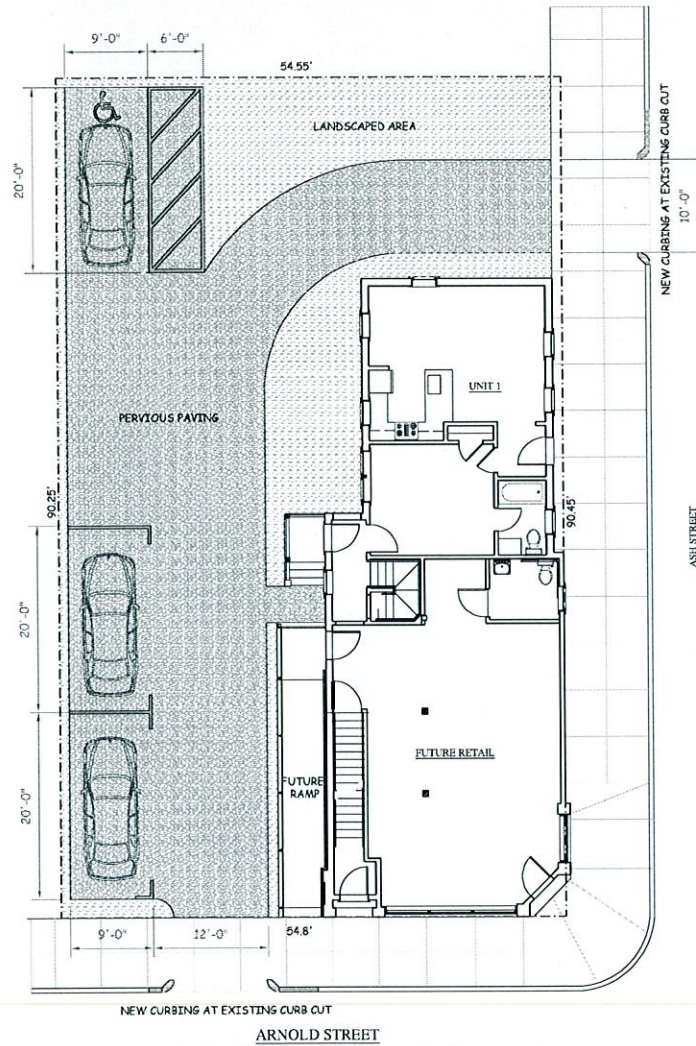




LOCUS PLAN



PLAN DERIVED FROM CITY OF NEW BEDFORD
ASSESSORS MAP



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Community & Economic Development

REHABILITATION OF
157 ASH STREET
NEW BEDFORD, MA

TITLE
SKETCH SITE PLAN
FOR SEPCIAL PERMIT TO REDUCE PARKING

SCALE: 1/8" = 1'-0"
DATE: SEPT. 9, 2015
DRAWN: CTW
REVISED:
DRAWING NUMBER

L-01 

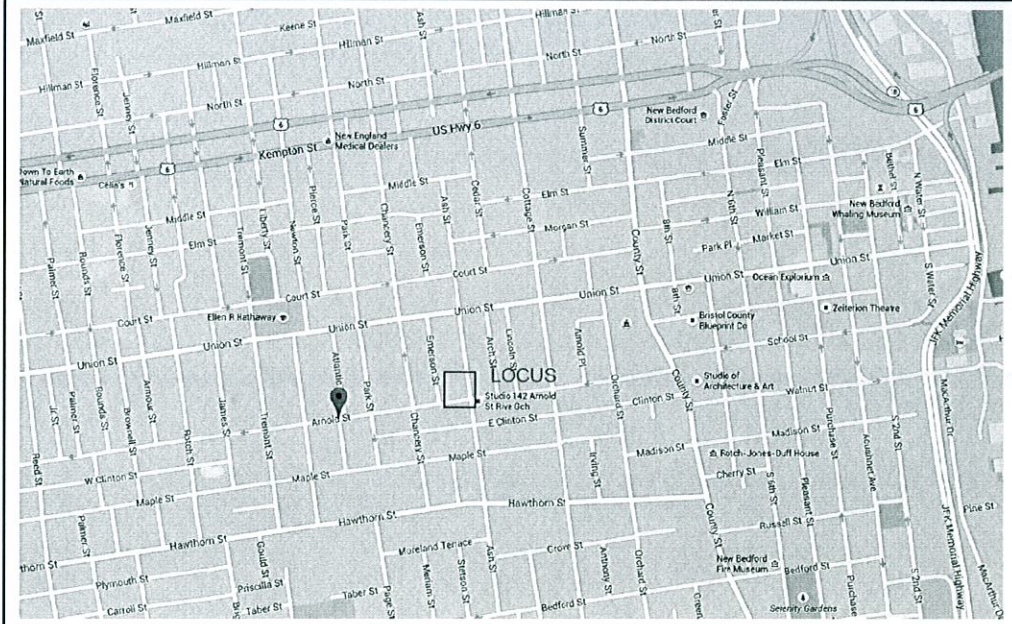
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CASE 22-15



LOCUS PLAN

CITY CLERKS OFFICE
NEW BEDFORD, MA

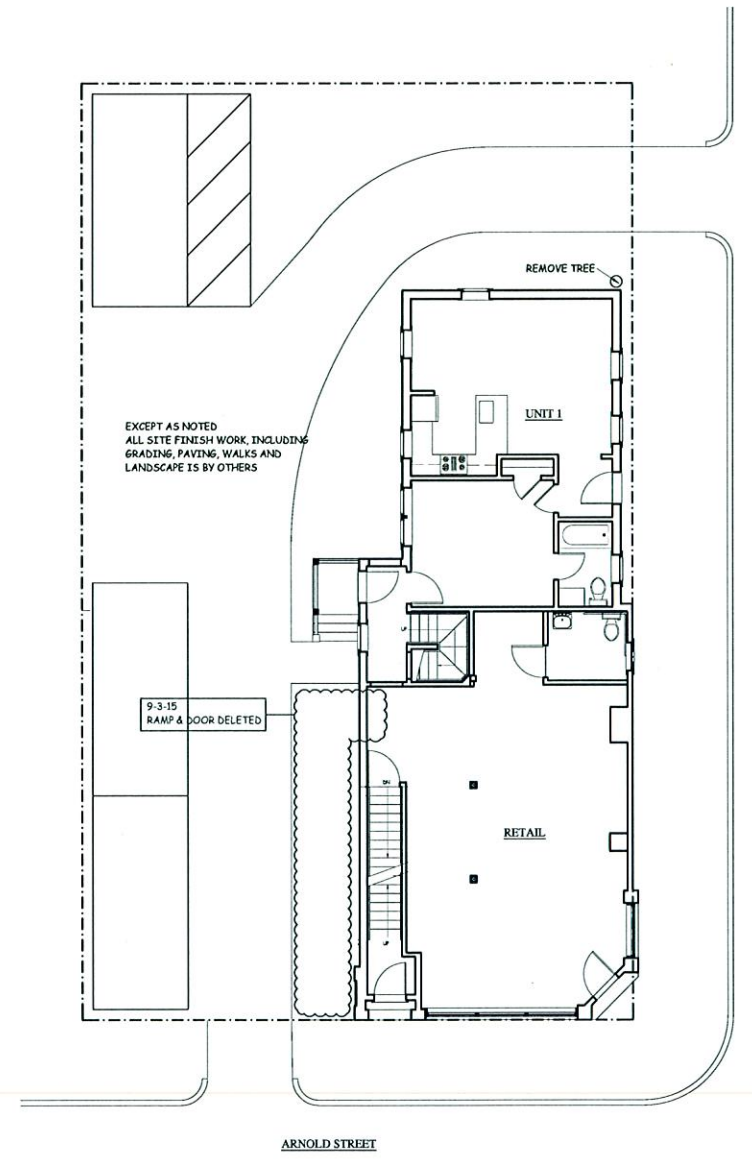
2015 SEP 11 P 1:26

CITY CLERK

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9-3-15 SEE REVISIONS



SKETCH SITE PLAN

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REHABILITATION OF
157 ASH STREET
NEW BEDFORD, MA

TITLE
SKETCH SITE PLAN

SCALE: 1/8" = 1'-0"
DATE: JULY 8, 2015
DRAWN: CTW
REVISED: SEPT. 3, 2015
DRAWING NUMBER

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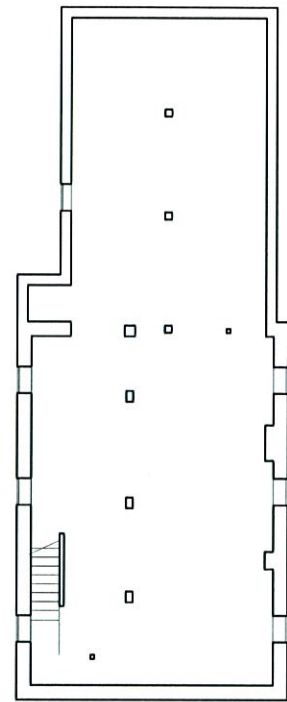
DRAWINGS:

- L-01 SKETCH SITE PLAN
- A-01 DEMOLITION PLANS
- A-02 BASEMENT & FIRST FLOOR PLANS
- A-03 FIRST & SECOND FLOOR PLANS
- A-04 ELEVATIONS
- A-05 WALL SECTIONS - 1
- A-06 WALL SECTIONS - 2
- A-07 DOORS & WINDOWS
- A-08 DRAWING NOTES
- M-01 BASEMENT & FIRST FLOOR MECHANICALS, NOTES
- M-02 SECOND & THIRD FLOOR MECHANICALS, NOTES

