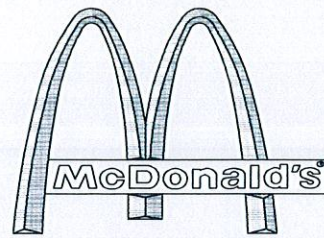


SITE DEVELOPMENT PLANS

FOR:
PROPOSED



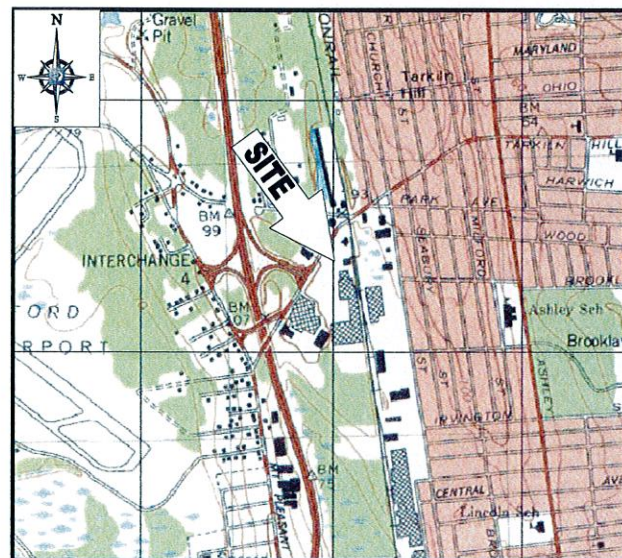
WITH DRIVE-THRU

LOCATION OF SITE:

1080 KINGS HIGHWAY, CITY OF NEW BEDFORD

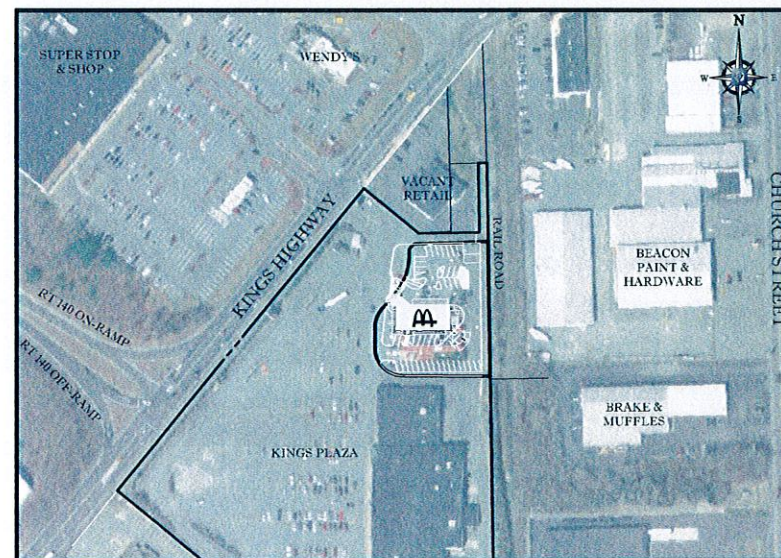
BRISTOL COUNTY, MASSACHUSETTS

MAP 125, LOT 29, BK 8820, PG 194



LOCATION MAP

SCALE: 1"=100'
PLAN REFERENCE: USGS NEW BEDFORD NORTH QUADRANGLE



AREA PLAN

SCALE: 1"=150'

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-1 OF 15
GENERAL NOTES SHEET	C-2 OF 15
DEMOLITION PLAN	C-3 OF 15
OVERALL SITE PLAN	C-4 OF 15
SITE PLAN	C-5 OF 15
GRADING & DRAINAGE PLAN	C-6 OF 15
UTILITY PLAN	C-7 OF 15
SOIL EROSION & SEDIMENT CONTROL PLAN	C-8 OF 15
SOIL EROSION CONTROL NOTES & DETAILS SHEET	C-9 OF 15
LANDSCAPE PLAN	C-10 OF 15
LANDSCAPE NOTES & DETAILS SHEET	C-11 OF 15
LIGHTING PLAN	C-12 OF 15
DETAIL SHEET	C-13 OF 15
DETAIL SHEET	C-14 OF 15
DETAIL SHEET	C-15 OF 15
ALTA/ACSM LAND TITLE SURVEY (BY OTHERS)	1 OF 2
ALTA/ACSM LAND TITLE SURVEY (BY OTHERS)	2 OF 2
BUILDING ELEVATIONS (BY OTHERS)	
BUILDING FLOOR PLAN (BY OTHERS)	

SHEET INDEX

OWNER:
CEDAR-KINGS, LLC
C/O CEDAR REALTY TRUST, INC.
44 SOUTH BAYLES AVENUE, SUITE 304

APPLICANT: **PLANNING**
McDONALD'S USA, LLC
C/O BOHLER ENGINEERING
352 TURNPIKE ROAD
SOUTH-BOROUGH, MA 01772

BOHLER ENGINEERING
352 TURNPIKE ROAD
SOUTH-BOROUGH, MA 01772
Phone: (508) 480-9900
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www.BohlerEngineering.com

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SURVEYORS
PROJECT MANAGERS
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BALTIMORE MD
SOUTH-EAST MARYLAND
NORTH-EST VIRGINIA
WASHINGTON DC
CENTRAL VIRGINIA
CHARLOTTE NC
RALEIGH NC

PLANNING
AUG 14 2015
DEPARTMENT

CONSTRUCTION CHECK	DATE
CONSTRUCTION CHECK	DATE
PROJECT No.:	W142005
CAD I.D. #:	W142005s00.dwg

GENERAL NOTES:

- BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
- 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE OWNER/OPERATOR.
- BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.
- PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
- ALL ELEVATIONS SHOWN ARE BASED UPON NAVD 88 PER SURVEY NOTE #7.
- ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
- LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE. FOUNDATION DESIGN AND CONSTRUCTION IS BY THE GENERAL CONTRACTOR.

PAVING SPECIFICATION
(SEE PAVEMENT DETAIL)

FLEXIBLE PAVEMENT SECTION:
1.5" M.O.D. CLASS 2 TOP COURSE
1.5" M.O.D. CLASS 1 BASE COURSE
12.0" M.O.D. TYPE C PROCESSED GRAVEL SUBBASE

RIGID PAVEMENT SECTION:
8.0" 4500 PSI AIR-ENTRAINED CONCRETE
8.0" 4500 PSI AIR-ENTRAINED CONCRETE AT TRASH ENCLOSURE
12.0" M.O.D. TYPE C PROCESSED GRAVEL SUBBASE

NOTE: FINAL PAVEMENT SPECIFICATIONS TO BE COORDINATED WITH GEOTECHNICAL REPORT RECOMMENDATIONS. McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION. TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE, G.C. WILL BE CHARGED.

LOT LIGHTING SUPPLIED/BY
SECURITY LIGHTING SYSTEMS
1085 JOHNSON DRIVE
BUFFALO GROVE, IL 60089
(800) 544 4848
NOTE: ELECTRICAL CONTRACTOR TO CIRCUIT LOT LIGHTING AS NOTED.

PARKING INFORMATION

TOTAL SPACES	36 PROPOSED SPACES	9.0' x 20.0' @ 75°
	3 PROPOSED SPACES	9.0' x 20.0' @ 90°
	2 PROPOSED HANDICAPPED SPACES	8.0' x 20.0' @ 75°

UTILITY INFORMATION

	SIZE	TYPE	LOCATION
SANITARY SEWER	6" & 36"	PVC & RCP	ON-SITE
WATER	4" & 10"	DI	ON-SITE
STORM SEWER	N/A	N/A	N/A
ELECTRIC	TBD	TBD	ON-SITE
GAS	TBD	TBD	ON-SITE

SURVEY INFORMATION
PREPARED BY: CONTROL POINT ASSOCIATES, INC.
352 TURNPIKE ROAD
SOUTH-BOROUGH, MA 01772
JOB #: CAP1215
DATE: NOVEMBER 24, 2014
REVISED: MAY 14, 2015

EXISTING CONDITIONS LEGEND

- 124 --- EXISTING CONTOUR
- 125 --- EXISTING SPOT ELEVATION
- x 123.45 --- HYDRANT
- WV --- WATER VALVE
- OH --- OVERHEAD WIRES
- E --- APPROX. LOC. UNDERGROUND ELEC. LINE
- T --- APPROX. LOC. UNDERGROUND TELE. LINE
- W --- APPROX. LOC. UNDERGROUND WATER LINE
- U --- UTILITY POLE
- U --- UTILITY POLE/LIGHT POLE
- G --- GUY WIRE
- S --- SIGN
- B --- BOLLARD
- A --- AREA LIGHT
- P --- PAY PHONE
- PA --- PAINTED ARROWS
- PC --- PARKING SPACE COUNT
- RR --- RAILROAD TIE WALL

McDonald's
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

J.A. KUCICH
PROFESSIONAL ENGINEER
MASSACHUSETTS LICENSE NO. 26174
CONNECTIONAL LICENSE NO. 26174
MAINE LICENSE NO. 1953

PLANNING
AUG 14 2015
DEPARTMENT

STREET ADDRESS: 1080 KINGS HIGHWAY
CITY: NEW BEDFORD, MASSACHUSETTS
COUNTY: PROVIDENCE COUNTY

SITE ID #: 020-0128
PLAN DESCRIPTION: COVER SHEET

DATE: 8/12/15
BY: EGD
DRAWN BY: JAK
CHECKED BY: JAK
AS-BUILT: []
SHEET NO.: C-1 OF 15

CASE 19-15



KINGS HIGHWAY
1080 KINGS HIGHWAY
NEW BEDFORD, MA 01830

MAP 125, LOT 113
NF LANDS OF
MICHAEL PANAGAKOS
BK. 5268, PG 311

1 STORY
BUILDING
(TO REMAIN)

LOT B-1

MAP 25, LOT 29
NF LANDS OF
CEDAR-KINGS LLC
BK. 8820, PG 194

EXISTING MCDONALD'S
LEASE LINE
(AREA=12,000 S.F.)
(TO BE EXTINGUISHED)

1 STORY
BRICK BUILDING
"MCDONALD'S"
(TBR)

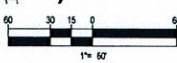
MAP 125, LOT 68
PENN CENTRAL COMPANY

NOTE TO CONTRACTOR:

1. THE CONTRACTOR MUST COORDINATE ANY UTILITY WORK SO AS NOT TO DISRUPT IN ANY WAY SERVICE TO THE REMAINDER OF THE PROPERTY OUTSIDE OF THE MCDONALD'S LEASE AREA. LANDLORD SHALL HAVE THE RIGHT AND BE GIVEN THE OPPORTUNITY TO INSPECT ALL NEW UTILITY CONNECTIONS, PIPE CONDUIT, ETC. BEFORE IT IS BACK-FILLED OR COVERED UP. LIKEWISE FOR ANY UTILITY CONNECTIONS BEING ABANDONED.
2. CONTRACTOR TO LOCATE ALL UTILITIES AND TAKE ALL NEEDED PRECAUTIONS NOT TO DISRUPT ANY UTILITIES SERVING THE LANDLORD'S PROPERTY. ANY WORK INVOLVING A DISRUPTION MUST BE COORDINATED IN ADVANCE AND OCCUR DURING NON-BUSINESS HOURS.

REFER TO GENERAL NOTES SHEET
FOR DEMOLITION NOTES

THIS PLAN TO BE UTILIZED FOR
DEMOLITION/ REMOVAL
PURPOSES ONLY



BOHLER ENGINEERING
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9000
Fax: (508) 480-9080
www.BohlerEngineering.com

CIVIL & CONSULTING ENGINEERS
SURVEYORS
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

OFFICES: WARRREN, NJ; UPRSTATE, NEW YORK; BOSTON, MA; NEW YORK, NY; PHILADELPHIA, PA; LEHIGH VALLEY, PA; SOUTHWESTERN, PA; BALTIMORE, MD; SOUTHERN MARYLAND; NORTH-HENRICH, VA; WASHINGTON, DC; CENTRAL VIRGINIA; CHARLOTTE, NC; RALEIGH, NC.

CONSTRUCTION CHECK _____ DATE _____
CONSTRUCTION CHECK _____ DATE _____
PROJECT No.: W142005
CAD I.D. #: W142005s60.dwg

STREET ADDRESS 1080 KINGS HIGHWAY		CITY NEW BEDFORD		STATE MASSACHUSETTS	
COUNTY PROVIDENCE COUNTY		DATE AUG 14 2015		BY EGD	
SITE ID # 020-0128		PLAN DESCRIPTION DEMOLITION PLAN		PLAN CHECKED JAK	
AS-BUILT		SHEET NO. C-3		OF 15	

J.A. KUCICH
PROFESSIONAL ENGINEER
MASSACHUSETTS LICENSE NO. 4158
CONNECTICUT LICENSE NO. 3117
RHODE ISLAND LICENSE NO. 9616
MARYLAND LICENSE NO. 1033

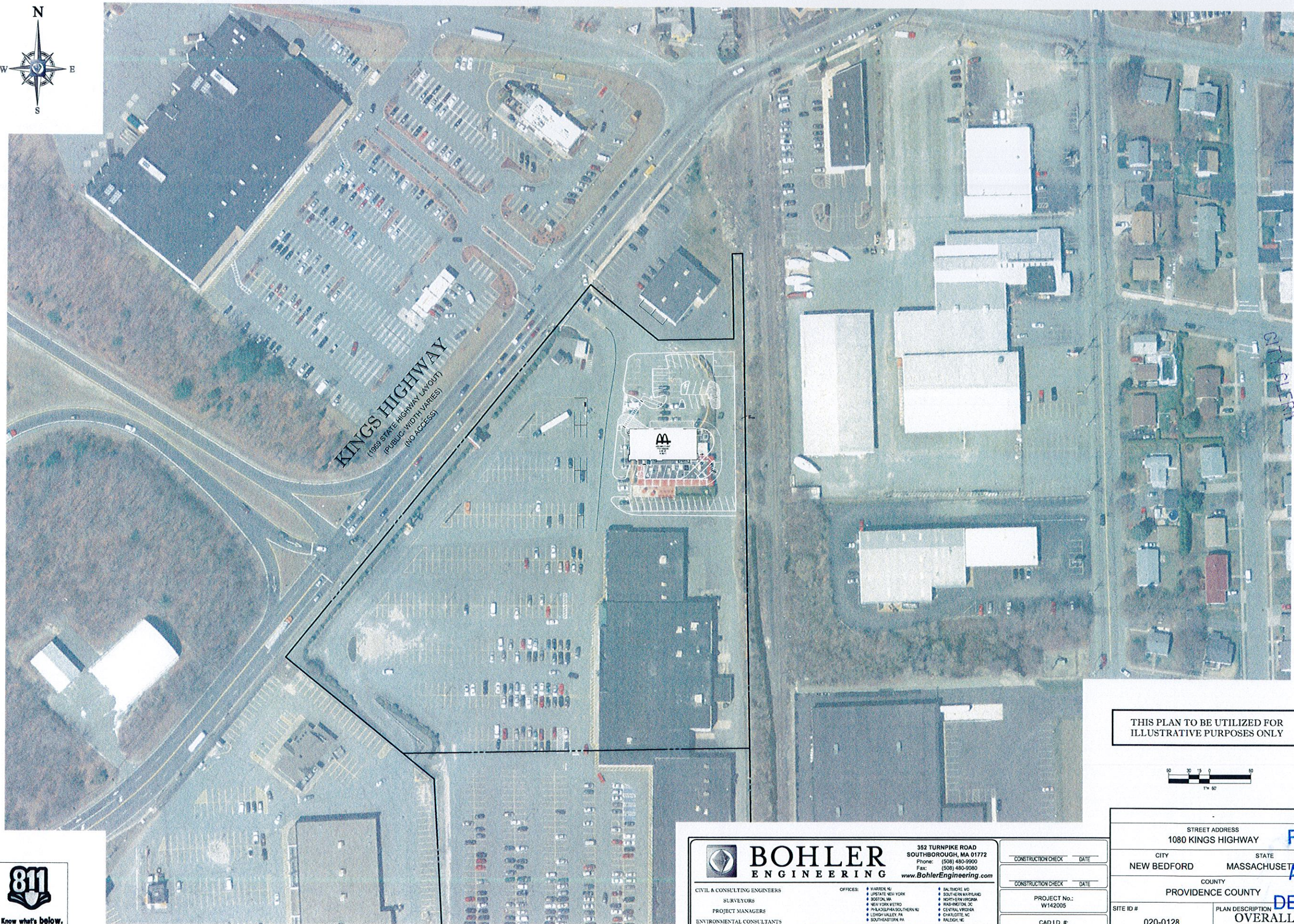
McDonald's
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NORTHEAST REGION
690 CANTON STREET
WESTWOOD, MA

PLAN APPROVALS	DATE	BY
SIGNATURE		
APPROVED MCDONALD'S AGENT		

REV	DATE	DESCRIPTION
2015	AUG 14	AUG 14 11:00
CITY CLERK		
CITY CLERKS OFFICE NEW BEDFORD, MA		



CASE 19-16



KINGS HIGHWAY
 (1989 STATE HIGHWAY LAYOUT)
 (PUBLIC, WIDTH VARIES)
 (NO ACCESS)

THIS PLAN TO BE UTILIZED FOR
 ILLUSTRATIVE PURPOSES ONLY



BOHLER ENGINEERING
 352 TURNPIKE ROAD
 SOUTHBOROUGH, MA 01772
 Phone: (508) 480-9900
 Fax: (508) 480-9080
 www.BohlerEngineering.com

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 ● BOSTON MA ● NORTH-ERN VIRGINIA
 ● NEW YORK METRO ● WASHINGTON DC
 ● PHILADELPHIA SOUTHERN NJ ● CENTRAL VIRGINIA
 ● CINCINNATI OHIO ● CHARLOTTE NC
 ● SOUTHEASTERN PA ● RALEIGH NC

CONSTRUCTION CHECK	DATE
CONSTRUCTION CHECK	DATE
PROJECT No.:	W142005
CAD I.D. #:	W142005s80.dwg

STREET ADDRESS		1080 KINGS HIGHWAY		PLANNING	
CITY	STATE	CITY	STATE	STATUS	DATE
NEW BEDFORD	MASSACHUSETTS	NEW BEDFORD	MASSACHUSETTS	DRAWN BY:	8/9/15
COUNTY		PROVIDENCE COUNTY		PLAN CHECKED	JAK
SITE ID #	PLAN DESCRIPTION	APPROVED BY:	SHEET NO.		
020-0128	OVERALL SITE PLAN		C-4		
OF 14					

J.A. KUCICH
 PROFESSIONAL ENGINEER
 MASSACHUSETTS REG. NO. 1157
 CONTRACT # 142005-01-01
 PROJECT # 142005-01-01
 MAN. NO. 142005-01-01

McDonald's
 THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.
 OFFICE ADDRESS: 680 CANTON STREET, WESTWOOD, MA
 NORTH-EAST REGION

PLAN APPROVALS	DATE	BY
SIGNATURE		
APPROVED McDONALD'S AGENT		

DATE	BY
8/9/15	EGD
DATE	BY
	JAK

2015 AUG 14
 CITY CLERK

Case 19-15

LAND USE / ZONING INFORMATION & NOTES

- APPLICANT:
MCDONALD'S USA, LLC
690 CANTON STREET,
WESTWOOD, MA 02090
- OWNER:
CEDAR-KINGS, LLC
C/O CEDAR REALTY TRUST INC.
14 SOUTH BAYLES AVENUE, SITE 304
NEW BEDFORD, MASSACHUSETTS
- PARCEL:
MAP 125 & LOT 29
1080 KINGS HIGHWAY
NEW BEDFORD
BRISTOL COUNTY, MASSACHUSETTS

ZONING ANALYSIS TABLE			
ZONING DISTRICT	PLANNED BUSINESS ZONING DISTRICT	REQUIRED	EXISTING
	<ul style="list-style-type: none"> PLANNING BOARD - SITE PLAN REVIEW PLANNING BOARD - SPECIAL PERMIT (PARKING REDUCTION) ZBA - SPECIAL PERMIT (DRIVE-THRU USE) ZBA - VARIANCE (TRASH ENCLOSURE SETBACK ENCROACHMENT) CONSERVATION COMMISSION - NOTICE OF INTENT 		
MINIMUM LOT AREA (MAP 125 LOT 29)		0	303,630 SF
MCDONALD'S LEASE AREA		N/A	12,800 SF
MIN. FRONTAGE		0	653.84 FT
MAX. BUILDING COVERAGE (%)		50%	11.4%
MIN. FRONT SETBACK		25-FT	± 206-FT
MIN. SIDE SETBACK		25-FT	± 148-FT
MIN. REAR SETBACK		25-FT	± 50.5-FT
MAX. BUILDING HEIGHT		7 STORES / 100-FT	± 16-FT
OPEN SPACE (%)		20%	15.0%
PARKING SPACES (%)		56	50
PARKING CRITERIA (R20)		1 SPACE PER EMPLOYEE + 1 SPACE PER 100 SF OF GFA	11 + 4,456 / 100 SF = 55.8
ACCESSIBLE PARKING SPACES		2	2
ACCESSIBLE PARKING CRITERIA (STANDARD SPACE-8'x18' W/ 5' ACCESSIBLE VAN ACCESSIBLE SPACE-8'x18' W/ 8' ACCESSIBLE)		TOTAL PARKING: 1 TO 25 = 1 ACCESSIBLE SPACE	VAN ACCESSIBLE SPACES: 11 5 SPACES

(SP) - PLANNING BOARD SPECIAL PERMIT REQUESTED
(1) CALCULATION BASED ON THE PROPOSED 41,534 SF LEASE AREA.

