



STAFF COMMENTS

FROM: Connie Brawders, Staff Planner *CB*

TO: Jill Maclean, City Planner

DATE: August 3, 2015

Subject: **Case #35 – 14: Request for Permit Extension**

Request by applicant, Sid Wainer & Sons, Inc., for a one year extension of Site Plan approval for construction of a building expansion at located at 2301 Purchase Street (Map 97, Lots 9, 151, 152, 153, 176 & 180) & installation of an off-street parking area at 2343 Purchase Street (Map 97, Lot 164) in the Mixed Use Business zoning district. Applicant's Agent: Thomas W. Hardman, PLS, Site Design & Engineering, LLC, 11 Cushman Street, Middleboro, MA 02346.

Applicant: Sid Wainer & Son, Thomas Furtado

Owner: Friends Realty, Inc., 2103 Purchase Street, New Bedford, MA 02740

Applicant's agent: Thomas W. Hardman. PLS, Site Design Engineering, LLC, 11 Cushman Street, Middleboro, MA 02346

Case Overview

The Planning Board held a public hearing on September 10, 2014 to discuss an application for Site Plan Review of new construction of a +/- 51, 900 SF addition to an existing structure to include demolition of other on-site buildings.

The parcels are not located in or within 100 feet of any Local or State protected resource area; therefore no permit requirement to be met for the Conservation Commission.

The Planning Board unanimously granted conditional approval of the site plan to include parking lot construction on September 10, 2014. Under City of New Bedford Site Plan Review, section 5480. Lapse.

Site plan approval shall lapse after one year from the final approval if a substantial use in accordance with such approved plans has not commenced except for good cause. Such approval may for good cause, be extended in writing by the Planning Board upon the written request of the applicant, within this one year period.

The applicant's agent has presented a written request for permit extension dated July 31, 2015 for the Planning Board's consideration and vote (Attachment 1).

A copy of the Decision and Memorandum from Department of Public Infrastructure are included for the Boards review as Attachments 2 and 3.

Also included for the Planning Board is a copy of the Plan set (Attachment 4).

The applicant now comes before the Planning Board to request an extension for time performance due to architectural changes, revised estimates, additional coordination with the builder, and other such issues beyond the applicant's control. The Board may consider asking the applicant to provide a construction schedule, or estimation of duration of required tasks to be completed, as a helpful tool to measure progress in redevelopment of the site.

Respectfully submitted.

Attachments

1. Applicant's Agent Request for Extension Dated July 31, 2015
2. Decision Dated September 22, 2014
3. Comments from the Department of Public Infrastructure
4. Plan Set



SITE DESIGN ENGINEERING, LLC.

11 Cushman Street, Middleboro, MA 02346
P: 508-967-0673 F: 508-967-0674 Direct: 508-219-0202

July 31, 2015

SDE No. 14101

New Bedford Planning Board
City Hall
133 William Street, Rm. 303
New Bedford, MA 02740

**Subject: Request for Permit Extension
Sid Wainer & Son Facility, Purchase Street
Planning Board Case # 35-14
New Bedford, MA**

Dear Members of the Board:

On behalf of the Applicant, Sid Wainer & Son, please allow this letter to act as a request for a one year extension of time for the above referenced permit. This request has been necessitated due to architectural changes, revised estimates, additional coordination with the builder and other such issues that are beyond the applicant's control.

If you should need any additional information, please do not hesitate to contact me. We thank you in advance for consideration of this request and look forward to placing it on the agenda for the August meeting of the Board.

Very truly yours,
Site Design Engineering, LLC

A handwritten signature in black ink that reads "Thomas W. Hardman".

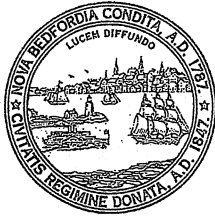
Thomas W. Hardman, PLS
Project Manager

Copy to: Thomas Furtado, Sid Wainer & Son

PLANNING
AUG 03 2015
DEPARTMENT

CASE 35.14

ATTACHMENT 1



CITY OF NEW BEDFORD
JONATHAN F. MITCHELL, MAYOR

PLANNING BOARD

CITY CLERKS OFFICE
NEW BEDFORD, MA
2014 SEP 24 A 8:38
CITY CLERK

September 22, 2014

Mr. Dennis Farias, City Clerk
133 William Street
New Bedford, MA 02740

RE: Site Plan Review
Case # 35-14, 2301 & 2343 Purchase Street (Map Plot 97 Lots 9, 151, 152, 153, 176, 180 and 164)

Dear Mr. Farias,

Please be advised that the New Bedford Planning Board held a public hearing on September 10, 2014 to discuss an application for Site Plan Review for proposed new construction of a ~51,900 square foot addition to an existing Sid Wainer & Son, Inc. building at the property known as 2301 Purchase Street, Map Plot 97 Lots 9, 151, 152, 153, 176, 180, and installation of an Off-Street Parking Area at the adjacent property known as 2343 Purchase Street, Map Plot 97 Lot 164, all located in New Bedford, MA, 02740, in a Mixed Use Business zoned district.

Plans submitted with the application were stamped by City Clerk on August 15, 2014, submitted by the applicant: Friends Realty, Inc., 2301 Purchase Street, New Bedford, MA, 02746.

Board Members Colleen Dawicki, Arthur Glassman, Janine Da Silva, Kathryn Duff and Peter Cruz were present on the evening of the public hearing.

Mr. Thomas Hardman, Mr. Andrew Tillett and Mr. Henry Wainer presented information on the proposed project on behalf of the applicant. Mr. Hardman and Mr. Tillett described the proposed sitework and provided detail on the proposed operations at the property and impacts on the surrounding community. Mr. Wainer provided additional information on area parcels in common ownership by the applicant.

Chairman Dawicki then called for a motion to open the public hearing. A motion was made by J. Da Silva, seconded by K. Duff, to open the public hearing. Chairman Dawicki then invited to the podium anyone wishing to speak in favor of the application. City Councilors David Alves, Linda Morad, James Oliveira, and Joseph Lopes spoke in favor of the petition. A letter from Councilor Martins was recorded in support of the petition.

Chairman Dawicki then invited to the podium anyone wishing to speak in opposition of the petition. Laurier Rock spoke regarding potential concern for added stormwater runoff onto his

CASE 35-14

ATTACHMENT 2

adjacent property. No additional persons wished to be recorded in opposition of the petition. On a motion by J. Da Silva, seconded by A. Glassman, the public hearing was closed.

After further deliberation and consideration of all testimony, the Planning Board considered a motion by J. Da Silva, seconded by K. Duff, to approve the Site Plan Review, based on the plans dated August 8, 2014, with conditions:

1. That all DPI Comments, as detailed in their memorandum to Planning Board dated September 9, 2014, be accepted / completed by the applicant;
2. That a crosswalk or crosswalks be installed between the new off-street parking area (2343 Purchase Street) and the 2301 Purchase Street parcel, at the discretion of Traffic Commission, and that the applicant shall abide by all conditions of the Traffic Commission's review;
3. That the applicant shall look into installation of bike racks on-site;
4. That the 63' wide curb cut be reviewed and reconfigured/reduced and that the smaller curb cut to the east potentially be removed, with subsequent review by Planning Staff;
5. That an additional row of landscaping islands be installed in the middle of the parking lot on the north side of Van Buren;
6. That revised architectural drawings of the addition, including investigation of solar panel installation and roof reflectivity to mitigate heat island effect, be submitted to Planning Staff for review and acceptance prior to release of Building Permit;
7. That the drainage system for the northern parking lot (2343 Purchase Street) include an oil/water separator;
8. That a lighting plan be submitted to Planning Staff for review and acceptance prior to release of Building Permit;
9. That a guardrail be installed along the eastern boundary to protect the existing building on the corner of Van Buren Street and Purchase Street, if possible.

This motion carried 5-0. (CD, JD, PC, AG, KD)

Sincerely,



Jill Maclean, City Planner
Agent for the Planning Board

Cc: Danny Romanowicz, Commissioner DIS
T. Hardman, Site Design Engineering, LLC
Ronald Labelle, Commissioner DPI
Scott Downing, Executive Secretary, Traffic Commission
Henry G. Bousquet, Ward Three City Councilor



Ronald H. Labelle
Commissioner

CITY OF NEW BEDFORD
Jonathan F. Mitchell, Mayor

Water
Wastewater
Highways
Engineering
Cemeteries
Park Maintenance

MEMORANDUM

TO: City of New Bedford Planning Board

FROM: Ronald H. Labelle, Commissioner, D.P.I.

DATE: September 9, 2014

RE: Building Expansion Site Plan – Sid Wainer
Purchase St
Plot 97 Lots 9,151-153, 154-156, 176, and 180

The Department of Public Infrastructure has reviewed the proposed site plan referenced above and recommends approval with the following conditions:

1. Driveway permits subject to Traffic Commission approval.
2. Install cement concrete ribbon sidewalks and granite curb within the limits of the project on Van Buren Street and Beacon Street.
3. Use 4 foot transition curb at all driveways.
4. Driveways and sidewalks to be built in accordance with City of New Bedford regulations.
5. Permits for driveways, sidewalk, drainage, sewer and water must be obtained from the Department of Public Infrastructure Engineering Division.
6. Install cement concrete wheelchair ramps at the Southwest and Northwest corners of Purchase Street, and Van Buren Street.
7. Plant trees within the limits of the project on the grass ribbon area (40 Feet Apart).
8. Beacon Street south of Van Buren Street is a board of survey Street. Owner needs to meet with the Department of Public Infrastructure to discuss the improvements necessary to meet access requirements.
9. Owner to discuss storm water tie in capabilities with the Department of Public Infrastructure.
10. Owner must contact Department of Public Infrastructure to rectify address number issues.
11. Show all existing utilities on plans and their sizes.

