INDUSTRIAL SITE DEVELOPMENT PLANS

SITE PLAN APPROVAL MODIFICATION

2301 Purchase Street
New Bedford , Massachusetts

SEPTEMBER 11, 2015

CIVIL ENGINEER
SITE DESIGN ENGINEERING, LLC.
11 CUSHMAN STREET
MIDDLEBORO, MA 02346
(508) 967-0673

LAND SURVEYOR
SITE DESIGN ENGINEERING, LLC.
11 CUSHMAN STREET
MIDDLEBORO, MA 02346
(508) 967-0673

LOCUS MAP
SCALE : 1" = 800'

PLAN INDEX

TITLE	SHEET NO.
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PLANNING
SEP 14 2015
DEPARTMENT

FILE COPY

APPROVAL OF
INDUSTRIAL LAND DEVELOPMENT
NEW BEDFORD PLANING BOARD

DATE APPROVED: _____
DATE SIGNED: _____
FILE NO.: _____

COMMONWEALTH OF MASSACHUSETTS DANIEL C. MULLOY CIVIL No. 41757 PROFESSIONAL ENGINEER

COMMONWEALTH OF MASSACHUSETTS THOMAS R. MARSHALL No. 33597 REGISTERED PROFESSIONAL LAND SURVEYOR

CITY CLERK

2015 SEP 14 P 3:30
CITY CLERK'S OFFICE
NEW BEDFORD, MA

SITE DESIGN ENGINEERING, LLC.
11 CUSHMAN STREET
MIDDLEBORO, MA 02346
T:508-967-0673 F:508-967-0674
WWW.SITEDESIGNENG.COM

NO.	DATE	DESCRIPTION	APPROVED

PLAN REVISIONS

DATE: SEPTEMBER 11, 2015

DRAWN BY:	DESIGN. BY:	CHECK BY:
RLM/RT	RT/DCM	DCM/TWH

PROJECT NO. 14101

ISSUED FOR:
REVIEW

SITE PLAN APPROVAL
MODIFICATION
2301 PURCHASE STREET
NEW BEDFORD, MASSACHUSETTS

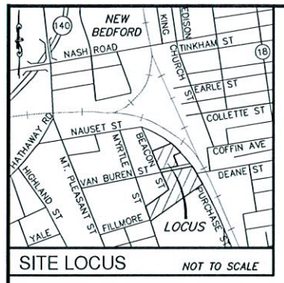
PREPARED FOR
SID WAINER & SON, INC.

DRAWING TITLE:
COVER

SCALE: AS SHOWN

SHEET NO.
1 OF 14

CKSi 23-15

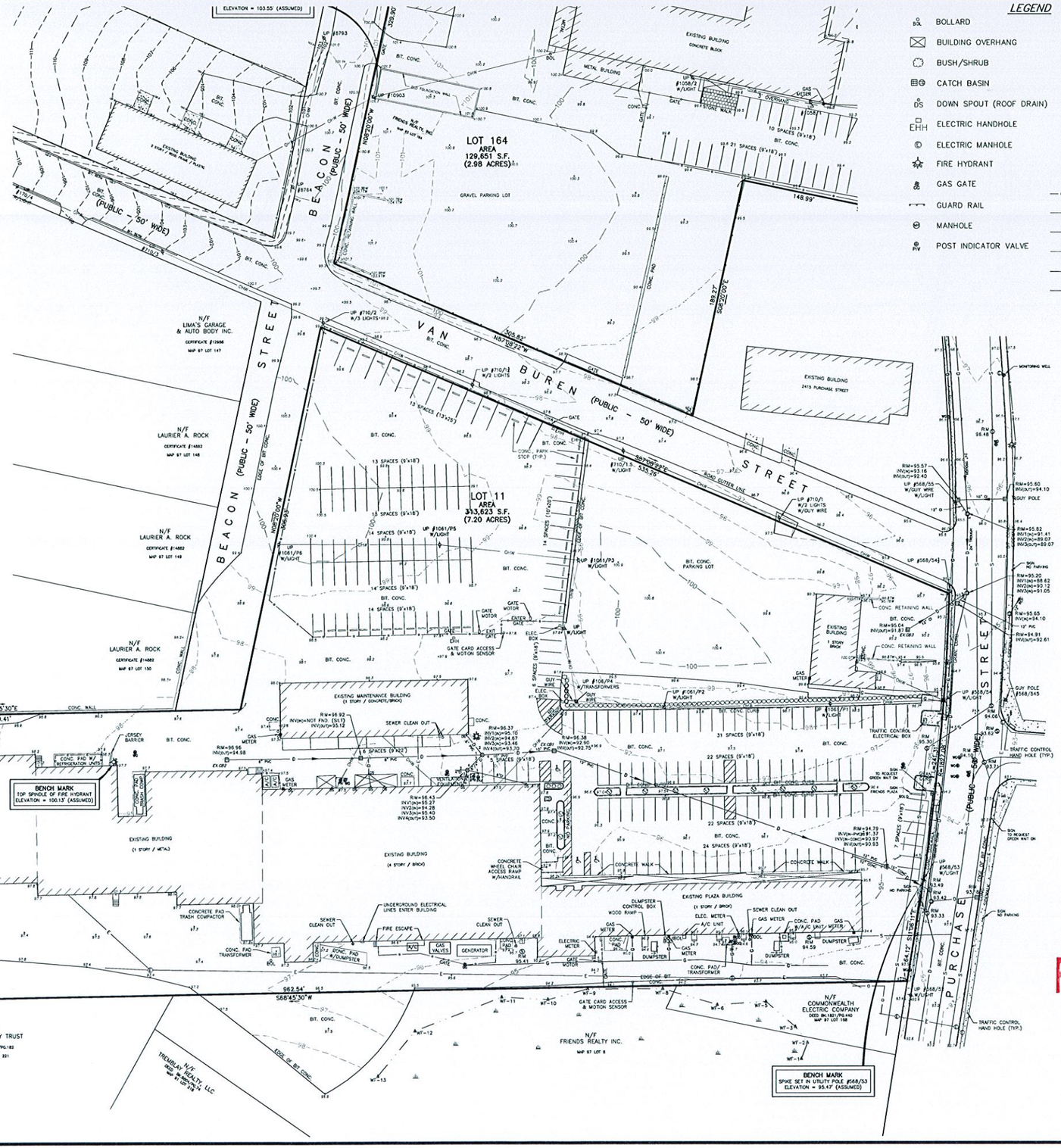


SITE LOCUS NOT TO SCALE

L.C. PLAN No. 6644J

NOTES:

1. THE LOCUS PARCELS ARE SHOWN ON THE CITY OF NEW BEDFORD ASSESSORS MAP 97 AS LOTS 9, 151-153, 176 AND 180. THE CURRENT OWNER OF RECORD IS FRIENDS REALTY INC. AS DETERMINED FROM CERTIFICATES #11822 (LOTS 9 AND 180), #11824 (LOT 151), #11823 (LOT 152), #20476 (LOT 153) AND #20068 (LOT 176).
2. PROPERTY LINES ARE REFERENCED TO LAND COURT PLAN NO. 6644C, 6644F, 6644I AND PLAN RECORDED IN PLAN BOOK 156, PAGE 86 (LOT 11).
3. TOPOGRAPHIC INFORMATION HAS BEEN COMPILED FROM AN ACTUAL ON THE GROUND SURVEY PERFORMED BY CULLINAN ENGINEERING CO., INC. ON APRIL 12-14, 2005 AND SUPPLEMENTED BY SITE DESIGN ENGINEERING, LLC ON APRIL 15, 2014, MAY 12, 2014 AND JUNE 26, 2014.
4. ELEVATIONS ARE REFERENCED TO AN ASSUMED DATUM.
5. THE SITE IS NOT LOCATED WITHIN ANY SPECIAL FLOOD HAZARD AREAS AS DETERMINED FROM THE CITY OF NEW BEDFORD FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 255216 0391 F (EFFECTIVE DATE JULY 7, 2009).
6. EXISTING UTILITY LINES SHOWN ON THIS DRAWING ARE FROM AVAILABLE INFORMATION AND ARE APPROXIMATE LOCATIONS. THERE MAY BE EXISTING LINES OTHER THAN THOSE INDICATED. SITE DESIGN ENGINEERING, LLC ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER PUBLIC UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED.
7. WETLAND RESOURCE AREAS SHOWN HEREON WHERE DELINEATED AND LOCATED BY SITE DESIGN ENGINEERING, LLC IN JUNE, 2014.



LEGEND

- BOLLARD
- BUILDING OVERHANG
- BUSH/SHRUB
- CATCH BASIN
- DOWN SPOUT (ROOF DRAIN)
- ELECTRIC HANDHOLE
- ELECTRIC MANHOLE
- FIRE HYDRANT
- GAS GATE
- GUARD RAIL
- MANHOLE
- POST INDICATOR VALVE
- SEWER MANHOLE
- SPOT ELEVATION
- TRAFFIC SIGNAL
- TREE (2"/3" DIA.)
- UTILITY POLE
- WATER GATE
- WATER MANHOLE
- WETLANDS
- WETLAND FLAG
- CHAIN LINK FENCE
- OVERHEAD WIRES
- UNDERGROUND DRAIN
- UNDERGROUND ELECTRIC
- UNDERGROUND GAS
- UNDERGROUND SEWER

CITY CLERK
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CITY CLERK'S OFFICE
NEW BEDFORD, MA

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11 CUSHMAN STREET
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PROJECT NO. 14101

ISSUED FOR: REVIEW

COMMONWEALTH OF MASSACHUSETTS THOMAS W. HARTMAN No. 33597 REGISTERED PROFESSIONAL LAND SURVEYOR

SITE PLAN APPROVAL MODIFICATION
2301 PURCHASE STREET
NEW BEDFORD, MASSACHUSETTS

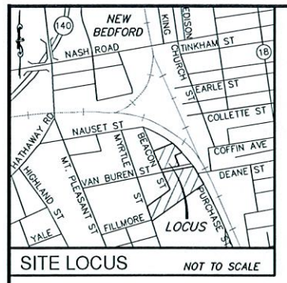
PREPARED FOR
SID WAINER & SON, INC.

