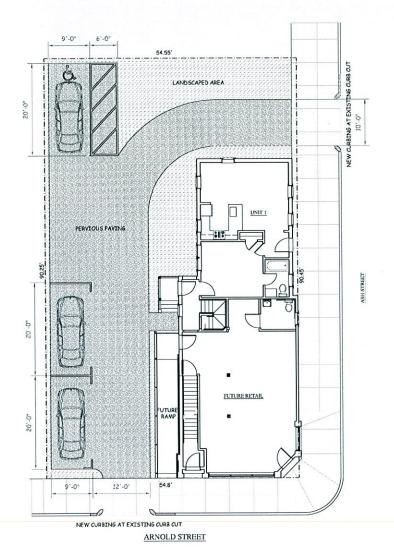


LOCUS PLAN



PLAN DERIVED FROM CITY OF NEW BEDFORD ASSESSORS MAP



CHRISTOPHERT, WISE - ARCHITECT

WIG OLD COUNTY ROAD

WIST STROET, NA 10/200

TELEPHONE, 1609, 1646-2266

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CONSULTANTS

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REHABILITATION OF 157 ASH STREET NEW BEDFORD, MA

TITLE

SKETCH SITE PLAN FOR SEPCIAL PERMIT TO REDUCE PARKING

SCALE: 1/8" = 1'-0" DATE: SEPT. 9, 2015 DRAWN: CTW REVISED:

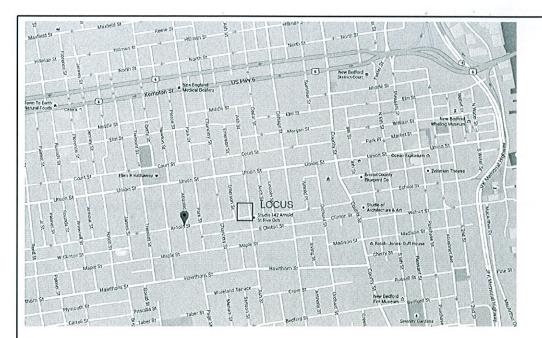


NOT FOR CONSTRUCTION

• CHRISTOPHER T. WISE-ARCHITECT

PLANNING

SEP 11 2015 DEPARTMENT



LOCUS PLAN

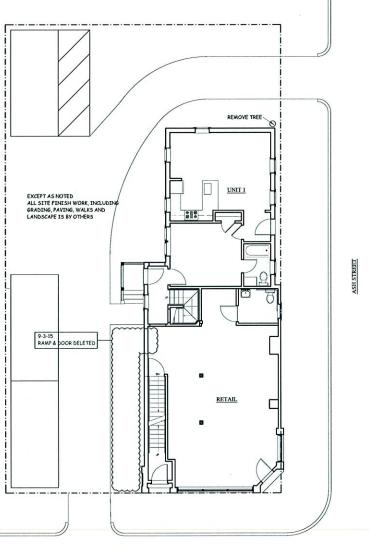
DRAWINGS:

- SKETCH SITE PLAN L-01 A-01 **DEMOLITION PLANS**
- BASEMENT & FIRST FLOOR PLANS A-02
- A-03 FIRST & SECOND FLOOR PLANS
- A-04 **ELEVATIONS**
- WALL SECTIONS 1 A-05
- WALL SECTIONS 2 A-06
- A-07 **DOORS & WINDOWS**
- DRAWING NOTES A-08
- BASEMENT & FIRST FLOOR MECHANICALS, NOTES M-01
- SECOND & THIRD FLOOR MECHANICALS, NOTES

CITY CLERKS OFFICE NEW BEDFORD, MA

2015 SEP 11 P 1: 26

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ARNOLD STREET

SKETCH SITE PLAN

PLANNING SEP 11 2015 DEPARTMENT

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9-3-15 SEE REVISIONS



Community & Economic Development

REHABILITATION OF 157 ASH STREET NEW BEDFORD, MA

TITLE

SKETCH SITE PLAN

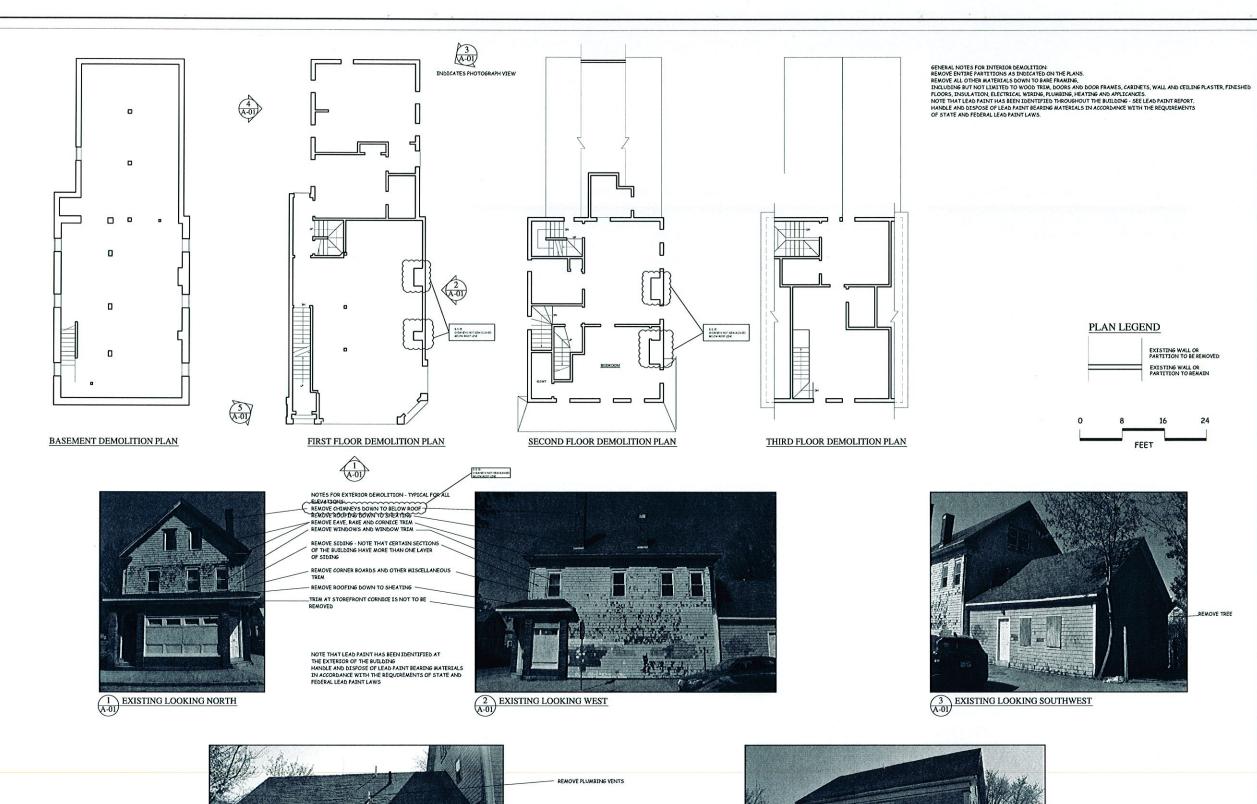
SCALE: 1/8" = 1'-0" DATE: JULY 8, 2015 DRAWN: CTW REVISED: SEPT. 3, 2015

DRAWING NUMBER









REMOVE ROOF EXTENSION

REMOVE PORCH

4 EXISTING LOOKING EAST



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PLAN LEGEND

EXISTING WALL OR PARTITION TO BE REMOVED

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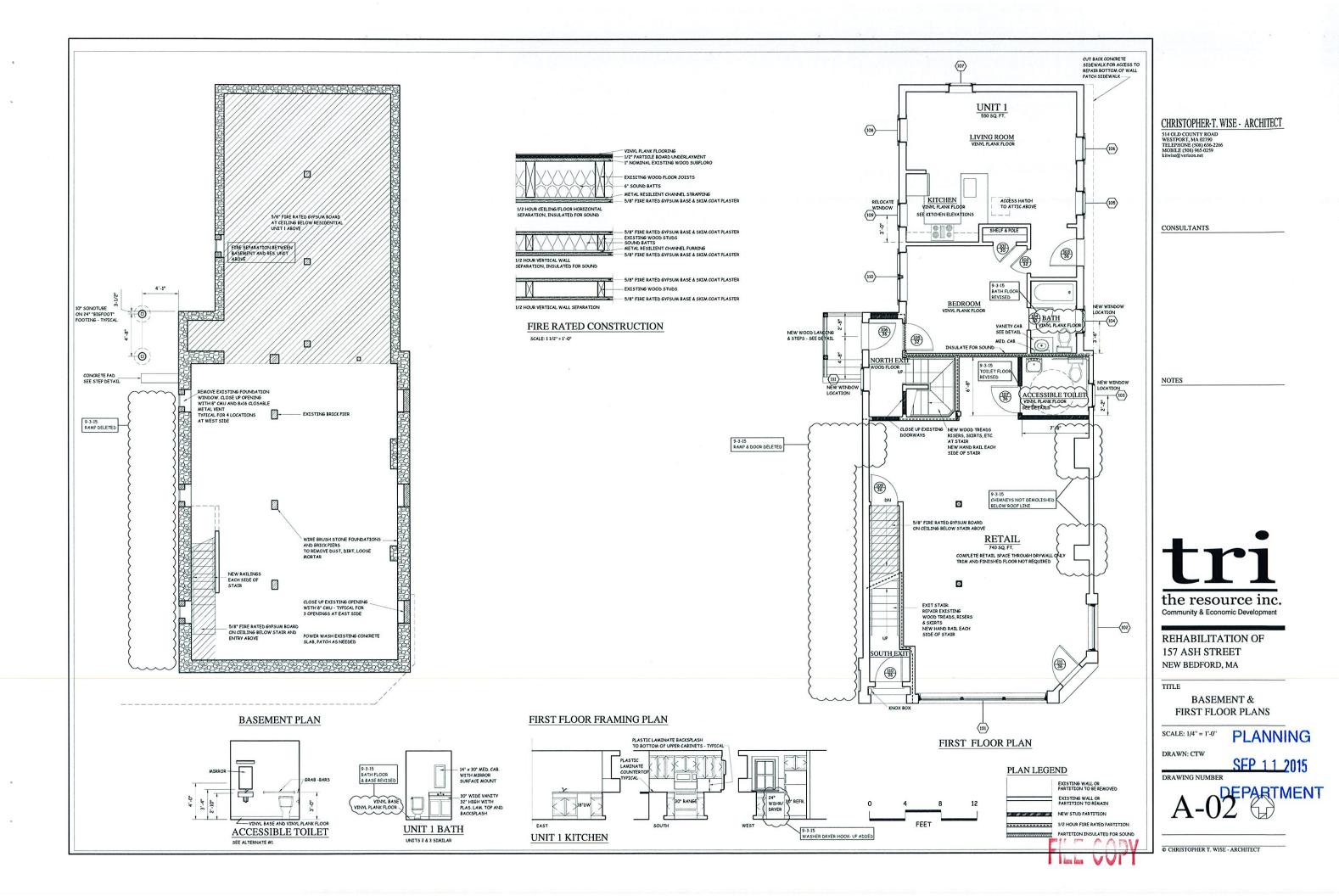
DEMOLITION PLANS

