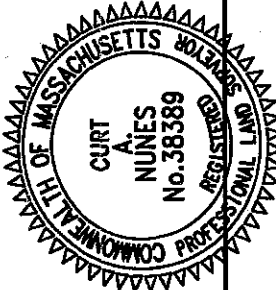


AS BUILT FOUNDATION PLAN

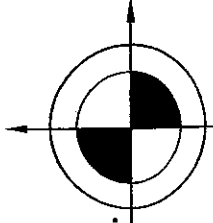
RYAN STREET  
 IN  
 NEW BEDFORD, MA



REV.: JULY 22, 2015  
 DATE: MAY 27, 2015  
 SCALE: 1" = 20'

I CERTIFY THAT THE FOUNDATION SHOWN  
 HEREON, AS BUILT, CONFORMS TO THE CITY  
 OF NEW BEDFORD ZONING SETBACK  
 REQUIREMENTS, AND THAT SAID FOUNDATION,  
 AS BUILT, DOES NOT LIE IN A F.I.R.M. FLOOD  
 HAZARD ZONE.

*[Signature]*  
 PROFESSIONAL LAND SURVEYOR  
 DATE 7/22/15



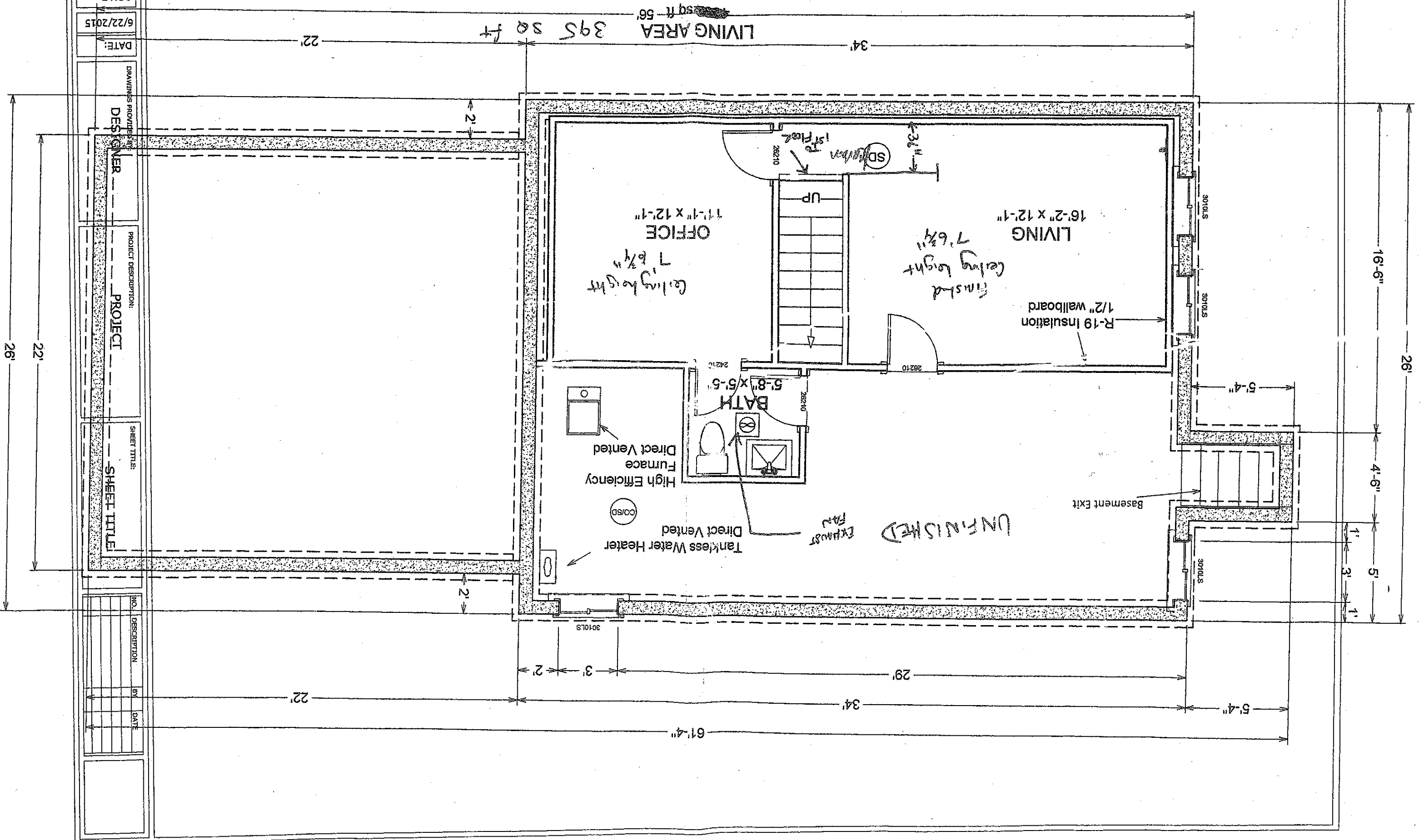
ROMANELLI ASSOCIATES INC.  
 PROFESSIONAL LAND SURVEYORS  
 4480 Acushnet Ave. New Bedford, MA 02745  
 Phone (508) 995-0100 - (508) 995-6678  
 WWW.ROMANELLI-INC.COM

