

# Proposed Commercial/ Residential Facilities

## 115, 117, 121, 127-129 Union Street, 7 North Second Street

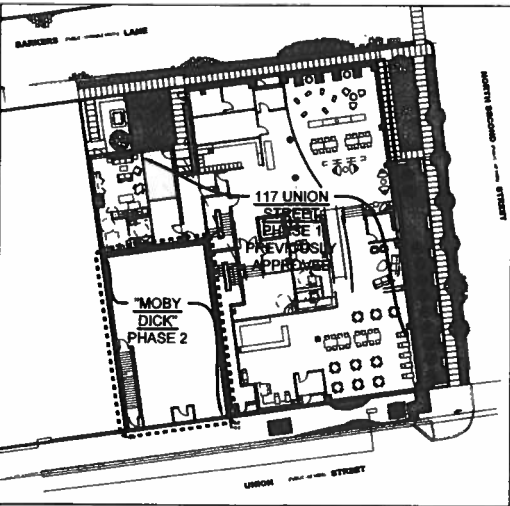
### New Bedford, MA 02740

#### INCLUDED IN THIS 24" x 36" PLAN SET

NO.	DRAWING NAME
C-1	EXISTING CONDITIONS
C-2	DEMOLITION PLAN
C-3	HANDICAP ACCESSIBILITY PLAN
C-4	SITE LAYOUT & UTILITIES PLAN
C-5	SITE DETAILS
C-6	SITE DETAILS
ARCHITECTURE (3-STORY, STANTEC)	
A-101	FLOOR PLAN - LEVEL 1
A-102	FLOOR PLAN - LEVEL 2
A-103	FLOOR PLAN - LEVEL 3
A-104	FLOOR PLAN - LEVEL 4
A-105	FLOOR PLAN - LEVEL 5
A-106	ROOF PLAN
A-201	ELEVATIONS - NORTH & SOUTH
A-202	ELEVATIONS - EAST & WEST
A-211	BUILDING SECTIONS

#### BOUND SEPARATELY 11" x 17" PLAN SET

NO.	DRAWING NAME
A-1.1	EXISTING CONDITIONS BASEMENT PLAN
A-1.2	EXISTING CONDITIONS FIRST FLOOR PLAN
A-1.3	EXISTING CONDITIONS SECOND FLOOR PLAN
A-1.4	EXISTING CONDITIONS THIRD FLOOR PLAN
A-1.5	EXISTING CONDITIONS ELEVATIONS
A-2.1	DEMOLITION BASEMENT PLAN
A-2.2	DEMOLITION FIRST FLOOR PLAN
A-2.3	DEMOLITION SECOND FLOOR PLAN
A-2.4	DEMOLITION THIRD FLOOR PLAN
A-3.1	PROPOSED BASEMENT PLAN
A-3.2	PROPOSED FIRST FLOOR PLAN
A-3.3	PROPOSED SECOND FLOOR PLAN
A-3.4	PROPOSED THIRD FLOOR PLAN
A-3.5	PROPOSED ROOF PLAN
A-3.6	PROPOSED SOUTH ELEVATION
A-3.7	PROPOSED NORTH ELEVATION
A-4.1	PROPOSED WINDOW TYPE A
A-4.2	PROPOSED WINDOW TYPE B
A-4.3	PROPOSED STOREFRONT
A-4.4	PROPOSED DETAIL WINDOW TYPE C
A-4.5	PROPOSED SCHEDULES
A-5.1	SIGHT LINE STUDY



ZONING TABLE - All values listed Lot 2/Lot 1  
• Mixed Use Business  
• Downtown Business Overlay District  
• New Bedford Landing Waterfront Historic District  
Assessor's Map 53  
Lots 40, 41, 146, 215, 216

	Existing	Allowed/Required	Proposed
Lot Area (sq ft)	12,479	15,000	*
Lot Width (ft)	117.01	0	**
Number of Dwelling Units	0	No Std.	50
Total Gross Floor Area (sq ft)	14,005	N/A	47,574
Residential Gross Floor Area (sq ft)	0	N/A	37,116
Non-Residential Gross Floor Area (sq ft)	14,005	N/A	10,458
Building Height (ft)	43	100	80
Front Setback (ft)	0	0	0
Side Setback (ft)	N/A	10	N/A
Side Setback (ft)	N/A	12	N/A
Rear Setback (ft)	0	30	0
Lot Coverage by Buildings (% of Lot Area)	81.5	40	91.8
Permeable Open Space (% of Lot Area)	0	0	1.8
Green Space (% of Lot Area)	0	35	1.8
Off-Street Parking Spaces	0	135	1
Long-Term Bicycle Parking Spaces	0	0	21
Short-Term Bicycle Parking Spaces	0	0	6
Loading Bays	0	0	0

\* 2,306 SF for three story Moby Dick building  
10,173 SF for five story 117 Union Street building  
\*\* 57.00 LF for three story Moby Dick building  
117.01 LF for five story 117 Union Street building

NOTE: PORTIONS OF THE BUILDING LABELED "BY OTHERS" OR "NOT IN SCOPE" OR OTHER SIMILAR DESIGNATIONS DOES NOT INDICATE THAT THOSE ELEMENTS ARE NOT PART OF THE FACILITY BEING APPROVED, BUT RATHER REFER TO PORTIONS THAT ARE NOT PART OF A SPECIFIC CONTRACTORS SCOPE OF WORK.

NOTE:  
THIS SUBMISSION IS FOR THE  
APPROVAL OF THE  
RENOVATIONS OF THE EXISTING  
THREE STORY MOBY DICK  
BUILDING (PHASE 2)

THE PROPOSED BUILDINGS TO  
THE EAST AND NORTH (PHASE  
1) HAVE BE PREVIOUSLY  
APPROVED BY THE HISTORIC  
COMMISSION, PLANNING BOARD  
AND ZONING BOARD OF  
APPEALS.

#### PROJECT TEAM

##### DEVELOPER:

117 Union Street, LLC  
128 Union Street, Fourth Floor  
New Bedford, MA 02740  
Contact:

Michael Galasso  
tel: (619) 316-5895  
email: michael@nbdcorp.org

##### ARCHITECT:

STANTEC  
Stantec Architecture and Engineering P.C.  
311 Summer Street  
Boston, MA 02210-1723  
Contact:

Louis Kraft  
tel: (617) 234-3149  
email: louis.kraft@stantec.com

##### ARCHITECT:

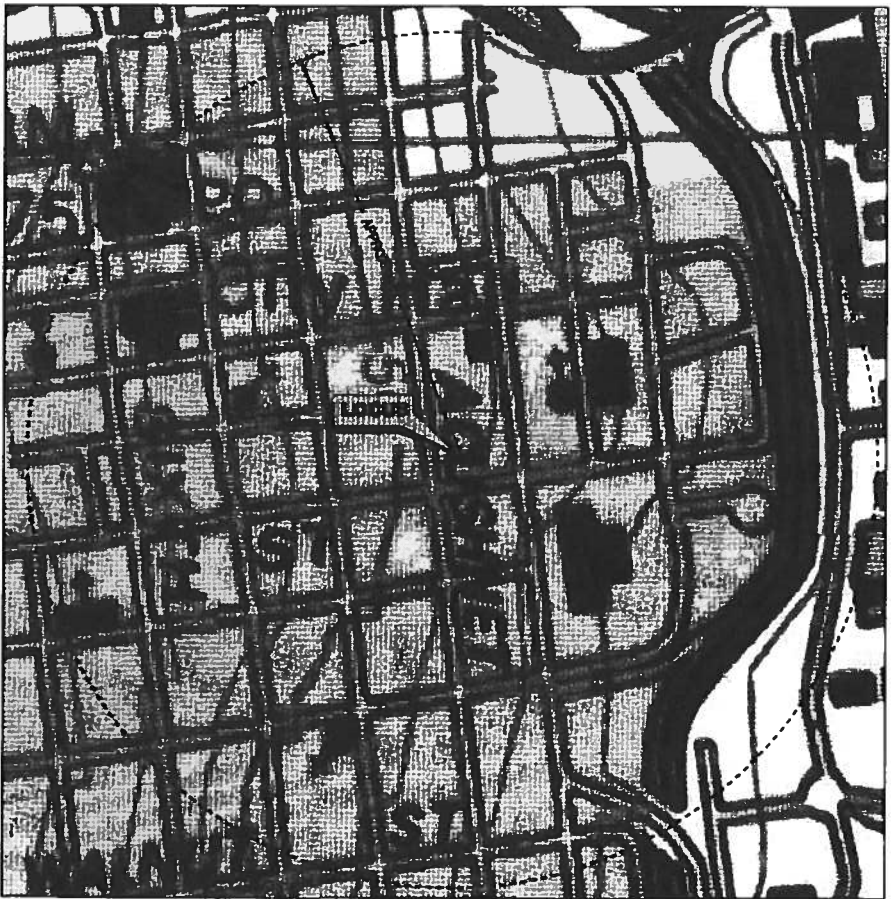
Christopher T. Wise  
103 Summit Avenue  
Providence, R.I. 02906  
Contact:

Kit Wise  
tel: (508) 965-0259  
email: kit@kitwisearchitect.com

##### ENGINEER:

PRIME ENGINEERING  
P.O. BOX 1088  
Lakeville, MA 02347  
Contact:

Richard Rheume, P.E.  
tel: (508) 947-0050  
email: rich@primeengineering.org



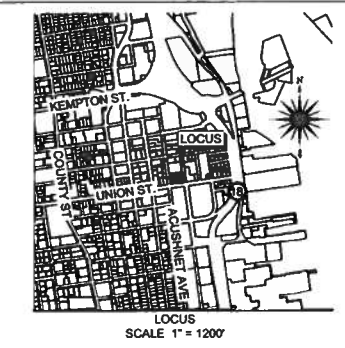
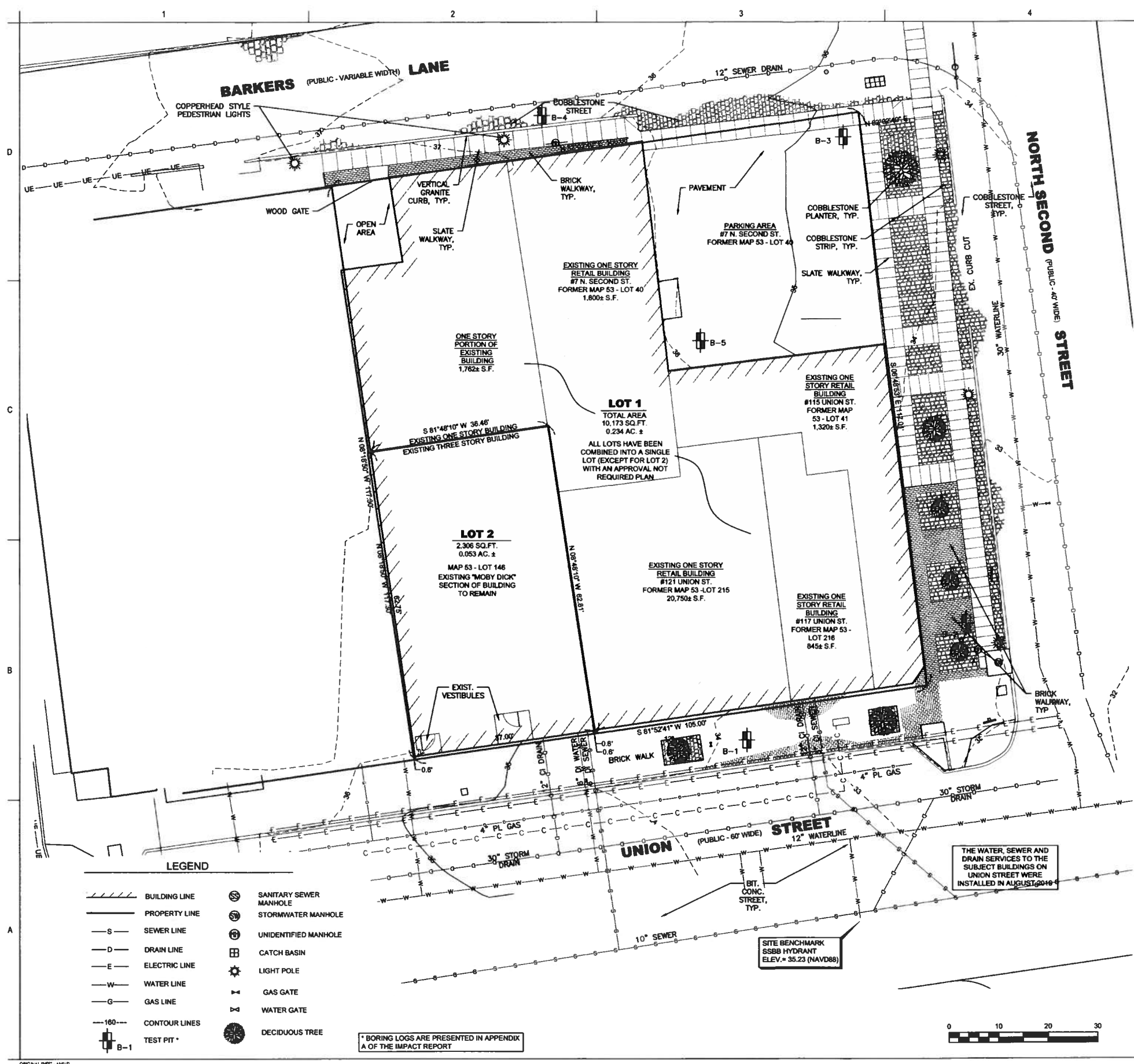
Site Locis is 115, 117, 121, 127-129 Union Street, 7 North Second Street  
Assessor's Map 53, Lots 40, 41, 215, 216 & 146  
Registry of Deeds Book 12830 Page 27  
Owners: 117 Union Street LLC  
128 Union Street Suite 400  
New Bedford, MA 02740

#### SITE LOCUS

APPROX. SCALE: 1"=200'

ISSUED: SEPTEMBER 25, 2019  
REVISED: NOVEMBER 4, 2019





**SITE ADDRESSES**  
7 NORTH SECOND STREET  
115 UNION STREET  
121 UNION STREET  
117 UNION STREET  
127 - 129 UNION STREET

**ASSESSORS REFERENCES**  
MAP 53 - LOT 40  
MAP 53 - LOT 41  
MAP 53 - LOT 215  
MAP 53 - LOT 216  
MAP 53 - LOT 146

**CURRENT OWNERS**  
117 UNION STREET LLC  
128 UNION STREET SUITE 400  
NEW BEDFORD, MA 02740

**DEED REFERENCE**  
BOOK 12830 PAGE 27

**HORIZONTAL DATUM SHOWN**  
NA83 - MA MAINLAND

**VERTICAL DATUM SHOWN**  
NAVD88

**CITY OF NEW BEDFORD ZONING DISTRICT**  
MUB - MIXED USE BUSINESS  
BEDFORD LANDING - WATERFRONT HISTORIC DISTRICT  
DOWNTOWN BUSINESS OVERLAY DISTRICT

**FEMA FLOODZONE DESIGNATION**  
ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. AS SCALED FROM FIRM PANEL 25005-C-0393G. EFFECTIVE DATE 7/18/2014

**NOTE**  
1. THE SUBSURFACE UTILITIES SHOWN ARE APPROXIMATE ONLY AND ARE BASED ON CITY OF NEW BEDFORD RECORDS, DIGSAFE MARKINGS AND OBSERVATIONS MADE FROM THE GROUND SURFACE. PRIME ENGINEERING INC. MAKES NO CERTIFICATION AS TO THE EXISTENCE OR NON-EXISTENCE OF ANY CONDITIONS BELOW THE GROUND SURFACE. THE INFORMATION SHOWN HEREON IS APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE SITE CONTRACTOR TO CONTACT DIGSAFE (811) PRIOR TO PERFORMING ANY SUBSURFACE OR ON-SITE WORK.  
2. THE INTERIOR BUILDING LINES AS SHOWN ARE BASED ON EXTERIOR MEASUREMENTS AND PLANS OF RECORD. NO INTERIOR BUILDING WALLS WERE MEASURED BY PRIME ENGINEERING INC.  
3. BASED ON AN ON THE GROUND SURVEY BY PRIME ENGINEERING INC. IN DEC 2018 AND JAN 2019.

- GENERAL NOTES:**
- UNLESS OTHERWISE NOTED ALL CONSTRUCTION ABOVE 3HR HORIZONTAL PODIUM SHALL BE TYPE SA COMBUSTIBLE (WOOD FRAMED) CONSTRUCTION.
  - CONSTRUCTION BELOW 3HR HORIZONTAL PODIUM SHALL BE TYPE 1A NON-COMBUSTIBLE CONSTRUCTION.
  - ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER AND CITY PLANNER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AND CITY PLANNER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
  - ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
  - ALL HANDICAP PARKING, RAMP, AND ACCESS SHALL CONFORM TO AAB & MAAB REQUIREMENTS.
  - ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO THE CITY OF NEW BEDFORD CONSERVATION COMMISSION REQUIREMENTS AS STATED IN THE ORDER OF CONDITIONS. (REFER TO EROSION CONTROL PLAN)
  - ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS.
  - DRIVEWAY PERMITS ARE SUBJECT TO TRAFFIC COMMISSION APPROVAL.
  - PERMITS FOR SIDEWALK, DRIVEWAYS, WATER, SEWER AND STORM DRAIN MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC INFRASTRUCTURE ENGINEERING DIVISION.