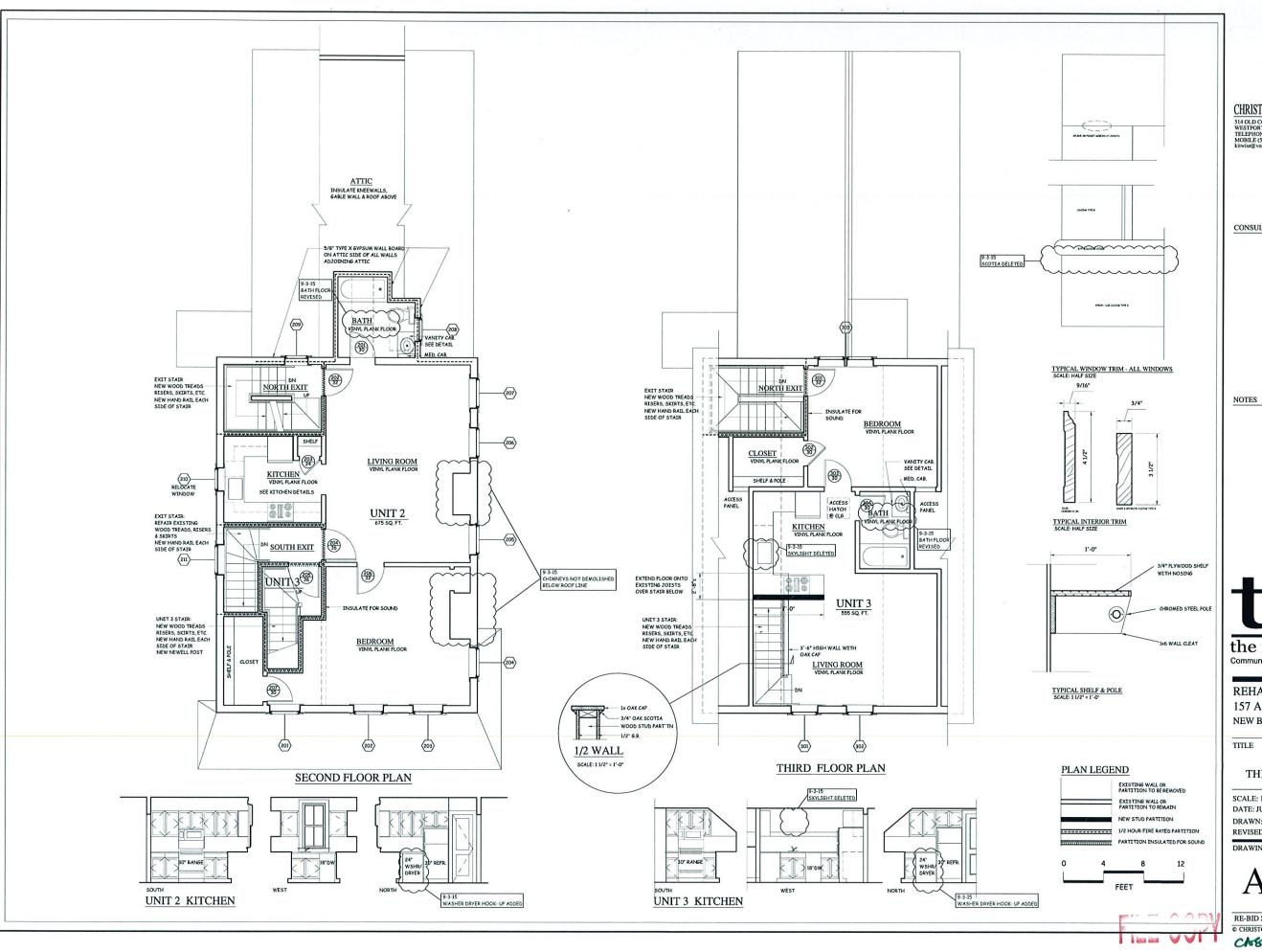
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SECOND & THIRD FLOOR PLANS
PLANNING

SCALE: 1/4" = 1'-0" DATE: JULY 8, 2015
DRAWN: CTW

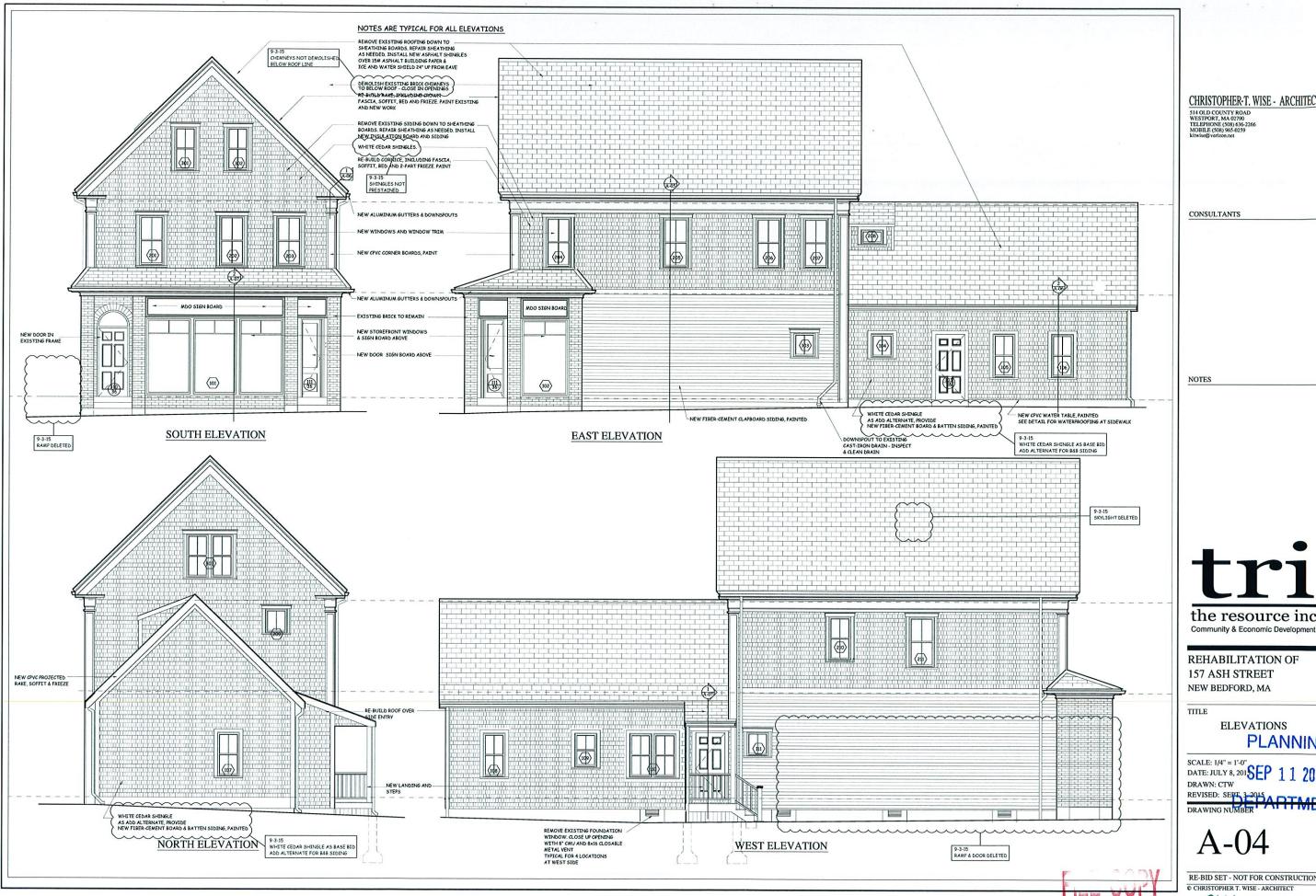
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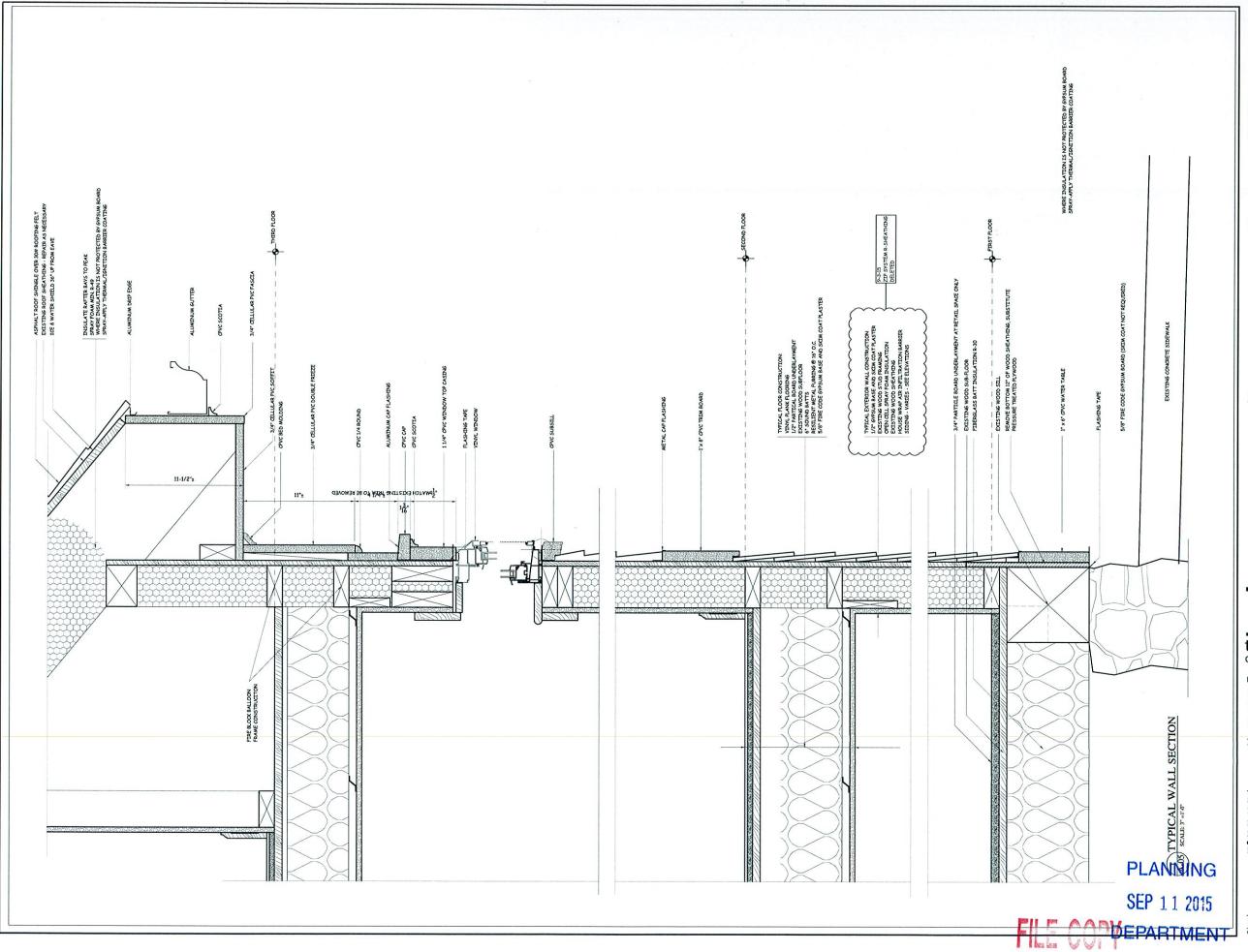
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REHABILITATION OF 157 ASH STREET NEW BEDFORD, MA