SIGN SUMMARY TABLE			
TYPE	ALLOWED	EXISTING	PROPOSED
SITE SIGNAGE			
FREESTANDING I.D. SIGN	PB - SPR	UNKNOWN HEIGHT & AREA	EXISTING TO REMAIN
BUILDING SIGNAGE			
FRONT WALL SIGN	PB - SPR	1 "M-PLAYPLACE-M" SIGN @ 350 SF	1 "M" LOGO @ 14 SF, 1 "MCDONALD'S" SIGN @ 34 SF WALL SIGN AREA = 48 SF
NON DRIVE THRU WALL SIGN	PB - SPR	NONE	1 "M" LOGO @ 14 SF
DRIVE THRU WALL SIGN	PB - SPR	1 "MCDONALD'S" SIGN @ 34 SF	1 "MCDONALD'S" SIGN @ 34 SF
REAR WALL SIGN	PB - SPR	NONE	1 "M" LOGO @ 14 SF
TOTAL BUILDING SIGNAGE	PB - SPR	± 84 SF	110 SF

NOTE: ALL SIGNS AREAS ARE "BOXED" FOR CALCULATIONS
PB-SPR = REVIEWED AND APPROVED DURING PLANNING BOARD SITE PLAN REVIEW.

PAVEMENT STRIPING LEGEND	
6" SYSL	= 6" SINGLE YELLOW SOLID LINE
8" SYSL	= 8" SINGLE YELLOW SOLID LINE
4" SYSL	= 4" SINGLE WHITE SOLID LINE

REFER TO GENERAL NOTES SHEET FOR NOTES

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY

CONSTRUCTION CHECK _____ DATE _____

CONSTRUCTION CHECK _____ DATE _____

PROJECT NO.: W142005

CAD I.D.#: W142005s0.dwg

STREET ADDRESS
1080 KINGS HIGHWAY

CITY STATE
NEW BEDFORD MASSACHUSETTS

COUNTY
PROVIDENCE COUNTY

SITE ID # 020-0128

PLAN DESCRIPTION
SITE PLAN

PLANNING DEPARTMENT

APPROVED MCDONALD'S AGENT

DATE: AUG 14 2015

STATUS: AS-BUILT

SHEET NO. C-5 OF 15

BOHLER ENGINEERING

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
Fax: (508) 480-9080
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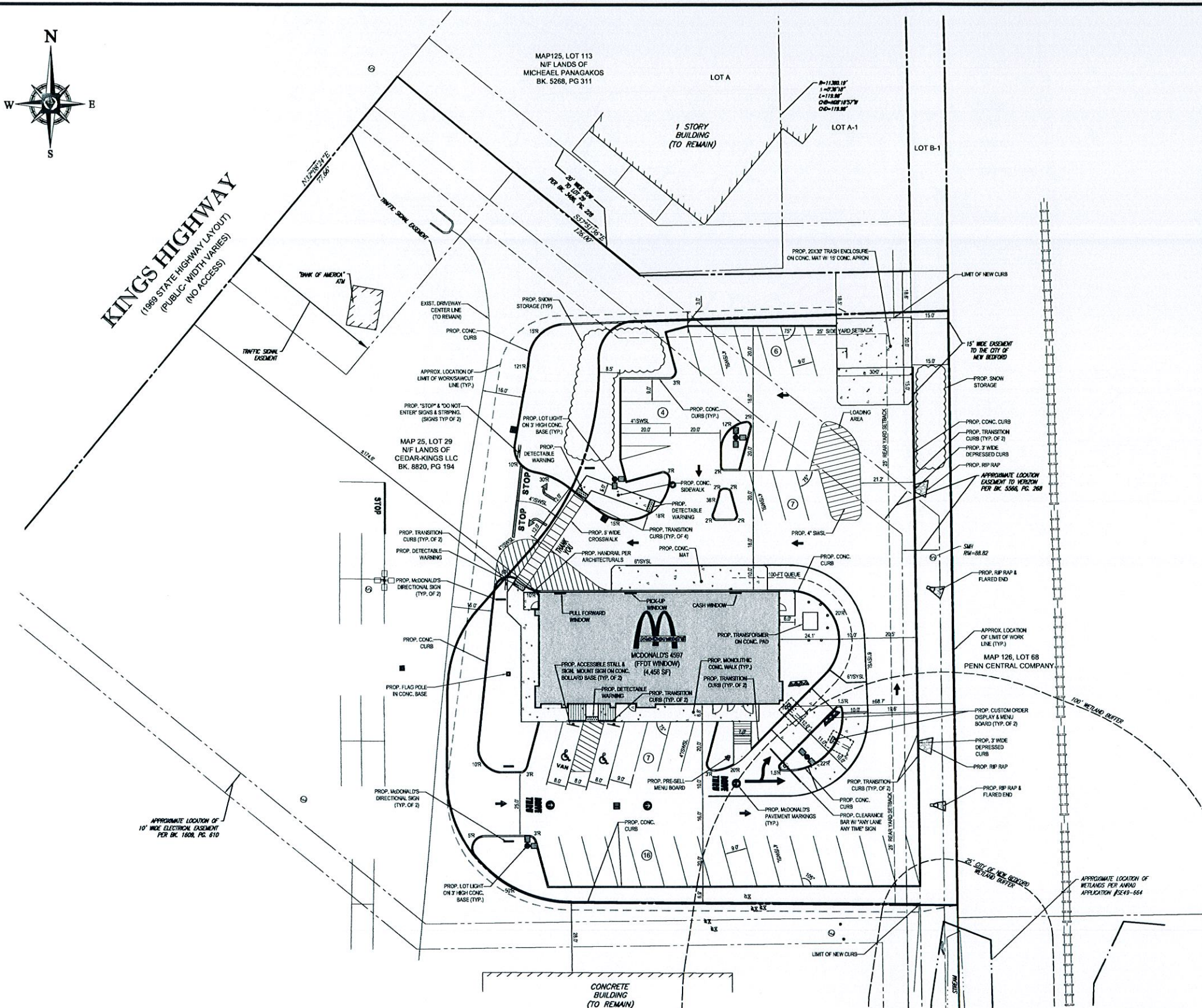
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- BALTIMORE, MD
- SOUTHERN MARYLAND
- NORTHERN VIRGINIA
- WASHINGTON, DC
- CENTRAL VIRGINIA
- CHARLOTTE, NC
- RALPHIGH, NC

CITY OF NEW BEDFORD CONSTRUCTION NOTES:

- ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
- ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
- ALL ACCESSIBLE PARKING RAMP AND ACCESS SHALL CONFORM TO ADA AND MAAB REQUIREMENTS.
- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. (REFER TO SOIL EROSION AND SEDIMENT CONTROL PLAN - SHEET 7)
- ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS.



DESCRIPTION

REV. DATE

2015 AUG 14

CITY ENGINEER
NEW BEDFORD, MA

J.A. KUCICH

PROFESSIONAL ENGINEER
MASSACHUSETTS LICENSE NO. 41338
CONNECTICUT LICENSE NO. 26177
INDIANA LICENSE NO. 16136
ILLINOIS LICENSE NO. 12553

McDonald's

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OFFICE ADDRESS
NORTHEAST REGION
690 CANTON STREET
WESTWOOD, MA

DATE

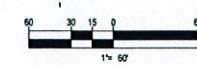
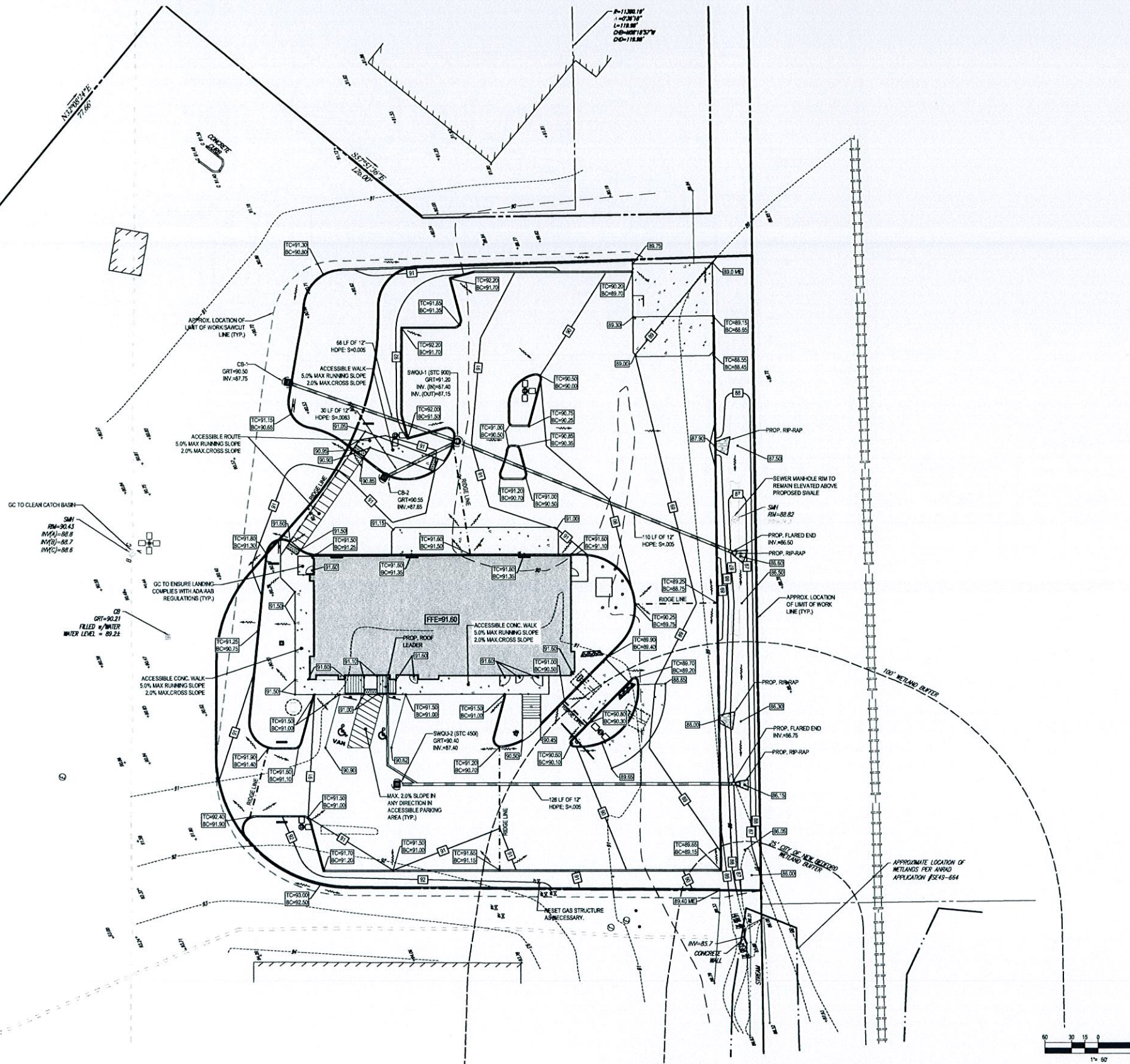
SIGNATURE

APPROVED MCDONALD'S AGENT

15:11:14:2015 10:00:00 AM 11/10/2015 11:17:30 AM



KINGS HIGHWAY
 (1989 STATE HIGHWAY LAYOUT)
 (PUBLIC WIDTH VARIES)
 (NO ACCESS)



THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY

REFER TO GENERAL NOTES SHEET FOR GRADING & UTILITY NOTES

2015
 CITY CLERK

J.A. KUCICH
 PROFESSIONAL ENGINEER
 MASSACHUSETTS REG. NO. 118
 CONNECTICUT REG. NO. 2017
 PENNSYLVANIA REG. NO. 1001
 WARE LICENSE NO. 1054

McDonald's
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 OFFICE ADDRESS
 NORTH EAST REGION
 890 CANTON STREET
 WESTWOOD, MA

STREET ADDRESS 1080 KINGS HIGHWAY		PLANNING	DATE AUG 14 2015
CITY NEW BEDFORD	STATE MASSACHUSETTS	STATUS DRAWN BY:	BY EGD
COUNTY PROVIDENCE COUNTY	PLAN CHECKED AS-BUILT	DATE 8/12/15	BY JAK
SITE ID # 020-0128	PLAN DESCRIPTION GRADING & DRAINAGE PLAN	SHEET NO. C-6	OF 15

BOHLER ENGINEERING
 CIVIL & CONSULTING ENGINEERS
 SURVEYORS
 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

352 TURNPIKE ROAD
 SOUTHBOROUGH, MA 01772
 Phone: (508) 480-9500
 Fax: (508) 480-9080
 www.BohlerEngineering.com

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 • BOSTON, MA
 • NEW YORK, NY
 • PHILADELPHIA, PA
 • LEHIGH VALLEY, PA
 • SOUTH EASTON, PA

• BALTIMORE, MD
 • SOUTH COAST, MA
 • NORTH ENH, VA
 • WASHINGTON, DC
 • CENTRAL VIRGINIA
 • CHARLOTTE, NC
 • FALLS CHURCH, VA

CONSTRUCTION CHECK	DATE
CONSTRUCTION CHECK	DATE
PROJECT No.:	W142005
CAD I.D. #:	W142005s80.dwg



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KINGS HIGHWAY
 (1989 STATE HIGHWAY LAYOUT)
 (PUBLIC - WIDTH VARIES)
 (NO ACCESS)

CITY OF NEW BEDFORD CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL OBTAIN A STREET DISTURBANCE AND OBSTRUCTION PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE RIGHT-OF-WAY.
2. ALL SEWER AND WATER MATERIALS AND CONSTRUCTION SHALL CONFORM TO CITY OF NEW BEDFORD REQUIREMENTS.
3. ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF NEW BEDFORD BEFORE BEING BACK FILLED.
4. THE CITY SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE REQUIRED INSPECTIONS.

NOTE TO CONTRACTOR:

1. THE CONTRACTOR MUST COORDINATE ANY UTILITY WORK SO AS NOT TO DISRUPT IN ANY WAY SERVICE TO THE REMAINDER OF THE PROPERTY OUTSIDE OF THE MCDONALD'S LEASE AREA. LANDLORD SHALL HAVE THE RIGHT AND BE GIVEN THE OPPORTUNITY TO INSPECT ALL NEW UTILITY CONNECTIONS, PIPES, CONDUIT, ETC. BEFORE IT IS BACK-FILLED OR COVERED UP, LIKEWISE FOR ANY UTILITY CONNECTIONS BEING ABANDONED.
2. CONTRACTOR TO LOCATE ALL UTILITIES AND TAKE ALL NEEDED PRECAUTIONS NOT TO DISRUPT ANY UTILITIES SERVING THE LANDLORD'S PROPERTY. ANY WORK INVOLVING A DISRUPTION MUST BE COORDINATED IN ADVANCE AND OCCUR DURING NON-BUSINESS HOURS.

