

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES

1. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLAN AS DIRECTED BY THE PROJECT ENGINEER AND ACCORDING TO THE REQUIREMENTS OF THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) AND THE MASSACHUSETTS DEPARTMENT OF CONSERVATION (MDC) AND ALL APPLICABLE STATE AND FEDERAL REGULATIONS.

2. REGULATORY AGENCIES AND AGENCIES SHALL BE NOTIFIED OF THE LOCATION AND TYPE OF ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND SHALL BE PROVIDED WITH A COPY OF THIS PLAN AND ALL NECESSARY INFORMATION TO OBTAIN THE NECESSARY PERMITS AND APPROVALS.

3. THE CONSTRUCTION SHALL BE INSTALLED AND MAINTAINED BY A LICENSED PROFESSIONAL ENGINEER AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE PROJECT ENGINEER AND ALL APPLICABLE AGENCIES.

4. ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR ON A SCHEDULED BASIS AS DIRECTED BY THE PROJECT ENGINEER.

5. THE INSTALLATION OF SEDIMENT TRAPS, TRAPPIERS OR OTHER APPROVED METHODS SHALL BE INSTALLED AS SHOWN ON THE PLAN AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE PROJECT ENGINEER AND ALL APPLICABLE AGENCIES.

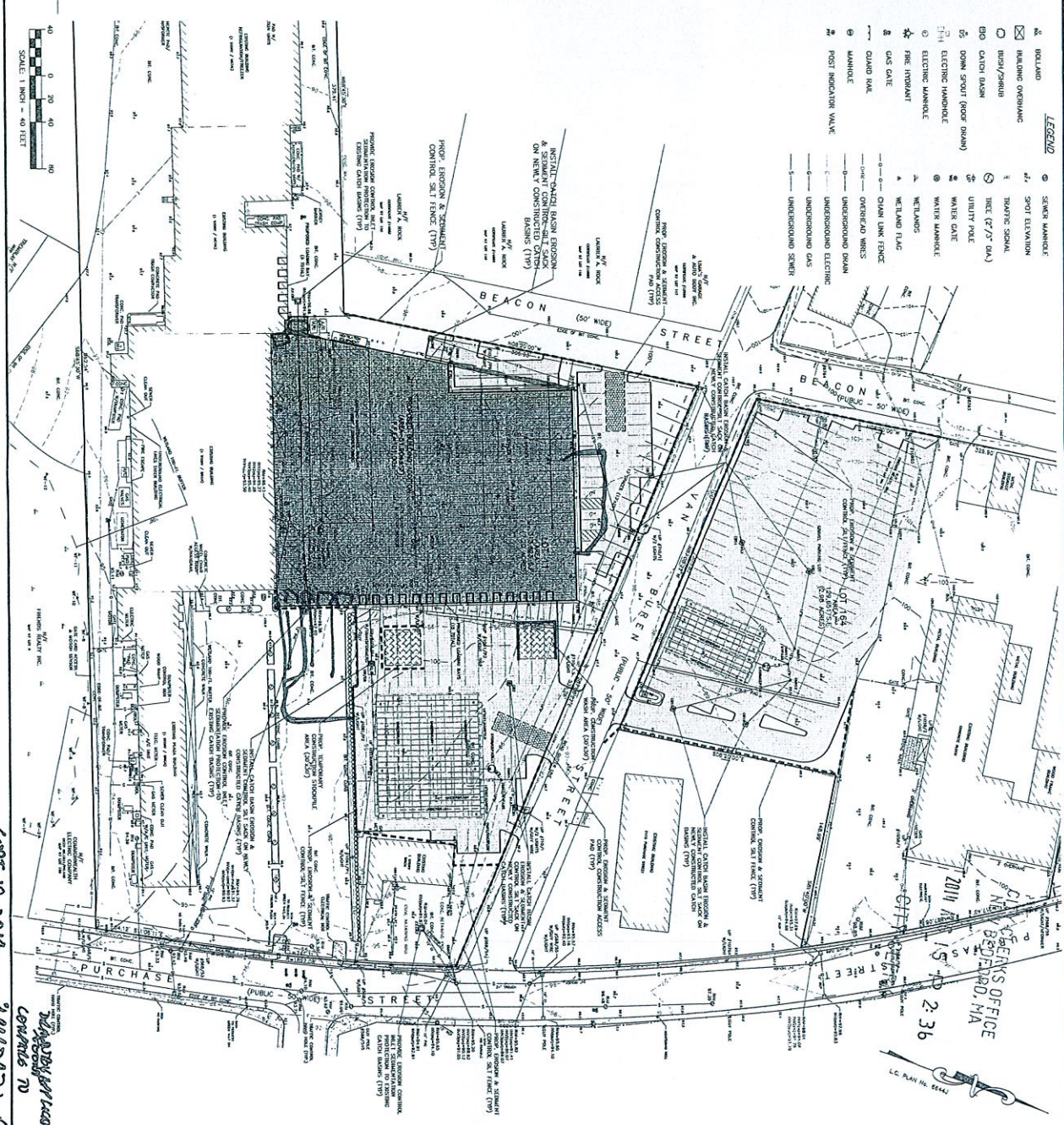
6. THE CONSTRUCTION SHALL BE INSTALLED AND MAINTAINED BY A LICENSED PROFESSIONAL ENGINEER AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE PROJECT ENGINEER AND ALL APPLICABLE AGENCIES.

7. THE CONSTRUCTION SHALL BE INSTALLED AND MAINTAINED BY A LICENSED PROFESSIONAL ENGINEER AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE PROJECT ENGINEER AND ALL APPLICABLE AGENCIES.

8. THE CONSTRUCTION SHALL BE INSTALLED AND MAINTAINED BY A LICENSED PROFESSIONAL ENGINEER AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE PROJECT ENGINEER AND ALL APPLICABLE AGENCIES.

9. THE CONSTRUCTION SHALL BE INSTALLED AND MAINTAINED BY A LICENSED PROFESSIONAL ENGINEER AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE PROJECT ENGINEER AND ALL APPLICABLE AGENCIES.

10. THE CONSTRUCTION SHALL BE INSTALLED AND MAINTAINED BY A LICENSED PROFESSIONAL ENGINEER AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE PROJECT ENGINEER AND ALL APPLICABLE AGENCIES.



SEPT 10, 2014
 APPROVED PLAN DEC 35-14
 2301 PURCHASE ST
 NEW BEDFORD, MA

BUILDING EXPANSION SITE PLAN 2301 PURCHASE STREET NEW BEDFORD, MASSACHUSETTS		
DRAWING TITLE: EROSION CONTROL PLAN	SHEET NO.: 4 OF 14	
DATE: AUGUST 8, 2014 PROJECT NO.: 14101	PREPARED FOR: ENGINEERING, LLC. 11 GISHMAN STREET NEW BEDFORD, MA 01960 WWW.SITEDESIGN.COM	REVIEW: APPROVED:

INDUSTRIAL SITE DEVELOPMENT PLANS

SITE PLAN APPROVAL MODIFICATION

2301 Purchase Street
 New Bedford, Massachusetts

SEPTEMBER 11, 2015

CIVIL ENGINEER
 SITE DESIGN ENGINEERING, LLC.
 11 CUSHMAN STREET
 MIDDLEBORO, MA 02346
 (508) 967-0873

LAND SURVEYOR
 SITE DESIGN ENGINEERING, LLC.
 11 CUSHMAN STREET
 MIDDLEBORO, MA 02346
 (508) 967-0873



LOCUS MAP
 SCALE: 1" = 600'

PLAN INDEX

TITLE	SHEET NO.
COVER SHEET	1
EXISTING CONDITIONS PLAN	2-3
EROSION CONTROL PLAN	4
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CONSTRUCTION DETAILS	13-14

PLANNING
 SEP 14 2015
 DEPARTMENT

FILE COPY

APPROVAL OF INDUSTRIAL LAND DEVELOPMENT AND EROSION CONTROL PLANS



DATE APPROVED: _____
 DATE SIGNED: _____
 SHEET NO. _____

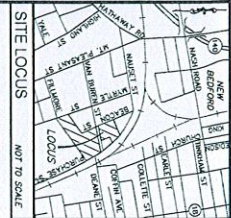
ATTACHMENT 2

23-15

DATE: SEPTEMBER 11, 2015	NO.	DATE	DESCRIPTION	APPROVED
DESIGN BY: DESIGN (D)				
CHECK BY: M/MT				
PROJECT NO. 14101				
ISSUED FOR: REVIEW				

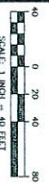
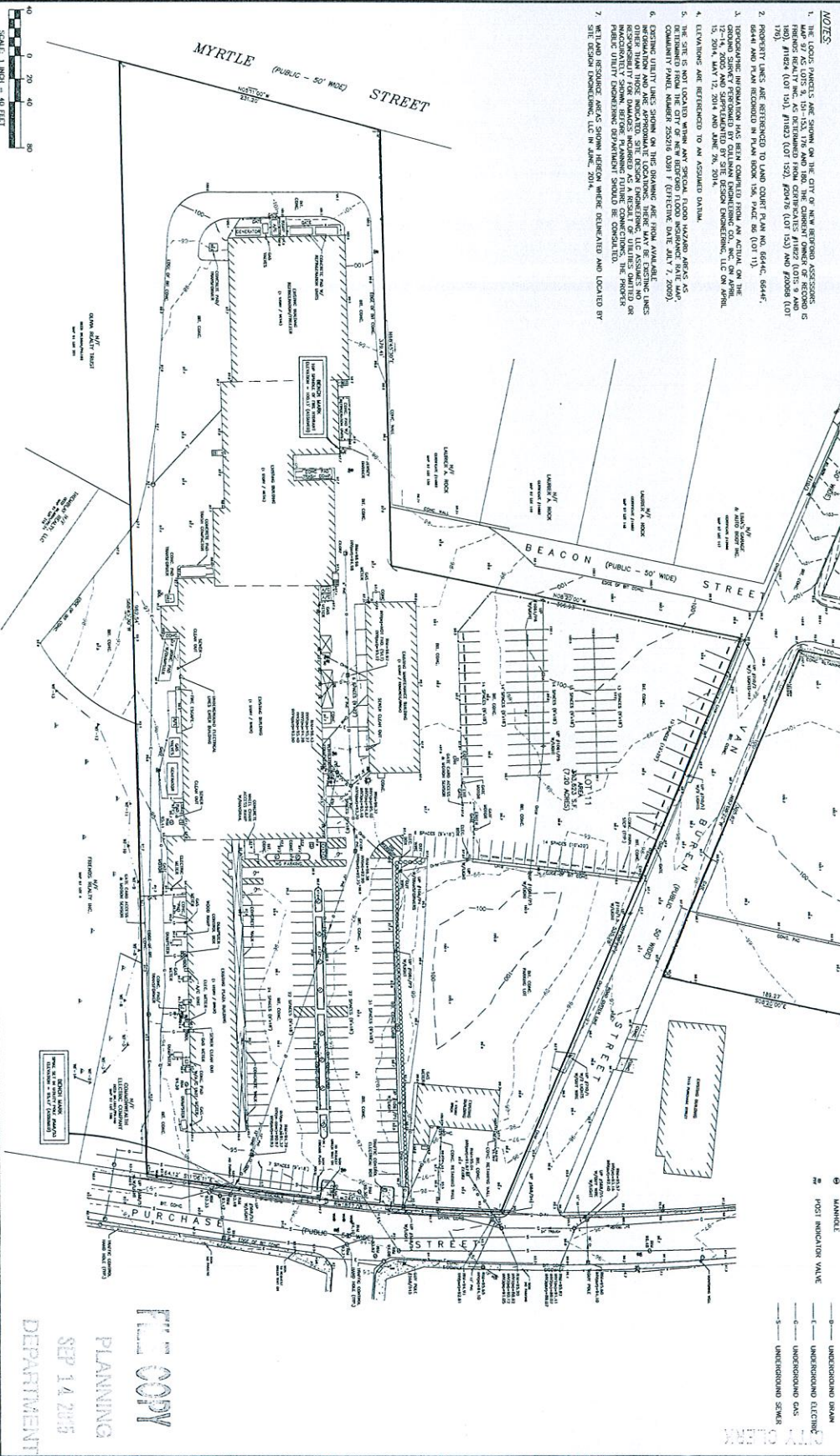
SITE PLAN APPROVAL
 MODIFICATION
 2301 PURCHASE STREET
 NEW BEDFORD, MASSACHUSETTS





NOTES

1. THE LOTS, PARCELS ARE SHOWN ON THE CITY OF NEW BEDFORD ASSESSORS' MAP 97 AS LOTS 2, 101-103, 176 AND 180. THE CURRENT OWNER OF RECORD IS SID WAINER & SON, INC. (LOT 101), 2301 PURCHASE STREET (LOT 102) AND 2307B (LOT 103) AND 2307A (LOT 176).
2. PROPERTY LINES ARE REFERENCED TO LAND COURT PLAN NO. 6644C, 6644F, 6644G AND PLAN RECORDED IN PLAN BOOK 126, PAGE 66 (LOT 176) OF THE CITY OF NEW BEDFORD, MASSACHUSETTS.
3. UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE BASED ON THE RECORD DRAWING OF THE CITY OF NEW BEDFORD, MASSACHUSETTS, DATED APRIL 12, 2011, AND SUPPLEMENTED BY THE DESIGN ENGINEERING, LLC ON APRIL 12, 2011, MAY 12, 2011 AND MAY 29, 2011.
4. ELEVATIONS ARE REFERENCED TO AN ASSUMED DATUM.
5. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS OF THE PROPERTY AND HAS REVIEWED THE RECORD DRAWING OF THE CITY OF NEW BEDFORD, MASSACHUSETTS, DATED APRIL 12, 2011, AND SUPPLEMENTED BY THE DESIGN ENGINEERING, LLC ON APRIL 12, 2011, MAY 12, 2011 AND MAY 29, 2011.
6. EXISTING UTILITY LINES SHOWN ON THIS DRAWING ARE FROM AVAILABLE RECORD DRAWINGS AND FIELD SURVEY. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS OF THE PROPERTY AND HAS REVIEWED THE RECORD DRAWING OF THE CITY OF NEW BEDFORD, MASSACHUSETTS, DATED APRIL 12, 2011, AND SUPPLEMENTED BY THE DESIGN ENGINEERING, LLC ON APRIL 12, 2011, MAY 12, 2011 AND MAY 29, 2011.
7. WITH AN RESOURCES, INC. HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS REVIEWED THE RECORD DRAWING OF THE CITY OF NEW BEDFORD, MASSACHUSETTS, DATED APRIL 12, 2011, AND SUPPLEMENTED BY THE DESIGN ENGINEERING, LLC ON APRIL 12, 2011, MAY 12, 2011 AND MAY 29, 2011.