ELEVATIONS PLANNING

SCALE: 1/4" = 1'-0" DATE: JULY 8, 2018EP 1 1 2015 DRAWN: CTW REVISED: SEPT 3-2015 DRAWING NUMBER

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REHABILITATION OF 157 ASH STREET NEW BEDFORD, MA

WALLS ECTIONS - 1

SCALE: 3" = 1'-0" DATE: JULY 8, 2015 DRAWN: CTW REVISED: SEPT. 3. 2015

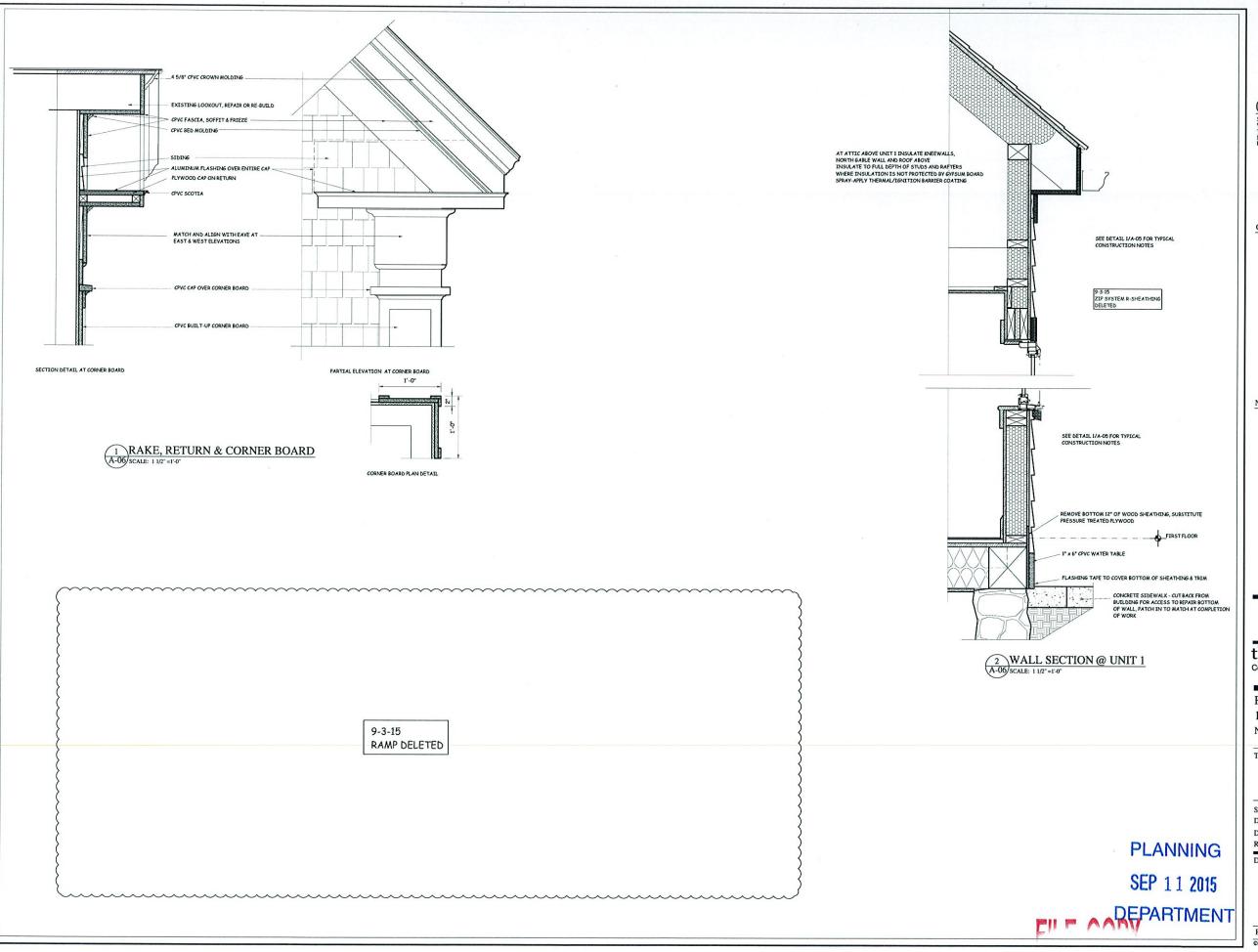
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A-05