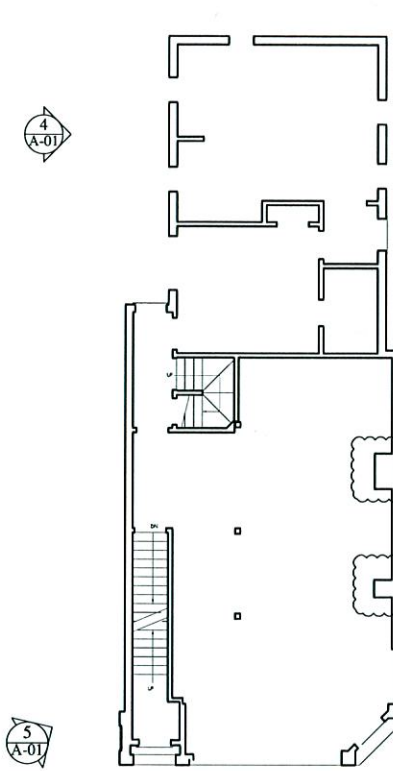
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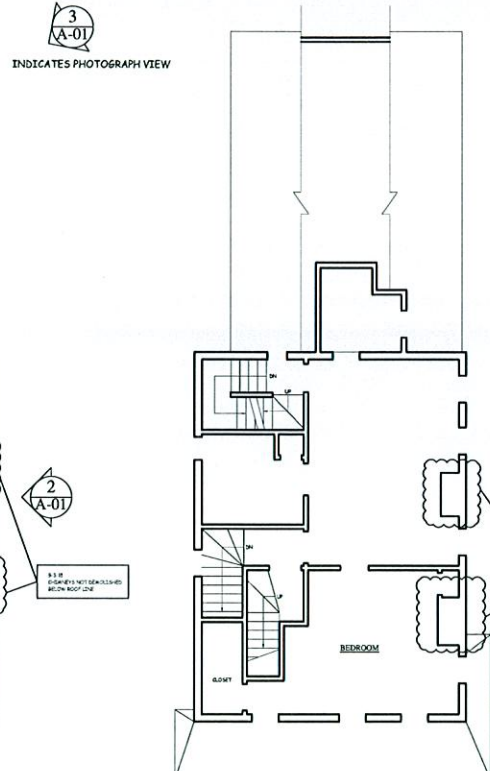
Chs 22-15



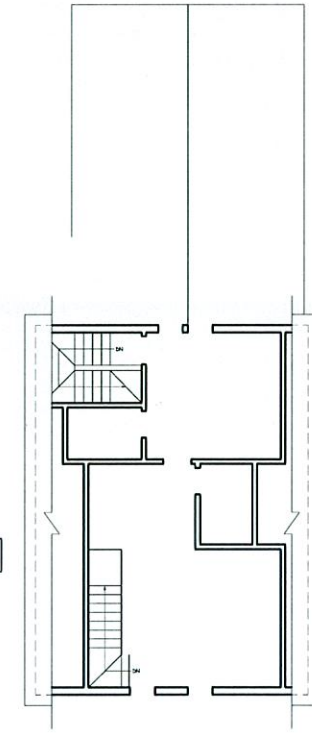
BASEMENT DEMOLITION PLAN



FIRST FLOOR DEMOLITION PLAN

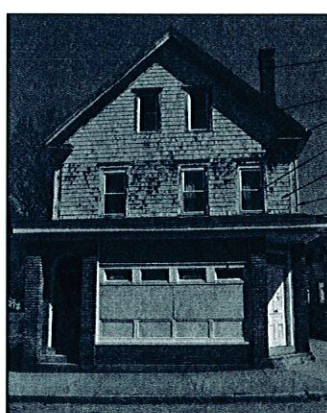
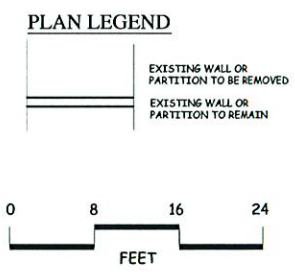


SECOND FLOOR DEMOLITION PLAN



THIRD FLOOR DEMOLITION PLAN

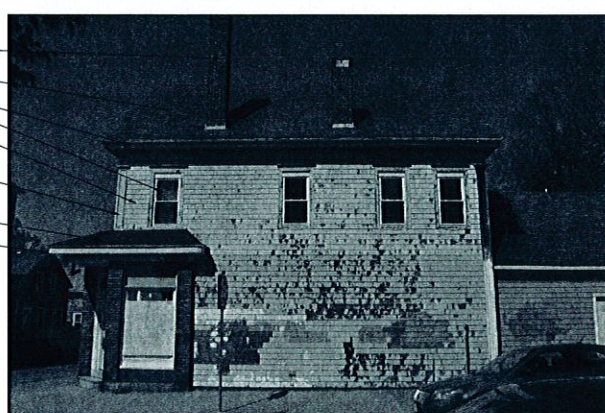
GENERAL NOTES FOR INTERIOR DEMOLITION:
 REMOVE ENTIRE PARTITIONS AS INDICATED ON THE PLANS.
 REMOVE ALL OTHER MATERIALS DOWN TO BARE FRAMING,
 INCLUDING BUT NOT LIMITED TO WOOD TRIM, DOORS AND DOOR FRAMES, CABINETS, WALL AND CEILING PLASTER, FINISHED
 FLOORS, INSULATION, ELECTRICAL WIRING, PLUMBING, HEATING AND APPLIANCES.
 NOTE THAT LEAD PAINT HAS BEEN IDENTIFIED THROUGHOUT THE BUILDING - SEE LEAD PAINT REPORT.
 HANDLE AND DISPOSE OF LEAD PAINT BEARING MATERIALS IN ACCORDANCE WITH THE REQUIREMENTS
 OF STATE AND FEDERAL LEAD PAINT LAWS.



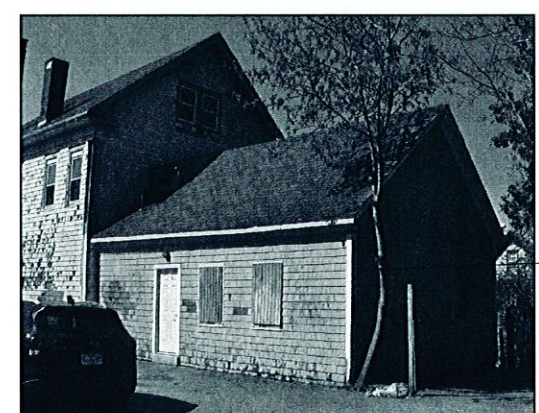
1 EXISTING LOOKING NORTH

NOTES FOR EXTERIOR DEMOLITION - TYPICAL FOR ALL
 CLEARANCES -
 REMOVE CHIMNEYS DOWN TO BELOW ROOF
 REMOVE ROOFING DOWN TO SHEATHING
 REMOVE EAVE, RAKE AND CORNICE TRIM
 REMOVE WINDOWS AND WINDOW TRIM
 REMOVE SIDING - NOTE THAT CERTAIN SECTIONS
 OF THE BUILDING HAVE MORE THAN ONE LAYER
 OF SIDING
 REMOVE CORNER BOARDS AND OTHER MISCELLANEOUS
 TRIM
 REMOVE ROOFING DOWN TO SHEATHING
 TRIM AT STOREFRONT CORNICE IS NOT TO BE
 REMOVED

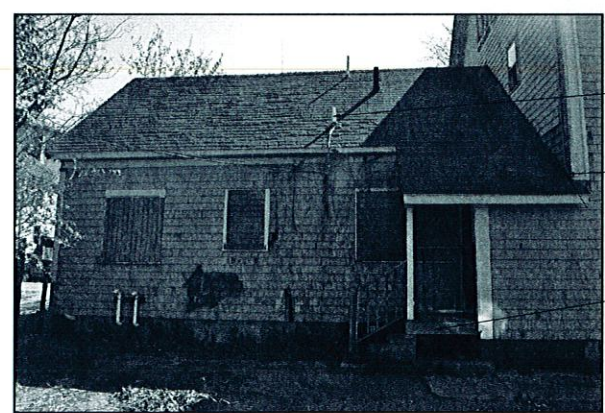
NOTE THAT LEAD PAINT HAS BEEN IDENTIFIED AT
 THE EXTERIOR OF THE BUILDING
 HANDLE AND DISPOSE OF LEAD PAINT BEARING MATERIALS
 IN ACCORDANCE WITH THE REQUIREMENTS OF STATE AND
 FEDERAL LEAD PAINT LAWS