**LEGEND**

	BUILDING LINE		SANITARY SEWER MANHOLE
	PROPERTY LINE		STORMWATER MANHOLE
	SEWER LINE		UNIDENTIFIED MANHOLE
	DRAIN LINE		CATCH BASIN
	ELECTRIC LINE		LIGHT POLE
	WATER LINE		GAS GATE
	GAS LINE		WATER GATE
	CONTOUR LINES		DECIDUOUS TREE
	TEST PIT		

\* BORING LOGS ARE PRESENTED IN APPENDIX A OF THE IMPACT REPORT



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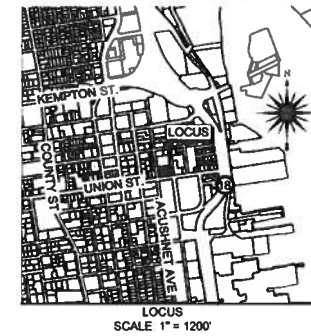
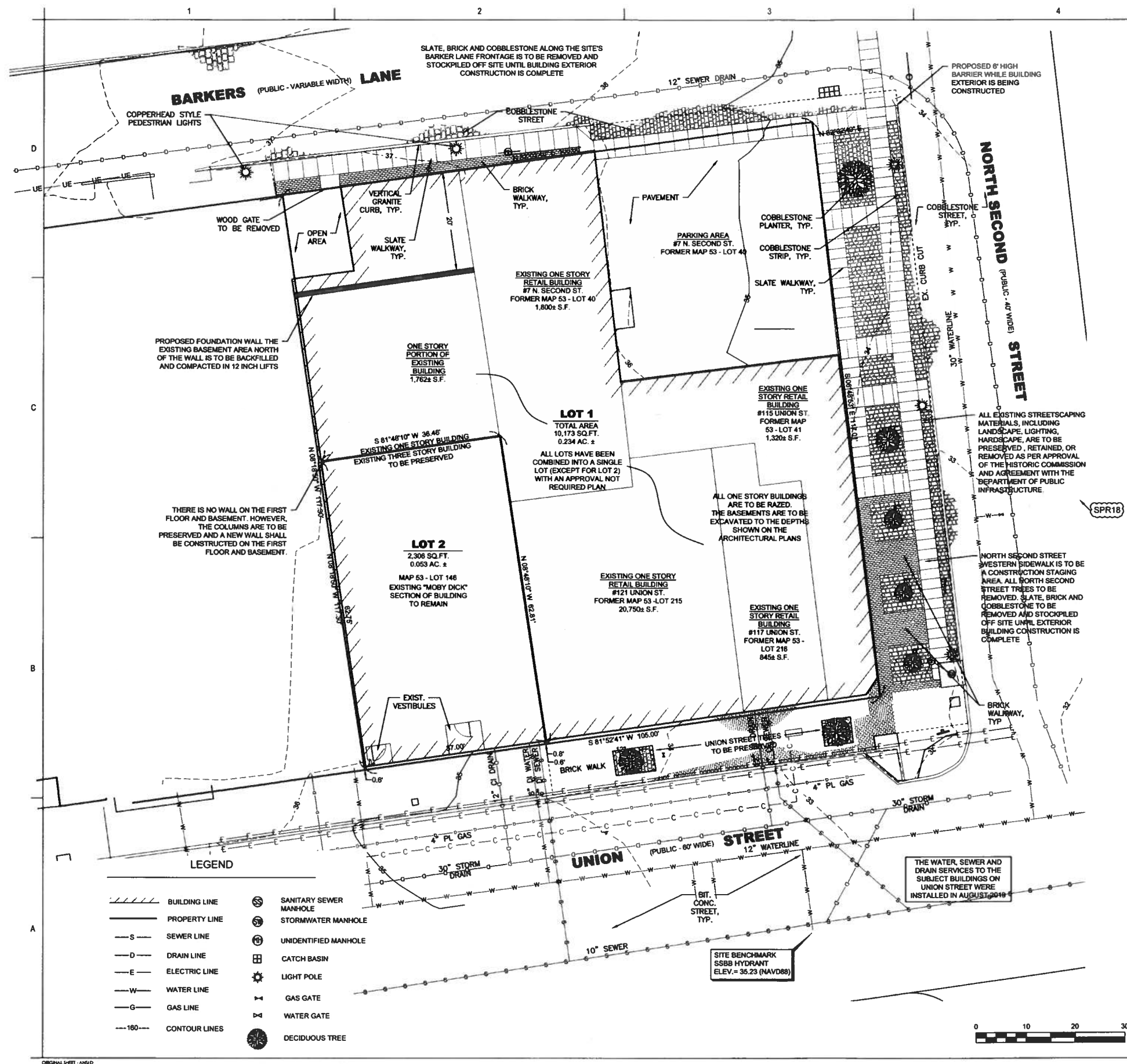
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**PRIME ENGINEERING**  
The Contractor and user will be responsible for all dimensions. CD-027 scale the drawings, and work in accordance with the information to be provided. Other drawings, drawings, and work in accordance with the information to be provided. Other drawings, drawings, and work in accordance with the information to be provided. Other drawings, drawings, and work in accordance with the information to be provided.

DATE	BY	APP'D	ISSUED/REVISION
2018.11.14	JAG		PRELIMINARY
2018.11.14	JAG		REVISED
2018.11.14	JAG		REVISED
2018.11.14	JAG		REVISED
2018.11.14	JAG		REVISED
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2018.11.14	JAG		REVISED
2018.11.14	JAG		REVISED

Permit/Seal

Project:  
Proposed Commercial/Residential Facility  
115, 117, 121, 127-129 Union Street  
& 7 North Second Street  
New Bedford, MA 02740  
Project No.: 218421128  
File Name: N/A  
Scale: 1"=10'  
JAG RJR 2019.09.25  
Des. Drawn Chkd YYYY.MM.DD  
Title  
EXISTING CONDITIONS



#### GENERAL NOTES:

- UNLESS OTHERWISE NOTED ALL CONSTRUCTION ABOVE 3HR HORIZONTAL PODIUM SHALL BE TYPE 5A COMBUSTIBLE (WOOD FRAMED) CONSTRUCTION.
- CONSTRUCTION BELOW 3HR HORIZONTAL PODIUM SHALL BE TYPE 1A NON-COMBUSTIBLE CONSTRUCTION.
- ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER AND CITY PLANNER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AND CITY PLANNER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
- ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
- ALL HANDICAP PARKING, RAMPS, AND ACCESS SHALL CONFORM TO AAB & MAAS REQUIREMENTS.
- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO THE CITY OF NEW BEDFORD CONSERVATION COMMISSION REQUIREMENTS AS STATED IN THE ORDER OF CONDITIONS. (REFER TO EROSION CONTROL PLAN)
- ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS.
- DRIVEWAY PERMITS ARE SUBJECT TO TRAFFIC COMMISSION APPROVAL.
- PERMITS FOR SIDEWALK, DRIVEWAYS, WATER, SEWER AND STORM DRAIN MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC INFRASTRUCTURE ENGINEERING DIVISION.

#### DEMOLITION NOTES:

- DEMOLITION REVIEW IS REQUIRED PER CITY ORDINANCE CH. 2 SECTIONS 2-157 THROUGH 2-157.9
- ALL BUILDINGS ARE TO BE DEMOLISHED EXCEPT FOR 127-129 UNION STREET (MAP 53 LOT 148). THE THREE-STORY SOUTHERN MOST PORTION OF THE BUILDING FRONTING ON UNION STREET THIS BUILDING IS NOT TO BE DEMOLISHED AND IS TO BE PROTECTED IN PLACE. AS IT IS A HISTORICALLY SIGNIFICANT BUILDING
- PRIOR TO DEMOLITION, AN ASBESTOS AND LEAD ASSESSMENT SHALL BE COMPLETED. ALL ASBESTOS SHALL SUBSEQUENTLY ABATED BY A LICENSED CONTRACTOR AND CERTIFICATION THAT THE ASBESTOS HAS BEEN REMOVED SHALL BE SUBMITTED TO THE NEW BEDFORD BUILDING DEPARTMENT. ANY REQUIRED LEAD ABATEMENT SHALL ALSO BE CONDUCTED BY A LICENSED CONTRACTOR WITH NOTIFICATION OF COMPLETION SUBMITTED TO THE NEW BEDFORD BUILDING DEPARTMENT.
- A LICENSED VERMIN EXTERMINATOR SHALL COMPLETE A PRE-DEMOLITION VERMIN CONTROL PROGRAM.
- SIGNAGE AND SAFETY BARRIER SHALL BE ERECTED AND MAINTAINED IN ORDER TO ASSURE SAFE CONDITIONS THROUGHOUT THE CONSTRUCTION.
- CONTRACTOR TO BE RESPONSIBLE FOR DUST CONTROL THROUGHOUT THE DEMOLITION PROCESS.

#### NOTE LEGEND

- SPR 2 - INDICATE A CONDITION OF SITE PLAN REVIEW FOR PHASE 1
- SP 7 - INDICATE A CONDITION OF SPECIAL PERMIT FOR PHASE 1

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The Contractor shall be responsible for obtaining all permits and approvals required for the project. The Contractor shall be responsible for obtaining all permits and approvals required for the project. The Contractor shall be responsible for obtaining all permits and approvals required for the project.

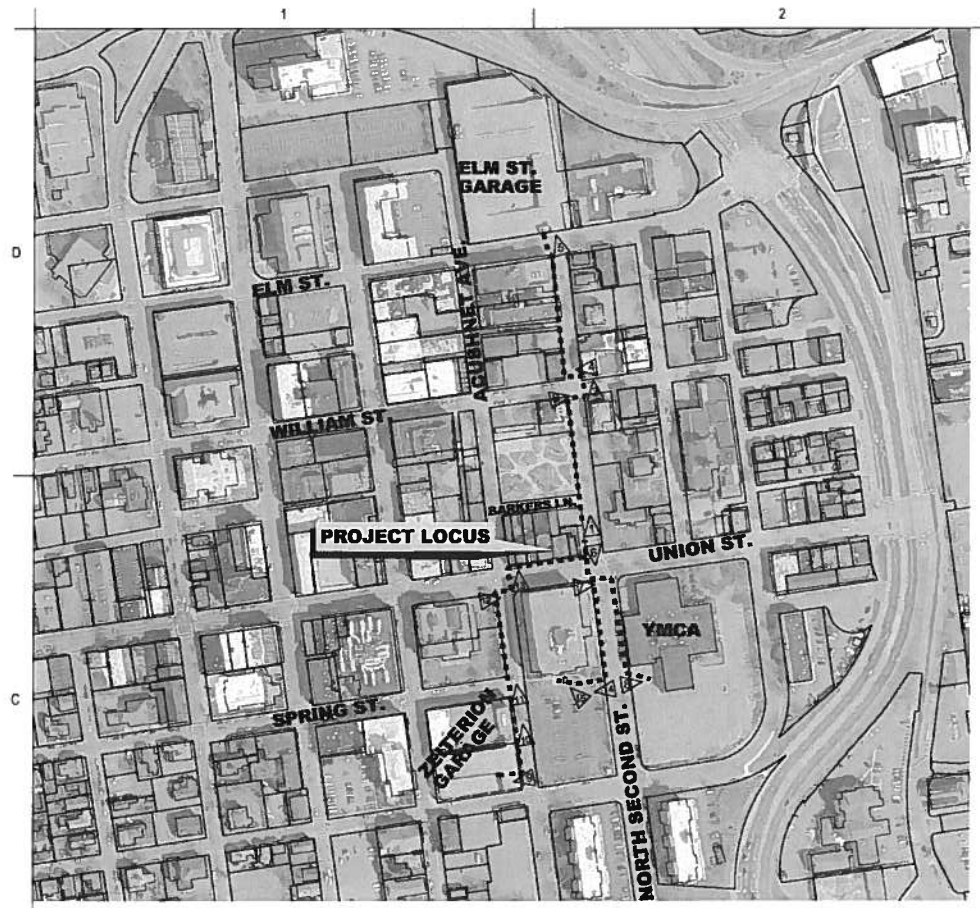
Permit/Seal



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New Bedford, MA 02740  
Project No.: 218421128  
File Name: N/A  
Scale: 1" = 10'  
JAG R.R. R.R. 2019.09.25  
Des. Dgn. Cnd. YYYYMMDD  
Title  
**DEMOLITION PLAN**

**C-2**



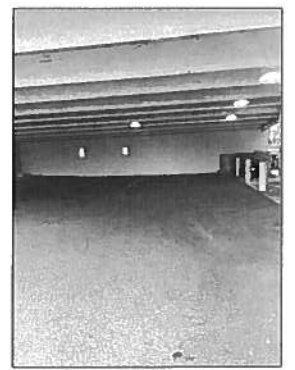


**HANDICAP ACCESSIBLE ROUTES TO  
HANDICAP PARKING SPACES**



**NOTES:**

ALL THREE AVAILABLE PARKING AREAS HAVE HANDICAP SPACES AND THERE IS AN ACCESSIBLE PATHWAY FROM THE PROPOSED RESIDENTIAL UNITS TO THESE PARKING SPACES. THE SIDEWALKS ARE A MINIMUM OF FOUR FEET WIDE WITH SUITABLE RAMPS AND CROSSWALKS AT EVERY INTERSECTION. THE ZEITERION PARKING GARAGE AND YMCA PARKING LOT HAVE AT-GRADE HANDICAP SPACES. THE ELM STREET GARAGE HAS AN ACCESSIBLE ELEVATOR WITH UPPER LEVEL HANDICAP SPACES.



**PICTURE 9**  
GRADE LEVEL HANDICAP PARKING  
ZEITERION PARKING GARAGE  
LOOKING WEST



**PICTURE 10**  
ZEITERION GARAGE  
LOOKING NORTH



**PICTURE 11**  
SPRING ST./JACUSHNET AVE.  
LOOKING NORTH



**PICTURE 12**  
UNION ST./JACUSHNET AVE.  
LOOKING EAST



**PICTURE 13**  
UNION ST./JACUSHNET AVE.  
LOOKING NORTH



**PICTURE 14**  
DEMELLO INTERNATIONAL CENTER  
LOOKING WEST



**PICTURE 15**  
DEMELLO INTERNATIONAL CENTER  
PARKING LOT  
LOOKING NORTH WEST



**PICTURE 1**  
BARKERS LANE  
LOOKING NORTH



**PICTURE 2**  
WILLIAMS STREET  
LOOKING EAST



**PICTURE 3**  
WILLIAMS STREET  
LOOKING NORTH



**PICTURE 4**  
WILLIAMS STREET  
LOOKING WEST



**PICTURE 5**  
ELM STREET  
LOOKING NORTH



**PICTURE 6**  
UNION STREET  
LOOKING SOUTH



**PICTURE 7**  
UNION STREET  
LOOKING EAST



**PICTURE 8**  
AT YMCA  
LOOKING EAST

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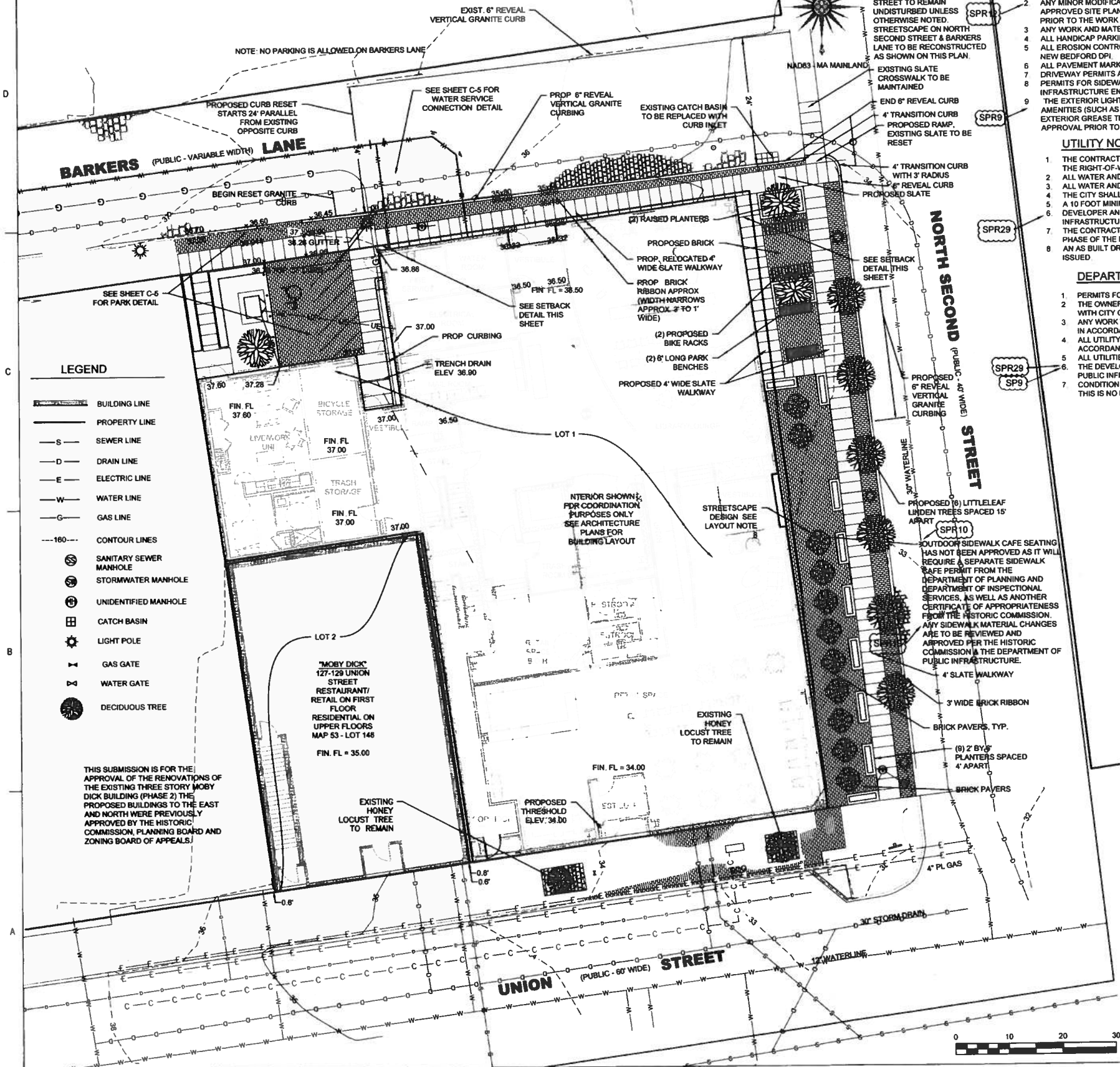
**PRIME ENGINEERING**  
The Contractor shall verify and be responsible for all dimensions, locations, and conditions of existing conditions. The Contractor shall be responsible for obtaining all necessary permits and approvals. The Contractor shall be responsible for obtaining all necessary permits and approvals. The Contractor shall be responsible for obtaining all necessary permits and approvals.