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REHABILITATION OF 157 ASH STREET NEW BEDFORD, MA

TITLE

WALLS ECTIONS - 2

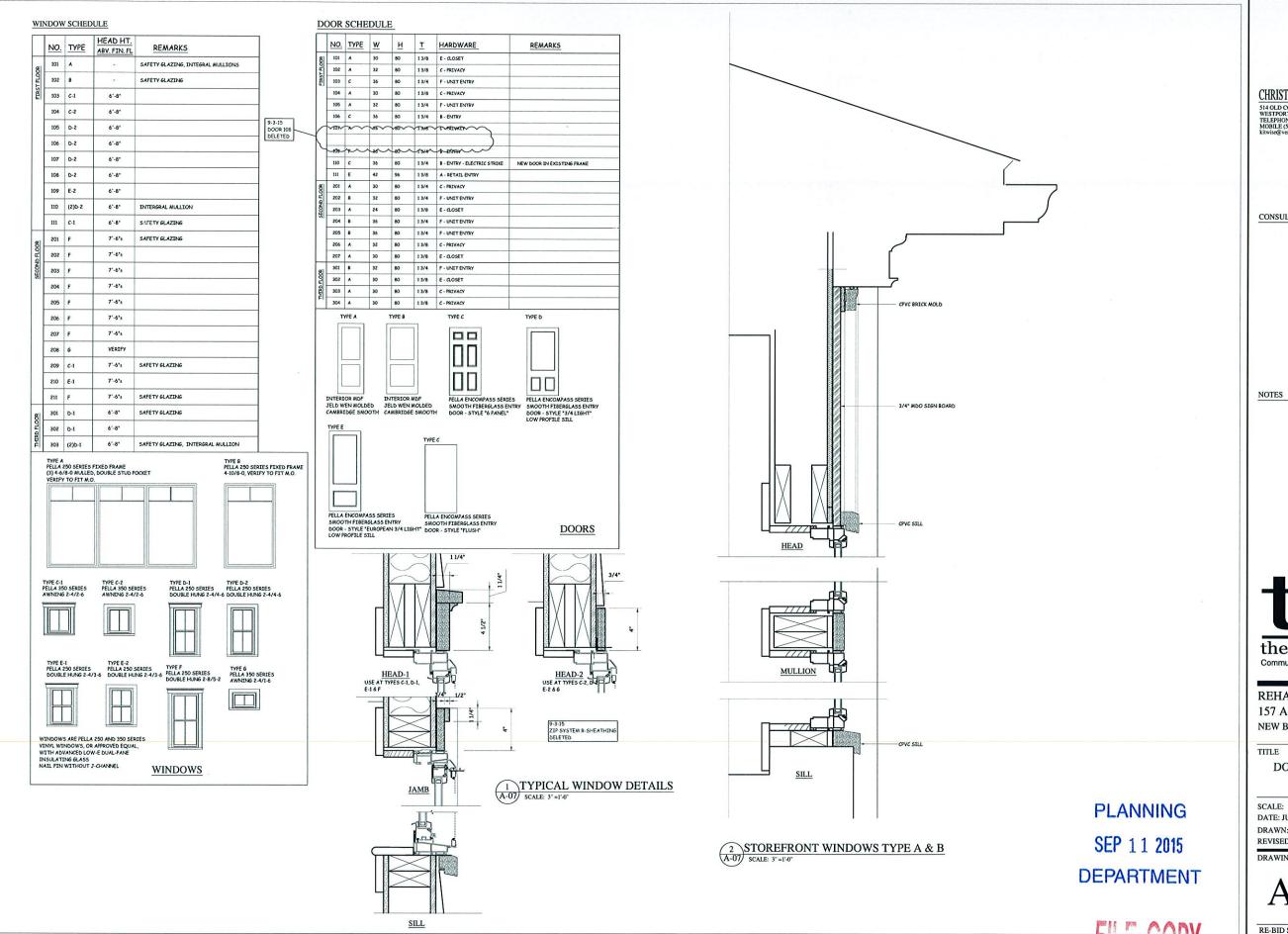
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A-06

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REHABILITATION OF 157 ASH STREET NEW BEDFORD, MA

DOORS & WINDOWS

SCALE: DATE: JULY 8, 2015 DRAWN: CTW REVISED: SEPT. 3. 2015

DRAWING NUMBER

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DRAWING NOTES FOR REHABILITATION OF 157 ASH STREET, NEW BEDFORD, MA

- 1 GENERAL DECLARRENTS
- IA. INSURANCE: AT THE TIME OF THE SIGNING OF THE CONTRACT
 THE CONTRACTOR SHALL PROVIDE TO THE OWNER CERTIFICATES OF INSURANCE SHOWING
 COMPREHENSIVE PUBLIC LIBRALITY INSURANCE COVERING ALL WORK PERFORMED UNDER THIS
 CONTRACT WITH LIMITS OF NOT LESS THAN \$1,000,000 PER OCCURRENCE FOR BODILY INJURY AND NOT LESS THAN \$1,000,000 PER OCCURRENCE FOR PROPERTY DAMAGE AND SHOWING STATUTORY
- 1.B. PERMITS: ALL PERMITS AND FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE COST OF ANY BUILDING LOCATION CERTIFICATIONS WHICH ARE REQUIRED AS PART OF TH PERMITTING PROCESS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR
- 1.C FIRE EXTINGUISHERS AND FIRE PROTECTIVE MEASURES: THE CONTRACTOR SHALL PROVIDE NOV 1.C. FIRE EXTINOUISHERS AND FIRE PROTECTIVE MEASURES: THE CONTRACTOR SHALL PROVIDE BY CHEMICAL FIRE EXTINGUISHERS RATED FOR A, B, AND C FIRES DURING ALL PHASES OF THE WORK. THERE WILL BE NO SMOKING IN THE VICINITY OF ANY OPERATIONS UTILIZING PAINTS, SOLVENTS, GLUES OR OTHER FLAMMABLE SUBSTANCES.
- 1.D. FIELD MEASUREMENTS: BEFORE ORDERING ANY MATERIALS OR DOING ANY WORK, THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED BECAUSE OF DIFFERENCES BETWEEN ACTUAL DIMENSIONS AND MEASUREMENTS INDICATE ON THE DAMYINGS. ANY DIFFERENCES WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR DECISION BEFORE DOCUMENTS.
- LE. CLEANING: UPON COMPLETION OF EACH PHASE OF THE WORK THE CONTRACTOR SHALL LEAVE I.E. ALEANING: DYON COMPLETION OF EACH PHASE OF THE WORK, THE CONTRACTOR SHALL LEAVE THE PREMISES FREE FROM ALL DERIES AND WASTE, IN A BROOM, CLEAN CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE SITE FREE OF RUBBISH AND DEBILS, AND IN A NEAT, ROBERLY CONDITION AT ALL THRES. AT THE COMPLETION OF THE PROJECT, BEFORE FINAL PAYMENT IS MADE, THOROUGHLY CLEAN THE ENTIRE AREA OF THE WORK DEADOVE GREASE, DIRT, DUST, STAINS, LABELS, FINEEPRINTS AND OTHER POSSED SUPPLACES.

 REPAIR PATCH AND TOUCH UP ALL MARRED SURFACES TO SPECIFIED FINISH. CLEAN AND POLISH ALL CLASS ON BOOTH STORES.
- I.F. GUARANTEE: THE CONTRACTOR OR HIS SURETIES SHALL REMEDY ANY DEFECTS IN THE WORK, AND PAY ANY DAMAGE TO OTHER WORK RESULTING THEREROW, MITCH'S HALL APPEAR WITHIN ONE YEAR FROM FINAL ACCEPTANCE OF THE WORK, NO DOCUMENT SHALL BE CONSTRUED TO RELIEVE THE CONTRACTOR FROM THES BASIC RESPONSIBILITY.
- 1.6. ALTERNATES:
- 1.6.1 ALTERNATE #1: AS AN ADD ALTERNATE, DELETE CEDER SHINGLE SIDING ON THE EAST AND NORTH ELEVATIONS OF UNIT #1, SUBSTITUTE FIBER CEMENT-BOARD BOARD AND BATTEN S PAINTED.
- LF DELEADING: LEAD-BEARING PAINT HAS BEEN IDENTIFIED THROUGHOUT THE INTERIOR AND EXTERIOR OF THE BUILDING. SEE LEAD PAINT INSPECTION REPORTS DATED APRIL 30, 2015. THE DELEADING WORK SHALL BE ACCOMPLISHED BY A CONTRACTOR THAT IS CERTIFIED AND INSURED TO PEPFORM THE TYPE OF DE LEADING WORK STIPLATED IN THE LEAD PAINT INSPECTION REPORT AND SHALL BE ACCOMPLISHED FOR THE REQUIREMENTS OF FEDERAL AND STATE LEAD PAINT LAWS. NOTE: T CONTRACTOR IS RESPONSIBLE FOR LEAD REMEDIATION OF THE STRUCTURE AND THE SOILS SURROUNDING THE REPORT, AT THE COMPLETION OF THE PROJECT: THE CONTRACTOR SHALL PROVID TO THE PROFERTY OWNER A LETTER OF FULL COMPLIANCE.
- 2. DEMOLITION AND REMOVALS
- 2.A. ALL DEMOLITION AND REMOVAL WORK SHALL BE DONE WITH CARE FOR PROTECTION OF EXISTING PARTS OF THE BUILDING WHICH ARE TO REMAIN. IT SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR TO PROVIDE ANY TEMPORARY SHELTERS AND OTHER DEVICES REQUIRED FO
- 2.8. THE CONTRACTOR WILL BE HELD TO HAVE EXAMINED THE PREMISES BEFORE SUBMITTING HIS PROPOSAL FOR THE WORK AND TO HAVE SATISFIED HIMSELF AS TO THE EXISTING CONDITIONS AND DIMENSIONS UNDER WHICH HE WILL OBLIGATED TO OPERATE, OR THAT WILL IN ANY WAY EFFECT THE WORK UNDER THIS CONTRACT, INCLUDING THE TYPE AND AMOUNT OF EXISTING MATERIALS AND DEBRIS TO BE DEMOLISHED AND REMOVED AND THE DIFFICULTIES TO REMOVE WITHOUT DAMAGE TO THE ITEMS SPECIFIED TO BE REUSED OR SALVAGED. NO ALLOWANCES WILL BE MADE IN THE CONNECTION FOR ERROR OR NEGLIGENCE OF THE CONTRACTOR.
- 2.C. NO WORK SHALL BE STARTED IN OR ON THE BUILDING WITHOUT PRIOR APPROVAL OF THE
- 2 D. REMOVAL OF DOORS AND WINDOWS FROM EXTERIOR WALLS, REMOVAL OF ROOF CONSTRUCTION, AND REMOVAL OF OTHER ELEMENTS PROVIDING WEATHER PROTECTION AND SECURITY SHALL NOT BE COMMENCED UNITL TEMPORAY BYON, OSURES ARE IN PLACE, AND SHALL BE CLOSELY CORDITANTED WITH WORK OF OTHER TRADES SO AS TO ASSURE THE EARLIEST PRACTICABLE CLOSING-IN OF THE
- 2.E. DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE. DEBRIS FROM UPPER FLOORS MUST NOT BE THROWN FREE, BUT MUST BE CARRIED DOWN, MECHANICALLY LOWERED, OR DROPPED IN CHUTES. ALL DEBRIS SHALL BE ETHER STORED OUTSIDE THE BUILDING TEMPORARILY IN DUMPSTER TYPE CONTAINER(S) OR SHALL BE REMOVED FROM THE PREMISES DAILY AND LEGALLY DISPOSED OF OFF THE
- 2.F. THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING AND OTHER REINFORCEMENTS NEEDED TO MAKE ALL PARTS OF THE BUILDING SAFE BEFORE, DURING AND AFTER DEMOLITION WORK, THE TO MAKE ALL PAIS OF THE BUSINESS AFE BEFORE, UNLINE NUMBER THE DEMOLITION WORK. IF, AN OCCUPIED THE DEMOLITION PROCESS, AND NO FOR ASSERTATIONS THAT ALL SHORING AND BRACTING TS SOUND AND SUFFICIENT. THE CONTROL OF SHALL PROVIDE ANY ADDITIONAL SHORING AND BRACTING TS SOUND AT THE RESTRICTED MAY RECRUITED BY THE
- 2.6. THE OWNERS WILL OCCUPY AREAS OF THE HOUSE NOT SUBJECT TO THE WORK OF THIS CONTRACT. ERECT EFFECTIVE DUST BARRIERS BETWEEN THE WORK AREA AND THE OCCUPIED SECTIONS OF THE HOUSE. TAKE ALL MEASURES NECESSARY TO EASE TO OWNERS' USE OF THE HOUSE
- EXCAVATION AND SITE WORK
- 3.4. CLEAR ONLY THAT AREA OF THE SITE REQUIRED FOR CONSTRUCTION OF THE NEW WORK OUT THE CHANGE PROTECT AND PRESERVE THE STEER COLORS FOR CONSTITUTION OF THE REW WORK.