- LEGEND**
- 1. ROLLAND
 - 2. BUILDING OVERLAYS
 - 3. BUSH/CBERS
 - 4. CATCH BASIN
 - 5. DOWN SPOUT (ROOF DRAIN)
 - 6. ELECTRIC HANDHOLE
 - 7. ELECTRIC MANHOLE
 - 8. FIRE HYDRANT
 - 9. GAS CALL
 - 10. GUARD RAIL
 - 11. MANHOLE
 - 12. POST INDICATOR VALVE
 - 13. SEWER MANHOLE
 - 14. SHOT ELEVATION
 - 15. TRAFFIC SIGNAL
 - 16. THE (27" DIA)
 - 17. UTILITY HOLE
 - 18. WATER CALL
 - 19. WATER MANHOLE
 - 20. WETLANDS
 - 21. WETLAND FLAG
 - 22. CHAIN LINK FENCE
 - 23. OVERHEAD WIRE
 - 24. UNDERGROUND DRAIN
 - 25. UNDERGROUND ELECTRIC
 - 26. UNDERGROUND GAS
 - 27. UNDERGROUND SINK

FOR COPY
 SEP 14 2015
 PLANNING DEPARTMENT

SITE PLAN APPROVAL MODIFICATION
 2301 PURCHASE STREET
 NEW BEDFORD, MASSACHUSETTS

PREPARED FOR
 SID WAINER & SON, INC.

DATE: SEPTEMBER 11, 2015
 DRAWN BY: DESIGN
 CHECK BY: DESIGN
 PROJECT NO: 14101
 ISSUED FOR: REVIEW

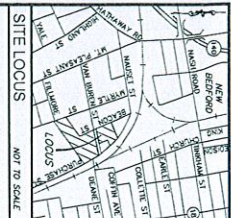
SCALE: 1" = 40'
 SHEET NO: 2 OF 14



NO.	DATE	DESCRIPTION	APPROVED

ENGINEERING, LLC.
 11 ORBURN STREET
 NEW BEDFORD, MASSACHUSETTS
 WWW.DESIGNENGINEERING.COM

Case 23-15



NOTES:

1. THE LOTS AND PARCELS ARE SHOWN ON THE CITY OF NEW BEDFORD RECORD NUMBER OF RECORD IS PROVIDED. REALTY INC. AS DETERMINED FROM CERTIFICATES #19900.
2. PROPERTY LINES ARE REFERENCED TO LAND COURT PLAN 6644F (LOTS 813-816, 817-18 AND 822-823).
3. UNDERGROUND PROGRAM HAS BEEN COMPLETED FROM AN ACTION ON THE 12-17-2014.
4. ELEVATIONS ARE REFERENCED TO AN ASSUMED DATUM.
5. THE SITE IS NOT LOCATED WITHIN ANY SPECIAL FLOOD HAZARD AREAS AS DETERMINED FROM THE CITY OF NEW BEDFORD FLOOD INSURANCE RATE 2009).
6. EXISTING UTILITY LINES SHOWN ON THIS DRAWING ARE FROM AVAILABLE INFORMATION AND ARE APPROXIMATE LOCATIONS. THERE MAY BE EXISTING UTILITY LINES NOT SHOWN ON THIS DRAWING. THE USER SHALL BE RESPONSIBLE FOR DAMAGES INCURRED AS A RESULT OF CONNECTIONS. THE PRIVATE PUBLIC UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED.
- 7.



- LEGEND**
- ⊗ SERVICEMAN
 - ⊙ SPOT ELEVATION
 - ⊙ TRAFFIC SIGNAL
 - ⊙ TRIP (7'7" DIA)
 - ⊙ UTILITY POLE
 - ⊙ WATER TANK
 - ⊙ WATER MANHOLE
 - ⊙ WELTANKS
 - ⊙ WETLAND FLAG
 - ⊙ CHAIN LINK FENCE
 - ⊙ OVERHEAD WIRING
 - ⊙ UNDERGROUND DRAIN
 - ⊙ UNDERGROUND GAS
 - ⊙ UNDERGROUND ELECTRIC
 - ⊙ UNDERGROUND SINKER
 - ⊙ BOLLARD
 - ⊙ BUILDING OVERLAP
 - ⊙ BUS/TRANSIT
 - ⊙ CATCH BASIN
 - ⊙ DOWN SPOUT (ROOF DRAIN)
 - ⊙ ELECTRIC HANGROVE
 - ⊙ ELECTRIC MANHOLE
 - ⊙ FIRE HYDRANT
 - ⊙ GAS GATE
 - ⊙ GROUND BALL
 - ⊙ MANHOLE
 - ⊙ POST INDICATOR VALVE

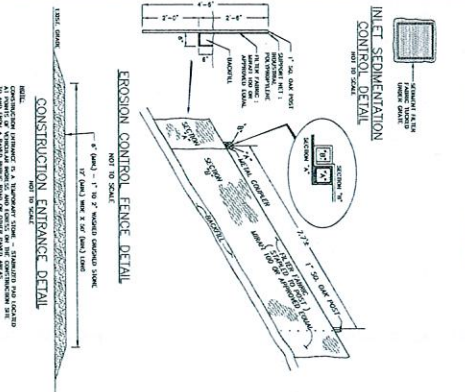
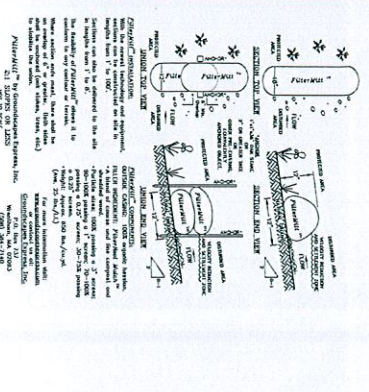
Prepared by **ANM**
PLANNING
 SEP 14 2015
 DEPARTMENT

3 OF 14 SHEET NO.	SITE PLAN APPROVAL MODIFICATION 2301 PURCHASE STREET NEW BEDFORD, MASSACHUSETTS PREPARED FOR SID WAINER & SON, INC.		REVIEW DATE: SEPTEMBER 11, 2015 DRAWN BY: DESIGN: SJK/CLK/STP R.W./WTS. REVISED: RSW/STP PROJECT NO. 14101 ISSUED FOR:								
EXISTING CONDITIONS PLAN	SCALE: 1" = 40' DRAWING TITLE:	SITE DESIGN ENGINEERING, LLC. 1700 STATE STREET NEW BEDFORD, MASSACHUSETTS 01910 TEL: 508.457.8800 WWW.SITEDESIGNENGINEERING.COM	PLAN REVISIONS: <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>APPROVED</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION	APPROVED				
NO.	DATE	DESCRIPTION	APPROVED								

CASE 23-15

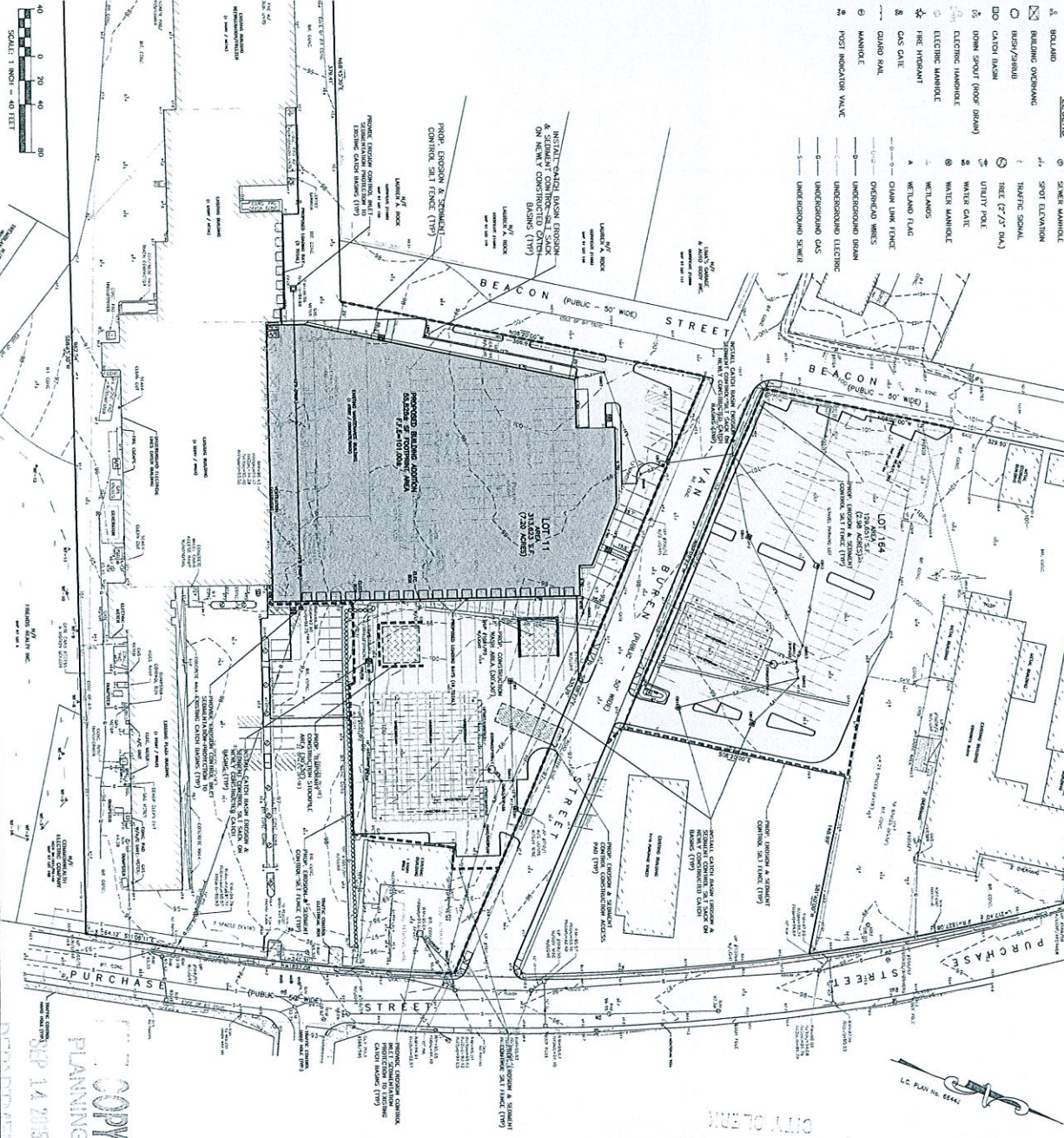
SOIL EROSION AND SEDIMENTATION CONTROL NOTES

1. PRIOR TO ANY CONSTRUCTION, ALL EXISTING AND PROPOSED CONSTRUCTION SHALL BE FIELD INSPECTED AND APPROVED BY THE LOCAL COMMISSIONER OF CONSERVATION AND RECREATION. THESE INSPECTIONS SHALL BE COMPLETED AND APPROVED PRIOR TO THE START OF CONSTRUCTION.
2. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
3. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
4. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
5. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
6. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
7. CONSTRUCTION SHALL CONTINUE TO MAINTAIN EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.



LEGEND

- ⊙ SINK MANHOLE
- ⊙ SPOT ELEVATION
- ⊙ ROLLING OVERBANK
- ⊙ (R/S)/SHED
- ⊙ CATCH BASIN
- ⊙ DOWN SPOUT (ROOF DRAIN)
- ⊙ ELECTRIC HANDSHAKE
- ⊙ ELECTRIC MANHOLE
- ⊙ FIRE HYDRANT
- ⊙ GAS GATE
- ⊙ GROUND RAIL
- ⊙ MANHOLE
- ⊙ POST INDICATOR VALVE
- ⊙ SINK MANHOLE
- ⊙ SPOT ELEVATION
- ⊙ ROLLING OVERBANK
- ⊙ (R/S)/SHED
- ⊙ CATCH BASIN
- ⊙ DOWN SPOUT (ROOF DRAIN)
- ⊙ ELECTRIC HANDSHAKE
- ⊙ ELECTRIC MANHOLE
- ⊙ FIRE HYDRANT
- ⊙ GAS GATE
- ⊙ GROUND RAIL
- ⊙ MANHOLE
- ⊙ POST INDICATOR VALVE



W
SITE DESIGN
ENGINEERING, LLC
11 GERRARD STREET
NEW BEDFORD, MASSACHUSETTS
WWW.WIDERENGINEERING.COM

**SITE PLAN APPROVAL
MODIFICATION**
2301 PURCHASE STREET
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR
SID WAINER & SON, INC.