REVISIONS	DATE	BY	APP'D
1	2019.11.04	JAG	JAG
2	2019.11.05	JAG	JAG
3	2019.11.05	JAG	JAG
4	2019.11.05	JAG	JAG
5	2019.11.05	JAG	JAG
6	2019.11.05	JAG	JAG
7	2019.11.05	JAG	JAG
8	2019.11.05	JAG	JAG
9	2019.11.05	JAG	JAG
10	2019.11.05	JAG	JAG
11	2019.11.05	JAG	JAG
12	2019.11.05	JAG	JAG
13	2019.11.05	JAG	JAG
14	2019.11.05	JAG	JAG
15	2019.11.05	JAG	JAG
16	2019.11.05	JAG	JAG
17	2019.11.05	JAG	JAG
18	2019.11.05	JAG	JAG
19	2019.11.05	JAG	JAG
20	2019.11.05	JAG	JAG

Permit/Seal

Project:  
Proposed Commercial/ Residential Facility  
115, 117, 121, 127-129 Union Street  
& 7 North Second Street  
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Project No.: 218421128  
Scale: SEE PLAN  
DWG: JAG, EJR, JAG, 2019.09.25  
Date: Design: Check: YYYY-MM-DD  
Title:  
HANDICAP ACCESSIBILITY  
PLAN

NOTE: ALL SLATE, BRICK AND COBBLESTONE THAT IS DISRUPTED BY UTILITY INSTALLATION AND GENERAL CONSTRUCTION SHALL BE REPLACED IN SAME CONDITION.



LEGEND

- BUILDING LINE
- PROPERTY LINE
- SEWER LINE
- DRAIN LINE
- ELECTRIC LINE
- WATER LINE
- GAS LINE
- CONTOUR LINES
- SANITARY SEWER MANHOLE
- STORMWATER MANHOLE
- UNIDENTIFIED MANHOLE
- CATCH BASIN
- LIGHT POLE
- GAS GATE
- WATER GATE
- DECIDUOUS TREE

THIS SUBMISSION IS FOR THE APPROVAL OF THE RENOVATIONS OF THE EXISTING THREE STORY MOBY DICK BUILDING (PHASE 2), THE PROPOSED BUILDINGS TO THE EAST AND NORTH WERE PREVIOUSLY APPROVED BY THE HISTORIC COMMISSION, PLANNING BOARD AND ZONING BOARD OF APPEALS.

LAYOUT NOTES:

- THE APPLICANT SHALL PRESENT ANY PROPOSED MODIFICATION FROM THE APPROVED PLANS FOR CONSIDERATION TO THE CITY PLANNER FOR DETERMINATION AS TO WHETHER THE MODIFIED PLAN MUST RETURN BEFORE THIS BOARD FOR FURTHER REVIEW ANY MINOR MODIFICATIONS (AS DETERMINED BY THE CITY ENGINEER AND CITY PLANNER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AND CITY PLANNER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
- ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
- ALL HANDICAP PARKING, RAMPS, AND ACCESS SHALL CONFORM TO AAB & MAAB REQUIREMENTS.
- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL SHALL CONFORM TO THE CITY OF NEW BEDFORD DPI.
- ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS.
- DRIVEWAY PERMITS ARE SUBJECT TO TRAFFIC COMMISSION APPROVAL.
- PERMITS FOR SIDEWALK, DRIVEWAYS, WATER, SEWER AND STORM DRAIN MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC INFRASTRUCTURE ENGINEERING DIVISION.
- THE EXTERIOR LIGHTING, SIGNAGE, STOREFRONT AWNINGS, SOLAR PANELS, CORNICES, ROOF TOP MECHANICAL SCREENING, STREET AMENITIES (SUCH AS TRASH BARRELS, BIKE RACKS, BENCHES, PLANTERS, STREET TREES, AND VEGETATION), PUBLIC ART MURAL, AND EXTERIOR GREASE TRAPS (IF REQUIRED) HAVE NOT BEEN APPROVED AND WILL REQUIRE A SEPARATE MODIFICATION SUBMITTAL AND APPROVAL PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT.

UTILITY NOTES:

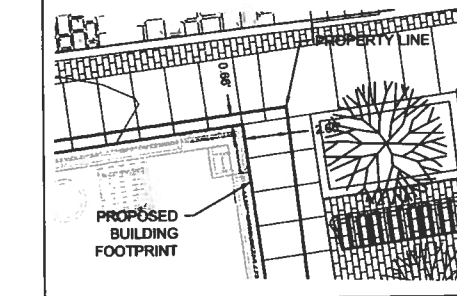
- THE CONTRACTOR SHALL OBTAIN A STREET DISTURBANCE AND OBSTRUCTION PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE RIGHT-OF-WAY.
- ALL WATER AND SEWER MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
- ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF NEW BEDFORD PRIOR TO BEING BACKFILLED.
- THE CITY SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE REQUIRED INSPECTIONS.
- A 10 FOOT MINIMUM SEPARATION BETWEEN THE WATER AND SEWER SERVICES IS REQUIRED.
- DEVELOPER AND SITE CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE DEPARTMENT OF PUBLIC INFRASTRUCTURE PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL DEVELOP AN EROSION CONTROL PLAN TO BE APPROVED BY DPI PRIOR TO IMPLEMENTATION, FOR EACH PHASE OF THE PROJECT.
- AN AS BUILT DRAWING PREPARED BY AN ENGINEER SHALL BE SUBMITTED TO DPI PRIOR TO A CERTIFICATE OF OCCUPANCY BEING ISSUED.

DEPARTMENT OF PUBLIC INFRASTRUCTURE (DPI) NOTES:

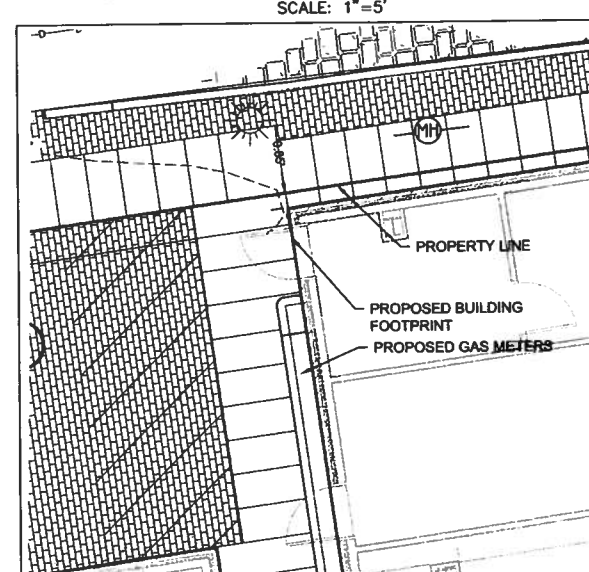
- PERMITS FOR SIDEWALKS, SEWER AND DRAINAGE, AND WATER MUST BE OBTAINED FROM THE DPI ENGINEERING DIVISION.
- THE OWNER MUST HAVE ALL PROPOSED ABANDONED WATER AND SEWER SERVICES CUT AND CAPPED IN ACCORDANCE WITH CITY OF NEW BEDFORD SPECIFICATIONS PRIOR TO DP'S SIGNOFF OF THE DEMOLITION PERMIT.
- ANY WORK WITHIN THE SIDEWALK AREAS OF BARKERS LANE, NORTH SECOND STREET, AND UNION STREET MUST BE DONE IN ACCORDANCE WITH CITY REGULATIONS AND STANDARD MATCHING EXISTING MATERIALS.
- ALL UTILITY WORK PERFORMED ON BARKERS LANE, OWNER MUST REBUILD COBBLESTONES AND BLUESTONE IN ACCORDANCE WITH CITY REGULATIONS AND STANDARDS.
- ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH CITY REGULATIONS AND STANDARDS.
- THE DEVELOPER AND SITE CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE DEPARTMENT OF PUBLIC INFRASTRUCTURE PRIOR TO THE START OF CONSTRUCTION.
- CONDITION 11 OF THE SITE PLAN REVIEW APPROVAL REQUIRED A BOND OR CASH SURETY FOR WORK IN UNION STREET, THIS IS NO LONGER REQUIRED BECAUSE THE WORK HAS ALREADY BEEN COMPLETED.

NOTE LEGEND

- SPR 2 - INDICATE A CONDITION OF SITE PLAN REVIEW FOR PHASE 1
- SP 7 - INDICATE A CONDITION OF SPECIAL PERMIT FOR PHASE 1



NORTHEAST BUILDING SETBACK DETAIL  
SCALE: 1"=5'



NORTHWEST BUILDING SETBACK DETAIL  
SCALE: 1"=5'

**KIT WISE ARCHITECT**  
Christopher T. Wise  
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Tel: (401) 764-2227 • www.kitwisearchitect.com

**Stantec**  
Prime Engineering Inc.  
P.O. Box 1088  
Lafayette, MA 02347  
Tel: (508) 747-0000 • www.primeengr.com

**PRIME ENGINEERING**

DATE	BY	APP'D	ISSUED/REVISION
2019.11.08	JAG	JLR	Asst
2019.10.17	JAG	JLR	Asst
2019.10.17	JAG	JLR	Asst

Permit/Seal

*Signature*

Project:  
Proposed Commercial/ Residential Facility  
115, 117, 121, 127-129 Union Street  
& 7 North Second Street  
New Bedford, MA 02740  
Project No.: 218421128  
File Name: N/A  
Scale: AS SHOWN  
JAG JLR JLR JLR  
Dwn. Dgn. Chk. YYYTAMLD  
2019.09.25

Title  
SITE LAYOUT &  
UTILITIES PLAN

C-4



**5" VERTICAL GRANITE CURB**  
**WITH 6" REVEAL**  
NOT TO SCALE

NOTE: THE SILTSACK® WILL BE MANUFACTURED FROM A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS.

REGULAR FLOW SILT/SLACK		
(FOR AREAS OF LOW TO MODERATE PRECIPITATION AND RUN-OFF)		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE	ASTM D-4632	300 LBS
STRENGTH GRAB	ASTM D-4632	208
TENSILE ELONGATION	ASTM D-4633	120 LBS
PUNCTURE MULLEN	ASTM D-3780	800 PSI
BURST TRAPEZOID	ASTM D-4633	120 LBS
TEAR ULV RESISTANCE	ASTM D-4325	80%
APPARENT OPENING	ASTM D-4751	40 USIEVE
SECF FLOW RATE	ASTM D-4481	40 GAL/MIN/SQ FT 0.55
PERMITTIVITY	ASTM D-4481	SEC -1

HI-LOW SILTSACK • (FOR AREAS OF MODERATE TO HEAVY PRECIPITATION AND RUN-OFF)		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE	ASTM D-4632	208 LBS
STRENGTH GRAB	ASTM D-4632	208
TENSILE ELONGATION	ASTM D-4633	135 LBS
PUNCTURE MULLER	ASTM D-5786	420 PSI
BURST TRAPEZOID	ASTM D-4633	45 LBS
TEAR UP RESISTANCE	ASTM D-4356	908
APPROXIMATE OVERTURN	ASTM D-4781	US SIEVE
SIZE FLOW RATE	ASTM D-4461	200 GAL/MIN/SQ FT 1.5
PERMITTIVITY	ASTM D-4461	SEC -1

1" REBAR FOR BAG  
REMOVAL FROM INLET  
(REBAR NOT INCLUDED)

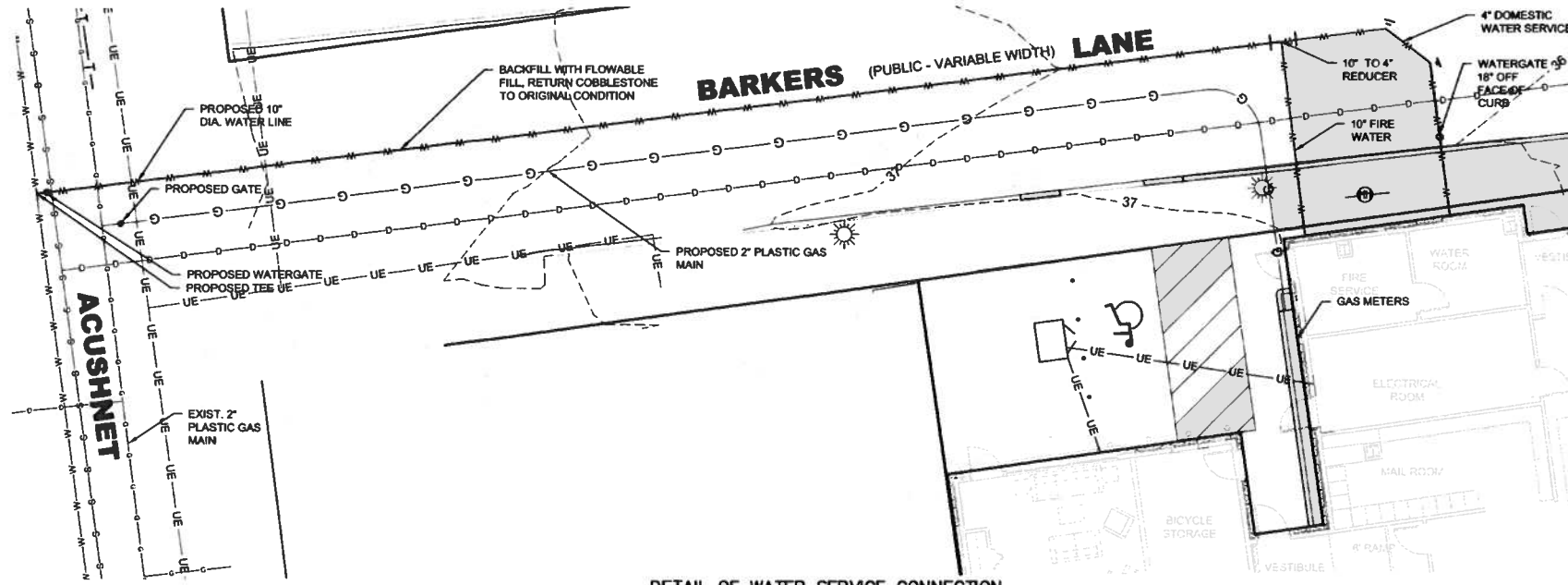
OPTIONAL  
OVERFLOW

SILTSACK

DUMP LOOPS  
(REBAR NOT INCLUDED)

The diagram illustrates the Siltsack assembly. It shows a rectangular concrete structure with a large rectangular opening at the top. A black mesh bag, labeled 'SILTSACK', is suspended over this opening. The bag is held in place by 'DUMP LOOPS' which are attached to the top edge of the concrete structure. An 'OPTIONAL OVERFLOW' is indicated by a small circle on the side of the bag. A '1" REBAR FOR BAG REMOVAL FROM INLET' is shown as a horizontal bar at the top of the concrete structure, with a note that it is not included.

DETAIL OF INLET SEDIMENT CONTROL DEVICE  
WITH CURB DEFLECTOR ("SILT SACK")  
NOT TO SCALE



DETAIL OF WATER SERVICE CONNECTION  
SCALE: 1"=8'



DETAIL OF PART  
SCALE: 1"=5'

**LOT 1**  
TOTAL AREA  
10,173 SQ.FT.  
0.234 AC. ±

[illegible]

Permit/Sec



**Project:**  
Proposed Commercial/ Residential Facility  
115, 117, 121, 127-129 Union Street  
& 7 North Second Street  
New Bedford, MA 02740

---

**Project No.:**218421128

File Name: N/A

Scale: N.T.S.

