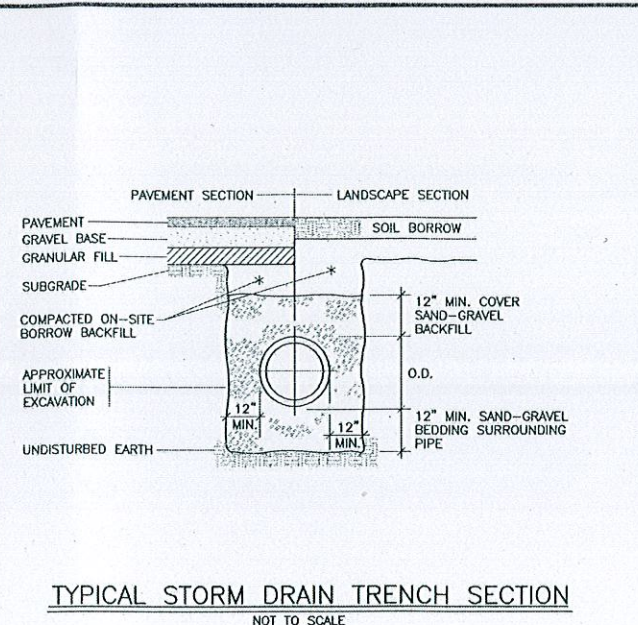
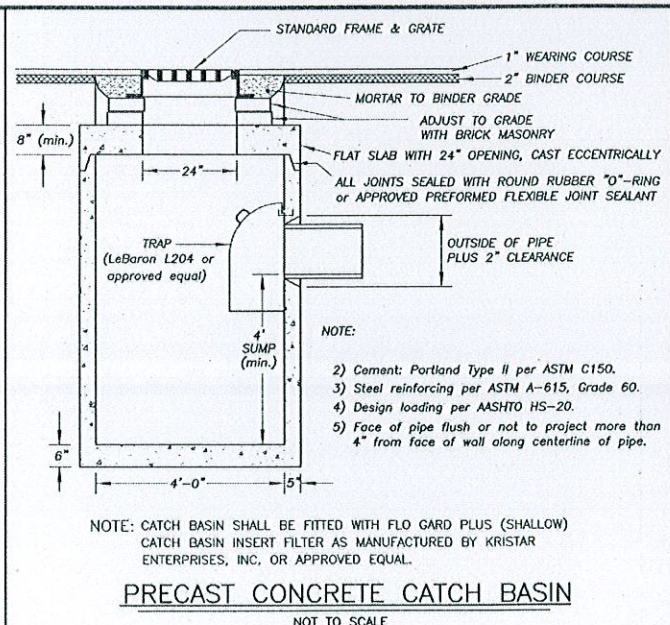
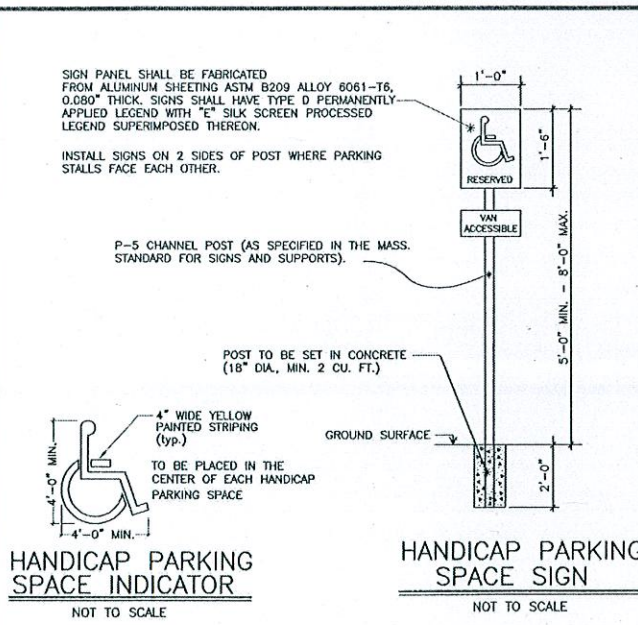
Rev. No.	Date	Description	Appr. By

DATE: JULY 20, 2015
 DRAWN: NAD
 CHECKED: SDG
 APPROVED: SDG
 SHEET NUMBER: 7 OF 7
 DRAWING TITLE: DET-1

PROJECT: 475 UNION STREET, NEW BEDFORD, MASSACHUSETTS
 CLIENT: PREFERRED REALTY SERVICES, LLC
 DRAWING DATE: 7/20/15

Acad No. NB 14-5898
 DETAIL SHEET.DWG
 File No. 14-5898

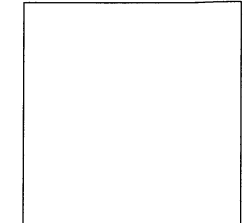
SITEC
 Civil and Environmental Engineering
 Civil and Planning
 1400 1st Street
 New Bedford, MA 01905
 (508) 998-2725
 Fax: (508) 998-7554
 www.sitec-engineering.com