2015 AUG 11
 CITY CLERK
 CITY OF NEW BEDFORD
 NEW BEDFORD, MA

J.A. KUCICH
 PROFESSIONAL ENGINEER
 MASSACHUSETTS LICENSE # 11418
 CONNECTICUT LICENSE # 11717
 MAINE LICENSE # 1053

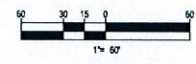
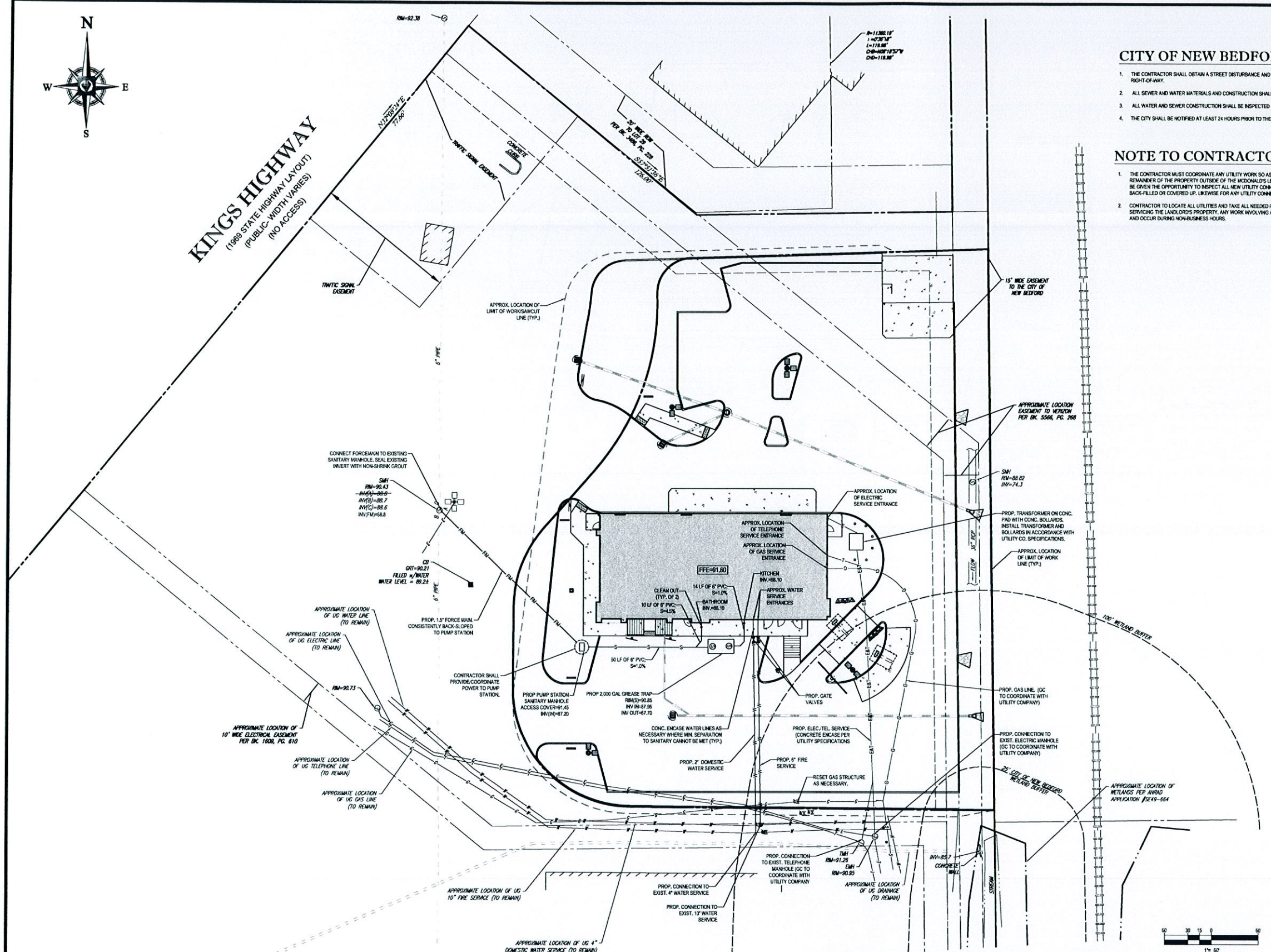
McDonald's
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 OFFICE ADDRESS
 NORTH EAST REGION
 690 CANTON STREET
 WESTWOOD, MA

PLAN APPROVALS
 SIGNATURE
 DATE

STREET ADDRESS
 1080 KINGS HIGHWAY
 CITY STATE
 NEW BEDFORD MASSACHUSETTS
 COUNTY
 PROVIDENCE COUNTY
 SITE ID #
 020-0128
 PLAN DESCRIPTION
 UTILITY PLAN
 SHEET NO.
 C-7
 OF 15

THIS PLAN TO BE UTILIZED FOR UTILITIES PURPOSES ONLY
 REFER TO GENERAL NOTES SHEET FOR GRADING & UTILITY NOTES

PLANNING
 AUG 14 2015
 DEPARTMENT



BOHLER ENGINEERING
 352 TURNPIKE ROAD
 SOUTHBOROUGH, MA 01772
 Phone: (508) 480-9000
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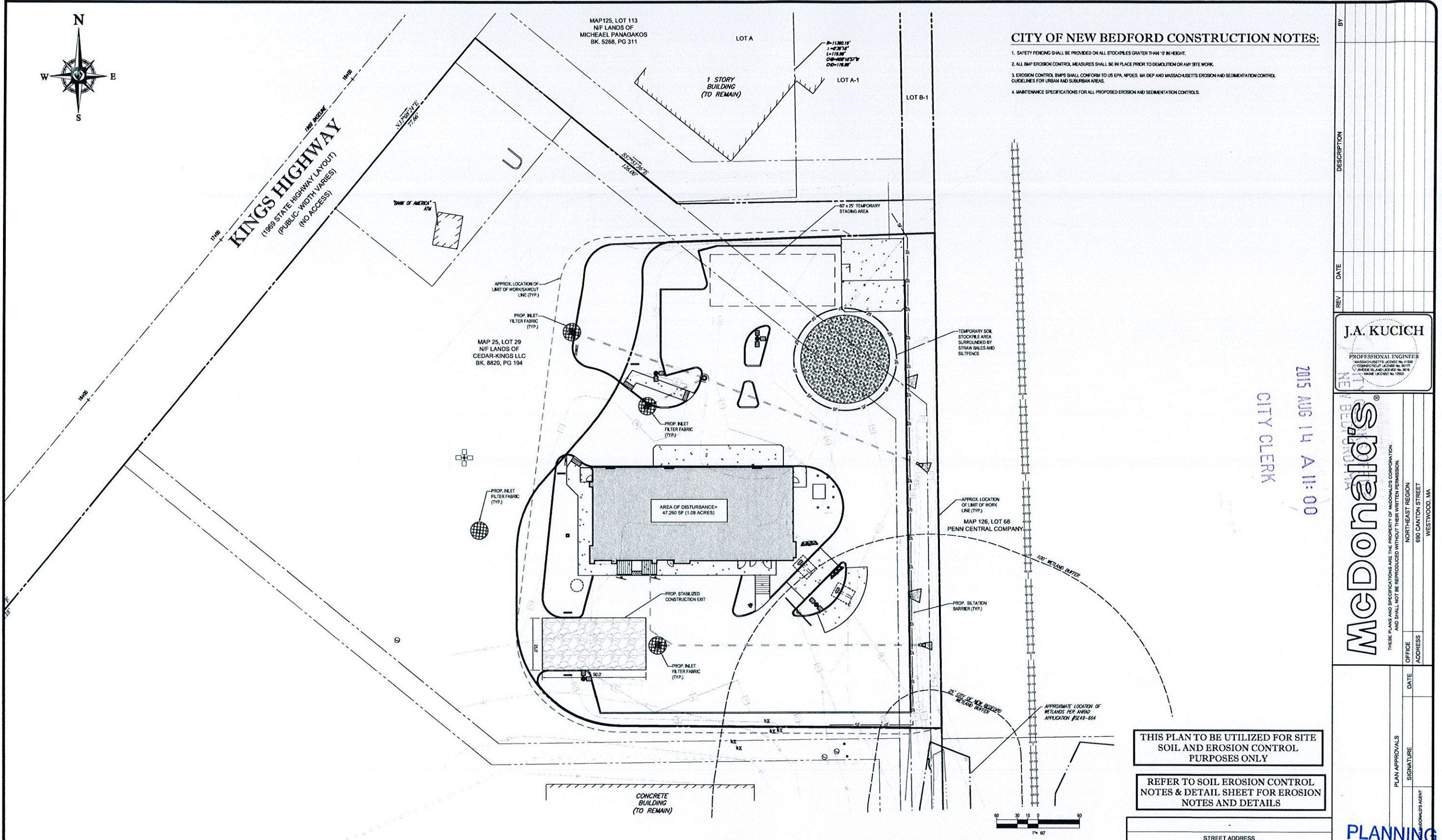
CIVIL & CONSULTING ENGINEERS
 SURVEYORS
 PROJECT MANAGERS
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 4 NEW YORK METRO WASHINGTON, DC
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 4 SOUTHASTON, MA
 4 BALTIMORE, MD
 4 SOUTHEN HAVEN, VA
 4 NORTH-EMM, VIRGINIA
 4 WASHINGTON, DC
 4 CENTRAL VIRGINIA CHARLOTTE, NC
 4 RALEIGH, NC

CONSTRUCTION CHECK DATE
 CONSTRUCTION CHECK DATE
 PROJECT No.: W142005
 CAD I.D. #: W142005s80.dwg



Case 19-15



- CITY OF NEW BEDFORD CONSTRUCTION NOTES:**
1. SAFETY FENCING SHALL BE PROVIDED ON ALL STOCKPILES GRATER THAN 10' IN HEIGHT.
 2. ALL BMP EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO DEMOLITION OR ANY SITE WORK.
 3. EROSION CONTROL BMP'S SHALL CONFORM TO US EPA, NPDES, MA DEP AND MASSACHUSETTS EROSION AND SEDIMENTATION CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS.
 4. MAINTENANCE SPECIFICATIONS FOR ALL PROPOSED EROSION AND SEDIMENTATION CONTROLS.

REV	DATE	DESCRIPTION

J.A. KUCICH
 PROFESSIONAL ENGINEER
 MASSACHUSETTS LICENSE NO. 6130
 CONNECTICUT LICENSE NO. 8177
 RHODE ISLAND LICENSE NO. 8177
 MAINE LICENSE NO. 1703

2015 AUG 14 A 11:00
 CITY CLERK

McDonald's
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 NORTH-EAST REGION
 690 CANTON STREET
 WESTWOOD, MA

THIS PLAN TO BE UTILIZED FOR SITE SOIL AND EROSION CONTROL PURPOSES ONLY
 REFER TO SOIL EROSION CONTROL NOTES & DETAIL SHEET FOR EROSION NOTES AND DETAILS

STREET ADDRESS 1080 KINGS HIGHWAY	
CITY NEW BEDFORD	STATE MASSACHUSETTS
COUNTY PROVIDENCE COUNTY	
SITE ID # 020-0128	PLAN DESCRIPTION SOIL EROSION & SEDIMENT CONTROL PLAN

DATE AUG 14 2015	APPROVED BY JAK
SIGNATURE EGD	DATE 8/12/15
PLANNING DEPARTMENT	SHEET NO. C-8
OF 15	

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CASB 19-15

EROSION & SEDIMENT CONTROL NOTES

1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
2. THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
3. SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTIGUOUS DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST. THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
4. INSTALL SILT FENCE AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILT FENCE DETAIL FOR PROPER INSTALLATION. SILT FENCE WILL REMAIN IN PLACE PER NOTES 6.
5. ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LOWER SURVEILLABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UP/DO ARE STABILIZED BY TURF.
6. NO SLOPES EITHER PERMANENT OR TEMPORARY SHALL BE STEEPER THAN TWO TO ONE (2:1).
7. IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
8. TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
9. DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS.
10. REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
 - 10.1. SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
 - 10.2. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TESTING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 300 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDES) AT A RATE OF 3 TONS PER ACRE (3 LB PER 1,000 SF).
 - 10.3. FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUEGRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN QUALITY 500 MAY BE SUBSTITUTED FOR SEED.
 - 10.4. HAY MULCH AT THE RATE OF 75-90 LBS PER 1,000 SF. A HYDROAPPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS WILL BE USED ON HAY MULCH FOR WIND CONTROL.
11. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
12. WETLANDS WILL BE PROTECTED WITH STRAW BALES AND/OR SILT FENCE INSTALLED AT THE EDGE OF THE WETLAND OR THE BOUNDARY OF WETLAND DISTURBANCE.
13. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
14. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.

MULCH

LOCATION	MULCH	RATE (1000 SF)
PROTECT AREA	STRAW	100 POUNDS
WINDY AREA	SHREDED OR CHOPPED CORNSTALKS STRAW (ANCHORED)*	185-275 POUNDS
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	JUTE MESH OR EXCELISOR MAT	AS REQUIRED

GREATER THAN 3:1 (REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)

*A HYDRO-APPLICATION OF WOOD OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON HAY MULCH FOR WIND CONTROL.

MULCH ANCHORING

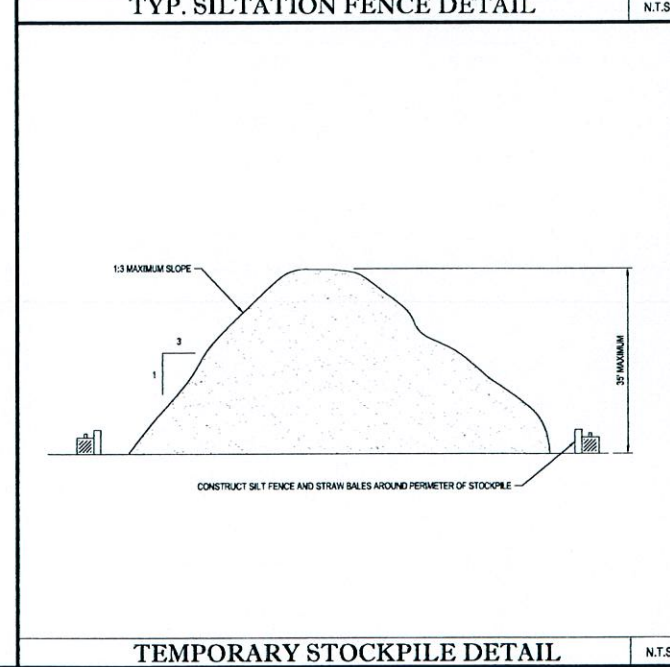
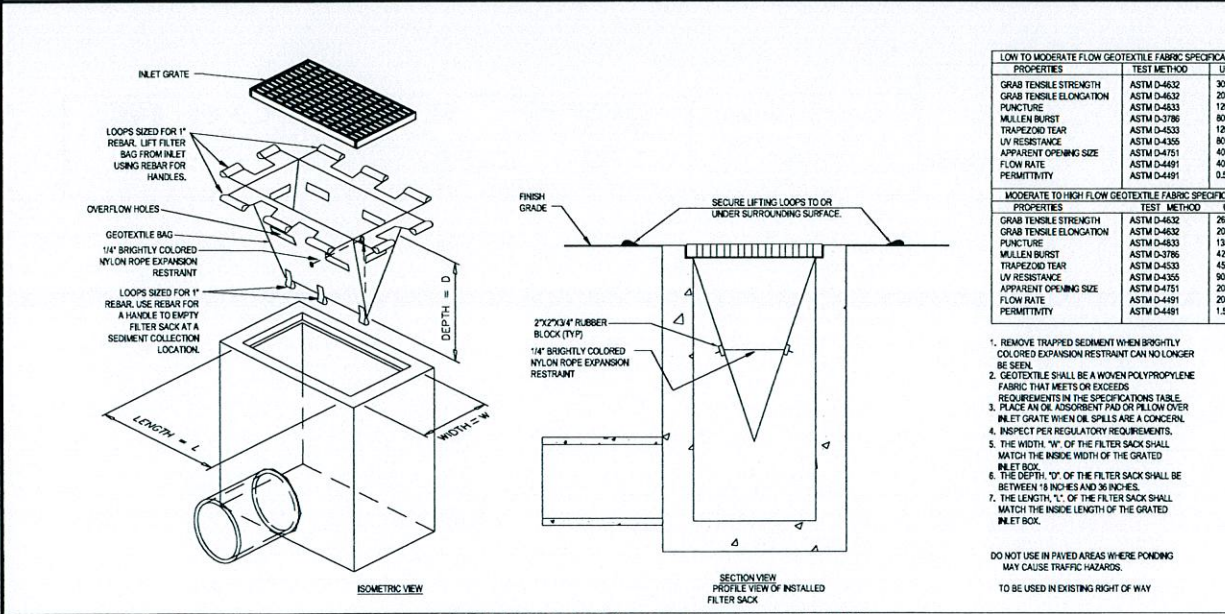
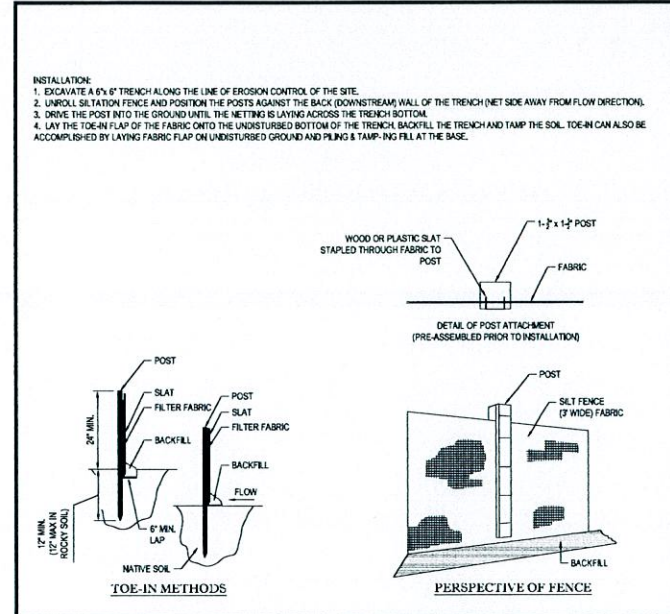
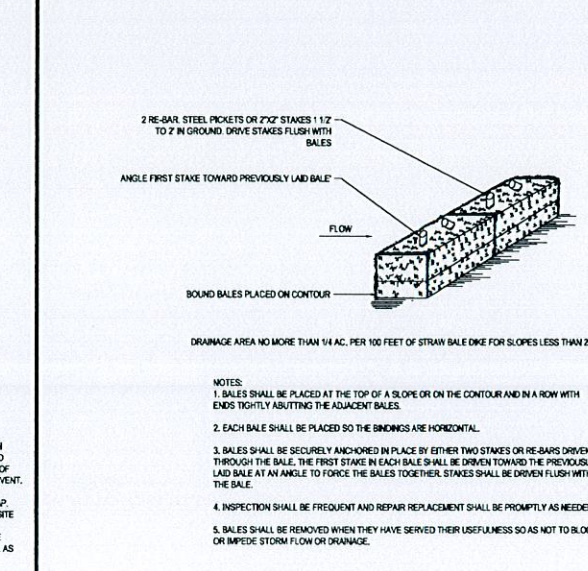
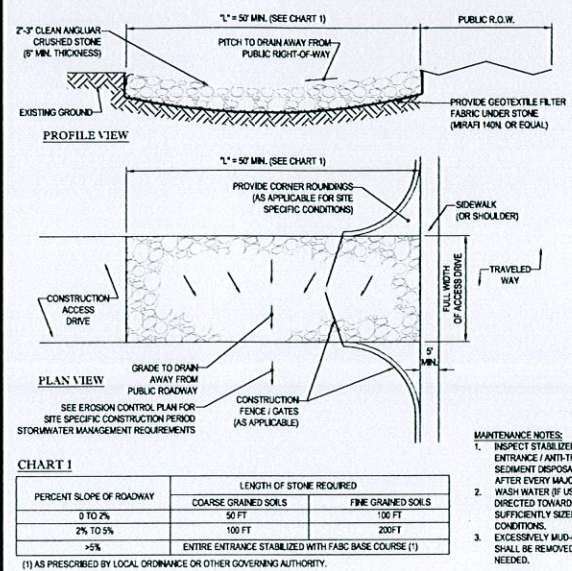
ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD. LOGIC MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (70 LBS/ACRE); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERIATED STRAIGHT DISK WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.

EROSION CONTROL NOTES DURING WINTER CONSTRUCTION

1. WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
2. WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
3. EXPOSED AREA SHOULD BE LIMITED TO THAT WHICH CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.
4. CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE OF THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
5. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR HAY AT A RATE OF 100 LB PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDING MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
6. BETWEEN THE DATES OF OCTOBER 15 AND APRIL 15, MULCH OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDING AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER OCTOBER 15 AND IF THE EXPOSED AREA HAS BEEN LOADED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDING AT A RATE OF 200 - 300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF HAY OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
7. MULCHING REQUIREMENTS:
 - 7.1. BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.
 - 7.2. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPES EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
 - 7.3. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST. THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
8. AFTER NOVEMBER 1ST THE CONTRACTOR SHALL APPLY DORMANT SEEDING OR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END OF EACH WORKING DAY.
9. DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.
10. STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
11. EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.

