

CITY CLERKS OFFICE
 NEW BEDFORD, MA
 2015 AUG 13 P 2:30
 CITY CLERK

O'REILLEY AUTO PARTS

139 HATHAWAY ROAD (ASSESSORS MAP 101 LOT 14) NEW BEDFORD, MASSACHUSETTS

ZONING REQUIREMENTS TABLE

DISTRICT	MIXED USE BUSINESS / INDUSTRIAL B (SPLIT USE)	
	MUB REQUIRED	PROVIDED
LOT AREA (A)	0	10 ACRES
LOT FRONTAGE (LF)	0	627±
SETBACKS (FEET)		
FRONT	0	710
SIDE	0	198
REAR	10-(1 STORY)	N/A
BUILDING HEIGHT (FEET) / STORIES	100 / 7	17.5' / 1
LOT COVERAGE	0	N/A
GREEN SPACE	0	N/A

ASSESSORS MAP 101 - LOT 14
 ZONING DISTRICT - MIXED USE BUSINESS/INDUSTRIAL B
 PARCEL AREA - 10 ACRES
 EXISTING USE - MIXED USE - RETAIL, FAST FOOD, OFFICE
 PROPOSED USE - MIXED USE - RETAIL, FAST FOOD, OFFICE
 BUILDING / PARKING SUMMARY

- McDONALDS - 3,800 SF x 1 SPACE/100 SF = 38 SPACES
 1 SPACE/EMPLOYEE/SHIFT x 10 = 10 SPACES
- RETAIL USE - EXISTING - 88,200 SF
 PROPOSED - 7,225 SF
 TOTAL = 95,425 SF
 20,000 SF x 1 SPACE/200 SF = 100 SPACES
 75,425 SF x 1 SPACE/400 SF = 189 SPACES
- RED APPLE RESTAURANT
 1200 SF x 1 SPACE/200 SF = 6 SPACES
- CONSTRUCTION SUPPLIES (GROSSMANS) - 33,420 SF
 15,000 SF x 1 SPACE/1500 SF = 10 SPACES
 18,400 SF x 1 SPACE/5000 SF = 4 SPACES
- OFFICE USE - 17,007 SF
 10,000 SF x 1 SPACE/200 SF = 50 SPACES
 7,007 SF x 1 SPACE/1000 SF = 7 SPACES

PARKING SUBTOTAL - 414 SPACES
 * OFF PEAK SHARED SPACES - 50 SPACES
 TOTAL REQUIRED PARKING = 364 SPACES
 PARKING PROVIDED - 398 SPACES

* INCLUDES FAMILY COURT WHICH IS AN OFF PEAK USE THAT CLOSSES @ 1 PM DAILY, CLOSED WEEKENDS.

DEED REFERENCE: LAND COURT CERTIFICATE TITLE #14729



LOCUS MAP
 SCALE: 1"=100'±

PLAN INDEX

SHEET NO.	TITLE	DATE	REVISED
—	COVER SHEET	APRIL 17, 2015	
1 OF 9	SITE LAYOUT	APRIL 17, 2015	
2 OF 9	LOCUS MAP	APRIL 17, 2015	
3 OF 9	SITE GRADING & UTILITIES PLAN	APRIL 17, 2015	
4 OF 9	LANDSCAPING PLAN	APRIL 17, 2015	
5 OF 9	LIGHTING PLAN	APRIL 17, 2015	
6 OF 9	DEMOLITION PLAN	APRIL 17, 2015	
7 OF 9	EROSION/SEDIMENTATION CONTROL PLAN	APRIL 17, 2015	
8 OF 9	EXISTING CONDITIONS	APRIL 17, 2015	
9 OF 9	DETAIL SHEET	APRIL 17, 2015	

PLANNING
 AUG 13 2015
 DEPARTMENT



OWNER/APPLICANT
 S.B. REALTY LIMITED PARTNERSHIP
 100 NORTH FRONT STREET
 NEW BEDFORD, MA 02740

SITEC
 Civil and Environmental Engineering
 Land Use Planning
 449 Fource Corner Road
 Dartmouth, MA 02747
 (508) 998-2125
 FAX (508) 998-7554
 WWW.SITEC-ENGINEERING.COM
 ACAD NO. NB 07-3977 COVER SHEET-ENG

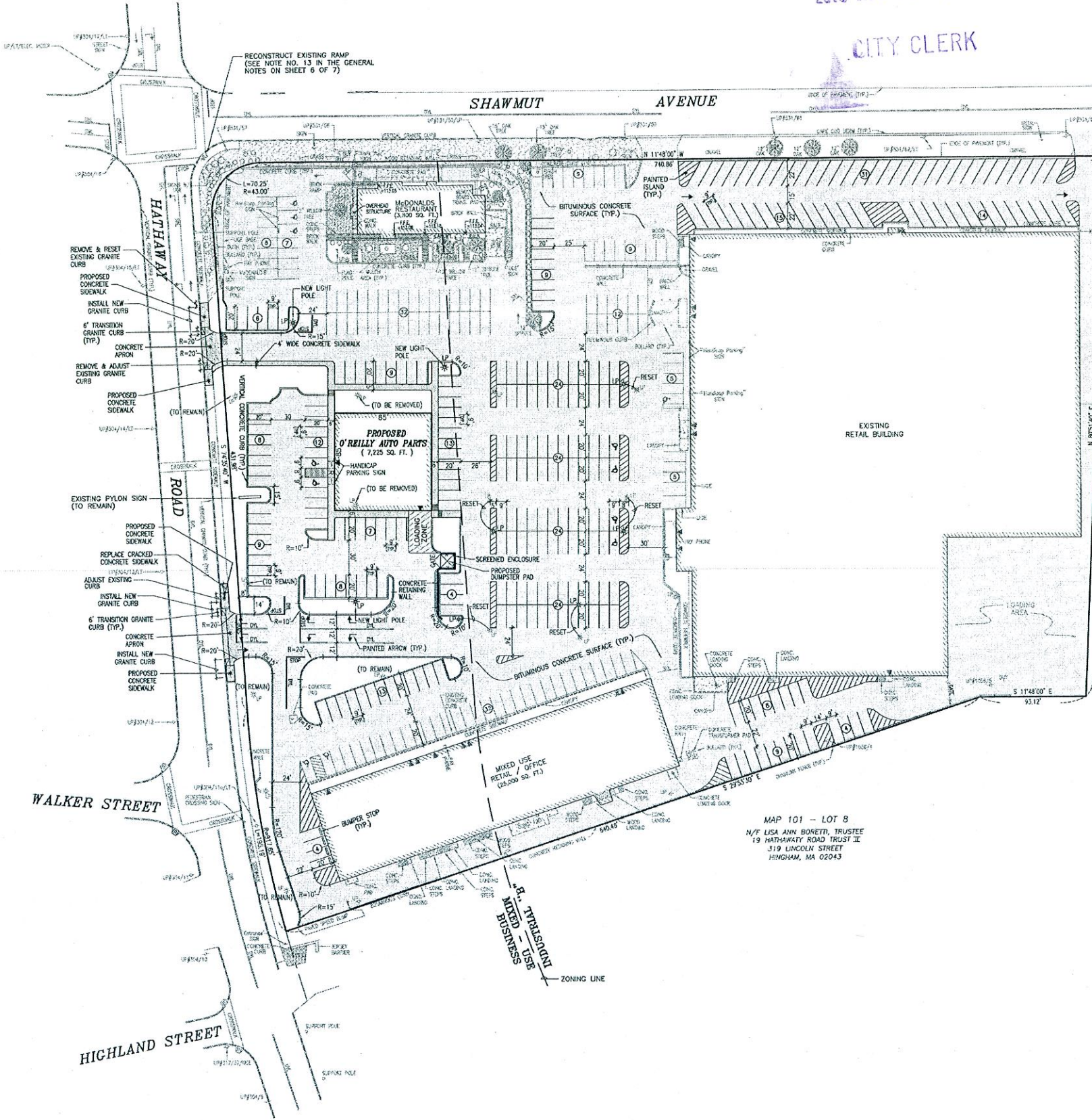
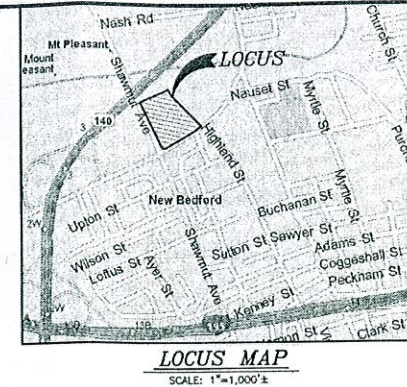
DATE: APRIL 17, 2015