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UNION ST

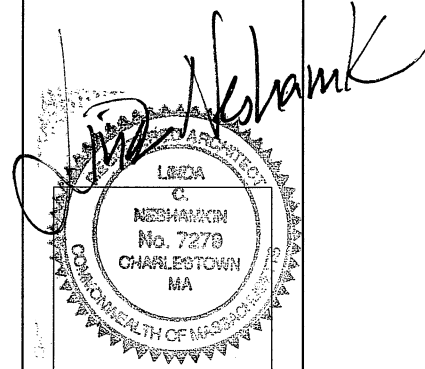
NEW BEDFORD, MA



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Neshamkin French Architects, Inc.
ARCHITECTS PLANNERS ENGINEERS INTERIORS
120 South Street, New Bedford, MA 01929
Tel: 508.445.1212 Fax: 508.445.2424



Stamped By:
Drawn By:
Checked By:
Date: 05/27/2014

Revisions

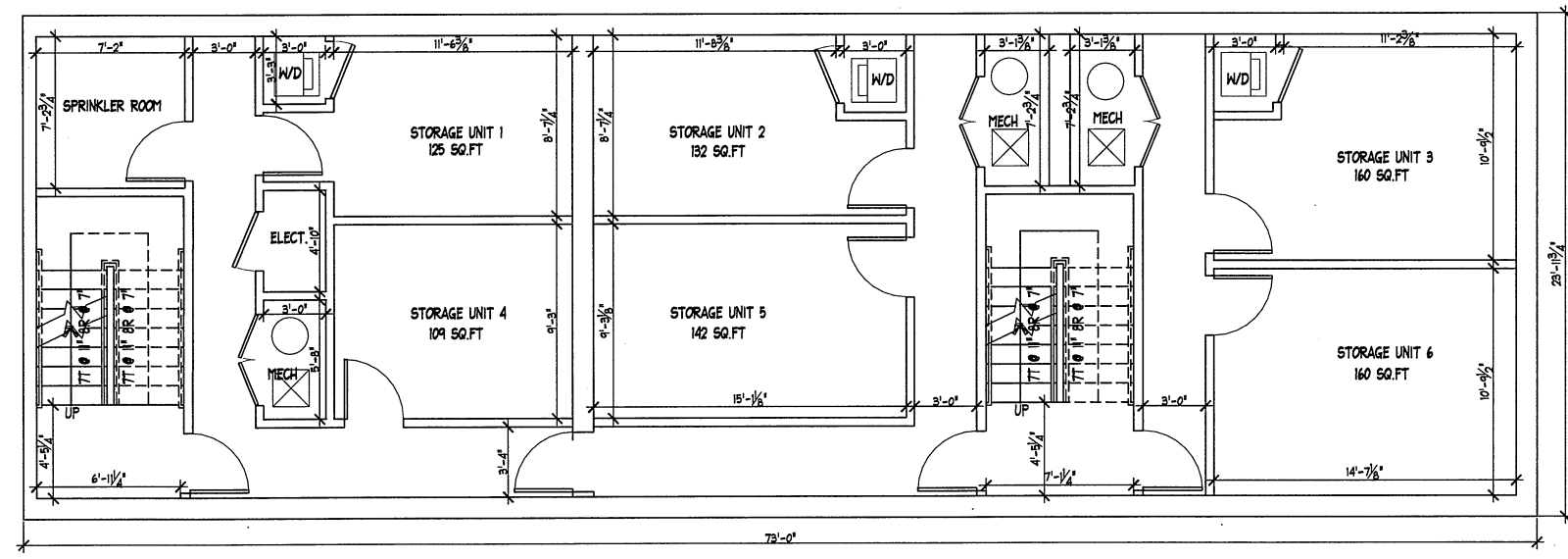
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Project No. NFA #1322
File Name:
Drawing Title:

BASEMENT FLOOR PLAN

Sheet No. A-100
Scale: 1/4" = 1'-0"