CONSTRUCTION SEQUENCE

- THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:
- INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT (AS SHOWN)
 - INSTALLATION OF EROSION CONTROL BARRIER (STRAW BALES AND SILT FENCE) (AS SHOWN)
 - INSTALLATION OF INLET PROTECTION IN STREET (AS SHOWN)
 - DEMOLITION OF EXISTING SITE STRUCTURES (SEE DEMOLITION PLAN)
 - DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES (SEE DEMOLITION PLAN)
 - CLEARING AND GRUBBING
 - INSTALLATION OF TEMPORARY SWALES AND SEDIMENT BASINS
 - EARTHWORK AND EXCAVATION/FILLING AS NECESSARY
 - CONSTRUCTION OF UTILITIES
 - STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING
 - INSTALLATION OF INLET PROTECTION ON ON-SITE UTILITIES (AS SHOWN)
 - CONSTRUCTION OF BUILDINGS
 - CONSTRUCTION OF ALL CURBS AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
 - SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH
 - FINAL GRADING OF ALL SLOPED AREAS
 - PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED (REQUIRED)
 - REMOVAL OF THE TEMPORARY SEDIMENT BASINS
 - PAVE PARKING LOT
 - LANDSCAPING PER LANDSCAPING PLAN
 - REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER.



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LANDSCAPE ARCHITECTS

OFFICES: WARREN, NJ; UPLAND, CA; BOSTON, MA; NEW YORK, NY; PHILADELPHIA, PA; SOUTHGATE, PA; BALTIMORE, MD; SOUTHERN HAVEN, CT; NORTH-VAIR, VA; WASHINGTON, DC; CHARLOTTE, NC; RALEIGH, NC; SOUTHERN HAVEN, CT; WASHINGTON, DC; CHARLOTTE, NC; RALEIGH, NC.

CONSTRUCTION CHECK _____ DATE _____
CONSTRUCTION CHECK _____ DATE _____
PROJECT No.: W142005
CAD I.D. #: W142005ss0.dwg

STREET ADDRESS
1080 KINGS HIGHWAY

CITY NEW BEDFORD STATE MASSACHUSETTS

COUNTY PROVIDENCE COUNTY

SITE ID # 020-0128

PLAN DESCRIPTION
SOIL EROSION CONTROL NOTES & DETAILS

CONSTRUCTION CHECK _____ DATE _____
CONSTRUCTION CHECK _____ DATE _____
PROJECT No.: W142005
CAD I.D. #: W142005ss0.dwg

DESCRIPTION

REVISIONS

DATE

BY

J.A. KUCICH
PROFESSIONAL ENGINEER
MASSACHUSETTS LICENSE # 11818
CONNECTICUT LICENSE # 20173
NEW BEDFORD, MASSACHUSETTS
MAINE LICENSE # 12513

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NORTH-EAST REGION
890 CANTON STREET
WESTWOOD, MA

PLANNING

STATUS DATE BY
DRAWN AUG 14 2019 JAK
PLAN CHECKED
DESIGN DEPARTMENT
SHEET NO. C-9 OF 15

CASE 19-15



KINGS HIGHWAY
 (1989 STATE HIGHWAY LAYOUT)
 (PUBLIC WIDTH VARIES)
 (NO ACCESS)

MAP 125, LOT 113
 N/F LANDS OF
 MICHAEL PANAGAKOS
 BK. 5268, PG 311

LOT A

1 STORY
 BUILDING
 (TO REMAIN)

LOT A-1

LOT B-1

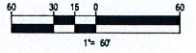
MAP 25, LOT 29
 N/F LANDS OF
 CEDAR-KINGS LLC
 BK. 8820, PG 194

MCDONALD'S 4597
 (FFDT WINDOW)
 (4,456 SF)

MAP 126, LOT 68
 PENN CENTRAL COMPANY

APPROXIMATE LOCATION OF
 10' WIDE ELECTRICAL EASEMENT
 PER BK. 1628, PG. 810

CONCRETE
 BUILDING
 (TO REMAIN)



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 ● NEW YORK, NY ● PHILADELPHIA, PA ● CHARLOTTE, NC
 ● PHILADELPHIA, PA ● CENTRAL VIRGINIA ● EDINBURGH, VA
 ● SOUTH-EASTERN, PA ● RALEIGH, NC

CONSTRUCTION CHECK	DATE
CONSTRUCTION CHECK	DATE
PROJECT No.:	W142005
CAD I.D. #:	W142005ss0.dwg

THIS PLAN TO BE UTILIZED FOR
 LANDSCAPE PURPOSES ONLY

REFER LANDSCAPE NOTES &
 DETAILS SHEET FOR LANDSCAPE
 NOTES AND DETAILS

STREET ADDRESS 1080 KINGS HIGHWAY		PLANNING	
CITY NEW BEDFORD	STATE MASSACHUSETTS	DATE AUG 14 2015	BY EGD
COUNTY PROVIDENCE COUNTY		DATE CHECKED 8/12/15	BY JAK
SITE ID # 020-0128	PLAN DESCRIPTION LANDSCAPE PLAN	SHEET NO. C-10 OF 15	

REV	DATE	DESCRIPTION
2015 AUG 14		CITY CLERK
2015 AUG 14		CITY CLERK
<p>M.J. MRVA REGISTERED LANDSCAPE ARCHITECT MASSACHUSETTS NO. 1217 RHODE ISLAND NO. 419</p>		
<p>McDonald's THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION. NORTH-EAST REGION 890 CANTON STREET WESTWOOD, MA</p>		
DATE	APPROVED MCDONALD'S AGENT	APPROVED MCDONALD'S AGENT



17/08/15 11:27 AM - 17/08/15 11:27 AM - 17/08/15 11:27 AM - 17/08/15 11:27 AM - 17/08/15 11:27 AM - 17/08/15 11:27 AM - 17/08/15 11:27 AM - 17/08/15 11:27 AM - 17/08/15 11:27 AM - 17/08/15 11:27 AM

CASE 19-15



KINGS HIGHWAY
(1988 STATE HIGHWAY LAYOUT)
(PUBLIC- WIDTH VARIES)
(NO ACCESS)

MAP125, LOT 113
N/F LANDS OF
MICHAEL PANAGAKOS
BK. 5268, PG 311

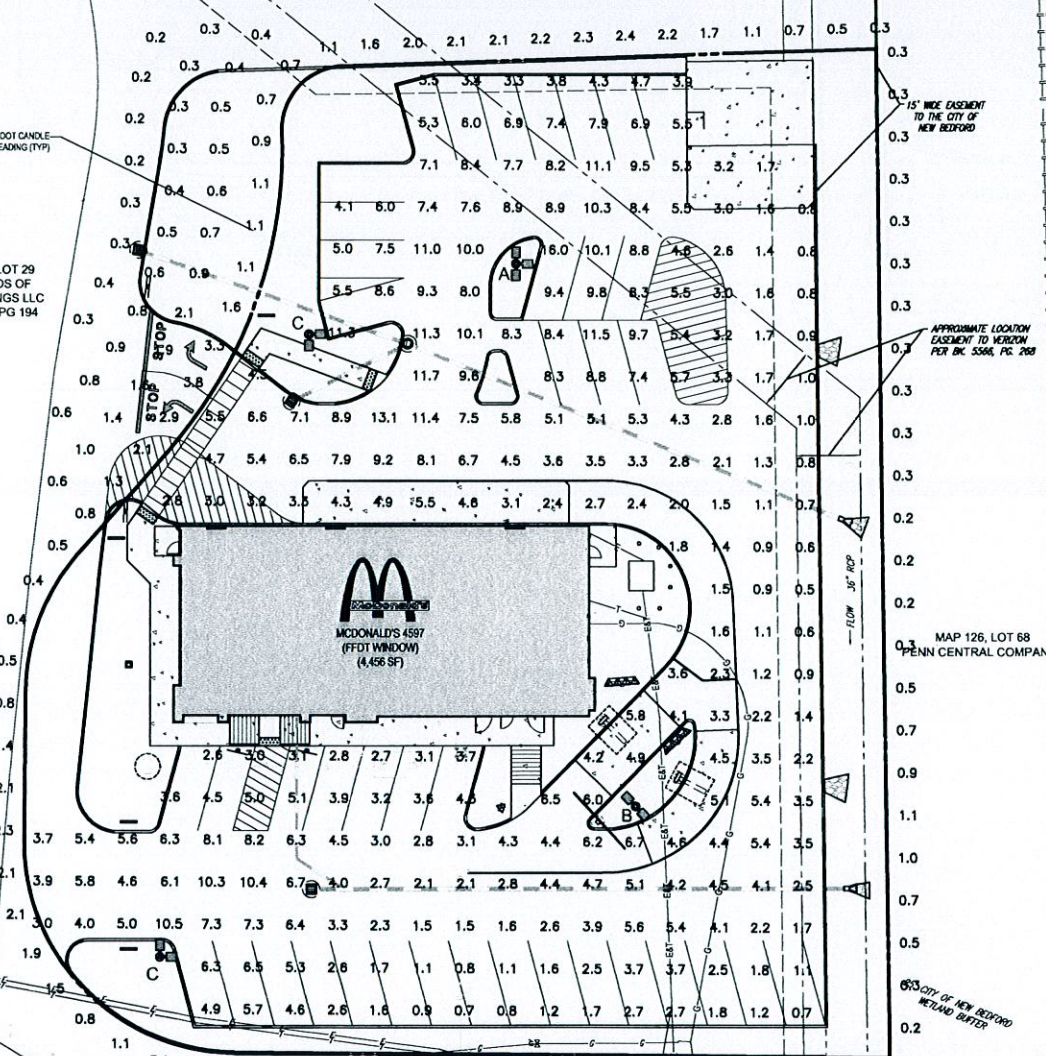
LOT A

1 STORY
BUILDING
(TO REMAIN)

LOT A-1

LOT B-1

MAP 25, LOT 29
N/F LANDS OF
CEDAR-KINGS LLC
BK. 8820, PG 194



LIGHTING NOTES:

- THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURERS. ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHT LOSS FACTORS USED IN THESE LIGHTING CALCULATIONS ARE 0.90 FOR ALL LED LUMINAIRES, 0.80 FOR ALL HIGH PRESSURE SODIUM LUMINAIRES OR 0.72 FOR ALL METAL HALIDE LUMINAIRES UNLESS OTHERWISE SPECIFIED. THESE FACTORS ARE INDICATIVE OF TYPICAL LIGHTING INDUSTRY MODELING STANDARDS.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED. THE VALUES DEPICTED ON THIS PLAN ARE IN FOOT-CANDELS.
- THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT NOT BE LIMITED TO, FREQUENT VISUAL INSPECTIONS, CLEANING OF LENSES AND RELAMPING (IF NECESSARY) AT LEAST ONCE EVERY SIX (6) MONTHS. FAILURE TO FOLLOW THE ABOVE STEPS COULD CAUSE THE LUMINAIRES, LAMPS AND LENSES TO FAIL PROPERLY TO FUNCTION.
- WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES. UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER AND ARE CONSEQUENTLY, APPROXIMATIONS ONLY. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC. ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE.
- THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES ONLY. POWER SYSTEM, CONDUITS, WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT AND/OR LIGHTING CONTRACTOR, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. LIGHT POLE BASES ARE THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND APERTURANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, REGULATIONS, LAWS AND STATUTES.
- CONTRACTOR MUST BRING TO DESIGNER'S ATTENTION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES OR OTHER STRUCTURES.
- IT IS LIGHTING CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROJECT ARCHITECT OR OWNER REGARDING THE POWER SOURCE(S) FROM WITHIN THE BUILDING, AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT.
- THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN INCLUDING BUT NOT LIMITED TO, GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY AND ALL GOVERNMENTAL RULES, LAWS, ORDINANCES, REGULATIONS AND THE LIKE.
- THE CONTRACTOR MUST VERIFY THAT INSTALLATION OF LIGHTING FIXTURES COMPLIES WITH THE REQUIREMENTS FOR SEPARATION FROM OVERHEAD ELECTRICAL WIRES PER STATE REGULATIONS.
- WHEN A BANK ATM IS INCLUDED IN THE PLAN, THE LIGHTING DESIGN REPRESENTS BUILDER'S UNDERSTANDING AND INTERPRETATION OF THE REGULATORY LIGHTING LEVELS INTENDED BY PUBLISHED STANDARDS.
- UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.
- LIGHTING LEVELS INDICATED ON THIS PLAN ARE TAKEN FROM PLAN PREPARED BY SECURITY LIGHTING SYSTEMS, ENTITLED "POINT-BY-POINT FOOT-CANDLE PLOT", DRAWING NUMBER "PCP0275A" AND DATED 07/17/15.

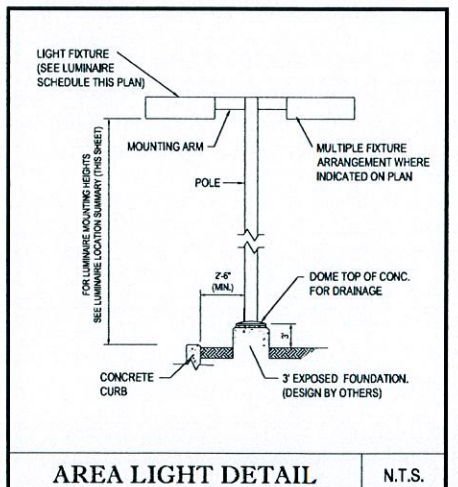
NUMERIC SUMMARY

LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PAVED SURFACE READINGS	ILLUMINANCE	FC	4.7	16.0	0.5	9.31	32.00
PROPERTY LINE READINGS	ILLUMINANCE	FC	1.2	3.9	0.2	5.86	19.50

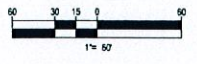
LUMINAIRE SCHEDULE

SYMBOL	QTY	ARRANGEMENT	LUMENS	LLF	DESCRIPTION
A	1	SINGLE	24,700	0.87	280WATT WIPES - LARGE (LED) VPL-6948-280-96-14-LV-90-" SSP-4118-GL-" " (F) POLE TYPE", MOUNTING HEIGHT 21'
B	1	DOUBLE @ 180	24,700	0.87	280WATT WIPES - LARGE (LED) VPL-6948-280-96-14-LV-90-" SSP-4118-GL-" " (F) POLE TYPE", MOUNTING HEIGHT 21'
C	2	DOUBLE @ 90	24,700	0.87	280WATT WIPES - LARGE (LED) VPL-6948-280-96-14-LV-90-" SSP-4118-GL-" " (F) POLE TYPE", MOUNTING HEIGHT 21'

* POLES SPECIFIED ON THIS DRAWING ARE RATED FOR AN 120 MPH WIND LOAD. FOR AREAS WHERE THE WIND LOAD CRITERIA EXCEEDS 120 MPH, PLEASE CONSULT FACTORY FOR PROPER POLE SPECIFICATION AND MODEL NUMBER.
** SPECIFY COLOR



AREA LIGHT DETAIL N.T.S.



THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY

PLANNING
AUG 14 2015
DEPARTMENT

STREET ADDRESS
1080 KINGS HIGHWAY

CITY STATE
NEW BEDFORD MASSACHUSETTS

COUNTY
PROVIDENCE COUNTY

SITE ID # 020-0128

PLAN DESCRIPTION
LIGHTING PLAN

DATE
AUG 14 2015

DRAWN BY: 8/12/15 EGD

PLAN CHECKED: JAK

AS-BUILT

SHEET NO. C-12 OF 15

BOHLER ENGINEERING
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
Fax: (508) 480-5080
www.BohlerEngineering.com

CIVIL & CONSULTING ENGINEERS
SURVEYORS
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

OFFICES:

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- SPRINGFIELD, MA
- BOSTON, MA
- NEW YORK, NY
- PHILADELPHIA, PA
- LEHIGH VALLEY, PA
- SOUTH WESTPARK, VA
- BALTIMORE, MD
- SOUTH BEND, IN
- NORTHERN VIRGINIA
- WASHINGTON, DC
- CENTRAL VIRGINIA
- CHARLOTTE, NC
- RALEIGH, NC

CONSTRUCTION CHECK DATE

CONSTRUCTION CHECK DATE

PROJECT No.: W142005

CAD I.D. #: W142005s0.dwg

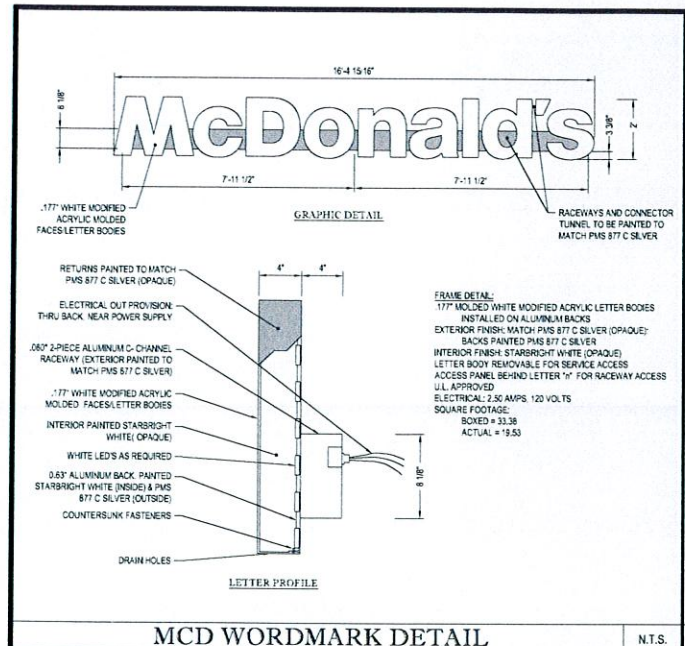


J.A. KUCICH
PROFESSIONAL ENGINEER
MASSACHUSETTS LICENSE NO. 4502
CONNECTICUT LICENSE NO. 8171
RHODE ISLAND LICENSE NO. 9174
MAINE LICENSE NO. 1053

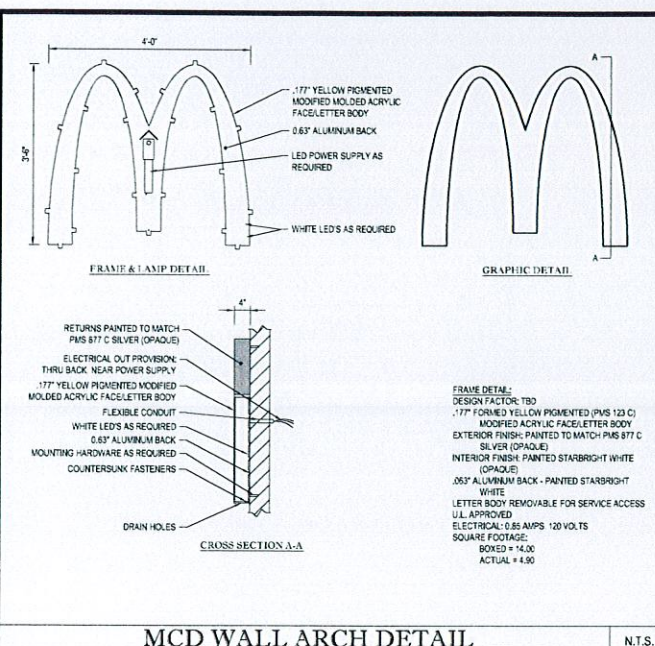
McDonald's
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.
NORTH-EAST REGION
690 CANTON STREET
WESTWOOD, MA

PLAN APPROVALS	DATE	ADDRESS
SIGNATURE		
APPROVED MCDONALD'S AGENT		

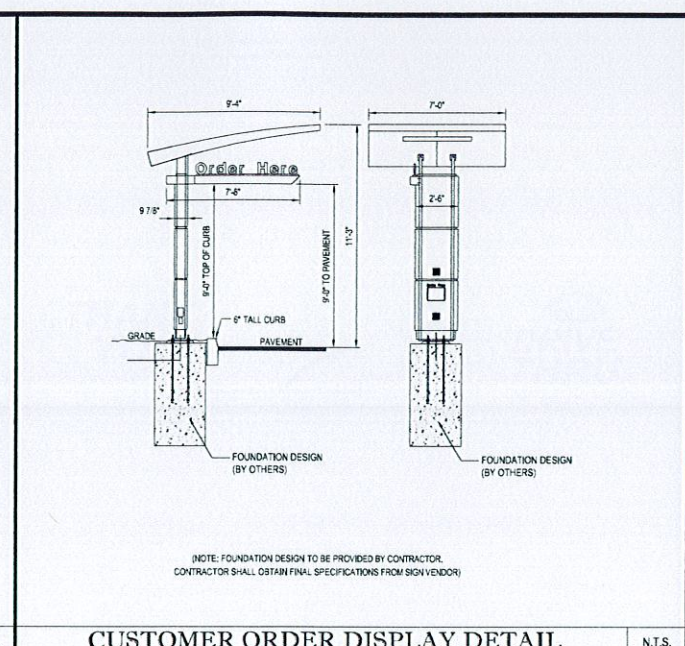
CASE 19-15



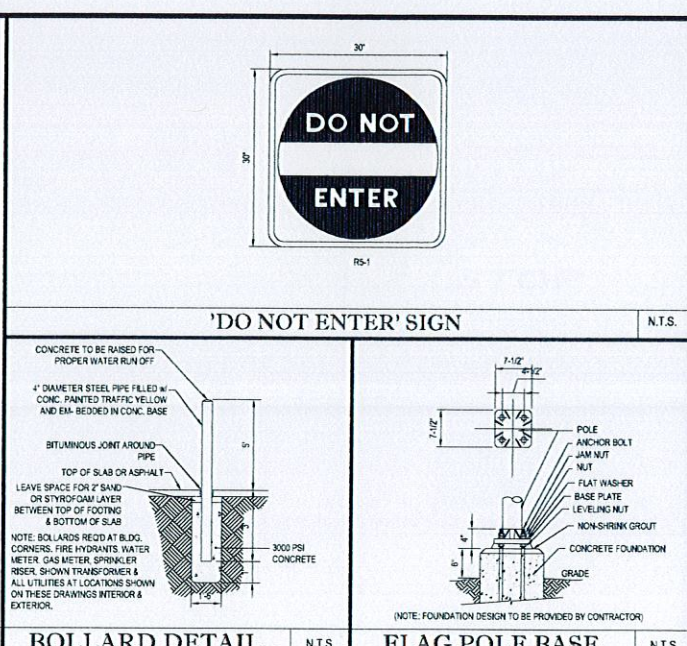
MCD WORDMARK DETAIL N.T.S.