JAG	RJR	RJR	2019.09.25
Doc	Doc	Chd	2019.11.20

DATE	DEPT	CHRG	TIME/PERIOD
Title			

time

## DETAILS

DET/RES

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Journal compilation © 2006 Blackwell Publishing Ltd

1000

**CONCLUSIONS**

C-5

100

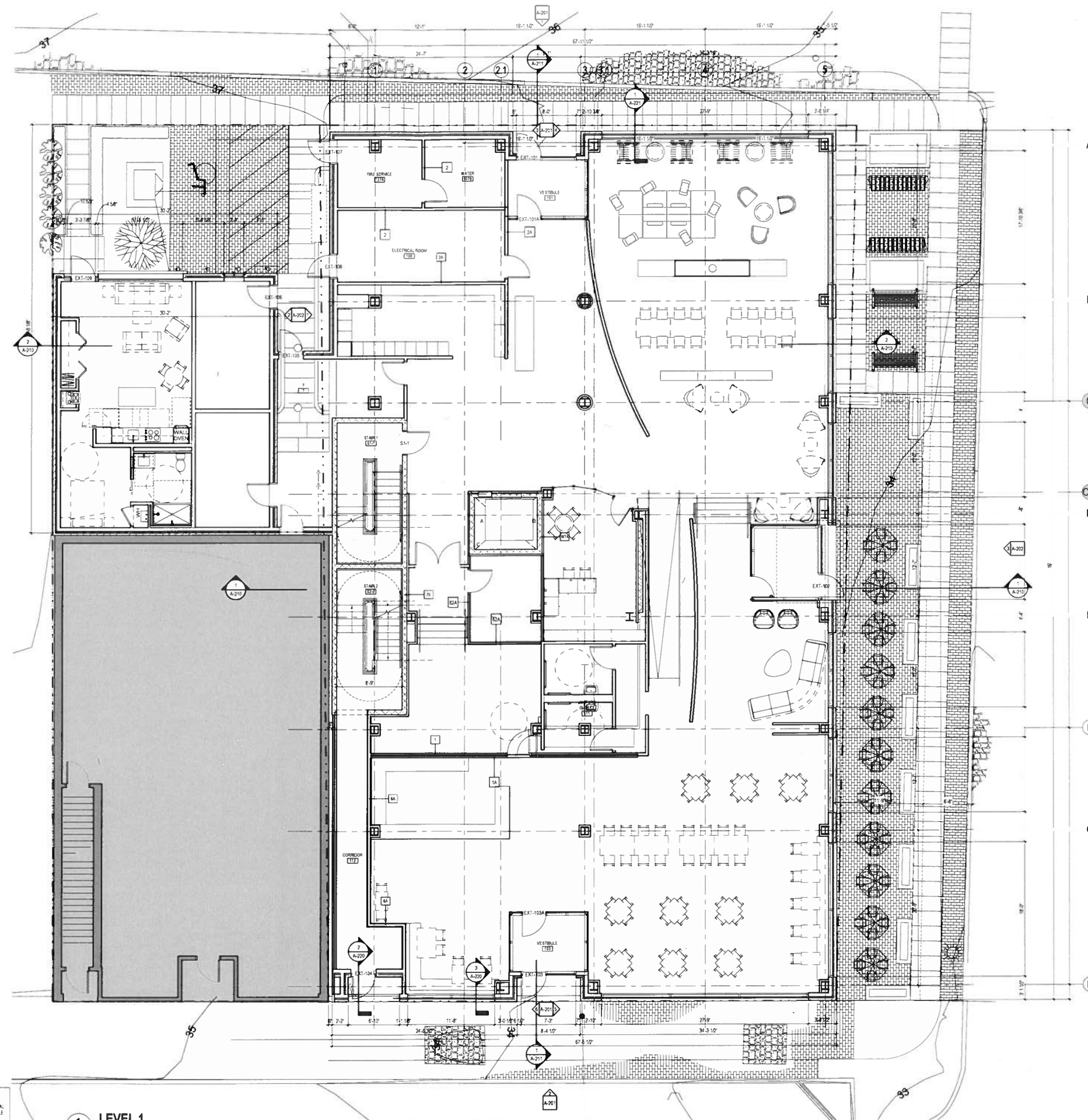
6 & 7 North Second St Engineering Combined Unit



PRELIMINARY  
NOT FOR  
CONSTRUCTION

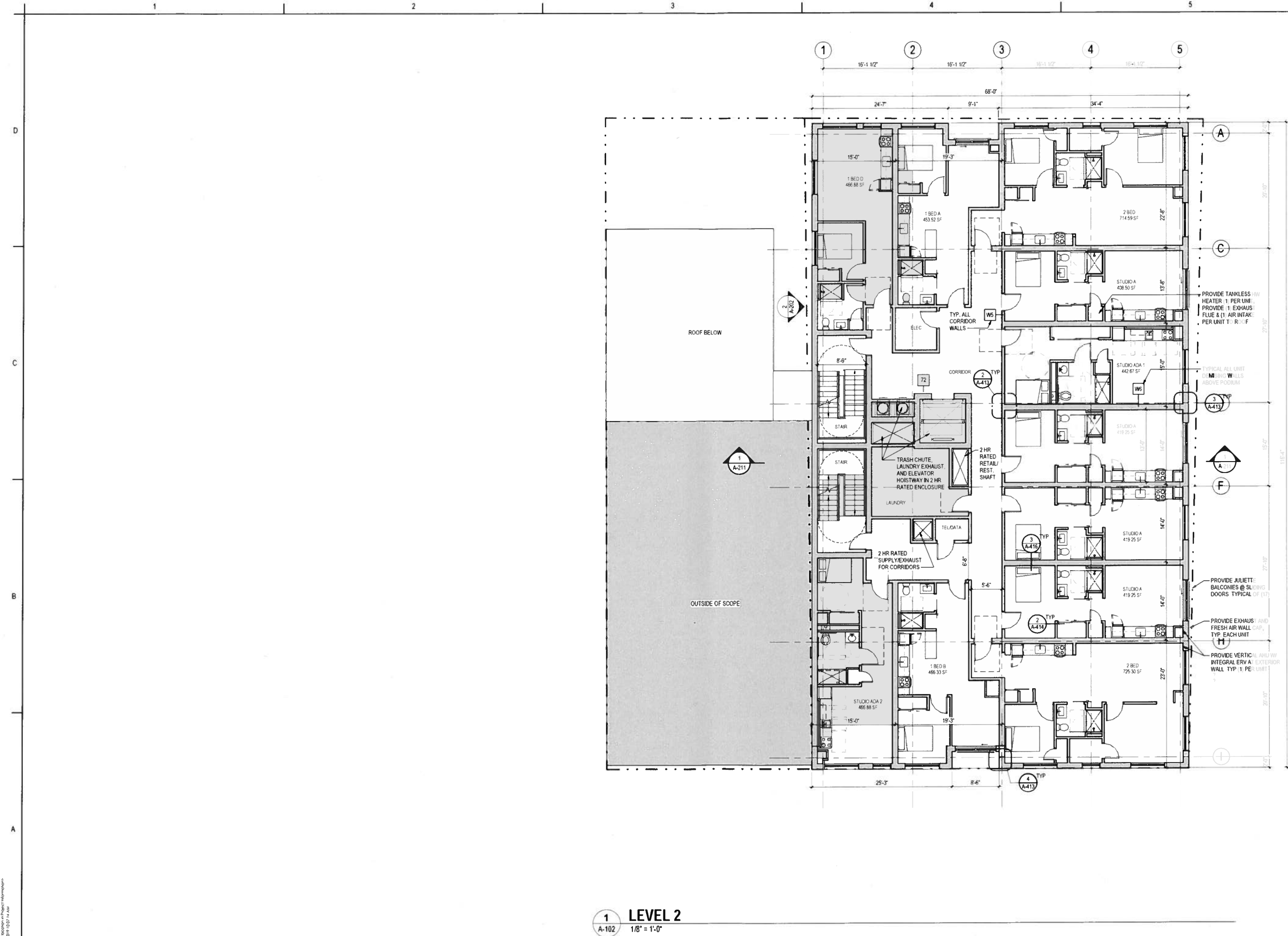
FLOOR PLAN - LEVEL 1

**A-101**



GENERAL NOTE:  
UNLESS OTHERWISE NOTED ALL  
CONSTRUCTION ABOVE 3'6" HORIZONTAL  
POURING SHALL BE TYPE SA COMBUSTIBLE  
(WOOD-FRAMED) CONSTRUCTION.

**1 LEVEL 1**  
3/16" = 1'-0"



1 LEVEL 2  
A-102 1/8" = 1'-0"



Stantec Architecture and Engineering P.C.  
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Boston, MA 02101-1723  
Tel: (617) 224-5100 • www.stantec.com

Consultant

1	PRELIMINARY DESIGN	04/27/2019	TYT/MAD
2	PERMANENT DESIGN	05/22/2019	TYT/MAD
3	PERMANENT DESIGN	05/22/2019	TYT/MAD
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100	PERMANENT DESIGN	05/22/2019	TYT/MAD

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Client/Project  
117 Union Street, LLC  
117 Union Street  
New Bedford, MA 02740

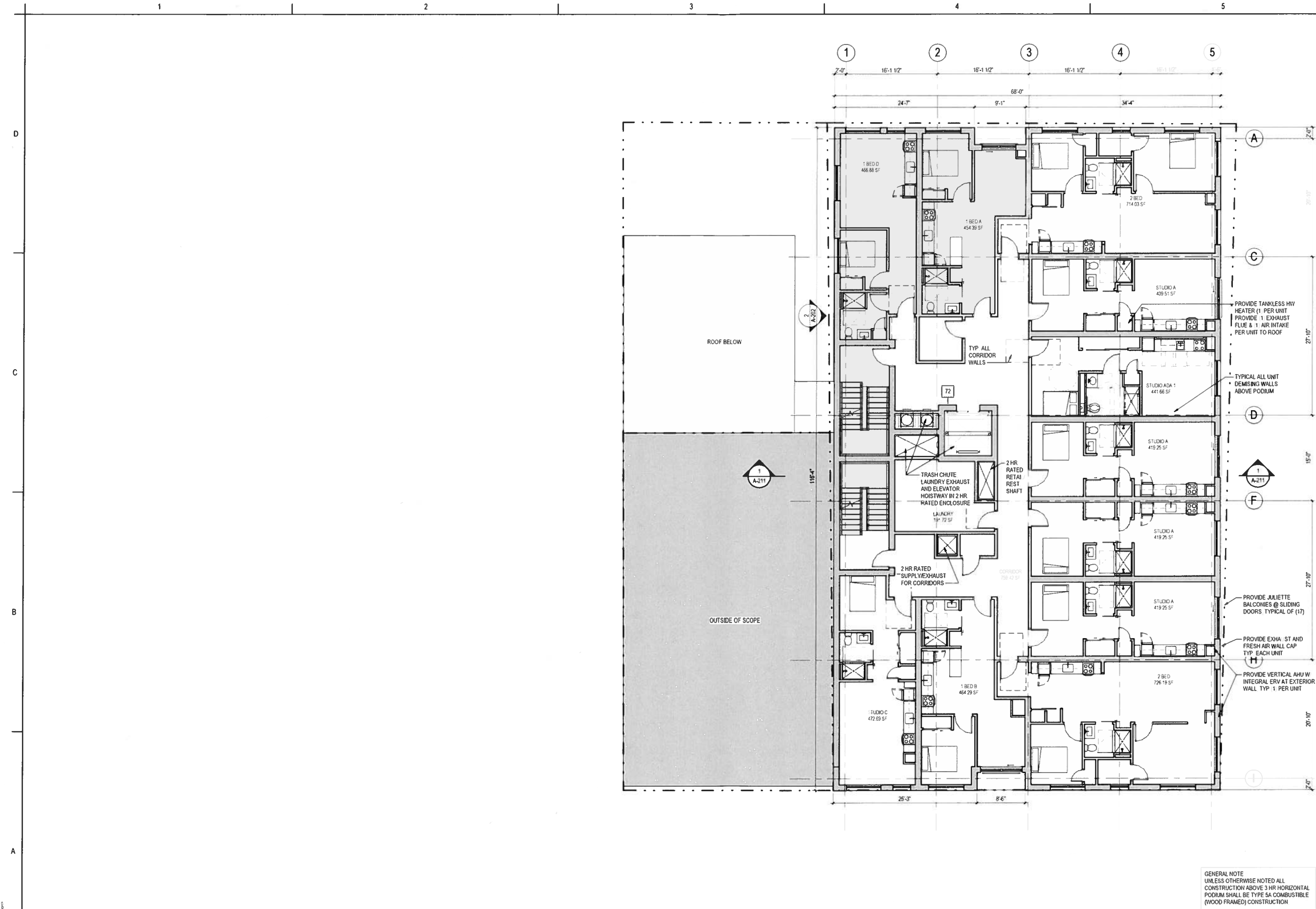
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Author: Design: Checker: 02/11/19  
Date: 02/11/19

FLOOR PLAN - LEVEL 2

Revision: 2  
Drawing No.

**A-102**  
PREVIOUSLY APPROVED





1  
A-103

LEVEL 3  
1/8" = 1'-0"

GENERAL NOTE  
UNLESS OTHERWISE NOTED ALL  
CONSTRUCTION ABOVE 3 HR HORIZONTAL  
PODIUM SHALL BE TYPE SA COMBUSTIBLE  
(WOOD FRAMED) CONSTRUCTION

Client/Project  
117 Union Street, LLC

117 Union Street  
New Bedford, MA 02740

Project No.: 218421128  
Scale: 1/8" = 1'-0"  
Design: [Signature]  
Checker: [Signature]  
Title: FLOOR PLAN - LEVEL 3  
Revision: [Signature]  
Drawing No.: A-103  
PREVIOUSLY APPROVED

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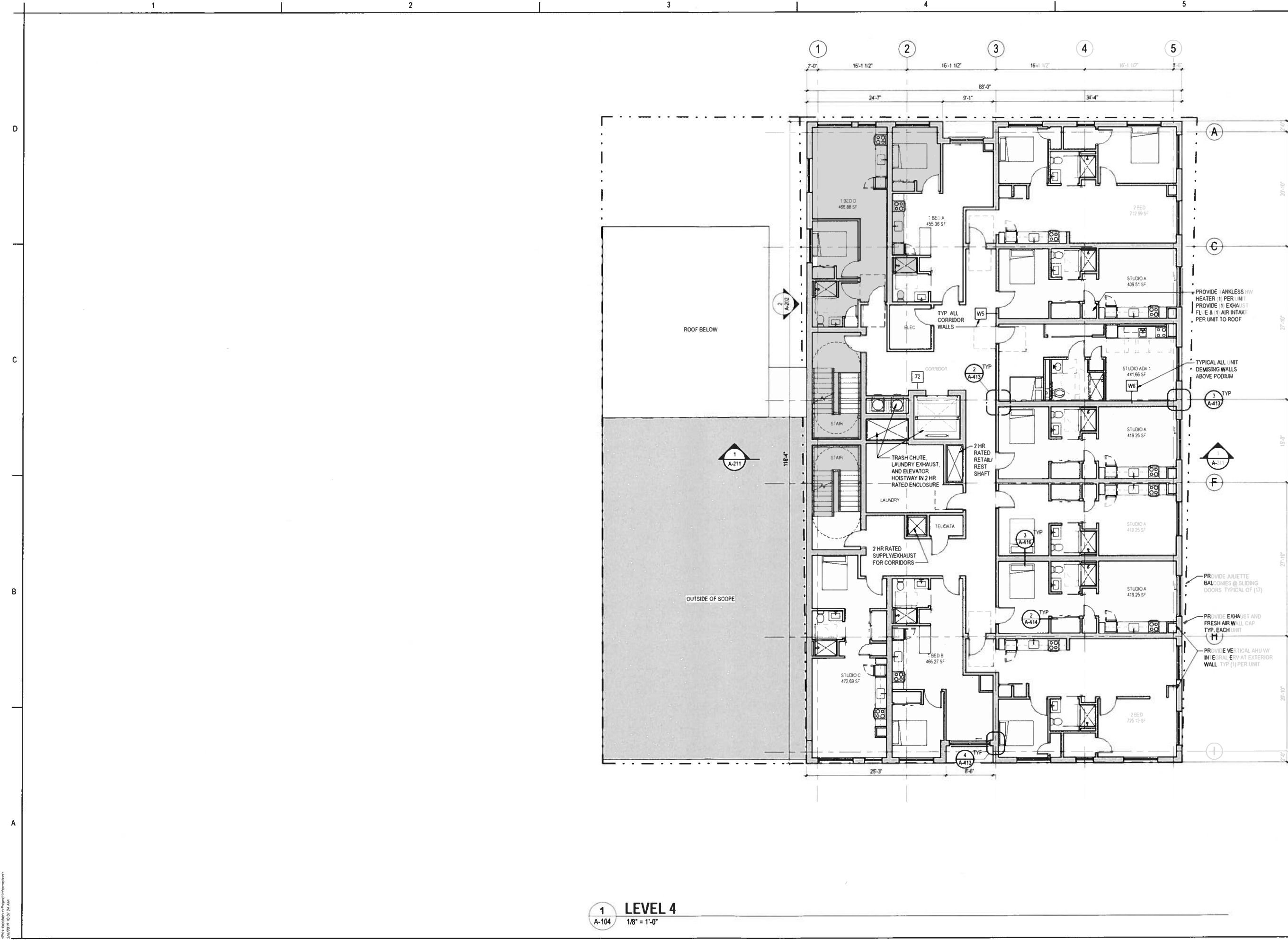
Stantec Architectural and  
311 Summer Street  
Boston, MA 02108-1723  
Tel: (617) 234-3100 • www.  
stantec.com

Consulant

117 Union Street  
New Bedford, MA 02740  
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Email: info@stantec.com

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Sheet Location in Project Information  
3/10/2019 10:07:24 AM  
ORIGINAL SHEET - A-104

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Boston, MA 02210-1723  
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Consultant			
Project No.	218421128	Project Name	117 Union Street
Author	WYK/MMD	Designer	WYK/MMD
Checker	WYK/MMD	Reviewer	WYK/MMD
Issued/Revision			

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Client/Project  
117 Union Street, LLC

117 Union Street

117 Union Street  
New Bedford, MA 02740

Project No.: 218421128  
File Name: 117A  
Scale: 1/8" = 1'-0"  
Author: WYK/MMD  
Designer: WYK/MMD  
Checker: WYK/MMD  
Date: 03/21/19

FLOOR PLAN - LEVEL 4

Revision: 2  
Drawing No.  
**A-104**  
PREVIOUSLY APPROVED

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117 Union Street  
New Bedford, MA 02740

File Name N/A

Scale: 1/8" = 1'-0"

Author	Designer	Checker	03/21/19
Dwn	Dign	Chkd	YYYYMMDD

Title

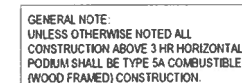
FLOOR PLAN - LEVEL 5

Revision: 2

Drawing No.