ATTACHMENT 3

12. All utilities to be constructed in accordance with City of New Bedford regulations.
13. Drainage design must comply with Phase II Mass. Department Storm Water Management Standards.
14. Show exiting water utilities inside and outside of property.
15. Cut and cap all unused water utilities and ones under foot print of proposed building addition.
16. The Department is requiring the engineer to verify that the proposed Domestic and Fire Supply service will provide sufficient volume and pressure for your proposed commercial building.
17. Hydrant flow test will be required for the fire suppression system.
18. Owner to apply for domestic and fire supply permits.
19. Developer and site contractor must schedule a pre-construction meeting with the Department of Public Infrastructure, and provide a full set of the most recent version of the site construction plans prior to the start of the construction.
20. Upon completion Engineer must submit "As Built Drawings" on CADD format prior to certificate of Occupancy being issued.

/ct

Cc: Department of Inspectional Services
Environmental Stewardship
Site Design Engineering, LLC
Sid Wainer and Sons, Inc.

INDUSTRIAL SITE DEVELOPMENT PLANS

BUILDING EXPANSION PLAN

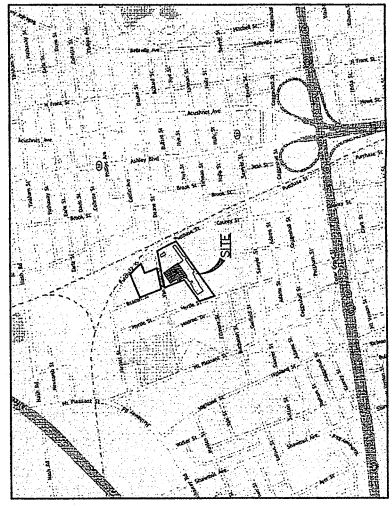
CITY CLERKS OFFICE
NEW BEDFORD, MA

2014 AUG 15 P 2: 36

PLANNING DEPARTMENT

2301 Purchase Street
New Bedford, Massachusetts

AUGUST 8, 2014



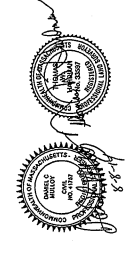
LOCUS MAP
SCALE: 1" = 800'

CIVIL ENGINEER
SITE DESIGN ENGINEERING, LLC.
11 CUSHMAN STREET
MIDDLEBORO, MA 02346
(508) 987-0673

LAND SURVEYOR
SITE DESIGN ENGINEERING, LLC.
11 CUSHMAN STREET
MIDDLEBORO, MA 02346
(508) 987-0673

PLAN INDEX

TITLE	SHEET NO.
COVER SHEET	1
EXISTING CONDITIONS PLAN	2-3
EROSION CONTROL PLAN	4
SITE DEMO PLAN	5
SITE LAYOUT PLAN	6-7
GRADING & DRAINAGE PLAN	8-9
UTILITY PLAN	10
LANDSCAPE PLAN	11
LIGHTING PLAN	12
CONSTRUCTION DETAILS	13-14



SITE DESIGN ENGINEERING, LLC.
11 CUSHMAN STREET
MIDDLEBORO, MA 02346
TEL: (508) 987-0673 FAX: (508) 987-0674
WWW.SITEDESIGNENGINEERING.COM

NO.	DATE	DESCRIPTION	APPROVED

DATE: AUGUST 8, 2014
DRAWN BY: JESSICA WOODS
CHECKED BY: JESSICA WOODS
PROJECT NO.: 14101
ISSUED FOR: REVIEW

PLANNING DEPARTMENT
CITY CLERKS OFFICE
NEW BEDFORD, MA

BUILDING EXPANSION SITE PLAN
2301 PURCHASE STREET
NEW BEDFORD, MASSACHUSETTS
PREPARED FOR
SID WAINER & SON, INC.

DRAWING TITLE: COVER
SCALE: AS SHOWN
SHEET NO.: 1 OF 14

SITE DESIGN ENGINEERING, LLC.
 11 GURHAM STREET
 NEW BEDFORD, MASSACHUSETTS 01905
 TEL: 508-897-8924 FAX: 508-897-8924
 WWW.SITEDESIGNENGINEERING.COM

NO.	DATE	DESCRIPTION	APPROVED

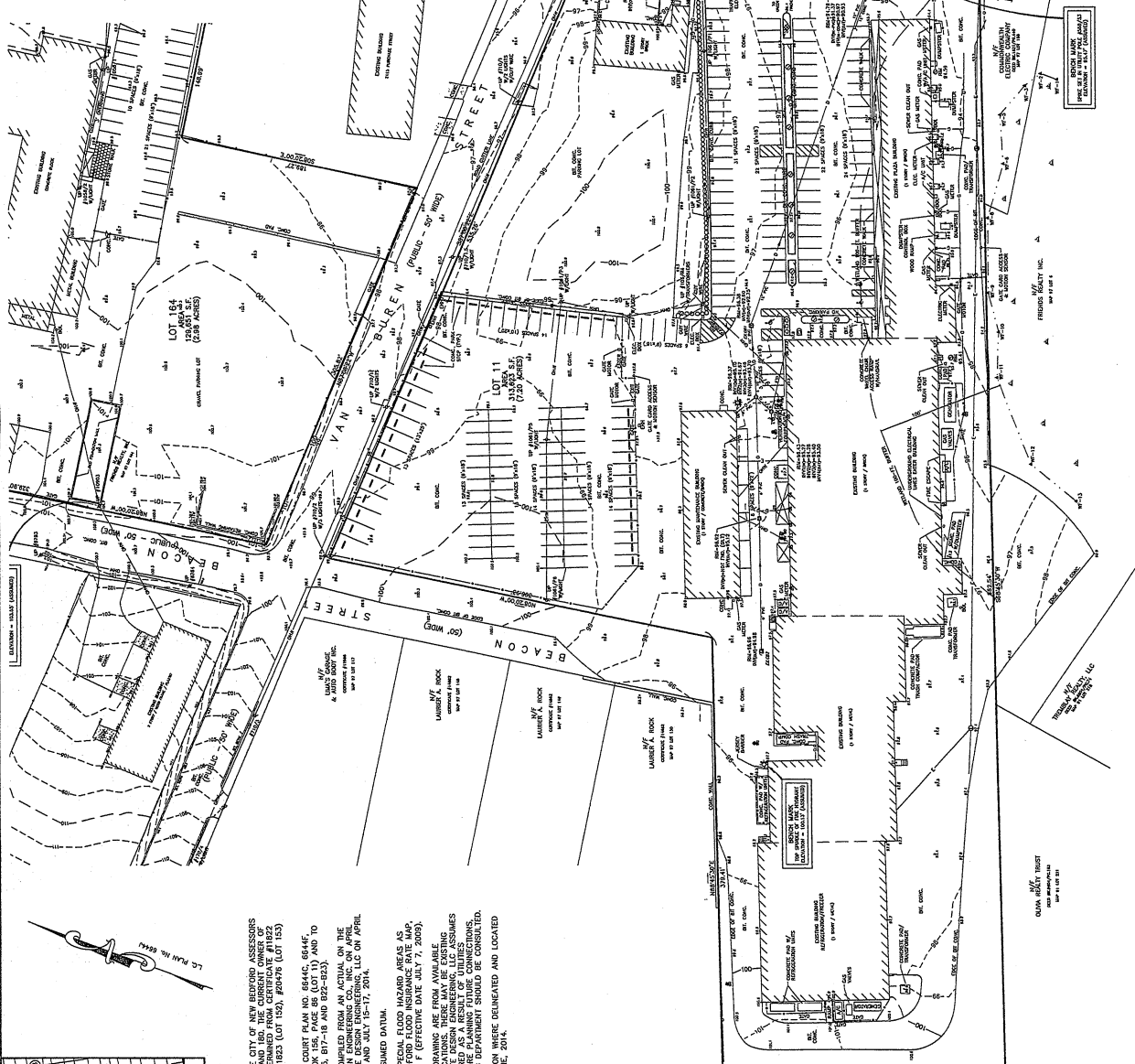
PLAN REVISIONS

DATE: AUGUST 8, 2014
 DRAWN BY: DESIGN ASSISTANTS
 CHECKED BY: [Signature]
 PROJECT NO.: 14101
 ISSUED FOR: REVIEW

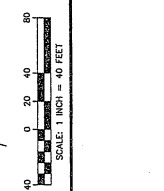
BUILDING EXPANSION SITE PLAN
 2301 PURCHASE STREET
 NEW BEDFORD, MASSACHUSETTS
 PREPARED FOR:
 SID WAINER & SON, INC.

DRAWING TITLE:
EXISTING CONDITIONS PLAN
 SCALE: 1" = 40'
 SHEET NO.:
2 OF 14

- LEGEND**
- SEWER MANHOLE
 - SPOT ELEVATION
 - BUILDING OVERHANG
 - TRAFFIC SIGNAL
 - TREE (2" 3" DIA.)
 - UTILITY POLE
 - WATER GATE
 - WATER MANHOLE
 - WELANDS
 - WELAND FLAG
 - CHAIN LINK FENCE
 - OVERHEAD WIRES
 - UNDERGROUND DRAIN
 - UNDERGROUND ELECTRIC
 - UNDERGROUND GAS
 - UNDERGROUND SEWER
 - POST INDICATOR VALVE
 - MANHOLE
 - GUARD RAIL
 - MAHLE
 - FIRE HYDRANT
 - ELECTRIC MANHOLE
 - 2-36
 - 2011 CITY OF NEW BEDFORD
 - 2011 CITY OF NEW BEDFORD
 - 2011 CITY OF NEW BEDFORD



- NOTES**
- PROPERTY LINES AND SURVEY DATA ARE SHOWN ON THE CITY OF NEW BEDFORD ASSESSORS' RECORD MAPS FOR LOTS 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.