CASE 16 '15

CITY CLERKS OFFICE
NEW BEDFORD, MA

2015 AUG 13 P 2:30

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LEGEND

- 101 --- PROPERTY LINE
- - - - EXISTING CONTOUR
- CHL --- EXISTING CHAIN LINK FENCE
- SWL --- EXISTING SOLID WHITE LINE
- SYL --- EXISTING SOLID YELLOW LINE
- DYL --- EXISTING DOUBLE YELLOW LINE
- UP --- EXISTING UTILITY POLE
- HP --- EXISTING HANDICAP PARKING SPACE
- HR --- EXISTING HANDICAP RAMP
- ET --- EXISTING TREE
- EB --- EXISTING BUILDING ENTRANCE
- ELP --- EXISTING LIGHT POLE
- PS --- NUMBER OF PARKING SPACES
- HP* --- PROPOSED HANDICAP PARKING SPACE
- EB* --- PROPOSED BUILDING ENTRANCE
- DYL* --- PROPOSED DOUBLE YELLOW LINE
- LP* --- PROPOSED NEW OR RESET LIGHT POLE

MAP 101 - LOT 8
N/F LISA ANN BORETTI, TRUSTEE
19 HATHAWAY ROAD TRUST II
319 LINCOLN STREET
HINGHAM, MA 02043

MAP 101 - LOT 8
N/F LISA ANN BORETTI, TRUSTEE
19 HATHAWAY ROAD TRUST II
319 LINCOLN STREET
HINGHAM, MA 02043

NOTES:

1. ALL HANDICAP PARKING, RAMPS AND ACCESS, SIDEWALK & NEW DRIVEWAY BROW, SHALL CONFORM TO AAB AND MAAB REQUIREMENTS.
 2. CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE DEPARTMENT OF INFRASTRUCTURE PRIOR TO THE START OF CONSTRUCTION.
 3. CONTRACTOR SHALL NOTIFY THE ENGINEERING DIVISION 24 HOURS IN ADVANCE OF POURING CONCRETE TO INSURE THAT THE SIDEWALK & DRIVEWAY BROW WILL MEET A.D.A. AND CITY OF NEW BEDFORD STANDARDS.
 4. ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
 5. ALL PAVEMENT MARKINGS SHALL CONFORM TO MUTCD REQUIREMENTS.
 6. SEE DEMOLITION / EROSION CONTROL PLAN SHEETS 5 OF 9 AND 7 OF 9 FOR MEASURES TO BE TAKEN PRIOR TO CONSTRUCTION.
 7. I HEREBY CERTIFY THAT THE PROJECT AS DESIGNED MEETS THE APPLICABLE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD.
- DATE _____
8. DRIVEWAY PERMIT SUBJECT TO TRAFFIC COMMISSION APPROVAL.

OWNER/APPLICANT
PLANNING
S.B. REALTY LIMITED PARTNERSHIP
NORTH FRONT STREET
NEW BEDFORD, MA 02740
AUG 13 2015
DEPARTMENT



No.	Date	Revision Description

PROJECT: PROPOSED O'REILLY AUTO PARTS
139 HATHAWAY ROAD
NEW BEDFORD, MASSACHUSETTS

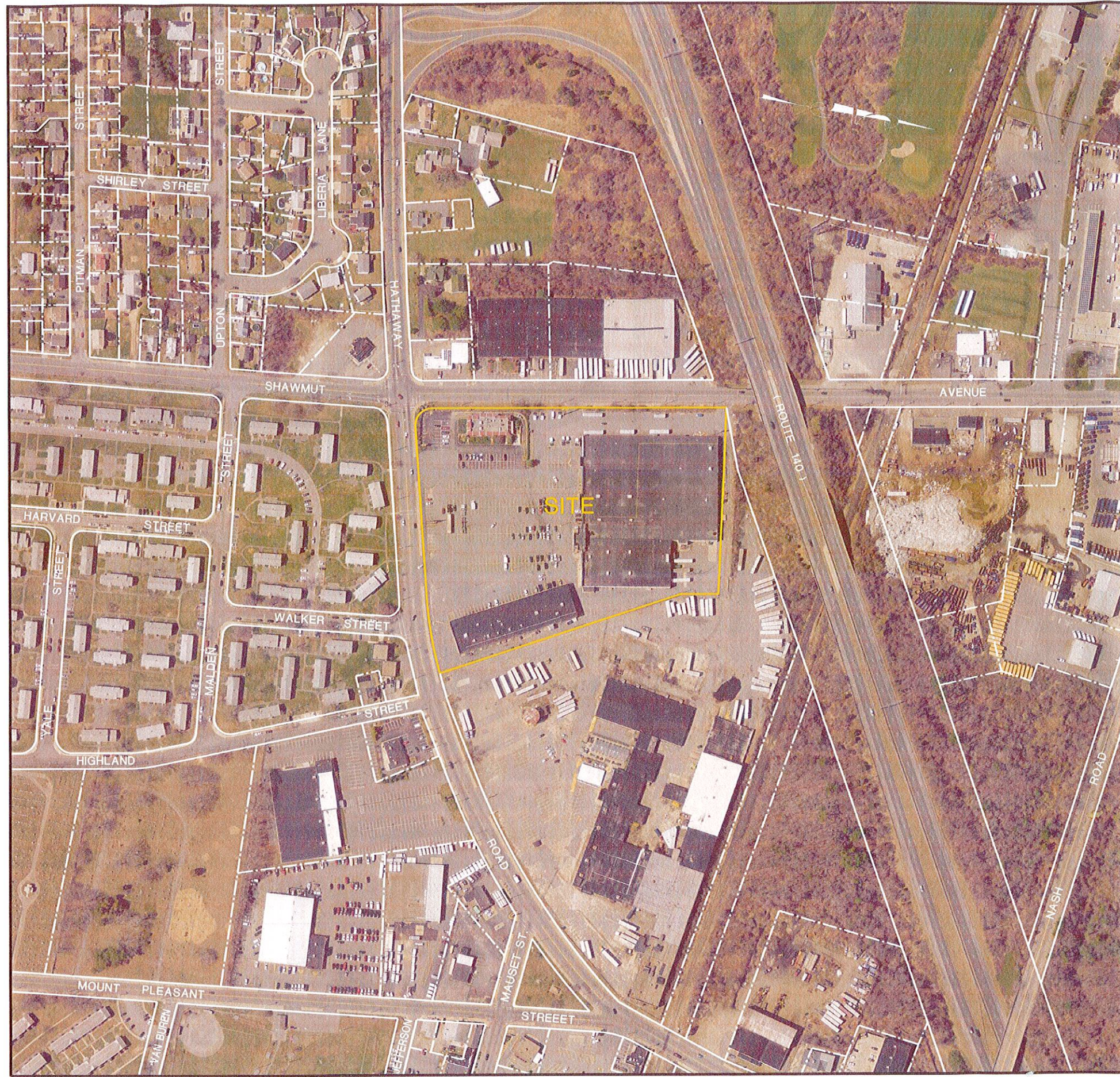
OWNER: S.B. REALTY LIMITED PARTNERSHIP

CONTRACT NO: SL-1

SITEC, Inc.
419 Federal Center Road
Dorchester, MA 02127
Tel: (617) 552-8100
Fax: (617) 552-8154
WWW.SITEC-ENGINEERING.COM

Acad No. NB 07-3977 SLDWG
File No. 07-3977

City 10-15



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NEW BEDFORD, MA



2015 AUG 13 PM 2:30

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Checked by: [Signature]

CITY CLERK

Revision Description

Date

No.
Scale: 1"=100'
Date: APRIL 17, 2015
Drawn: NAD
Checked: SDG
Approved: SDG
Sheet: 2 of 9
Drawing Number: LM-1