DRAWING TITLE:
EXISTING CONDITIONS PLAN

SCALE: 1" = 40'

SHEET NO. 2 OF 14

CASE 23-15



SITE LOCUS NOT TO SCALE

L.C. PLAN No. 6644J

NOTES:

1. THE LOCUS PARCELS ARE SHOWN ON THE CITY OF NEW BEDFORD ASSESSORS MAP 97 AS LOTS 154-156, 158-159 AND 163-164. THE CURRENT OWNER OF RECORD IS FRIENDS REALTY INC. AS DETERMINED FROM CERTIFICATE #19958.
2. PROPERTY LINES ARE REFERENCED TO LAND COURT PLAN 6644F (LOTS B13-B15, B17-18 AND B22-B23).
3. TOPOGRAPHIC INFORMATION HAS BEEN COMPILED FROM AN ACTUAL ON THE GROUND SURVEY PERFORMED BY SITE DESIGN ENGINEERING, LLC ON JULY 15-17, 2014.
4. ELEVATIONS ARE REFERENCED TO AN ASSUMED DATUM.
5. THE SITE IS NOT LOCATED WITHIN ANY SPECIAL FLOOD HAZARD AREAS AS DETERMINED FROM THE CITY OF NEW BEDFORD FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 255216 0391 F (EFFECTIVE DATE JULY 7, 2009).
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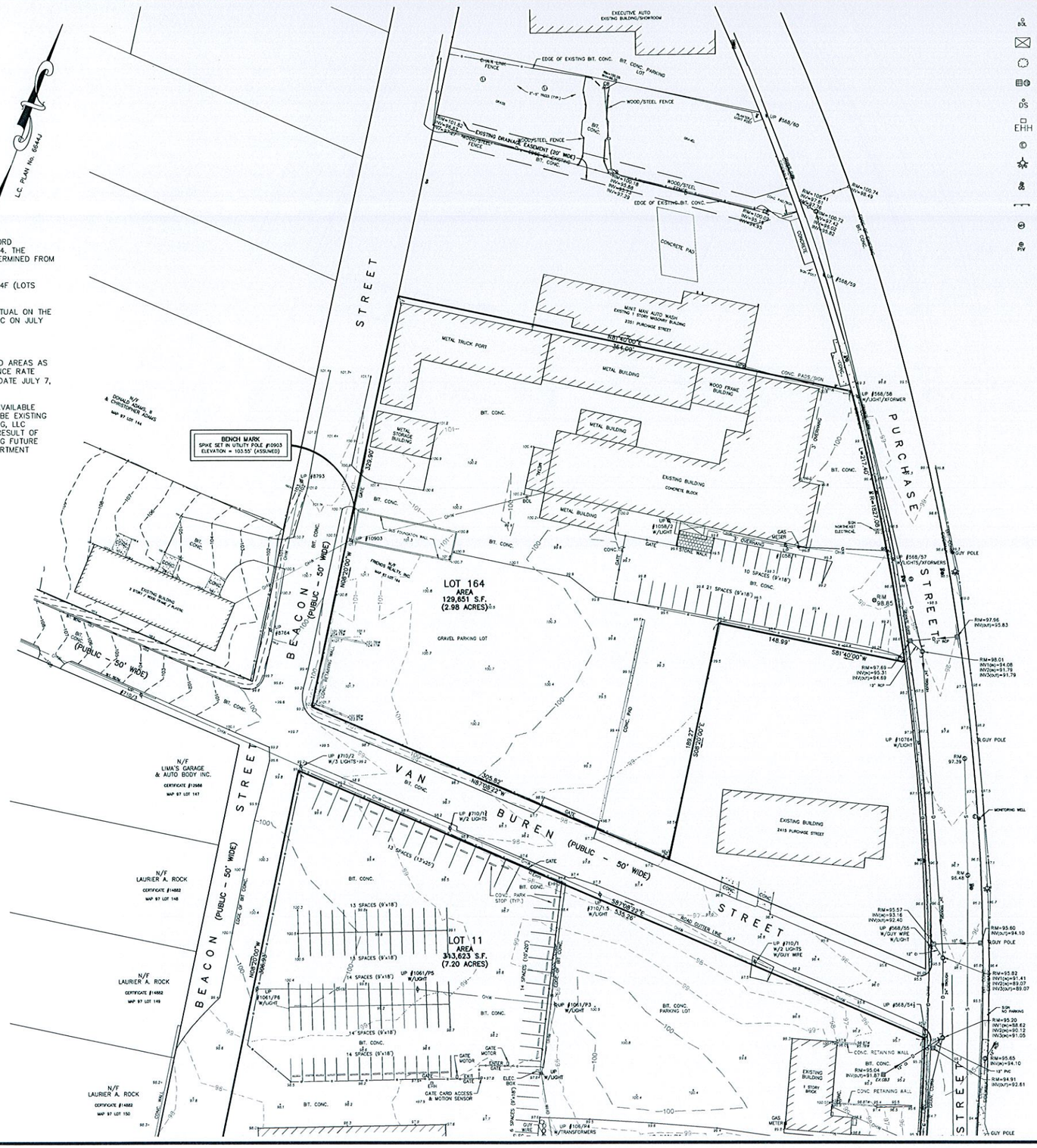

LEGEND

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CITY CLERK

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PROJECT NO. 14101

ISSUED FOR: REVIEW

COMMONWEALTH OF MASSACHUSETTS THOMAS W. HOWARD III No. 33592 REGISTERED PROFESSIONAL LAND SURVEYOR

SITE PLAN APPROVAL MODIFICATION

2301 PURCHASE STREET
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR
SID WAINER & SON, INC.

DRAWING TITLE: EXISTING CONDITIONS PLAN

SCALE: 1" = 40'

SHEET NO. 3 OF 14

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PLANNING
SEP 14 2015
DEPARTMENT

CASE 23-15

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

1. PRIOR TO INITIATING CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS, AS DIRECTED BY THE ENGINEER AND/OR AS NECESSITATED BY FIELD CONDITIONS. THE CONTRACTOR SHALL MAINTAIN THESE MEASURES UNTIL ALL WORK IS COMPLETED AND ALL AREAS HAVE BEEN STABILIZED.

   INSTALLATION SEQUENCE
   A. INSTALL SILT FENCE AND HAYBALES AS SHOWN ON PLAN.
   B. CLEAR AND GRUB SITE.
   C. CONSTRUCT SITE INFRASTRUCTURE AS SHOWN ON PLANS.
   D. THE FOLLOWING ACTIVITIES SHALL TAKE PLACE IMMEDIATELY FOLLOWING CONSTRUCTION OF EMBANKMENTS AND FILL SLOPES: PLACEMENT OF LOAM AND GRASS SEED, INSTALLATION OF GEOWEB SLOPE STABILIZATION.
   E. THE CONTRACTOR SHALL INSPECT ALL FILL SLOPES AND EMBANKMENTS ON A WEEKLY BASIS AND FOLLOWING ALL RAINFALL EVENTS UNTIL A MINIMUM 75% GRASS COVER IS ESTABLISHED SUFFICIENT TO PREVENT EROSION FROM OCCURRING.

2. ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR OR AS DIRECTED BY THE ENGINEER.

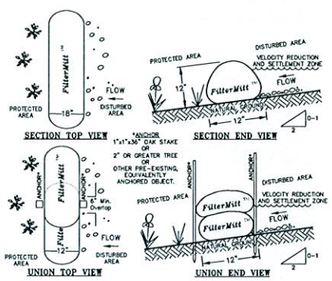
3. AFTER THE INSTALLATION OF DRAINAGE STRUCTURES, HAYBALES OR OTHER APPROVED MATERIALS SHALL BE PLACED TO PROTECT THE INTEGRITY OF THE STRUCTURES.

4. DISTURBED AREAS SHALL BE STABILIZED WITH THE APPLICATION OF A MINIMUM OF FOUR INCHES (4) OF LOAM AND SHALL BE SEEDED WITH AN APPROVED GRASS MIX OR SHALL BE RIPRAPPED AS SOON AS POSSIBLE AFTER THE FINISHED GRADE HAS BEEN MET. IF FINAL GRADING DOES NOT OCCUR DURING THE GROWING SEASON, THESE AREAS SHALL BE MULCHED WITH HAY AND SECURED BY JUTE NETTING WITH STAPLES. SLOPES EXCEEDING 2:1 SHALL BE LOAMED AND STABILIZED WITH PEGGED SOD OR APPROVED EROSION CONTROL BLANKETS UNLESS OTHERWISE NOTED.

5. THE MOUTHS OF ALL CATCH BASINS SHALL BE FITTED WITH FILTER FABRIC DURING THE ENTIRE CONSTRUCTION PROCESS TO RETARD SILTATION.

6. WHERE APPLICABLE, PROPER DUST CONTROL MEASURES SHALL APPLY TO REDUCE THE SURFACE AND AIR TRANSPORT OF DUST GENERATED DURING CONSTRUCTION. THE FOLLOWING METHODS SHALL BE USED:
   - WET SUPPRESSION WITHOUT WETTING AGENT SHALL BE APPLIED DURING LOAD IN / LOAD OUT AND EARTH MOVING CONSTRUCTION ACTIVITIES, SPECIALLY ON STOCKPILES.
   - INACTIVE STOCKPILES SHALL BE STABILIZED THROUGH APPLICATION OF SOIL STABILIZERS OR SEEDING.
   - WIND SCREENS OR BARRIERS AND PLASTIC TARP COVERS SHALL BE SECURED TO PREVENT WIND DISLODGE AND DAMAGE. ANY DAMAGES SHALL BE REPAIRED OR REPLACED IMMEDIATELY.

7. CONTRACTOR SHALL CONSTRUCT A TEMPORARY CRUSHED STONE CONSTRUCTION ENTRANCE APPROXIMATELY 20' WIDE BY 50' LONG BY 6" DEEP FOR USE DURING CONSTRUCTION ACTIVITIES AS NECESSARY TO REMOVE SEDIMENT FROM VEHICLES. THE CONSTRUCTION ENTRANCE IS TO BE LOCATED AT THE ENTRANCE TO THE SITE FROM VAN BUREN STREET AND BEACON STREET.



FilterMitt™ INSTALLATION:
With the newest technology and equipment, sections can be constructed on site in lengths from 1' to 100'.

Sections can also be delivered to the site in lengths from 1' to 8'.

The flexibility of FilterMitt™ allows it to conform to any contour or terrain.