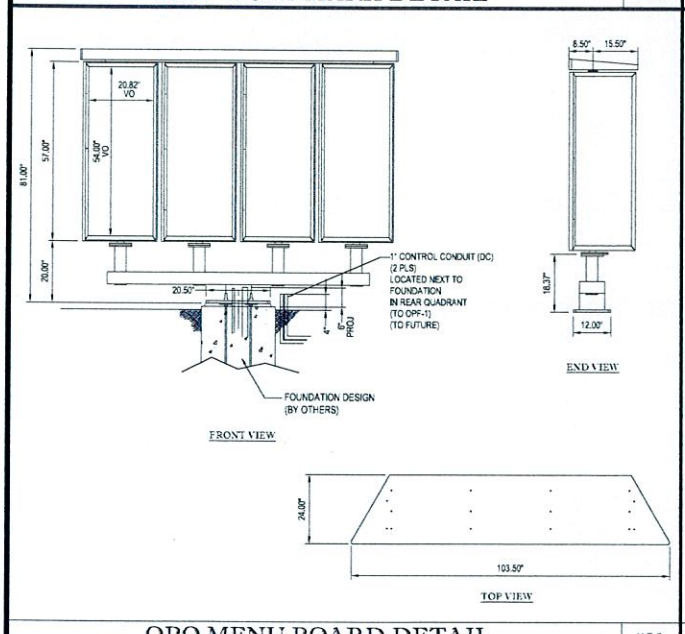
MCD WALL ARCH DETAIL N.T.S.



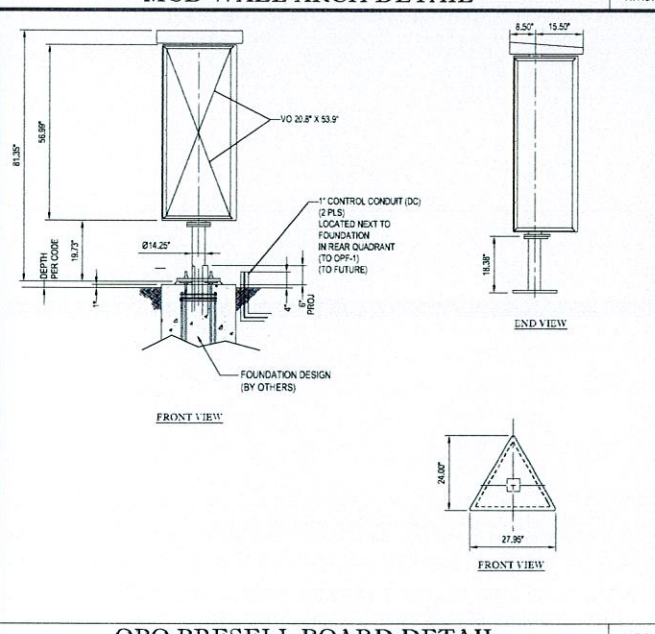
CUSTOMER ORDER DISPLAY DETAIL N.T.S.



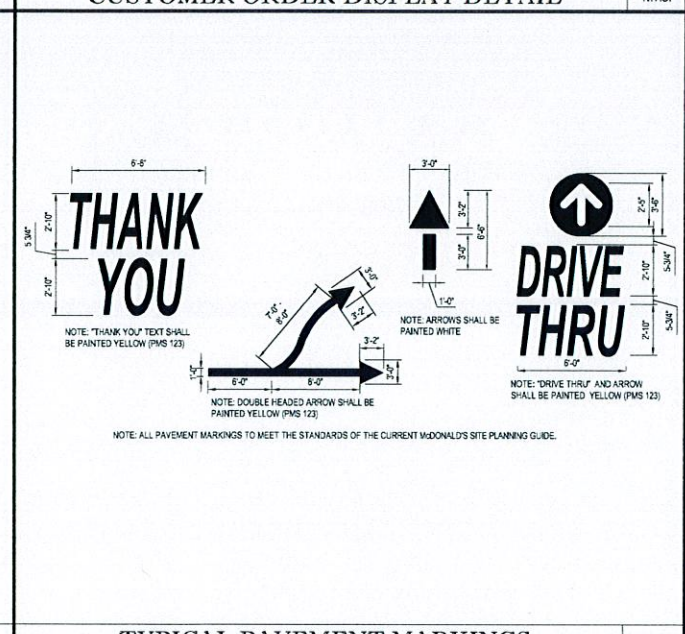
BOLLARD DETAIL N.T.S. FLAG POLE BASE N.T.S.



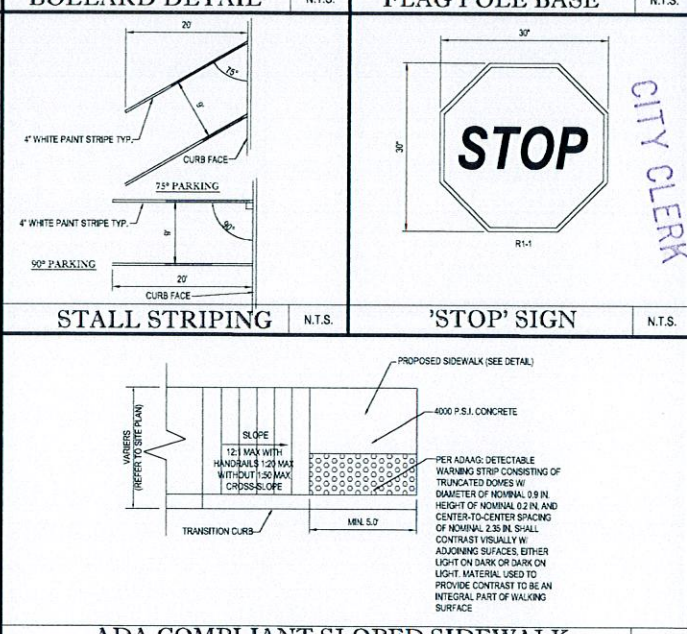
OPO MENU BOARD DETAIL N.T.S.



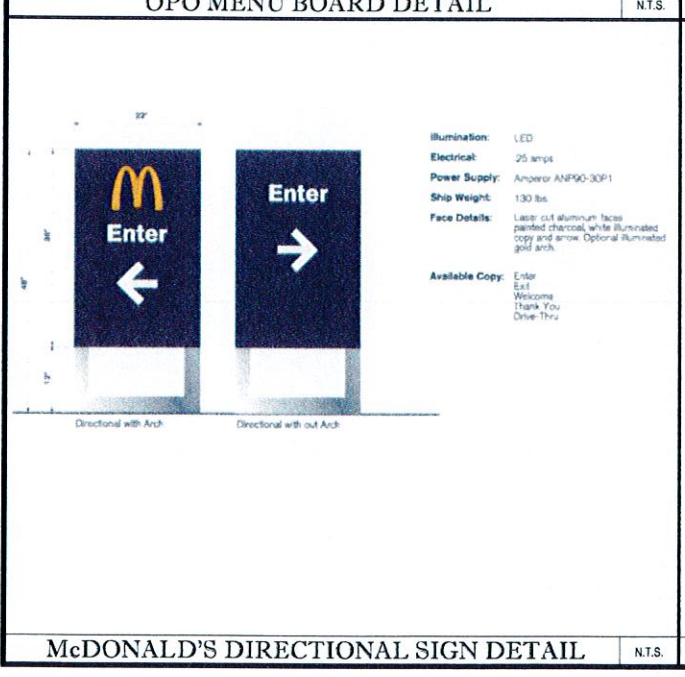
OPO PRESELL BOARD DETAIL N.T.S.



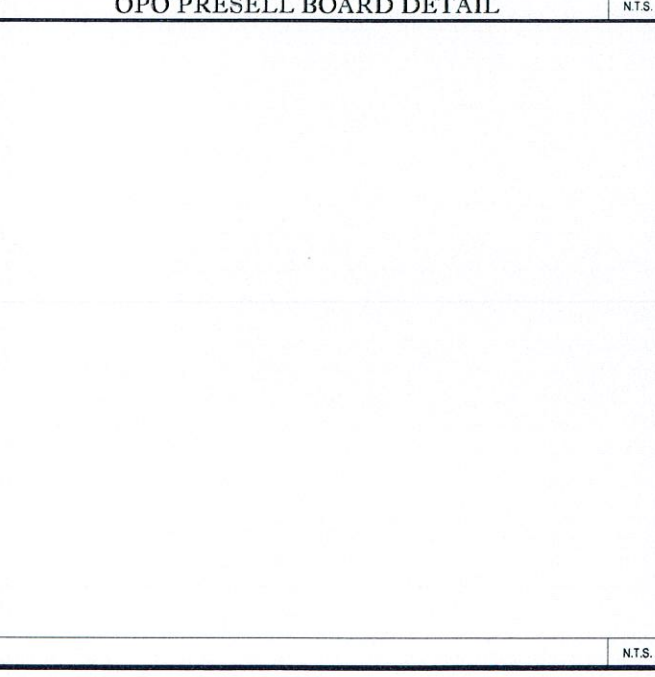
TYPICAL PAVEMENT MARKINGS N.T.S.



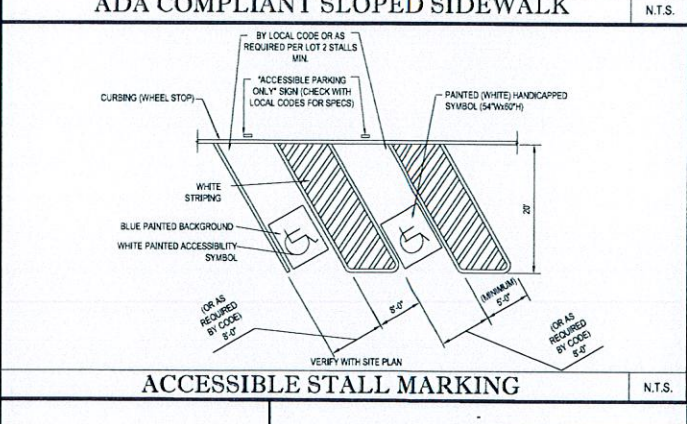
ADA COMPLIANT SLOPED SIDEWALK N.T.S.



McDONALD'S DIRECTIONAL SIGN DETAIL N.T.S.



PRECAST CONCRETE CURB DETAIL N.T.S.



ACCESSIBLE STALL MARKING N.T.S.

BOHLER ENGINEERING

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CONSTRUCTION CHECK DATE

CONSTRUCTION CHECK DATE

PROJECT No.: W142005

CAD I.D. #: W142005ss0.dwg

STREET ADDRESS: 1080 KINGS HIGHWAY

CITY: NEW BEDFORD STATE: MASSACHUSETTS

COUNTY: PROVIDENCE COUNTY

SITE ID #: 020-0128 PLAN DESCRIPTION: DETAIL SHEET

CONSTRUCTION CHECK DATE

CONSTRUCTION CHECK DATE

PROJECT No.: W142005

CAD I.D. #: W142005ss0.dwg

BY: J.A. KUCICH

DATE: 8/12/15

DESCRIPTION: 'DO NOT ENTER' SIGN

REV: 1

DATE: 8/12/15

DESCRIPTION: 'STOP' SIGN

REV: 1

DATE: 8/12/15

DESCRIPTION: 'THANK YOU' SIGN

REV: 1

DATE: 8/12/15

DESCRIPTION: 'DRIVE THRU' SIGN

REV: 1

DATE: 8/12/15

DESCRIPTION: ADA COMPLIANT SLOPED SIDEWALK

REV: 1

DATE: 8/12/15

DESCRIPTION: ACCESSIBLE STALL MARKING

REV: 1

DATE: 8/12/15

DESCRIPTION: PRECAST CONCRETE CURB DETAIL

REV: 1

DATE: 8/12/15

DESCRIPTION: MCDONALD'S DIRECTIONAL SIGN DETAIL

REV: 1

DATE: 8/12/15

DESCRIPTION: MCD WALL ARCH DETAIL

REV: 1

DATE: 8/12/15

DESCRIPTION: CUSTOMER ORDER DISPLAY DETAIL

REV: 1

DATE: 8/12/15

DESCRIPTION: OPO MENU BOARD DETAIL

REV: 1

DATE: 8/12/15

DESCRIPTION: OPO PRESELL BOARD DETAIL

REV: 1

DATE: 8/12/15

DESCRIPTION: TYPICAL PAVEMENT MARKINGS

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DATE: 8/12/15

DESCRIPTION: ADA COMPLIANT SLOPED SIDEWALK

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DESCRIPTION: ACCESSIBLE STALL MARKING

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DATE: 8/12/15

DESCRIPTION: ADA COMPLIANT SLOPED SIDEWALK

REV: 1

DATE: 8/12/15

DESCRIPTION: ACCESSIBLE STALL MARKING

REV: 1

DATE: 8/12/15

DESCRIPTION: PRECAST CONCRETE CURB DETAIL

REV: 1

DATE: 8/12/15

DESCRIPTION: MCDONALD'S DIRECTIONAL SIGN DETAIL

REV: 1

DATE: 8/12/15

DESCRIPTION: MCD WALL ARCH DETAIL

REV: 1

DATE: 8/12/15

DESCRIPTION: CUSTOMER ORDER DISPLAY DETAIL

REV: 1

DATE: 8/12/15

DESCRIPTION: OPO MENU BOARD DETAIL

REV: 1

DATE: 8/12/15

DESCRIPTION: OPO PRESELL BOARD DETAIL

REV: 1

DATE: 8/12/15

DESCRIPTION: TYPICAL PAVEMENT MARKINGS

REV: 1

DATE: 8/12/15

DESCRIPTION: ADA COMPLIANT SLOPED SIDEWALK

REV: 1

DATE: 8/12/15

DESCRIPTION: ACCESSIBLE STALL MARKING

REV: 1

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DESCRIPTION: PRECAST CONCRETE CURB DETAIL

REV: 1

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REV: 1

DATE: 8/12/15

DESCRIPTION: PRECAST CONCRETE CURB DETAIL

REV: 1

DATE: 8/12/15

DESCRIPTION: MCDONALD'S DIRECTIONAL SIGN DETAIL

REV: 1

DATE: 8/12/15

DESCRIPTION: MCD WALL ARCH DETAIL

REV: 1

DATE: 8/12/15

DESCRIPTION: CUSTOMER ORDER DISPLAY DETAIL

REV: 1

DATE: 8/12/15

DESCRIPTION: OPO MENU BOARD DETAIL

REV: 1

DATE: 8/12/15

DESCRIPTION: OPO PRESELL BOARD DETAIL

REV: 1

DATE: 8/12/15

DESCRIPTION: TYPICAL PAVEMENT MARKINGS

REV: 1

DATE: 8/12/15

DESCRIPTION: ADA COMPLIANT SLOPED SIDEWALK

REV: 1

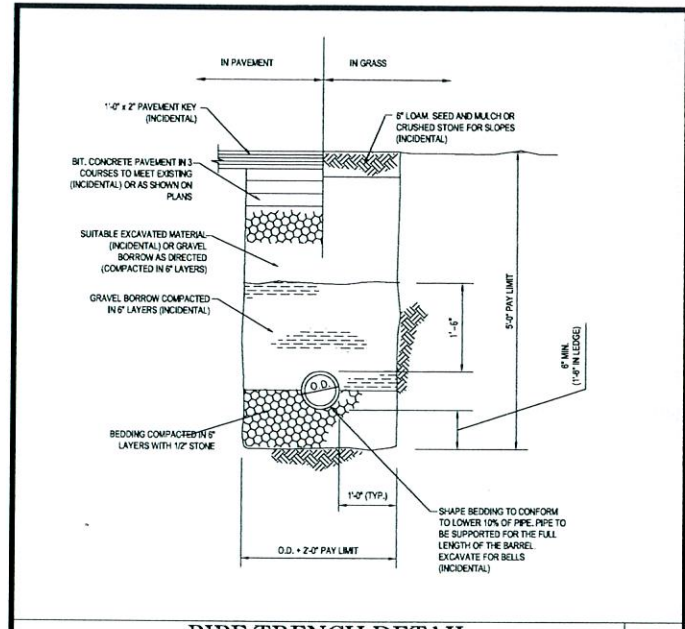
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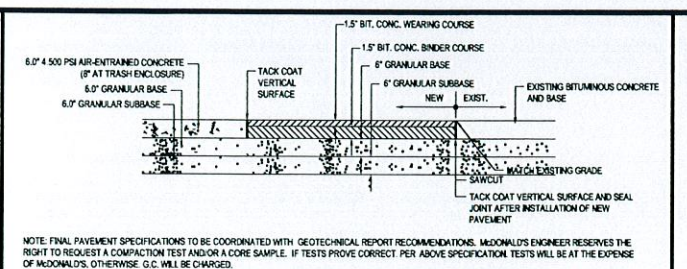
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DATE: 8/12/15