DATE: SEPTEMBER 11, 2018
DRAWING BY: DR. SON, INT. CHECK BY: DR. SON
SCALE: 1" = 40'
PROJECT NO.: 14101
ISSUED FOR: REVIEW

PLAN REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

APPROVED: _____

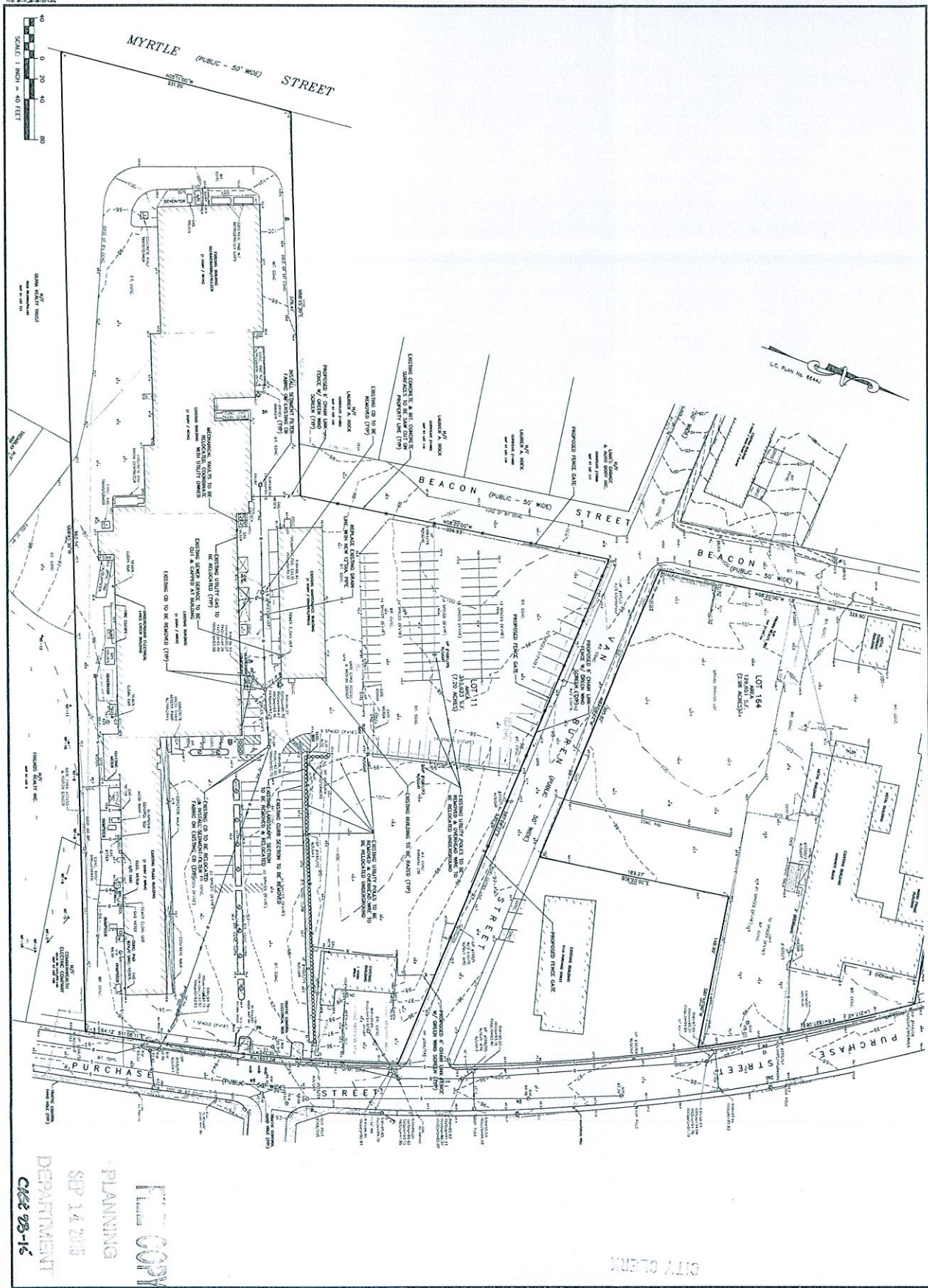
SCALE: 1" = 40'

SHEET NO. 4 OF 14

EROSION CONTROL PLAN

DATE: SEP 14 2018

CASE 23-16



DEPARTMENT
 SEP 14 2015
 PLANNING
 CITY CLERK
 2301 PURCHASE STREET
 NEW BEDFORD, MASSACHUSETTS
 PREPARED FOR
 SID WAINER & SON, INC.

DRAWING TITLE:
 SITE DEMOLITION
 PLAN
 SCALE: 1" = 40'
 SHEET NO:
 5 OF 14

2301 PURCHASE STREET
 NEW BEDFORD, MASSACHUSETTS
 PREPARED FOR
 SID WAINER & SON, INC.

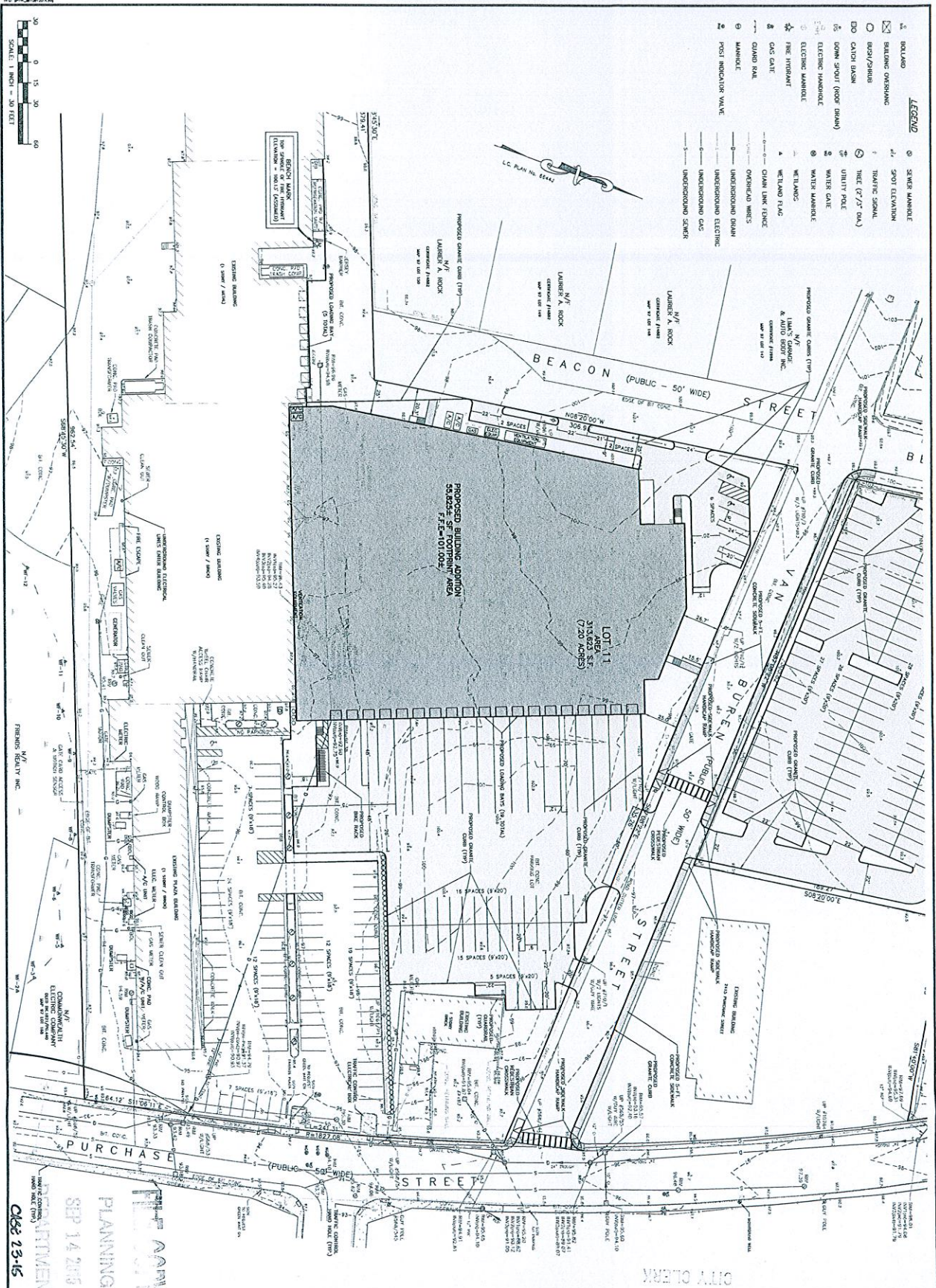


DATE:
 DRAWING BY: DESIGN, ERIK CHECK
 REVISIONS:
 PROJECT NO.: 14101
 ISSUED FOR:
 REVIEW:

NO.	DATE	DESCRIPTION	APPROVED

CITY CLERK

 SITE DESIGN
 ENGINEERING, LLC.
 11 COLUMBIAN STREET
 NEW BEDFORD, MASSACHUSETTS
 01905
 TEL: 508.457.1111
 WWW.SITEDESIGNENGINEERING.COM



<p>DATE: SEPTEMBER 11, 2015 DRAWN BY: DESIGN, SET, CHECK, PERM CHECKED BY: [Signature] PROJECT NO: 14101</p>	<p>ISSUED FOR: REVIEW</p>	<p>SITE PLAN APPROVAL MODIFICATION 2301 PURCHASE STREET NEW BEDFORD, MASSACHUSETTS</p> <p>PREPARED FOR: SID WAINER & SON, INC.</p>	<p>SITE DESIGN ENGINEERING, LLC. 11 GOSMUND STREET NEW BEDFORD, MA 01910 TEL: 508.465.1111 WWW.SITEDESIGNENGINEERING.COM</p>
<p>PLANNING DEPARTMENT SEP 14 2015 CASE 23-15</p>		<p>6 OF 14</p>	



SCALE: 1" = 30'

7 OF 14

SITE PLAN APPROVAL MODIFICATION

2301 PURCHASE STREET

NEW BEDFORD, MASSACHUSETTS

PREPARED FOR
SID WAINER & SON, INC.

DATE: SEPTEMBER 11, 2015

DRAWN BY: [Name]

CHECKED BY: [Name]

PROJECT NO. 14101

REVIEW

APPROVED

PLANNING DEPARTMENT

SEP 14 2015

CASE 28-15

ENGINEERING, LLC.

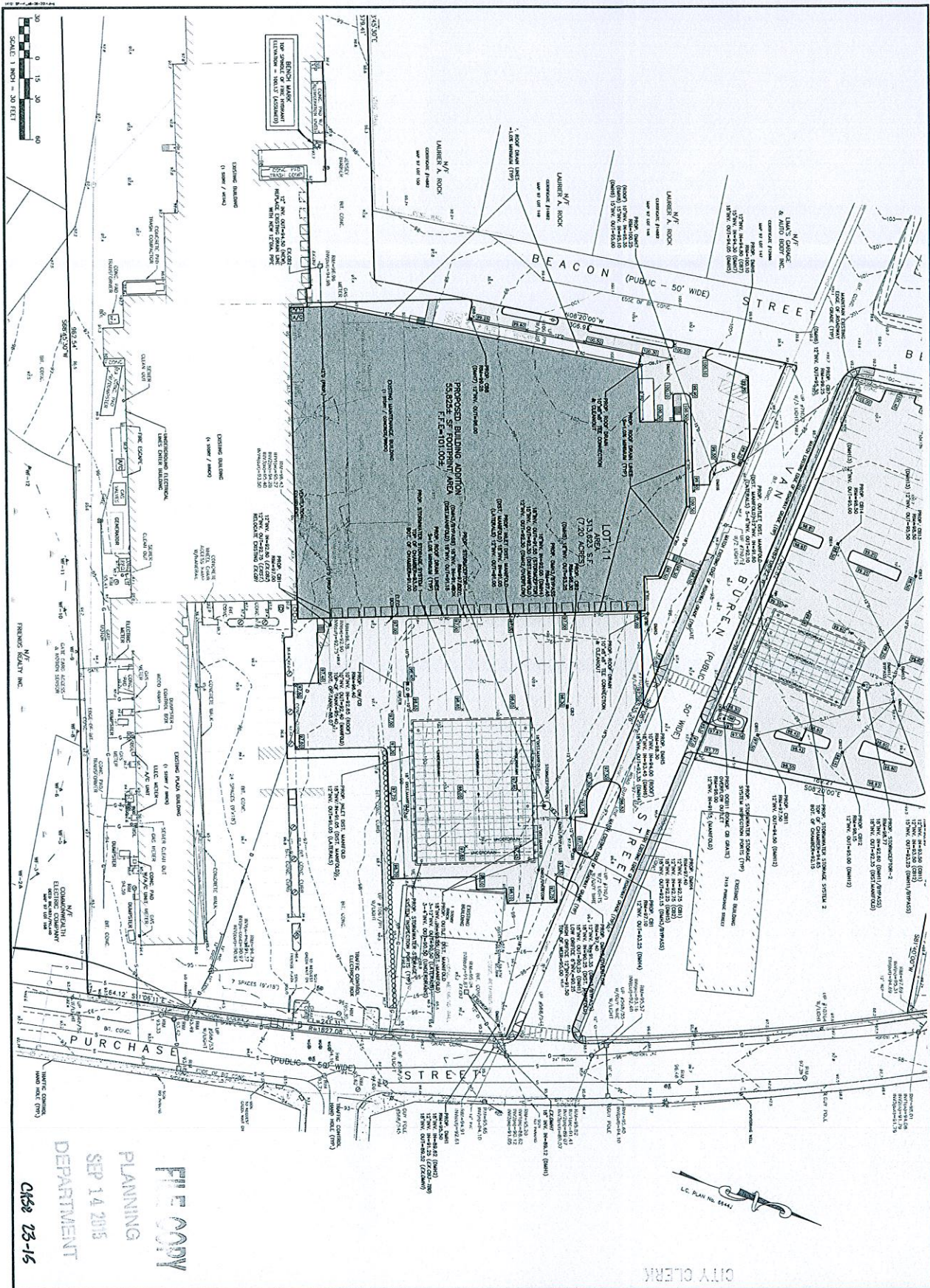
100 STATE STREET

NEW BEDFORD, MA 01905

PHONE: 508-445-1111

WWW.WDSEINC.COM

NO.	DATE	DESCRIPTION	APPROVED



PLANNING
SEP 14 2015
DEPARTMENT

Case 23-16

PIE COPY

**SITE PLAN APPROVAL
MODIFICATION
2301 PURCHASE STREET
NEW BEDFORD, MASSACHUSETTS**

PREPARED FOR
SID WAINER & SON, INC.

ENGINEERING, LLC.