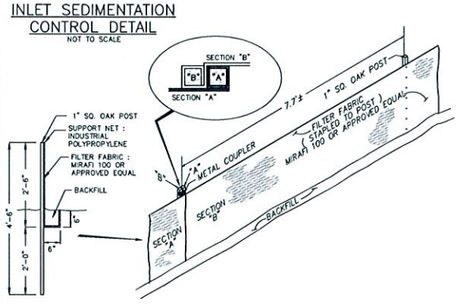
Where section ends meet, there shall be an overlap of 6" or greater. Both sides shall be anchored (oak stakes, trees, etc.) to stabilize the union.

FilterMitt™ COMPONENTS:
OUTSIDE CASING: 100% organic hessian.
FILLER INGREDIENT: FiberRoot Mulch™
- A blend of coarse and fine compost and shredded wood.
- Particle sizes: 100% passing a 3" screen; 90-100% passing a 1" screen; 70-100% passing a 0.75" screen; 30-75% passing a 0.25" screen.
- Weight: Approx. 850 lbs./cu.yd. (Ave. 25 lbs./l.f.)

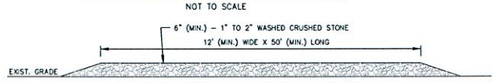
For more information visit:
www.groundscapesexpress.com
or contact us at:
Groundscapes Express, Inc.
P.O. Box 737
Wrentham, MA 02093
(508) 384-7140

FilterMitt™ by Groundscapes Express, Inc.
2:1 SLOPES OR LESS
NOT TO SCALE

INLET SEDIMENTATION CONTROL DETAIL
NOT TO SCALE



EROSION CONTROL FENCE DETAIL
NOT TO SCALE



CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE

NOTE:
CONSTRUCTION ENTRANCE IS A TEMPORARY STONE - STABILIZED PAD LOCATED AT POINTS OF VEHICULAR INGRESS AND EGRESS ON THE CONSTRUCTION SITE TO AND FROM A PAVED PUBLIC ROAD OR OTHER PAVED AREAS.

LEGEND

- BOLLARD
- BUILDING OVERHANG
- BUSH/SHRUB
- CATCH BASIN
- DOWN SPOUT (ROOF DRAIN)
- ELECTRIC HANDHOLE
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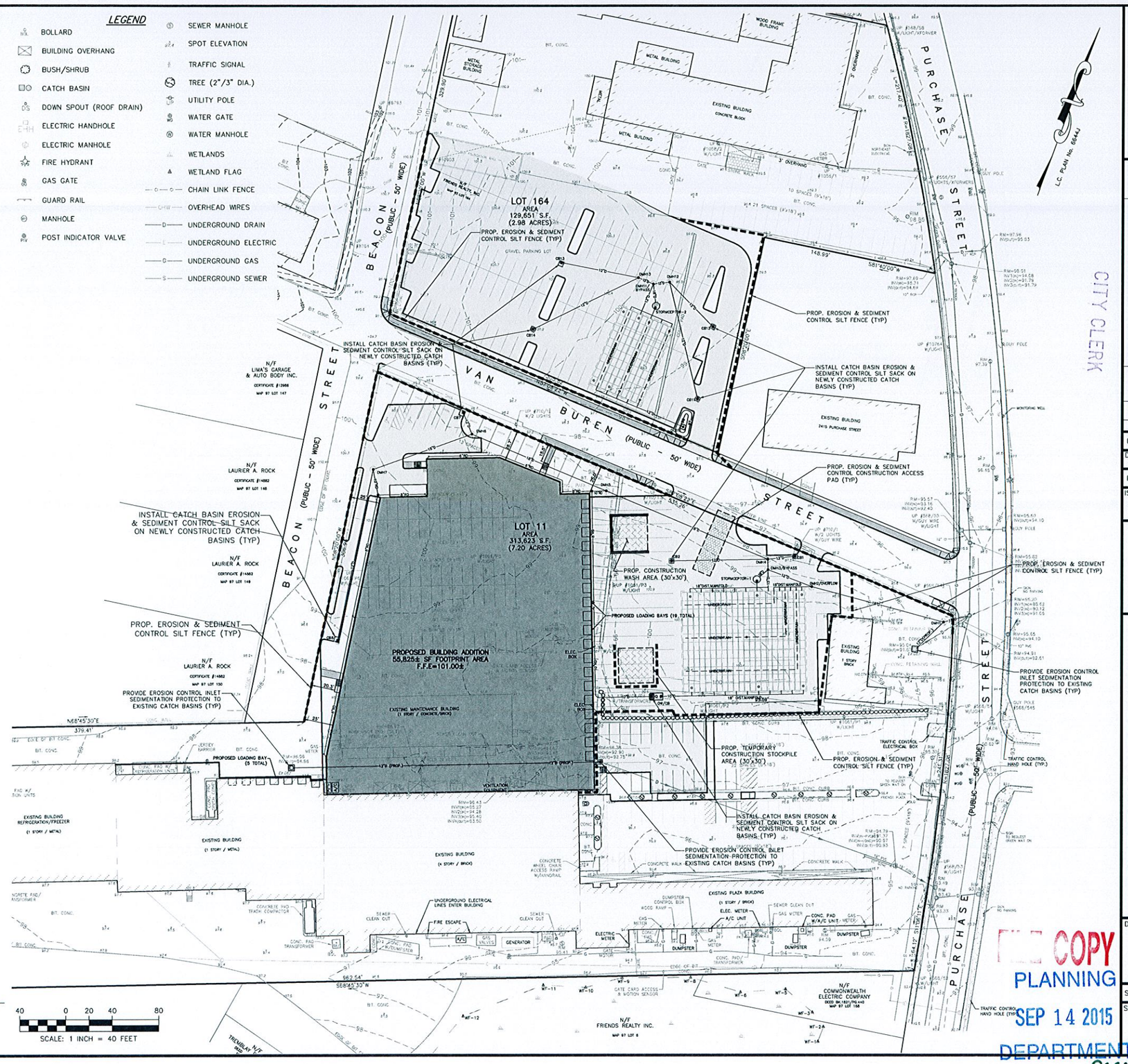

SITE DESIGN ENGINEERING, LLC.
11 CUSHMAN STREET
MIDDLEBORO, MA 02346
T:508-967-0673 F:508-967-0674
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PROJECT NO. 14101

ISSUED FOR:
REVIEW

COMMONWEALTH OF MASSACHUSETTS
DANIEL C. MULLOY
CIVIL
No. 41757

SITE PLAN APPROVAL MODIFICATION
2301 PURCHASE STREET
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR
SID WAINER & SON, INC.

DRAWING TITLE:
EROSION CONTROL PLAN

SCALE: 1" = 40'

SHEET NO.
4 OF 14

CITY CLERK
2015 SEP 14 P 3:39
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DEPARTMENT
CASE 23-16

SITE DESIGN ENGINEERING, LLC.
11 CUSHMAN STREET
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COMMONWEALTH OF MASSACHUSETTS
DANIEL C. MULLOY
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No. 41757
REGISTERED PROFESSIONAL ENGINEER

2301 PURCHASE STREET
NEW BEDFORD, MASSACHUSETTS
PREPARED FOR
SID WAINER & SON, INC.

DRAWING TITLE:
SITE DEMOLITION PLAN

SCALE: 1" = 40'

SHEET NO.
5 OF 14

CITY CLERK
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NEW BEDFORD, MA

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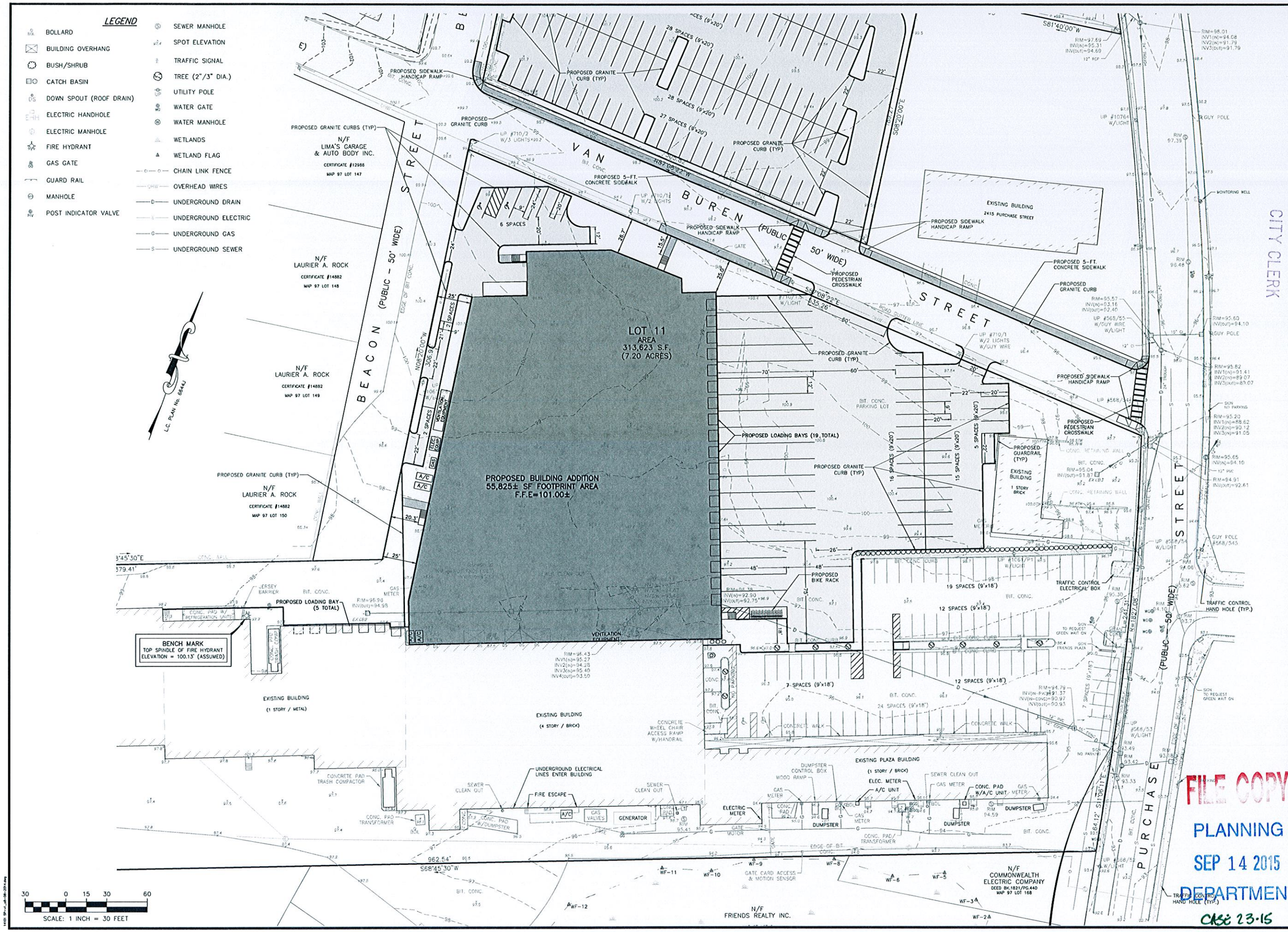
DEPARTMENT
CASE 23-15



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SITE PLAN APPROVAL MODIFICATION
2301 PURCHASE STREET
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR
SID WAINER & SON, INC.