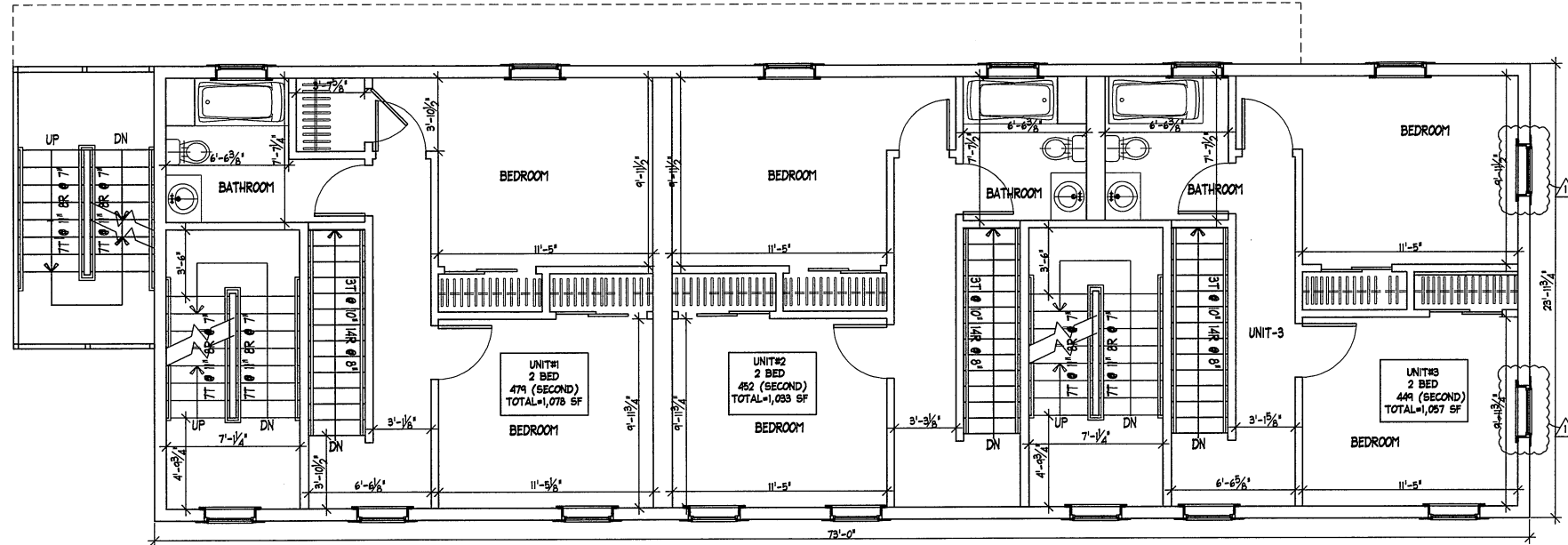
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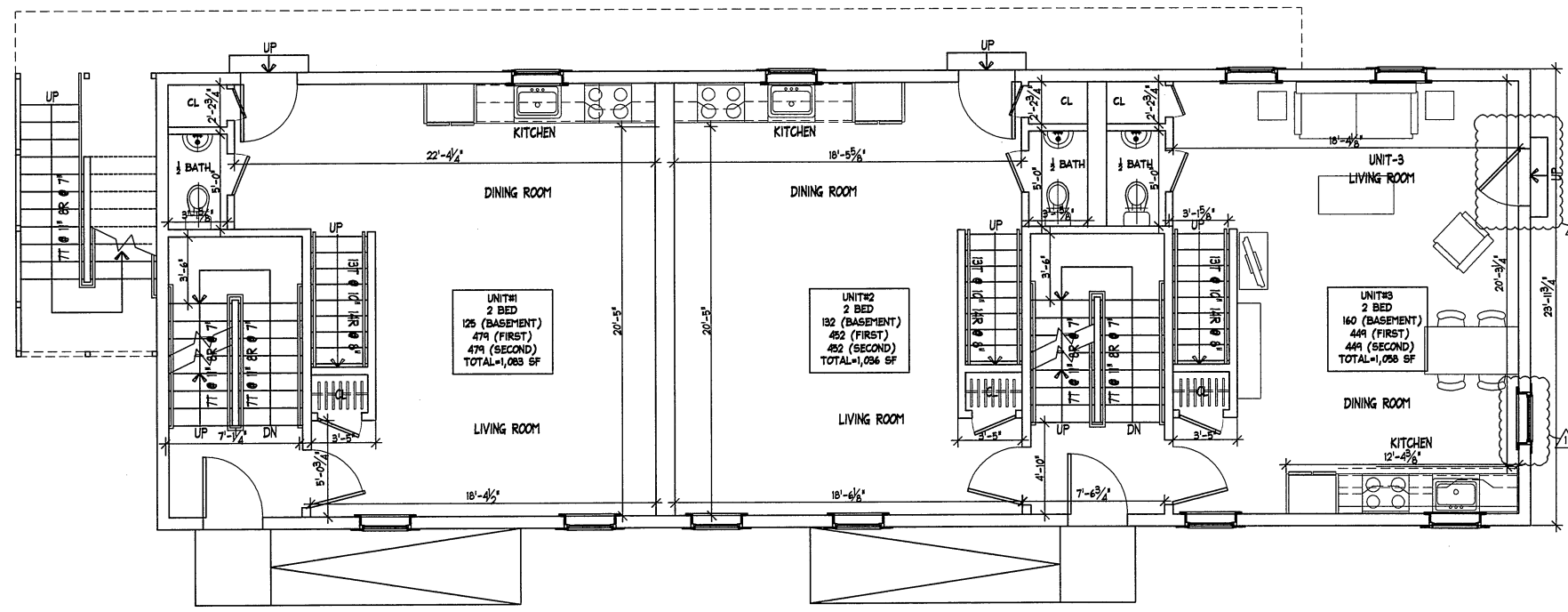
1 BASEMENT FLOOR PLAN
1/4" = 1'-0"

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NEW BEDFORD, MA



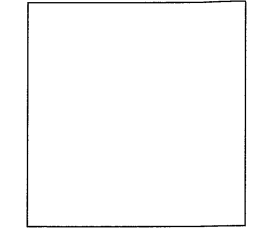
2 SECOND FLOOR PLAN
1/4" = 1'-0"