**A-105**  
PREVIOUSLY A

**A-100**  
PREVIOUSLY APPROVED



**1** **LEVEL 5**  
A-105 1/8" = 1'-0"





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117 Union Street, LLC

117 Union Street

117 Union Street  
New Bedford, MA 02740

Project No.:218421128

File Name N/A

Scale:  $1/8" = 1'-0"$

Author	Designer	Checker	03/21/19
Dwn	Dgn	Chkd	YYYY.MM.DD

Title

### ELEVATIONS - NORTH & SOUTH

Revision:2

Drawing No.

A-201



EXTENT OF PENTHOUSE MECHANICAL HIGH-LOW SCREEN TO  
BLOCK VIEW OF EQUIPMENT FROM STREET LEVEL. FINAL  
EQUIPMENT LAYOUT AND EXTENTS / HEIGHT OF SCREEN TBD

COLOR MATCH ALUM. COPING TYP.

FIBER CEMENT PLANK TYP FC-2  
6" EXPOSURE

FACE BRICK MASONRY VENEER  
CLADDING, TYPE BV-1  
MODULAR SIZE, 14" BED JOINTS

SIGNAGE EXTENTS TBD

ESTIMATED EXTENTS OF  
ADJACENT MOBY DICK  
BUILDING

INTERIOR VESTIBULE, FINISH TBD

2 ELEVATION - WEST  
A-202 1/8" = 1'-0"

EXTENT OF PENTHOUSE MECHANICAL HIGH-LOW SCREEN TO  
BLOCK VIEW OF EQUIPMENT FROM STREET LEVEL. FINAL  
EQUIPMENT LAYOUT AND EXTENTS / HEIGHT OF SCREEN TBD

SEE PLANS FOR EXTERIOR WALL RECESS  
AT UPPER LEVEL

COLOR-FINISH FLANGED FIBERGLASS PATIO  
DOOR BASIS OF DESIGN FIBER FRAME  
COMFORT LINE 5000 MATCH TO SW  
7675V SEALSKIN  
PERFORMANCE GRADE 30  
LOW-E ARGON GLAZING

ALUMINUM JULIET BALCONY  
RAILING SYSTEM, ARCHITECTURAL  
GRADE, POWDER COAT FINISH

SIGNAGE EXTENTS TBD

RETAIL ENTRY PORTAL BEYOND  
(UNION ST)

FIBER CEMENT PANEL TYPE FC-1

ALUMINUM JULIET BALCONY  
RAILING SYSTEM, ARCHITECTURAL  
GRADE, POWDER COAT FINISH

FACE BRICK MASONRY VENEER CLADDING,  
TYPE BV-2  
MODULAR SIZE, 14" BED JOINTS

COLOR-FINISH FLANGED FIBERGLASS PATIO  
DOOR BASIS OF DESIGN FIBER FRAME  
COMFORT LINE 5000 MATCH TO SW 7515  
HOMESTEAD BROWN, PERFORMANCE GRADE  
30, LOW-E ARGON GLAZING

COLOR FINISH FLANGED DOUBLE-  
HUNG FIBERGLASS WINDOW  
INCLUDES STUD POCKET  
BASIS OF DESIGN FIBER FRAME  
COMFORT LINE 8000 MATCH TO SW  
7515 HOMESTEAD BROWN  
PERFORMANCE GRADE 50  
LOW-E ARGON GLAZING

ALUMINUM STOREFRONT SYSTEM  
BASIS OF DESIGN KAWNEER 451T  
GLAZING BASIS OF DESIGN SOLARBAH 60  
CLEAR

1 ELEVATION - EAST  
A-202 1/8" = 1'-0"



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Consultant

Issued/Revision	By	Date
1	PERMIT APPLICATION	04/25/2018
2	PERMIT APPLICATION	04/25/2018

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Client/Project  
117 Union Street, LLC

117 Union Street

117 Union Street  
New Bedford, MA 02740

Project No.: 218421128

File Name: N/A

Scale: 1/8" = 1'-0"

Author	Designer	Checker	03/21/19
Dwn	Dgn	Chk	YYYYMMDD

Title

ELEVATIONS - EAST &  
WEST

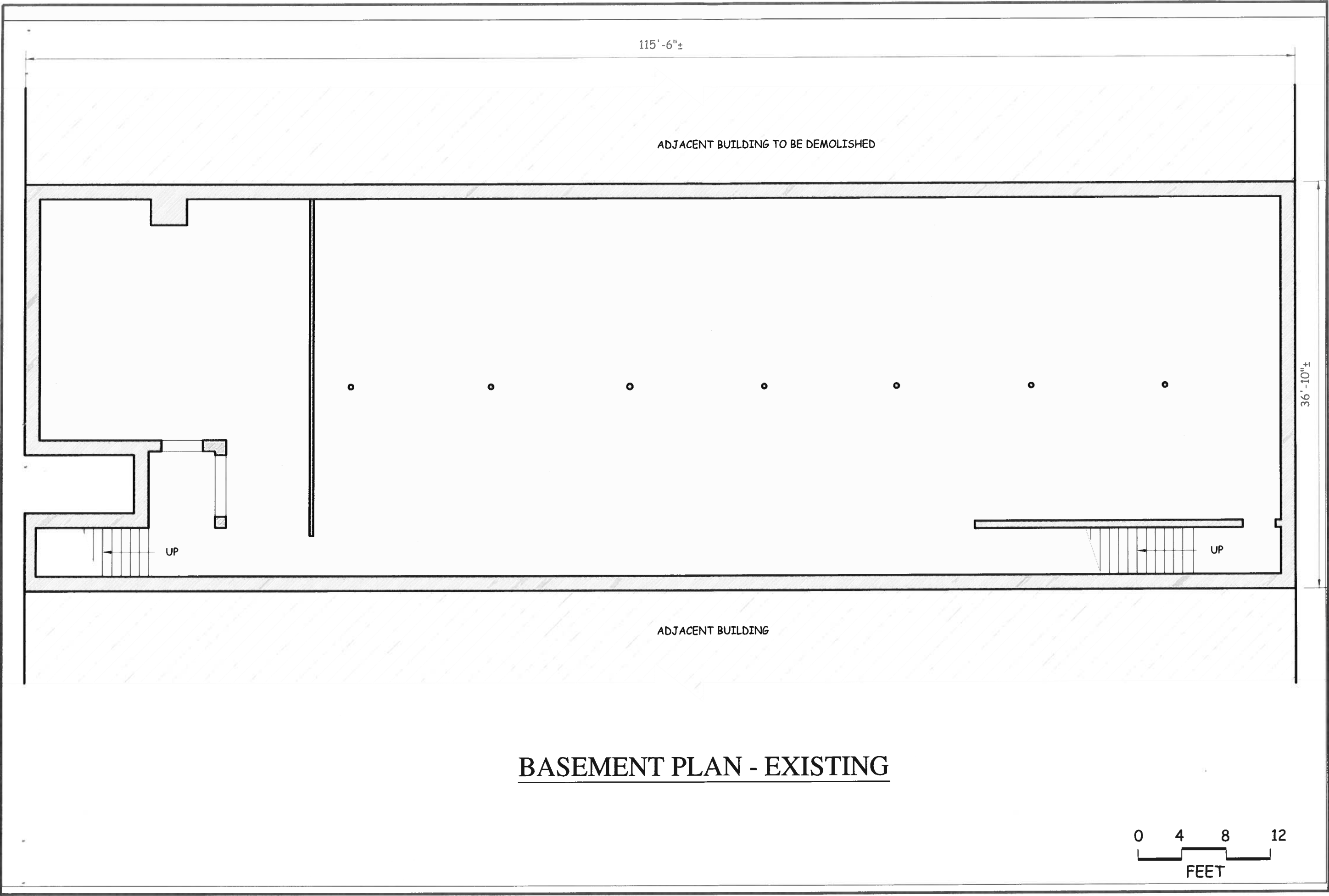
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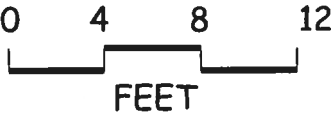
**A-202**  
PREVIOUSLY APPROVED







BASEMENT PLAN - EXISTING



CHRISTOPHER T. WISE - ARCHITECT  
103 SUMMIT AVENUE  
PROVIDENCE, RI 02906  
(401) 865-0329  
ctw@kiewitarchitect.com

CONSULTANTS

NOTES

177 UNION STREET - PHASE 2  
REHABILITATION OF THE  
"MOBY DICK" BUILDING

127-129 UNION STREET  
NEW BEDFORD, MA

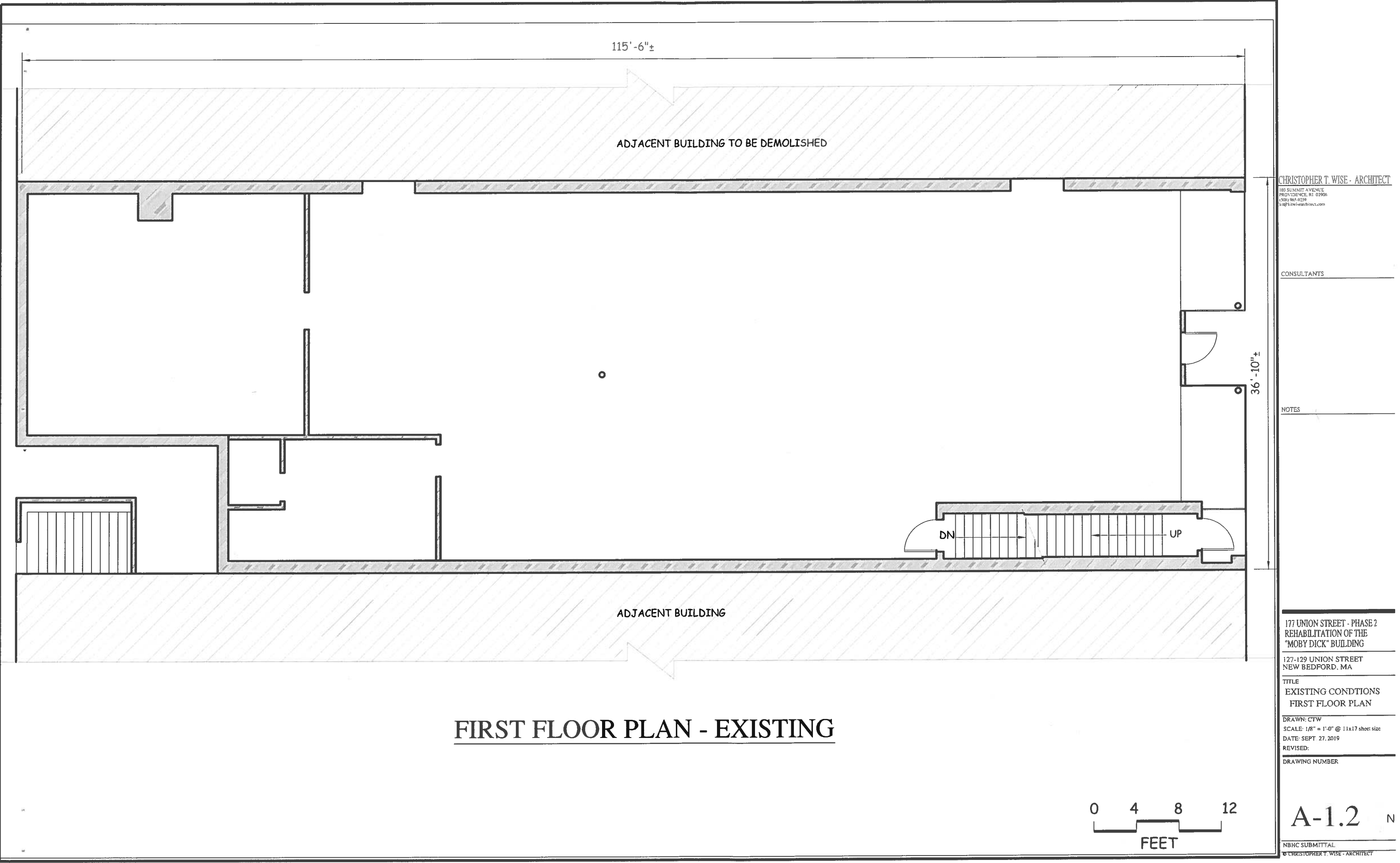
TITLE  
EXISTING CONDITONS  
BASEMENT PLAN

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DATE: SEPT 27, 2019  
REVISED:

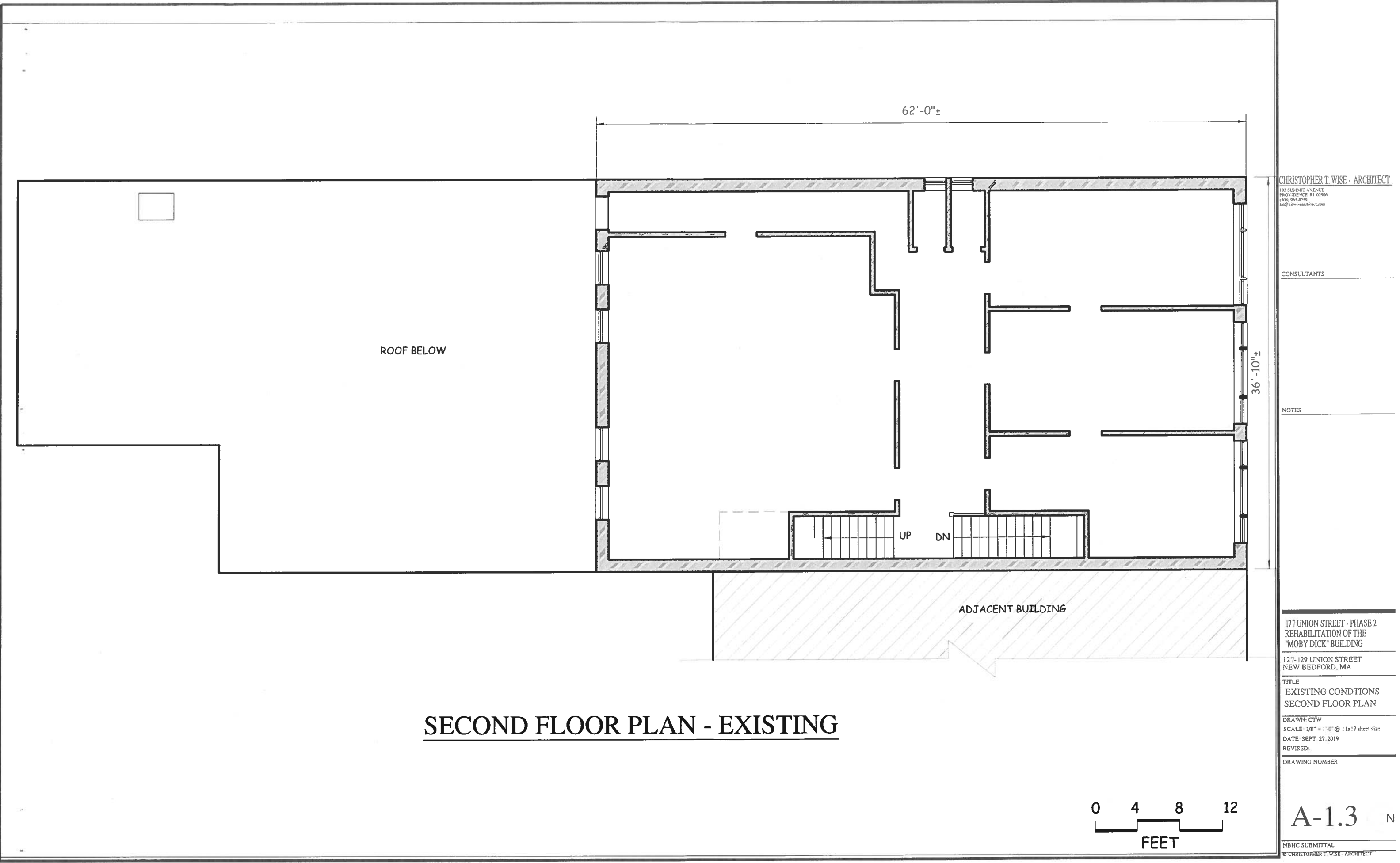
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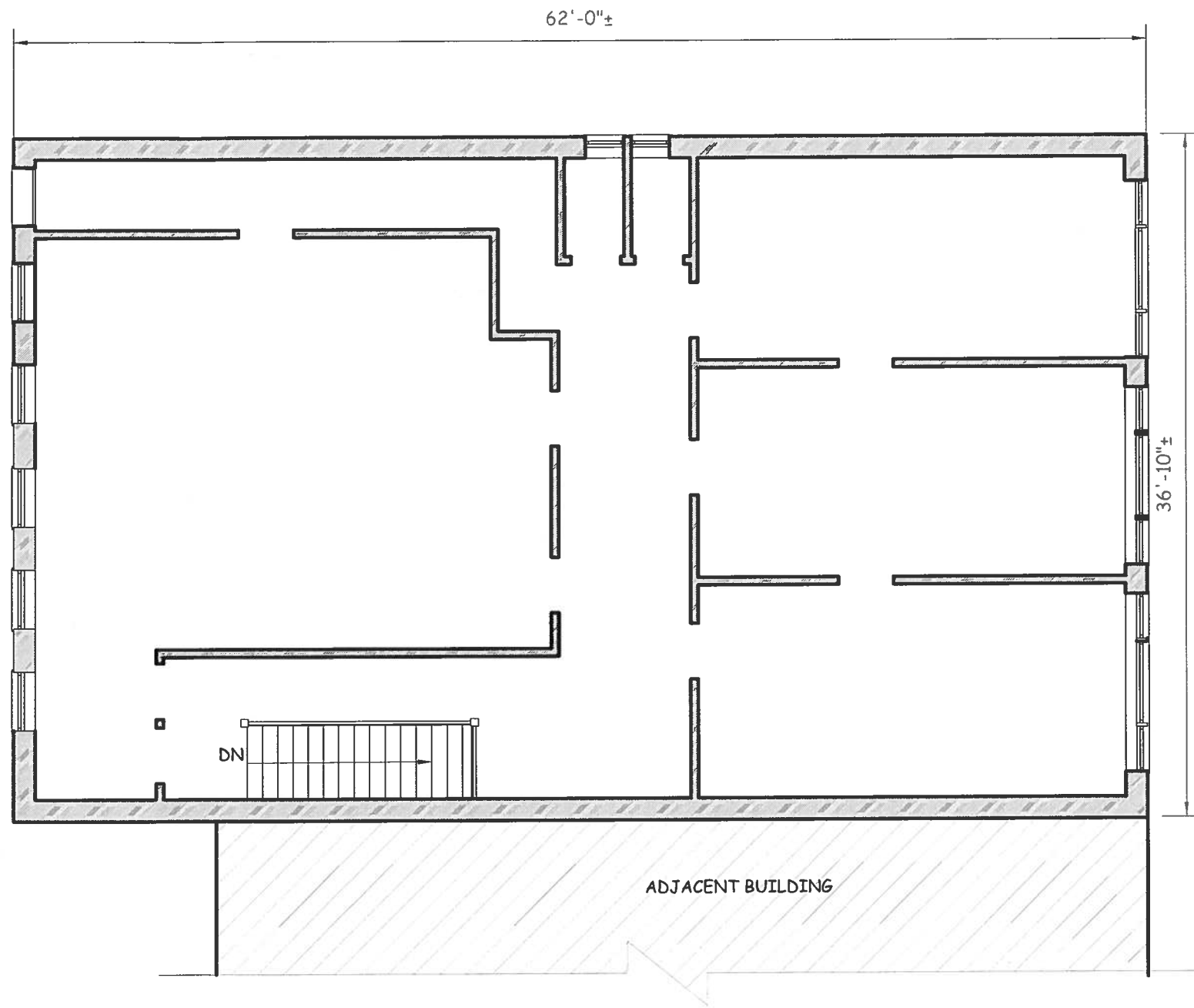
A-1.1 N