SITE DESIGN ENGINEERING, LLC.
 1200 BEAUFORT STREET, SUITE 201
 ANDOVER, MASSACHUSETTS 01915
 TEL: 978.686.8200 FAX: 978.686.8204
 WWW.SITEDESIGNENGINEERING.COM

NO.	DATE	DESCRIPTION	APPROVED

PLAN REVISIONS

DATE: AUGUST 8, 2014
 DRAWN BY: DESIGN, BY: CHECK BY:
 REV/RET: R7/SACH R2B/THW
 PROJECT NO: 14101
 ISSUED FOR:

REVIEW

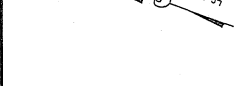
BUILDING EXPANSION SITE PLAN
 2301 PURCHASE STREET
 NEW BEDFORD, MASSACHUSETTS
 PREPARED FOR
 SID WANER & SON, INC.

DRAWING TITLE:
EXISTING PLAN

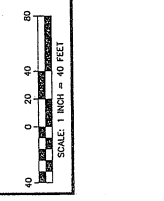
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 SHEET NO:
3 OF 14

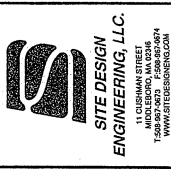


- LEGEND**
- ⊙ SEWER MANHOLE
 - ▲ SPOT ELEVATION
 - ✕ TRAFFIC SIGNAL
 - ⊖ TREE (7'0" DIA.)
 - ⊕ UTILITY POLE
 - ⊗ WATER GATE
 - ⊙ WATER MANHOLE
 - ▲ WETLANDS
 - ▲ WETLAND FLAG
 - CHAIN LINK FENCE
 - OVERHEAD WIRES
 - UNDERGROUND DRAIN
 - UNDERGROUND ELECTRIC
 - UNDERGROUND GAS
 - UNDERGROUND SEWER
 - ⊙ BUILDING
 - ⊙ BUILDING OVERHANG
 - ⊙ CITY CLERK'S OFFICE
 - ⊙ CITY CLERK'S OFFICE
 - ⊙ DOWN SPOUT (ROOF DRAIN)
 - ⊙ SEWER MANHOLE
 - ⊙ ELECTRIC MANHOLE 36
 - ⊙ FIRE HYDRANT
 - ⊙ GUARD RAIL
 - ⊙ MANHOLE
 - ⊙ POST INDICATOR VALVE



- NOTES:**
- THE LOCUS PARCELS ARE SHOWN ON THE CITY OF NEW BEDFORD ASSESSORS MAP BY AS LOTS 8, 151-153, 154, 176, AND 180. THE DETERMINED FROM CERTIFICATE #11822 (LOTS 8 AND 180), #11824 (LOT 151), #11823 (LOT 152), #26178 (LOT 153) AND #202668 (LOT 176) AND #11924.
 - 6644F, 6644H AND 6644I ARE REFERENCED, LANS COURT PL. NO. 6644S, (LOT 11) AND TO LAND COURT PLAN 6644F (LOTS 813-816, 817-18 AND 822-823).
 - THE SURVEY INFORMATION HAS BEEN SUPPLIED FROM AN ACTUAL ON THE GROUND SURVEY PERFORMED BY CULLOWAN ENGINEERING CO., INC. ON APRIL 15-16, 2009 AND SUPERSEDED BY SITE SURVEY PLAN 14101-1, 14101-2, 14101-3, 14101-4, 14101-5, 14101-6, 14101-7, 14101-8, 14101-9, 14101-10, 14101-11, 14101-12, 14101-13, 14101-14, 14101-15, 14101-16, 14101-17, 2014.
 - ELEVATIONS ARE REFERENCED TO AN ASSUMED DATUM.
 - THE SITE IS NOT LOCATED WITHIN ANY SPECIAL FLOOD HAZARD AREAS AS DETERMINED FROM THE CITY OF NEW BEDFORD FLOOD HAZARD MAP, EFFECTIVE DATE JULY 7, 2009.
 - EXISTING UTILITY LINES SHOWN ON THIS DRAWING ARE FROM AVAILABLE INFORMATION AND ARE APPROXIMATE. THE DESIGN ENGINEERING, LLC ASSUMES NO RESPONSIBILITY FOR DAMAGES, DELAYS OR COSTS INCURRED BY THE PROPERTY OWNER OR OTHER PARTIES DUE TO THE PROPERLY SHOWN BEFORE PLANNING FUTURE CONNECTIONS. THE PROPERTY OWNER SHOULD CONSULT WITH THE LOCAL UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED.
 - WETLAND RESOURCE AREAS SHOWN HEREON WERE DELINEATED AND LOCATED BY SITE DESIGN ENGINEERING, LLC IN 2011.



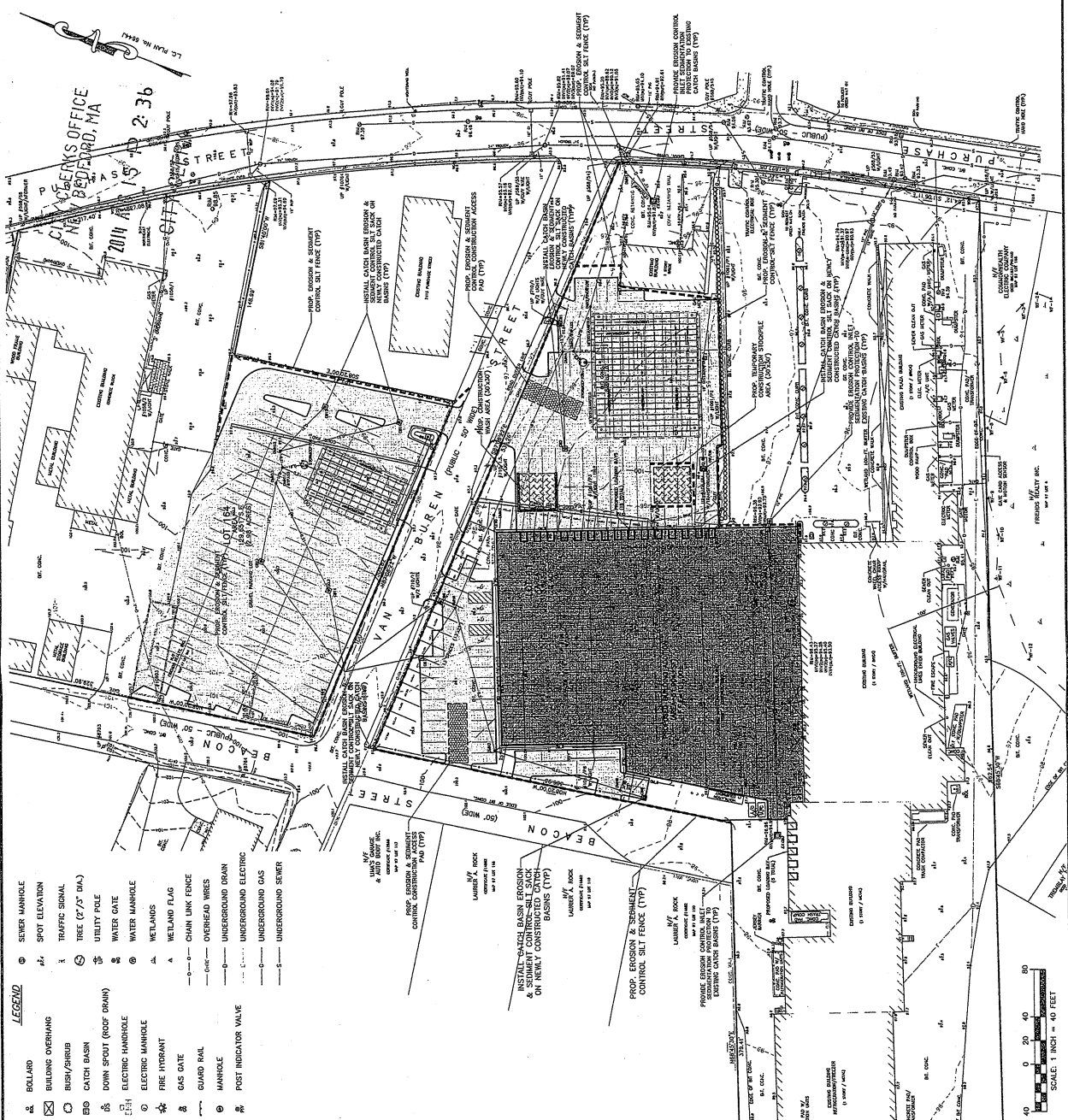


NO.	DATE	DESCRIPTION	APPROVED

PLAN REVISIONS
DATE: AUGUST 8, 2014
DESIGNED BY: [Signature]
REVIEWED BY: [Signature]
PROJECT NO. 14101
ISSUED FOR: REVIEW

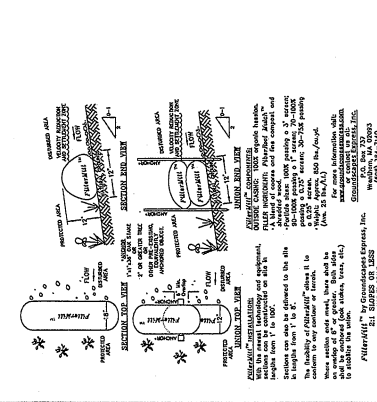
BUILDING EXPANSION SITE PLAN
2301 PURCHASE STREET
NEW BEDFORD, MASSACHUSETTS
PREPARED FOR
SID WAINER & SON, INC.

GRAPHIC TITLE: **EROSION CONTROL PLAN**
SCALE: 1" = 40'
SHEET NO. **4 OF 14**



SOIL EROSION AND SEDIMENTATION CONTROL NOTES

- BEFORE INITIATING CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THIS PLAN. THESE MEASURES SHALL BE MAINTAINED THROUGHOUT ALL WORK TO BE PERFORMED AND ALL AREAS HAVE BEEN STABILIZED.
- SEDIMENTATION CONTROLS SHALL BE MAINTAINED THROUGHOUT ALL CONSTRUCTION ACTIVITIES. THE FOLLOWING CONSTRUCTION OF GROWING VEGETATION, TREES, AND MANHOLES AS SHOWN ON PLAN:
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING TREES AND MANHOLES.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING TREES AND MANHOLES.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING TREES AND MANHOLES.
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- CONTRACTOR SHALL MAINTAIN ALL EXISTING TREES AND MANHOLES.