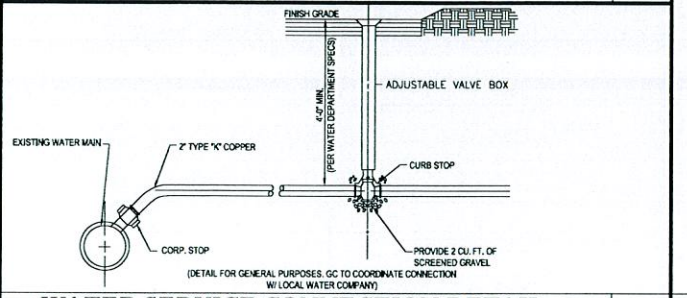
DESCRIPTION: PRECAST CONCRETE CURB DETAIL



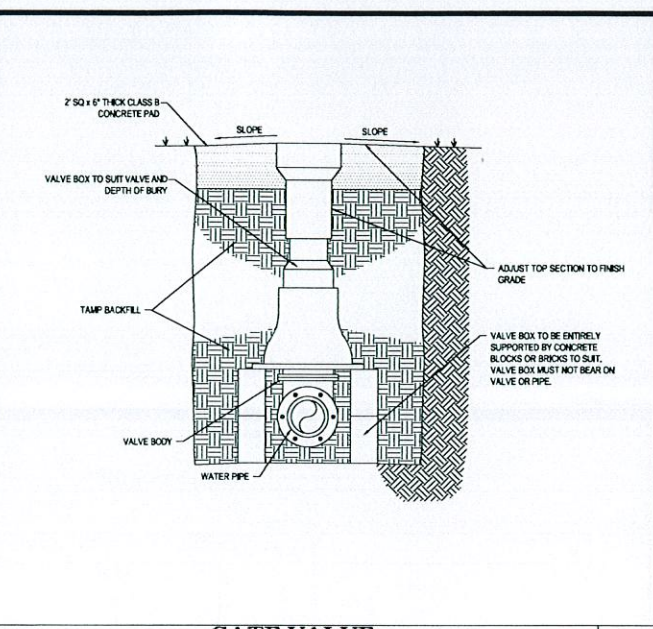
PIPE TRENCH DETAIL



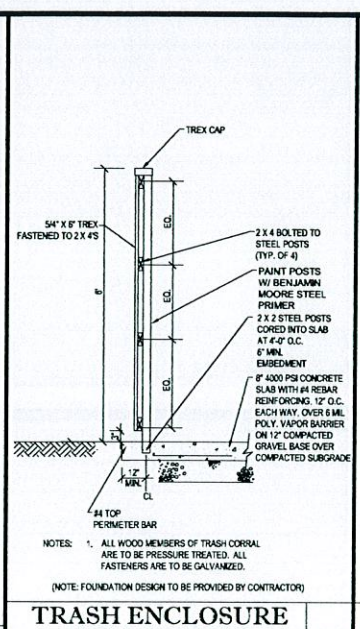
CONCRETE & BITUMINOUS CONCRETE PAVING DETAIL



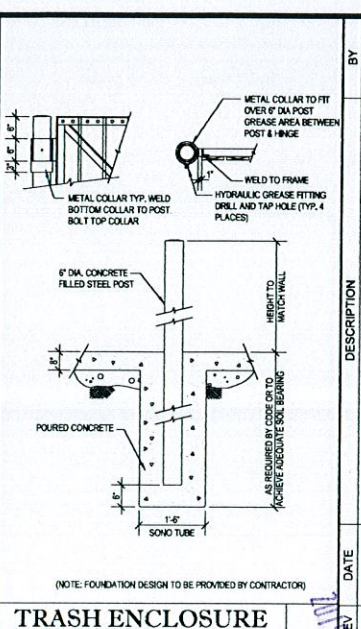
WATER SERVICE CONNECTION DETAIL



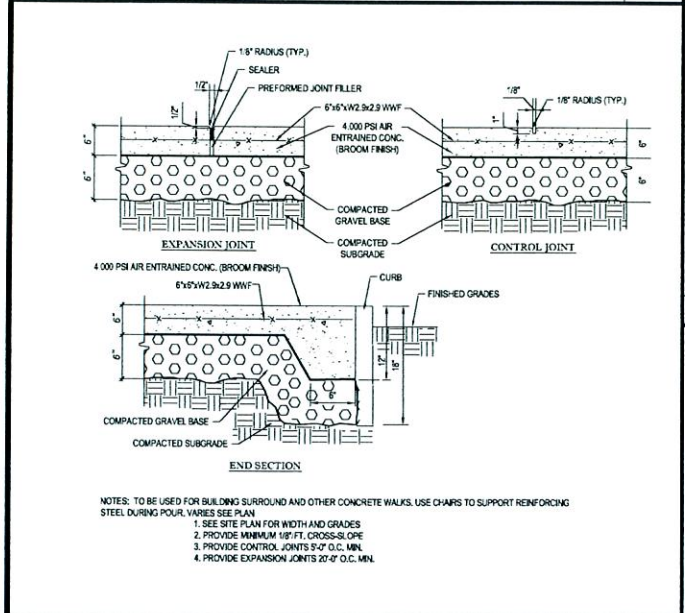
GATE VALVE



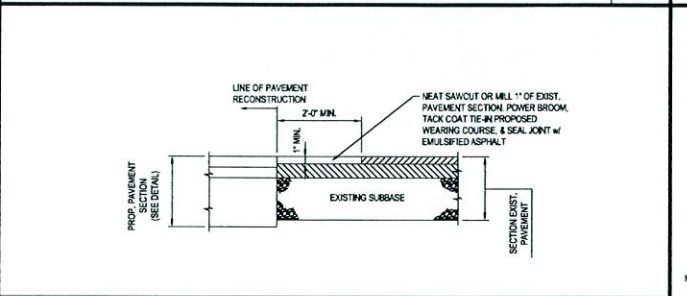
TRASH ENCLOSURE WALL SECTION



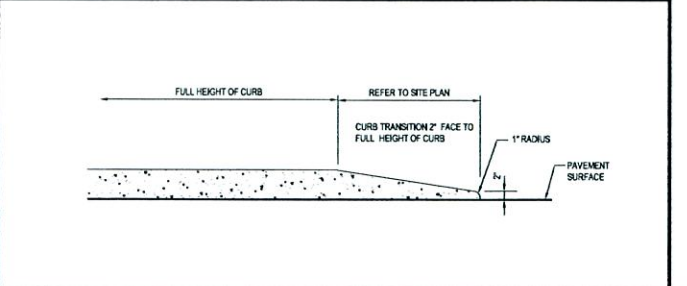
TRASH ENCLOSURE GATE POST DETAILS



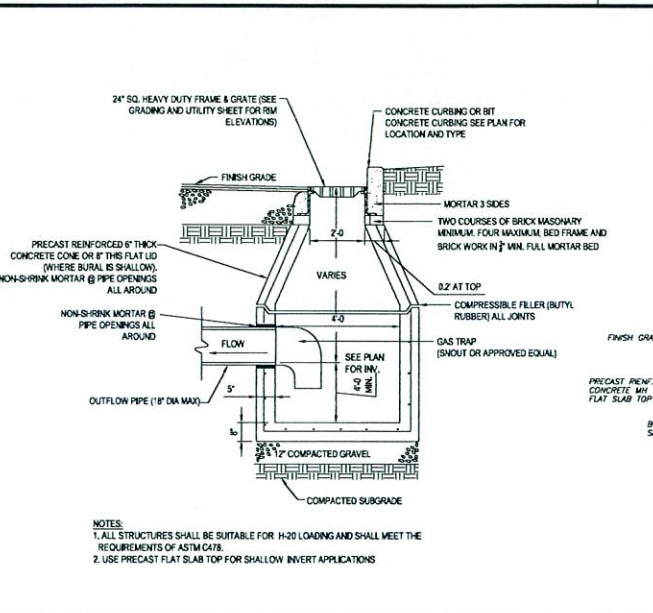
TYPICAL CONCRETE SIDEWALK DETAIL



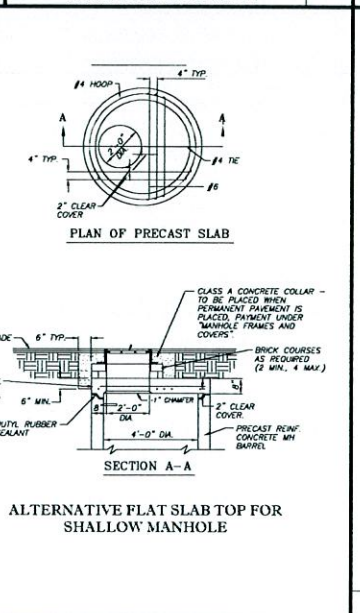
PAVEMENT TIE-IN DETAIL



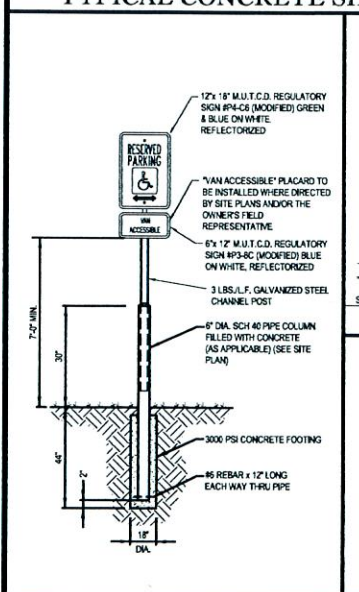
TRANSITION CURB DETAIL



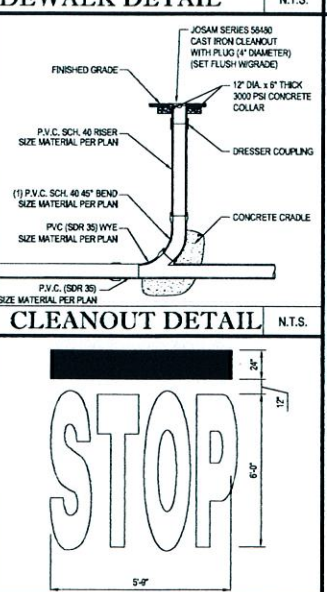
PRECAST CONCRETE DEEP SUMP CATCH BASIN



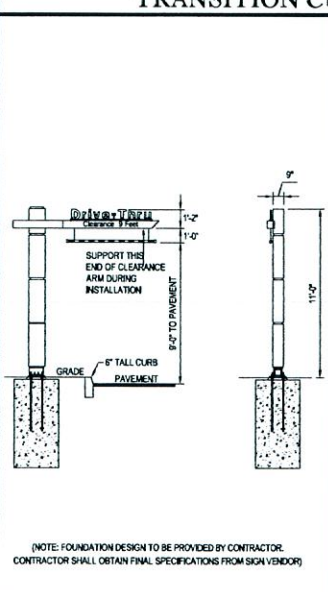
TRASH ENCLOSURE TYP. PLAN ELEV.



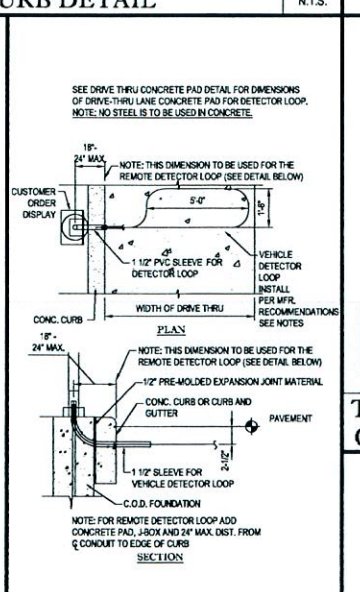
'ACCESSIBLE PARKING ONLY' SIGN



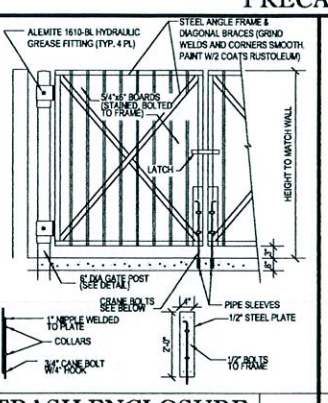
'STOP' BAR DETAIL



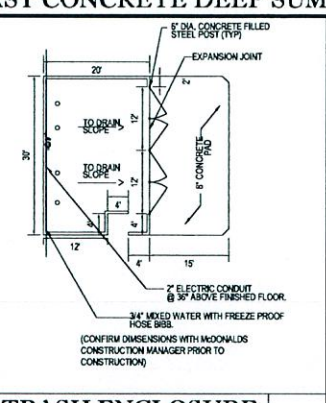
GATEWAY CLEARANCE BAR DETAIL



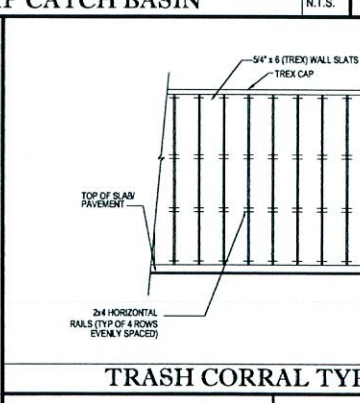
AUTO DETECTOR LOOP DETAIL



TRASH ENCLOSURE GATE & MOUNTING



TRASH ENCLOSURE CORALL LAYOUT



TRASH CORRAL TYPICAL ELEVATION

BOHLER ENGINEERING
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 LANDSCAPE ARCHITECTS

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CONSTRUCTION CHECK	DATE
CONSTRUCTION CHECK	DATE
PROJECT No.:	W142005
CAD I.D. #:	W142005ss0.dwg

STREET ADDRESS		1080 KINGS HIGHWAY	
CITY	NEW BEDFORD	STATE	MASSACHUSETTS
COUNTY			
PROVIDENCE COUNTY			
SITE ID #	020-0128		
PLAN DESCRIPTION		DETAIL SHEET	

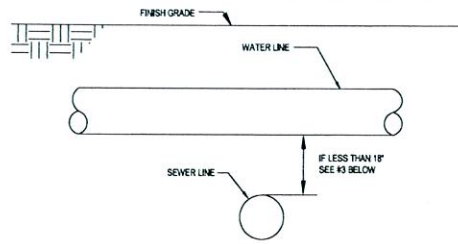
STATUS	DATE	BY
DRAWN BY:	8/12/15	EGD
PLAN CHECKED		JAK
AS-BUILT		
SHEET NO.	C-14	
	OF 15	

J.A. KUCICH
 PROFESSIONAL ENGINEER
 MASSACHUSETTS LICENSE NO. 10351
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL ENGINEERING
 STATE OF MASSACHUSETTS
 EXPIRES 12/31/16

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 NORTH-EAST REGION
 890 CANTON STREET
 WESTWOOD, MA

PLANNING
 AUG 14 2015
 DEPARTMENT

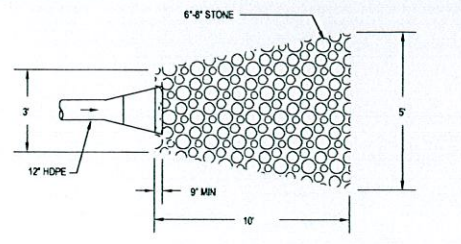
CASE 19-15



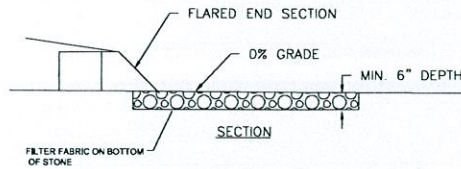
NOTES:
 1. THE VERTICAL SEPARATION BETWEEN THE WATER MAIN AND THE SEWER LINE SHALL BE A MINIMUM OF 18 INCHES.
 2. THE HORIZONTAL SEPARATION BETWEEN THE WATER MAIN AND THE SEWER LINE SHALL BE A MINIMUM OF 18 FEET.
 3. IF 1' OR 2' CANNOT BE MAINTAINED EITHER:
 A. WATER MAINS TO BE RE-LOCATED OR RE-CONSTRUCTED USING MECHANICAL JOINTS DUCTILE IRON PIPE FOR A DISTANCE OF 15 FEET ON EITHER SIDE OF THE CROSSING. CENTER WATER MAIN LENGTH OF PIPE SO THAT CENTER OF PIPE SECTION IS OVER SEWER. CENTER LENGTH OF SEWER PIPE UNDER CENTER OF WATER MAIN SO THAT JOINTS ARE THE MAXIMUM DISTANCE POSSIBLE APART.
 B. WATER AND SEWER LINES SHALL BE CONCRETE ENCASED PER DETAIL.

WHERE 10' HORIZONTAL SEPARATION OR 18" VERTICAL SEPARATION CANNOT BE ACHIEVED

WATER MAIN CROSSINGS



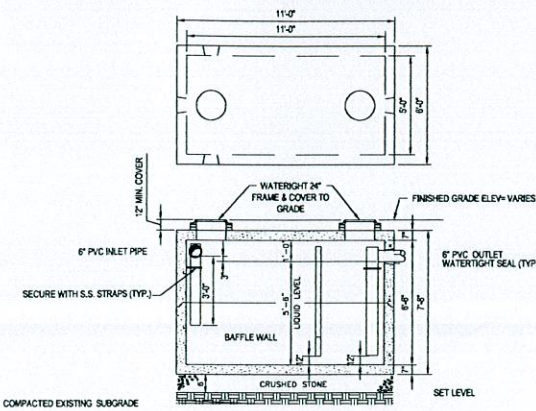
PLAN



SECTION

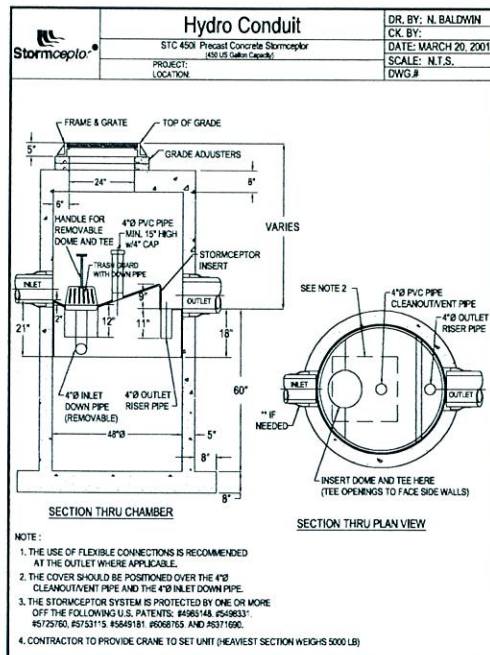
FLARED END RIP RAP DETAIL

N.T.S.



PRECAST GREASE TRAP 2,000 GAL./H.D.

N.T.S.