JN 15-009

Lot # 2 Ryan St  
 NEW BEDROOM MA

Basement Living Space Plan

SHEET: A-1	
SCALE:	
DATE: 6/22/2015	
DRAWINGS PROVIDED BY DESIGNER:	
PROJECT DESCRIPTION: PROJECT	
SHEET TITLE: SHEET TITLE	
NO.	DESCRIPTION
BY	DATE



**GENERAL NOTES:**  
 THE PURPOSE OF THIS PLAN IS TO RELOCATE THE COMMON LOT LINE BETWEEN LOTS 2 & 3 AS SHOWN IN PLAN BOOK 171, PAGE 74 TO THE ORIENTATION AS SHOWN ON THIS PLAN.

SEE DEED BOOK 11246, PAGE 75.  
 REFER TO PLAN BOOK 171, PAGE 74.  
 LOCUS BEING ASSESSORS MAP 38, LOTS 374 & 375.  
 PLAN LOT 2 & 3 OWNER OF RECORD:  
 TERCEIRA CONSTRUCTION LLC  
 1 COCKE WAY  
 DARTMOUTH, MA 02747

NEW BEDFORD PLANNING BOARD APPROVAL UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED. NO DETERMINATION AS TO COMPLIANCE WITH ZONING IS MADE OR INTENDED BY THIS ENDORSEMENT.

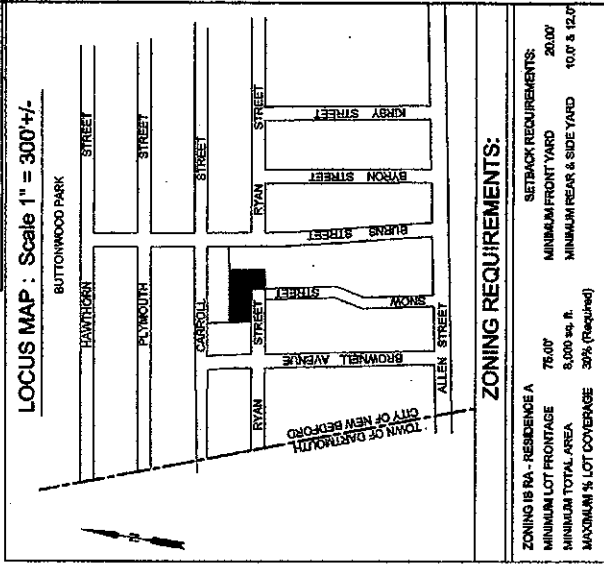
*Jill McLean*  
 JILL MCLEAN, CITY PLANNER  
 1-13-15  
 DATE

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERERS OF DEEDS.