INLET SEDIMENTATION CONTROL TO ROAD

1. 1" DIA. DIAK POST SHALL BE INSTALLED AT EACH END OF THE INLET SEDIMENTATION CONTROL TO ROAD.

2. 1" DIA. DIAK POST SHALL BE INSTALLED AT EACH END OF THE INLET SEDIMENTATION CONTROL TO ROAD.

3. 1" DIA. DIAK POST SHALL BE INSTALLED AT EACH END OF THE INLET SEDIMENTATION CONTROL TO ROAD.

EROSION CONTROL FENCE DETAIL

1. 1" DIA. DIAK POST SHALL BE INSTALLED AT EACH END OF THE INLET SEDIMENTATION CONTROL TO ROAD.

2. 1" DIA. DIAK POST SHALL BE INSTALLED AT EACH END OF THE INLET SEDIMENTATION CONTROL TO ROAD.

3. 1" DIA. DIAK POST SHALL BE INSTALLED AT EACH END OF THE INLET SEDIMENTATION CONTROL TO ROAD.

CONSTRUCTION ENTRANCE DETAIL

1. 1" DIA. DIAK POST SHALL BE INSTALLED AT EACH END OF THE INLET SEDIMENTATION CONTROL TO ROAD.

2. 1" DIA. DIAK POST SHALL BE INSTALLED AT EACH END OF THE INLET SEDIMENTATION CONTROL TO ROAD.

3. 1" DIA. DIAK POST SHALL BE INSTALLED AT EACH END OF THE INLET SEDIMENTATION CONTROL TO ROAD.





**SITE DESIGN
ENGINEERING, LLC.**
11 CURRIAN STREET
NEW BEDFORD, MA 01905
TEL: 508-997-0070 FAX: 508-997-0074
WWW.SITEDESIGNING.COM

NO.	DATE	DESCRIPTION	APPROVED

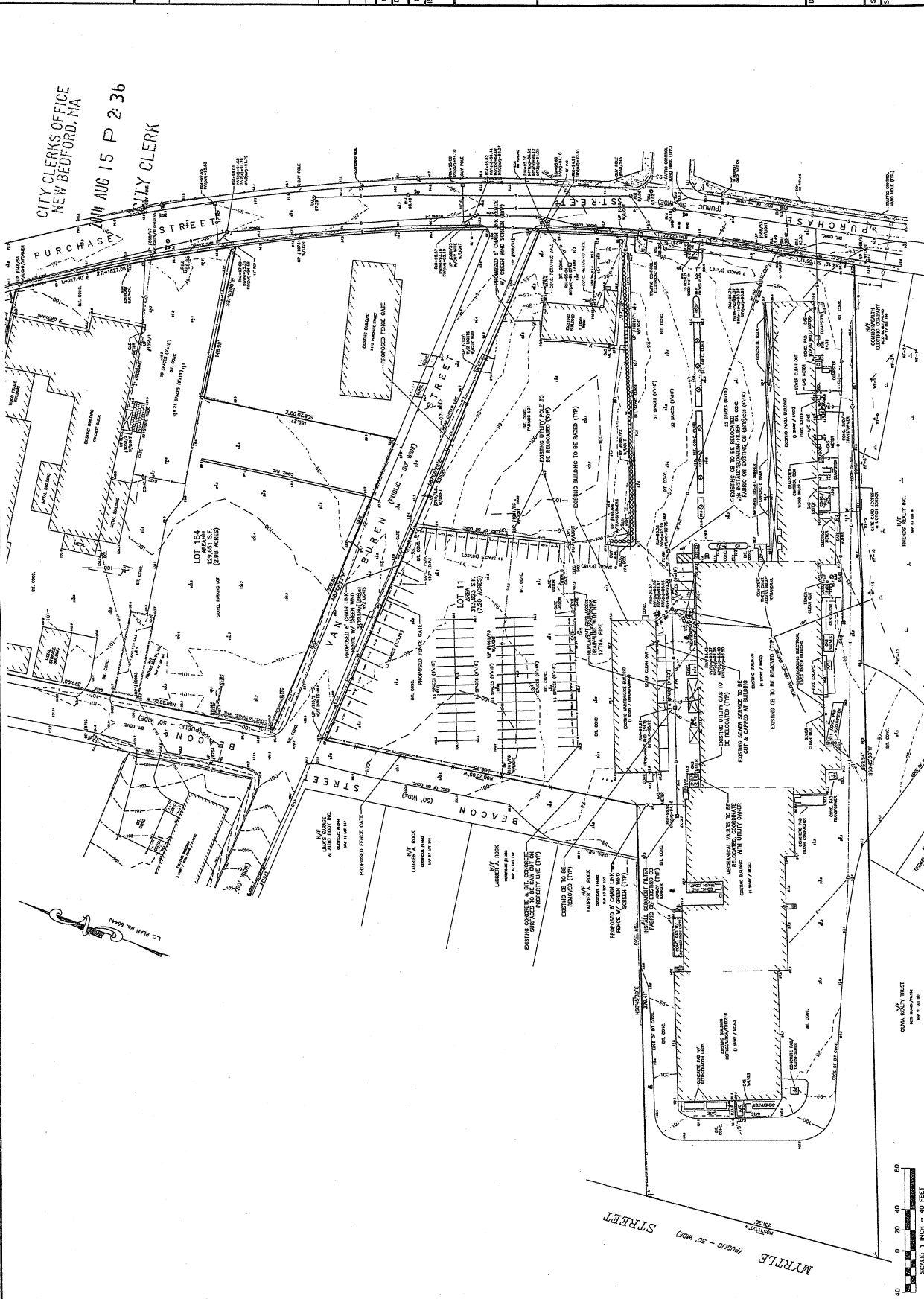
PLAN REVISIONS

DATE: AUGUST 8, 2014
DRAWN BY: MARYANN WILSON
CHECKED BY: JAMES A. HINK
BLANKET NO. RY/2014.004/AMH
PROJECT NO. 14101
ISSUED FOR: REVIEW



BUILDING EXPANSION SITE PLAN
PREPARED FOR:
SID WAINER & SON, INC.
NEW BEDFORD, MASSACHUSETTS
2301 PURCHASE STREET

DRAWING TITLE:
**SITE DEMOLITION
PLAN**
SCALE: 1" = 40'
SHEET NO.: **5 OF 14**



NO.	DATE	DESCRIPTION	APPROVED
1	AUGUST 5, 2011	PRELIMINARY PLAN REVISIONS	
2	AUGUST 5, 2011	FINAL PLAN REVISIONS	

ISSUED FOR: REVIEW

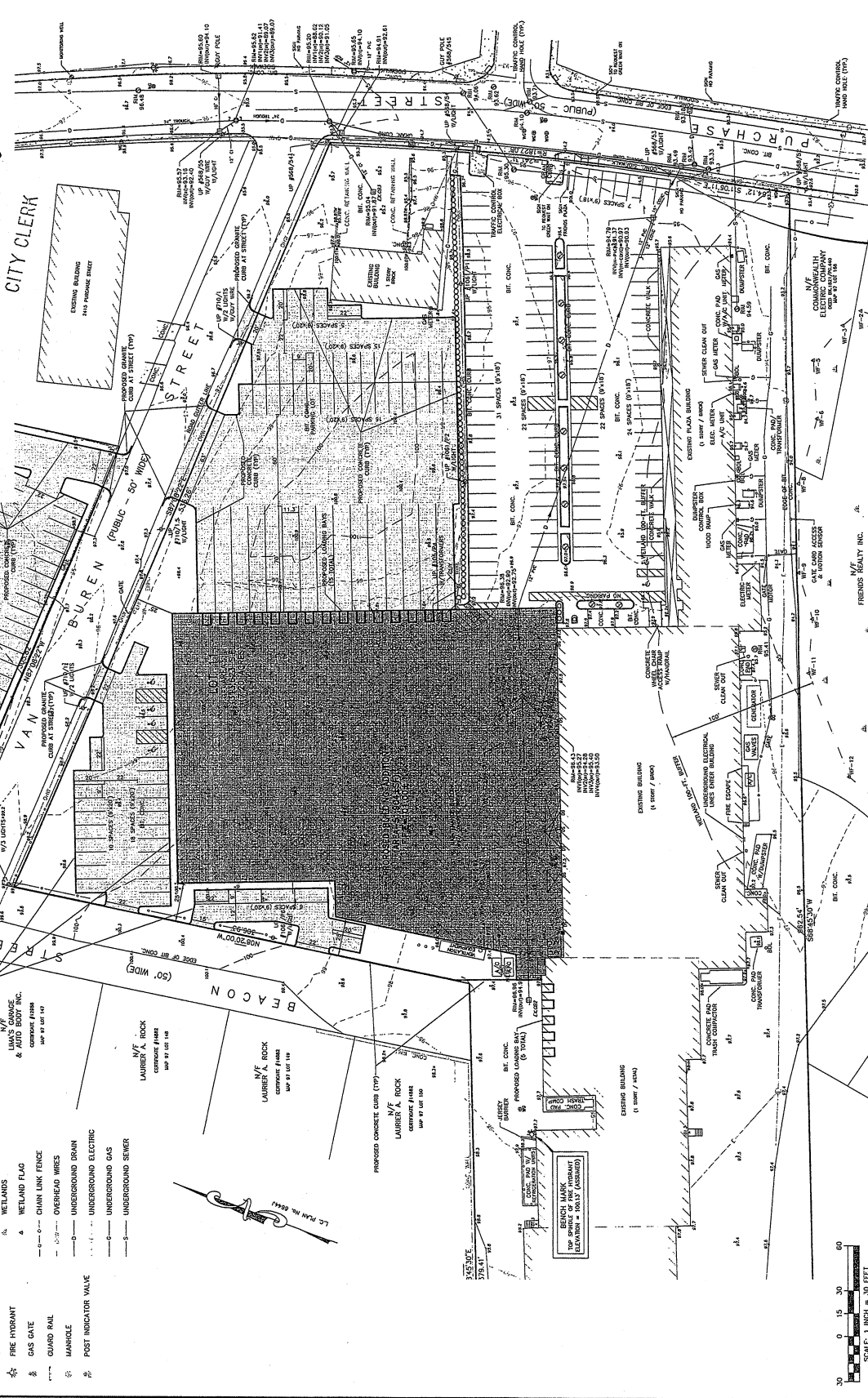
DATE: AUGUST 5, 2011

PROJECT NO.: 14101

PREPARED FOR: SID WAINER & SON, INC.