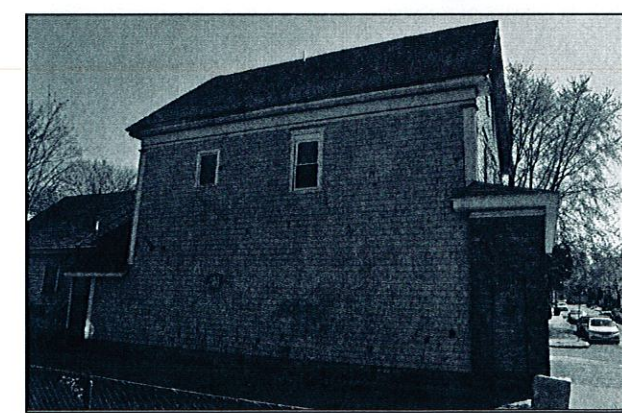
2 EXISTING LOOKING WEST



3 EXISTING LOOKING SOUTHWEST



4 EXISTING LOOKING EAST



5 EXISTING LOOKING EAST

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REHABILITATION OF
 157 ASH STREET
 NEW BEDFORD, MA

TITLE
 DEMOLITION PLANS

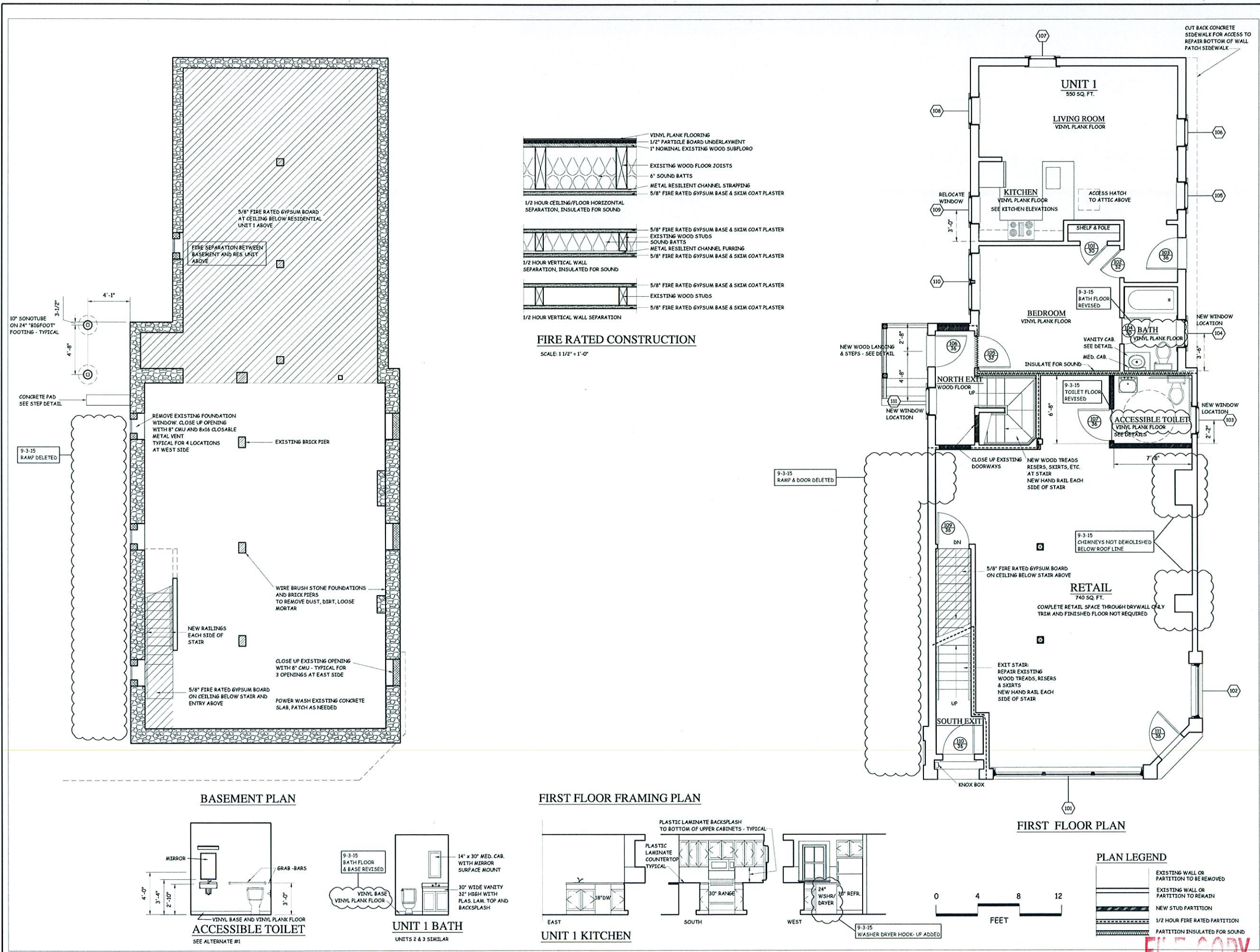
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 DATE: JULY 8, 2015
 DRAWN: CTW
 REVISED: SEPT. 3, 2015
 DRAWING NUMBER

A-01

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REHABILITATION OF
 157 ASH STREET
 NEW BEDFORD, MA

TITLE
 BASEMENT &
 FIRST FLOOR PLANS

SCALE: 1/4" = 1'-0" **PLANNING**

DRAWN: CTW **SEP 11 2015**

DRAWING NUMBER
A-02

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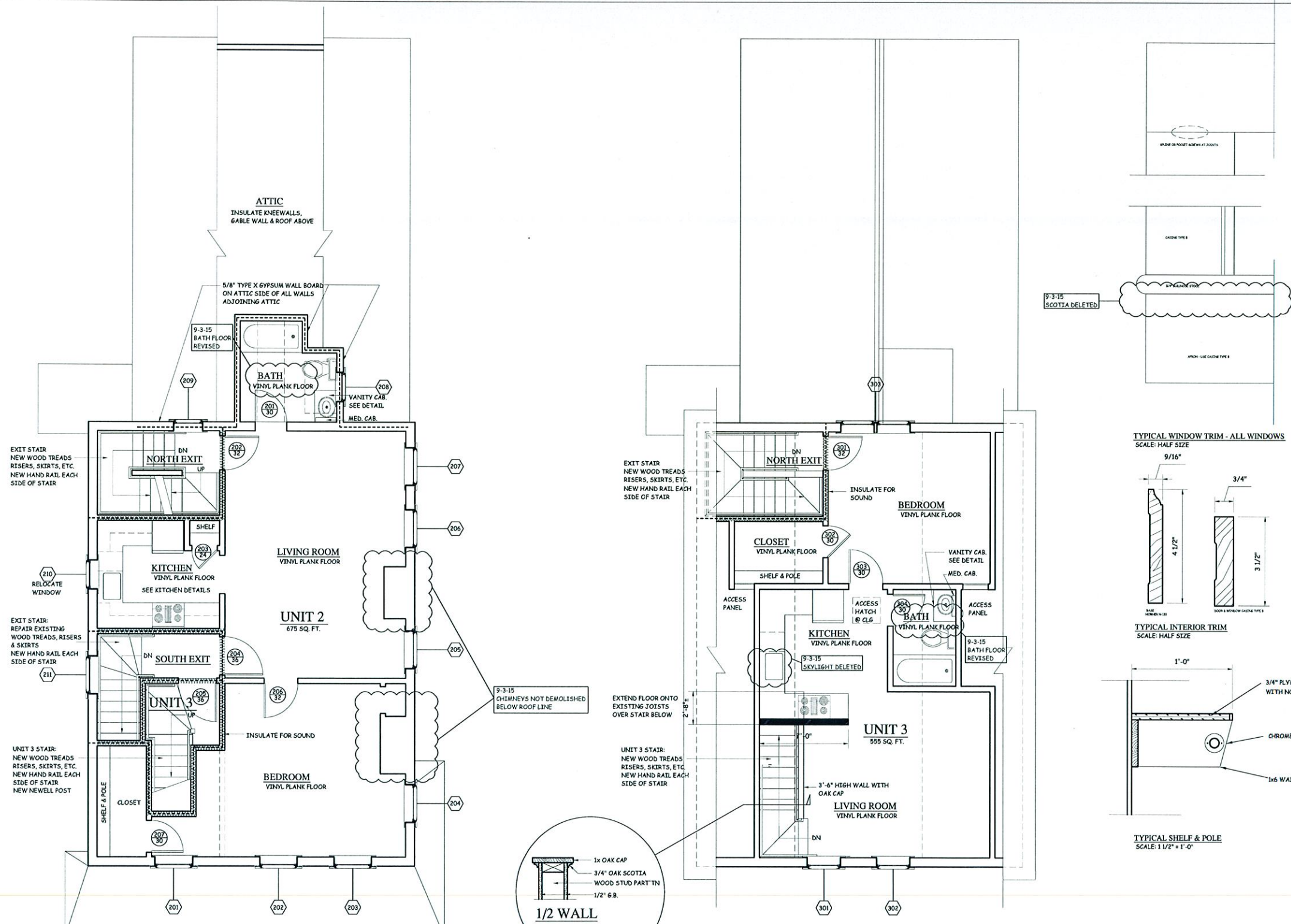
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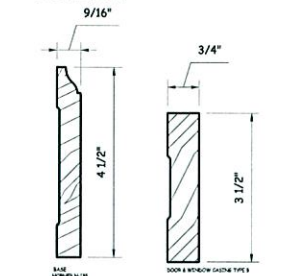
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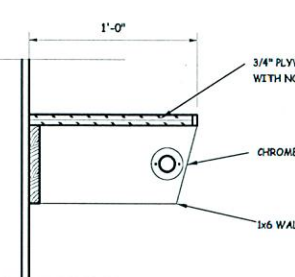
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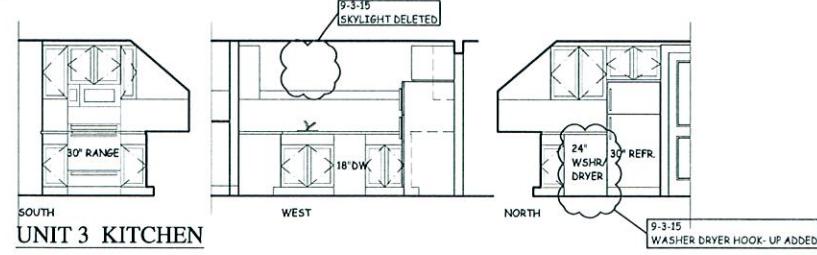
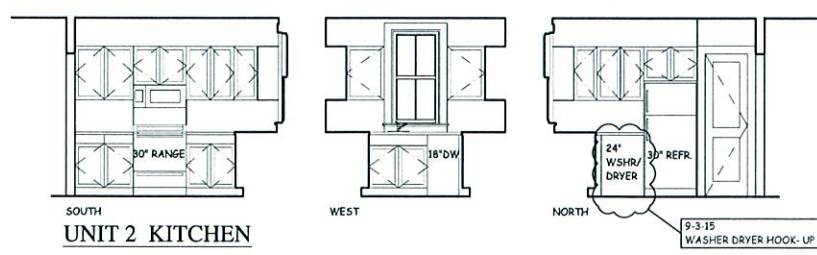
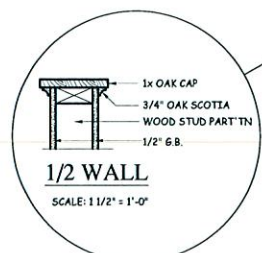
TYPICAL WINDOW TRIM - ALL WINDOWS
SCALE: HALF SIZE



TYPICAL INTERIOR TRIM
SCALE: HALF SIZE



TYPICAL SHELF & POLE
SCALE: 1 1/2\"/>



PLAN LEGEND

- EXISTING WALL OR PARTITION TO BE REMOVED
- EXISTING WALL OR PARTITION TO REMAIN
- NEW STUD PARTITION
- 1/2 HOUR FIRE RATED PARTITION
- PARTITION INSULATED FOR SOUND

0 4 8 12
FEET

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REHABILITATION OF
157 ASH STREET
NEW BEDFORD, MA

TITLE
SECOND &
THIRD FLOOR PLANS
PLANNING
SCALE: 1/4" = 1'-0"
DATE: JULY 8, 2015
DRAWN: CTW
REVISED: SEPT. 3, 2015
DRAWING NUMBER: **DEPARTMENT**