DRAWING TITLE:
SITE LAYOUT PLAN

SCALE: 1" = 30'

SHEET NO.
6 OF 14

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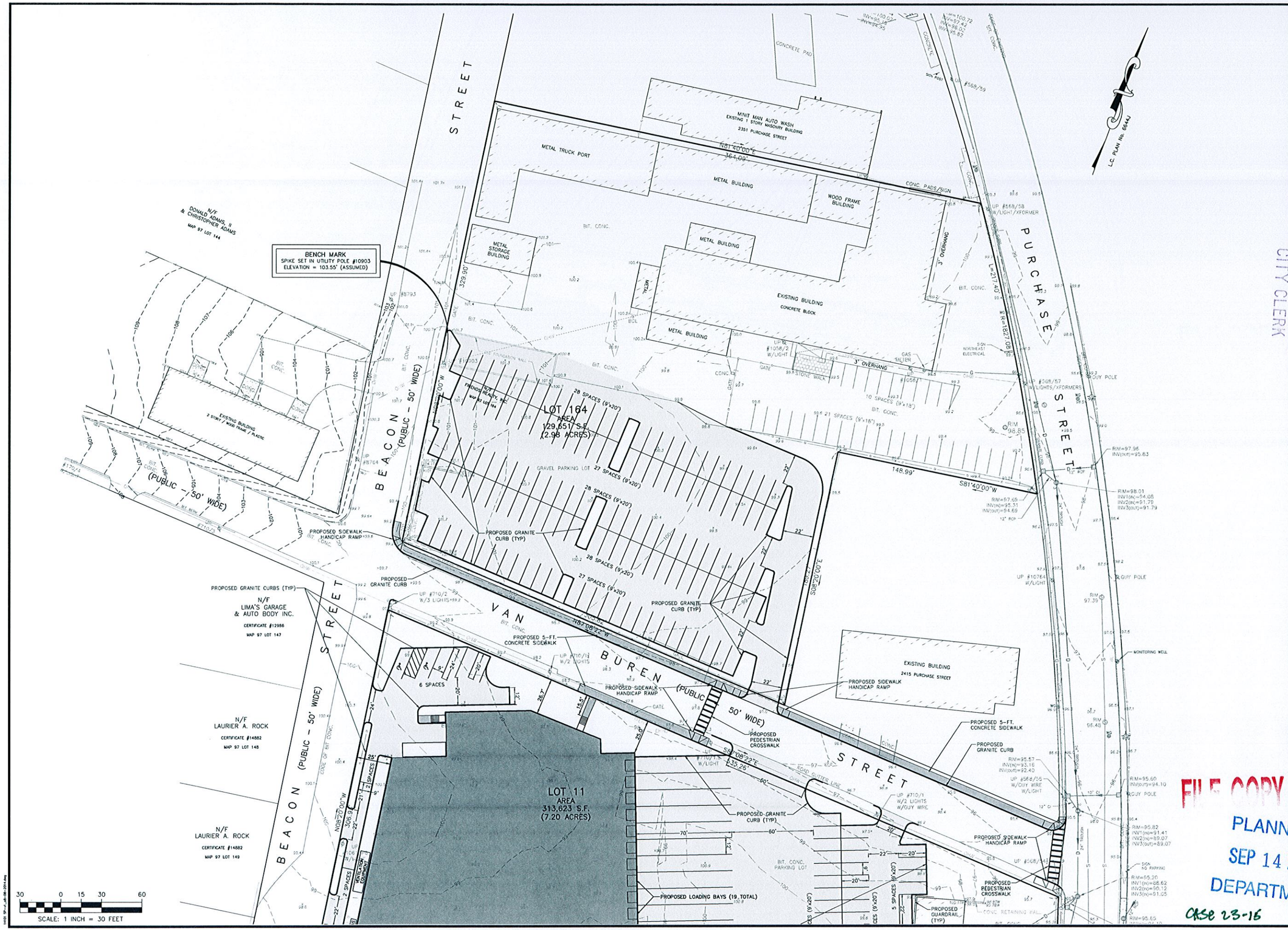
SEP 14 2015
DEPARTMENT
CASE 23-15



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SITE PLAN APPROVAL MODIFICATION

2301 PURCHASE STREET
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR
SID WAINER & SON, INC.

DRAWING TITLE:
SITE LAYOUT PLAN

SCALE: 1" = 30'

SHEET NO. 7 OF 14

CITY CLERK
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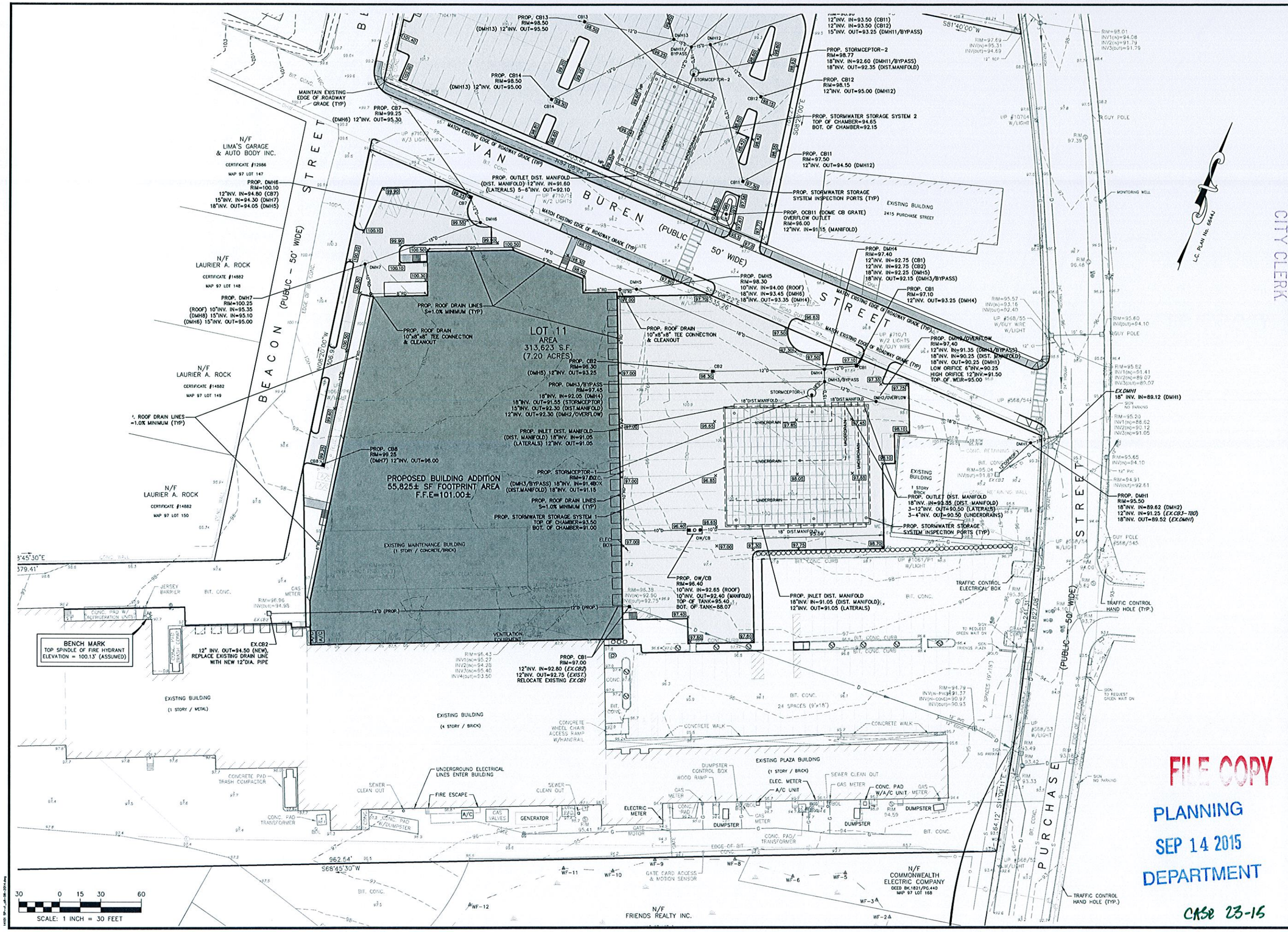

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DRAWING TITLE:

GRADING & DRAINAGE PLAN

SCALE: 1" = 30'

SHEET NO.

8 OF 14

SITE DESIGN ENGINEERING, LLC.