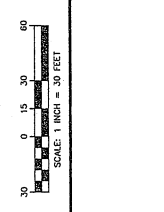
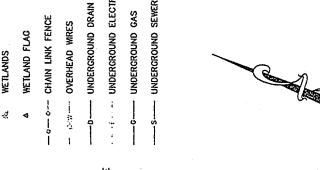
2301 PURCHASE STREET
NEW BEDFORD, MASSACHUSETTS

ZONING REQUIREMENTS	
2301 PURCHASE STREET	INDUSTRIAL MEDIUM DENSITY (IM-2)
REQUIRED LOT AREA	10,000 SQ. FT.
REQUIRED FRONTAGE	100 FEET
REQUIRED BUILDING HEIGHT	35 FEET
REQUIRED FRONT YARD SETBACK	25 FEET
REQUIRED SIDE YARD SETBACK	5 FEET
REQUIRED REAR YARD SETBACK	5 FEET
REQUIRED LOT COVERAGE/BUILDINGS	20%
REQUIRED GREEN SPACE	2%
2343 PURCHASE STREET	INDUSTRIAL MEDIUM DENSITY (IM-2)
REQUIRED LOT AREA	10,000 SQ. FT.
REQUIRED FRONTAGE	100 FEET
REQUIRED BUILDING HEIGHT	35 FEET
REQUIRED FRONT YARD SETBACK	25 FEET
REQUIRED SIDE YARD SETBACK	5 FEET
REQUIRED REAR YARD SETBACK	5 FEET
REQUIRED LOT COVERAGE/BUILDINGS	20%
REQUIRED GREEN SPACE	2%



LEGEND

- ISLAND
- BUILDING OVERHANG
- BUSH/SHRUB
- DRG CATCH BASIN
- DOWN SPOUT (ROOF DRAIN)
- ELECTRIC MANHOLE
- FIRE HYDRANT
- GAS GATE
- GUARD RAIL
- MANHOLE
- POST INDICATOR VALVE
- SEWER MANHOLE
- SPOT ELEVATION
- TRAFFIC SIGNAL
- TREE (2" DIA.)
- UTILITY POLE
- WATER GATE
- WATER MANHOLE
- WETLANDS
- WETLAND FLAG
- CHAIN LINK FENCE
- OVERHEAD WIRES
- UNDERGROUND DRAIN
- UNDERGROUND ELECTRIC
- UNDERGROUND GAS
- UNDERGROUND SEWER





NO.	DATE	DESCRIPTION	APPROVED

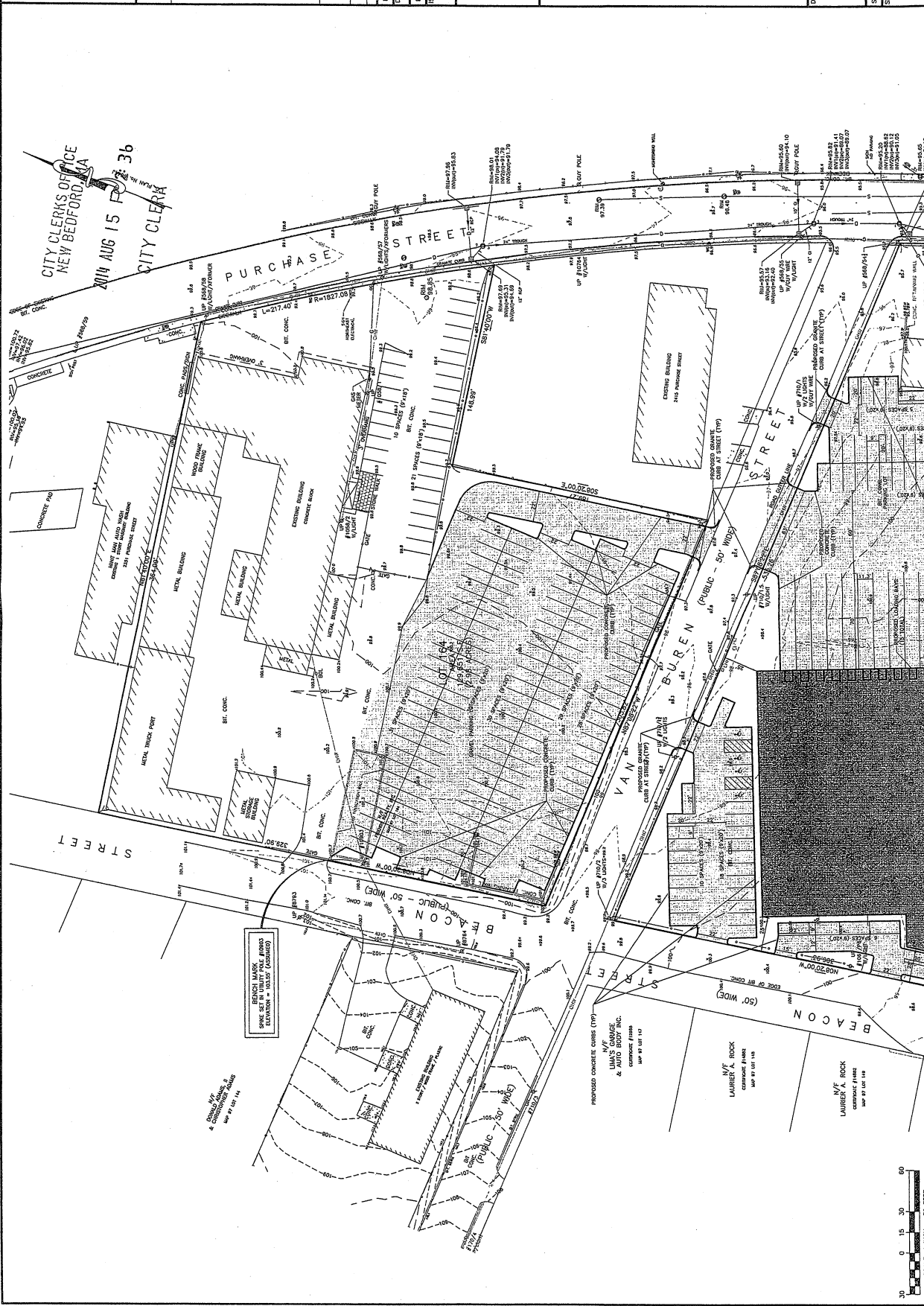
DATE: AUGUST 9, 2014
 DRAWN BY: J. B. GIBSON
 CHECKED BY: J. B. GIBSON
 PROJECT NO.: 14101
 ISSUED FOR:



BUILDING EXPANSION SITE PLAN
 PREPARED FOR:
 SID WAINER & SON, INC.
 NEW BEDFORD, MASSACHUSETTS
 2301 PURCHASE STREET

DRAWING TITLE:
SITE LAYOUT PLAN

SCALE: 1" = 30'
 SHEET NO.:
7 OF 14



CITY CLERK'S OFFICE
 NEW BEDFORD, MA
 AUG 15 4 36
 CITY CLERK



SITE DESIGN ENGINEERING, LLC.
 11 CUSHMAN STREET
 NEW BEDFORD, MA 01909
 TEL: 508-547-8070 FAX: 508-547-8071
 WWW.SITEDESIGNENG.COM