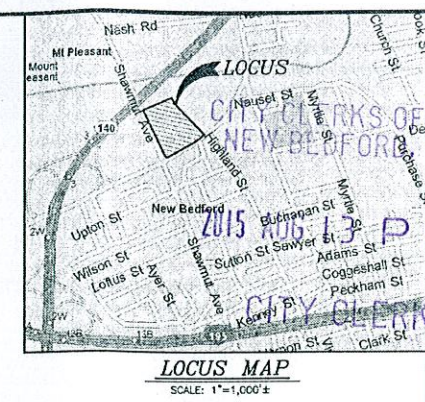
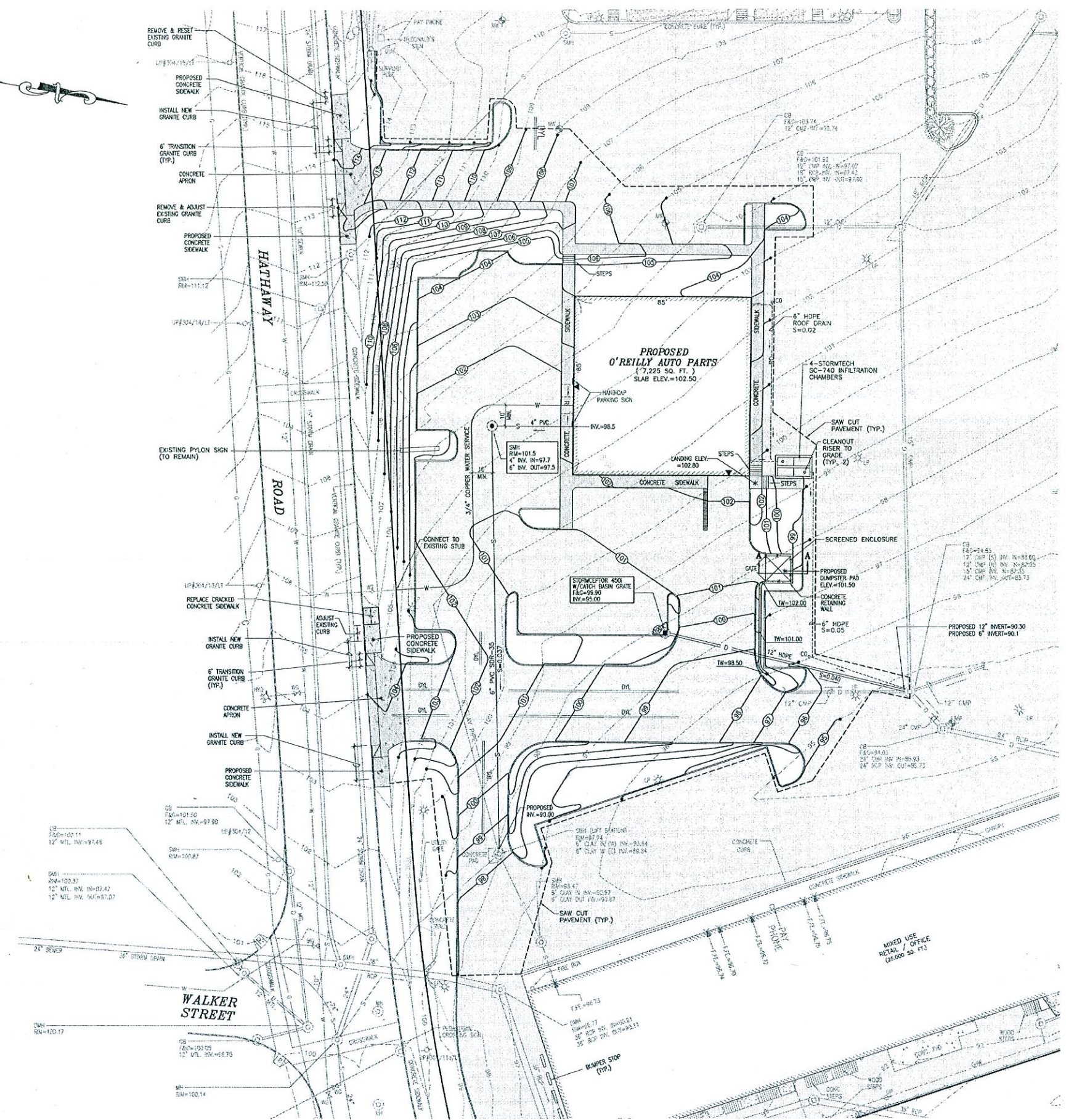
PROJECT: PROPOSED O'REILLY AUTO PARTS
139 HATHAWAY ROAD
NEW BEDFORD, MASSACHUSETTS
CLIENT: S.B. REALTY LIMITED PARTNERSHIP
DRAWING TITLE: LOCUS MAP

SITEC, Inc.
449 Francis Center Road
Dorchester, MA 01947
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www.SITEC-ENGINEERING.COM

SITEC
Civil and Environmental Engineering
Land Use Planning

PLANNING
AUG 13 2015
DEPARTMENT
CASE 18-15

Acad No. NB 07-3977
LOCUS MAP.DWG
File No. 07-3977



LEGEND


- PROPERTY LINE
- - - EXISTING CONTOUR
- - - EXISTING CHAIN LINK FENCE
- - - EXISTING OVERHEAD WIRES
- - - EXISTING UNDERGROUND TELEPHONE LINE
- - - EXISTING GAS MAIN
- - - EXISTING WATER MAIN
- - - EXISTING SEWER LINE
- - - EXISTING DRAINAGE LINE
- - - EXISTING UNDERGROUND ELECTRIC
- CB () EXISTING CATCH BASIN
- EMH () EXISTING DRAIN MANHOLE
- SMH () EXISTING SEWER MANHOLE
- WH () EXISTING MANHOLE
- EM () EXISTING ELECTRIC MANHOLE
- TMH () EXISTING TELEPHONE MANHOLE
- HY () EXISTING FIRE HYDRANT
- WG () EXISTING WATER GATE VALVE
- WS () EXISTING WATER SERVICE
- GG () EXISTING GAS GATE VALVE
- LP () EXISTING LIGHT POLE
- DS () EXISTING DOWN SPOUT
- IR () EXISTING IRRIGATION CONTROL VALVE
- UH () EXISTING UTILITY HAND HOLE
- UP () EXISTING UTILITY POLE
- MW () EXISTING MONITORING WELL
- RI () EXISTING HANDICAP RAMP
- () EXISTING TREE
- ▲ EXISTING BUILDING ENTRANCE
- ▲ PROPOSED BUILDING ENTRANCE
- PROPOSED CONTOUR
- - - PROPOSED DRAINAGE LINE
- CB () PROPOSED CATCH BASIN
- TW=103.0 PROPOSED TOP OF WALL ELEVATION
- - - PROPOSED ROOF DRAIN
- - - PROPOSED WATER SERVICE
- - - PROPOSED SEWER SERVICE
- SMH () PROPOSED SEWER MANHOLE

NOTES:

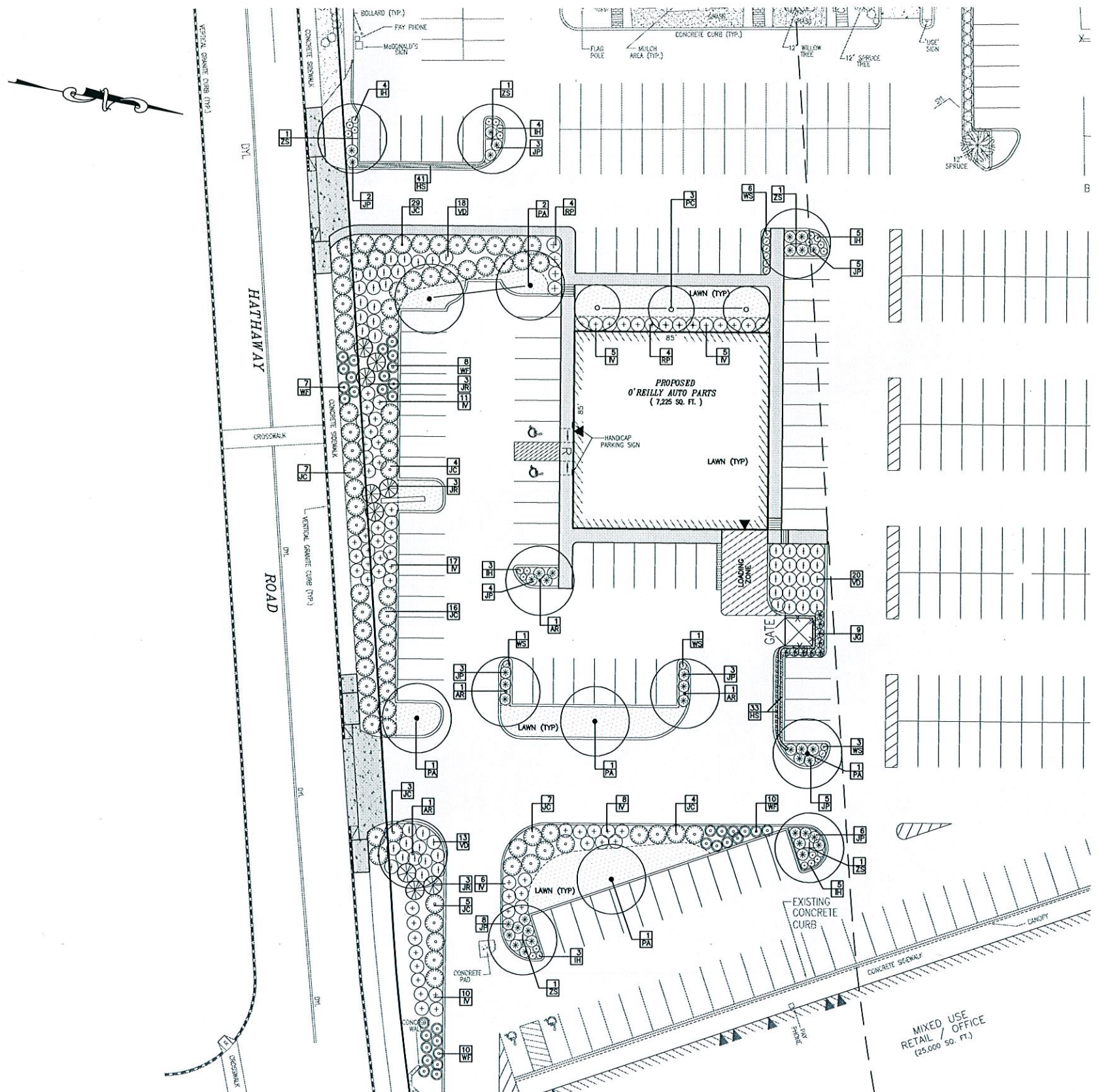
1. THE CONTRACTOR SHALL OBTAIN A STREET DISTURBANCE & OBSTRUCTION PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE RIGHT-OF-WAY.
2. ALL WATER AND SEWER MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
3. ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF NEW BEDFORD BEFORE BEING BACKFILLED.
4. THE CITY SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE REQUIRED INSPECTIONS.