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GRADING & DRAINAGE PLAN

SCALE: 1" = 30'

SHEET NO.
9 OF 14

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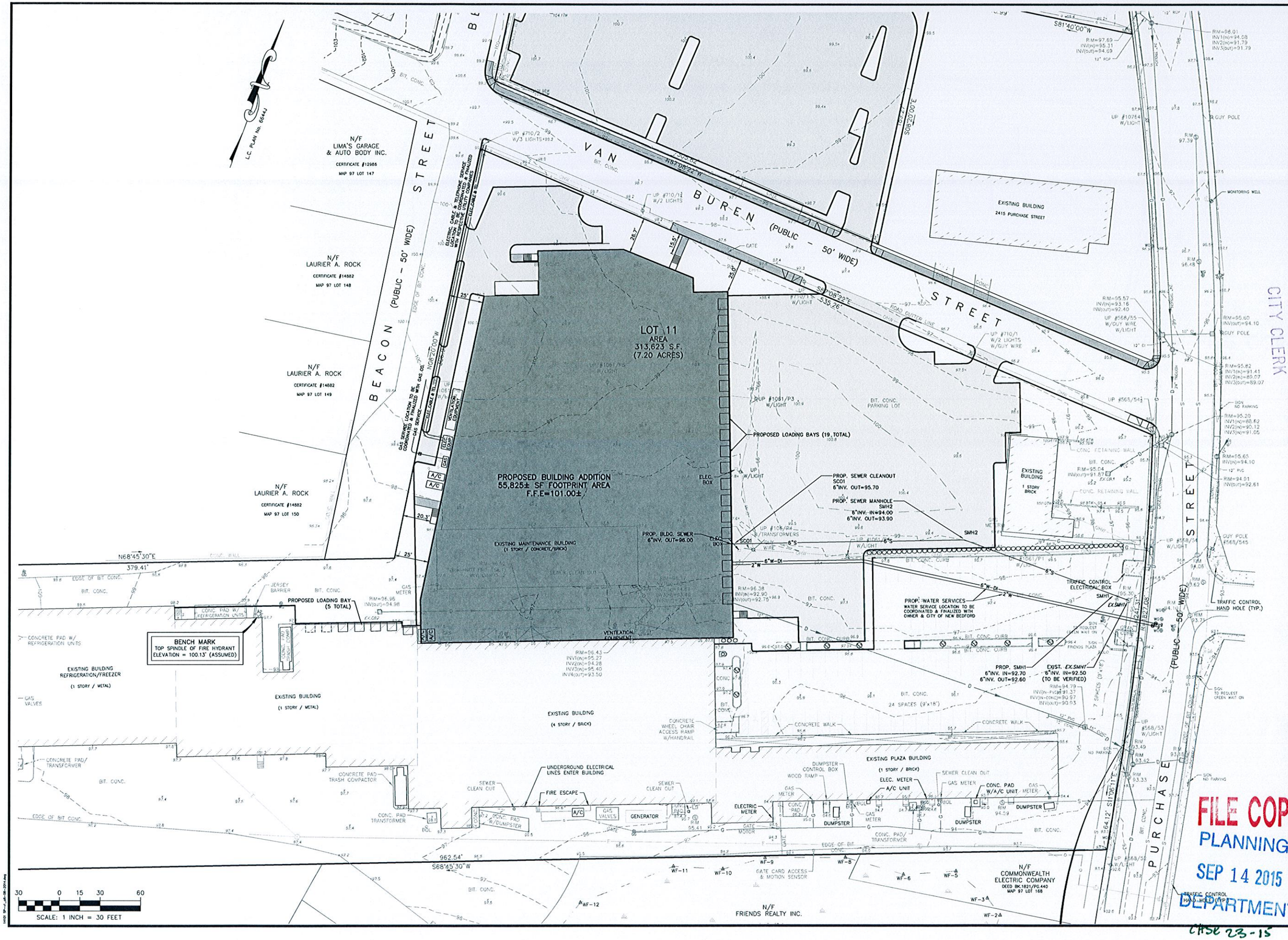
DEPARTMENT
CASE 23-15



SITE DESIGN ENGINEERING, LLC.

11 CUSHMAN STREET
MIDDLEBORO, MA 02346
T:508-967-0673 F:508-967-0674
WWW.SITEDESIGNENG.COM

NO.	DATE	DESCRIPTION	APPROVED

PLAN REVISIONS

DATE: SEPTEMBER 11, 2015

DRAWN BY:	DESIGN. BY:	CHECK BY:
RLM/RT	RT/DCM	DCM/TWH

PROJECT NO. 14101

ISSUED FOR:

REVIEW

COMMONWEALTH OF MASSACHUSETTS
DANIEL C. MULLOY
CIVIL
No. 41757
REGISTERED PROFESSIONAL ENGINEER

SITE PLAN APPROVAL MODIFICATION

2301 PURCHASE STREET
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR
SID WAINER & SON, INC.

DRAWING TITLE:

UTILITY PLAN

SCALE: 1" = 30'

SHEET NO.

10 OF 10

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CASE 23-15

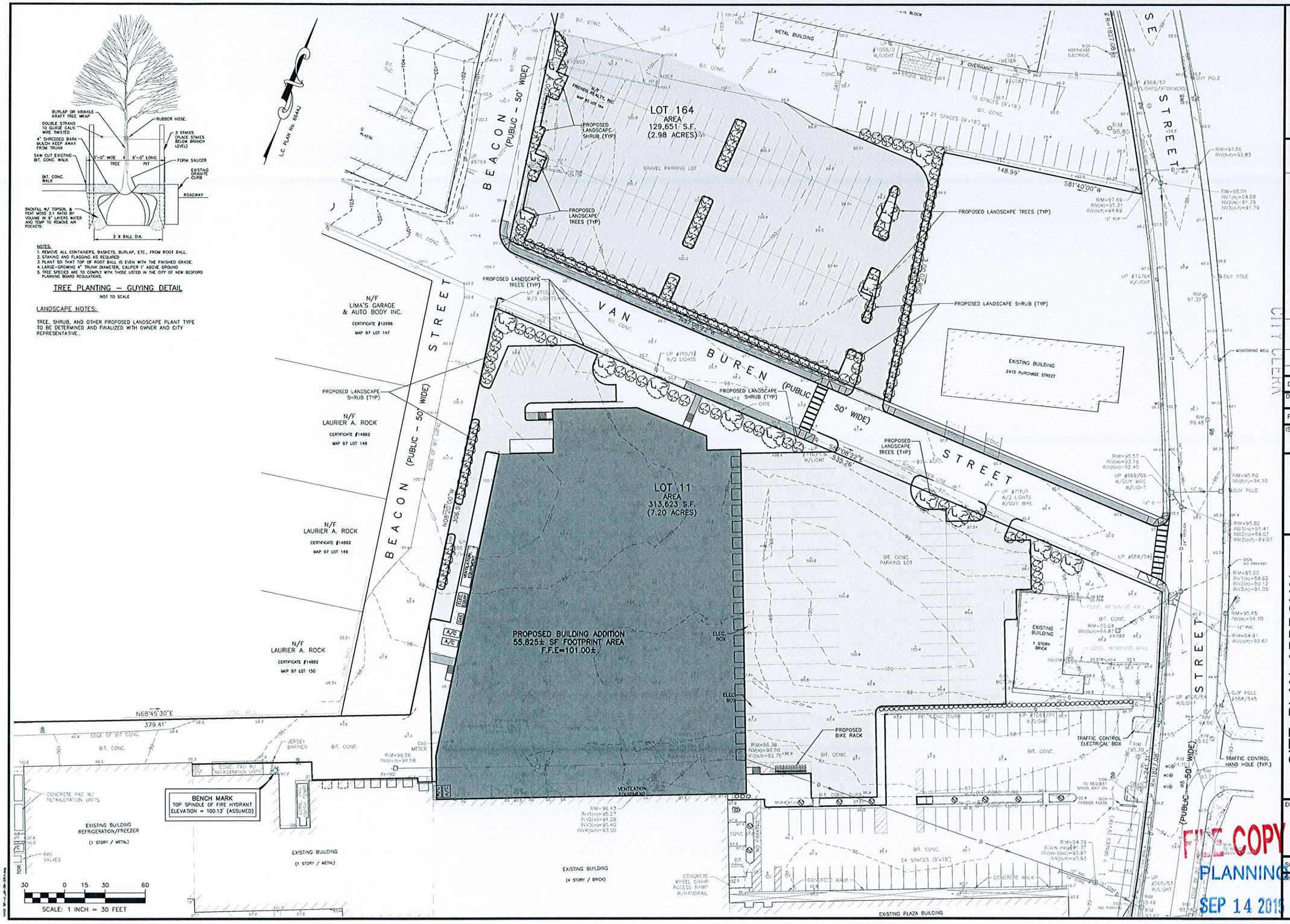
NOTES:
1. REMOVE ALL CONTAINERS, BASKETS, BURLAP, ETC., FROM ROOT BALL.
2. STAKING AND FLAGGING AS REQUIRED
3. PLANT SO THAT TOP OF ROOT BALL IS EVEN WITH THE FINISHED GRADE.
4. LARGE-GROWING 4" TRUNK DIAMETER, CALIPER 1' ABOVE GROUND
5. TREE SPECIES ARE TO COMPLY WITH THOSE LISTED IN THE CITY OF NEW BEDFORD PLANNING BOARD REGULATIONS.

TREE PLANTING – GUYING DETAIL

NOT TO SCALE

LANDSCAPE NOTES:

TREE, SHRUB, AND OTHER PROPOSED LANDSCAPE PLANT TYPE TO BE DETERMINED AND FINALIZED WITH OWNER AND CITY REPRESENTATIVE..



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COMMONWEALTH OF MASSACHUSETTS DANIEL C. MULLOY CIVIL No. 41757

SITE PLAN APPROVAL MODIFICATION
2301 PURCHASE STREET
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR
SID WAINER & SON, INC.

DRAWING TITLE: LANDSCAPE PLAN

SCALE: 1" = 30'

SHEET NO. 11 OF 14

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DEPARTMENT
CASE 23-15

TYPICAL PARKING AREA LIGHT DETAIL

NOT TO SCALE

NOTE:

1. LAMP DESIGN SHALL BE IN COMPLIANT WITH THE TOWN STANDARD STREET LIGHT AND "DARK SKY" BYLAW.
2. FINAL LAMP SELECTION SHALL BE REVIEWED BY THE DESIGN ENGINEER, TOWN REPRESENTATIVE, ARCHITECT AND PROJECT OWNER.

LIGHTING NOTES:

LIGHTING LOCATION AND TYPE TO BE DETERMINED AND FINALIZED WITH OWNER AND CITY REPRESENTATIVE.

Specifications

DESCRIPTION: Wallpack IV is a well mounted luminaire consisting of a precisely contoured anodized aluminum reflector, thermal shock resistant borosilicate glass refractor, integral IP65 microphone ballast and die cast aluminum housing. Luminaire shall have a self-hinged door secured by captive fasteners. Ballast and lamp socket shall be completely factory pre-wired and tested. Luminaire shall be designed to mount directly on a wall for surface wiring or over a recessed outlet box. The integral ballast shall provide reliable starting temperatures to -30°C. IND ballast shall be weatherized for maximum heat dissipation. Luminaire housings shall be finished with a thermal-setting polyester powder paint coating. Luminaire shall be UL/CSA listed for wet locations.