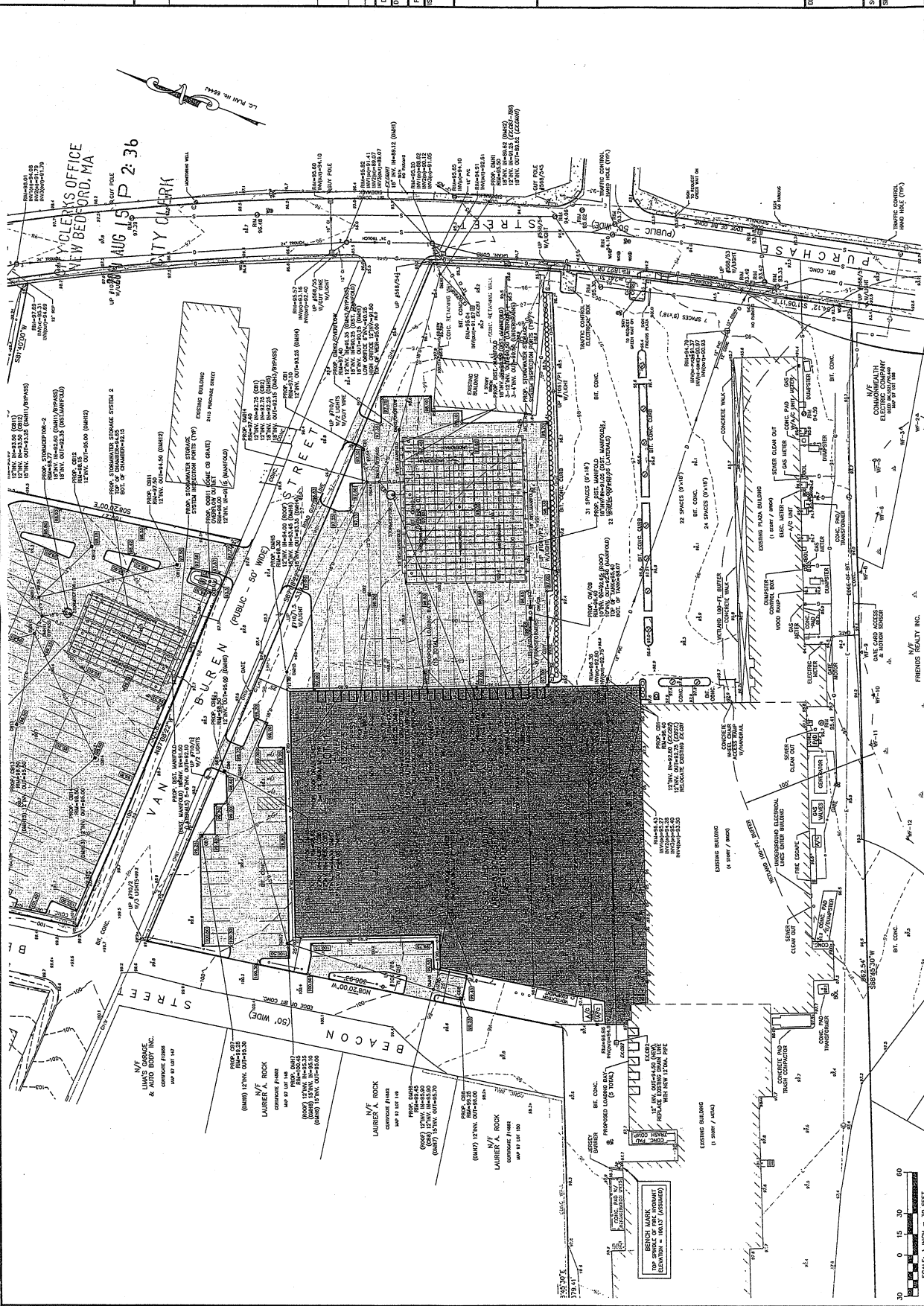
NO.	DATE	DESCRIPTION	APPROVED

DATE: AUGUST 6, 2014
 DRAWN BY: TRESSIE BRYCESON
 CHECKED BY: TRESSIE BRYCESON
 PROJECT NO.: 14101
 ISSUED FOR: REVIEW



BUILDING EXPANSION SITE PLAN
 2301 PURCHASE STREET
 NEW BEDFORD, MASSACHUSETTS
 PREPARED FOR: SID WAINER & SON, INC.

DRAWING TITLE: GRADING & DRAINAGE PLAN
 SCALE: 1" = 30'
 SHEET NO.: 8 OF 14



NO.	DATE	DESCRIPTION	APPROVED

YICKLEMS OFFICE
 NEW BEDFORD, MA
 AUG 15 2:36
 CITY CLERK
 FRENCH BEAUTY INC.

SITE DESIGN ENGINEERING, L.L.C.
 11 CUSHMAN STREET
 WILLOW HILL, MA 01896
 TEL: 978-462-2600
 WWW.SITEDESIGNING.COM

NO.	DATE	DESCRIPTION	APPROVED

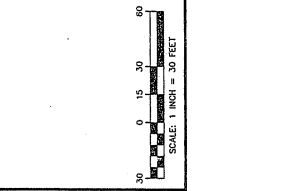
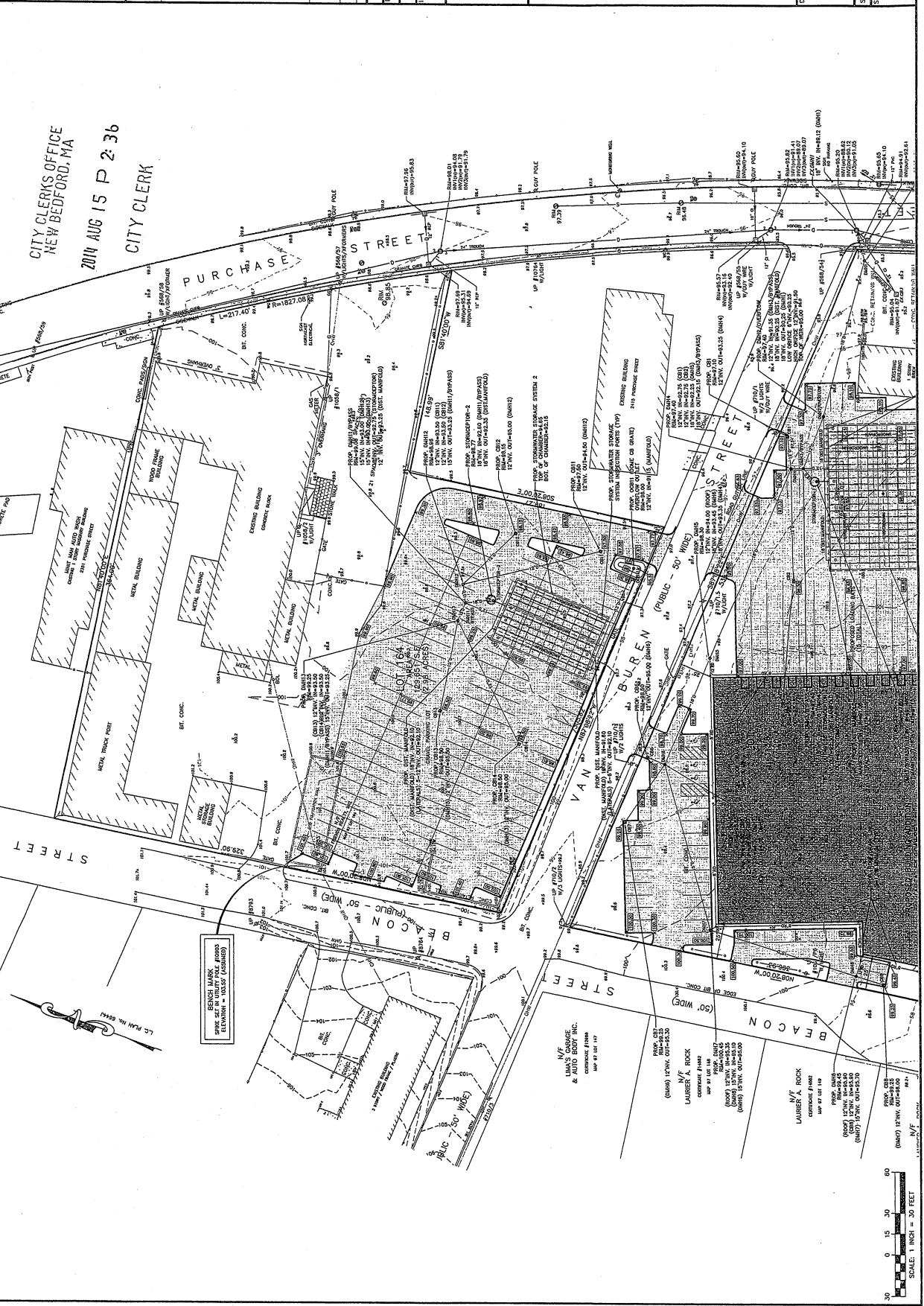
PLAN REVISIONS

DATE: AUGUST 6, 2014
 DRAWN BY: T. DESSON
 CHECKED BY: M. O'NEILL
 PROJECT NO.: 14101
 ISSUED FOR: REVIEW



BUILDING EXPANSION SITE PLAN
 2201 PURCHASE STREET
 NEW BEDFORD, MASSACHUSETTS
 PREPARED FOR: SID WAINER & SON, INC.

DRAWING TITLE: GRADING & DRAINAGE PLAN
 SCALE: 1" = 30'
 SHEET NO. **9** OF **14**





SITE DESIGN ENGINEERING, LLC.
 11 CUSHMAN STREET
 NEW BEDFORD, MASSACHUSETTS 01905
 TEL: 508-873-8870 FAX: 508-873-8874
 WWW.SITEDESIGNENGINEERING.COM

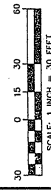
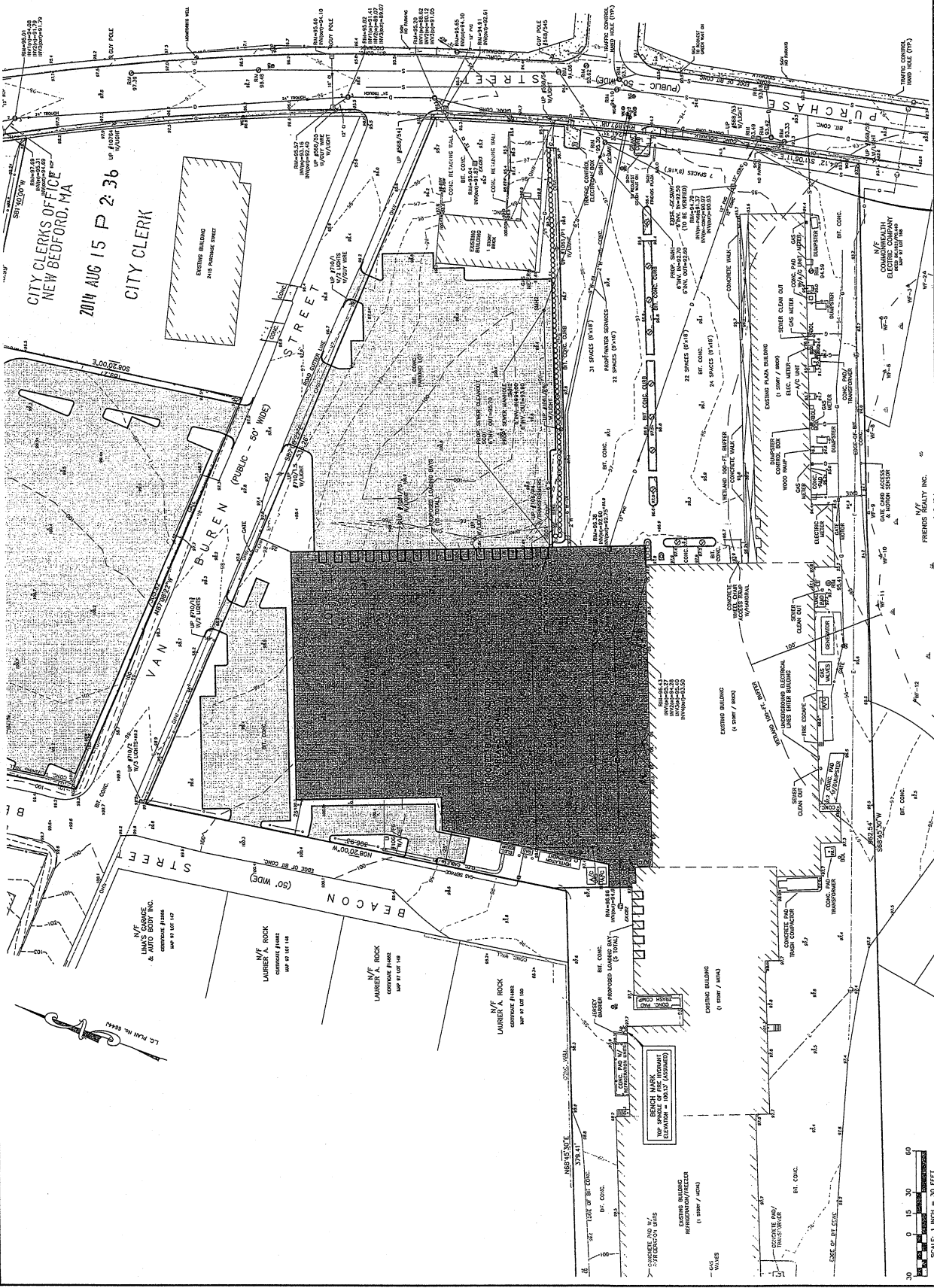
NO.	DATE	DESCRIPTION	APPROVED