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CASE 18-15



Revision Description No.	Date	Scale: 1"=20' Date: APRIL 17, 2015 Drawn: NAD Checked: SDG Approved: SDG Sheet 3 of 9 Drawing: SG&U-1	PROJECT: PROPOSED O'REILLY AUTO PARTS 139 HATHAWAY ROAD NEW BEDFORD, MASSACHUSETTS CLIENT: S.B. REALTY LIMITED PARTNERSHIP DRAWING TITLE: SITE GRADING & UTILITIES PLAN SITEC, Inc. 449 Francis Center Road (508) 948-2125 FAX (508) 998-7254 WWW.SITEC-ENGINEERING.COM Acod No. NB 07-3977 CU.DWG File No. 07-3977
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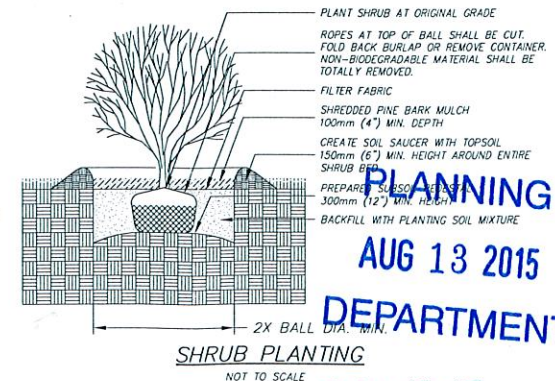
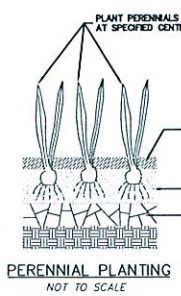
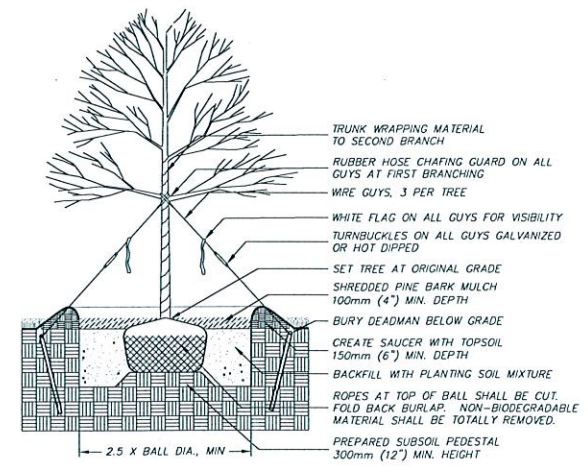


PLANTING NOTES

- All new lawn areas shall receive a minimum of 6 inches topsoil of the proper pH and organic content suitable for the healthy growth of lawns. These areas shall be seeded with a fine blade lawn grass seed.
- All tree and shrub pits shall be at least 2 feet wider and 1 foot deeper than the tree or shrub root ball to be planted in it. Backfill shall be high quality loam of the proper pH and organic content suitable for the healthy growth of plant materials.
- All areas to be mulched shall receive 4 inches minimum 100% shredded bark mulch within 48 hours of planting. Unless otherwise noted in planting details.
- All plants shall be nursery grown and conform to the latest edition of "ANSI Z60.1, American Standard for Nursery Stock."
- Plants shall conform to the botanical name as indicated in the latest edition of "American Joint Committee of Horticultural Nomenclature, Standardized Plant Names."
- Plants shall be handled at all times in accordance with the best horticultural practices. Plants in-leaf shall be sprayed with anti-desiccant before digging. Plants shall be dug with firm natural balls and shall conform to the ratios and sizes specified in ANSI Z60.1. B & B plants shall be wrapped in burlap and tied firmly. Plant materials shall be delivered immediately prior to placement, shall be kept moist and shall be protected from sun and wind. Plants having broken or cracked balls prior to or during planting will not be accepted.
- All trunks of deciduous trees shall be wrapped immediately after planting with tree wrap. Wrap shall be wound spirally, from the bottom of the trunk to the second branch. All trees shall be staked or guyed immediately after planting in accordance with best horticultural practices.
- The periods for planting shall be from March 15 to May 15 and from September 15 to November 15, weather permitting.
- All disturbed areas shall be loamed and seeded as directed in note #1 above.
- All locations of existing utilities may not be shown on this plan. See other plan sheets for utility locations. Contractor shall be solely responsible for determining actual locations of existing utilities. Utility conflicts may require adjustments to proposed construction. Contractor shall be responsible for repair of any utilities damaged during construction.
- Planting beds adjacent to the building shall contain a mix of perennials.

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symbol	quantity	PLANT LIST name	size
AR	4	ACER RUBRUM 'RED SUNSET'	2' - 2.5' cal
HS	74	HEMEROCALLIS 'GOING BANANAS'	B&B
IV	62	ITEA VIRGINICA 'HENRY'S GARNET'	1 gallon container
HI	24	ITEA VIRGINICA 'SPRUCH'	3 gallon container
JP	39	JUNIPERUS CHINENSIS 'PFITZERIANA COMPACTA'	3 gallon container
JR	9	JUNIPERUS CHINENSIS 'ROBUSTA GREEN'	5 gallon container
JC	75	JUNIPERUS CHINENSIS 'VAR. SARGENTI VIRIDIS'	3 gallon container
JG	9	JUNIPERUS COMMUNIS 'GNOM'	5 gallon container
PA	6	PLATANUS ACERIFOLIUM x 'BLOODGOOD'	2' - 2.5' cal
PC	3	PYRUS CALLERYANA 'ARISTOCRAT'	B&B
RP	8	RHOODOENDRON PJM	3 gallon container
VD	51	VIBURNUM DENTATUM	3 gallon container
WF	35	WEIGELA FLORIDA 'ALEXANDRA'	3 gallon container
WS	11	WEIGELA FLORIDA 'BOKRASPAW'	3 gallon container
ZS	5	ZELKOVA SERRATA 'GREEN VASE'	2' - 2.5' cal
		Green Vase Zelkova	B&B



131
REGISTERED
S. B. REALTY LIMITED PARTNERSHIP

scale: 1" = 20'
date: APRIL 17, 2015
drawn: NAD
checked: SDG
approved: SDG
sheet 4 of 9
drawing number: LP-1