 THE ESS AND LINES OVER 3 THICHES IN DIAMETER TO 30' LENGTHS AND STACK ON THE SITE AS DIRECTED BY THE OWNER. CHIP ALL BRUSH AND OTHER REMAINS AND PLIE ON SITE AS DIRECTED BY THE OWNER. PROTECT AND PRESERVE INSULVALULATERS WHICH HAVE BEEN TAGGED TO BE SAVED.
- 3.8. EXCAVATE FOR FOUNDATIONS ONLY TO DEPTHS REQUIRED, LEAVING UNDISTURBED SOIL FOR THE PLACING OF FOOTINGS.
- 4.A. PROVIDE AND INSTALL CONCRETE PIER FOOTINGS., CUT SIDEWALK TO FACILITATE WALL REPAIR PROVIDE ON-GRADE PADS FOR NEW STEPS AND RAMP
- 4 A 1. CONCRETE MIX: 4000 PSI 28 DAY READY MIX 5 7% AIR ENTRAINING
- 4.A.2. MAXIMUM 6 GALLONS OF WATER PER BAG OF CEMENT.
- 4.A.3. MAXIMUM SLUMP: 4 INCHES.
- 4.B. WELDED WIRE REINFORCING FOR SLABS SHALL BE 6 INCH BY 6 INCH W 10 X W 10. RE-BARS SHALL CONFORM TO ASTM A-16, GRADE 60. MINIMUM CLEAR DISTANCES SHALL BE AS ESTABLISHED BY ACT

- 318 CODE. STAGGER SPLICES OF ADJACENT BARS. PROVIDE CHAIRS FOR BARS. ALL EMBEDDED ANCHORING DEVICES SHALL BE HOT DIPPED GALVANIZED.
- 4.C. FOOTINGS SHALL BE POURED ON UNDISTURBED SOIL
- 4.D SAW-CUT SIDEWALK TO THE EXTENT NEEDED TO PROVIDE ACCESS TO REPAIRS AT WALL. WHEN REPAIRS ARE COMPLETE, REPAIR SIDEWALK WITH MATCHING CONCRETE AND FINISH TEXTURE
- 4.E. RAMP LANDING SHALL HAVE BROOM FINISH
- 5. SECTION NOT USED
- 6. SECTION NOT USED
- 7. ROUGH FRANTING
- 7.A. SILLS, PLATES, STUDS, JOISTS (WHERE INDICATED), RAFTERS, BEAMS, TIES HEADERS, BRAING: NOZ SPRUCE-PINE-FIR, 1000 PSI MIN 18, 1,300,000 FSI MIN. E. SUBMIT SAMPLES AND STRESS ERADING DOCUMENTATION TO THE ARCHTECT FOR APPROVING.
- 7.8.1. SUBFLOORS: 3/4° C-D EXT DFPA, TONGUE AND GROOVE, GLUED AND SCREWED.
- 7.8.2. ROOF SHEATHING: 5/8" C-D EXT DFPA AT NEW SIDE-ENTRY PORCH, USE LIKE MATERIAL FOR
- 7.0.3. WALL SHEATHRING: 1.1/2" ZIP R SYSTEM INSULATED PANELS, FULLY TAPED, SEE ALTERNATE #2
- 7.C. USE GALVANIZED NAILS AT ALL EXTERIOR LOCATIONS.
- 7.D. JOIST HANGERS, BEAM ANCHORS, HURRICANE ANCHORS AND THE LIKE SHALL BE SIMPSON OF EQUAL, GALVANIZED FOR EXTERIOR USE. ANCHOR BOLTS SHALL BE HOT DIPPED GALVANIZED, SIZEI
- 7.E. PRESSURE TREATED LUMBER FOR SILL AND DECK FRAMING SHALL BE IMPREGNATED IN ACCORDANCE WITH THE SPECIFICATIONS OF KOPPERS CO. WITH WOLMAN CCA WOOD PRESERVATIVE OR APPROVED EQUAL.
- 7.F. MICRO-LAM BEAMS: GANG-LAM LVL BY LOUISIANA-PACIFIC CORPORATION, 3100FB-2.0E, SOUTHERN PINE. CONTRACTOR SHALL FOLLOW MANUFACTURER INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLATION AND STORAGE.
- 8.A. PROVIDE AND INSTALL ALL EXTERIOR TRIM AS INDICATED ON THE DRAWINGS
- B.A.1 EXTERIOR TRIM AT WINDOWS; DOORS; RAKE BOARDS; CORNER BOARDS; FASCIAS; CASINGS AND TRIM, RAILINGS, BRACKETS, ETC., SHALL BE FABRICATED OF CELLULAR PVC, AZEK OR APPROVED EQUAL, EXCEPT AS NOTEO DO THE DRAWTHOST.
- 8.A.2 ALL EXTERIOR TRIM SHALL BE FASTENED WITH STAINLESS STEEL NAILS
- B.B. PROVIDE AND INSTALL INTERIOR WOODWORK AS DETAILED ON THE DRAWINGS. INTERIOR WOODWORK INDICATED TO BE PAINT FINISHED SHALL BE CLEAR PINE OR POPLAR, OR APPROVED EQUAL, SUBMIT TO THE ARCHITECT FOR APPROVAL SAMPLES OF ALL PROFILES PRIOR TO FABRICATION
- B.C. CLOSET SHELVING SHALL BE 3/4" BIRCH VENEER PLYWOOD, EDGE BANDED WITH CLEAR PINE.
- 8.D. KITCHEN & BATH CABINETS. MEDICINE CABINETS: SUBMIT FOR APPROVAL COMPLETE SHOP DRAWINGS AND SAMPLE DRAWER AND DOOR FRONTS.
- B.D.1 WOOD-FACED CABINETS, FULL OVERLAY STYLE, SHAKER STYLE RAIL AND PANEL DOORS, FLUSH
- EXPOSED WOOD. HADD MADER OF EAD SONTO WOOD OF HADDWOOD DI VWOOD WITH SDADE A
- EXPOSED WOOD: HARD MARIE CLEAR SOLID WOOD OR HARDWOOD PLYWOOD WITH GRADE A FACES FER HEVA HE, I FOR FACTORY PAINT FILIDS!

 8.D.2 PLASTICLAMINATE: COUNTERTOPS AND SPLASHES: PLASTICLAMINATE: NEMALD 3, GRADE HES SUBSTRATE: PARTICLEBOARD, ANSI A708.1, GRADE M-2 OR EXTERIOR PLYWOOD, PS 1, GRADE C-2 PLUGGED, TOUGH SANDED. USE EXTERIOR PLYWOOD AT VANITIES AND TOPS WITH SINKS.