A-03

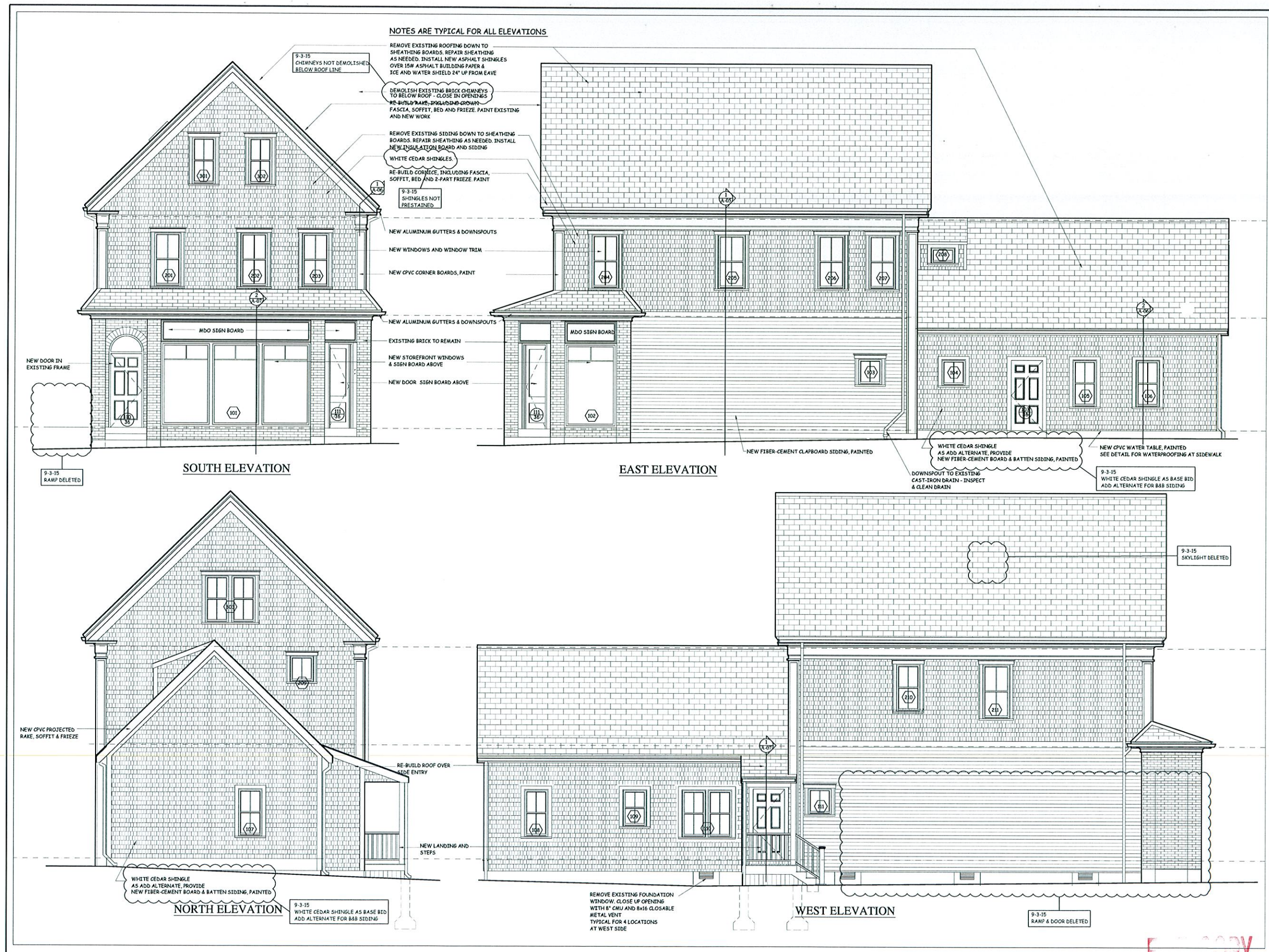
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REHABILITATION OF
 157 ASH STREET
 NEW BEDFORD, MA

TITLE
 ELEVATIONS
 PLANNING
 SCALE: 1/4" = 1'-0"
 DATE: JULY 8, 2015
 DRAWN: CTW
 REVISED: SEPT 3, 2015
 DEPARTMENT
 DRAWING NUMBER

A-04

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REHABILITATION OF
157 ASH STREET
NEW BEDFORD, MA

TITLE
WALLS ECTIONS - 1

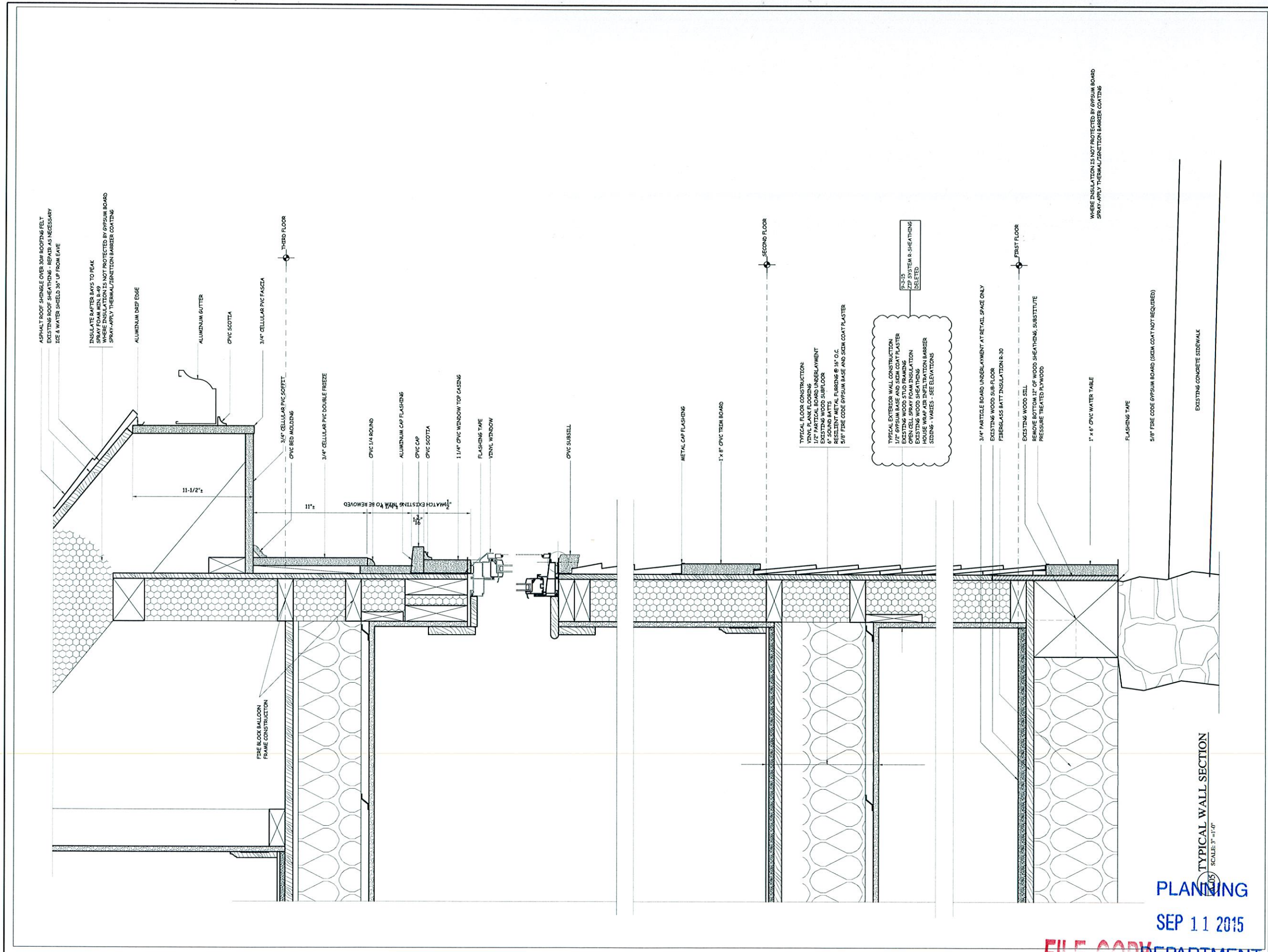
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DATE: JULY 8, 2015
DRAWN: CTW
REVISED: SEPT. 3, 2015
DRAWING NUMBER

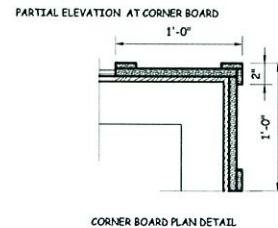
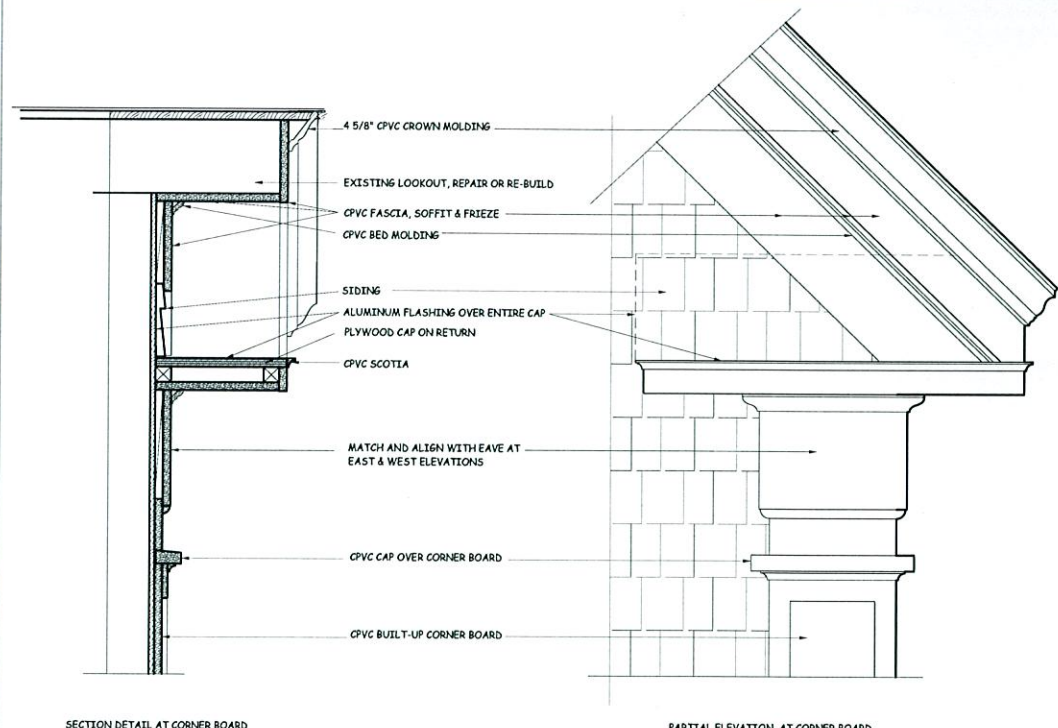
A-05