project: PROPOSED O'REILLY AUTO PARTS
139 HATHAWAY ROAD
NEW BEDFORD, MASSACHUSETTS

client: S.B. REALTY LIMITED PARTNERSHIP

drawing title: LANDSCAPE PLAN

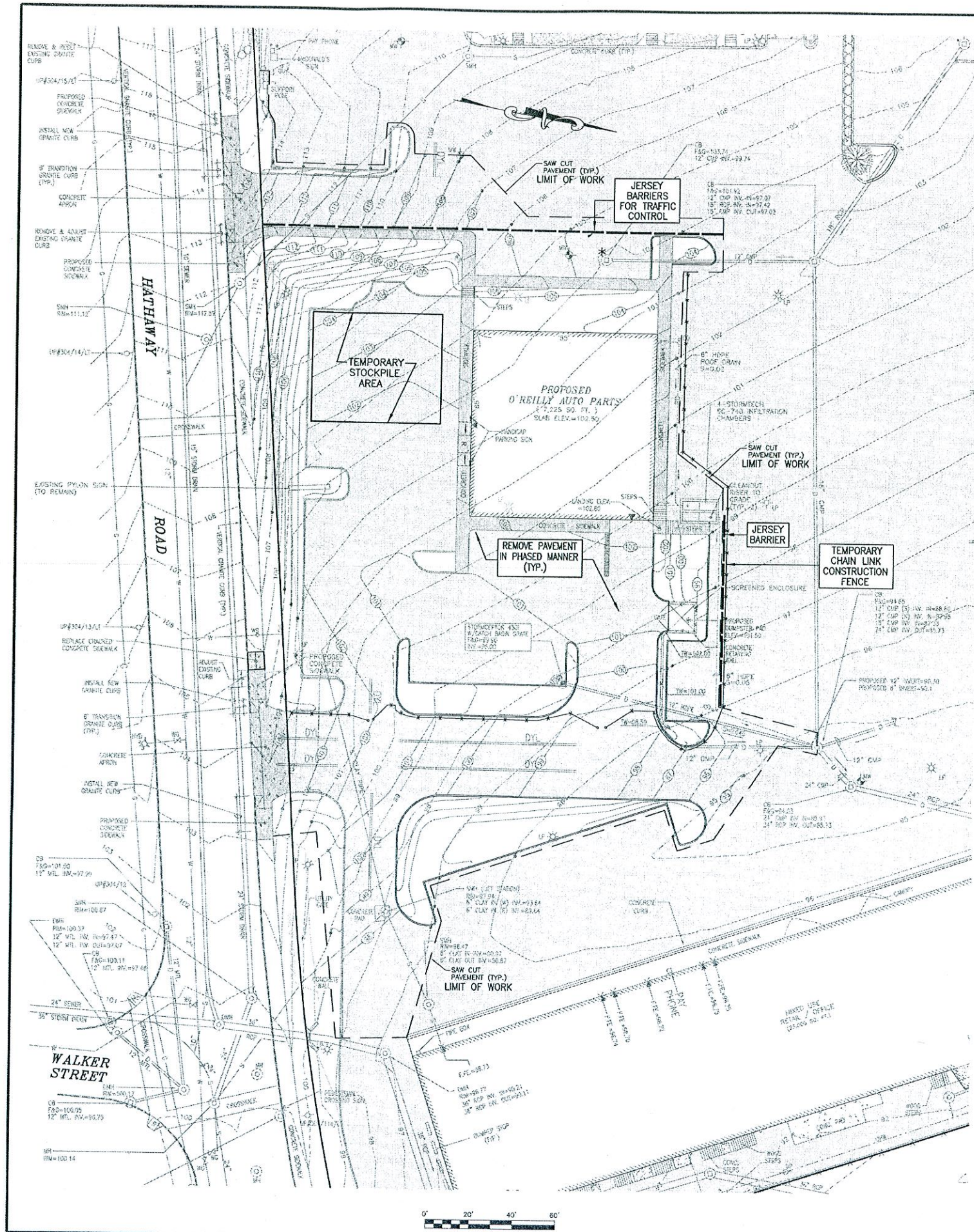
SITEC, Inc.
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CIVIL AND ENVIRONMENTAL ENGINEERING
Land Use Planning

Acad No. NB 07-3977 LP.DWG
File No. 07-3977

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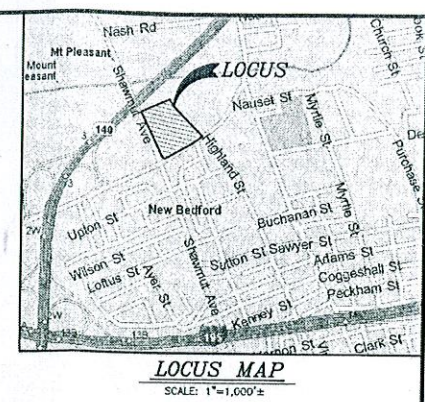
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NOTES:

1. DEMOLITION SHALL BE LIMITED TO THE AREA OUTLINED.
2. CONTRACTOR SHALL PROTECT ADJUTING AREAS FROM DAMAGE. DAMAGE OF ADJUTING AREAS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
3. ALL DEMOLITION MATERIALS SHALL BE LEGALLY DISPOSED OF OFFSITE.
4. ALL BMP EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO INITIAL DEMOLITION.
5. CONTRACTOR SHALL HAVE WATER AVAILABLE FOR DUST CONTROL OR AN APPROVED DUST CONTROL AGENT.

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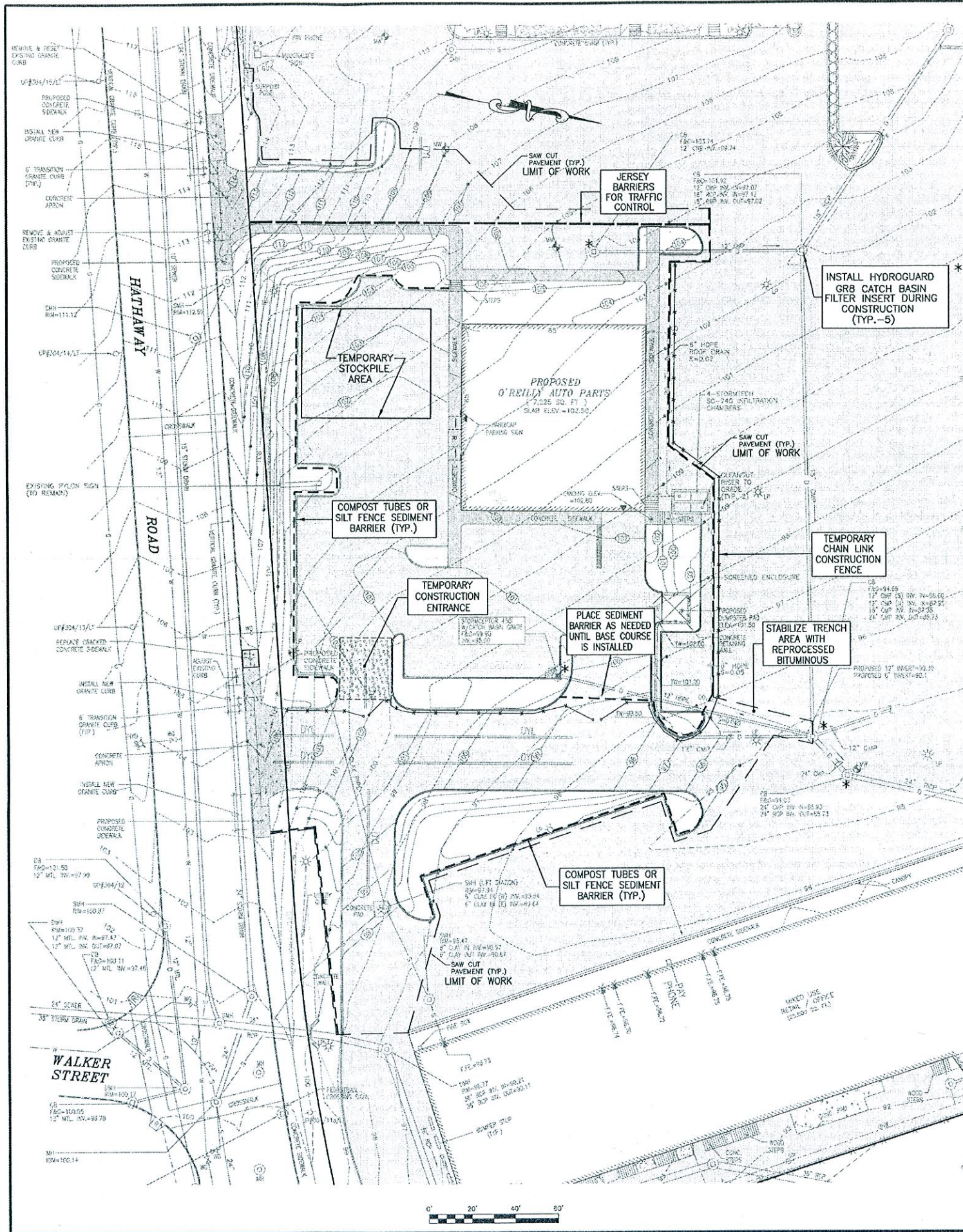
LEGEND

---	PROPERTY LINE
---	EXISTING CONTOUR
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---	PROPOSED ROOF DRAIN

Project: PROPOSED O'REILLY AUTO PARTS 139 HATHAWAY ROAD NEW BEDFORD, MASSACHUSETTS	Client: S.B. REALTY LIMITED PARTNERSHIP Drawing Title: DEMOLITION PLAN
Date: APRIL 17, 2015 Scale: 1"=20' Author: NAD Checker: SDG Approver: SDG Sheet: 6 of 9 Drawing No: DEMO-1	Revision Description No. Date 1 11/15/15
SITEC, Inc. 434 Essex Street, Suite 100 Northampton, MA 01061 (413) 588-2125 www.sitec-engineering.com	
SITEC Civil and Environmental Engineering Land Use Planning	
Acad No. NB 07-3977 DEMOLITION PLAN.DWG File No. 07-3977	