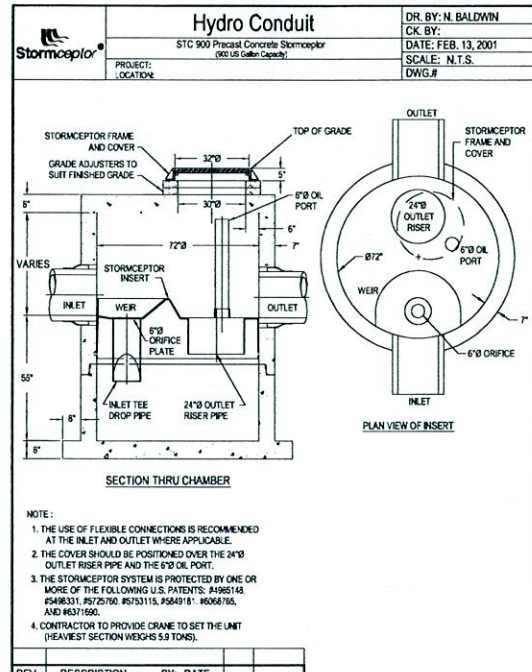
SECTION THRU CHAMBER

SECTION THRU PLAN VIEW

NOTE:
 1. THE USE OF FLEXIBLE CONNECTIONS IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.
 2. THE COVER SHOULD BE POSITIONED OVER THE 4" INLET DOWN PIPE AND THE 4" INLET CLEANOUT VENT PIPE AND THE 4" INLET DOWN PIPE.
 3. THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: #4985148; #5488331; #5727760; #5753115; #5849118; #6068765; AND #6371560.
 4. CONTRACTOR TO PROVIDE CRANE TO SET UNIT (HEAVIEST SECTION WEIGHS 5000 LB)

STORMCEPTOR STC 450i

N.T.S.



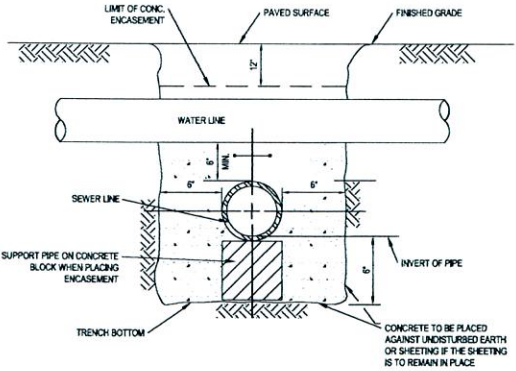
SECTION THRU CHAMBER

PLAN VIEW OF INSERT

NOTE:
 1. THE USE OF FLEXIBLE CONNECTIONS IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.
 2. THE COVER SHOULD BE POSITIONED OVER THE 24" INLET DOWN PIPE AND THE 24" INLET CLEANOUT VENT PIPE AND THE 24" INLET DOWN PIPE.
 3. THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: #4985148; #5488331; #5727760; #5753115; #5849118; #6068765; AND #6371560.
 4. CONTRACTOR TO PROVIDE CRANE TO SET UNIT (HEAVIEST SECTION WEIGHS 5.5 TONS)

STORMCEPTOR STC 900

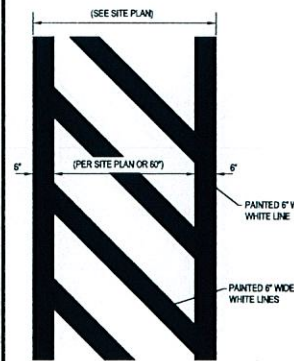
N.T.S.



NOTES:
 1. PIPE MUST BE BRACED VERTICALLY & HORIZONTALLY TO PREVENT FLUTATION DURING PLACEMENT OF CONCRETE
 2. ALL CONCRETE ENCASEMENT SHALL BE KEPT 12" BELOW THE BOTTOM OF ASPHALT PAVEMENT

CONCRETE ENCASEMENT DETAIL

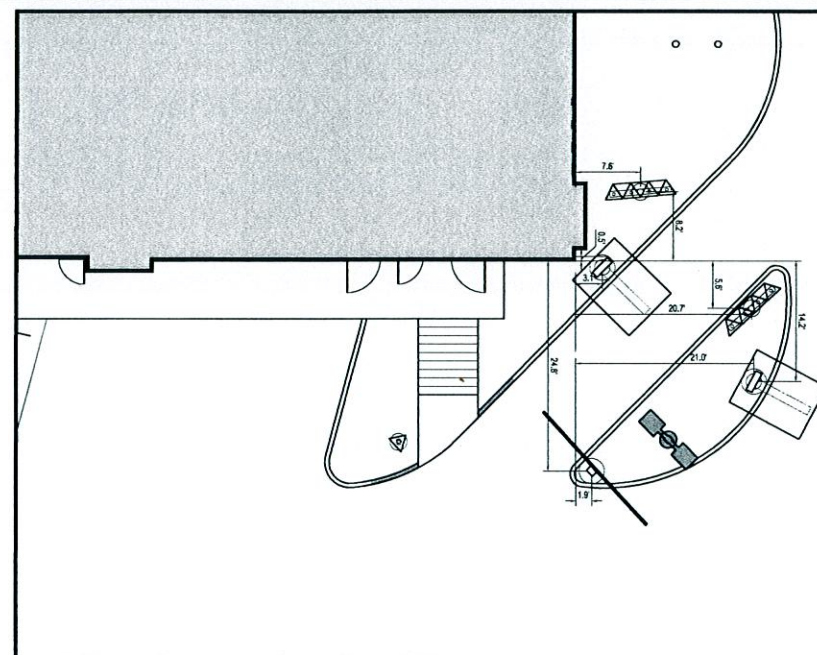
N.T.S.



CROSSWALK DETAIL

N.T.S.

N.T.S.



SIDE-BY-SIDE STANDARDS & DESIGN TOLERANCES

- DISTANCE FROM CENTER OF OPEN PRESENT WINDOW TO CENTER OF OPEN CASH WINDOW STANDARD IN 42-48 AND IS SPECIFIC TO EACH BUILDING CONFIGURATION. ACCEPTABLE TOLERANCE IS 42" MIN ON RECESS ONLY.
- DISTANCE FROM CENTER OF OPEN CASH WINDOW TO CENTER OF PRIMARY LANE COO IS 130" OPTIMAL. 80" OR 100" MIN. ACCEPTABLE TOLERANCE IS PLUS OR MINUS 5" FOR 100" OR 80" DIMENSIONS.
- THE CRITICAL HOLD DISTANCE FROM CENTER OF COO TO CENTER OF MENU BOARD FOOTING IN PRIMARY LANE IS 12'-0". THE ANGLE OF THE MENU BOARD CAN BE ADJUSTED FROM 90 DEGREES ALLOWING 100% VISIBILITY FOR THE FIRST CAR AT THE COO.
- THE CRITICAL HOLD DISTANCE FROM CENTER OF THE PRIMARY LANE COO TO THE TIP OF THE CURBED ISLAND IS 15'-0".
- THE CRITICAL HOLD DISTANCE FROM TIP OF ISLAND TO CENTER OF SECONDARY LANE COO IS 14'-0".
- THE CRITICAL HOLD DISTANCE FROM TIP OF ISLAND TO CENTER OF CURB IS 12'-0" STANDARD FROM FACE OF CURB TO CURB.
- THE PRE-SELL BOARD IS OPTIONAL AND IS GENERALLY LOCATED 30" FROM THE CENTER OF THE COO IN THE PRIMARY LANE. THE END OF THE FRONT FACE OF THE BOARD SHOULD BE 18" FROM THE FACE OF THE CURB.
- A GATEWAY IS REQUIRED AND PLACED AT THE DRIVE-THRU LANE ENTRY MARK.
- EVERY SMS SHOULD HAVE BOTH COORDINATOR IN BOTH LANES.

DRIVE-THRU

SCALE: 1"=10'

THE REGIONAL CONSTRUCTION MANAGER IS TO REVIEW AND APPROVE ALL DRIVE-THRU LAYOUTS. A DRIVE-THRU IS FINAL AND CONSIDERED "RED", ONCE APPROVED. NO CHANGES ARE TO BE MADE AFTER THIS POINT.

NOTE: THE PLACEMENT OF THE COO SHOULD BE SUCH THAT IT PREVENTS OR MINIMIZES BLOCKING THE CUSTOMER'S VIEW OF THE MENU BOARD WHILE ORDERING.

NOTE: ALL SIGN BOLLARDS ARE TO BE 18" DIA FROM FACE OF CURB. THIS IS MEASURED FROM THE CLOSEST POINT ON THE SIGN.

DRIVE-THRU

BOHLER ENGINEERING
 352 TURNPIKE ROAD
 SOUTHBOROUGH, MA 01772
 Phone: (508) 480-9900
 Fax: (508) 480-9080
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CONSTRUCTION CHECK	DATE
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PROJECT NO.:	W142005
CAD I.D. #:	W142005ss0.dwg

STREET ADDRESS 1080 KINGS HIGHWAY	
CITY NEW BEDFORD	STATE MASSACHUSETTS
COUNTY PROVIDENCE COUNTY	
SITE ID # 020-0128	PLAN DESCRIPTION DETAIL SHEET

STATUS	DATE	BY
DRAWN BY:	8/12/15	EGD
PLAN CHECKED		JAK
AS-BUILT		
SHEET NO.	C-15	
	OF 15	

J.A. KUCICH
 PROFESSIONAL ENGINEER
 MASSACHUSETTS License No. 11550
 CONNECTICUT License No. 26117
 PENNSYLVANIA License No. 3818
 WARE License No. 1255

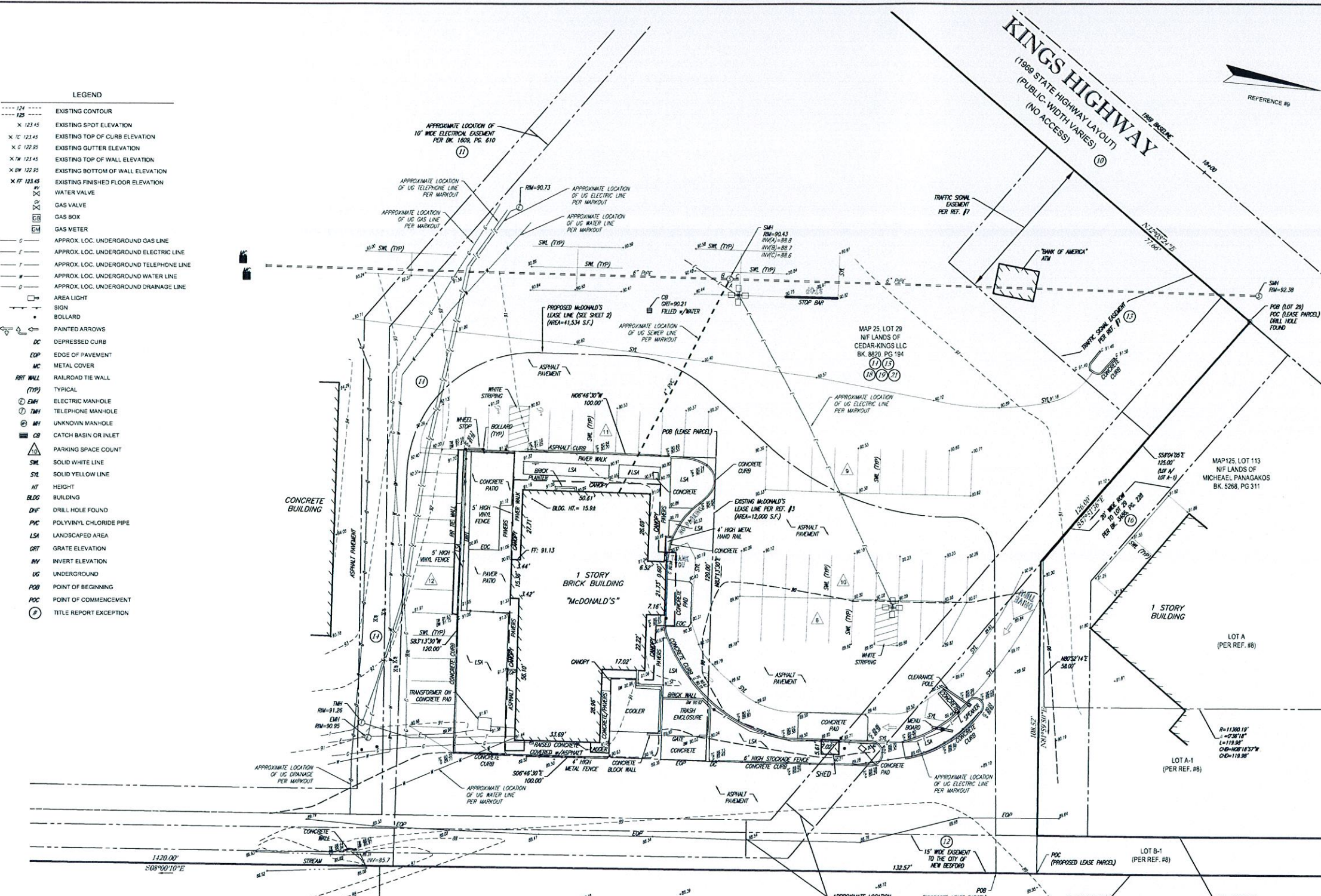
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PLANNING DEPARTMENT
 AUG 14 2015

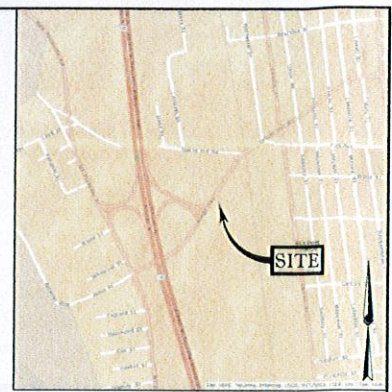
PLANNING DEPARTMENT
 AUG 14 2015

Case 19-15

- LEGEND**
- 124 --- EXISTING CONTOUR
 - 125 --- EXISTING SPOT ELEVATION
 - X 123.45 EXISTING TOP OF CURB ELEVATION
 - X C 123.25 EXISTING TOP OF WALL ELEVATION
 - X G 123.25 EXISTING GUTTER ELEVATION
 - X W 123.45 EXISTING TOP OF WALL ELEVATION
 - X BW 123.25 EXISTING BOTTOM OF WALL ELEVATION
 - X # 123.45 EXISTING FINISHED FLOOR ELEVATION
 - WATER VALVE
 - GAS VALVE
 - GAS BOX
 - GAS METER
 - APPROX. LOC. UNDERGROUND GAS LINE
 - APPROX. LOC. UNDERGROUND ELECTRIC LINE
 - APPROX. LOC. UNDERGROUND TELEPHONE LINE
 - APPROX. LOC. UNDERGROUND WATER LINE
 - APPROX. LOC. UNDERGROUND DRAINAGE LINE
 - AREA LIGHT
 - SIGN
 - BOLLARD
 - PAINTED ARROWS
 - DC DEPRESSED CURB
 - EDP EDGE OF PAVEMENT
 - MC METAL COVER
 - RR TIE WALL
 - RAILROAD TIE WALL
 - (TYP) TYPICAL
 - EMH ELECTRIC MAN-HOLE
 - TMH TELEPHONE MAN-HOLE
 - UMH UNKNOWN MAN-HOLE
 - CB CATCH BASIN OR INLET
 - PS PARKING SPACE COUNT
 - SWL SOLID WHITE LINE
 - SYL SOLID YELLOW LINE
 - HT HEIGHT
 - BLDG BUILDING
 - DHF DRILL HOLE FOUND
 - PVC POLYVINYL CHLORIDE PIPE
 - LSA LANDSCAPED AREA
 - GRF GRATE ELEVATION
 - INV INVERT ELEVATION
 - UG UNDERGROUND
 - POB POINT OF BEGINNING
 - POC POINT OF COMMENCEMENT
 - TR TITLE REPORT EXCEPTION



KINGS HIGHWAY
 (1989 STATE HIGHWAY LAYOUT)
 (PUBLIC WIDTH VARIES)
 (NO ACCESS)



CITY CLERK'S OFFICE
 NEW BEDFORD, MA
 2015 AUG 14 A 11:00
 CITY CLERK

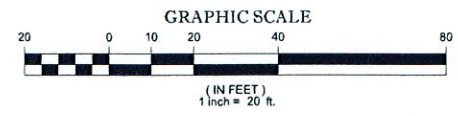
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 AUG 14 2015
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SEE SHEET 2 OF 2 FOR OVERALL BOUNDARY NOTES, REFERENCES, EXHIBIT 'A' & PARCEL DESCRIPTIONS

THIS SURVEY IS CERTIFIED TO:
 McDONALD'S USA, LLC
 CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE '2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS', JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 7(a), 7(b)(1), 7(c), 8, 9, 11(b), 13, 14, 17 & 20(a) OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON NOVEMBER 20, 2014.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH A RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL



GERRY L. HOLDRIGHT
 MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

2	ADDED PROPOSED LEASE PARCEL DESCRIPTION	S.J.P.	G.L.H.	8/14/15	
1	ADDED LEASE PARCEL DESCRIPTION	S.J.P.	G.L.H.	8/14/15	
No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE
FIELD DATE	11-20-14				
FIELD BOOK NO	14-06				
FIELD BOOK PLS	17-18				
FIELD CREW	B.S.B.				
DRAWN	INDO-HCB				
REVIEWED	J.L.S.	APPROVED	G.L.H.	DATE	11-24-14
SCALE	1"=20'	FILE NO.	CM14215	DWG. NO.	1 OF 2

ALTA/ACSM LAND TITLE SURVEY
McDONALD'S USA, LLC
 1080 KING'S HIGHWAY
 LOT 29, MAP 125
 CITY OF NEW BEDFORD, BRISTOL COUNTY
 COMMONWEALTH OF MASSACHUSETTS
 L/C# 020-0128

CONTROL POINT ASSOCIATES, INC.
 332 TURNPIKE ROAD
 SOUTHBOROUGH, MA 01772
 508.948.3000 - 508.948.3003 FAX
 WARREN, NJ 908.668.0099
 CHALFONT, PA 215.712.9800

CASE 19-18

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THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY ELEVATORS, DEMANDERS, OR ANY PERSON PREPARING TO OBTAIN THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.