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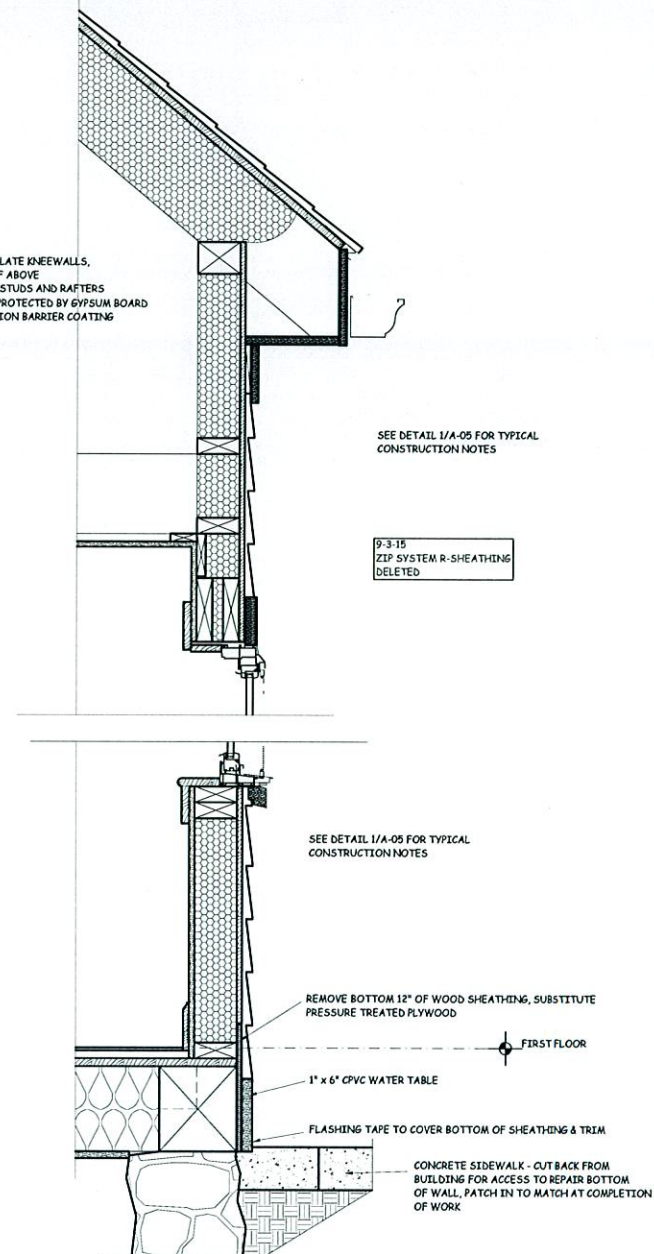
CASE 22-15





1 RAKE, RETURN & CORNER BOARD
A-06 SCALE: 1 1/2" = 1'-0"

AT ATTIC ABOVE UNIT 1 INSULATE KNEEWALLS, NORTH GABLE WALL AND ROOF ABOVE INSULATE TO FULL DEPTH OF STUDS AND RAFTERS WHERE INSULATION IS NOT PROTECTED BY GYP/SUM BOARD SPRAY-APPLY THERMAL/IGNITION BARRIER COATING



2 WALL SECTION @ UNIT 1
A-06 SCALE: 1 1/2" = 1'-0"

9-3-15
RAMP DELETED

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REHABILITATION OF
157 ASH STREET
NEW BEDFORD, MA

TITLE
WALLS ECTIONS - 2

SCALE: 1 1/2" = 1'-0"
DATE: JULY 8, 2015
DRAWN: CTW
REVISED: SEPT. 3, 2015
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A-06

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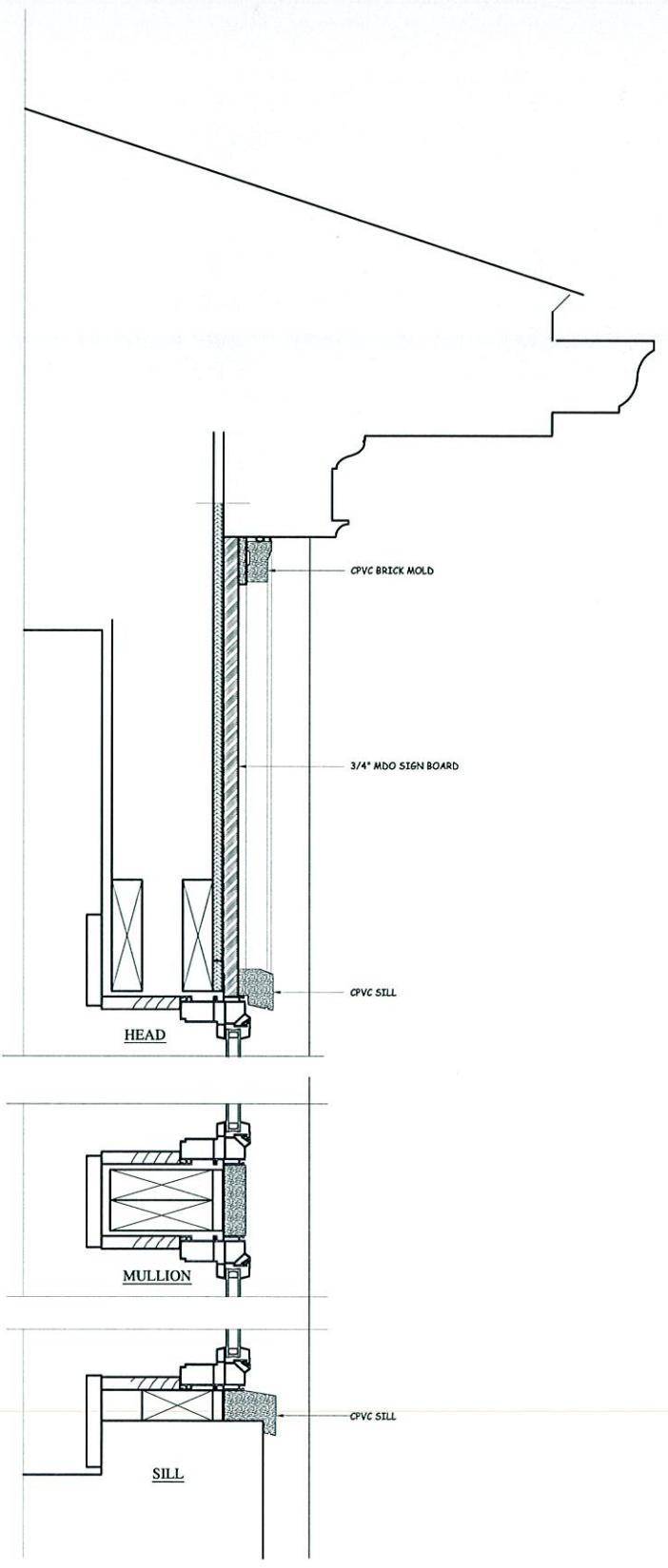
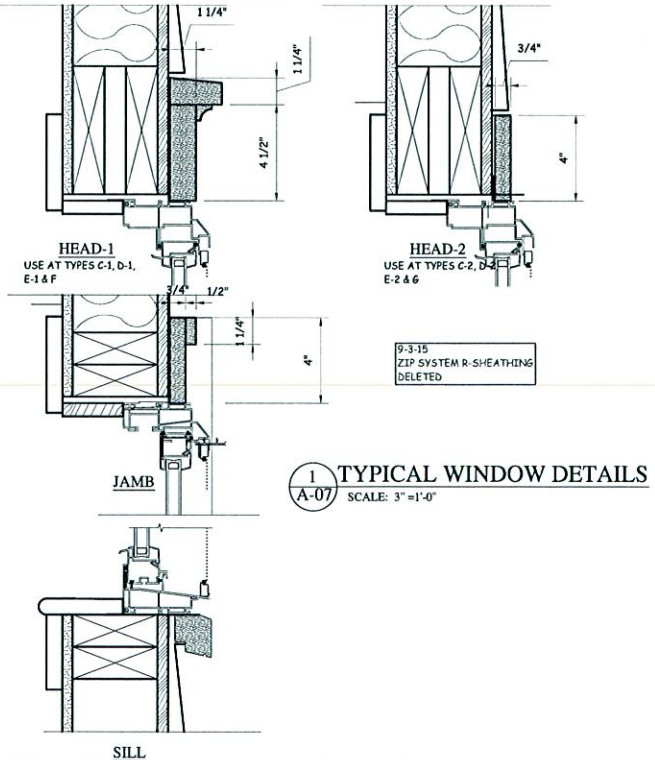
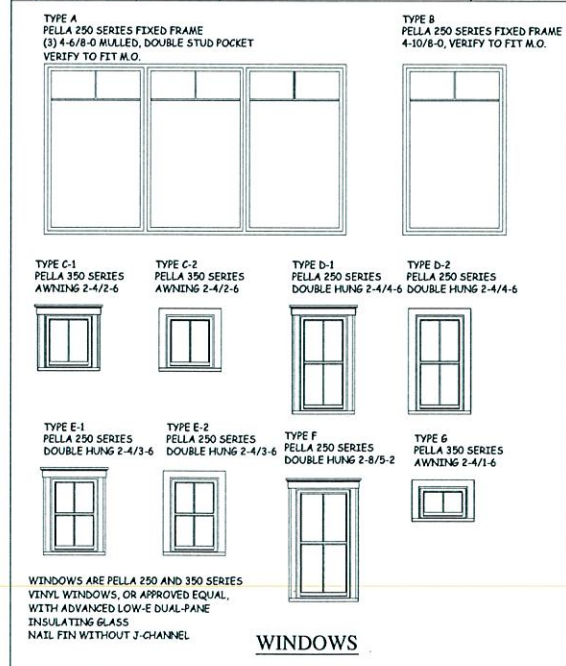
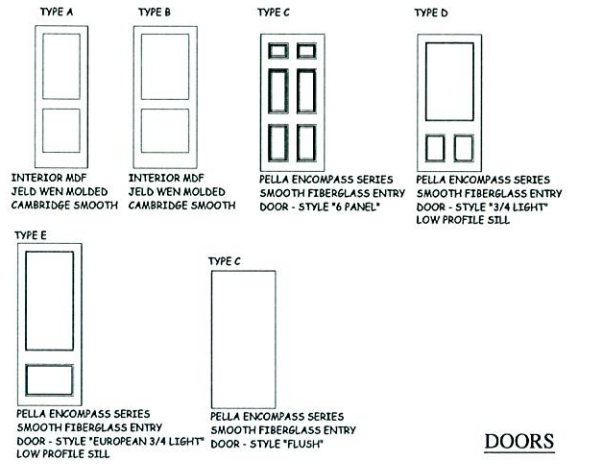
WINDOW SCHEDULE