110 COMMON STREET
NEW BEDFORD, MA 01910
PHONE: 508-457-3200
WWW.SIDWAINER.COM

NO.	DATE	DESCRIPTION	APPROVED

DATE: SEPTEMBER 11, 2015
DRAWN BY: [Name]
PROJECT NO.: 14101
REVIEW: [Name]



DEPARTMENT OF
PLANNING & ZONING
SEP 14 2015
9 OF 14

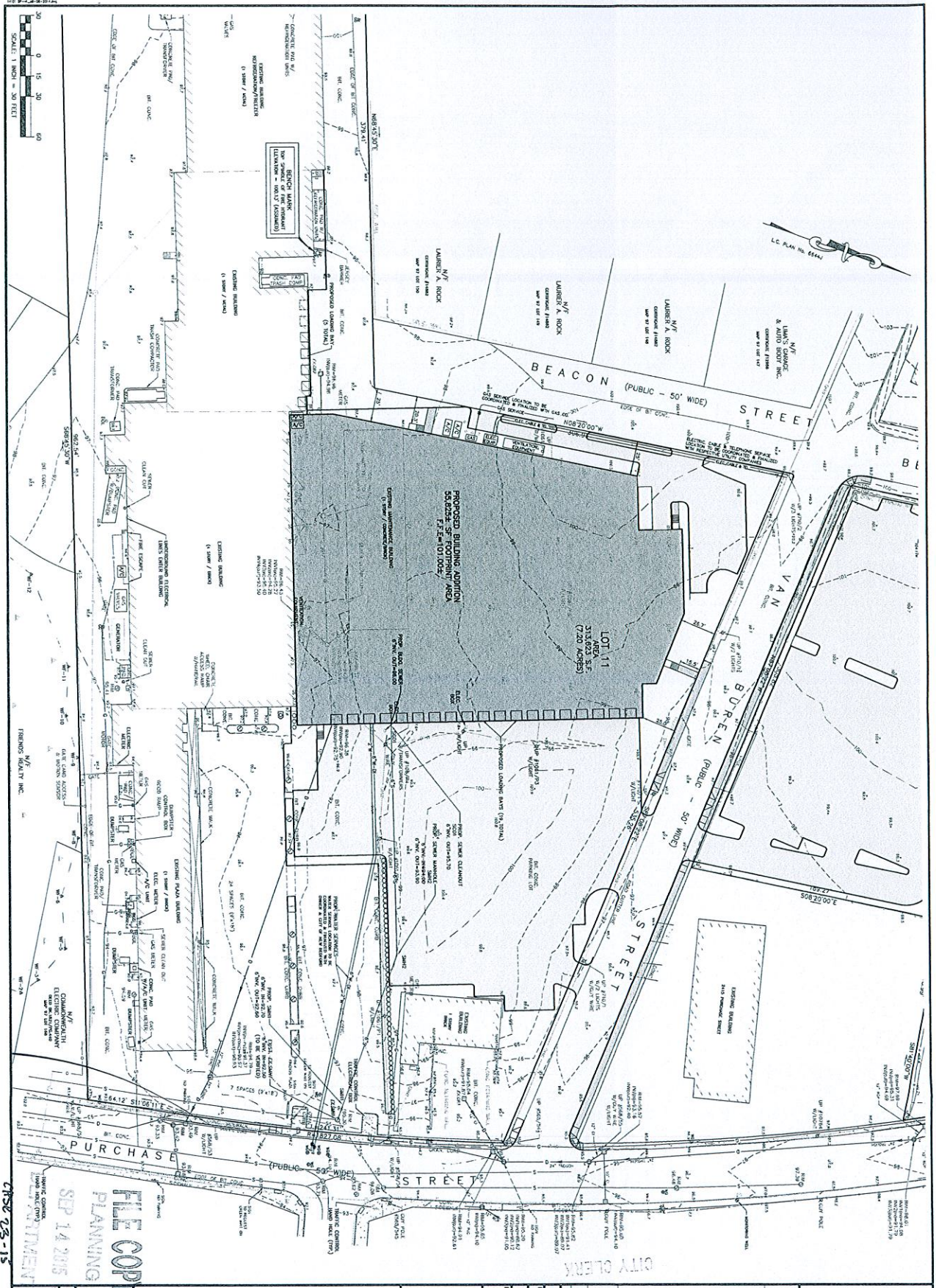
**SITE PLAN APPROVAL
MODIFICATION**
2301 PURCHASE STREET
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR
SID WAINER & SON, INC.

CITY CLERK

NO.	DATE	DESCRIPTION	APPROVED

**SITE DESIGN
ENGINEERING, LLC.**
11 CHESHAM STREET
NEW BEDFORD, MA 01905
WWW.SITEDESIGNINC.COM



SCALE: 1" = 30'

SHEET NO. 10 OF 10

SITE PLAN APPROVAL MODIFICATION
2301 PURCHASE STREET
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR
SID WAINER & SON, INC.

ENGINEERING, LLC.
11 LOGAN STREET
ANDOVER, MA 01810
TEL: 978.475.1234
WWW.SIDWAINERSON.COM

DATE: SEPTEMBER 11, 2015
DRAWING FOR: DESIGN REVIEW CHECK
PROJECT NO.: 14101

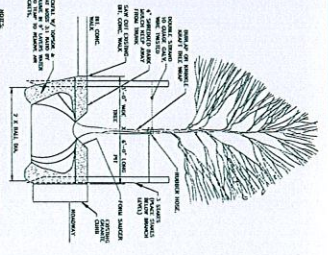
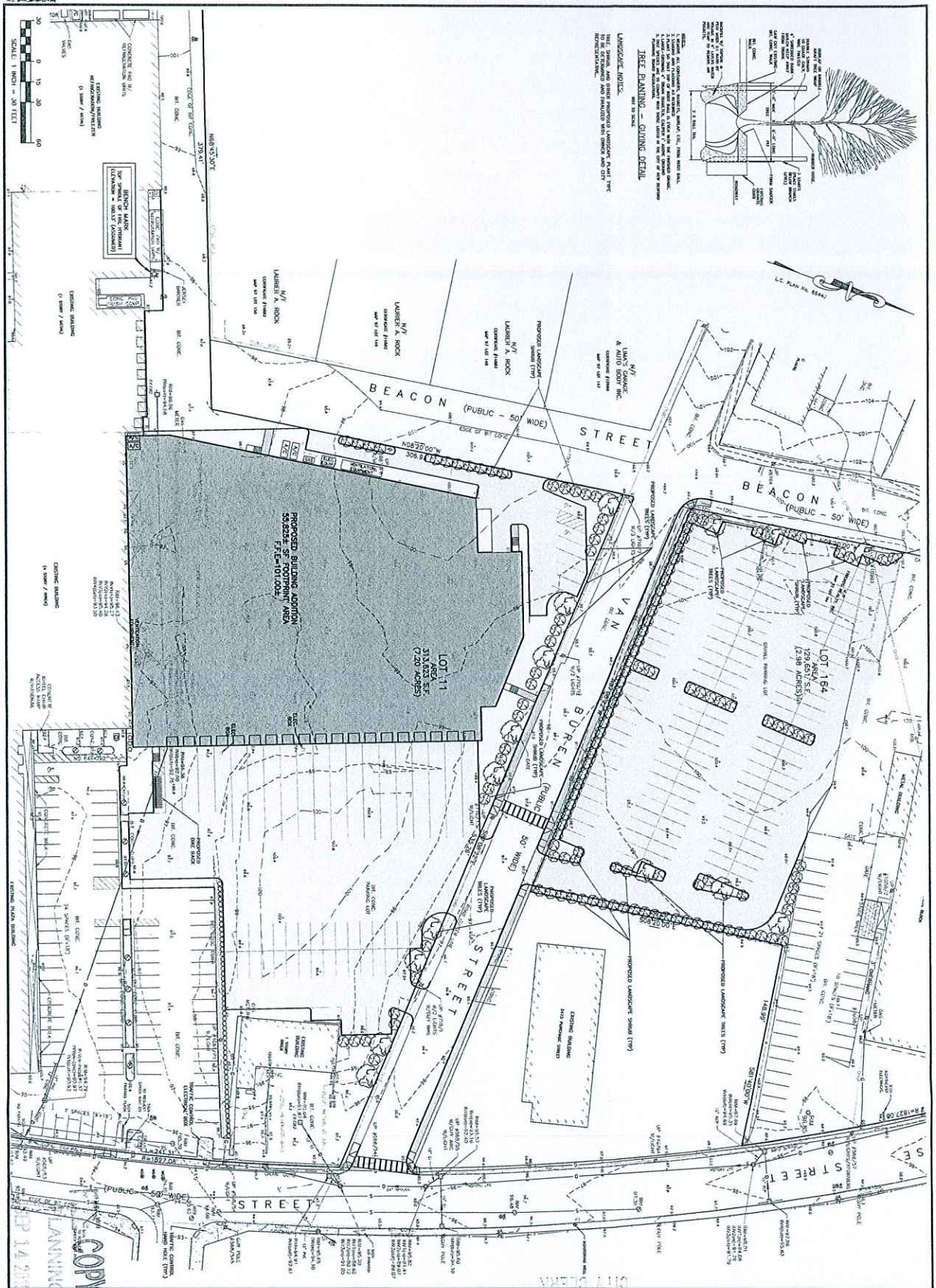
ISSUED FOR: REVIEW

CH 23-15

SEP 14 2015
PLANNING
FEE COPY
UTILITY PLAN

NO.	DATE	DESCRIPTION	APPROVED





IRIG PLANNING - GRADING DETAIL
 AND TO SCALE

LANDSCAPE NOTES:
 THIS SITE PLAN HAS OTHER PROPOSED LANDSCAPE AS SET FORTH IN THE LANDSCAPE PLAN AND TO SCALE.
 ALL PROPOSED PLANTING SHALL BE INSTALLED BY THE CONTRACTOR AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 ALL PROPOSED PLANTING SHALL BE INSTALLED BY THE CONTRACTOR AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

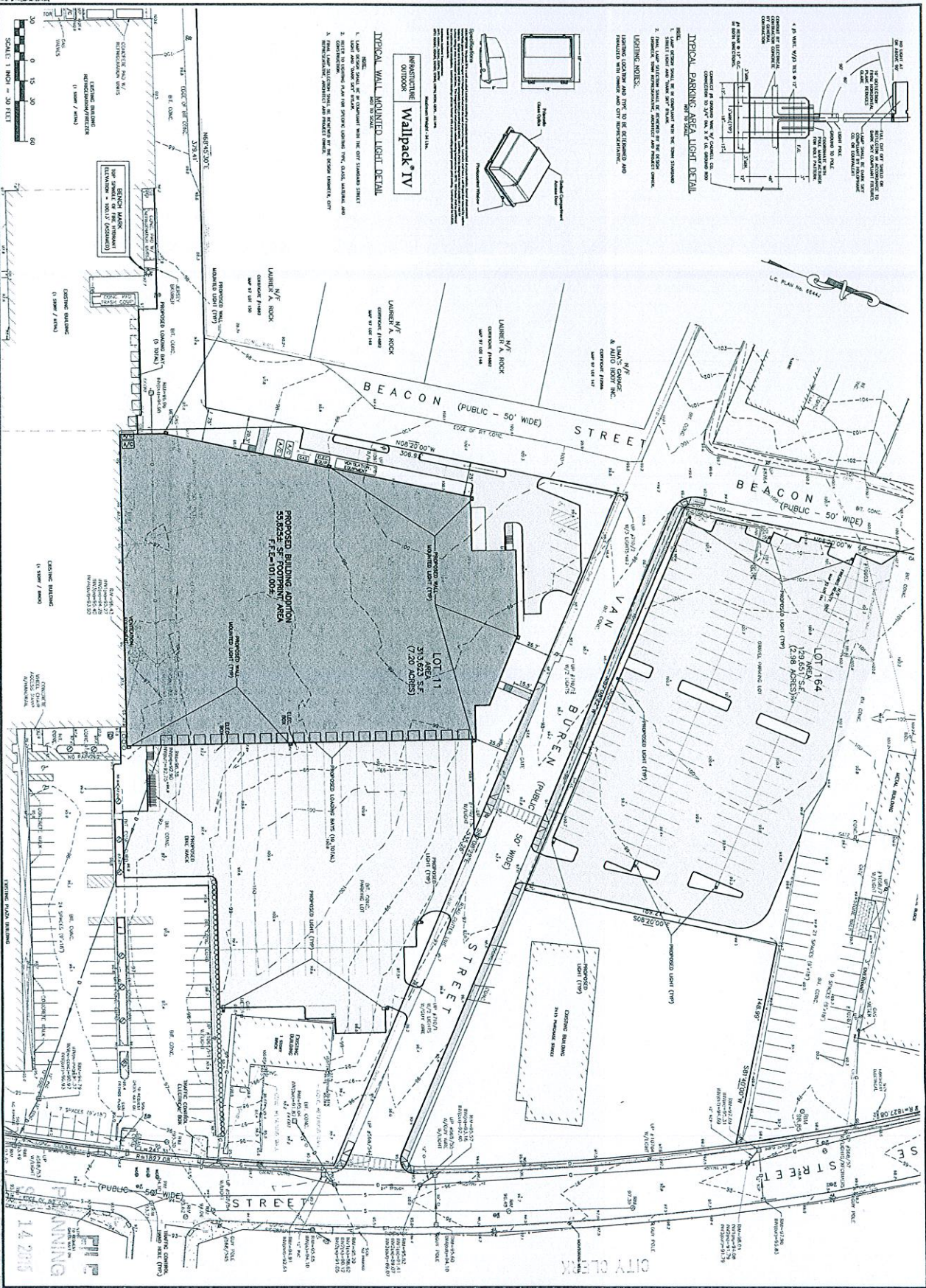
DEPARTMENT OF PUBLIC WORKS
 LANDSCAPE PLAN
 SHEET NO. 11 OF 14
 SCALE: 1" = 30'
 DATE: SEP 14 2015

**SITE PLAN APPROVAL
 MODIFICATION
 2301 PURCHASE STREET
 NEW BEDFORD, MASSACHUSETTS**

PREPARED FOR
SID WAINER & SON, INC.

ENGINEERING, L.L.C.
 11 GUSTAVIA STREET
 NEW BEDFORD, MA 02840
 TEL: 508.457.1111
 WWW.SIDWAINER.COM

NO.	DATE	DESCRIPTION	APPROVED



SITE DESIGN ENGINEERING, LLC.
 11 COLUMBIAN STREET
 NEW BEDFORD, MASSACHUSETTS 01905
 WWW.SITEDESIGNENGINEERING.COM

NO.	DATE	DESCRIPTION	APPROVED

DATE PREPARED: 11.2015
 DRAWN BY: DEBORAH S. GIBBS
 CHECKED BY: JEFFREY A. GIBBS
 PROJECT NO.: 14101
 SHEET NO.:
 REVIEW



SITE PLAN APPROVAL MODIFICATION
 2301 PURCHASE STREET
 NEW BEDFORD, MASSACHUSETTS

PREPARED FOR
SID WAINER & SON, INC.

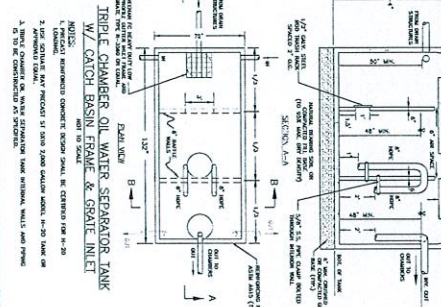
DRAWING TITLE: **PARKING PLAN**
 SCALE: 1" = 30'
 SHEET NO.: **12 OF 14**
 DATE: **14.2015**
 CASE NO.: **23-15**

CONSTRUCTION NOTES:

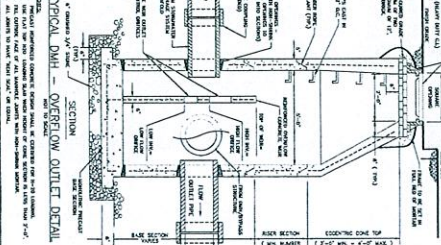
1. THE LOCATION OF UNDERGROUND UTILITIES AND STRUCTURES ARE APPROXIMATE. ONLY THE EXISTING UTILITIES AND STRUCTURES ARE SHOWN. ALL UTILITIES AND STRUCTURES SHALL BE LOCATED AND DEPTH SHALL BE AS SHOWN ON THE CITY RECORDS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND STRUCTURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEW BEDFORD.
2. ALL UTILITIES AND STRUCTURES SHALL BE PROTECTED AND SUPPORTED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEW BEDFORD.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEW BEDFORD.
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23. ALL SET WORK SHALL BE COMPLETED BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.