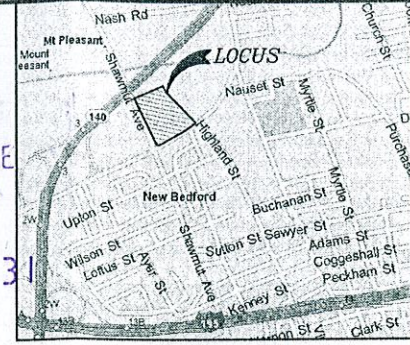
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NOTES:

1. REMOVE AND RESET ALL LIGHT POLES. (SEE LIGHTING PLAN, SHEET 5 OF 8)
2. MATERIAL STOCKPILE AREA SHALL HAVE SAFETY FENCING INSTALLED AROUND STOCKPILE THAT EXCEED 10' IN HEIGHT.
3. SILT FENCE OR COMPOST TUBES SHALL BE SET ON DOWNGRAIENT.
4. CONTRACTOR MAY INSTALL RECYCLED BITUMINOUS PAVEMENT, AFTER GRADING, FOR EROSION CONTROL.
5. EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO DEMOLITION OR ANY SITE WORK.
6. EROSION CONTROL BMP'S SHALL CONFORM TO US EPA NPDES, MA DEP AND MASSACHUSETTS EROSION AND SEDIMENTATION CONTROL GUIDELINES FOR URBAN AREAS.
7. SEE STORMWATER POLLUTION PREVENTION AND CONSTRUCTION CONTROL PLAN DOCUMENT.



LOCUS MAP
SCALE: 1"=1,000'±

LEGEND

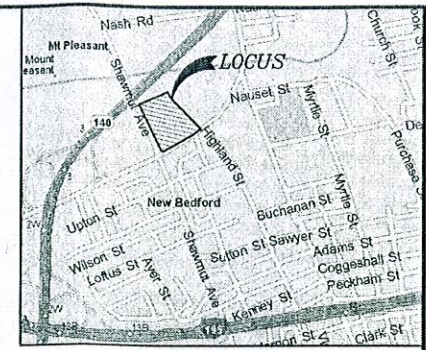
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	<p>PROPOSED O'REILLY AUTO PARTS 139 HATHAWAY ROAD NEW BEDFORD, MASSACHUSETTS</p>	<p>S.B. REALTY LIMITED PARTNERSHIP</p>	<p>EROSION/SEDIMENTATION CONTROL PLAN</p>	<p>PLANNING AUG 13 2015 DEPARTMENT CHG 16-15</p>
<p>DATE: APRIL 17, 2015 SCALE: 1"=20' DRAWN: NAD CHECKED: SDG APPROVED: SDG SHEET 7 OF 9 DRAWING NUMBER: ESC-1</p>	<p>SITEC, Inc. 448 Federal Street, Dept. Dorchester, MA 02127 (508) 948-2125 FAX: (508) 948-2124 WWW.SITEC-ENGINEERING.COM</p>			
<p>Acad No. NB 07-3977 EROSION CONTROL PLANNING File No. 07-3977</p>				

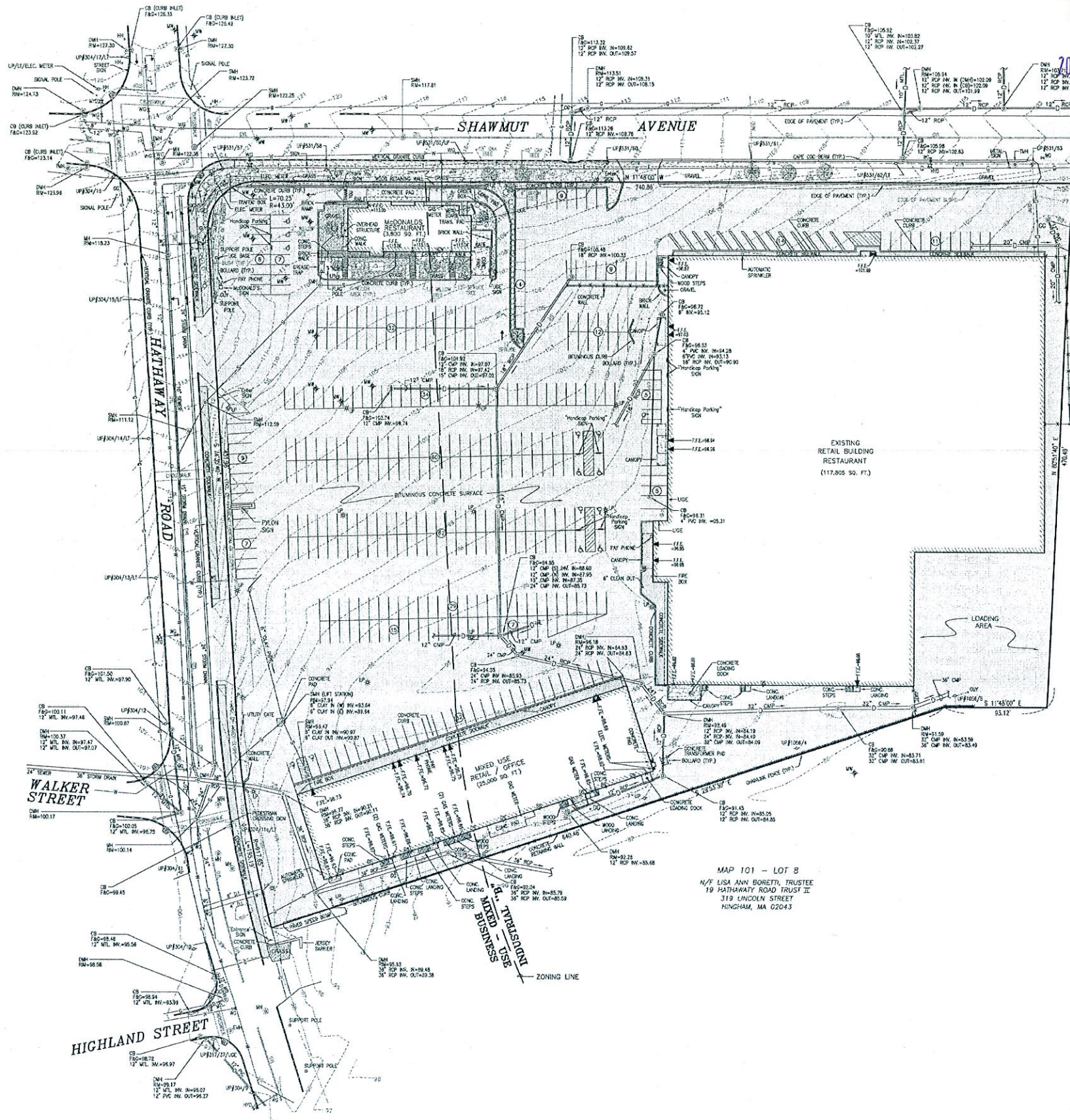
CITY CLERK'S OFFICE
NEW BEDFORD, MA

2015 AUG 13 P 2: 31

CITY CLERK



LOCUS MAP
SCALE: 1"=1,000'



LEGEND

---	PROPERTY LINE
- - - -	EXISTING CONTOUR
- x - x -	CHAIN LINK FENCE
---	OVERHEAD WIRES
- - - -	UNDERGROUND TELEPHONE LINE
---	GAS MAIN
---	WATER MAIN
---	SEWER LINE
---	DRAINAGE LINE
---	UNDERGROUND ELECTRIC
---	SOLID WHITE LINE
---	SOLID YELLOW LINE
---	DOUBLE YELLOW LINE
CB	CATCH BASIN
DMH	DRAIN MANHOLE
SMH	SEWER MANHOLE
MH	MANHOLE
EMH	ELECTRIC MANHOLE
TMH	TELEPHONE MANHOLE
HY	FIRE HYDRANT
W3	WATER GATE VALVE
WS	WATER SERVICE
GV	GAS GATE VALVE
LP	LIGHT POLE
DS	DOWN SPOUT
KV	IRRIGATION CONTROL VALVE
UH	UTILITY HAND HOLE
UP	UTILITY POLE
MW	MONITORING WELL
HR	HANDICAP RAMP
T	TREE
▲	BUILDING ENTRANCE

MAP 101 - LOT 8
N/F LISA ANN BORETTI, TRUSTEE
19 HATHAWAY ROAD, TRUST II
HINGHAM, MA 02043

MAP 101 - LOT 8
N/F LISA ANN BORETTI, TRUSTEE
19 HATHAWAY ROAD, TRUST II
HINGHAM, MA 02043

SURVEY COMPLETED: JUNE 2010, UPDATED MAY 2014

- UTILITY COMPANIES**
- WATER/SEWER: DEPARTMENT OF INFRASTRUCTURE
1105 SHAWMUT AVENUE
NEW BEDFORD, MA 02740
 - ELECTRIC: EVERSOURCE
1 NSTAR WAY
WESTWOOD, MA 02090
 - GAS: EVERSOURCE
1 NSTAR WAY
WESTWOOD, MA 02090