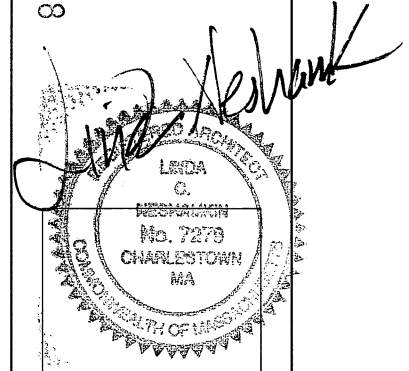
1 FIRST FLOOR PLAN
1/4" = 1'-0"

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Neshamkin French Architects, Inc.
ARCHITECTS - PRESERVATION PLANNING - DEVELOPMENT CONSULTANTS
100 Commercial Square, New Bedford, MA 01910 Tel: 508-342-2400 Fax: 508-342-2404
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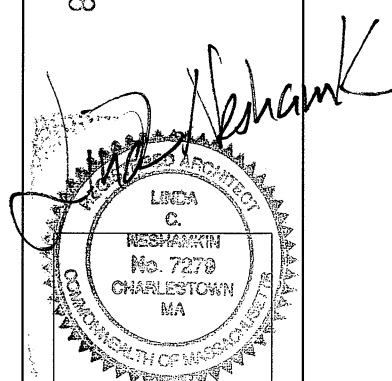
Project No. NFA #1322
 File Name: _____
 Drawing Title: _____

FIRST FLOOR PLAN
SECOND FLOOR PLAN

Sheet No. **A-101**
 Scale: 1/4" = 1'-0"
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100 Water Street
New Bedford, MA 01905
Tel: 508.245.2121
Fax: 508.245.2124
OFFICE
NEW BEDFORD, MA



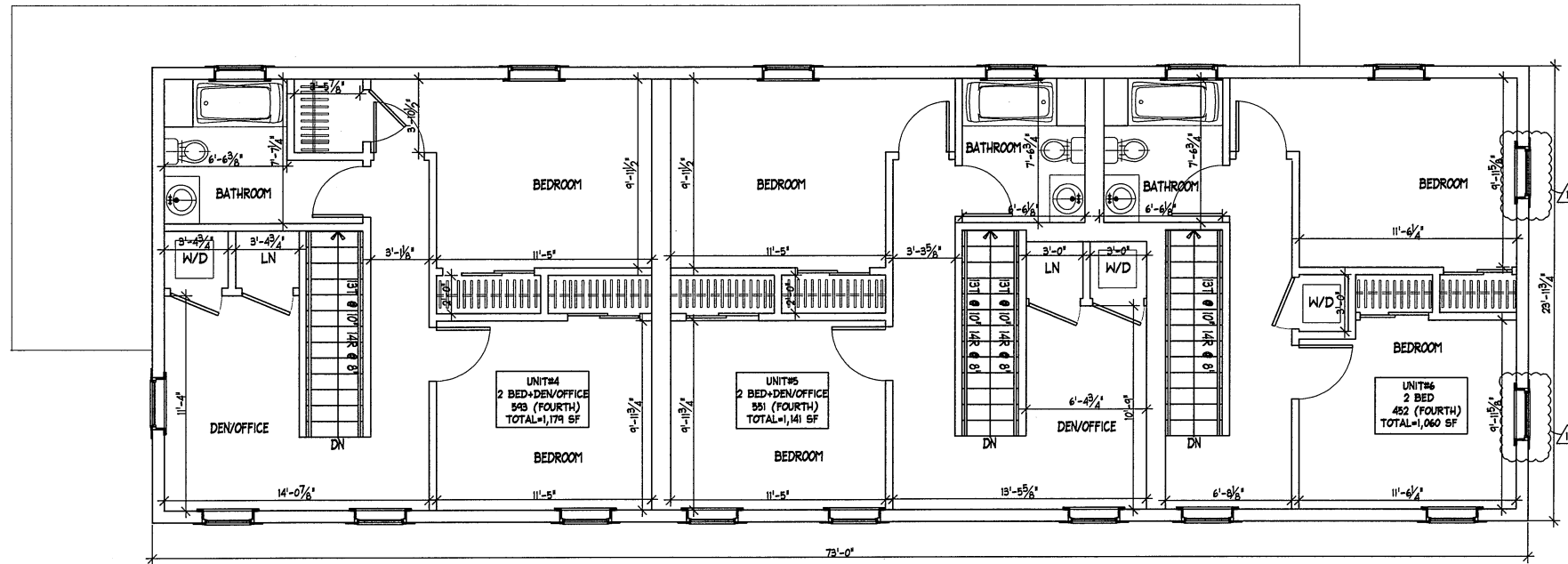
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1 6/24/2015
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File Name:
Drawing Title:

THIRD FLOOR PLAN
FOURTH FLOOR PLAN

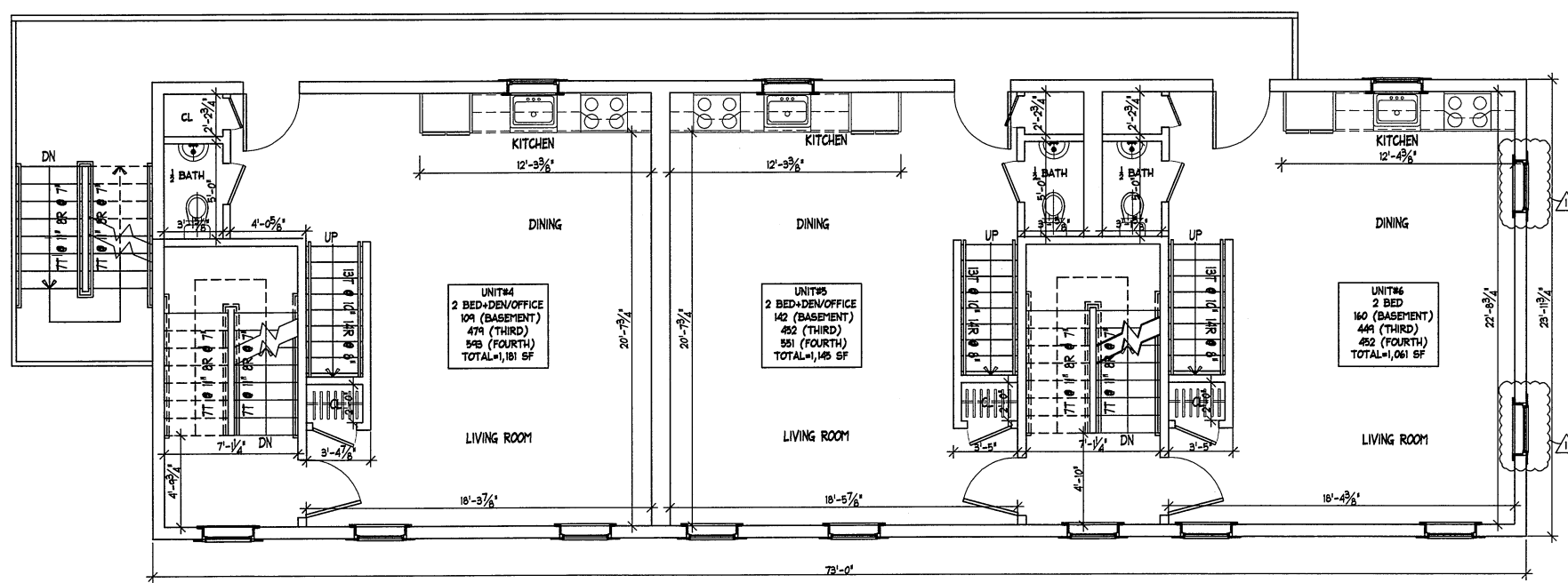
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Sheet No. A-102
Scale: 1/4" = 1'-0"

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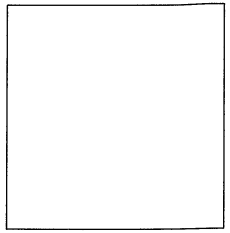


2 FOURTH FLOOR PLAN
1/4" = 1'-0"



1 THIRD FLOOR PLAN
1/4" = 1'-0"

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NEW BEDFORD, MA



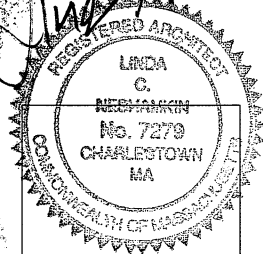
Neshamkin French Architects, Inc.
ARCHITECTS PLANNING DEVELOPMENT CONSULTANTS
2 Monument Square
Charlestown, MA 02129
Tel: 617-242-3432
Fax: 617-242-3434

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Linda C. Neshamkin



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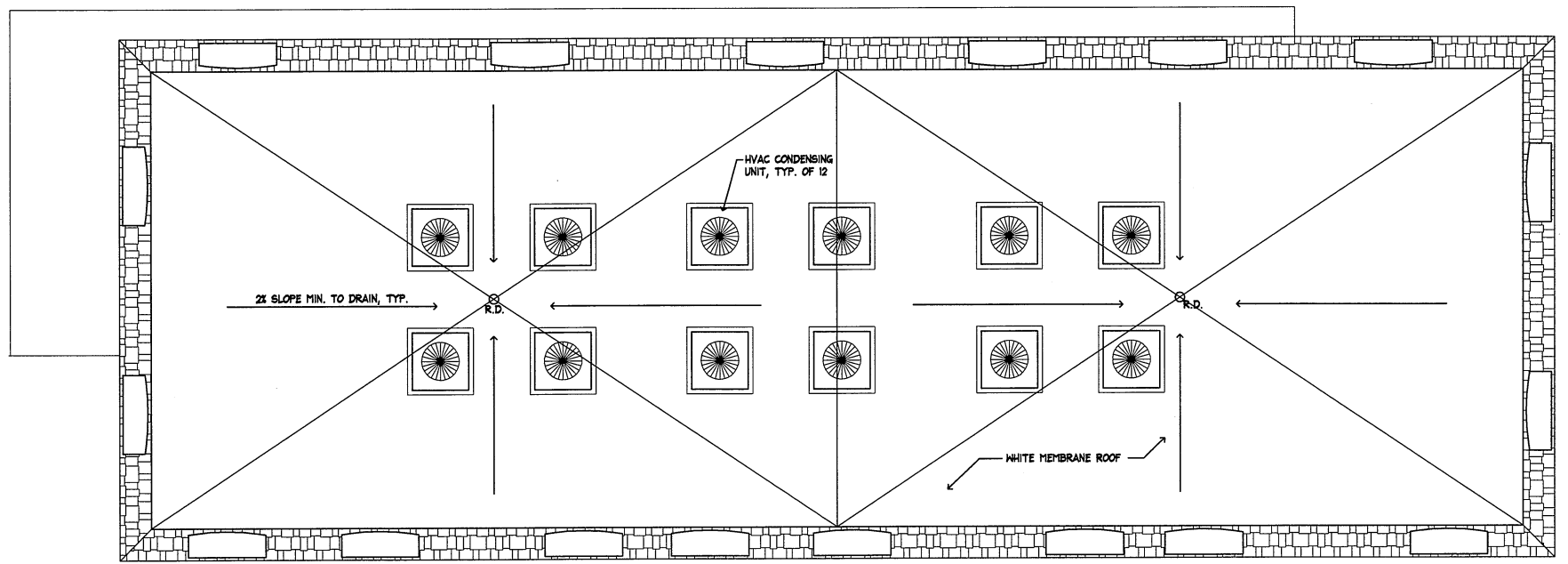
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 Drawing Title: _____