NBHC SUBMITTAL  
© CHRISTOPHER T. WISE - ARCHITECT

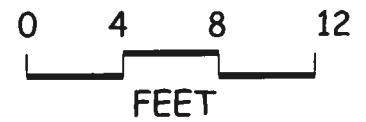








## THIRD FLOOR PLAN - EXISTING



CHRISTOPHER T. WISE - ARCHITECT  
100 SUMMIT AVENUE  
PROVIDENCE, RI 02908  
(508) 965-4239  
ctw@ctwisearchitect.com

CONSULTANTS

NOTES

177 UNION STREET - PHASE 2  
REHABILITATION OF THE  
"MOBY DICK" BUILDING

127-129 UNION STREET  
NEW BEDFORD, MA

TITLE  
EXISTING CONDITIONS  
THIRD FLOOR PLAN

DRAWN: CTW  
SCALE: 1/8" = 1'-0" @ 11x17 sheet size  
DATE: SEPT. 27, 2019  
REVISED:

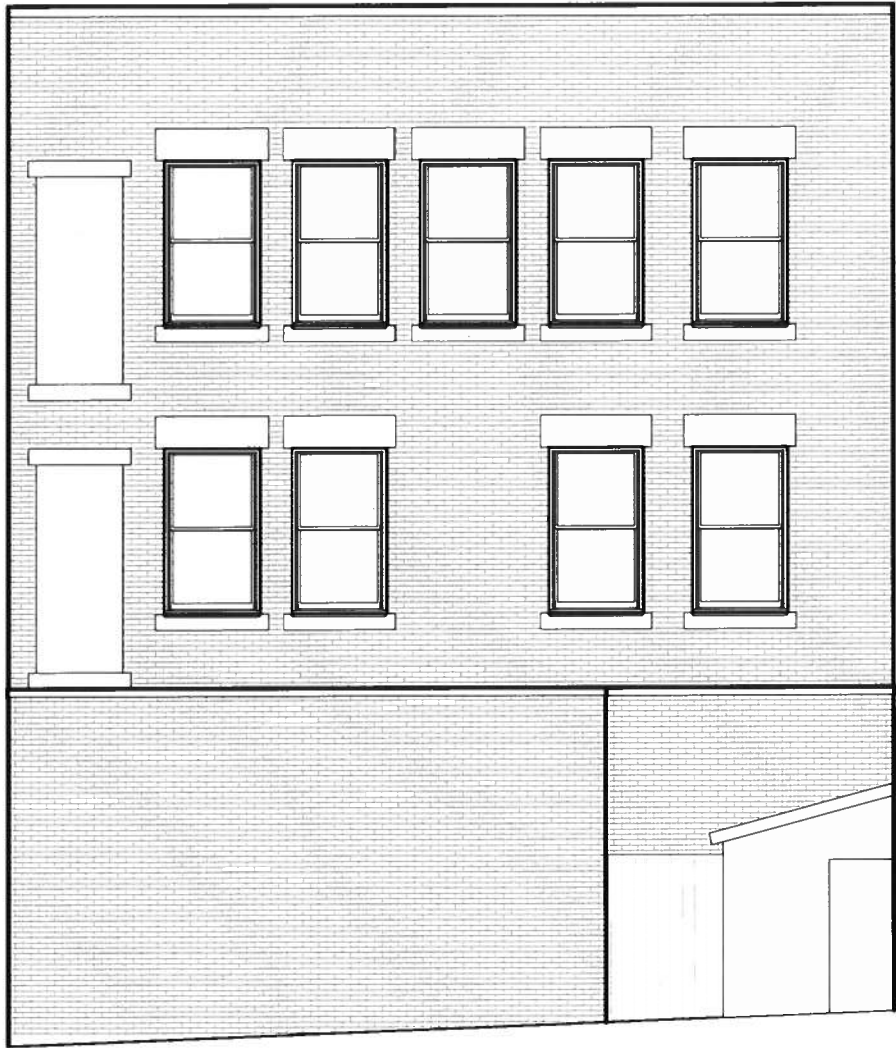
DRAWING NUMBER

A-1.4 N

NBHC SUBMITTAL  
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SOUTH ELEVATION - EXISTING

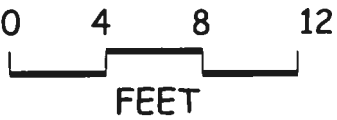


N ORTH ELEVATION -EXISTING

THIRD FLOOR

SECOND FLOOR

FIRST FLOOR



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103 SUMMIT AVENUE  
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CONSULTANTS

NOTES

177 UNION STREET - PHASE 2  
REHABILITATION OF THE  
"MOBY DICK" BUILDING

127-129 UNION STREET  
NEW BEDFORD, MA

TITLE  
EXISTING CONDITONS  
ELEVATIONS

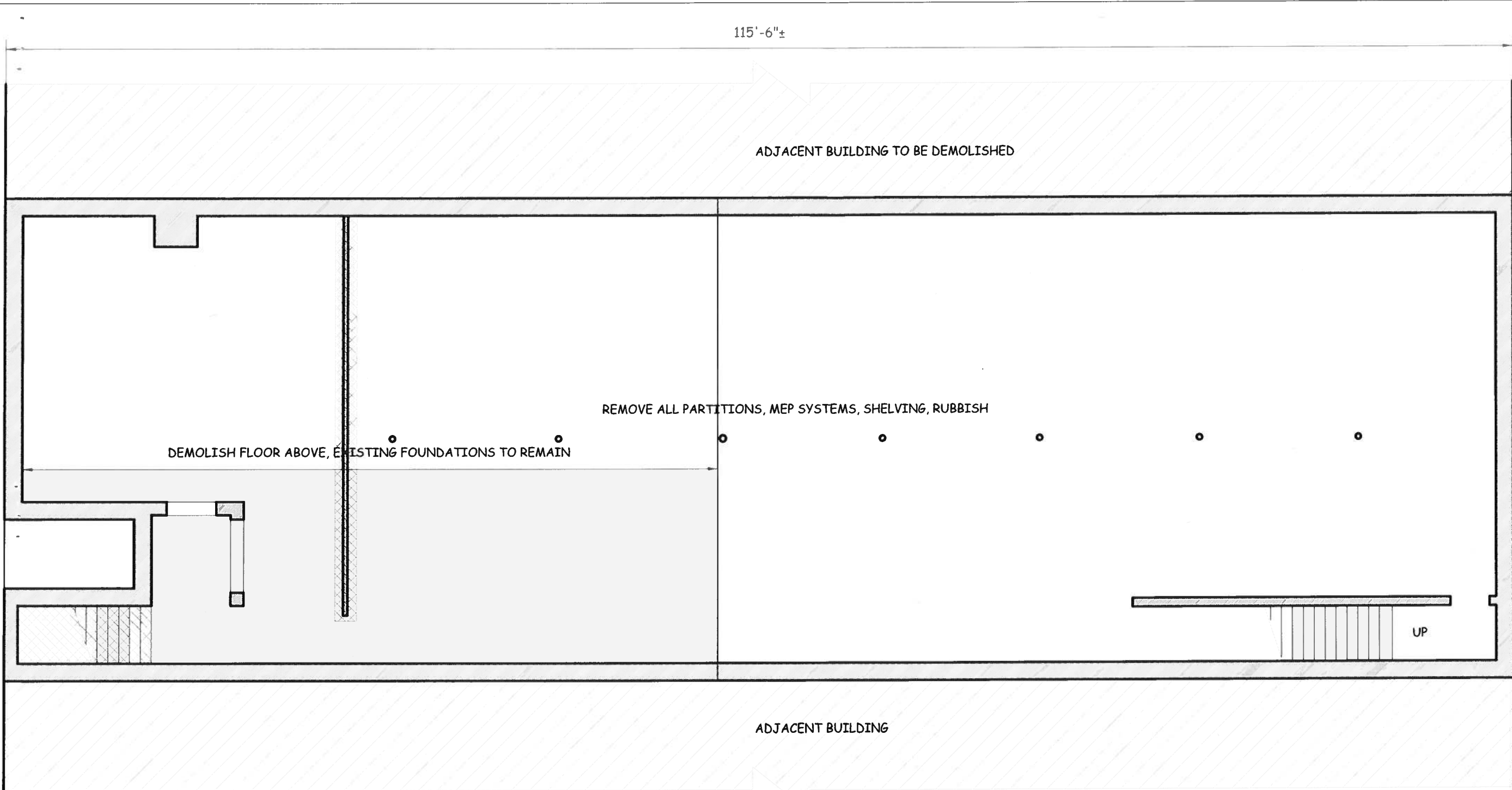
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DATE: SEPT 27, 2019  
REVISED:

DRAWING NUMBER

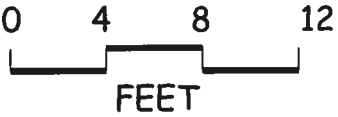
A-1.5

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**BASEMENT PLAN - DEMOLITION**



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ctw@ctwisearchitect.com

CONSULTANTS

NOTES

177 UNION STREET - PHASE 2  
REHABILITATION OF THE  
"MOBY DICK" BUILDING

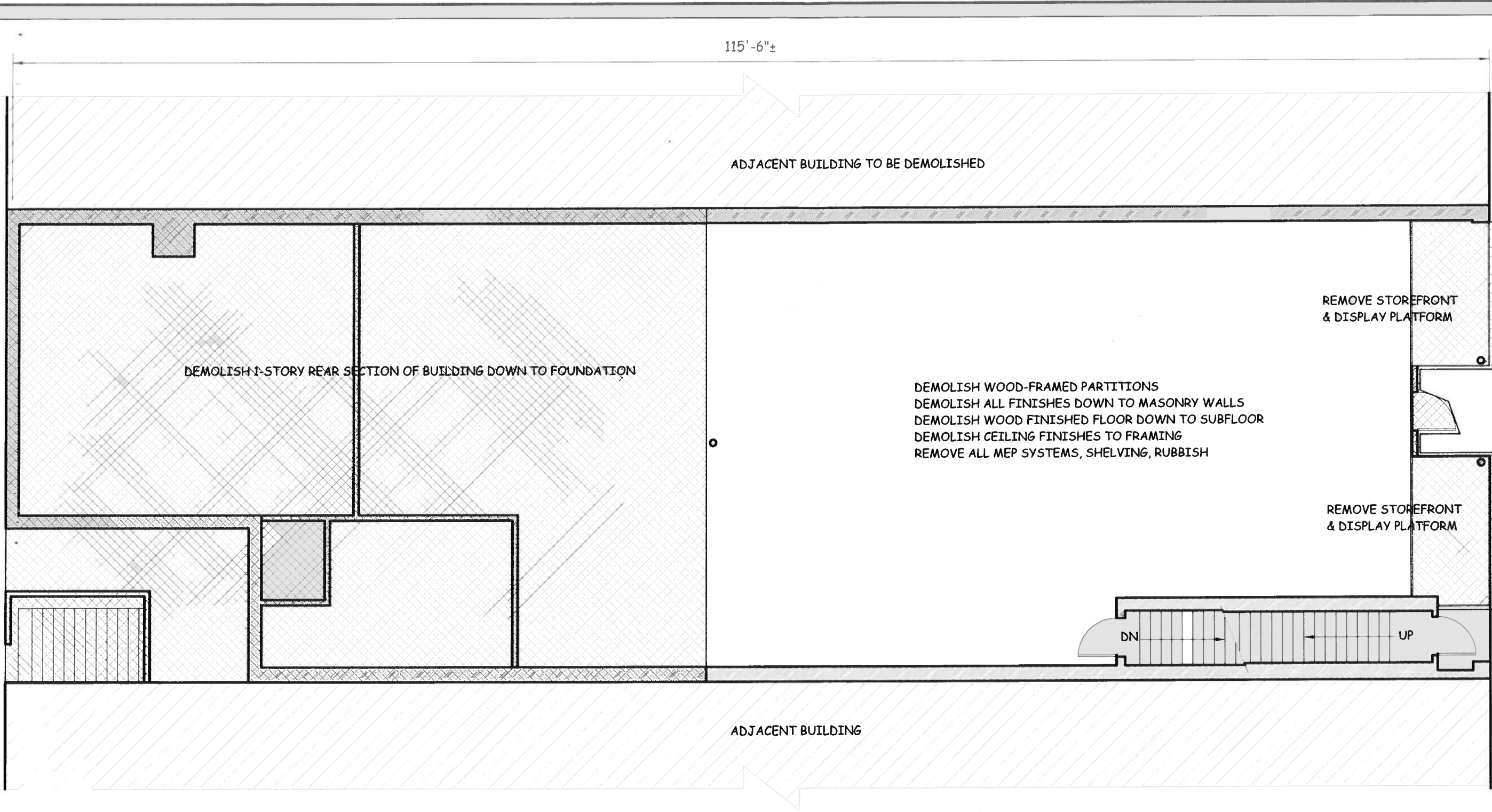
127-129 UNION STREET  
NEW BEDFORD, MA

TITLE  
DEMOLITION  
BASEMENT PLAN

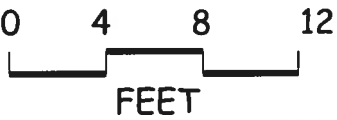
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DATE: SEPT. 27, 2019  
REVISED:  
DRAWING NUMBER

A-2.1 N

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FIRST FLOOR PLAN - DEMOLITION