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CASE 16-15

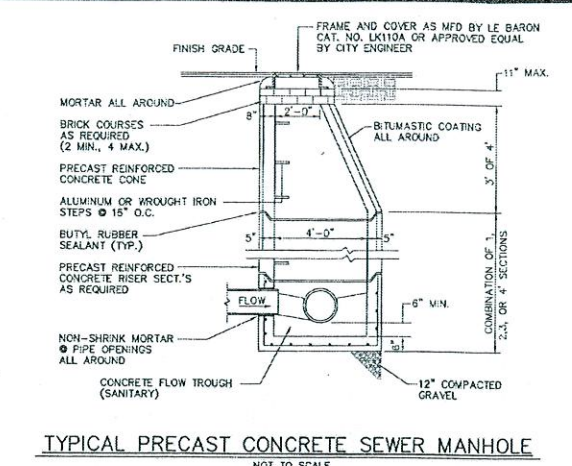
Revision	Description	Date	No.
1	EXISTING CONDITIONS		

Scale:	1"=40'
Date:	APRIL 17, 2015
Drawn:	NAD
Checked:	SDG
Approved:	SDG
Sheet:	8 of 9
Drawing Number:	EC-1

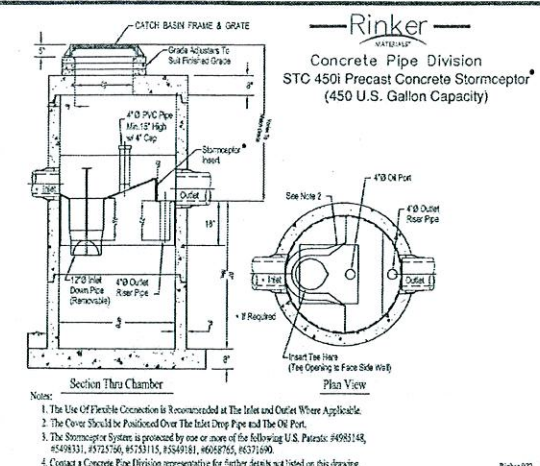
Project:	139 HATHAWAY ROAD NEW BEDFORD, MASSACHUSETTS
Client:	S.B. REALTY LIMITED PARTNERSHIP
Drawing Title:	EXISTING CONDITIONS

SITEC, Inc. 459 Francis Corner Road Dorchester, MA 02147 Tel: (617) 994-7254 Fax: (617) 994-7254 www.SITEC-ENGINEERING.COM

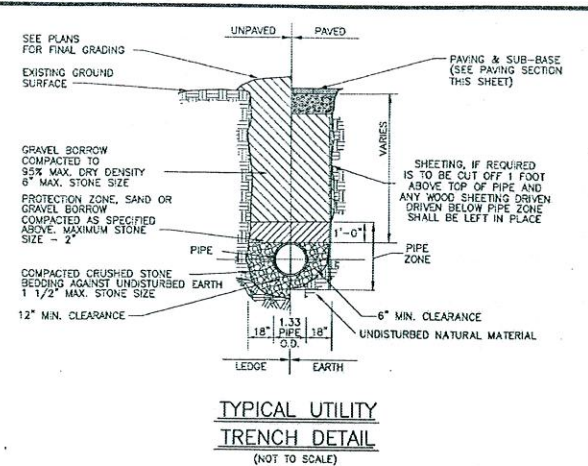
Acad No. NB 07-3977 EC.DWG
File No. 07-3977



TYPICAL PRECAST CONCRETE SEWER MANHOLE
NOT TO SCALE

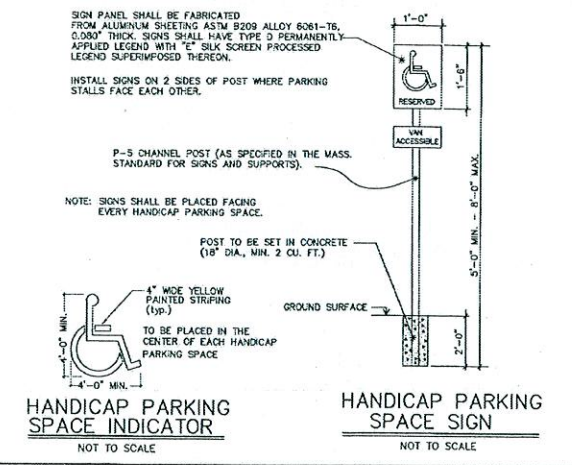


Section Thru Chamber
Notes:
1. The Use of Flexible Connection is Recommended at the Inlet and Outlet Where Applicable.
2. The Cover Should be Positioned Over the Inlet Drop Pipe and the Out Pipe.
3. The Stormceptor System is protected by one or more of the following U.S. Patents: #4981148, #5498331, #5723756, #5733115, #5849781, #6067765, #6371990.
4. Contact Concrete Pipe Division representative for further details not listed on this drawing.
Rinker 027

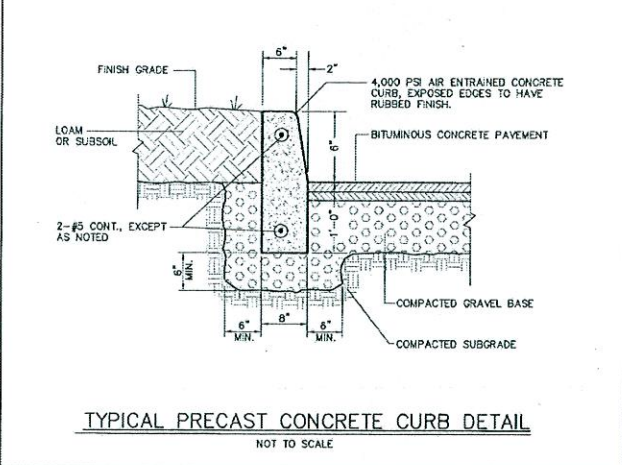


TYPICAL UTILITY TRENCH DETAIL
(NOT TO SCALE)

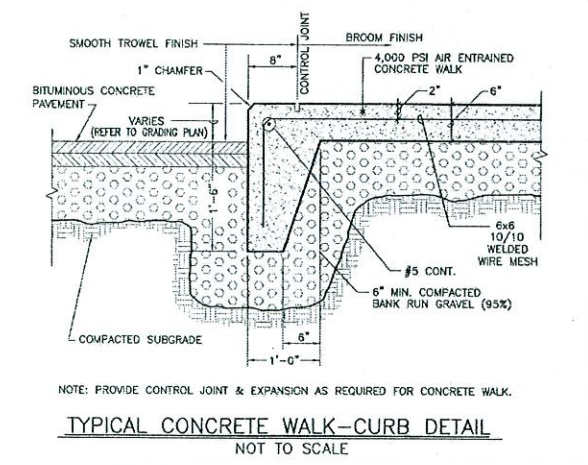
- GENERAL NOTES:**
1. CONTRACTOR SHALL NOTIFY DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
 2. CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. THESE PLANS ARE BASED ON FIELD AND RECORD INFORMATION AND, THEREFORE, MAY NOT COMPLETELY DEPICT ALL EXISTING UTILITIES.
 3. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IMMEDIATELY IF FIELD CONDITIONS ARE FOUND TO DIFFER WITH THESE DRAWINGS.
 4. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF THE ADJACENT AREA AND UTILITIES IN THE CONSTRUCTION OF THIS SITE. REPAIR OF DAMAGED PROPERTY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO COST TO THE OWNER.
 5. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL CONSTRUCTION.
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF INFRASTRUCTURE (DPI) CONSTRUCTION SPECIFICATIONS, LATEST REVISION.
 7. ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF NEW BEDFORD DEPARTMENT OF INFRASTRUCTURE (DPI) STANDARDS.
 8. THE PROPOSED CONCRETE SIDEWALK AND DRIVEWAY APRONS MUST MEET CURRENT A.D.A. AND DPI STANDARDS. THE PROPOSED DRIVEWAYS SHALL BE 6\"/>