EXHIBIT "A"

SHOPPING CENTER PARCEL: CERTAIN PARCELS OF UNREGISTERED LAND SITUATED IN THE CITY OF NEW BEDFORD, COUNTY OF BRISTOL AND COMMONWEALTH OF MASSACHUSETTS, DESCRIBED AS FOLLOWS:

THAT CERTAIN TRACT OR PARCEL OF LAND WITH ALL BUILDINGS AND IMPROVEMENTS SHOWN AS LOT B ON A PLAN DATED NOVEMBER 22, 1971 RECORDED WITH BRISTOL, SOUTH REGISTRY OF DEEDS IN PLAN BOOK 88, PLAN NO. 89, THEREON SITUATED ON THE EASTERLY SIDE OF KING'S HIGHWAY (STATE ROUTE 140) IN THE CITY OF NEW BEDFORD, BRISTOL COUNTY, MASSACHUSETTS, IS HEREBY BOUNDED AND DESCRIBED:

BEGINNING AT THE MOST NORTHWESTERLY CORNER OF THE HEREIN DESCRIBED PARCEL SAID CORNER BEING LOCATED 531°10'27"W TWO HUNDRED THIRTY FOUR AND 00/100 (234.00) FEET FROM THE INTERSECTION OF THE EASTERLY HIGHWAY LINE OF KING'S HIGHWAY WITH THE WESTERLY LINE OF LAND NOW OR FORMERLY OF THE PENN CENTRAL RAILROAD;

THENCE PROCEEDING S58°04'05"E A DISTANCE OF ONE HUNDRED TWENTY FIVE AND 00/100 (125.00) FEET TO A POINT;

THENCE PROCEEDING N80°52'14"E A DISTANCE OF FIFTY-EIGHT AND 00/100 (58.00) FEET TO A POINT;

THENCE PROCEEDING ALONG THE CHORD OF AN ARC N08°18'57"W A DISTANCE OF ONE HUNDRED NINETEEN AND 98/100 (119.98) FEET TO A POINT, SAID ARC HAVING A RADIUS ELEVEN THOUSAND, THREE HUNDRED SIXTY AND 19/100 (11,360.19) FEET AND AN ARC LENGTH OF ONE HUNDRED NINETEEN AND 98/100 (119.98), THE LAST THREE COURSES BOUNDED NORTHERLY AND WESTERLY BY LAND NOW OR FORMERLY OF THE SHELL OIL COMPANY;

THENCE PROCEEDING N81°22'53"E A DISTANCE OF SIXTY-SIX AND 00/100 (66.00) FEET TO A POINT;

THENCE PROCEEDING ALONG THE CHORD OF AN ARC S08°18'45"E A DISTANCE OF ONE HUNDRED TWENTY TWO AND 82/100 (122.82) FEET TO A POINT, SAID ARC HAVING A RADIUS ELEVEN THOUSAND FOUR HUNDRED TWENTY SIX AND 19/100 (11,426.19) FEET AND AN ARC LENGTH OF ONE HUNDRED TWENTY-TWO AND 82/100 (122.82);

THENCE PROCEEDING S08°09'10"E A DISTANCE OF ONE THOUSAND FOUR HUNDRED TWENTY AND 00/100 (1,420.00) FEET TO A POINT, THE LAST THREE COURSES BOUNDED NORTHERLY AND EASTERLY BY LAND NOW OR FORMERLY OF THE PENN CENTRAL RAILROAD;

THENCE PROCEEDING S81°59'50"W A DISTANCE OF FOUR HUNDRED TWELVE AND 00/100 (412.00) FEET TO A POINT;

THENCE PROCEEDING N08°00'10"W A DISTANCE OF FOUR HUNDRED ELEVEN AND 29/100 (411.29) FEET TO A POINT;

THENCE PROCEEDING N58°32'37"W A DISTANCE OF THIRTY SEVEN AND 59/100 (37.59) FEET TO A POINT;

THENCE PROCEEDING N10°58'29"W A DISTANCE OF THREE HUNDRED SIXTY AND 00/100 (360.00) FEET TO A POINT;

THENCE PROCEEDING N37°56'23"W A DISTANCE OF TWO HUNDRED SEVENTY-SIX AND 00/100 (276.00) TO A POINT ON THE EASTERLY SIDE OF KING'S HIGHWAY SO CALLED, THE LAST FIVE COURSES BOUNDED SOUTHERLY, WESTERLY, SOUTHERLY, WESTERLY AND SOUTHERLY BY LAND NOW OR FORMERLY OF FIRST BRISTOL CORPORATION, TRUSTEE OF FIELDSTONE REALTY TRUST;

THENCE PROCEEDING N32°08'24"E ALONG THE EASTERLY HIGHWAY LINE OF KING'S HIGHWAY SO CALLED A DISTANCE OF THIRTY SEVEN AND 72/100 (37.72) FEET TO A MASSACHUSETTS HIGHWAY BOUND FOUND;

THENCE CONTINUING N32°08'24"E ALONG THE SAID HIGHWAY LINE A DISTANCE OF FIVE HUNDRED SEVENTY SIX AND 18/100 (576.18) FEET TO A MASSACHUSETTS HIGHWAY BOUND FOUND, THIRTY THREE AND 00/100 (33.00) FEET RIGHT OF STATION +75.00;

THENCE CONTINUING N32°08'24"E ALONG SAID HIGHWAY LINE A DISTANCE OF SEVENTY SEVEN AND 65/100 (77.65) FEET TO THE POINT AND PLACE OF BEGINNING.

SAID PARCEL CONTAINS 15.348 ACRES MORE OR LESS.

SQUARE FOOTAGE IS NOT INSURED.

TOGETHER WITH AND THE BENEFIT OF GRANT OF DRIVEWAY AND ACCESS EASEMENT AND OF RESTRICTION BETWEEN SHELL OIL COMPANY AND KING'S PLAZA ASSOCIATES LIMITED PARTNERSHIP DATED JUNE 6, 1995 AND RECORDED IN BOOK 3486, PAGE 228.

SURVEYOR'S METES AND BOUNDS DESCRIPTION PROPOSED McDONALD'S LEASE AREA

COMMENCING AT THE SOUTHEASTERLY MOST CORNER OF MAP 125, LOT 113 (NF LANDS OF MICHAEL W. PANAGAKOS), ALSO BEING THE NORTHEASTERLY MOST CORNER OF MAP 125, LOT 29 (NF LANDS OF CEDAR-KINGS, LLC), BOTH CORNERS BEING ON THE WESTERLY LINE OF MAP 128, LOT 88 (NF LANDS OF PENN CENTRAL COMPANY), RUNNING THENCE, SOUTH 8 DEGREES - 00 MINUTES - 10 SECONDS EAST, A DISTANCE OF 18.09 FEET TO THE NORTHEASTERLY MOST CORNER OF THE PROPOSED LEASE AREA DESCRIBED HEREIN, THENCE RUNNING ALONG THE DIVIDING LINE WITH SAID LOT 88:

1. SOUTH 8 DEGREES - 17 MINUTES - 28 SECONDS WEST, A DISTANCE OF 238.77 FEET, RUNNING THENCE, THROUGH SAID LOT 29 THE FOLLOWING EIGHT (8) COURSES:

2. SOUTH 83 DEGREES - 17 MINUTES - 28 SECONDS WEST, A DISTANCE OF 155.27 FEET TO A POINT OF CURVATURE, THENCE;

3. ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 50.00 FEET, A CENTRAL ANGLE OF 90 DEGREES - 53 MINUTES - 27 SECONDS, AN ARC LENGTH OF 79.32 FEET, ALSO BEARING A CHORD OF NORTH 51 DEGREES - 15 MINUTES - 48 SECONDS WEST WITH A CHORD DISTANCE OF 71.26 FEET TO A POINT OF TANGENCY, THENCE;

4. NORTH 6 DEGREES - 43 MINUTES - 08 SECONDS WEST, A DISTANCE OF 34.22 FEET TO A POINT OF CURVATURE, THENCE;

5. ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 50.00 FEET, A CENTRAL ANGLE OF 40 DEGREES - 20 MINUTES - 16 SECONDS, AN ARC LENGTH OF 35.20 FEET, ALSO BEARING A CHORD OF NORTH 13 DEGREES - 09 MINUTES - 24 SECONDS EAST WITH A CHORD DISTANCE OF 34.48 FEET TO A POINT OF TANGENCY, THENCE;

6. NORTH 34 DEGREES - 01 MINUTES - 16 SECONDS EAST, A DISTANCE OF 33.79 FEET TO A POINT OF CURVATURE, RUNNING THENCE;

7. ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 107.97 FEET, A CENTRAL ANGLE OF 42 DEGREES - 56 MINUTES - 41 SECONDS, AN ARC LENGTH OF 80.93 FEET, ALSO BEARING A CHORD OF NORTH 12 DEGREES - 09 MINUTES - 24 SECONDS EAST WITH A CHORD DISTANCE OF 78.05 FEET TO A POINT OF REVERSE CURVATURE, THENCE;

8. ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 15.00 FEET, A CENTRAL ANGLE OF 91 DEGREES - 03 MINUTES - 59 SECONDS, AN ARC LENGTH OF 23.85 FEET, ALSO BEARING A CHORD OF NORTH 35 DEGREES - 26 MINUTES - 27 SECONDS EAST WITH A CHORD DISTANCE OF 21.42 FEET TO A POINT OF TANGENCY, THENCE;

9. NORTH 80 DEGREES - 59 MINUTES - 22 SECONDS EAST, A DISTANCE OF 126.11 FEET TO THE POINT AND PLACE OF BEGINNING.

CONTAINING 41,534 SQUARE FEET OR 0.953 ACRES

SURVEYOR'S METES AND BOUNDS DESCRIPTION EXISTING McDONALD'S LEASE AREA

COMMENCING AT A DRILL HOLE FOUND ON THE NORTHEASTERLY LINE OF KING'S HIGHWAY (1969 STATE HIGHWAY LAYOUT, PUBLIC - WIDTH VARIES) AT A POINT 33.00 FEET RIGHT OF STATION 18+52.67, SAID POINT ALSO BEING THE NORTHERLY MOST CORNER OF MAP 125, LOT 29 (NF LANDS OF CEDAR-KINGS, LLC) AND FROM SAID POINT OF COMMENCEMENT RUNNING THROUGH SAID LOT 29 SOUTH 23 DEGREES - 05 MINUTES - 20 SECONDS EAST, A DISTANCE OF 217.81 FEET TO THE NORTHWESTERLY MOST CORNER OF THE LEASE AREA DESCRIBED HEREIN, THENCE RUNNING THROUGH SAID LOT 29 THE FOLLOWING FOUR (4) COURSES:

1. NORTH 83 DEGREES - 13 MINUTES - 30 SECONDS EAST, A DISTANCE OF 120.00 FEET TO A POINT, THENCE;

2. SOUTH 6 DEGREES - 48 MINUTES - 30 SECONDS EAST, A DISTANCE OF 100.00 FEET TO A POINT, THENCE;

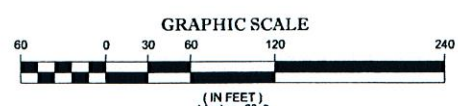
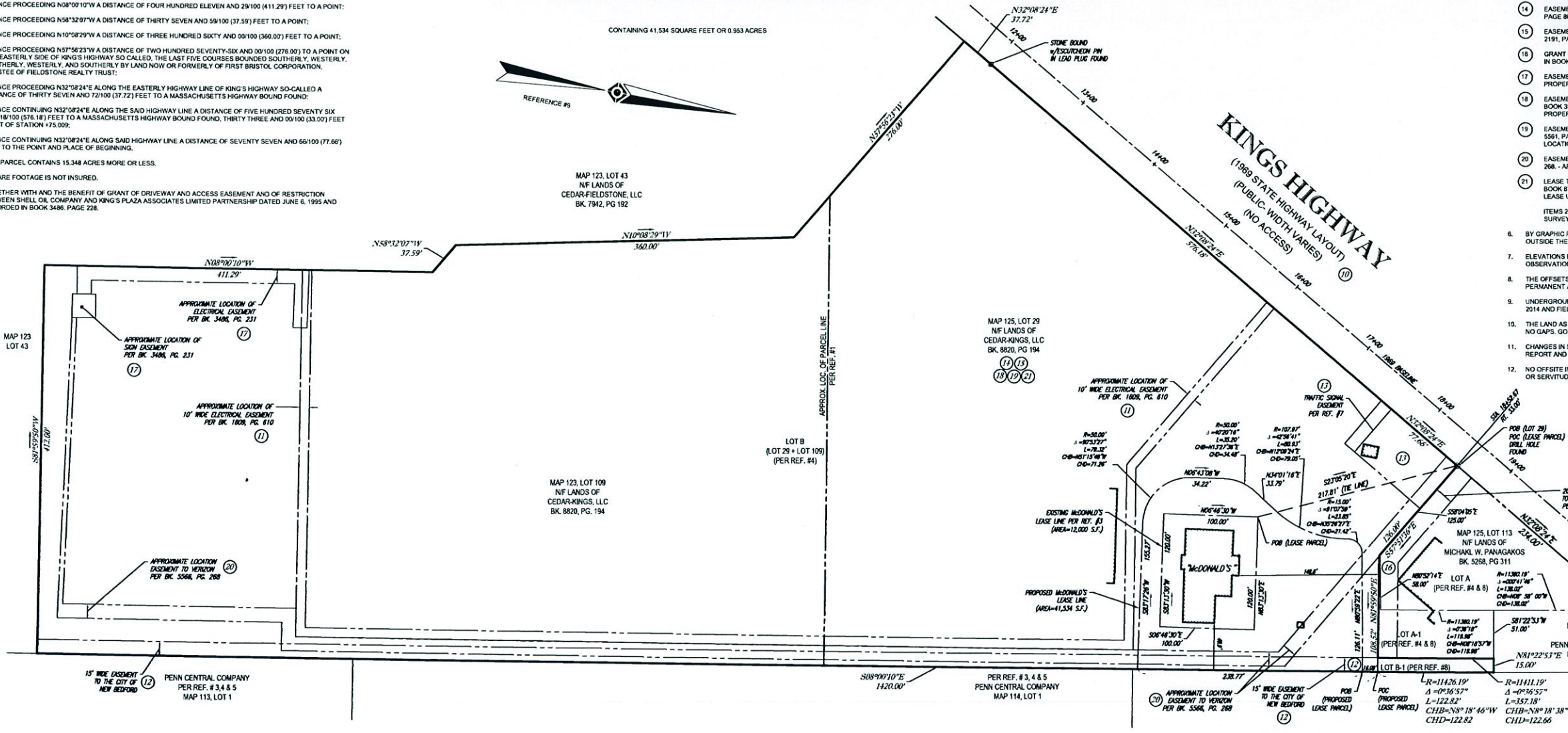
3. SOUTH 83 DEGREES - 13 MINUTES - 30 SECONDS WEST, A DISTANCE OF 120.00 FEET TO A POINT, THENCE;

4. NORTH 6 DEGREES - 48 MINUTES - 30 SECONDS WEST, A DISTANCE OF 100.00 FEET TO THE POINT AND PLACE OF BEGINNING.

CONTAINING 12,000 SQUARE FEET OR 0.275 ACRES

NOTES:

- 1. PROPERTY KNOWN AS LOT 29 ON THE CITY OF NEW BEDFORD, BRISTOL COUNTY, COMMONWEALTH OF MASSACHUSETTS TAX MAP # 125.
2. McDONALD'S LEASE AREA = 12,000 SQUARE FEET OR 0.275 ACRES. LOTS 29 & 109 = 662,172 SQUARE FEET OR 15,201 ACRES.
3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCE MATERIAL AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGAIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL, AS LISTED HEREON.
5. THIS SURVEY IS PREPARED WITH REFERENCE TO A TITLE REPORT PREPARED BY CHICAGO TITLE INSURANCE COMPANY, COMMITMENT NO. 14-49342, WITH AN EFFECTIVE DATE OF 10/17/14, WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B, SECTION B:
GENERAL EXCEPTIONS 1-9 HAVE NOT BEEN COMMENTED ON AS PART OF THIS SURVEY.
(10) NON-ACCESS PROVISIONS OF LAYOUT NO. 5815 AND ORDER OF TAKING DATED AUGUST 14, 1969 AND RECORDED IN BOOK 1588, PAGE 834. - AFFECTS PROPERTY; KING'S HIGHWAY SHOWN ON PLAN.
(11) EASEMENT TO NEW BEDFORD GAS AND EDISON LIGHT COMPANY DATED OCTOBER 28, 1970 AND RECORDED IN BOOK 1605, PAGE 615. - AFFECTS PROPERTY; APPROXIMATE LOCATION OF GAS AND ELECTRICAL EASEMENT SHOWN ON PLAN.
(12) TAKING BY THE CITY OF NEW BEDFORD FOR SEWER AND SURFACE DRAINS AND WATER SERVICES DATED DECEMBER 29, 1980 AND RECORDED IN BOOK 1816, PAGE 90. - AFFECTS PROPERTY; 15' WIDE EASEMENT SHOWN ON PLAN.
(13) CONDITIONAL GRANT OF EASEMENT DATED FEBRUARY 8, 1982 AND RECORDED IN BOOK 1842, PAGE 51. - AFFECTS PROPERTY; TRAFFIC SIGNAL EASEMENT SHOWN ON PLAN.
(14) EASEMENT FOR SURFACE RIGHT OF WAYS DATED AUGUST 18, 1983 AND RECORDED IN BOOK 1870, PAGE 867. - AFFECTS PROPERTY; UNABLE TO PLOT; EASEMENT DEFINED BY TRAVELED WAY.
(15) EASEMENT TO COMMONWEALTH ELECTRIC COMPANY DATED AUGUST 12, 1988 AND RECORDED IN BOOK 2191, PAGE 26. - AFFECTS PROPERTY; BLANKET IN NATURE.
(16) GRANT OF DRIVEWAY AND ACCESS EASEMENT AND RESTRICTION DATED JUNE 6, 1995 AND RECORDED IN BOOK 3486, PAGE 228. - AFFECTS PROPERTY; 20' WIDE RIGHT OF WAY SHOWN ON PLAN.
(17) EASEMENT AGREEMENT DATED JUNE 6, 1995 AND RECORDED IN BOOK 3486, PAGE 231. - AFFECTS PROPERTY; ELECTRICAL & SIGN EASEMENT SHOWN ON PLAN.
(18) EASEMENT TO COMMONWEALTH ELECTRIC COMPANY DATED NOVEMBER 3, 1997 AND RECORDED IN BOOK 3982, PAGE 68. - AFFECTS PROPERTY; ELECTRICAL EASEMENT LOCATED ON SOUTHERLY SIDE OF PROPERTY, UNABLE TO PLOT EXACT LOCATION.
(19) EASEMENT TO COMMONWEALTH ELECTRIC COMPANY DATED JUNE 11, 2002 AND RECORDED IN BOOK 5561, PAGE 208. - AFFECTS PROPERTY; LOCATION OF CELL TOWER UNKNOWN, UNABLE TO PLOT EXACT LOCATION.
(20) EASEMENT TO VERIZON NEW ENGLAND INC. DATED JUNE 11, 2002 AND RECORDED IN BOOK 5566, PAGE 208. - AFFECTS PROPERTY; APPROXIMATE LOCATION OF EASEMENT TO VERIZON SHOWN ON PLAN.
(21) LEASE TO NEW YORK, NEW HAVEN AND HARTFORD RAILROAD CO. REFERRED TO IN DEED RECORDED IN BOOK 574, PAGE 164 TO THE EXTENT THE SAME IS NOW IN FORCE. - AFFECTS PROPERTY; EXTENT OF LEASE UNKNOWN, DOCUMENT REFERS TO JULY 15, 1993 LEASE.
ITEMS 22 THRU 29 ARE NOT SURVEY RELATED AND HAVE NOT BEEN COMMENTED ON AS PART OF THIS SURVEY.
6. BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2
7. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS).
8. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
9. UNDERGROUND UTILITIES WERE MARKED IN THE FIELD BY UNDERGROUND SURVEYING, LLC IN NOVEMBER 2014 AND FIELD LOCATED BY CONTROL POINT ASSOCIATES, INC. IN NOVEMBER 2014.
10. THE LAND AS DESCRIBED IN THIS SURVEY CONSTITUTES MORE THAN ONE PARCEL OR LOT, AND THERE ARE NO GAPS, GORES OR STRIPS.
11. CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED REVEALED IN THE TITLE REPORT AND REFERENCED MAPS HAVE BEEN SHOWN.
12. NO OFFSITE IMPROVEMENTS WERE LOCATED AND NO MONUMENTS WERE PLACED AT AN OFFSITE EASEMENT OR SERVITUDE AT TIME OF SURVEY.



THIS SURVEY IS CERTIFIED TO: McDONALD'S USA, LLC CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE '2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS', JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 7(a), 7(b), 7(c), 8, 9, 10(b), 13, 14, 17 & 20(a) OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON NOVEMBER 20, 2014.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.

GERRY L. HOLDRIGHT MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

Table with columns: No., Description of Revision, Field Crew, Date. Includes a 'PLANNING' stamp and a 'McDonald's' logo. Also contains a table for 'FIELD DATE', 'FIELD BOOKING', 'FIELD BOOK NO.', 'FIELD CREW', 'DRAWN', 'REVIEWED', 'APPROVED', 'DATE', 'SCALE', 'FILE NO.', 'DWG. NO.', 'DATE'.

CASO 19-15