ROOF PLAN

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Sheet No. A-103
Scale: 1/4" = 1'-0"

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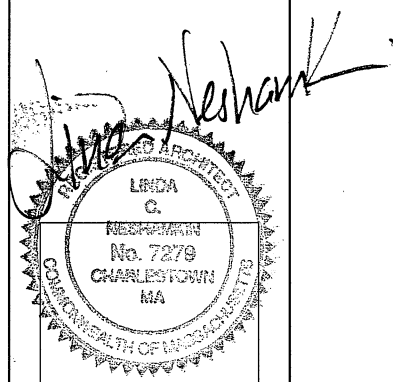


1 ROOF PLAN
1/4" = 1'-0"

475
UNION ST
NEW BEDFORD, MA

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NEW BEDFORD, MA
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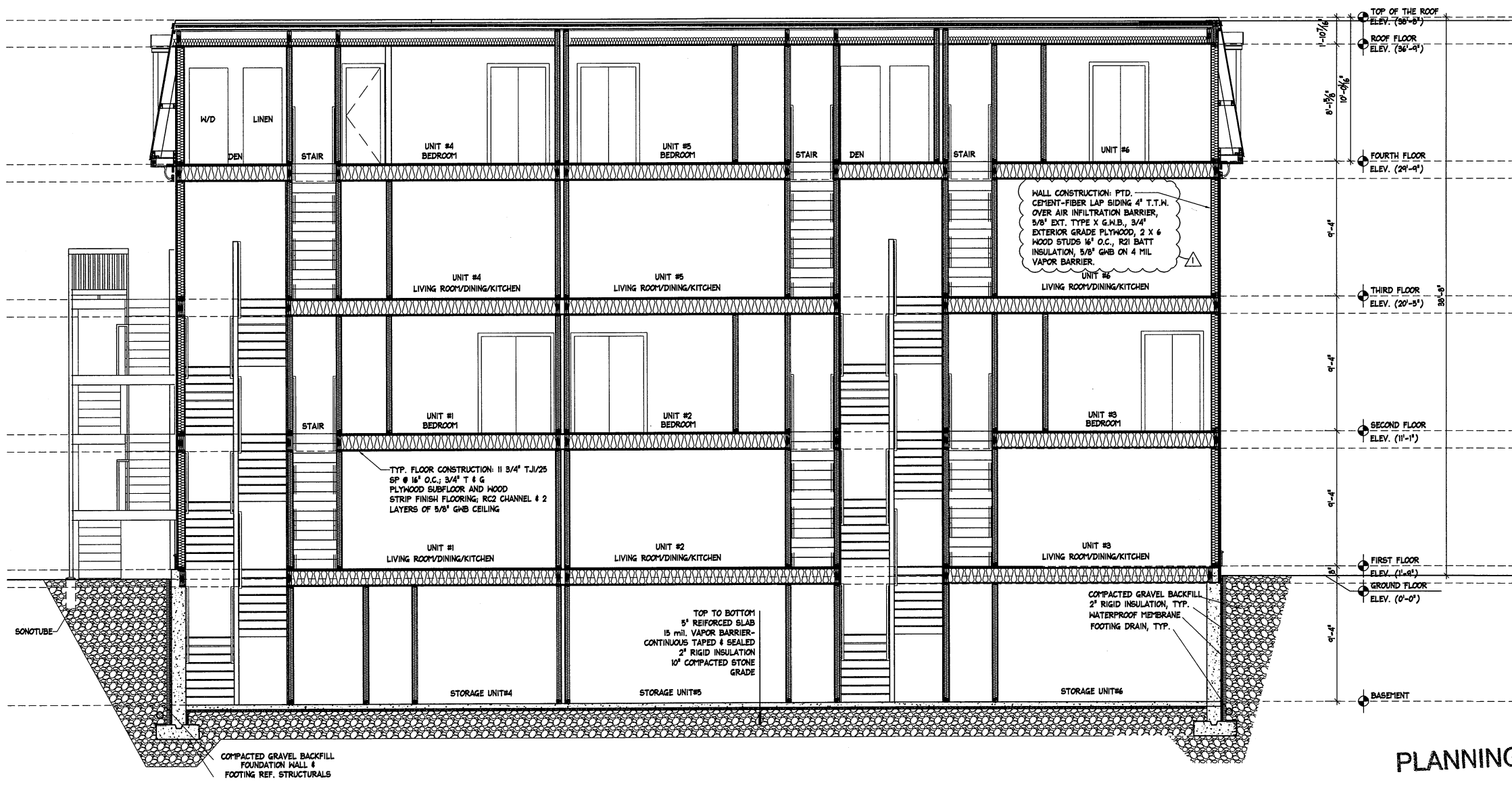
Neshamkin French Architects, Inc.
ARCHITECTS • PRESERVATION PLANNERS • DEVELOPMENT CONSULTANTS
1 Montpelier Square, New Bedford, MA 01909
Tel: 508-465-2000 Fax: 508-465-2001