DATE: AUGUST 8, 2014
 DRAWN BY: DESIGN, BRYAN CHECK BY: BLM/AT
 PROJECT NO.: 14101
 ISSUED FOR: REVIEW



BUILDING EXPANSION SITE PLAN
 2301 PURCHASE STREET
 NEW BEDFORD, MASSACHUSETTS
 PREPARED FOR: SID WAINER & SON, INC.

DRAWING TITLE: UTILITY PLAN
 SCALE: 1" = 30'
 SHEET NO.: 10 OF 14

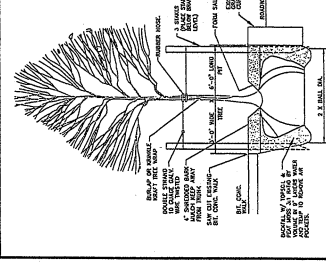
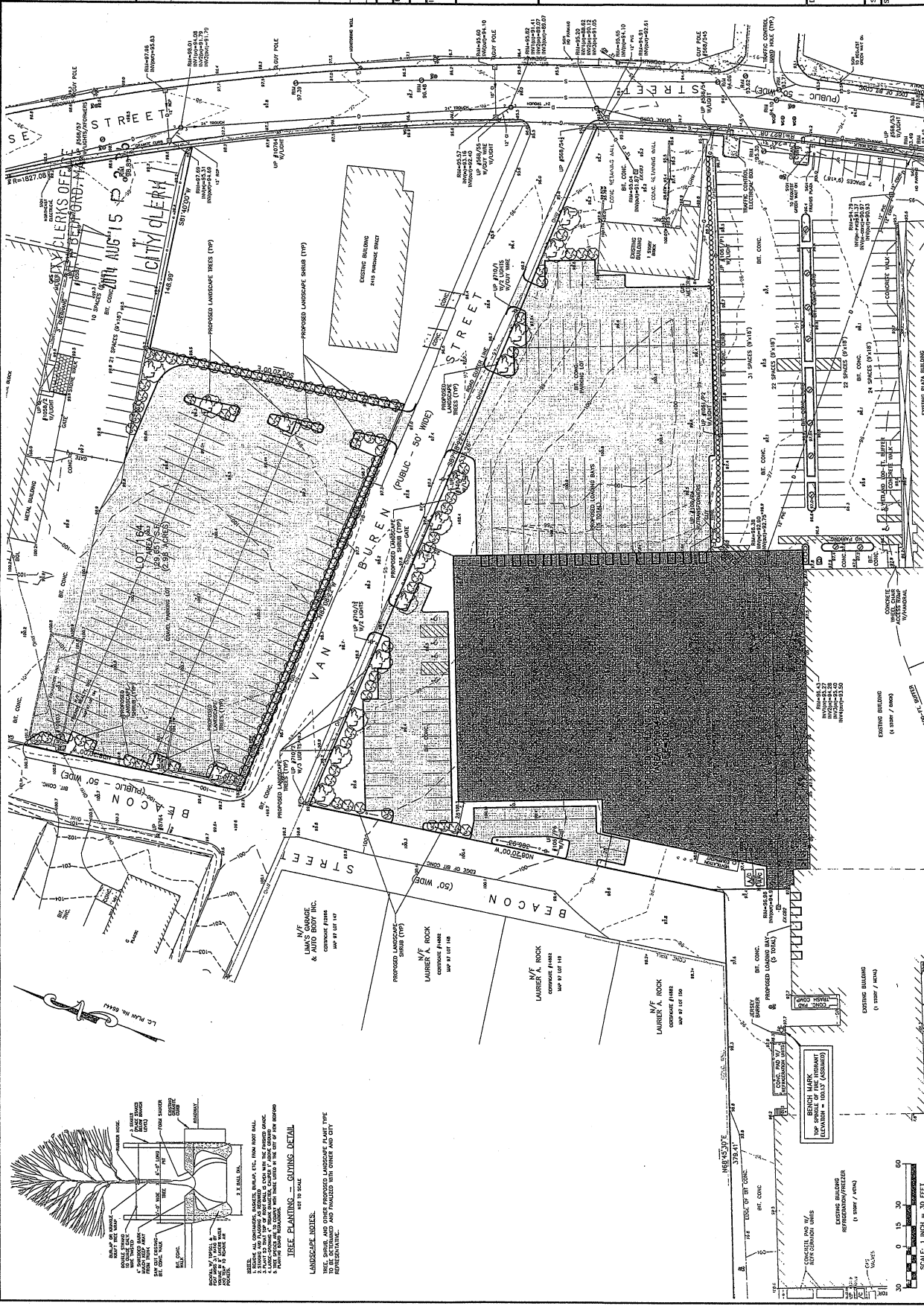


NO.	DATE	DESCRIPTION	APPROVED

DATE: AUGUST 18, 2014	DESIGNER: J. ROY
DRAWN: J. ROY	CHECKED: J. ROY
PROJECT NO.: 14101	ISSUED FOR: REVIEW

BUILDING EXPANSION SITE PLAN
 PREPARED FOR:
 SID WAINER & SON, INC.
 NEW BEDFORD, MASSACHUSETTS

DRAWING TITLE:
LANDSCAPE PLAN
 SCALE: 1" = 30'
 SHEET NO.:
11 OF 14



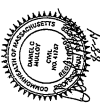
LANDSCAPE NOTES:
 1. THE OWNER AND S/D HAS PROVIDED LANDSCAPE PLANT TYPE TO BE DETERMINED AND FURNISHED BY THE OWNER AND CITY REPRESENTATIVE.



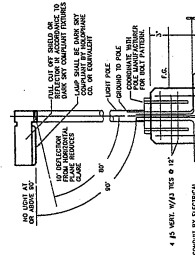
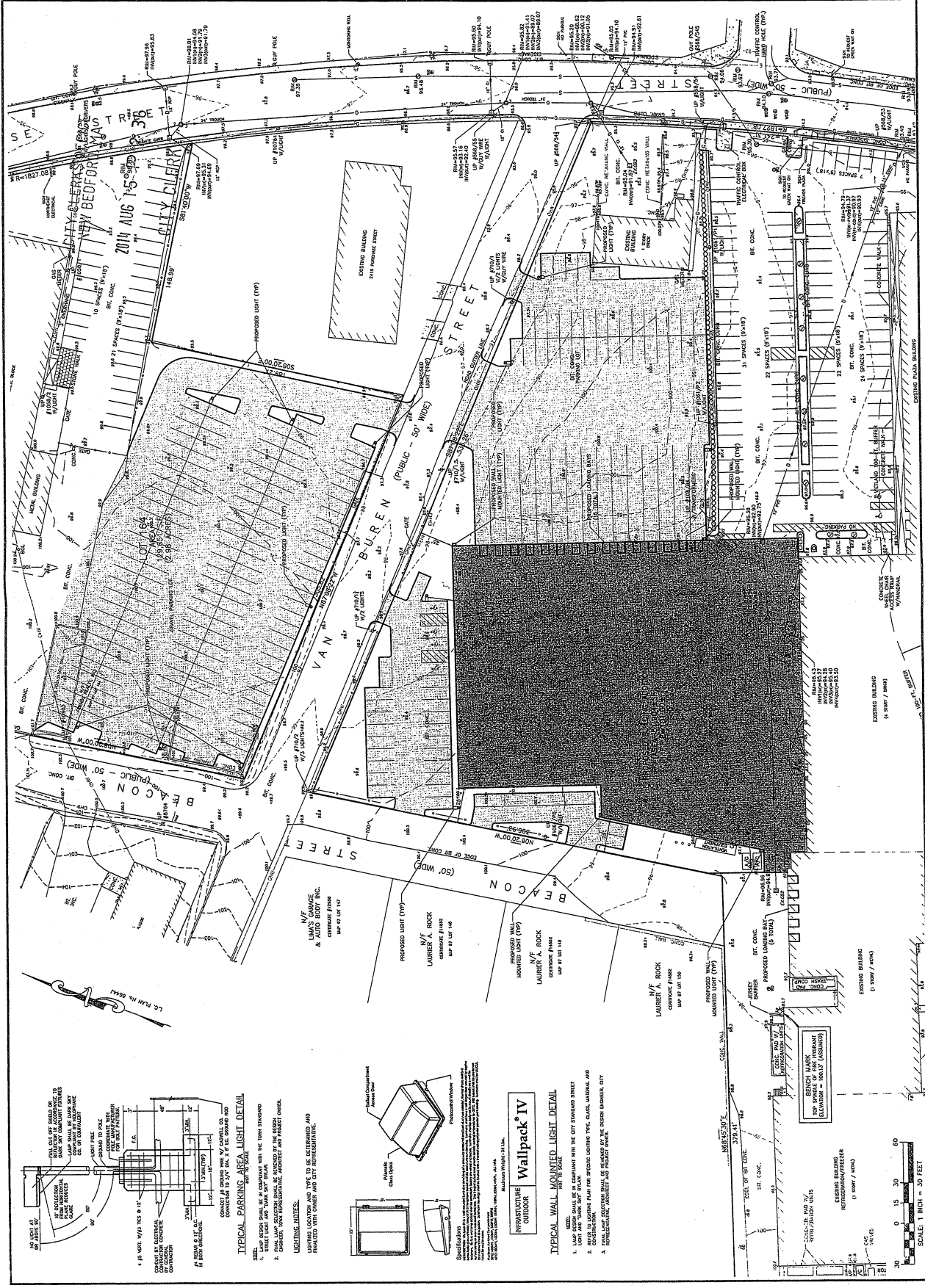
SITE DESIGN, LLC
ENGINEERING, LLC
11 GOSHAM STREET
TOWNSEND, MA 01469
TEL: 781.286.8817
WWW.SITEDSIGN.COM