STORMWATER FACILITY OPERATION AND MAINTENANCE

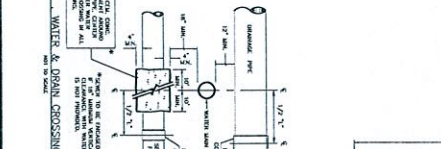
1. ALL STORMWATER FACILITIES SHALL BE OPERATED AT ALL TIMES UNDER NORMAL LEVEL FLOW.
2. THE FACILITIES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEW BEDFORD.
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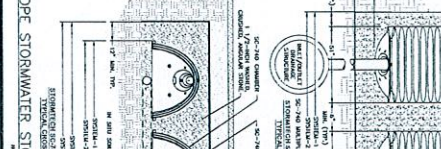
TRIPLE CHAMBER OIL WATER SEPARATOR TANK W/ CATCH BASIN FRAME & GRATE INLET



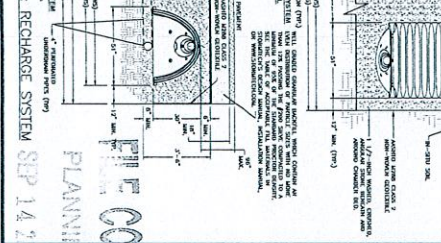
TYPICAL DNH - OVERFLOW OUTLET DETAIL



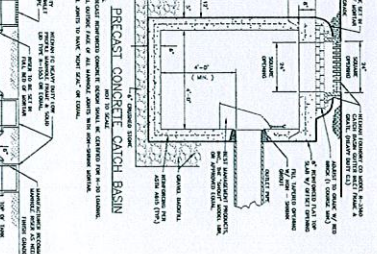
SEWER, WATER & DRAIN CROSSING DETAIL



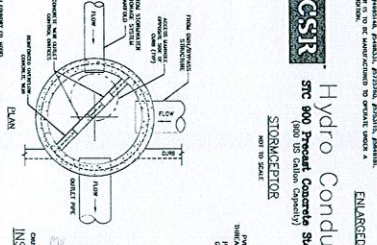
HOPKINS STORMWATER STORAGE & RECHARGE SYSTEM



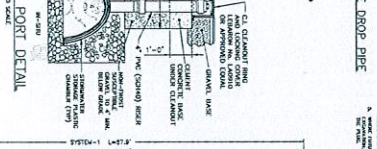
PRECAST CONCRETE CATCH BASIN



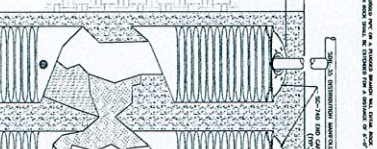
SECTION THRU CHAMBER



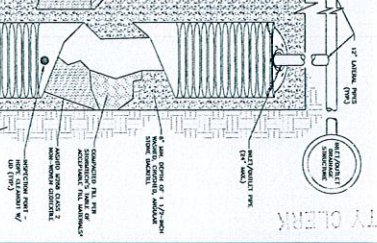
ENLARGED INLET TEE DROP PIPE



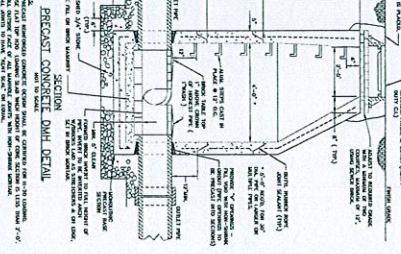
TYPICAL ELASTIC PIPE TRENCH DETAIL



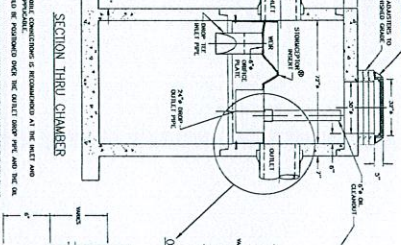
DOWNPOUT CONNECTION & ROOF DRAIN DETAIL



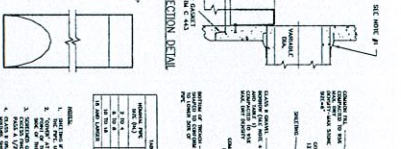
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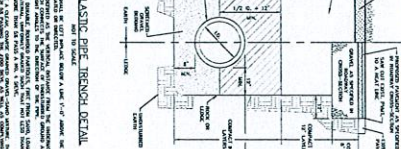
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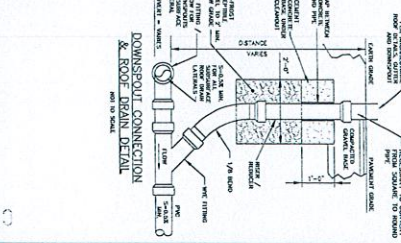
ENLARGED INLET TEE DROP PIPE



TYPICAL ELASTIC PIPE TRENCH DETAIL



DOWNPOUT CONNECTION & ROOF DRAIN DETAIL



DEPARTMENT SEP 14 2015

PLANNING 13 OF 14

CONSTRUCTION DETAILS

SCALE: NOT TO SCALE

SHEET NO. CS-23-15

SITE PLAN APPROVAL MODIFICATION

2301 PURCHASE STREET

NEW BEDFORD, MASSACHUSETTS

PREPARED FOR: SID WAINER & SON, INC.

DATE: SEPTEMBER 11, 2015

DRAWN BY: DESIGNED BY: CHECKED BY:

PROJECT NO. 14101

SCALE: NOT TO SCALE

REVIEW

APPROVED

DATE

DESCRIPTION

SITE DESIGN, L.L.C.

11 GARDNER STREET

13800 ROUTE 1A, SUITE 200

NEW BEDFORD, MASSACHUSETTS 01945

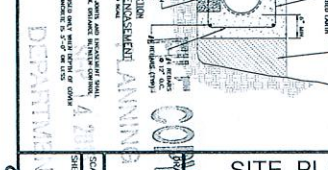
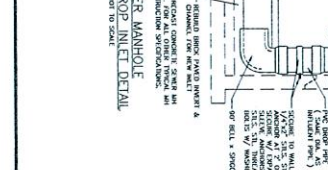
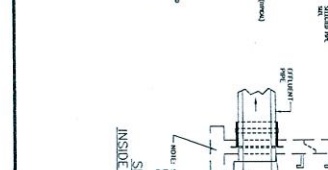
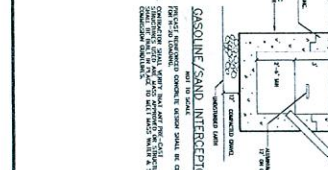
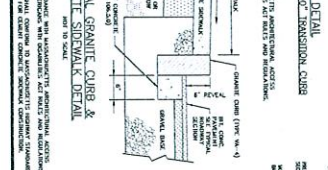
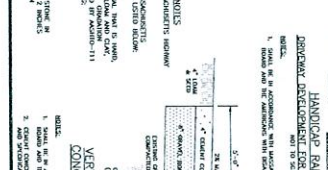
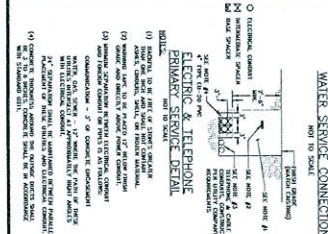
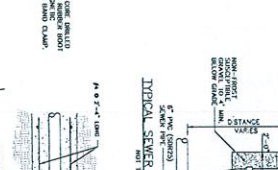
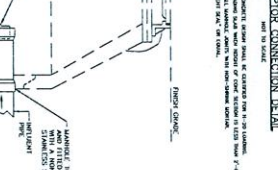
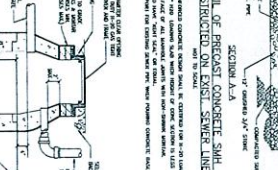
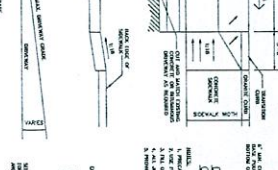
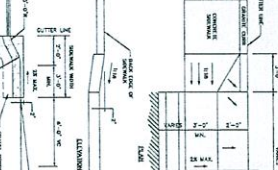
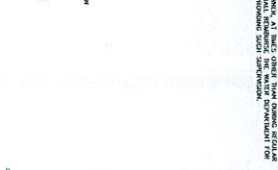
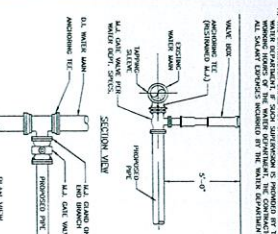
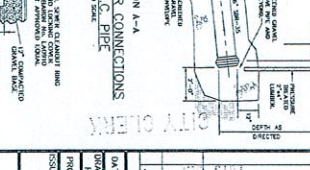
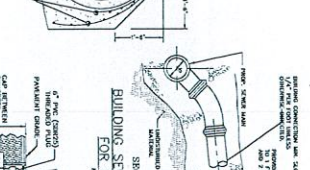
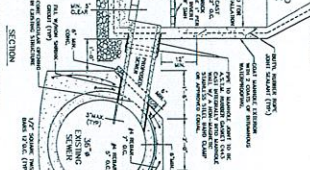
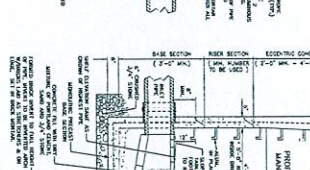
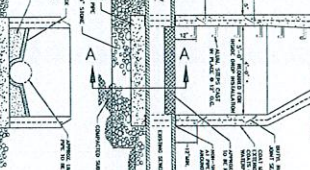
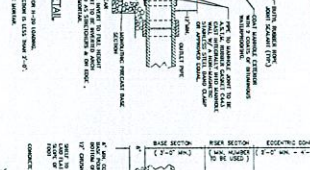
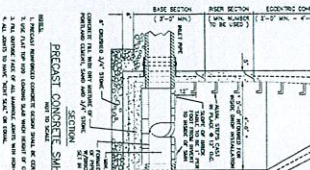
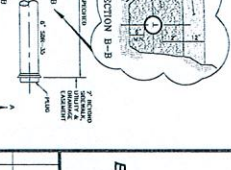
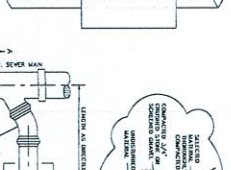
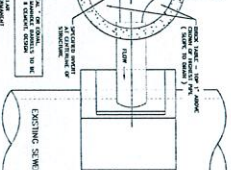
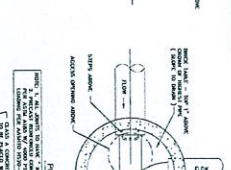
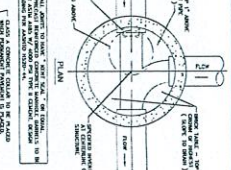
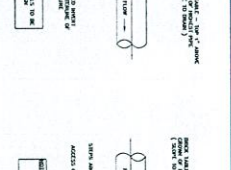
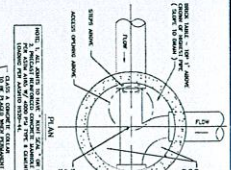
WWW.SITEDESIGNLLC.COM

SEWER CONNECTION CONSTRUCTION NOTES

1. THE SEWER SERVICE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE CITY OF BEDFORD. THE CONTRACTOR SHALL MAINTAIN CLEARANCE BETWEEN THE NEW WATER MAIN AND OTHER EXISTING UTILITIES AT ALL TIMES.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF BEDFORD SPECIFICATIONS FOR THE SEWER SERVICE.
3. THE CONTRACTOR SHALL MAINTAIN CLEARANCE BETWEEN THE NEW WATER MAIN AND OTHER EXISTING UTILITIES AT ALL TIMES.
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WATER CONNECTION CONSTRUCTION NOTES

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DEPARTMENT OF PUBLIC WORKS
 14 OF 14
 SCALE NOT TO SCALE
 SHEET NO. 14