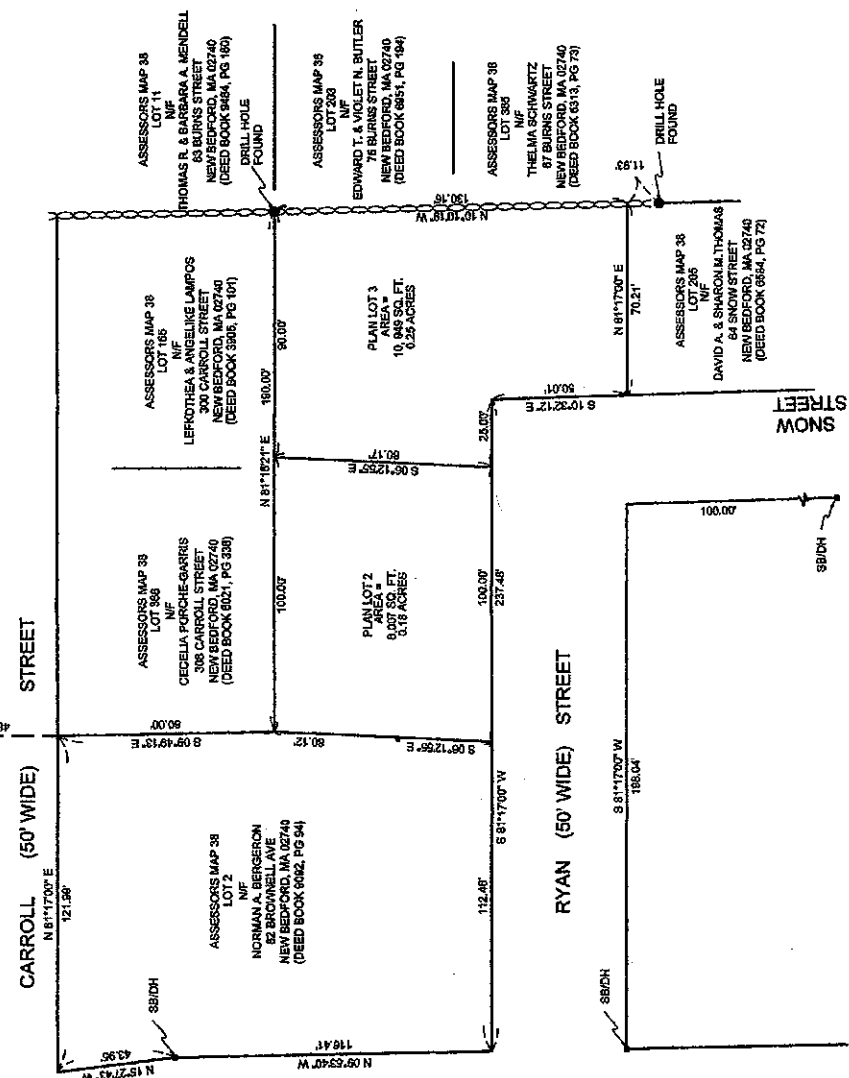
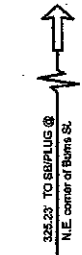


*Kenneth R. Ferreira*  
 KENNETH R. FERREIRA, R.L.S., P.E.  
 1-6-15  
 DATE  
 STAMP

01/15/13, 10412  
 PLAN RECORDED  
 BRISTOL S.D.  
 REGISTRY  
 172-77



BROWNELL AVENUE



**ZONING REQUIREMENTS:**

ZONING IS RA - RESIDENCE A  
 MINIMUM LOT FRONTAGE 75.00' SETBACK REQUIREMENTS: 20.00'  
 MINIMUM LOT AREA 8,000 sq. ft. MINIMUM FRONT YARD 10.00'  
 MAXIMUM % LOT COVERAGE 30% (Required) MINIMUM REAR & SIDE YARD 10.00' & 12.00'

PLAN OF LAND  
 located in  
 NEW BEDFORD, MA  
 prepared for  
 TERCEIRA CONSTRUCTION LLC

SCALE: 1" = 30'

JANUARY 5, 2014

**Kenneth R. Ferreira Engineering**

46 Foster Street  
 New Bedford, MA 02740  
 Tel: (508) 992-0020 Fax: (508) 992-3374

REV. NO.	REVISION	BY	DATE

FE 4938

172-77

172-77