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NOTES

17 UNION STREET - PHASE 2  
REHABILITATION OF THE  
"MOBY DICK" BUILDING

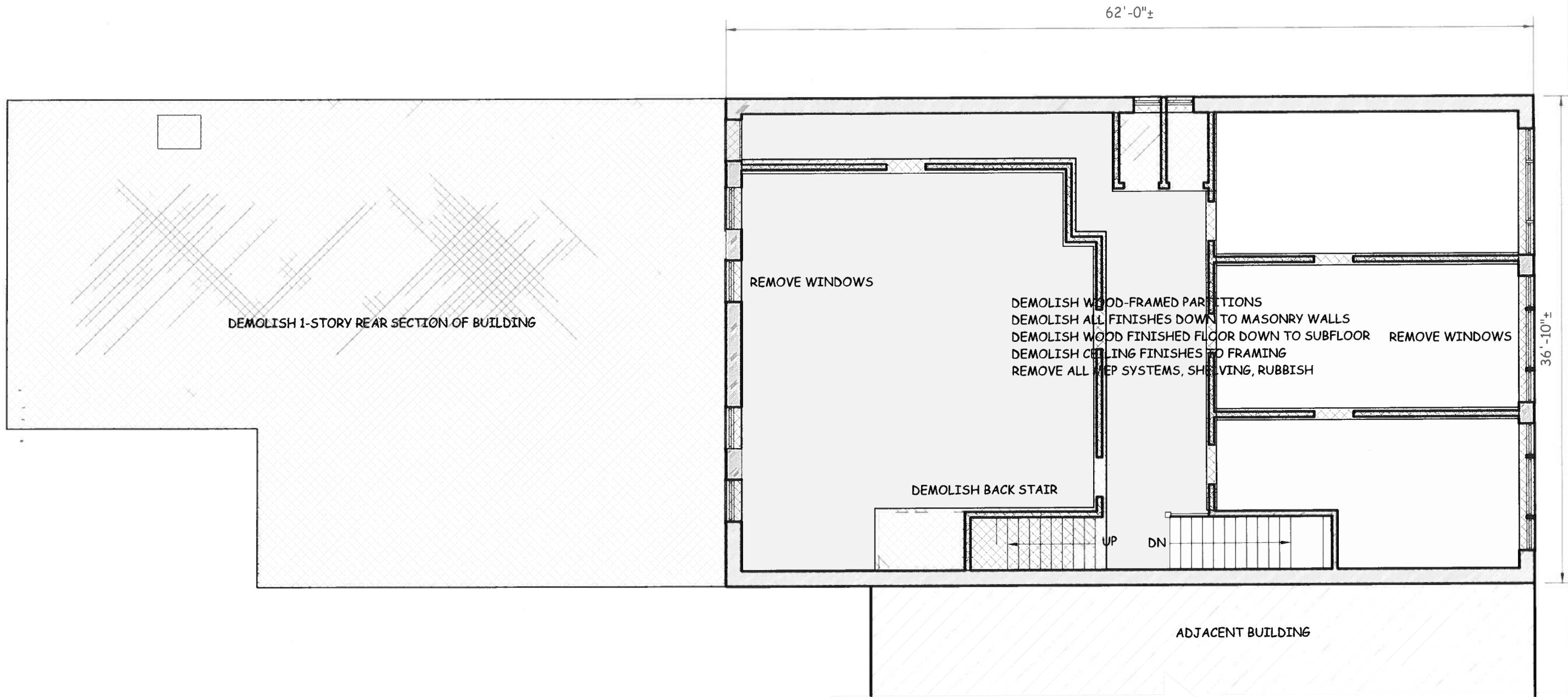
12 - 129 UNION STREET  
NEW BEDFORD, MA

TITLE  
DEMOLITION  
FIRST FLOOR PLAN

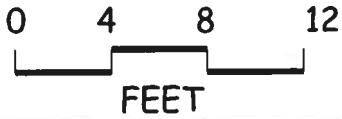
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DRAWING NUMBER

A-2.2 N

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SECOND FLOOR PLAN - DEMOLITION



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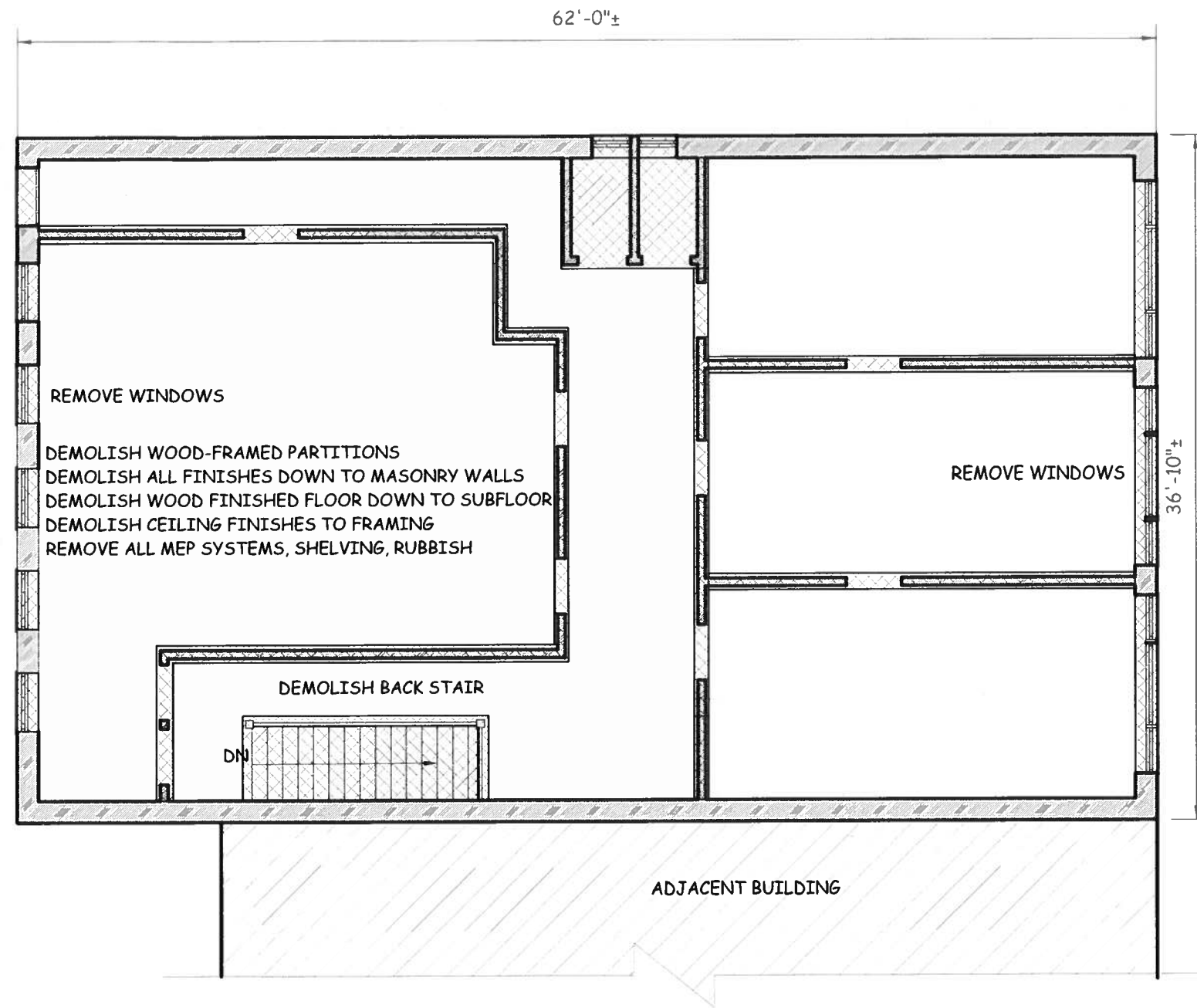
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REHABILITATION OF THE  
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127-129 UNION STREET  
NEW BEDFORD, MA

TITLE  
DEMOLITION  
SECOND FLOOR PLAN

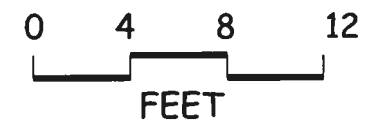
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REVISED:  
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A-2.3 N

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## THIRD FLOOR PLAN - DEMOLITION



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NOTES

177 UNION STREET - PHASE 2  
REHABILITATION OF THE  
"MOBY DICK" BUILDING

127-129 UNION STREET  
NEW BEDFORD, MA

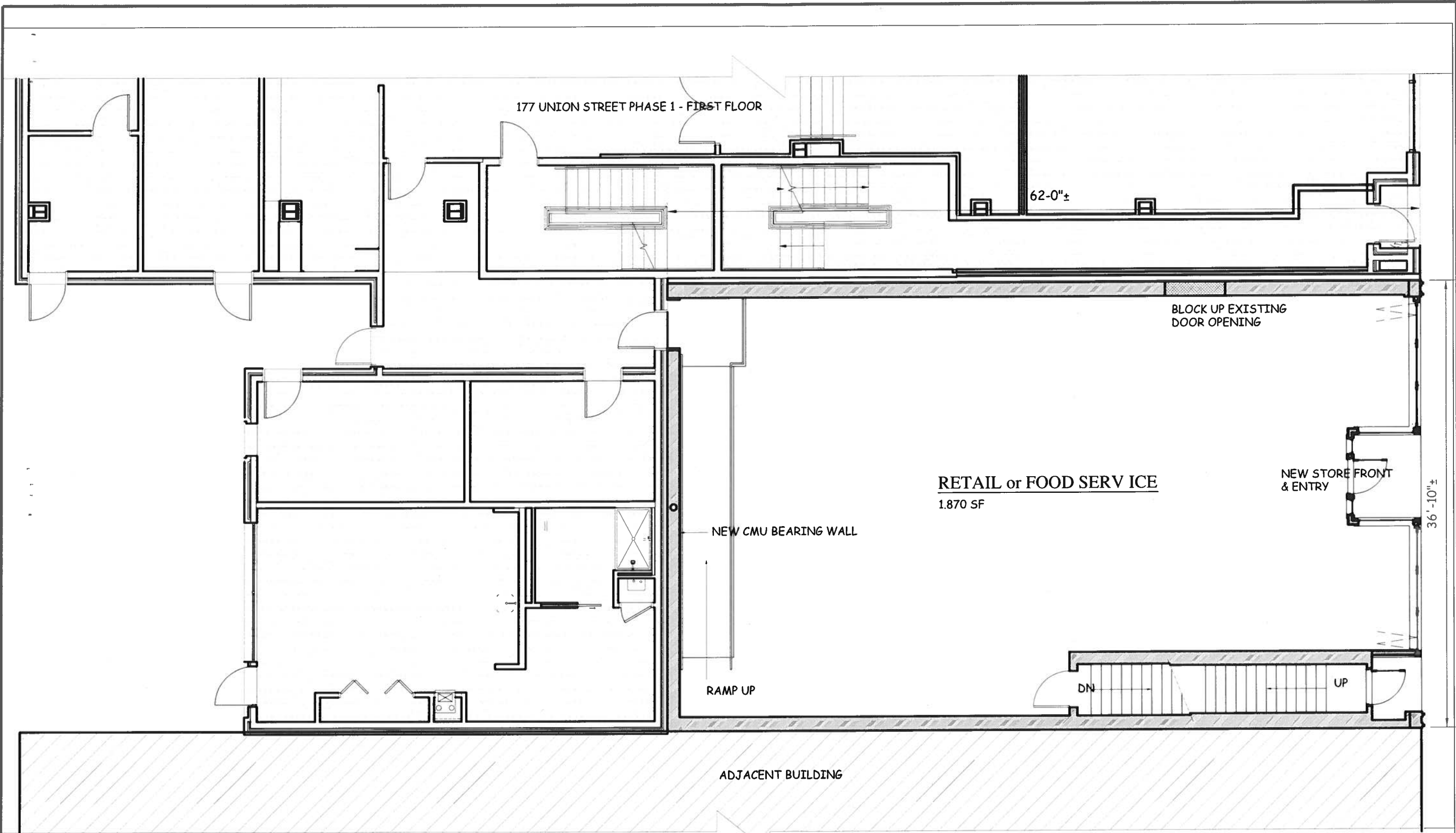
TITLE  
DEMOLITION  
THIRD FLOOR PLAN

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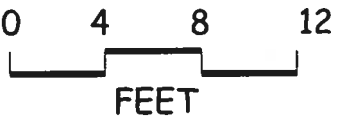
A-2.4 N

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**FIRST FLOOR PLAN**



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CONSULTANTS

NOTES

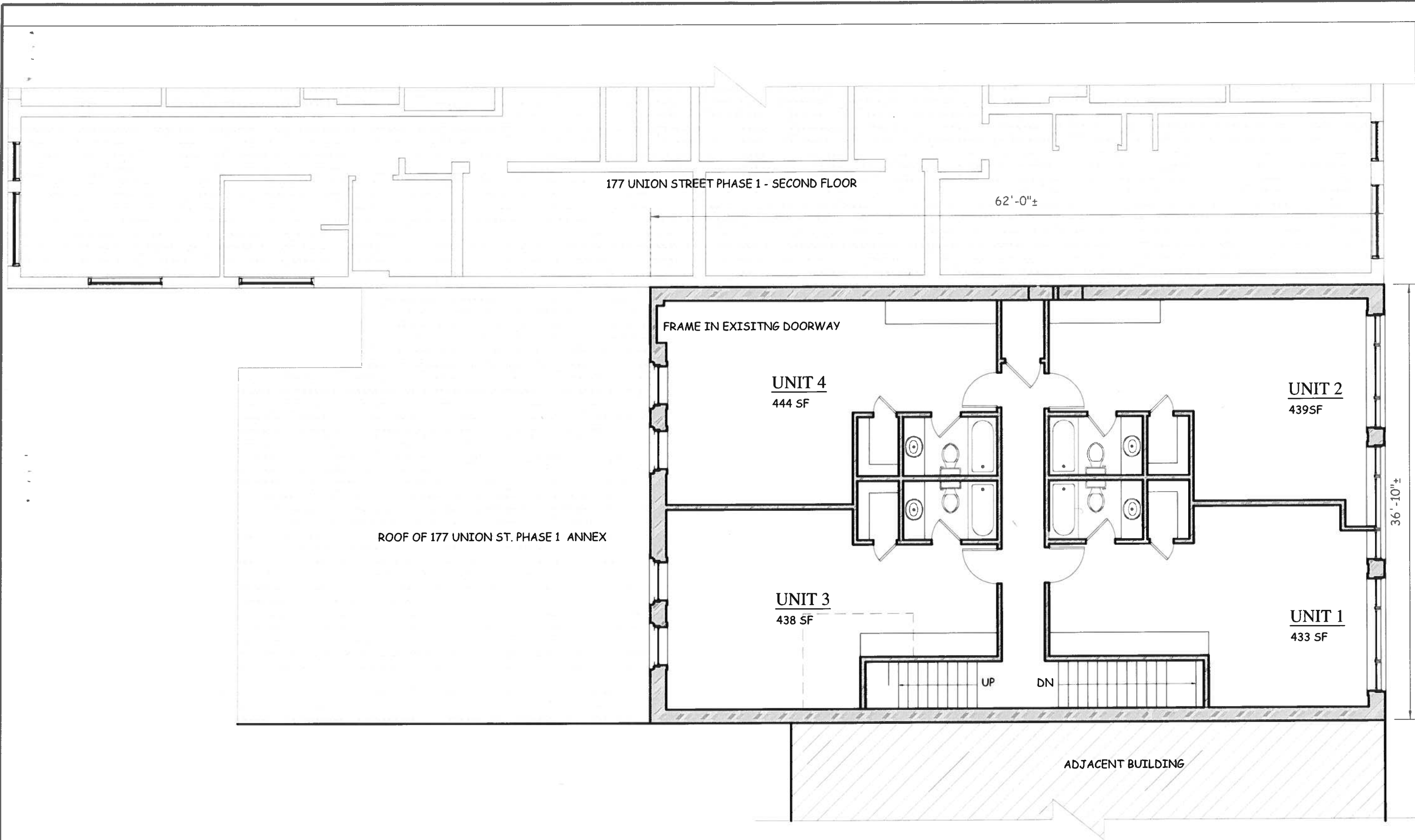
177 UNION STREET - PHASE 2  
REHABILITATION OF THE  
"MOBY DICK" BUILDING  
127-129 UNION STREET  
NEW BEDFORD, MA

TITLE  
PROPOSED  
FIRST FLOOR PLAN

DRAWN: CTW  
SCALE: 1/8" = 1'-0" @ 11x17 sheet size  
DATE: SEPT. 27, 2019  
REVISED:  
DRAWING NUMBER

A-3.2 N

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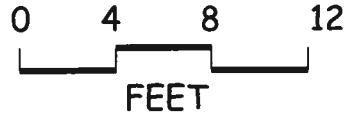
177 UNION STREET - PHASE 2  
REHABILITATION OF THE  
"MOBY DICK" BUILDING