SITE DESIGN ENGINEERING, LLC.
 11 GORDON STREET
 WESTFIELD, MA 01085
 WWW.SITEDSIGN.COM

NO.	DATE	DESCRIPTION	APPROVED

SITE PLAN APPROVAL MODIFICATION
 2301 PURCHASE STREET
 NEW BEDFORD, MASSACHUSETTS

PREPARED FOR: **SID WAINER & SON, INC.**

DRAWN BY: **DESSON STRICKER**
 CHECKED BY: **DESSON STRICKER**
 PROJECT NO.: **14101**

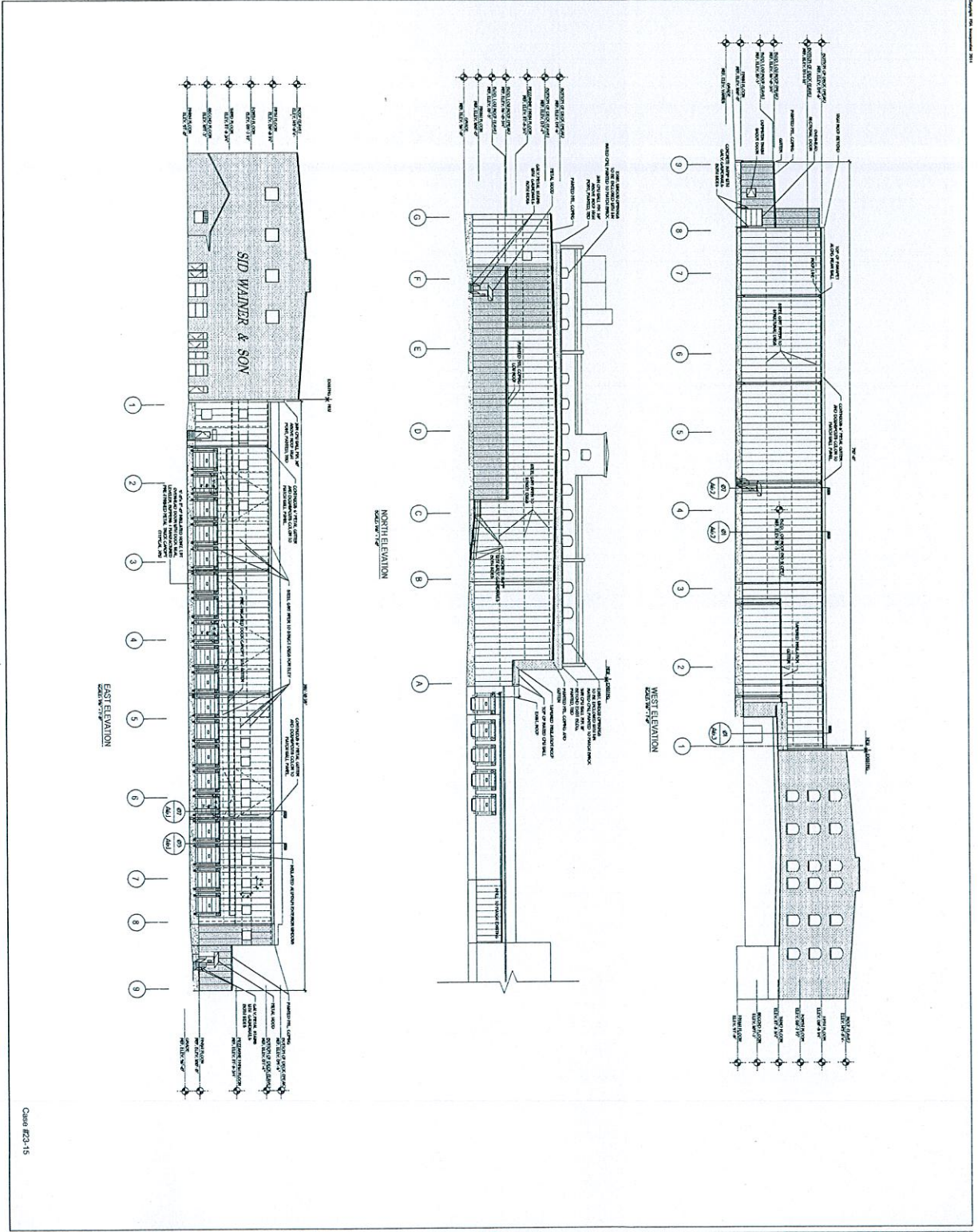
DATE: **SEPTEMBER 11, 2013**

CONSTRUCTION DETAILS


SCALE NOT TO SCALE

SHEET NO. 14

DATE: 09-23-13



CHAS 823-15

 <p>A4.0 EXTENSION ELEVATIONS</p>	<p>SID WAINER & SON</p> <p>2301 PURCHASE STREET NEW BEDFORD, MA 02746</p>	<p>KEY PLAN</p> 	<p>3693</p>
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PLANNING BOARD

CITY OF NEW BEDFORD
JONATHAN F. MITCHELL, MAYOR

SUBMIT TO:
Planning Department
133 William Street
Room 303
New Bedford, MA 0274

2015 SEP 11 P 3:24
CITY CLERK'S OFFICE
NEW BEDFORD, MA

SITE PLAN REVIEW APPLICATION

The undersigned, being the Applicant, seeks Site Plan Approval for property depicted on a plan entitled: Site Plan Approval Modification Plan by: Site Design Engineering, LLC dated: 9/11/15

1. Application Information

Street Address: 2301 Purchase Street

Assessor's Map(s): 97 Lot(s) 9, 151-153, 164, 176 & 180

Registry of Deeds Book: Cert # 11822 et. al. Page: _____

Zoning District: Industrial A & Industrial B

Applicant's Name (printed): Friends Realty, Inc.

Mailing Address: 2301 Purchase Street New Bedford MA 02746
(Street) (City) (State) (Zip)

Contact Information: Thomas W. Hardman, PLS, 508-219-0202, thardman@sitedesigneng.com

Applicant's Relationship to Property: Owner Contract Vendee Other _____

List all submitted materials (include document titles & volume numbers where applicable) below:

Site Plan Approval Modification Plan Project Narrative Parking Anaysis	PLANNING SEP 14 2015 DEPARTMENT
--	--

By signing below, I/we acknowledge that all information presented herein is true to the best of my/our knowledge. I/we further understand that any false information intentionally provided or omitted is grounds for the revocation of the approval (s). I/we also give Planning Department staff and Planning Board Members the right to access the premises (both interior and exterior) at reasonable times and upon reasonable notice for the purpose of taking photographs and conducting other visual inspections.

9/11/15
Date

[Signature]
Signature of Applicant

FILE COPY
CASE 23-15

City Hall • 133 William Street • Room 303 • New Bedford, MA 02740 • www.newbedford-ma.gov
PH: (508)979-1488 • FX: (508)979-1576

2. Review Applicability (Check All That Apply to Your Proposal)

Category

- Residential
- Commercial
- Industrial
- Mixed (Check all categories that apply)

Construction

- New Construction
- Expansion of Existing
- Conversion
- Rehabilitation

Scale

- < 2,000 gross sq feet
- > 2,000 gross sq feet
- 3 or more new residential units
- 1 or more new units in existing res. multi-unit
- Drive Thru Proposed
- Ground Sign Proposed
- Residential Driveway With > 1 curbcut

3. Zoning Classifications

Present Use of Premises: Office, Retail, Warehouse, Distribution

Proposed Use of Premises: Office, Retail, Warehouse, Distribution

Zoning Relief Previously Granted (Variances, Special Permits, with Dates Granted):
N/A

4. Briefly Describe the Proposed Project:

The project involves the construction of a 55,825 ± sq. ft. addition to the existing Sid Wainer & Son building with associated parking and utilities. This application is for revisions to the previously granted site plan approval. Refer to the Project Narrative for a detailed description of the project.

5. Please complete the following:

	<u>Existing</u>	<u>Allowed/Required</u>	<u>Proposed</u>
Lot Area (sq ft)	7.2 Acres	0	7.2 Acres
Lot Width (ft)	N/A	N/A	N/A
Number of Dwelling Units	N/A	N/A	N/A
Total Gross Floor Area (sq ft)	148,028	50%	199,928
Residential Gross Floor Area (sq ft)	N/A	N/A	N/A
Non-Residential Gross Floor Area (sq ft)	148,028	50% coverage	199,928
Building Height (ft)	<100'	100'	35'
Front Setback (ft)	40.9'	25'	26.7
Side Setback (ft)	24.1'	25'	25'
Side Setback (ft)			

Case 23-15

Rear Setback (ft)	26'	25'	26'
Lot Coverage by Buildings (% of Lot Area)	24.4%	50%	26%
Permeable Open Space (% of Lot Area)	11%	20%	12.7%
Green Space (% of Lot Area)	11%	20%	12.7%
Off-Street Parking Spaces	196	148	263
Long-Term Bicycle Parking Spaces	N/A		
Short-Term Bicycle Parking Spaces	N/A		
Loading Bays	4	7	24

6. Please complete the following:

	Existing	Proposed
a) Number of customers per day:	<u>30</u>	<u>30</u>
b) Number of employees:	<u>165</u>	<u>165</u>
c) Hours of operation:	<u>24</u>	<u>24</u>
d) Days of operation:	<u>362</u>	<u>362</u>
e) Hours of deliveries:	<u>5-5</u>	<u>5-5</u>
f) Frequency of deliveries: <input checked="" type="checkbox"/> Daily <input type="checkbox"/> Weekly <input type="checkbox"/> Monthly <input type="checkbox"/> Other: _____		

7. Planning Board Special Permits:

The applicant is also requesting a Special Permit from the Planning Board.

Specify the requested Special Permit(s) below, and set forth within attached Development Impact Statement how the request meets approval criteria listed in §5320 of the zoning code.

8. ZBA Variances and Special Permits:

NOTICE: Checking below does not constitute application for a special permit or a variance. The applicant must also file the proper application form and fee with the Zoning Board of Appeals.

The applicant is also requesting a special permit from the ZBA:

Specify zoning code section & title

The applicant is also requesting a variance from the ZBA:

Specify zoning code section & title

CASE 23-15

9. OWNERSHIP VERIFICATION

This section is to be completed & signed by the property owner:

I hereby authorize the following Applicant: Friends Realty, Inc.

at the following address: 2301 Purchase Street, New Bedford

to apply for: Site Plan Review

on premises located at: 2301 Purchase Street

in current ownership since: 1989

whose address is: 2301 Purchase Street, New Bedford

for which the record title stands in the name of: Friends Realty, Inc.

whose address is: 2301 Purchase Street, New Bedford

by a deed duly recorded in the:

Registry of Deeds of County: _____ Book: _____ Page: _____

OR Registry District of the Land Court, Certificate No.: ^{11822 et. al} _____ Book: _____ Page: _____

I/we acknowledge that all information presented herein is true to the best of my/our knowledge. I/we further understand that any false information intentionally provided or omitted is grounds for the revocation of the approval(s). I/we also give Planning Department staff and Planning Board Members the right to access the premises (both interior and exterior) at reasonable times and upon reasonable notice for the purpose of taking photographs and conducting other visual inspections.

9/11/15

Date



Signature of Land Owner (If authorized Trustee, Officer or Agent, so identify)

CRSx 23-15

PROJECT NARRATIVE
Application for Amended Site Plan Approval
Case # 35-14

Sid Wainer & Son, Inc. Facility
2301 Purchase Street
New Bedford, Massachusetts

September 11, 2015

Introduction

This Project Narrative has been prepared on behalf of Sid Wainer & Son, Inc. (Applicant) in conjunction with an application for Amended Site Plan Review before the New Bedford Planning Board. Site Design Engineering, LLC (SDE), their authorized agent, is submitting this application for Amended Site Plan Review in accordance with the requirements of Section 5400 of the New Bedford City Zoning Ordinance. The related plans and application have been included and have been made a part of this filing.

Brief History

The project was originally filed with the New Bedford Planning Board in September of 2014. At that time site plan approval was granted by the Board and a certificate of approval was issued on September 22, 2014. Since that time, the Applicant has retained building design and architectural professionals to finalize the layout and function of the proposed building. This process required a significant effort and took much longer than expected. In September of 2015 the Applicant requested and received a one year extension of approval from the Board.

Current Application

As a result of the design effort, several minor changes have been made to the proposed building and parking layout. After meeting with the Planning Staff it was determined that an application for an amended site plan review should be made to the Board.

Changes to the Original Plan

There have been three changes to the shape of the building. The first is the elimination of a portion of the building in the southwest corner. The second is the addition of a triangular area to the west side of the structure eliminating the jog which was previously shown. The final change is the addition to the north side of the building which will contain a tote washdown area. Additionally, four loading bays have been added to the southeast corner of the building. As a result of these modifications to the building layout, the total area of the new building is 55,825 square feet.

The parking areas adjacent to the additions have been redesigned to accommodate the revised shape of the structure and to provide adequate and safe parking around the building. The parking area adjacent to the additional four loading bays has also been revised to provide for adequate turning and backup area. The original site plan was designed with more parking spaces than are required by the current zoning. As a result of these minor revisions, the site still has an excess of parking spaces. Under current zoning 148 spaces are required, and 263 have been provided in the current layout.

PLANNING

SEP 14 2015

FIL # 0000

ATTACHMENT 5

DEPARTMENT

SITE DESIGN ENGINEERING, LLC. CASE 23-15

11 Cushman Street, Middleboro, MA 02346
P: 508-967-0673 F: 508-967-0674

Support Systems

The revisions proposed in this application will not affect any of the originally approved utilities including drainage, water and sewer. The modifications to the building layout have not interfered with any of the utilities that were originally proposed and approved.

SITE DESIGN ENGINEERING, LLC.

11 Cushman Street, Middleboro, MA 02346
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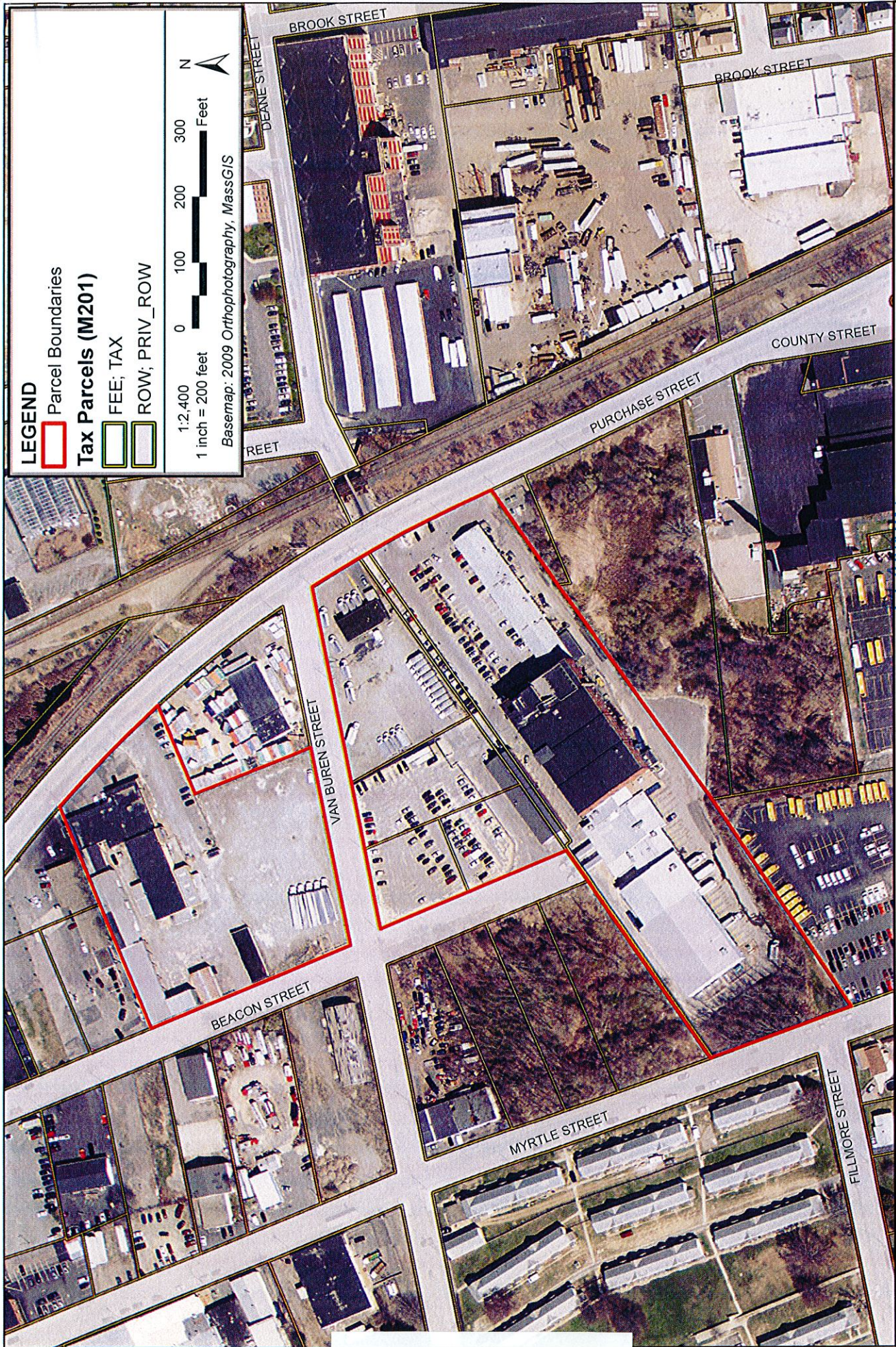


Figure 1 - Detailed Site Overview
August 14, 2014

PLANNING
SEP 14 2015
DEPARTMENT

2301 Purchase Street - New Bedford, Massachusetts
Map 97 Lots 9, 151-153, 164, 176, and 180
SDE Project No. 14101



Existing Photos

PLANNING
SEP 14 2015
DEPARTMENT

DEVELOPMENT IMPACT STATEMENT

Sid Wainer & Son, Inc. Facility
2301 Purchase Street
New Bedford, Massachusetts

August 8, 2014

Introduction

This Development Impact Statement (DIS) has been prepared on behalf of Sid Wainer & Son, Inc. in conjunction with an application for Site Plan Review before the New Bedford Planning Board. Site Design Engineering, LLC (SDE), their authorized agent, is submitting this application for Site Plan Review in accordance with the requirements of Section 5350 of the New Bedford City Zoning Ordinance. The related plans and application have been included and have been made a part of this filing.