 8.D.3 COUNTERTOP CONFIGURATION FRONT SYMPHOLY SOLVED FOR STATEMENT SYMPHIED TO WALL ROADD
- - BATHROOM BACKSPLASH: 4" HIGH SQUARE EDGE.
- B.D.4. PROVIDE FULLY CONCEALED, ADJUSTABLE, SELF-CLOSING, EUROPEAN STYLE DOOR HINGES AND SELF CLOSING, HEAVY DUTY DRAWER GLIDES, JULIUS BLUM OR APPROVED EQUA
- 9. SECTION NOT USED
- 10. SECTION NOT USED
- 11. INSULATION AND AIR SEALING
- II.A. EXTERIOR WALLS, CELLINGS AND ROOFS: CLOSED OR OPEN CELL POLYURETHANE SPRAY FOAM AS NEEDED TO ACCIEVE R-VALUES INDICATED ON THE BRAWTINGS. WHERE FOAM INSULATION IS NOT COVERD BY 6-PSUM BOARD SPRAY APRLY THERMAL-IGHT TON BARRIET, INSULATING CONTRACTOR SHALL SUBMIT PROPOSED INSULATION MATERIALS, THICKNESSES AND R-VALUES TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION PROVIDE FULL DOCUMENTATION AND CERTIFICATES OF MATERIALS, INSTALLATION AND R-VALUES ACHIEVED.
- 11.B FIRST FLOOR OVER BASEMENT FIBERGLASS BATTS, R-30
- 11 B. INSTALL 6" SOUND BATT INSULATION AT FLOOR/CEILINGS BETWEEN RESIDENTIAL UNITS AND TIAL UNITS AND RETAIL SPACE
- 11.C. INSTALL 4" SOUND BATT INSULATION AT WALLS WHERE INDICATED ON THE DRAWINGS.
- 11.D.1 PROVIDE CONTINUOUS AIR BARRIER TO THE ENTIRE EXTERIOR BUILDING ENVELOPE.
- 11 D.2 SEAL FRAMING JOINTS AT SILL PLATES, RIM JOISTS, SHOES, TOP PLATES, HEADERS, CORNERS
- 11.D.3 SEAL ALL WALL PENETRATIONS
- 11D.4 LIGHTING FIXTURES AND OTHER ELECTRICAL FIXTURES WHICH PENETRATE THE BUILDING
- 12.A. PROVIDE AND INSTALL ASPHALT SHINGLE ROOF.
- 12.4.1 NEW ROOF SHINGLES SHALL BE 30-YEAR ARCHITECTURAL GRADE, MANUFACTURED BY TAMKO, GAF, OR CERTAIN TEED. SHINGLES FROM OTHER MANUFACTURERS THAT MEET OR EXCEED THE QUALITY OF THOSE SPECIFIED ARE ACCEPTABLE. SHINGLES TO CARRY NATIONAL UNDERWRITERS CLASS C OR A LABEL. UTILIZE NAILING PATTERN AND QUANTITY AS SPECIFIED BY THE MANUFACTURER. NOTE: ONLY NAILS (NO STAPLES) APPROVED BY THE SHINGLE MANUFACTURER SHALL BE UTILIZED: THE CONTRACTOR MUST TAKE INTO CONSIDERATION PER THE SHINGLE MANUFACTURES THE LOCATION OF THE PROPERTY, I.E.: COASTAL AREA ETC. WHEN DETERMINING THE TYPE OF NAILS STAINLESS, GALVANIZED OR STEEL) TO UTILIZE. THE COLOR SELECTION IS TO BE MADE BY THE

- 12.C ROOFING FELTS SHALL BE ASPHALT-SATURATED FELT PAPER, MINIMUM 15 POUND, WITH 3" MINIMUM LAPS. IN PLACE OF FELTS AT LOWER ROOF EDGES, INSTALL ONE 36" WIDE COURSE OF ICE AND WATER SHIELD BY W. R. GRACE, CONSTRUCTION PRODUCTS DIVISION
- 13.A. SHINGLES SHALL BE CLEAR MAIBEC P & R EASTERN WHITTE CEDAR SHINGLES, GRADE EXTRA, 5' WEATHER EXPOSURE. NO POWER DRIVEN STAPLES WILL BE ALLOWED. POWER DRIVEN NAILS MAY BE ALLOWED PROVIDED THAT THE CONTRACTOR CAN DEMONSTRATE TO THE ARCHITECT THAT MACHINE NAILING WILL NOT OVER-COMPRESS THE SHINGLES.
- 13.B. CLAPBOARDS SHALL BE HARDIE PLANK LAP SIDING SMOOTH, OR APPROVED EQUAL, 5 ‡ INCHES FOR 4 INCH EXPOSURE, PRE-PAINTED WITH FACTORY STOCK COLOR, AS SELECTED BY THE OWNER, INTALL ACCORDING TO MANUFACTURER'S REQUIREMENTS.
- 13.C. BOARD AND BATTEN SIDING SHALL BE HARDIE PANEL VERTICAL SIDING SMOOTH, OR APPROVED EQUAL, 5/16* THICK, PRE-PAINTED WITH FACTORY STOCK COLOR, AS SELECTED BY THE OWNER INTALL ACCORDING TO MANUFACTURER'S REQUIREMENTS.
- 14. GUTTERS AND DOWNSPOOUTS
- 14.A. GUTTERS AND DOWNSPOUTS SHALL BE STOCK ALUMINUM TO MATCH EXISTING.
- 15.A. DOORS SHALL BE AS INDICATED ON THE DOOR SCHEDULE IN THE DRAWINGS
- HARDWRE SET A RETAIL ENTRY: 1 + PAIR BUTTS, SCHLAGE LOCKSET JIODOV 630, SCHLAGE DEADBOLT
- ARDWARE SET B ENTRY: 1 \$ PAIR BUTTS, SCHLAGE LOCKSET J54DOV 630, CLOSER UH4051
- HARDWARE SET C PRIVACY: 1 } PAIR BUTTS, SCHLAGE LOCKSET J40DOV 630
- ARDWARE SETE CLOSET: 1 } PAIR BUTTS, SCHAGE LOCKSET J10DOV 630
- ROWARE SET F UNIT ENTRY: 1 ‡ PAIR BUTTS, SCHLAGE LOCKSET J54DOV 630, SCHLAGE DEADBOLT 860 626, CLOSER UH405
- STOPS: PROVIDE ONE STOP, WALL OR FLOOR MOUNTED AS APPROVED BY THE ARCHITECT, AT EACH
- 15.C. PROVIDE ALL OTHER MISCELLANEOUS HARDWARE, INCLUDING DOOR STOPS, NOT SCHEDULED BUT USUALLY REQUIRED FOR A COMPLETE JOB. MATCH LOCKSET FINISH.
- 15.D. NEW WINDOWS SHALL BE AS INDICIATED ON THE DRAWINGS, OR APPROVED EQUAL. SEE
- 16.A. DRYWALL SYSTEM SHALL BE USG IMPERIAL GYPSUM BASE WITH IMPERIAL PLASTER SKIM COAT, JOINT TAPE AND ACCESSORIES SHALL BE AS RECOMMENDED BY THE DRYWALL MANUFACTURER.
- 16.B. SKIM COAT FINISH SHALL BE SMOOTH AT WALLS AND CEILINGS
- 17.4. PAINT ALL WORK USING ONLY HIGH QUALITY PAINTS, VARNISHES AND STAINS, PAINTS SHALL RE BY PITTSBURGH, RENJAMIN MOORE, OR APPROVED FOUND, PRIMER SHALL BE SLOW DRYING OIL BE BY AT ITS SURGET, EEN AMAIN MOCKET, OR APPROVED CEQUAL. FRAMES PHALL BE SLOW WORTHOUT.

 REASE, ALL FINISH PHAINT SHALL BE AGRYLLG AT ALL EXTERIOR TRUM, INTEGEOR WALLS, AND INTEGEOR

 TRIM THE OWNER SHALL HAVE AN UNLIMITED CHOICE OF COLOR, PUTTY ALL NAIL HOLES AND CRACKS

 AFTER PRIME COAT OR SEALER. SAND TO A SMOOTH SURFACE BETWEEN EACH COAT, REMOVING ALL

 COATSILES ON THE SHALL HAVE AND COLOR PROSPECTED TO THE SHOP OF THE SHALL BE SHOWN THE SHALL BE SHALL
- 17.B. AT EXTERIOR PAINT ALL NEW AND EXISTING WORK, MINIMUM ONE COAT PRIMER, TWO COATS FINISH FOR FULL COVERAGE. AT EXISTING TRIM REMOVE ALL LOOSE PAINT. SAND AND FEATHER EDGES OF SOUND REMAINING PAINT. SPOT PRIME ALL BARE AREAS AND APPLY TWO COATS FINISH.
- 17.C. INTERIOR WALLS AND CEILINGS SHALL HAVE ONE COAT PRIMER AND TWO COATS FINISH
- 17.D. INTERIOR TRIM, DOORS AND FINISH CARPENTRY WORK WHERE PAINTED SHALL HAVE ONE COAT PRIMER AND MINIMUM TWO COATS FINISH FOR FULL COVERAGE
- 17.E. DO ALL OTHER MISCELLANEOUS PAINTING, STAINING, VARNISHING AND TOUCH-UP USUALLY
- 18 A. FLOORING AT EXIT STAIR LANDINGS SHALL BE WHITE OAK STRIP. STAIR TREADS SHALL BE SOLID WHITE OAK TO MATCH FLOORING. SAND AND FINISH ALL WOOD FLOORS WITH THREE COATS OIL BASED POLYURETHANE: 1 COAT SEALER, 1 COAT HIGH GLOSS POLYURETHANE, 1 COAT SATIN
- 18.8. VINYL PLANK FLOORING SHALL BE SHAW FLOORS URBANITY 20P 6" LUXURY VINYL PLANK COLOR AND PATTERN: AS SELECTED BY OWNER
- 19 CERANTO TILE
- 19 A CEDANTO MOSATO FLOOR TILE: UNGLAZED CUSHTON-EDGED TILE AMERICAN OLEAN UNGLAZED OLOR BODY PORCELAIN TILE. MODULE SIZE: 2 BY 2 INCHES (50.8 BY 50.8 MM), COLOR: AS SELECTED BY
- 19.8 TILE UNDERLAYMENT FOR FLOORS AND WALLS SHALL BE 1/2" REINFORCED CEMENT BOARD, WONDERBOARD OR EQUAL, PROVIDE ALL SETTING AND GROUTING MATERIALS AND LABOR
- 20 BATH ACCESSORIES
- 20.A. AT EACH UNIT BATHROOM PROVIDE MOEN BRANTFORD TOILET PAPER HOLDER CHROME (2) MOEN BRANTFORD 24" TOWEL BARS CHROME SHOWER CURTAIN ROD CHROME AND MEDICINE CARTNET PROVIDE BLOCKING AS REQUIRED FOR SECURE ANCHORING.
- 208. AT ACCESSIBLE TOILET PROVIDE TOILET PAPER HOLDER, PAPER TOWEL DISPENSER, SOAP DISPENSER, MIRROR AND GRAB BARS. ALL ACCESSORIES SHALL MEET ADA REQUIREMENTS
- 21. FIRE SPRINKLER SEE NOTES ON DRAWING M-1
- 22. PLUMBING SEE NOTES ON DRAWING M-2
- 23. HEATING AND DOMESTIC HOT WATER SEE NOTES ON DRAWING M-2
- 24. FLECTRICAL SEE NOTES ON DRAWING M-1

PLANNING SEP 11 2015 DEPARTMENT

CHRISTOPHER-T. WISE - ARCHITECT

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CONSULTANTS.