Maximum Ambient Temperatures:
30°C 400MH, 250HM, 320FM, 250FM
40°C 150MH, 100MH, 150MH, 175MH, 175PM, 200M, 320FL, ALL HPS

Maximum Weight - 34 Lbs.

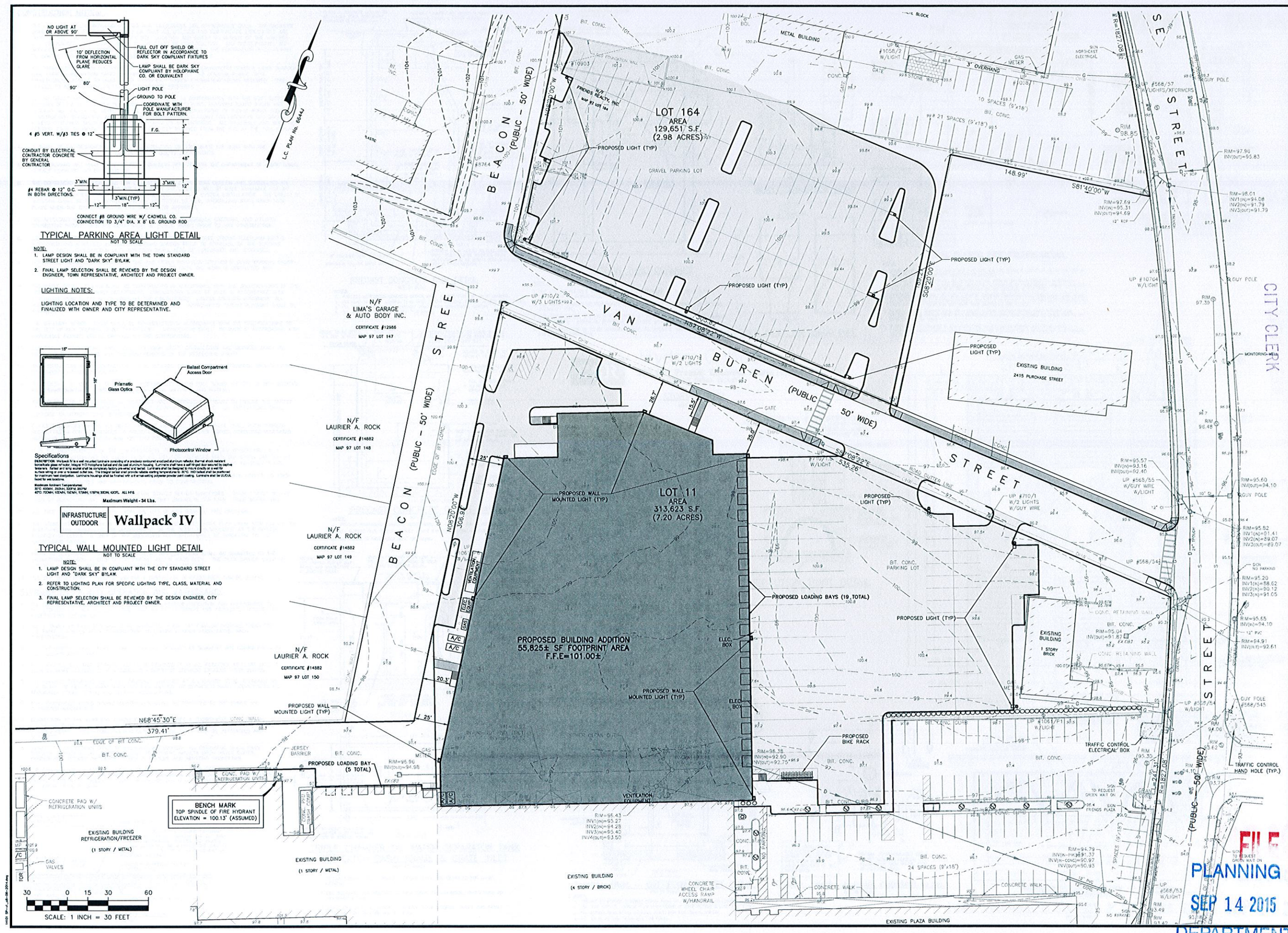
INFRASTUCTURE OUTDOOR	Wallpack® IV

TYPICAL WALL MOUNTED LIGHT DETAIL

NOT TO SCALE

NOTE:

1. LAMP DESIGN SHALL BE IN COMPLIANT WITH THE CITY STANDARD STREET LIGHT AND "DARK SKY" BYLAW.
2. REFER TO LIGHTING PLAN FOR SPECIFIC LIGHTING TYPE, CLASS, MATERIAL AND CONSTRUCTION.
3. FINAL LAMP SELECTION SHALL BE REVIEWED BY THE DESIGN ENGINEER, CITY REPRESENTATIVE, ARCHITECT AND PROJECT OWNER.



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NEW BEDFORD, MASSACHUSETTS

PREPARED FOR
SID WAINER & SON, INC.

DRAWING TITLE:

LIGHTING PLAN

SCALE: 1" = 30'

SHEET NO.

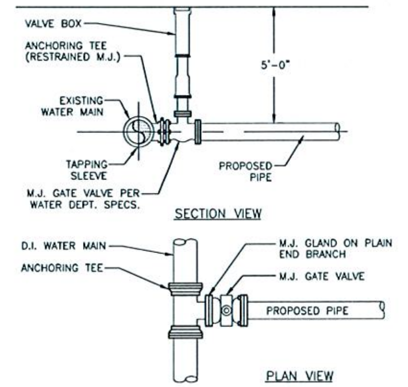
12 OF 14

SEWER CONNECTION CONSTRUCTION NOTES

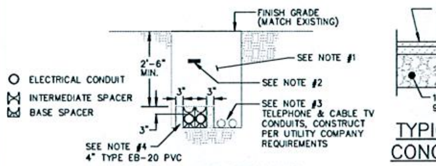
1. THE SEWER SERVICE SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE CITY OF NEW BEDFORD SEWER DEPARTMENT. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE PERMITS (TO BE OBTAINED BY THE CONTRACTOR). UNLESS OTHERWISE DIRECTED, ALL SEWER PIPES SHALL BE INSTALLED 3'-0" BELOW GRADE.
2. THE CONTRACTOR SHALL MAINTAIN CLEARANCE BETWEEN THE NEW SEWER LINE AND OTHER EXISTING UTILITIES OF AT LEAST (12) TWELVE INCHES OR AS DETERMINED BY THE CITY'S SEWER DEPARTMENT IN THE FIELD.
3. ALL CONSTRUCTION METHODS AND MATERIALS, AS WELL AS ALL MATERIAL SHOP DRAWINGS AND MANUFACTURERS DATA SHALL RECEIVE THE WRITTEN APPROVAL OF THE CITY OF BEDFORD SEWER DEPARTMENT AND THE PROJECT ENGINEER PRIOR TO FABRICATION AND INSTALLATION.
4. ALL COMPLETED SECTIONS OF THE PROPOSED SYSTEM SHALL BE TESTED IN ACCORDANCE WITH THE CITY OF BEDFORD SEWER DEPARTMENT SPECIFICATIONS. ANY PORTION OF THE WORK NOT MEETING THE REQUIRED TESTING STANDARDS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS OWN EXPENSE. TEST MUST BE COORDINATED WITH THE CITY OF BEDFORD UTILITIES DIVISION.
5. APPROVAL OF THE FINAL CONFIGURATION OF THE SEWER SERVICES SHALL BE DETERMINED BY THE UTILITIES DIVISION AND AN ENGINEER PREPARED FINAL PLAN APPROVED BY THE DIRECTOR OF UTILITIES.
6. THE CITY'S SEWER SUPERINTENDENT AND THE PROJECT ENGINEER SHALL APPROVE ALL FIELD CHANGES IN THE WORK PRIOR TO IMPLEMENTATION. NO FIELD CHANGES SHALL BE MADE IN ANY SPECIFIED SITE WORK OR ANY MATERIALS FOR WHICH SHOP DRAWINGS HAVE BEEN SUBMITTED AND APPROVED WITHOUT PRIOR CONSULTATION OF THE WATER SUPERINTENDENT AND THE PROJECT ENGINEER. ANY CHANGES SO MADE WITHOUT THE CONSENT OF THE SEWER SUPERINTENDENT AND THE PROJECT ENGINEER SHALL, IF DEEMED UNACCEPTABLE BY EITHER PARTY, BE PROMPTLY REMOVED FROM THE WORK AT NO EXPENSE TO THE OWNER OF THE PROJECT.
7. THE CONTRACTOR SHALL INTERRUPT SEWER SERVICE AND DISRUPT THE NORMAL FUNCTIONING OF THE DISTRIBUTION SYSTEM AS LITTLE AS POSSIBLE. THE CONTRACTOR SHALL NOTIFY THE CITY'S SEWER DEPARTMENT 72 HOURS IN ADVANCE OF ANY REQUIREMENT FOR UNWATERING OF ISOLATING A SECTION OF THE MAIN.
8. IN THE EVENT THAT NORMAL SEWER SERVICE WILL BE INTERRUPTED FOR AN EXTENDED PERIOD, THE CONTRACTOR SHALL PROVIDE TEMPORARY SERVICE LINES.