Physical Environment

The site where the building addition is proposed of a 7.20 acre site which currently houses the existing Sid Wainer & Son, Inc. offices, gourmet outlet, warehouse and distribution facilities as well as a retail strip which contains three small restaurants, a barber shop, a laundromat and a retail produce market. The site also contains a free standing maintenance building. Related parking areas and minimum amounts of landscape are currently provided on site. There are no major topographic features on the site. There is less than five feet of relief across the entire property.

The project involves the construction of a 51,900± sq. ft. addition to the north side of the existing main building. The addition will consist entirely of cold storage for produce and provide 15 loading bays on the east side of the addition. The addition will be consistent with current zoning as well as the current industrial / business environment of the surrounding properties. Parking that will be lost where the addition is proposed will be replaced on an immediately adjacent lot located on the north side of Van Buren Street.

Surface Water and Subsurface Conditions

The site is currently serviced by municipal subsurface drainage and sewer. There are no wetland resources areas located on the site which will affect the potential for development. All drainage is currently managed through a series of catch basins and drain manholes ultimately discharging to the combined sewer system in Purchase Street. The project proposes to recharge storm water to new subsurface drainage systems on both properties. This will greatly reduce the volume of storm water currently discharging to the municipal system except during larger storm events.

Circulation Systems

Motor vehicle volume will have little change as a result of the proposed project. The same number of employees will be utilized. Currently cold storage is provided in a series of refrigerated trailers parked on site. This makes for inefficient use of personnel and a duplication of moving produce to the distribution area. The new cold storage facility will replace the refrigerated trailers and make the distribution process run much more smoothly. More than adequate parking has been provided as part of this project.

Case 35-14
SITE DESIGN ENGINEERING, LLC.

11 Cushman Street, Middleboro, MA 02346
P: 508-967-0673 F: 508-967-0674

ATTACHMENT 7

Support Systems

The project will be serviced by municipal water and sewer. Given the nature of the addition (warehouse space) there will be little demand for water or sewer. There will be very little additional generation of solid waste as a result of the addition. Currently the site is serviced by a private hauler for both solid waste and recycleable products, and will continue to be in the future.

There are no proposed fuel storage facilities or other flammable materials proposed to be stored or used on the site. Adequate area has been provided around all buildings to allow fire equipment suitable safe access should a fire erupt. The current facility is provided with fire suppression as well as the proposed addition.

The project will have no impact on recreational facilities or the New Bedford School System.

Phasing

There is no phasing of this project proposed. Construction is anticipated in the fall of 2014 and expected to be completed in the spring of 2015. An Erosion Control Plan has been provided for the project and is included in the plan set. This will prevent erosion and sedimentation for the duration of construction.

SITE DESIGN ENGINEERING, LLC.

11 Cushman Street, Middleboro, MA 02346
P: 508-967-0673 F: 508-967-0674

PARKING ZONING REQUIREMENTS

OFFICE $26,936 \times .75 = 20,202$

1 PER 200 ϕ AFTER 10,000 1 PER 1,000 ϕ

WAREHOUSE 1 PER 1,500 ϕ UP TO 15,000
THEN 1 PER 5,000 ϕ

RESTAURANT 1 PER 200 ϕ AFTER 20,000 1 PER 400 ϕ

PAZA $\frac{10,667 \phi}{200} = 53$ SPACES (53.35 ϕ)

OFFICE $20,202 \phi = \frac{10,000}{200} = 50$ SPACES + $\frac{10,202}{1,000} = 10$ SPACES = 60 (10.2 ϕ)

WAREHOUSE $26,936 \times 3 = 80,808 \phi + 6,734 = 87,542$ TOTAL

$87,542 + 55,825 = 143,367 \phi$ TOTAL

$\frac{15,000}{1500} = 10$ SPACES + $\frac{128,367}{5,000} = 26$ SPACES = 36 (35.6 ϕ)

$53 + 60 + 36 = 149$ TOTAL REQUIRED
263 TOTAL PROVIDED

PLANNING
SEP 29 2015
DEPARTMENT

ATTACHMENT 8



Site Design Engineering, LLC.

11 CUSHMAN STREET - MIDDLEBORO, MA 02346
T: 508-967-0673 F: 508-967-0674 WWW.SITEDSIGNENG.COM

CLIENT/PROJECT: SIO WAINERY, SON, INC.

JOB #: 14101

PREPARED BY: TWHT

DATE: 9/11/15

SHEET: 2 OF 2

CURRENT

PLAZA HAS 81 SPACES
+ ADDITIONAL = 196 TOTAL SPACES

PROPOSED

PLAZA 81
LOADING AREA 36
WEST SIDE 2
NORTH SIDE 6
ACROSS ST. 138

81	COUNTED
2	+ (2)
6	
<hr/>	
	91

263 TOTAL PROVIDED

250

LOADING BAYS

REQ: 2 PER 10,000 ϕ THEN 1 FOR EACH ADD'L 25,000 ϕ

\therefore 139,442 ϕ TOTAL WAREHOUSE

$$2 \text{ FOR } 10,000 + \frac{139,442}{25,000} = 5$$

$$5 + 2 = 7 \text{ REQ.}$$

24 PROVIDED

PLANNING
SEP 29 2015
DEPARTMENT



Site Design Engineering, LLC.

11 CUSHMAN STREET - MIDDLEBORO, MA 02346

T: 508-967-0673 F: 508-967-0674 WWW.SITEDESIGNENG.COM



CITY OF NEW BEDFORD
Jonathan F. Mitchell, Mayor

Water
Wastewater
Highways
Engineering
Cemeteries
Park Maintenance

MEMORANDUM

TO: City of New Bedford Planning Board

FROM: Ronald H. Labelle, Commissioner, D.P.I.

DATE: September 9, 2014

RE: Building Expansion Site Plan – Sid Wainer
Purchase St
Plot 97 Lots 9,151-153, 154-156, 176, and 180

The Department of Public Infrastructure has reviewed the proposed site plan referenced above and recommends approval with the following conditions:

1. Driveway permits subject to Traffic Commission approval.
2. Install cement concrete ribbon sidewalks and granite curb within the limits of the project on Van Buren Street and Beacon Street.
3. Use 4 foot transition curb at all driveways.
4. Driveways and sidewalks to be built in accordance with City of New Bedford regulations.
5. Permits for driveways, sidewalk, drainage, sewer and water must be obtained from the Department of Public Infrastructure Engineering Division.
6. Install cement concrete wheelchair ramps at the Southwest and Northwest corners of Purchase Street, and Van Buren Street.
7. Plant trees within the limits of the project on the grass ribbon area (40 Feet Apart).
8. Beacon Street south of Van Buren Street is a board of survey Street. Owner needs to meet with the Department of Public Infrastructure to discuss the improvements necessary to meet access requirements.
9. Owner to discuss storm water tie in capabilities with the Department of Public Infrastructure.
10. Owner must contact Department of Public Infrastructure to rectify address number issues.
11. Show all existing utilities on plans and their sizes.

ATTACHMENT 9

12. All utilities to be constructed in accordance with City of New Bedford regulations.
13. Drainage design must comply with Phase II Mass. Department Storm Water Management Standards.
14. Show exiting water utilities inside and outside of property.
15. Cut and cap all unused water utilities and ones under foot print of proposed building addition.
16. The Department is requiring the engineer to verify that the proposed Domestic and Fire Supply service will provide sufficient volume and pressure for your proposed commercial building.
17. Hydrant flow test will be required for the fire suppression system.
18. Owner to apply for domestic and fire supply permits.
19. Developer and site contractor must schedule a pre-construction meeting with the Department of Public Infrastructure, and provide a full set of the most recent version of the site construction plans prior to the start of the construction.
20. Upon completion Engineer must submit "As Built Drawings" on CADD format prior to certificate of Occupancy being issued.

/ct

Cc: Department of Inspectional Services
Environmental Stewardship
Site Design Engineering, LLC
Sid Wainer and Sons, Inc.

NEW BEDFORD PLANNING BOARD
New Bedford Public Library
September 10, 2014
133 Williams Street

MEMBERS PRESENT:

Colleen Dawicki, Chairperson
Janine DaSilva, Vice Chairperson
Kathryn Duff, Clerk
Peter Cruz
Arthur Glassman

ALSO IN ATTENDANCE:

Jill Maclean, City Planner
Jane Medeiros-Freidman, City Solicitor

Chairperson Dawicki called the meeting to order at 6:07 p.m.

CASE # 29-14 - Proposed zoning change

Att. Matthew Thomas addressed the board on behalf of the Martins, who are out of state but are requesting a zoning change for Map 16, Lots 140/141 and Map 14, 223 currently zoned Residential C. The applicant is seeking a mixed use business zoning for the Cleveland Street properties. The corner property is currently operating industrially. In addition to the two vacant properties being discussed tonight, there is a garage on Roosevelt Street and a house next door, with the corner property in foreclosure with the FDIC. There is a mill across the street. The property was formerly industrial property and was rezoned. The applicants have potential purchasers for the property, and he noted any future use would have to pass regulations. Att. Thomas stated that it is not spot zoning because it is using the property in conjunction with surrounding uses and would allow for the property to be developed, increasing city revenue. Such a change would not be detrimental to the neighborhood. He invited questions from the board.

Ms. Duff expressed that her only concern was this being an insert into a surrounding heavily residential neighborhood and area. She questioned transitional zoning in an effort to protect the residential neighborhood and honor the industrial use.

Ms. Dawicki noted that any development on the parcels would come before the board again for site plan review.

Mr. Thomas agreed that it was a transitional street with the business on the corner, and reiterated the board's site plan review abilities and the screening by-law in the city would provide the board an opportunity to ensure it was not detrimental to the neighbors. He noted this was Residential C

There was no response to Ms. Dawicki's further invitation to be heard or recorded in favor of the application.

There was no response to Ms. Dawicki's invitation to be heard or recorded in opposition

A motion was made (JD) and seconded (PC) to close the public hearing. Motion was unopposed.

After brief discussion on the matter, a motion was made (JD) and seconded (KD) that the planning board approve site plan review for proposed modifications to a previously approved site plan for new construction of a 9,100 sf building, the Dollar General Retail, at property known as the west side of Church Street, Map Plot 130F, Lot 16, in an Industrial A zoned district, which is a modification to a previously approved site plan with new case number of 36-14. Motion passed 4-0

Arthur Glassman rejoined the sitting board members for the next case.

CASE #35-14 - Site plan review

Ms. Duff disclosed that she had done work for the Wainers, the last time being in April of 2000.

Thomas Hardman of Site Design Engineering addressed the board on behalf of Friends Realty and Sid Wainer & Sons. He noted the board had a current conditions plan with the existing buildings and structures displayed in yellow. He stated the applicant is proposing additional parking, mainly for employees and trucks, across the street on a vacant lot. He displayed the proposed project with a 50,000 sf refrigeration/storage off the north side of the existing building with loading bays. He also indicated the landscaping and upgraded parking, consisting of an additional 90 spots. He invited questions.

In response to an inquiry by Mr. Cruz, Mr. Hardman stated there are currently 196 spaces, with 286 proposed.

Ms. Duff noted that Page 4 of the application indicated in Section 5 total gross floor area existing is 148,028 with 50% coverage allowed, and proposed is 199,928. She stated six lines down, in lot coverage by building, it states that existing is 24.4%, allowed 50%, proposed 38.9% with a lot area listed as 7.2 acres or 313,632 sf. She stated the 199,928 sf listed as the proposed building is not 38.9% of the existing 7.2 acres. She requested the applicant clarify how he arrived at his figures.

The applicant explained that the total gross floor area is all of the buildings, not just the addition. Ms. Duff clarified that it was all the buildings on the 7.2 acres, so if lot coverage is 50%, one must look at all buildings on the lot. On a 7.2 acre lot with total lot coverage of buildings at 199,928 represents 63.8% of the total lot, which is greater than the 50% allowed. The applicant explained that some of the square footage is affected by the fact that there are five stories in one of the buildings, and gross floor area includes all the floors.

In response to Ms. Duff, the applicant stated the size of the proposed building is 51,904 sf and added he will recalculate the numbers. After brief examination, Mr. Hardman stated it can be found on the zoning table on Sheet 6, showing lot coverage at 24.4% currently and proposed at 38%. Ms. Duff noted the green space is currently at 11%, proposed to be 12.7%, and required is 20%.

Ms. Dawicki inquired whether there was a crosswalk for pedestrians going across the street. The applicant expressed they were waiting for input from DPI as to where they should be located, but assured the board there would be one, in addition to other DPI conditions.

Ms. Dawicki read through the DPI comments.

Mr. Cruz inquired if crosswalks would be on both streets, to which the applicant indicated there were existing crosswalks on Purchase Street with an existing light system, and that the accessible ramps line up with the crosswalks.

Ms. Maclean suggested that while the boards could require crosswalk (s) from the parking lot to the business, their location should be left to the traffic commission's discretion.

Ms. Duff noted the large increase of parking for a cold storage facility. The applicant indicated there would be some trucks and other business vehicles parked in the area. Ms. Duff then confirmed the existence of a bike rack, as it is an issue the board is trying to promote. The applicant agreed to add an additional bike rack.