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 File Name: _____
 Drawing Title: _____

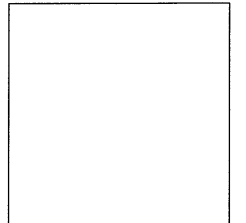


1 LONGITUDINAL SECTION
1/4" = 1'-0"

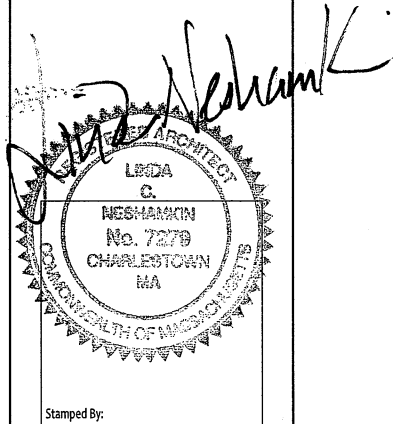
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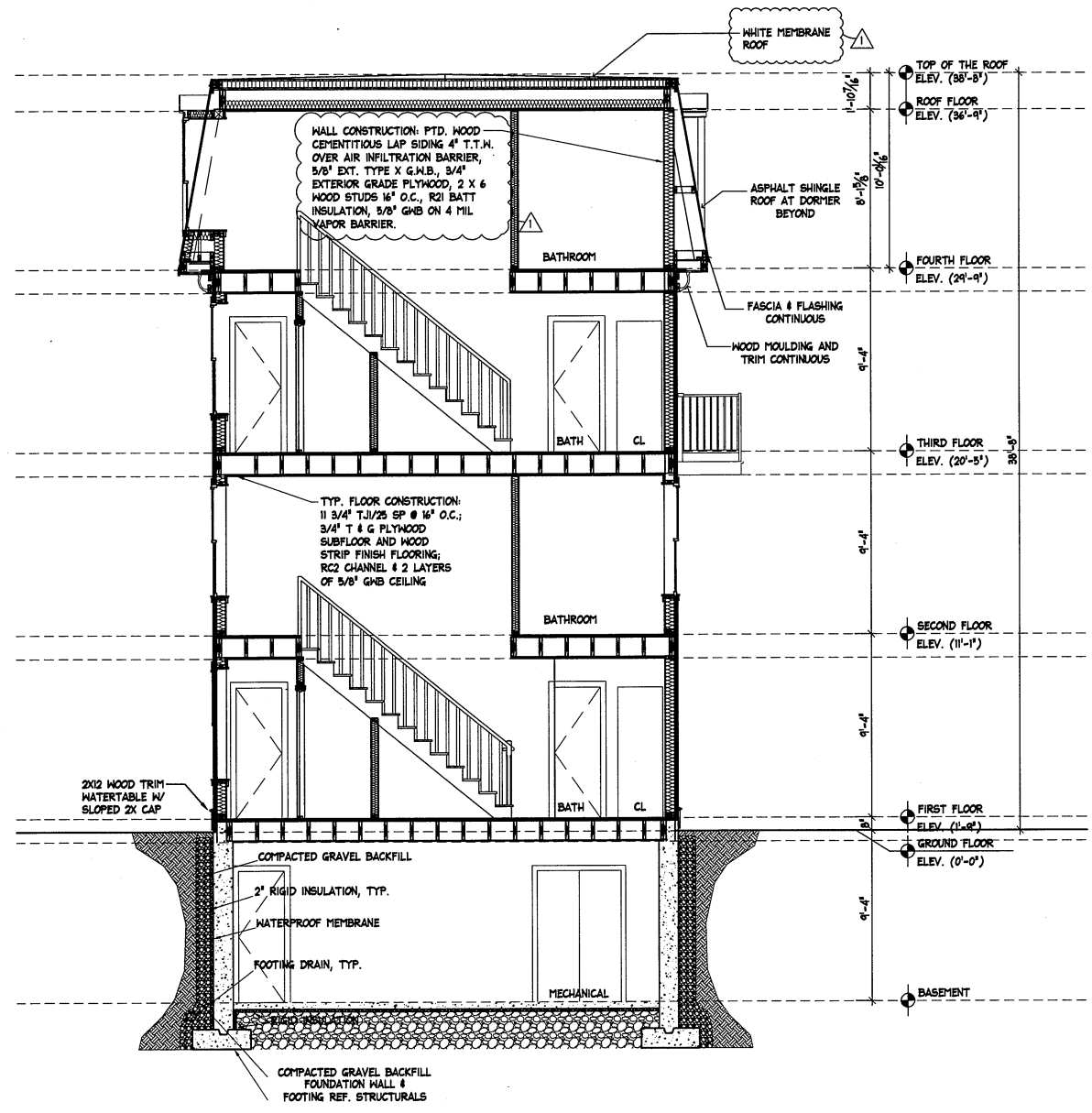
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NESHAMKIN FRENCH ARCHITECTS, INC.
ARCHITECTS, PRESERVATION PLANNING/DEVELOPMENT CONSULTANTS
150 South Street, New Bedford, MA 01909
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 File Name: _____
 Drawing Title: _____