	NO.	TYPE	HEAD HT. ABV. FIN. FL.	REMARKS
FIRST FLOOR	101	A		SAFETY GLAZING, INTEGRAL MULLIONS
	102	B		SAFETY GLAZING
	103	C-1	6'-8"	
	104	C-2	6'-8"	
	105	D-2	6'-8"	
	106	D-2	6'-8"	
	107	D-2	6'-8"	
	108	D-2	6'-8"	
	109	E-2	6'-8"	
	110	(2)D-2	6'-8"	INTERGRAL MULLION
	111	C-1	6'-8"	SAFETY GLAZING
SECOND FLOOR	201	F	7'-6"	SAFETY GLAZING
	202	F	7'-6"	
	203	F	7'-6"	
	204	F	7'-6"	
	205	F	7'-6"	
	206	F	7'-6"	
	207	F	7'-6"	
	208	G	VERIFY	
	209	C-1	7'-6"	SAFETY GLAZING
	210	E-1	7'-6"	
	211	F	7'-6"	SAFETY GLAZING
THIRD FLOOR	301	D-1	6'-8"	SAFETY GLAZING
	302	D-1	6'-8"	
	303	(2)D-1	6'-8"	SAFETY GLAZING, INTERGRAL MULLION

9-3-15
DOOR 108
DELETED

DOOR SCHEDULE

	NO.	TYPE	W	H	T	HARDWARE	REMARKS
FIRST FLOOR	101	A	30	80	1 3/8	E - CLOSET	
	102	A	32	80	1 3/8	C - PRIVACY	
	103	C	36	80	1 3/4	F - UNIT ENTRY	
	104	A	30	80	1 3/8	C - PRIVACY	
	105	A	32	80	1 3/4	F - UNIT ENTRY	
	106	C	36	80	1 3/4	B - ENTRY	
	107	A	35	80	1 3/8	C - PRIVACY	
	108	A	36	80	1 3/4	B - ENTRY	
	110	C	36	80	1 3/4	B - ENTRY - ELECTRIC STRIKE	NEW DOOR IN EXISTING FRAME
	111	E	42	96	1 3/8	A - RETAIL ENTRY	
	SECOND FLOOR	201	A	30	80	1 3/4	C - PRIVACY
202		B	32	80	1 3/4	F - UNIT ENTRY	
203		A	24	80	1 3/8	E - CLOSET	
204		B	36	80	1 3/4	F - UNIT ENTRY	
205		B	36	80	1 3/4	F - UNIT ENTRY	
206		A	32	80	1 3/8	C - PRIVACY	
207		A	30	80	1 3/8	E - CLOSET	
THIRD FLOOR	301	B	32	80	1 3/4	F - UNIT ENTRY	
	302	A	30	80	1 3/8	E - CLOSET	
	303	A	30	80	1 3/8	C - PRIVACY	
	304	A	30	80	1 3/8	C - PRIVACY	



PLANNING
SEP 11 2015
DEPARTMENT

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REHABILITATION OF
157 ASH STREET
NEW BEDFORD, MA

TITLE
DOORS & WINDOWS

SCALE:
DATE: JULY 8, 2015
DRAWN: CTW
REVISED: SEPT. 3, 2015
DRAWING NUMBER

A-07

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CASE 22-15

ELECTRICAL NOTES

1. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL A COMPLETE ELECTRICAL SYSTEM IN CONFORMANCE WITH THE DRAWINGS, THE NATIONAL ELECTRICAL CODE, THE MASSACHUSETTS ELECTRICAL CODE AND THE REQUIREMENTS OF LOCAL AUTHORITIES.
2. THE WORK REQUIRED SHALL CONSIST OF ALL LABOR, MATERIALS, TOOLS, APPLIANCES, SERVICES AND STAGING TO ACCOMPLISH THE SPECIFIED WORK. THE WORK SHALL INCLUDE BUT IS NOT NECESSARILY LIMITED TO THE FOLLOWING:
 - a. COMPLETE WIRING AND BRANCH CIRCUITS.
 - b. ALL REQUIRED CONDUIT, BOXES AND DEVICES.
 - c. LIGHTING FIXTURES AND LAMPS AS INDICATED ON THE DRAWINGS AND THE FIXTURE SCHEDULE.
 - d. WIRING AND FIXTURES FOR SMOKE DETECTOR SYSTEM AS SHOWN ON THE DRAWINGS AND AS REQUIRED BY LOCAL AUTHORITIES.
 - e. TELEVISION WIRING WITH COAXIAL CABLE.
 - f. TELEPHONE WIRING.
3. AUDIO VISUAL AND ALARM WIRING WILL BE PERFORMED BY OTHERS.

KEY TO ELECTRICAL SYMBOLS

- ⊖= DUPLEX OUTLET
- ⊖F= DUPLEX OUTLET, GROUND FAULT PROTECTED
- WP ⊖= DUPLEX OUTLET, WATERPROOF
- ⊖= APPLIANCE OUTLET
- S= SWITCH
- S3= THREE WAY SWITCH
- ⊖X= CEILING SURFACE MOUNT LIGHT FIXTURE WITH LETTER CODE
- PB= DOOR BELL
- OSD= SMOKE DETECTOR
- OC= CARBON MONOXIDE DETECTOR
- OT= THERMOSTAT
- Δ TEL= TELEPHONE JACK
- TV= CABLE TV JACK
- ⊖ EX= EXHAUST FAN

ELECTRICAL FIXTURE SCHEDULE

- O= FIXTURE PROVIDED BY OWNER, TO BE INSTALLED UNDER THIS CONTRACT
- U= 48", 2-TUBE FLUORESCENT UTILITY FIXTURE
- EX= PANASONIC EXHAUST FAN PY-11VQL5

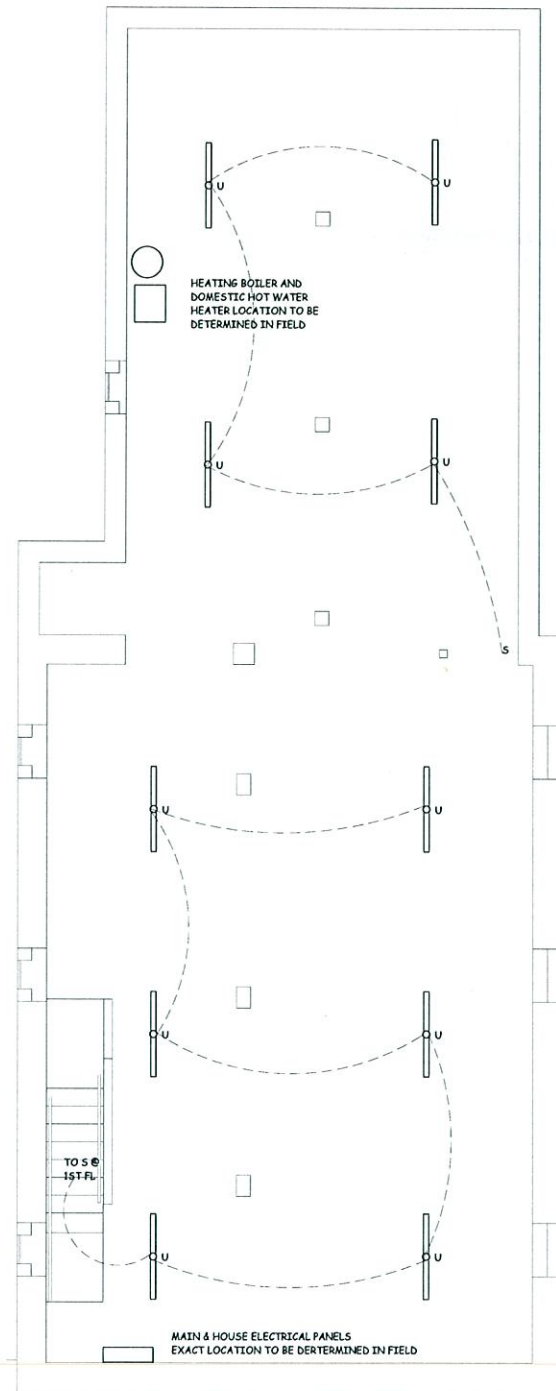
FIRE SPRINKLER SYSTEM NOTES

SPRINKLER SYSTEM: A BUILDING WIDE SPRINKLER SYSTEM WITH SEPARATE WATER SUPPLY AS REQUIRED BY THE CITY OF NEW BEDFORD CODE ENFORCEMENT DEPARTMENT AND FIRE DEPARTMENT SHALL BE DESIGNED AND FABRICATED AND INSTALLED BY SPRINKLER/FIRE ALARM COMPANY LICENSED TO DESIGN AND INSTALL THE SYSTEM.