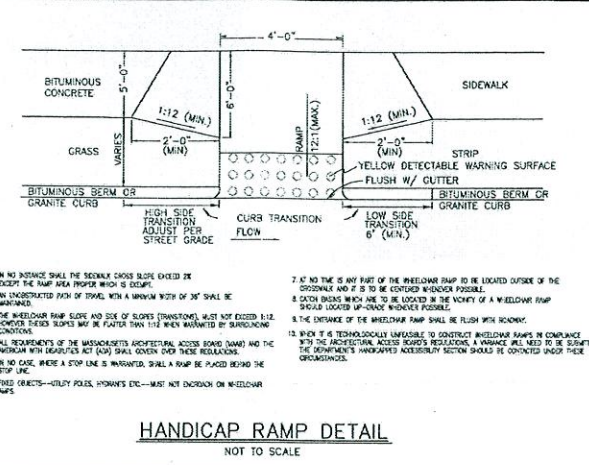
HANDICAP PARKING SPACE INDICATOR
HANDICAP PARKING SPACE SIGN
NOT TO SCALE



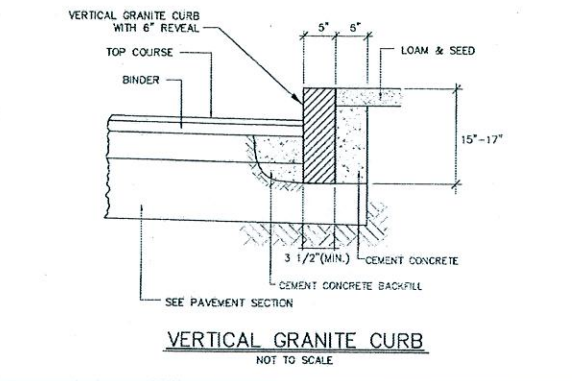
TYPICAL PRECAST CONCRETE CURB DETAIL
NOT TO SCALE



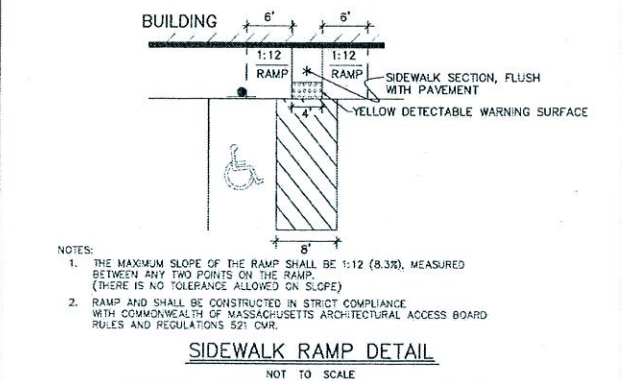
TYPICAL CONCRETE WALK-CURB DETAIL
NOT TO SCALE



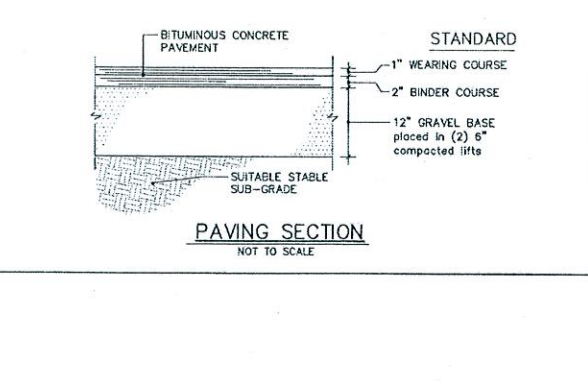
HANDICAP RAMP DETAIL
NOT TO SCALE



VERTICAL GRANITE CURB
NOT TO SCALE



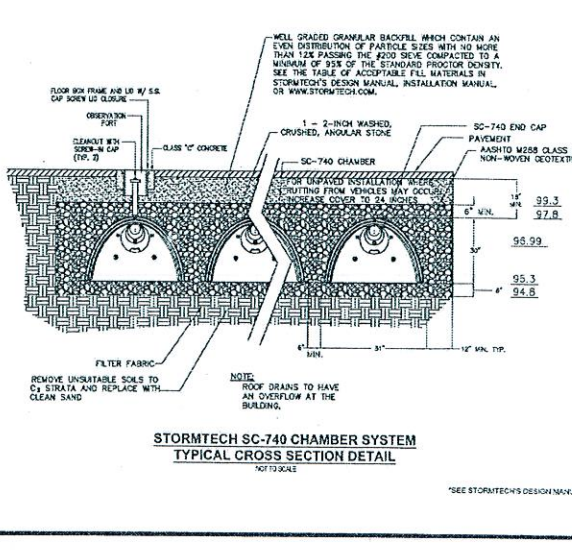
SIDEWALK RAMP DETAIL
NOT TO SCALE



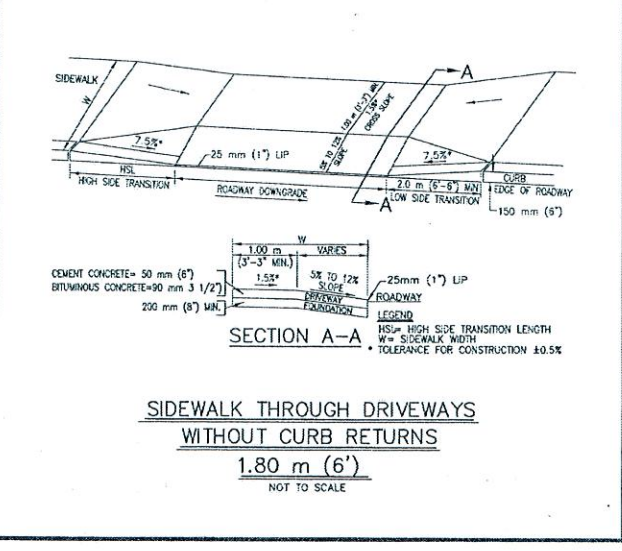
PAVING SECTION
NOT TO SCALE

NOTES

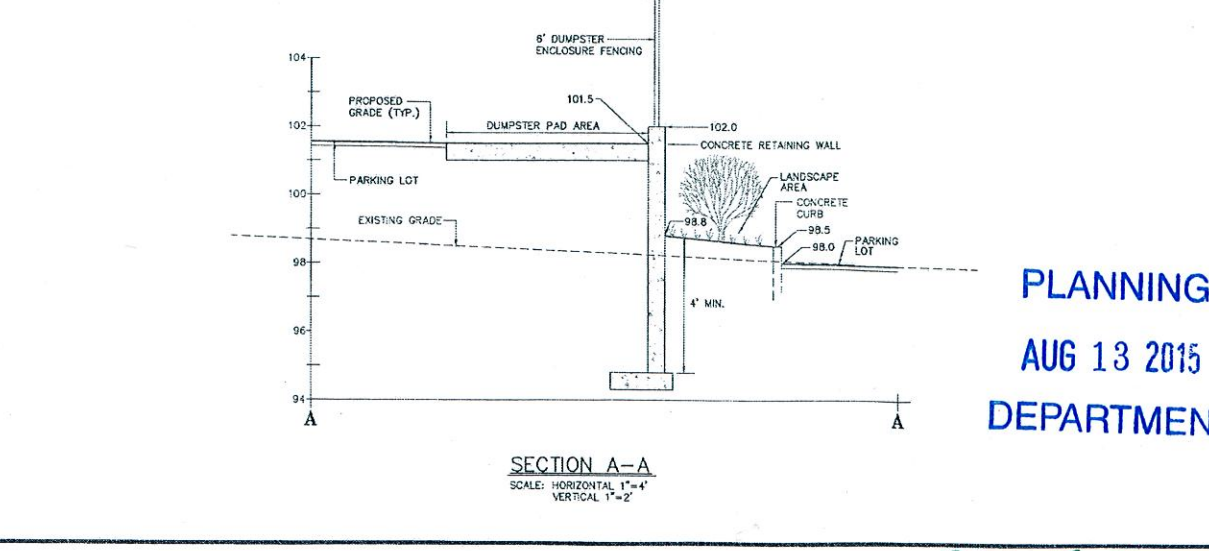
1. STRUCTURAL DESIGN DETAILS FOR ALL RETAINING WALLS SHALL BE PREPARED BY STRUCTURAL ENGINEER AND SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO THE START OF CONSTRUCTION.



STORMTECH SC-740 CHAMBER SYSTEM
TYPICAL CROSS SECTION DETAIL
NOT TO SCALE



SIDEWALK THROUGH DRIVEWAYS WITHOUT CURB RETURNS
1.80 m (6')
NOT TO SCALE



SECTION A-A
SCALE: HORIZONTAL 1"=4'
VERTICAL 1"=2'

		Project: PROPOSED O'REILLY AUTO PARTS 139 HATHAWAY ROAD NEW BEDFORD, MASSACHUSETTS Client: S.B. REALTY LIMITED PARTNERSHIP Drawing Title: DETAIL SHEET
		Date: APRIL 17, 2015 Drawn: NAD Checked: SDG Approved: SDG Sheet: 9 of 9 Drawing Number: DET-1
Acad No. NB 07-3977 DET.DWG File No. 07-3977		

CASE 16-18