NOTES

the resource inc. Community & Economic Developmen

REHABILITATION OF 157 ASH STREET NEW BEDFORD, MA

TITLE

DRAWING NOTES

SCALE: DATE: JULY 8, 2015 DRAWN: CTW REVISED: SEPT. 3, 2015

DRAWING NUMBER

RE-BID SET - NOT FOR CONSTRUCTION CHRISTOPHER T. WISE - ARCHITECT

CAS5 22-15

ELECTRICAL NOTES

- THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL A COMPLETE ELECTRICAL SYSTEM IN CONFORMANCE WITH THE DRAWINGS, THE NATIONAL ELECTRICAL CODE, THE MASSACHUSETTS ELECTRICAL CODE AND THE REQUIREMENTS OF LOCAL AUTHORITIES.
- THE WORK REQUIRED SHALL CONSIST OF ALL LABOR, MATERIALS, TOOLS, APPLIANCES, SERVICES AND STABING TO ACCOMPLISH THE SPECIFIED WORK. THE WORK SHALL INCLUDE BUT IS NOT NECESSARILY LIMITED TO THE FOLLOWING:
- b. ALL REQUIRED CONDUIT, BOXES AND DEVICES.
- c. LIGHTING FIXTURES AND LAMPS AS INDICATED ON THE DRAWINGS AND THE FIXTURE SCHEDULE.
- d. WIRING AND FIXTURES FOR SMOKE DETECTOR SYSTEM AS SHOWN ON THE DRAWINGS AND AS REQUIRED BY LOCAL AUTHORITIES.
- e. TELEVISION WIRING WITH COAXIAL CABLE.
- f. TELEPHONE WIRING
- 3. AUDIO VISUAL AND ALARM WIRING WILL BE PERFORMED BY OTHERS

KEY TO ELECTRICAL SYMBOLS

- E DUPLEX OUTLET
- GFT G= DUPLEX OUTLET, GROUND FAULT PROTECTED
 WP G= DUPLEX OUTLET, WATERPROOF
 G- APPLIANCE OUTLET

- SWITCH
- THREE WAY SWITCH
- ♦x CEILING SURFACE MOUNT LIGHT FIXTURE WITH LETTER CODE

- PB DOOR BELL
 OSD SMOKE DETECTOR
 OCO CARBON MONOXIDE DETECTOR
- OT THERMOSTAT
- A TEL TELEPHONE JACK
- ☐TV CABLE TV JACK
 ☐EX EXHAUST FAN

ELECTRICAL FIXTURE SCHEDULE

O - FIXTURE PROVIDED BY OWNER, TO BE INSTALLED UNDER THIS CONTRACT U - 48°, 2-TUBE FLUORESCENT UTILITY FIXTURE EX - PANASONIC EXHAUST FAN PY-11VQQ.15

FIRE SPRINKLER SYSTEM NOTES

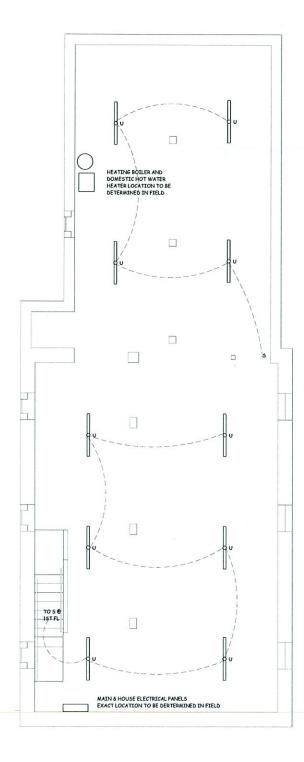
SPRINKLER SYSTEM. A BUILDING WIDE SPRINKLER SYSTEM WITH SEPARATE WATER SUPPLY AS REQUIRED BY THE CITY OF NEW BEDFOOD CODE ENFORCEMENT DEPARTMENT AND FIGE DEPARTMENT SHALL BE DESIGNED AND FARECATED AND INSTALLED BY SPRINKLER/FIRE ALARM COMPANY LICENSED TO DESIGN AND INSTALL THE SYSTEM.

NOTE: ALL SPRINKLER LINES WITHIN THE CORRIDORS, THE STAIRWAY AND OTHER

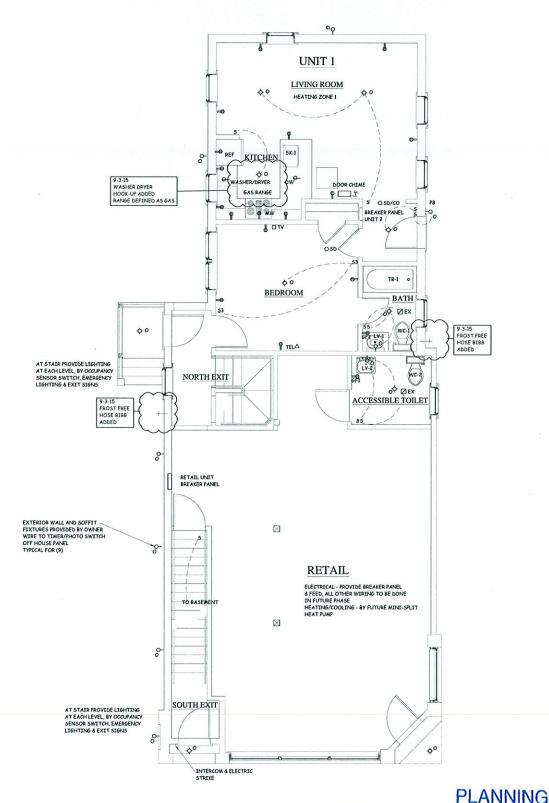
NOTIFE TALL SPECIALER LINES WITH THE CORRECTIONS, THE STATEWAY AND OTHER COMMON SHALL BE CONCRETED WORK COWNLETED UNDER THIS SECTION OF THE CONTRACT WILL BE PERMITTED, INSPECTED AND APPROVED BY THE CITY'S ELECTRICAL INSPECTOR AND THE FIRE DEPARTMENT PRIOR TO REQUISITIONING FUNDS FOR ITHIS WORK.

NOTE 3: THE WORK IN THIS SECTION IS SUBJECT TO THE REQUIREMENTS OF THE BREDITION OF 780 CMR. THE MASSACHUSETTS BASIC/COMMERCIAL BUILDING CODE: CHAPTER FIRE AND SMOKE PROTECTION DEVICES, CHAPTER 9 FIRE ROTECTIONS VISTEMS CHAPTER 9 FIRE PROTECTION SYSTEMS CHAPTER 9 FIRE PROTECTION SYSTEMS CHAPTER 9 FIRE PROTECTION OF WITH SCHAPTER 9 FIRE PROTECTION SYSTEMS CHAPTER 9 FIRE PROTECTION SYSTEM

PROTECTION SYSTEMS, CHAPTER 27 ELECTRICAL, CHAPTER AND CHAPTER 29 PLUMBING SYSTEMS OF THE 2009 INTERNATIONAL BUILDING CODE; 2012INTERNATIONAL ENERGY CONSERVATION CODE AND THE 2009 INTERNATIONAL EXISTING BUILDING CODE.



BASEMENT PLAN



FIRST FLOOR PLAN

SEP 11 2015 DEPARTMENT



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NOTES



REHABILITATION OF 157 ASH STREET NEW BEDFORD, MA

TITLE

BASEMENT & 1ST FLOOR **MECHANICALS**

SCALE: 1/4" = 1'-0" DATE: JULY 8, 2015 DRAWN: CTW REVISED: SEPT. 3, 2015

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HEATING AND HOT WATER NOTES

GENERAL: THE PLUMBING CONTRACTOR SHALL INSTALL IN THE BASEMENT ONE NI HEATING BOILER AND ONE (I) IN-DIRECT WATER HEATER TO HEAT ALL THREE RESIDENTIAL UNITS. THE CONTRACTOR WILL HAVE A HEATING ENSINEER FROM SUPPLIER PROPERLY SIZE THE EQUIPMENT AND THE UNIT RADIATION REQUIRED. COPY OF THE CALUDLATIONS AND THE METHOD UTILIZED TO MAKE THE CALUCLAT IN SIZING THE HEATING UNIT SHALL BE PRESENTED TO THE OWNER PRIOR TO THE PRICHASE OF THE EQUIPMENT. THE NEW SYSTEM SHALL BE FREED BY NATURAL 6, AND SHALL HAVE THE HIGHEST EFFICIENCY RATING POSSIBLE (APPROXIMATELY 5 TO 95%).