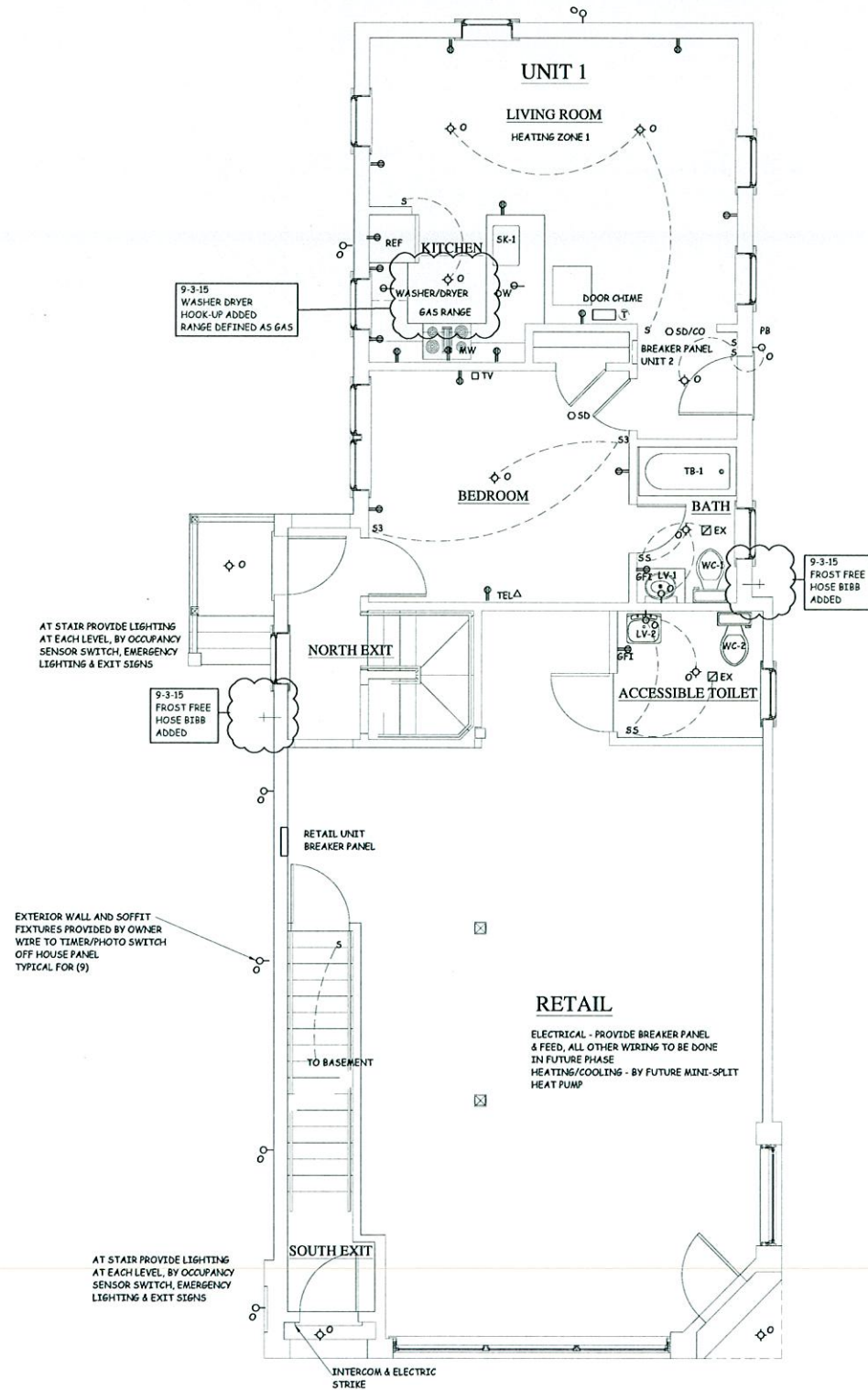
NOTE 1: ALL SPRINKLER LINES WITHIN THE CORRIDORS, THE STAIRWAY AND OTHER COMMON SHALL BE CONCEALED.

NOTE 2: ALL FIRE PROTECTION WORK COMPLETED UNDER THIS SECTION OF THE CONTRACT WILL BE PERMITTED, INSPECTED AND APPROVED BY THE CITY'S ELECTRICAL INSPECTOR AND THE FIRE DEPARTMENT PRIOR TO REQUESTING FUNDS FOR THIS WORK.

NOTE 3: THE WORK IN THIS SECTION IS SUBJECT TO THE REQUIREMENTS OF THE 8th EDITION OF 780 CMR, THE MASSACHUSETTS BASIC/COMMERCIAL BUILDING CODE; CHAPTER 7 FIRE AND SMOKE PROTECTION DEVICES, CHAPTER 9 FIRE PROTECTION SYSTEMS, CHAPTER 27 ELECTRICAL, CHAPTER AND CHAPTER 29 PLUMBING SYSTEMS OF THE 2009 INTERNATIONAL BUILDING CODE, 2012 INTERNATIONAL ENERGY CONSERVATION CODE AND THE 2009 INTERNATIONAL EXISTING BUILDING CODE.



BASEMENT PLAN



FIRST FLOOR PLAN

PLANNING
SEP 11 2015
DEPARTMENT

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REHABILITATION OF
 157 ASH STREET
 NEW BEDFORD, MA

TITLE
 BASEMENT & 1ST FLOOR
 MECHANICALS

SCALE: 1/4" = 1'-0"
 DATE: JULY 8, 2015
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M-01

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CAS 22-15

HEATING AND HOT WATER NOTES

GENERAL: THE PLUMBING CONTRACTOR SHALL INSTALL IN THE BASEMENT ONE (1) HEATING BOILER AND ONE (1) IN-DIRECT WATER HEATER TO HEAT ALL THREE RESIDENTIAL UNITS. THE CONTRACTOR WILL HAVE A HEATING ENGINEER FROM SUPPLIER PROPERLY SIZE THE EQUIPMENT AND THE UNIT RADIATION REQUIRED. COPY OF THE CALCULATIONS AND THE METHOD UTILIZED TO MAKE THE CALCULATION IN SIZING THE HEATING UNIT SHALL BE PRESENTED TO THE OWNER PRIOR TO THE PURCHASE OF THE EQUIPMENT. THE NEW SYSTEM SHALL BE FIRED BY NATURAL GAS AND SHALL HAVE THE HIGHEST EFFICIENCY RATING POSSIBLE (APPROXIMATELY 95% TO 98%).

BOILER SELECTION: THE NEW BOILER SHALL BE ONE OF THE FOLLOWING:
 HTP MC SERIES STAINLESS STEEL GAS FIRED HOT WATER CIRCULATING HEATER
 VISSMANN STAINLESS STEEL GAS FIRED HOT WATER CIRCULATING HEATER
 KNIGHT STAINLESS STEEL GAS FIRED HOT WATER CIRCULATING HEATER.

WATER HEATER SELECTION: THE NEW WATER HEATER SHALL BE ONE OF THE FOLLOWING:
 HTP SUPERSTOR ULTRA STAINLESS STEEL IN-DIRECT WATER HEATER
 WEL-MCLAIN STAINLESS STEEL IN-DIRECT WATER HEATER
 SQUIRE STAINLESS STEEL IN-DIRECT WATER HEATER

TIE-INS: THE HOT WATER SHALL BE TIED INTO THE NEW BOILER AS SPECIFIED BY BOILER AND WATER HEATER MANUFACTURER. THE NEW BOILER WILL BE DIRECT VENTED WITH PVC THROUGH THE EXTERIOR WALL OR ROOF OF THE STRUCTURE. THE CONTRACTOR SHALL SEAL THE EXISTING VENT HOLES IN THE CHIMNEY.

BOTLER/WATER HEATER SPECS: THE CONTRACTOR SHALL INDICATE ON LINE XA OF BID SHEET, WHICH BOILER AND IN-DIRECT WATER HEATER TO BE INSTALLED AT PROPERTY. SPECIFICATION INCLUDING DIAGRAMS ILLUSTRATING THE LAYOUT OF BOILER, THE WATER HEATER AND CIRCULATORS SHALL BE SUBMITTED TO THE TRIP THE REHAB SPECIALIST BY THE CONTRACTOR WHOSE BID LEADS TO ASSIGNMENT THE PROJECT. THE SUBMITTALS WILL BE PRESENTED TO THE OWNER WITHIN TEN DAYS OF BID AWARD. NO EQUIPMENT WILL BE INSTALLED UNTIL THIS REQUIREMENT IS MET. THE HEATING CONTRACTOR INSTALLING THE EQUIPMENT SHALL BE TRAINED AND QUALIFIED TO INSTALL THE EQUIPMENT SELECTED BY THE GENERAL CONTRACTOR.

WITHIN THE UNITS: THE CONTRACTOR SHALL REMOVE ALL EXISTING HEATING RADIATORS AND PIPING AND INSTALL A COMPLETE NEW SYSTEM WITH ONE ZONE PER UNIT. THE HEATING ELEMENTS SHALL BE MANUFACTURED LOW PROFILE SLANT FIN OR EQUAL. THE THERMOSTAT WILL BE THE ENERGYSTAR APPROVED PROGRAMMABLE TYPE.

NOTE 1: ALL GAS PIPING FROM THE METER TO THE BOILER IS TO BE INCLUDED.

NOTE 2: ALL WIRING REQUIRED FOR THE BOILER & WATER HEATER SHALL INCLUDE THE BID.

NOTE 3: THE NEW HEATING AND HOT WATER SYSTEM SHALL BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS. WHEN COMPLETELY INSTALLED, THE EQUIPMENT SHALL BE CALIBRATED, BALANCED AND ALL ASPECTS OF THE UNIT CHECKED TO INSURE IT IS FUNCTIONING PROPERLY AND PER THE MANUFACTURER'S SPECIFICATIONS. INSTALLER SHALL COMPLETELY FAMILIARIZE THE PROPERTY OWNER WITH THE PROPER METHOD OF OPERATING THE NEW HEATING AND HOT WATER SYSTEMS. THE MANUFACTURER'S SPECIFICATIONS AND WARRANTY INFORMATION SHALL BE PRESENTED TO THE PROPERTY OWNER DURING THE EQUIPMENT TRAINING SESSION.

NOTE 4: INSULATE ALL PIPING INCLUDING PEX WITH ARMAFLEX INSULATION.

NOTE 5: THE WORK IN THIS SECTION SHALL MEET ALL REQUIREMENTS OF THE 8TH EDITION OF 780 CMR, THE MASSACHUSETTS BASIC/COMMERCIAL BUILDING CODE CHAPTER 7, CHAPTER 27, CHAPTER 28, CHAPTER 29 AND CHAPTER 34 OF THE 2009 INTERNATIONAL BUILDING CODE AND NATIONAL ELECTRICAL CODE. THE 2009 INTERNATIONAL BUILDING CODE; THE 2012 INTERNATIONAL ENERGY CONSERVATION CODE AND THE 2009 INTERNATIONAL EXISTING BUILDING CODE.

NOTE 6: HEATING AND COOLING OF THE RETAIL SPACE ARE NOT PART OF THIS PROJECT, BUT WILL BE INSTALLED UNDER A LATER PHASE OF WORK.

PLUMBING NOTES

PERFORM ALL PLUMBING WORK IN CONFORMANCE WITH THE MASSACHUSETTS PLUMBING CODE AND ALL LOCAL REGULATIONS.