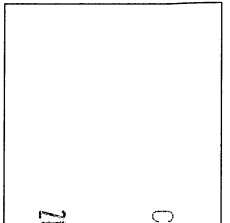
1 CROSS SECTION
1/4" = 1'-0"

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Sheet No. A-301
Scale: 1/4" = 1'-0"

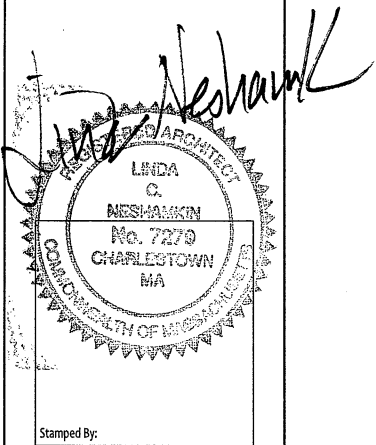
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Tel: 508.445.7100 Fax: 508.445.7101



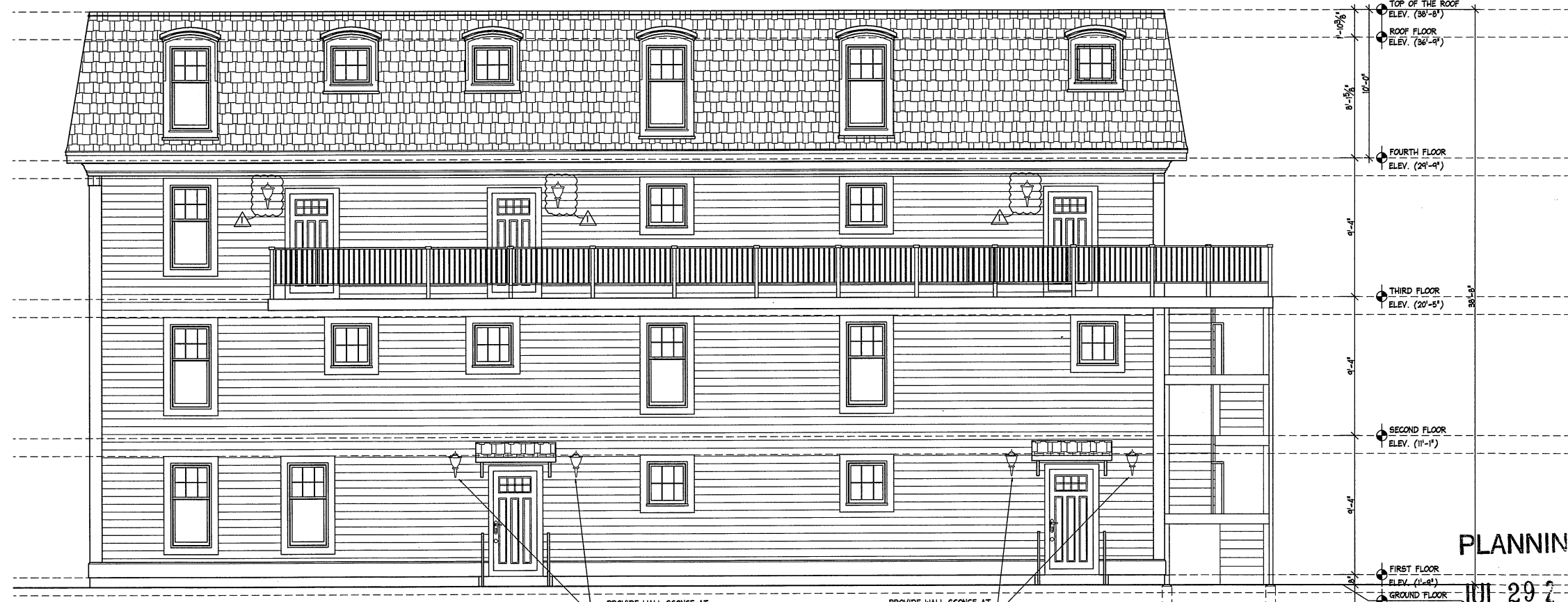
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File Name:
Drawing Title:

EAST ELEVATION



1 EAST ELEVATION
1/4" = 1'-0"

PLANNING PLANNING

JUL 29 2015 JUL 29 2015
Sheet No. A-402

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