BOILER SELECTION: THE NEW BOILER SHALL BE ONE OF THE FOLLOWING:

HTP MC SERIES STAINLESS STEEL GAS FIRED HOT WATER CIRCULATING HEATER.
VIESSMANN STAINLESS STEEL GAS FIRED HOT WATER CIRCULATING HEATER
KNIGHT STAINLESS STEEL GAS FIRED HOT WATER CIRCULATING HEATER.

WATER HEATER SELECTION: THE NEW WATER HEATER SHALL BE ONE OF THE

HTP SUPERSTOR ULTRA STAINLESS STEEL IN-DIRECT WATER HEATER WEL-MCLAIN STAINLESS STEEL IN-DIRECT WATER HEATER; SQUIRE STAINLESS STEEL IN-DIRECT WATER HEATER

TIE-INS: THE HOT WATER SHALL BE TIED INTO THE NEW BOILER AS SPECIFIED B'
BOILER AND WATER HEATER MANUFACTURET. THE NEW BOILER WILL BE DIRECT
VENTED WITH PWC THROUGH THE EXTERIOR WALL OR ROOP OF THE STRUCTURE; T
CONTRACTOR SHALL SEAL THE EXISTING VENT HOLES IN THE CHIMNEY.

BOILED/WATER HEATER SPECS: THE CONTRACTOR SHALL INDICATE ON LINE XA O BID SHEET, WHICH BOLDER AND IN-DIRECT WATER HEATER TO BE INSTALLED AT PROPERTY. SPECIFICATION INJUDING DIAGRAMS ILLUSTRATING THE LAYOUT ON BOILER, THE WATER HEATER AND CIRCULATORS SHALL BE SUBMITTED TO THE TRIP HER REPRESENTED TO THE CONTRACTOR WHOSE BID LEADS TO ASSIGNMENT THE REOJECT. THE SUBMITTALS WILL BE PRESENTED TO THE OWNER WITHIN TED MAYS OF BID AWARD. NO EQUIPMENT WILL BE INSTALLED UNTIL THIS REQUIRED IS MET. THE HEATING CONTRACTOR INSTALLING THE EQUIPMENT SHALL BE TRACHOLD OWNER WITHIN THE CONTRACTOR INSTALLING THE EQUIPMENT SHALL BE TRACHOLD OWNER WITHIN THE PROPERTY.

WITHIN THE UNITS: THE CONTRACTOR SHALL REMOVE ALL EXISTING HEATING RADIATORS AND PIPING AND INSTALL A COMMETE NEW SYSTEM WITH ONE ZONE FOR UNIT: THE HEATING ELEMENTS SHALL BE MANUFACTURED LOW PROPILE SLANT FIN OR EQUAL; THE THERMOSTAT WILL BE THE ENERGYSTAR APPROVED PROGRAMMABLE TYPE.

NOTE 1: ALL GAS PIPING FROM THE METER TO THE BOILER IS TO BE INCLUDED.

NOTE 2: ALL WIRING REQUIRED FOR THE BOILER & WATER HEATER SHALL INCLUD

NOTE 3: THE NEW HEATING AND HOT WATER SYSTEM SHALL BE INSTALLED PER TI MANNFACTURER'S SPECIFICATIONS: WHEN COMPLETELY INSTALLED, THE EQUIPM SHALL BE CALIBRATED, BALANED AND ALL ASPECTS OF THE UNIT CHECKED TO IN IT 15 FUNCTIONINS PROPERLY AND PER THE MANNFACTURER'S SPECIFICATIONS. INSTALLER SHALL COMPLETELY FAMILIARIZE THE PROPERTY OWNER WITH THE PRIMED FOR OPERATING THE NEW HEATING AND HOT WATER SYSTEMS. THE MANNFACTURER'S SPECIFICATIONS AND WARRAINTY INFORMATION SHALL BE PRESENTED TO THE PROPERTY OWNER DURING THE EQUIPMENT TRAINING SESSI

NOTE 4: INSULATE ALL PIPING INCLUDING PEX WITH ARMAFLEX INSULATION.

NOTE 5: THE WORK IN THIS SECTION SHALL MEET ALL REQUIREMENTS OF THE 8TH EDITION OF 780 CMR, THE MASSACHUSETTS BASIC/COMMERCIAL BUILDING CODE CHAPTER 7, CHAPTER 27, CHAPTER 28, CHAPTER 29 AND CHAPTER 34 OF THE 2009 INTERNATIONAL BUILDING CODE AND NATIONAL ELECTRICAL CODE: THE 2009 INTERNATIONAL BUILDING CODE: THE 2012 INTERNATIONAL ENREPY CONSERVAT CODE AND THE 2009 INTERNATIONAL ENTERTING BUILDING CODE

NOTE 6: HEATING AND COOLING OF THE RETAIL SPACE ARE NOT PART OF THIS PROJECT, BUT WILL BE INSTALLED UNDER A LATER PHASE O F WORK.

PLUMBING NOTES

PERFORM ALL PLUMBING WORK IN CONFORMANCE WITH THE MASSACHUSETTS PLUMBING CODE AND ALL LOCAL REGULATIONS.

ALL DOMESTIC HOT WATER SUPPLY PIPING SHALL BE INSULATED WITH NOMINAL 1/2" WALL THICKNESS FLEXIBLE ELASTOMERIC CLOSED CELL PIPE INSULATION.

PROVIDE CONNECTIONS TO WATER, SEWAGE DISPOSAL SYSTEM AND NATURAL GAS, AS SHOWN ON THE SITE PLAN.

PROVIDE CIRCULATING HOT WATER TO ALL HOT WATER FIXTURES.

PROVIDE PIPE SIZES TO ASSURE MAXIMUM PRESSURE AND FLOW TO ALL FIXTURES.

PLUMBING FIXTURES

NOTE: EQUAL PRODUCTS OF OTHER MANUFACTURERS MAY BE SUBSTITUTED WITH THE PRIOR APPROVAL OF THE OWNER SUBMIT PRODUCT CUT SHEETS FOR APPROVAL PRIOR TO ORDERING

LV-1 KOHLER PENNINGTON K-2196-1-0 WHITE Simmons Allure Two Handle Centerset Model SLC-4712-1.5 with Satin Nickel finish.

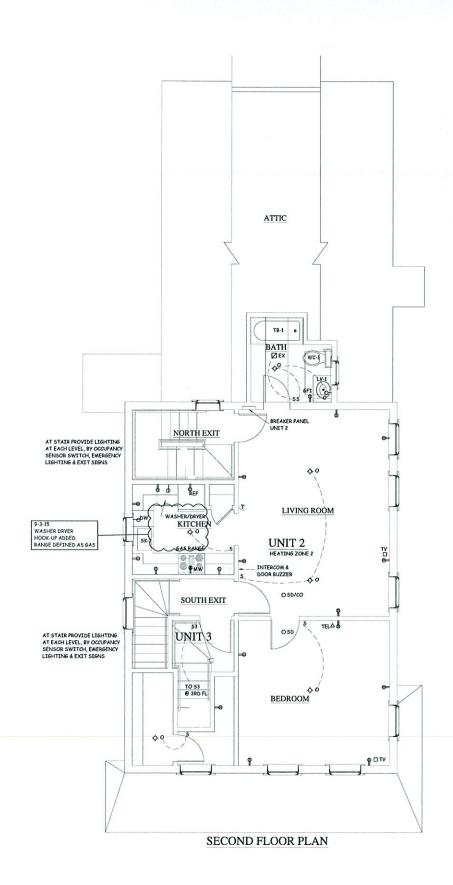
LV-2 KOHLER PINOIR K-2035-1-0 Simmons Allure Two Handle Centerset Model SLC-4712-1.5 with Satin Nickel finish.

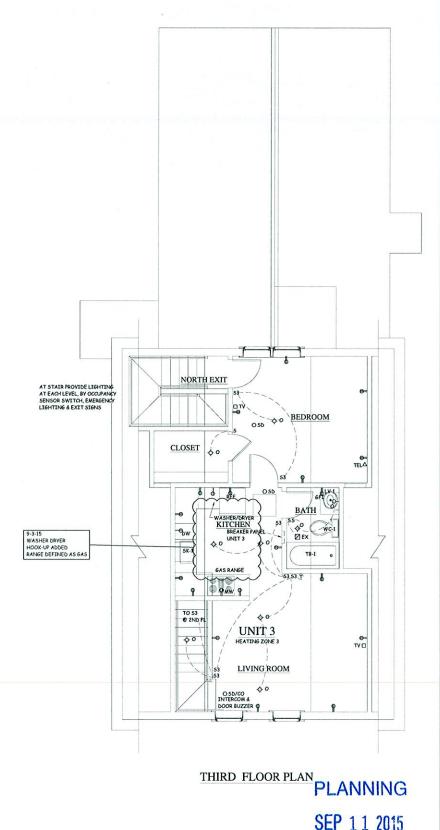
SK-1 ELKAY STAINLESS DROP-IN 25 X 22, 10" DEEP 18 GAUGE Delta Windemere Two Handle Kitchen Faucet Model # 21996LFSS.

WC -1 Sterling Rockton™ Luxury Height® Toilet with Dual Force® FlushingTechnology - White

WG-2 Sterling Stinson® Luxury Height Elongated Toilet with ProForce™ Technology - White

TB-1 Sterling AdvantageTM Smooth Bath/Shower - White, Simmons Allure Single Handle Tub/Shower Valve Model #5-4700TS with Satin Nickel finish





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REHABILITATION OF 157 ASH STREET NEW BEDFORD, MA

TITLE

DEPARTMENT

2ND & THIRD FLOOR MECHANICALS

SCALE: 1/4" = 1'-0" DATE: JULY 8, 2015 DRAWN: CTW REVISED: SEPT. 3, 2015

DRAWING NUMBER

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