NO.	DATE	DESCRIPTION	APPROVED

BUILDING EXPANSION SITE PLAN
PREPARED FOR
SID WAINER & SON, INC.
NEW BEDFORD, MASSACHUSETTS
2301 PURCHASE STREET



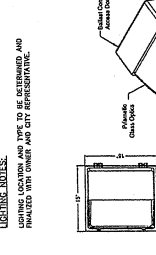
DRAWING TITLE
LIGHTING PLAN
SCALE: 1" = 50'
SHEET NO.
12 OF 14



NOTES:

1. LIGHT FIXTURE SHALL BE IN COMPLIANCE WITH THE 2012 STANDARD CODE.
2. STREET LIGHT AND "WALK WAY" SIGNAGE SHALL BE IN COMPLIANCE WITH THE 2012 STANDARD CODE.
3. ALL LIGHT FIXTURES SHALL BE SEISMICALLY RESISTANT.
4. ALL LIGHT FIXTURES SHALL BE COMPACTION WITH THE 2012 STANDARD CODE.

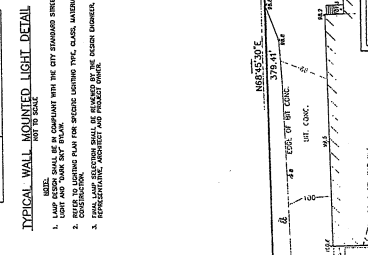
REVISIONS:



NOTES:

1. LIGHT FIXTURE SHALL BE IN COMPLIANCE WITH THE 2012 STANDARD CODE.
2. REFER TO LIGHTING PLAN FOR SPECIFIC LIGHTING TYPE, CLASS, MATERIAL, AND COLOR.
3. ALL LIGHT FIXTURES SHALL BE SEISMICALLY RESISTANT.
4. ALL LIGHT FIXTURES SHALL BE COMPACTION WITH THE 2012 STANDARD CODE.

REVISIONS:



NOTES:

1. LIGHT FIXTURE SHALL BE IN COMPLIANCE WITH THE 2012 STANDARD CODE.
2. REFER TO LIGHTING PLAN FOR SPECIFIC LIGHTING TYPE, CLASS, MATERIAL, AND COLOR.
3. ALL LIGHT FIXTURES SHALL BE SEISMICALLY RESISTANT.
4. ALL LIGHT FIXTURES SHALL BE COMPACTION WITH THE 2012 STANDARD CODE.

REVISIONS:



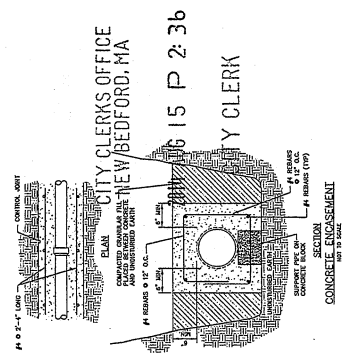
NO.	DATE	DESCRIPTION	APPROVED

DATE: AUGUST 8, 2014	DESIGNED BY: BRYAN B. CHURCH, P.E.
PROJECT NO.: 14101	ISSUED FOR: REVIEW

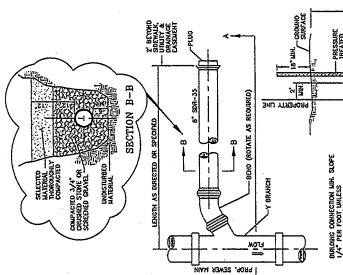


BUILDING EXPANSION SITE PLAN
 2301 PURCHASE STREET
 NEW BEDFORD, MASSACHUSETTS
 PREPARED FOR:
 SID WAINER & SON, INC.

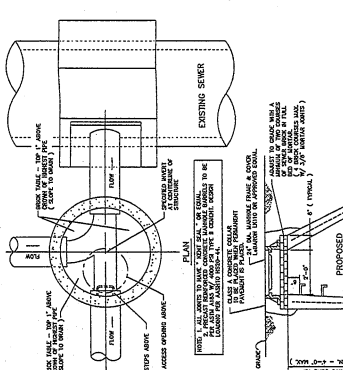
DRAWING TITLE:
CONSTRUCTION DETAILS
 SCALE: NOT TO SCALE
 SHEET NO:
14 OF 14



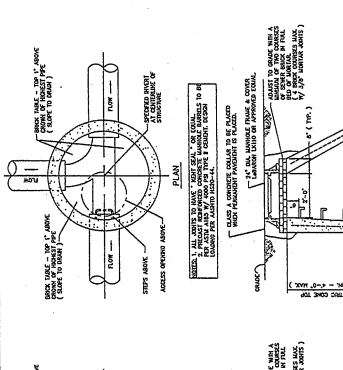
NOTES:
 1. CONCRETE SHALL BE CAST IN PLACE.
 2. CONCRETE SHALL BE CAST IN PLACE WITH CURB ON TOP.
 3. TOP OF SURFACE OF CONCRETE IS 2'-0" OF CURB.



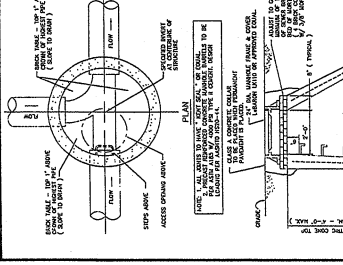
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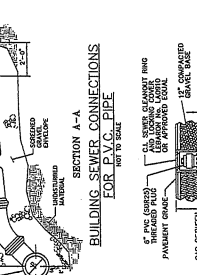
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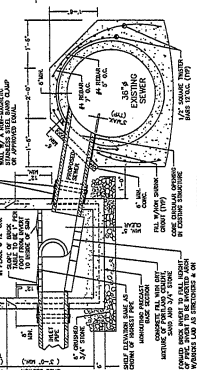
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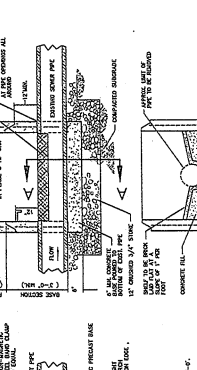
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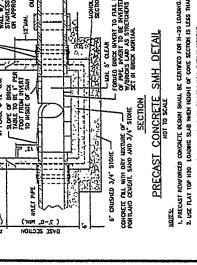
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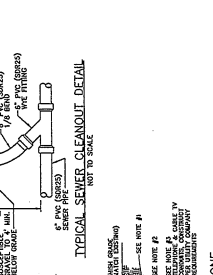
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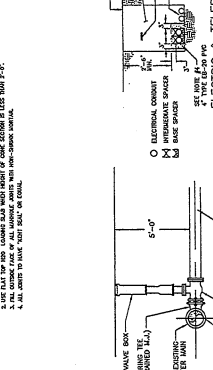
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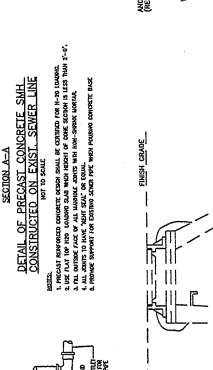
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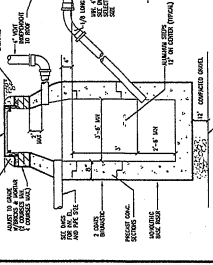
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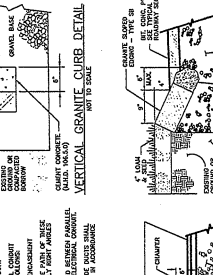
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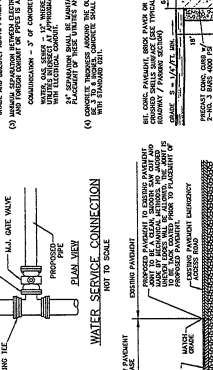
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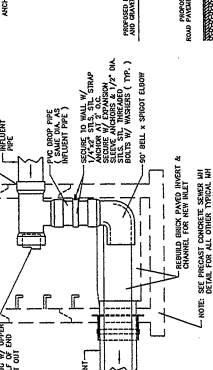
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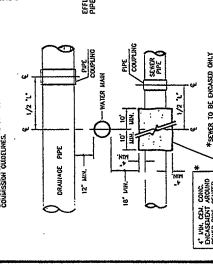
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