WATER CONNECTION CONSTRUCTION NOTES

1. THE WATER SUPPLY SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE CITY OF NEW BEDFORD WATER DEPARTMENT. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE PERMITS (TO BE OBTAINED BY THE CONTRACTOR). UNLESS OTHERWISE DIRECTED, ALL WATER PIPES SHALL BE INSTALLED 5'-0" BELOW GRADE. APPROPRIATE THRUST BLOCKING SHALL BE INSTALLED.
2. THE CONTRACTOR SHALL MAINTAIN CLEARANCE BETWEEN THE NEW WATER MAIN AND OTHER EXISTING UTILITIES OF AT LEAST (12) TWELVE INCHES OR AS DETERMINED BY THE CITY'S WATER DEPARTMENT IN THE FIELD.
3. ALL CONSTRUCTION METHODS AND MATERIALS, AS WELL AS ALL MATERIAL SHOP DRAWINGS AND MANUFACTURERS DATA SHALL RECEIVE THE WRITTEN APPROVAL OF THE CITY OF NEW BEDFORD WATER DEPARTMENT AND THE PROJECT ENGINEER PRIOR TO FABRICATION AND INSTALLATION.
4. ALL COMPLETED SECTIONS OF THE PROPOSED SYSTEM SHALL BE PRESSURE TESTED AND DISINFECTED IN ACCORDANCE WITH THE CITY OF NEW BEDFORD WATER DEPARTMENT SPECIFICATIONS. ANY PORTION OF THE WORK NOT MEETING THE REQUIRED TESTING STANDARDS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS OWN EXPENSE.
5. FIRE FLOW TESTING IS REQUIRED FOR THE PROPOSED FIRE SUPPRESSION SYSTEM. TEST MUST BE COORDINATED WITH THE CITY OF NEW BEDFORD FIRE DEPARTMENT AND UTILITIES DIVISION. REPRESENTATIVES OF EACH DEPARTMENT SHALL WITNESS AND TEST RESULTS AND A WRITTEN REPORT SHALL BE SUBMITTED. HYDRAULIC CALCULATION SHALL BE PROVIDED TO THE CITY'S FIRE DEPARTMENT FOR APPROVAL.
6. ALL WATER CONNECTIONS SHALL BE CHLORINATED AND PRESSURE TESTED IN ACCORDANCE TO AWWA AND THE CITY OF NEW BEDFORD CONSTRUCTION STANDARDS AND SPECIFICATIONS PRIOR TO OPENING THE CONNECTION TO EXISTING PIPES.
7. APPROVAL OF THE FINAL CONFIGURATION OF THE WATER SERVICES SHALL BE DETERMINED BY THE UTILITIES DIVISION AND AN ENGINEER PREPARED FINAL PLAN APPROVED BY THE DIRECTOR OF UTILITIES.
8. THE CITY'S WATER SUPERINTENDENT AND THE PROJECT ENGINEER SHALL APPROVE ALL FIELD CHANGES IN THE WORK PRIOR TO IMPLEMENTATION. NO FIELD CHANGES SHALL BE MADE IN ANY SPECIFIED SITE WORK OR ANY MATERIALS FOR WHICH SHOP DRAWINGS HAVE BEEN SUBMITTED AND APPROVED WITHOUT PRIOR CONSULTATION OF THE WATER SUPERINTENDENT AND THE PROJECT ENGINEER. ANY CHANGES SO MADE WITHOUT THE CONSENT OF THE WATER SUPERINTENDENT AND THE PROJECT ENGINEER SHALL, IF DEEMED UNACCEPTABLE BY EITHER PARTY, BE PROMPTLY REMOVED FROM THE WORK AT NO EXPENSE TO THE OWNER OF THE PROJECT.
9. THE CONTRACTOR SHALL INTERRUPT WATER SERVICE AND DISRUPT THE NORMAL FUNCTIONING OF THE DISTRIBUTION SYSTEM AS LITTLE AS POSSIBLE. THE CONTRACTOR SHALL NOTIFY THE CITY'S WATER DEPARTMENT 72 HOURS IN ADVANCE OF ANY REQUIREMENT FOR UNWATERING OF ISOLATING A SECTION OF THE MAIN.
10. IN THE EVENT THAT NORMAL WATER SERVICE WILL BE INTERRUPTED FOR AN EXTENDED PERIOD, THE CONTRACTOR SHALL PROVIDE TEMPORARY SERVICE LINES.
11. THE CONTRACTOR SHALL NOT OPERATE WATER DISTRIBUTION SYSTEM VALVES WITHOUT THE SUPERVISION OF THE WATER DEPARTMENT. IF SUCH SUPERVISION IS PROVIDED BY THE OWNER, AT TIMES OTHER THAN DURING REGULAR WORKING HOURS OF THE WATER DEPARTMENT, THE CONTRACTOR SHALL REIMBURSE THE WATER DEPARTMENT FOR ALL SALARY EXPENSES INCURRED BY THE WATER DEPARTMENT IN PROVIDING SUCH SUPERVISION.



WATER SERVICE CONNECTION
NOT TO SCALE



ELECTRIC & TELEPHONE PRIMARY SERVICE DETAIL
NOT TO SCALE

NOTES:

(1) BACKFILL TO BE FREE OF STONES GREATER THAN ONE INCH AND SHALL NOT CONTAIN ASHES, CINDERS, SHELL, OR FROZEN MATERIAL.

(2) WARNING TAPE TO BE PLACED 12" BELOW FINISH GRADE AND DIRECTLY ABOVE POWER CONDUIT.

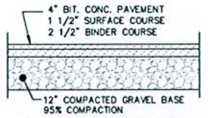
(3) MINIMUM SEPARATION BETWEEN ELECTRICAL CONDUIT AND FOREIGN CONDUIT OR PIPES IS AS FOLLOWS:

COMMUNICATION – 3" OF CONCRETE ENCASEMENT

WATER, GAS, SEWER – 12" WHERE THE PATH OF THESE UTILITIES INTERSECT AT APPROXIMATELY RIGHT ANGLES WITH ELECTRICAL CONDUIT.

24" SEPARATION SHALL BE MAINTAINED BETWEEN PARALLEL PLACEMENT OF THESE UTILITIES AND ELECTRICAL CONDUIT.

(4) CONCRETE THICKNESS AROUND THE OUTSIDE DUCTS SHALL BE 3 TO 6 INCHES. CONCRETE SHALL BE IN ACCORDANCE WITH STANDARD 0211.



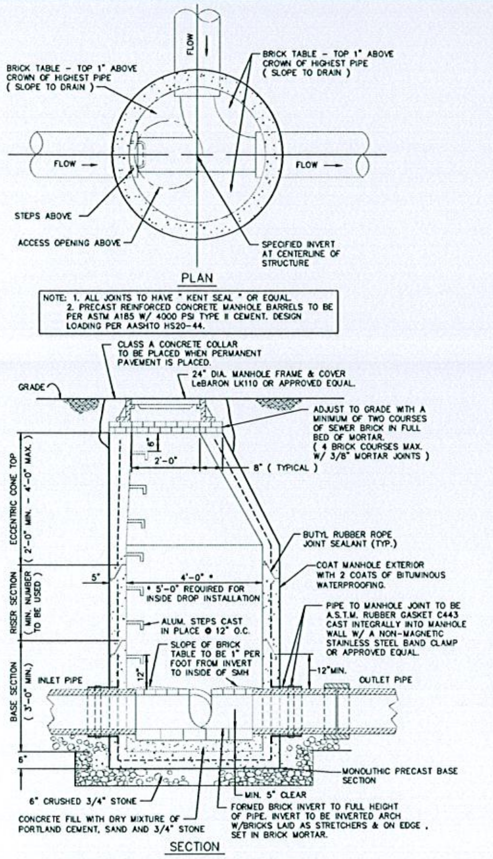
TYPICAL BITUMINOUS CONCRETE PAVEMENT
NOT TO SCALE

TYPICAL ROADWAY CONSTRUCTION MATERIAL NOTES

1. BITUMINOUS CONCRETE SHALL CONFORM TO MASSACHUSETTS HIGHWAY DEPARTMENT SPECIFICATION M3.11.00.
2. GRAVEL BORROW TYPE C SHALL CONFORM TO MASSACHUSETTS HIGHWAY DEPARTMENT SPECIFICATION M1.03.00 AS LISTED BELOW:

GRAVEL BORROW SHALL CONSIST OF INERT MATERIAL THAT IS HARD, DURABLE STONE AND COARSE SAND, FREE FROM LOAM AND CLAY, SURFACE COATINGS AND DELETERIOUS MATERIALS. GRADATION REQUIREMENTS FOR GRAVEL SHALL BE DETERMINED BY AASHTO-T11 AND T27 AND SHALL CONFORM TO THE FOLLOWING:

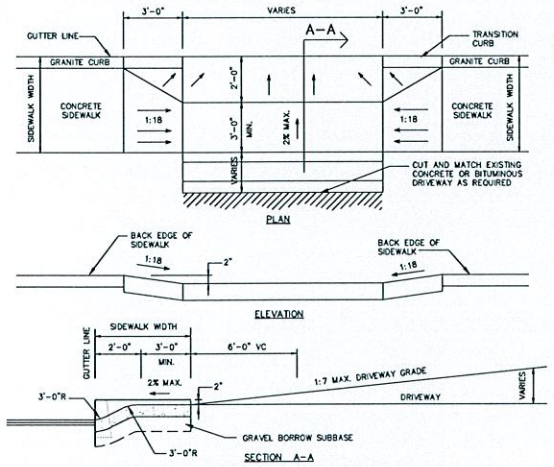
SIEVE DESIGNATION	PERCENT PASSING	
1/2 IN	50-85	MAXIMUM SIZE OF STONE IN GRAVEL SHALL BE 2 INCHES LARGEST DIMENSION
NO. 4	40-75	
NO. 50	8-28	
NO. 200	0-10	



PRECAST CONCRETE SMH DETAIL
NOT TO SCALE

NOTES:

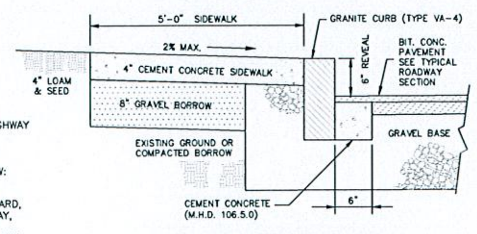
1. PRECAST REINFORCED CONCRETE DESIGN SHALL BE CERTIFIED FOR H-20 LOADING.
2. USE FLAT TOP H20 LOADING SLAB WHEN HEIGHT OF CONE SECTION IS LESS THAN 2'-0".
3. FILL OUTSIDE FACE OF ALL MANHOLE JOINTS WITH NON-SHRINK MORTAR.
4. ALL JOINTS TO HAVE "KENT SEAL" OR EQUAL.