ALL DOMESTIC HOT WATER SUPPLY PIPING SHALL BE INSULATED WITH NOMINAL 1/2" WALL THICKNESS FLEXIBLE ELASTOMERIC CLOSED CELL PIPE INSULATION.

PROVIDE CONNECTIONS TO WATER, SEWAGE DISPOSAL SYSTEM AND NATURAL GAS, AS SHOWN ON THE SITE PLAN.

PROVIDE CIRCULATING HOT WATER TO ALL HOT WATER FIXTURES. PROVIDE PIPE SIZES TO ASSURE MAXIMUM PRESSURE AND FLOW TO ALL FIXTURES.

PLUMBING FIXTURES

NOTE: EQUAL PRODUCTS OF OTHER MANUFACTURERS MAY BE SUBSTITUTED WITH THE PRIOR APPROVAL OF THE OWNER. SUBMIT PRODUCT CUT SHEETS FOR APPROVAL PRIOR TO ORDERING.

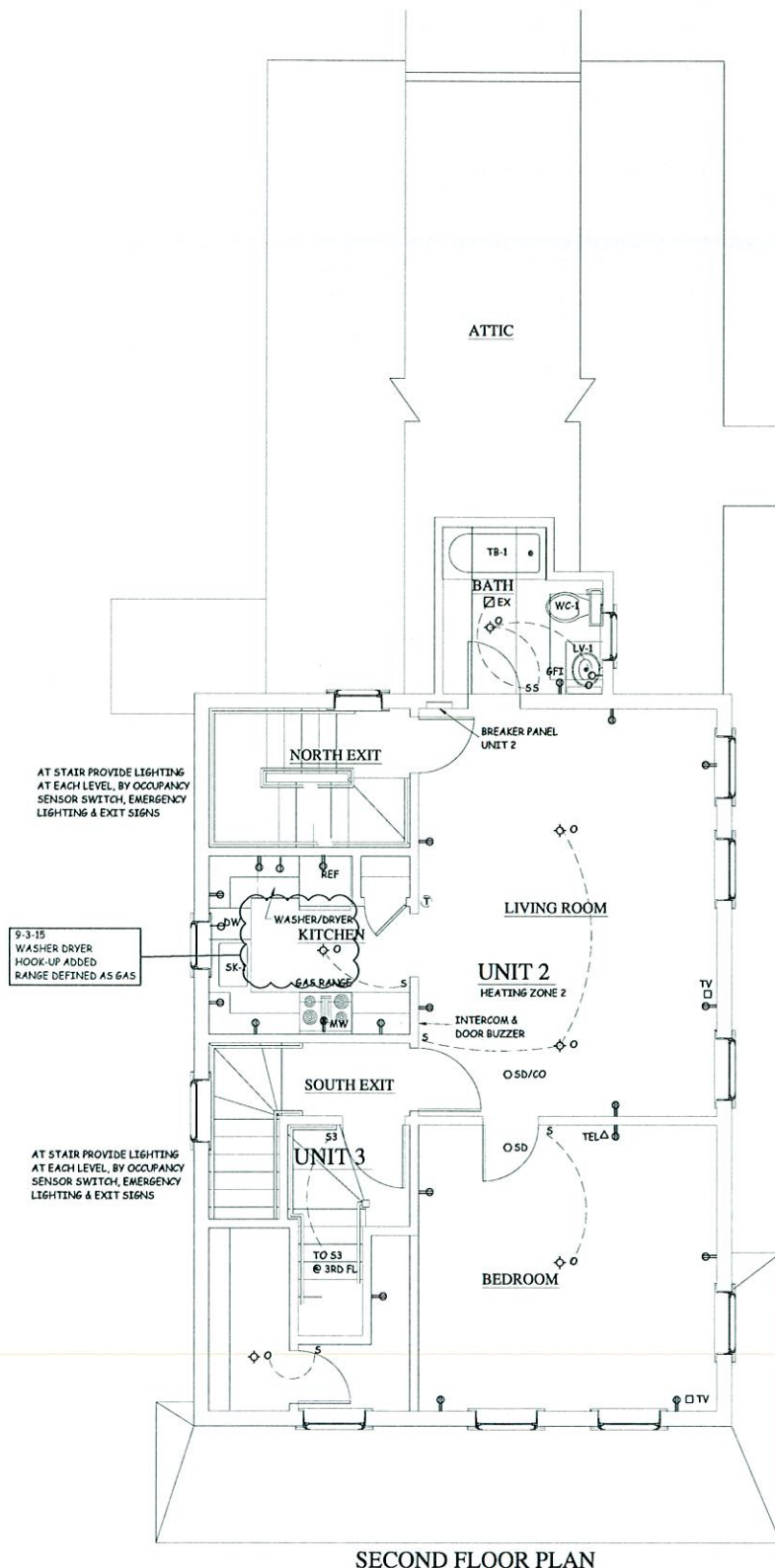
LV-1 KOHLER PENNINGTON K-2196-1-0 WHITE
 Simmons Allure Two Handle Centerset Model SLC-4712-1.5 with Satin Nickel finish.

LV-2 KOHLER PENNOIR K-2035-1-0
 Simmons Allure Two Handle Centerset Model SLC-4712-1.5 with Satin Nickel finish.

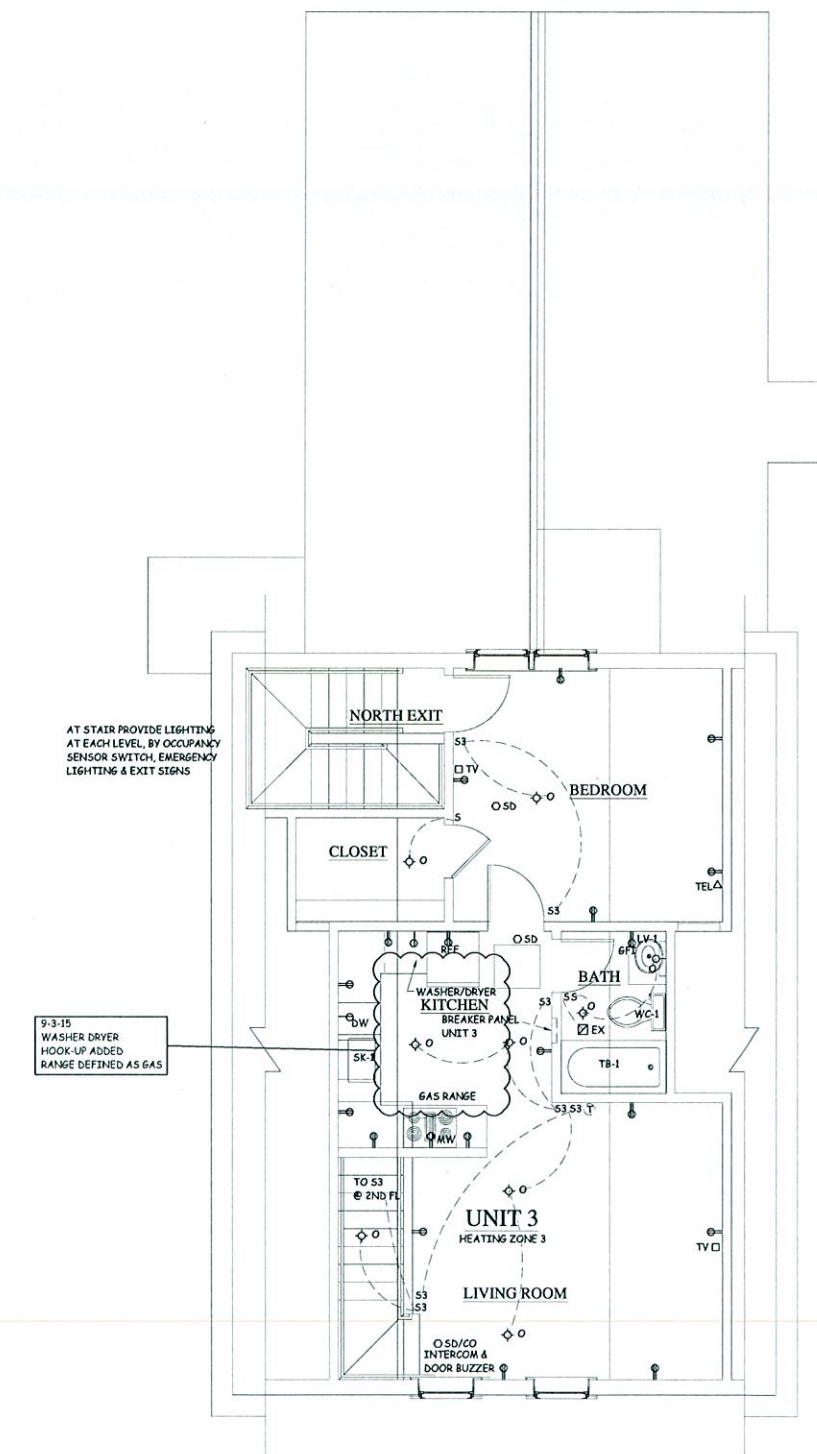
SK-1 ELKAY STAINLESS DROP-IN 25 X 22, 10" DEEP 18 GAUGE
 Delta Windemere Two Handle Kitchen Faucet Model # 21996LFSS.

WC-1 Sterling Rockton™ Luxury Height® Toilet with Dual Force® Flushing Technology - White
 WC-2 Sterling Stinson® Luxury Height Elongated Toilet with ProForce™ Technology - White

TB-1 Sterling Advantage™ Smooth Bath/Shower - White.
 Simmons Allure Single Handle Tub/Shower Valve Model #S-4700TS with Satin Nickel finish.



SECOND FLOOR PLAN



THIRD FLOOR PLAN

PLANNING
 SEP 11 2015
 DEPARTMENT
 FILE COPY

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CONSULTANTS

NOTES

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 Community & Economic Development

REHABILITATION OF
 157 ASH STREET
 NEW BEDFORD, MA

TITLE
 2ND & THIRD FLOOR
 MECHANICALS

SCALE: 1/4" = 1'-0"
 DATE: JULY 8, 2015
 DRAWN: CTW
 REVISED: SEPT. 3, 2015
 DRAWING NUMBER

M-02

RE-BID SET - NOT FOR CONSTRUCTION
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 CASE 22-15