Mr. Cruz inquired if the 15 proposed loading docks were for tractor trailers, due to the length shown, and inquired if turning movements had been looked at. Applicant indicated they had and that the lanes were for 34' box trucks.

Mr. Cruz confirmed if the driveways/curb cuts were ramped down and accessible. Applicant noted some adjustments may have to be made.

Mr. Cruz inquired of the need for a 63' curb cut at the loading location and whether there could be a shared use for parking. The applicant indicated the purpose was to keep truck traffic separate. Mr. Cruz indicated he felt there were a lot of curb cuts for one facility. He suggested eliminating or decreasing a curb cut, adding that 63' for someone in a wheelchair is a long open driveway crossing that presents a concern to him. He added that he was not trying to limit the applicant's future plans, if any. The applicant indicated they would look into it.

Ms. Duff agreed, indicating that might make available some landscape area to get closer to the 20% green coverage required.

Ms. Dawicki suggested adding islands on the north side of the parking. Mr. Wainer indicated that there are six acres of protected wetlands on the south side of the property.

Ms. Duff suggested the applicant look into porous asphalt for low impact paving on the proposed adjacent parking parcel. Mrs. Wainer indicated there would be trucks on that parcel as well.

In response to an inquiry by Mr. Cruz, the applicant indicated they had looked into some low impact drainage and subsurface leeching, and felt that they had done as much as they could do given the industrial nature of the property. They noted they had segregated out a lot of the relatively clean roof runoff, discharging it below grade, which will significantly increase the quality of the runoff leaving the site.

Ms. Dawicki noted the DPI was requiring street trees on the grass ribbon area.

Ms. Duff noted that closing off one curb cut and installing the street trees every 40' would make the area nicely defined. She noted appreciation for the Sid Wainer business in the city.

Ms. Dawicki inquired as to the addition roof. Andrew Tillet, of DRW construction, noted the final designs had not yet been put together. He stated he had met with the Undersecretary of Energy to talk about what might be available, including solar.

Ms. Duff stated they would love to see an integrated solar green roof as a precedent that could be showcased. Mr. Hardman stated that Mr. Wainer had directed that energy saving concepts be incorporated into the entire project.

Ms. Dawicki and Ms. Duff commented that the architectural plans may want to address a reflectivity value on the roof and one that does not contribute to the heat effect, and discussed inserting some conditional language on the same.

Ms. Maclean suggested that architectural roof reflectivity could be reviewed by staff.

Mr. Cruz confirmed the presence of an oil/water separator on only one parcel, and inquired if one could be added to the truck storage parcel as a precaution. The applicant agreed.

Mr. Cruz noted that the plans show five proposed loading docks on the existing building, and inquired if the applicant was seeking a total of 20 loading docks. The applicant clarified that the five are existing loading docks.

In response to Mr. Cruz, Ms. Maclean stated the building commissioner had not required any additional parking spots per loading dock.

Mr. Glassman inquired if anything was being changed on the Purchase Street side of the building. The applicant indicated all changes were off the north side of the building, noting the front parking lot and building front stay the same.

With regard to lighting, the applicant directed the board to Sheet 12, with proposed lighting in the north parking area on the east and west sides next to the islands, up against the bays, in addition to the existing lighting off one of the buildings near Purchase Street.

In response to Ms. Duff, the applicant indicated the parking lot lights are on all night long.

Mr. Cruz inquired if there would be a dedicated dumpster for the proposed building. The

applicant indicated there is a dedicated dumpster on the south side of the building and they do not anticipate much additional refuse, and as such will use the existing dumpster.

Ms. Dawicki requested more detailed lighting be submitted with the architectural. Mr. Cruz and Ms. DaSilva noted the foot candles were missing from the plans. Applicant agreed to submit the photometric plan.

A motion was made (JD) and seconded (KD) to open the public hearing. Motion was unopposed.

In response to Ms. Dawicki's invitation to be heard in favor of the application, Councilor David Alves addressed the board. He stated he is in support of the proposal, noting Sid Wainer and Company is a major tax payer and major employer to the city, giving the city major recognition up and down the east coast and nationally. He stated they are an outstanding business and he is proud that they are sited here and looking to expand in the city. He stated Sid Wainer and Company should be given credit for the 6.5 acres of wetlands they pay taxes on, for which they have not sought a tax reduction. He mentioned there is also additional green space on a parcel they own on Church Street where they have their greenhouse. He noted this is an opportunity to ensure that employment in the city goes up and the tax base is maintained. He noted that visiting chefs take back that New Bedford is a food capitol for the present. He fully endorses the applicant. He stated with New Bedford having the highest unemployment in the state, he requests the board endorse the plans of a company willing to expand, invest and employ in New Bedford.

In response to Ms. Dawicki's invitation to be heard in favor of the application, Councilor Jim Oliveira echoed Mr. Alves' comments and expressed his support. As a Workforce Development professional and former Economic Development director in New Bedford he found it refreshing to have Mr. Wainer here along with his strong commitment to the city. He noted this project will retain jobs in our city.

In response to Ms. Dawicki's invitation to be heard in favor of the application, Councilor Linda Morad spoke on behalf of the project. She noted this company has not requested any financing from the city or requested any tax abatements or TIF. She stated this good company which finances itself and employs people in the City of New Bedford, and requested the board endorse the project.

In response to Ms. Dawicki's invitation to be heard in favor of the application, Councilor Joseph Lopes noted he was in full support of Sid Wainer & Son. He noted they are one of the city's largest employers and private taxpayers, mentioning the excise taxes collected as Mr. Wainer's trucks are registered here as well. He noted in addition to his commitment to the city and his investment of millions of dollars in our city, he is one of the city's most philanthropic residents, always giving to the zoo and other groups without recognition.

In response to Ms. Dawicki's invitation to be heard in favor of the application, Ms. Maclean read into the record a correspondence from Councilor Steve Martins.

There was no response to Ms. Dawicki's further invitation to speak or be recorded in favor.

In response to Ms. Dawicki's invitation to speak or be recorded in opposition, Larry Rock expressed a concern about the potential flow of drainage onto his property.

The applicant expressed the parcel (s) indicated by Mr. Rock are considerably uphill and no drainage or roof runoff will be added to Beacon Street. The applicant corrected Mr. Rock with regard to what Mr. Rock believed was a paper street, indicating the applicant believes it to be a Board of Survey street. He assured Mr. Rock that no new water would go into his property.

Ms. Maclean stated that the DPI had submitted comments, including #8 mentioning Beacon Street, which she read into the record.

Ms. Duff commented that a large building now allows the applicant to collect water to be sent into a subsurface drainage system away from Beacon Street, so Mr. Rock may actually see an improvement.

There was no response to Ms. Dawicki's further invitation to speak or be recorded in opposition.

Ms. Dawicki suspended the public hearing and resumed board discussion on included conditions.

Mr. Cruz requested the applicant look into a guardrail for the existing building near parking. Mr. Tillet clarified that they were investigating solar panels, but had not committed to them. Ms. Dawicki noted that final details should be included for planning staff to review.

A motion was made (JD) and seconded (PC) to close the public hearing. Motion was unopposed.

A motion was made (JD) and seconded (KD) that the planning board approve site plan review for proposed new construction of an approximately 51,900 square foot addition to an existing Sid Wainer & Son, Inc. building known as 2301 Purchase Street, Map Plot 97, Lots 9, 151, 152, 153, 176, 180, and installation of an off-street parking area at the adjacent property known as 2343 Purchase Street, Map Plot 97, Lot 164, all in New Bedford, in a Mixed Use Business zoned district with the following conditions:

- That the applicant include all conditions submitted by the DPI;
- That the applicant include any conditions set forth by the traffic commission, as well as speak with the traffic commission on the inclusion of crosswalk (s) from the parking lot to the business;
- That the applicant look into the installation of a bicycle rack or racks;
- That the applicant reconfigure the curb cuts and investigate installing a guardrail at the building directly east of the parking lot of the new proposed structure;
- That the applicant add planting islands on the north parking lot;
- That the applicant submit architectural plans including installation of any proposed solar panels, and investigate high solar reflectivity roofing to planning staff, and also submit a lighting plan with the architectural plans;
- That the applicant install oil/water separators to the drainage system in the north parking lot.

Motion passed 5-0

CASE # 30-14/31-14 – Site plan review

Steve Gioso of Site Tech Engineering addressed the board on behalf of the applicant. Also in attendance were Mr. Panagakos and legal counsel for Mr. Panagakos. Mr. Gioso noted the application is for redevelopment of an existing commercial property on the north side of Cove Street at the northwest corner of Cove and South Second Streets. He displayed the location on an aerial photo.

He stated the existing structure is adjacent to South Second Street on the east side of the subject property and consists of a multi-story commercial building that was formerly a funeral home and then a boarding house. The property is currently unoccupied. He indicated two garage structures on the subject property.

Mr. Gioso stated the proposal is to redevelop the property with the elimination of existing parking and structures, and then reverse the configuration and get the building away from the intersection and create a new parking area for the proposed retail use of a new 1800 sf retail building on the western portion of the property. He stated the eastern portion would consist of a new parking lot, with 17 parking spaces proposed, which were designed to comply with zoning requirements for a commercial parking lot. He indicated the applicant proposes access with an entrance and exit along South Second Street. Mr. Gioso noted an existing South Second Street curb cut located on the north end of the site which will be eliminated. He indicated an existing curb cut on Cove Street would be relocated and reconstructed. Mr. Gioso pointed out a drive-thru lane that will access a dumpster pad on the northwest corner of the site with an exit back onto Cove Street.

Mr. Gioso reiterated the proposal is for a retail building with ADA compliant parking. He stated the applicant will bring a sidewalk along the face of the building with a pedestrian link back to Cove Street for pedestrian circulation.

Mr. Gioso stated the current site is building and pavement occupying some 90% of the site. The redevelopment of the site will reduce lot coverage to 77%, essentially creating a 19% increase of open space on this property. He noted the increase of green space reduces surface runoff.

Addressing drainage control, Mr. Gioso stated the project has been designed with two extensive on-site recharge systems. One system will pick up storm water runoff from the roof drains and the front parking area in a deep sump catch basin equipped with an oil/water screen and an insert for 80% TSS and oil and grease removal for sensitive areas and protection districts. It was most recently used in a Dartmouth project located in the aquifer protective district. A similar catch basin will be located at the exit of the most westerly driveway with a second proposed recharge area to the back.

Mr. Gioso noted that the reduction of lot coverage along with providing recharge on a site that has no present drainage is going to have a significant beneficial impact on the surrounding area



CITY OF NEW BEDFORD
JONATHAN F. MITCHELL, MAYOR

PLANNING BOARD

CITY CLERKS OFFICE
NEW BEDFORD, MA
2014 SEP 24 A 8:38
CITY CLERK

September 22, 2014

Mr. Dennis Farias, City Clerk
133 William Street
New Bedford, MA 02740

RE: Site Plan Review
Case # 35-14, 2301 & 2343 Purchase Street (Map Plot 97 Lots 9, 151, 152, 153, 176, 180 and 164)

Dear Mr. Farias,

Please be advised that the New Bedford Planning Board held a public hearing on September 10, 2014 to discuss an application for Site Plan Review for proposed new construction of a ~51,900 square foot addition to an existing Sid Wainer & Son, Inc. building at the property known as 2301 Purchase Street, Map Plot 97 Lots 9, 151, 152, 153, 176, 180, and installation of an Off-Street Parking Area at the adjacent property known as 2343 Purchase Street, Map Plot 97 Lot 164, all located in New Bedford, MA, 02740, in a Mixed Use Business zoned district.

Plans submitted with the application were stamped by City Clerk on August 15, 2014, submitted by the applicant: Friends Realty, Inc., 2301 Purchase Street, New Bedford, MA, 02746.

Board Members Colleen Dawicki, Arthur Glassman, Janine Da Silva, Kathryn Duff and Peter Cruz were present on the evening of the public hearing.

Mr. Thomas Hardman, Mr. Andrew Tillett and Mr. Henry Wainer presented information on the proposed project on behalf of the applicant. Mr. Hardman and Mr. Tillett described the proposed sitework and provided detail on the proposed operations at the property and impacts on the surrounding community. Mr. Wainer provided additional information on area parcels in common ownership by the applicant.

Chairman Dawicki then called for a motion to open the public hearing. A motion was made by J. Da Silva, seconded by K. Duff, to open the public hearing. Chairman Dawicki then invited to the podium anyone wishing to speak in favor of the application. City Councilors David Alves, Linda Morad, James Oliveira, and Joseph Lopes spoke in favor of the petition. A letter from Councilor Martins was recorded in support of the petition.

Chairman Dawicki then invited to the podium anyone wishing to speak in opposition of the petition. Laurier Rock spoke regarding potential concern for added stormwater runoff onto his

CASE 35-14 ATTACHMENT 11

adjacent property. No additional persons wished to be recorded in opposition of the petition. On a motion by J. Da Silva, seconded by A. Glassman, the public hearing was closed.

After further deliberation and consideration of all testimony, the Planning Board considered a motion by J. Da Silva, seconded by K. Duff, to approve the Site Plan Review, based on the plans dated August 8, 2014, with conditions:

1. That all DPI Comments, as detailed in their memorandum to Planning Board dated September 9, 2014, be accepted / completed by the applicant;
2. That a crosswalk or crosswalks be installed between the new off-street parking area (2343 Purchase Street) and the 2301 Purchase Street parcel, at the discretion of Traffic Commission, and that the applicant shall abide by all conditions of the Traffic Commission's review;
3. That the applicant shall look into installation of bike racks on-site;
4. That the 63' wide curb cut be reviewed and reconfigured/reduced and that the smaller curb cut to the east potentially be removed, with subsequent review by Planning Staff;
5. That an additional row of landscaping islands be installed in the middle of the parking lot on the north side of Van Buren;
6. That revised architectural drawings of the addition, including investigation of solar panel installation and roof reflectivity to mitigate heat island effect, be submitted to Planning Staff for review and acceptance prior to release of Building Permit;
7. That the drainage system for the northern parking lot (2343 Purchase Street) include an oil/water separator;
8. That a lighting plan be submitted to Planning Staff for review and acceptance prior to release of Building Permit;
9. That a guardrail be installed along the eastern boundary to protect the existing building on the corner of Van Buren Street and Purchase Street, if possible.

This motion carried 5-0. (CD, JD, PC, AG, KD)

Sincerely,



Jill Maclean, City Planner
Agent for the Planning Board

Cc: Danny Romanowicz, Commissioner DIS
T. Hardman, Site Design Engineering, LLC
Ronald Labelle, Commissioner DPI
Scott Downing, Executive Secretary, Traffic Commission
Henry G. Bousquet, Ward Three City Councilor