HANDICAP RAMP DETAIL
DRIVEWAY DEVELOPMENT FOR 3'-0" TRANSITION CURB
NOT TO SCALE

NOTES:

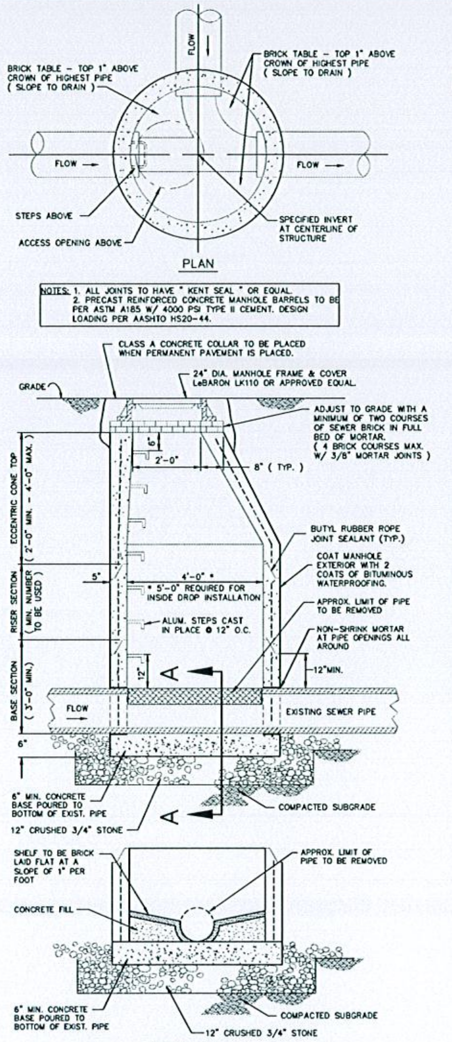
1. SHALL BE IN ACCORDANCE WITH MASSACHUSETTS ARCHITECTURAL ACCESS BOARD AND THE AMERICANS WITH DISABILITIES ACT RULES AND REGULATIONS.



VERTICAL GRANITE CURB & CONCRETE SIDEWALK DETAIL
NOT TO SCALE

NOTES:

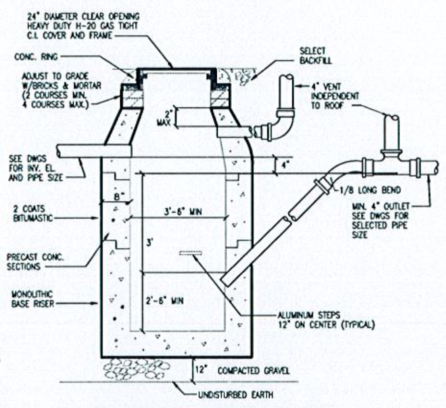
1. SHALL BE IN ACCORDANCE WITH MASSACHUSETTS ARCHITECTURAL ACCESS BOARD AND THE AMERICANS WITH DISABILITIES ACT RULES AND REGULATIONS.
2. CEMENT CONCRETE SHALL CONFORM TO MASSACHUSETTS HIGHWAY STANDARDS AND SPECIFICATIONS FOR CEMENT CONCRETE SIDEWALK CONSTRUCTION.



DETAIL OF PRECAST CONCRETE SMH CONSTRUCTED ON EXIST. SEWER LINE
NOT TO SCALE

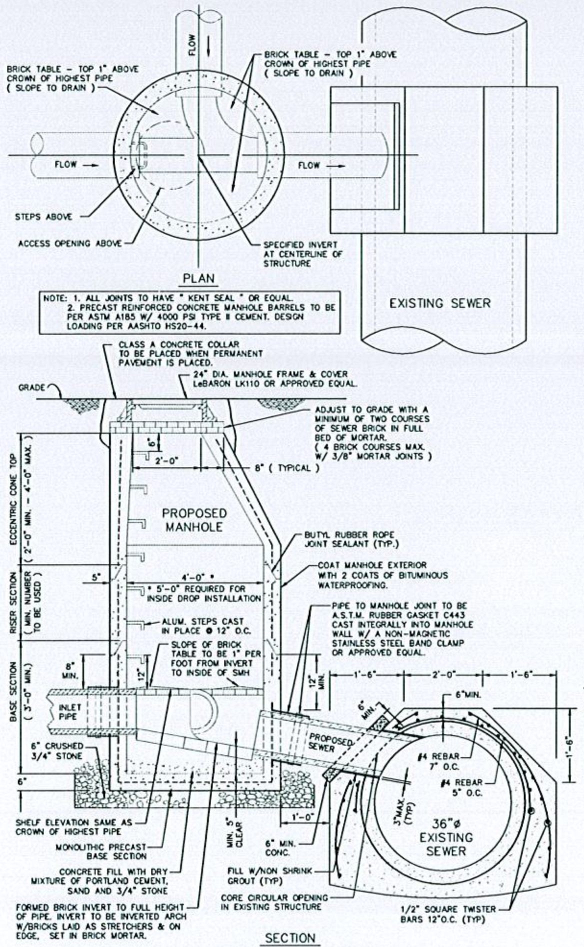
NOTES:

1. PRECAST REINFORCED CONCRETE DESIGN SHALL BE CERTIFIED FOR H-20 LOADING.
2. USE FLAT TOP H20 LOADING SLAB WHEN HEIGHT OF CONE SECTION IS LESS THAN 2'-0".
3. FILL OUTSIDE FACE OF ALL MANHOLE JOINTS WITH NON-SHRINK MORTAR.
4. ALL JOINTS TO HAVE "KENT SEAL" OR EQUAL.
5. PROVIDE SUPPORT FOR EXISTING SEWER PIPE WHEN POURING CONCRETE BASE



GASOLINE/SAND INTERCEPTOR
NOT TO SCALE

1. PRECAST REINFORCED CONCRETE DESIGN SHALL BE CERTIFIED FOR H-20 LOADING.
2. CONTRACTOR SHALL VERIFY THAT ANY PRE-CAST STRUCTURES USED ARE MASS APPROVED OR STRUCTURES SHALL BE BUILT IN PLACE TO MEET MASS WATER & SEWER COMMISSION GUIDELINES.



PRECAST CONCRETE SMH INTERCEPTOR CONNECTION DETAIL
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NOTES:

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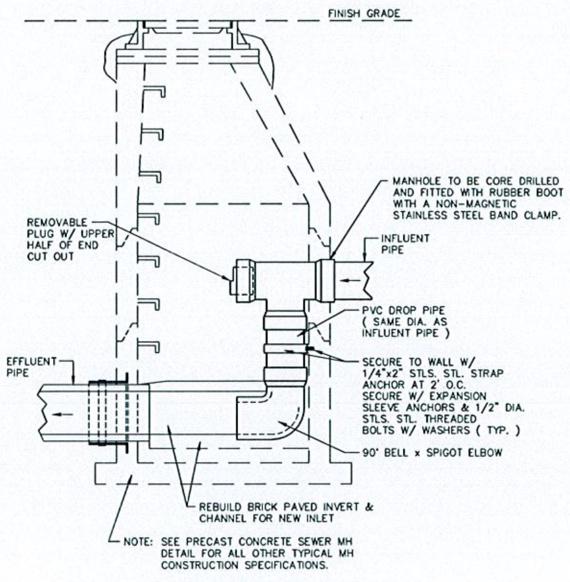
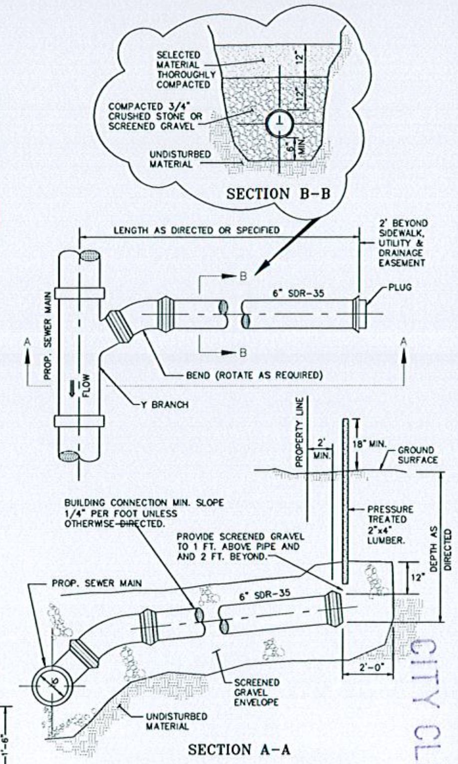
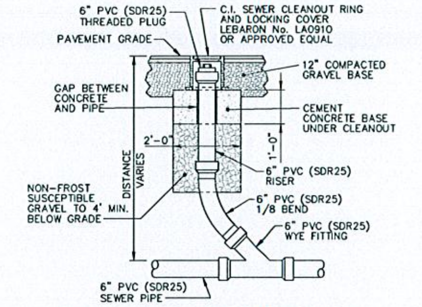
3. FILL OUTSIDE FACE OF ALL MANHOLE JOINTS WITH NON-SHRINK MORTAR.
4. ALL JOINTS TO HAVE "KENT SEAL" OR EQUAL.



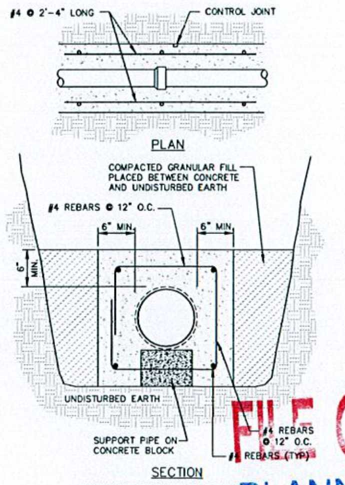
SEWER MANHOLE INSIDE DROP INLET DETAIL
NOT TO SCALE



BUILDING SEWER CONNECTIONS FOR P.V.C. PIPE
NOT TO SCALE



TYPICAL SEWER CLEANOUT DETAIL
NOT TO SCALE



CONCRETE ENCASEMENT
NOT TO SCALE

NOTES:

1. CONTROL JOINTS AND PIPE JOINTS AND ENCASEMENT SHALL COINCIDE FOR SPACING. MAX. DISTANCE BETWEEN CONTROL JOINTS SHALL BE 24'±.
2. REINFORCING STEEL TO BE USED ONLY WHEN DEPTH OF COVER TO TOP OF SURFACE OF CONCRETE IS 5'-0" OR LESS

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PREPARED FOR
SID WAINER & SON, INC.

DRAWING TITLE: CONSTRUCTION DETAILS

SCALE: NOT TO SCALE

SHEET NO. 14 OF 14

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