127-129 UNION STREET  
NEW BEDFORD, MA

TITLE  
PROPOSED  
SECOND FLOOR PLAN

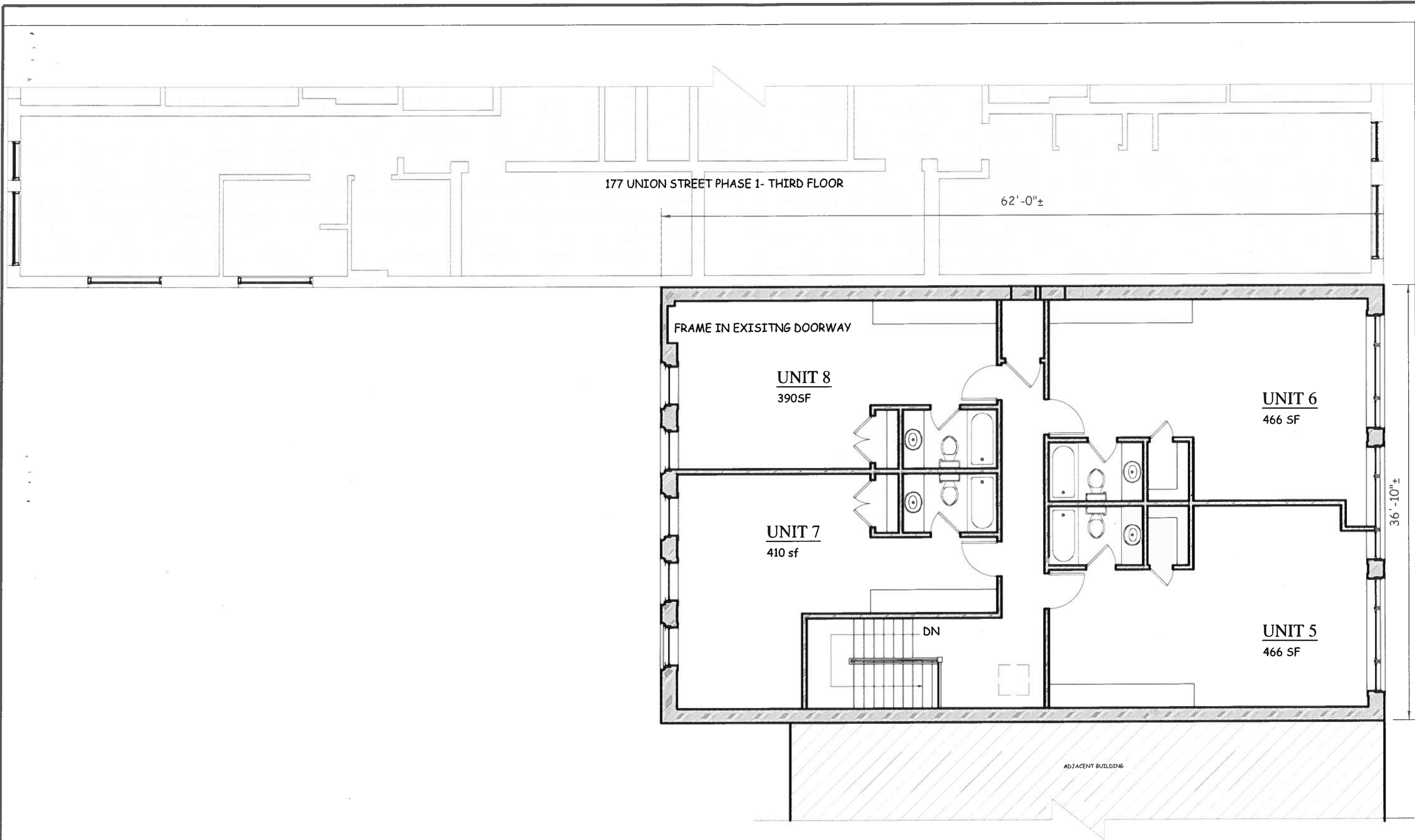
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DATE: SEPT. 27, 2019  
REVISED:  
DRAWING NUMBER

SECOND FLOOR PLAN



A-3.3 N

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**THIRD FLOOR PLAN**



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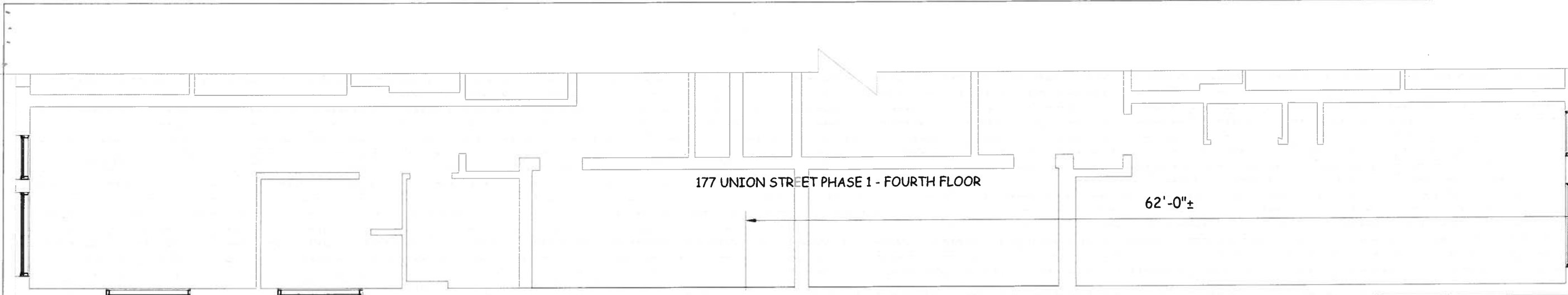
177 UNION STREET - PHASE 2  
REHABILITATION OF THE  
"MOBY DICK" BUILDING  
127-129 UNION STREET  
NEW BEDFORD, MA

TITLE  
PROPOSED  
THIRD FLOOR PLAN

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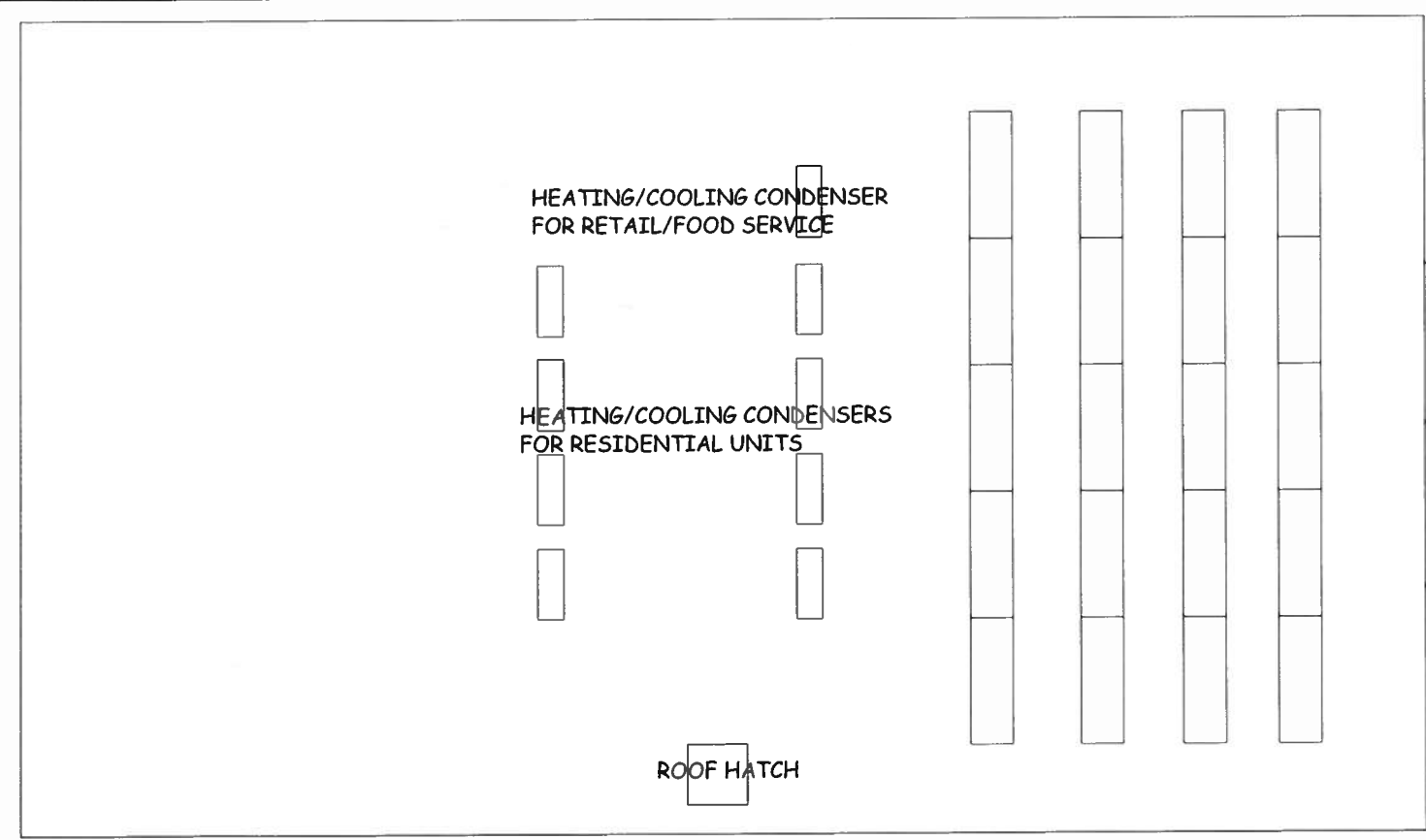
A-3.4 N

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177 UNION STREET PHASE 1 - FOURTH FLOOR

62'-0"±



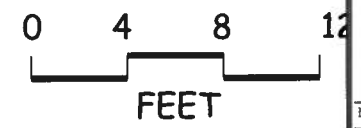
HEATING/COOLING CONDENSER  
FOR RETAIL/FOOD SERVICE

HEATING/COOLING CONDENSERS  
FOR RESIDENTIAL UNITS

ROOF HATCH

ADJACENT BUILDING

# ROOF PLAN



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NOTES

177 UNION STREET - PHASE 2  
REHABILITATION OF THE  
"MOBY DICK" BUILDING

127-129 UNION STREET  
NEW BEDFORD, MA

TITLE  
PROPOSED  
ROOF PLAN

DRAWN: CTW  
SCALE: 1/8" = 1'-0" @ 11x17 sheet size  
DATE: SEPT 27, 2019  
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DRAWING NUMBER

A-3.5 N

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## SOUTH ELEVATION

0 4 8 12  
FEET

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NOTES

177 UNION STREET - PHASE 2  
REHABILITATION OF THE  
"MOBY DICK" BUILDING

127-129 UNION STREET  
NEW BEDFORD, MA

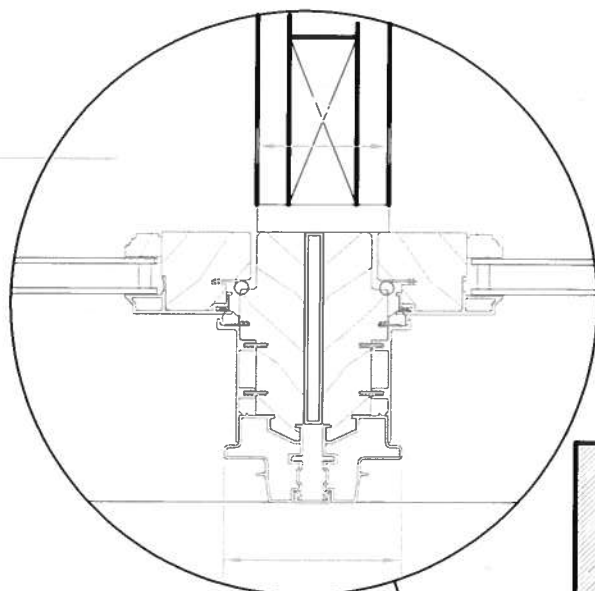
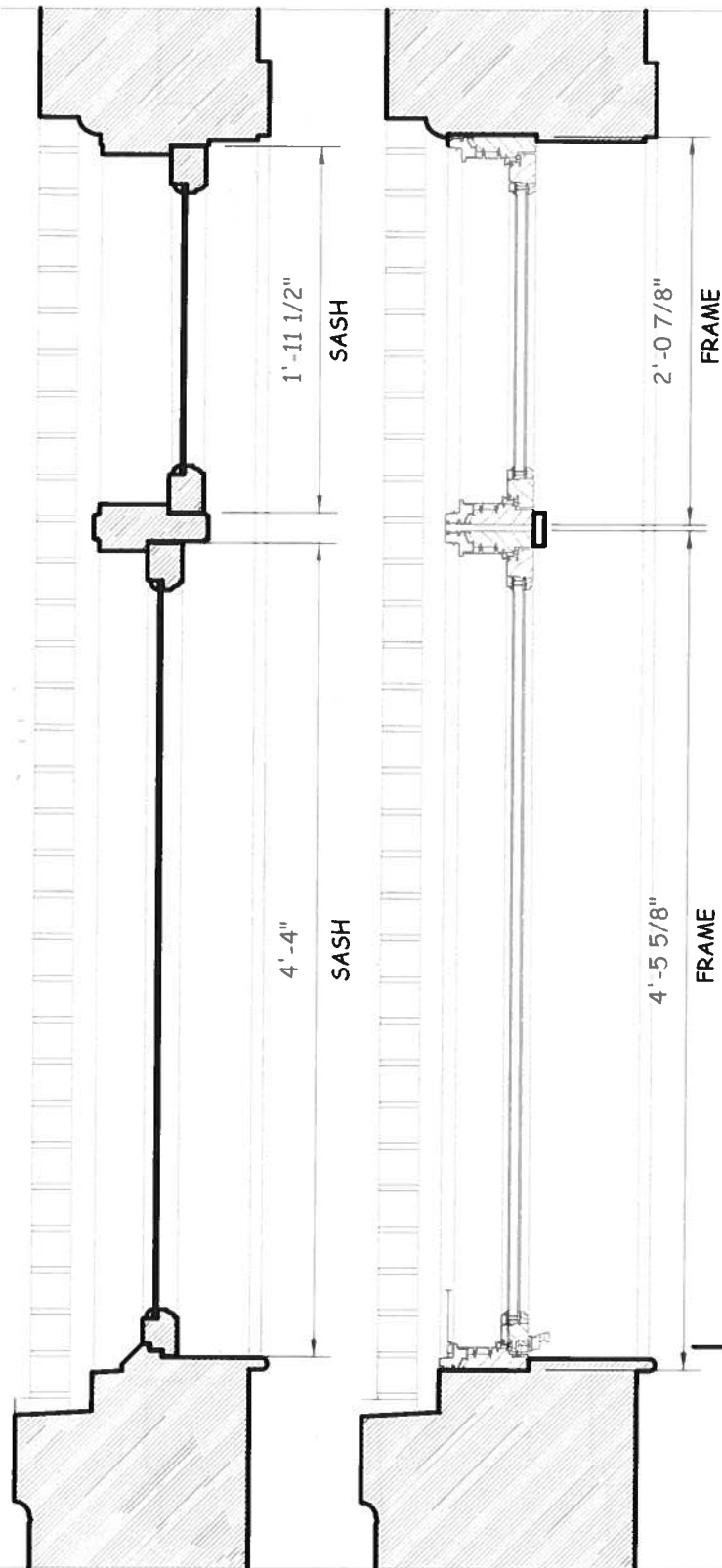
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PROPOSED  
SOUTH ELEVATION

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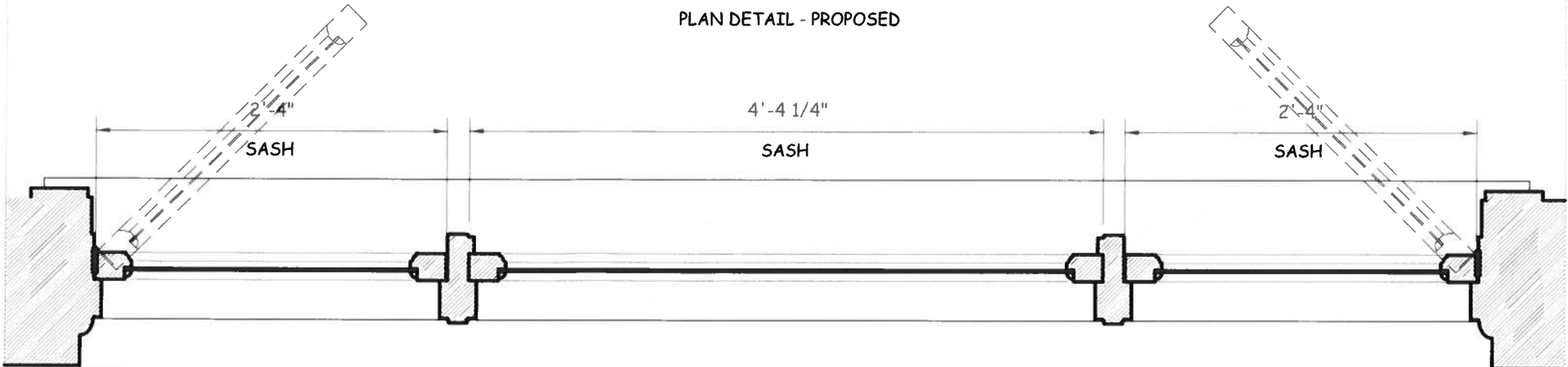
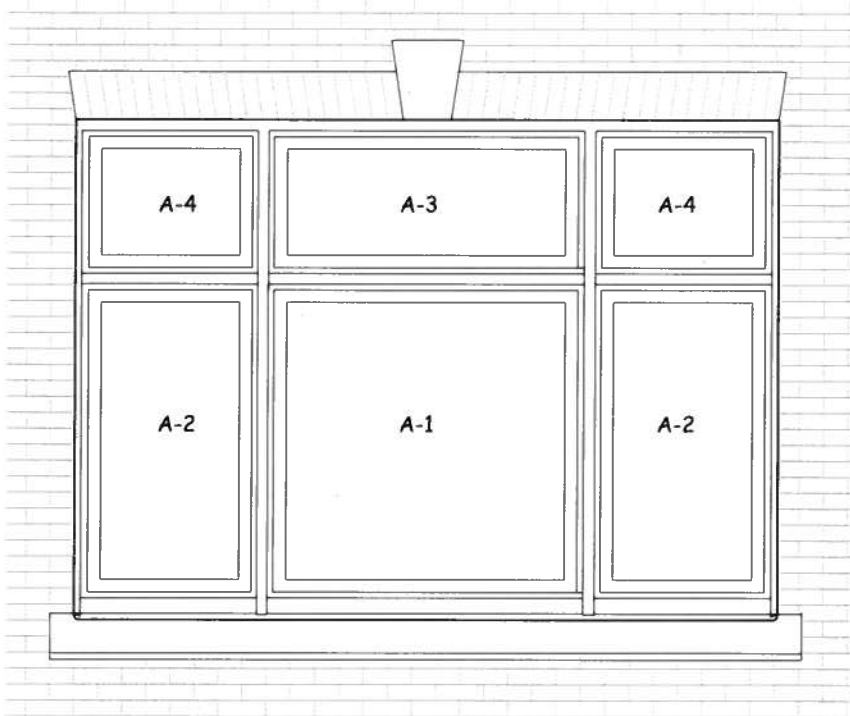
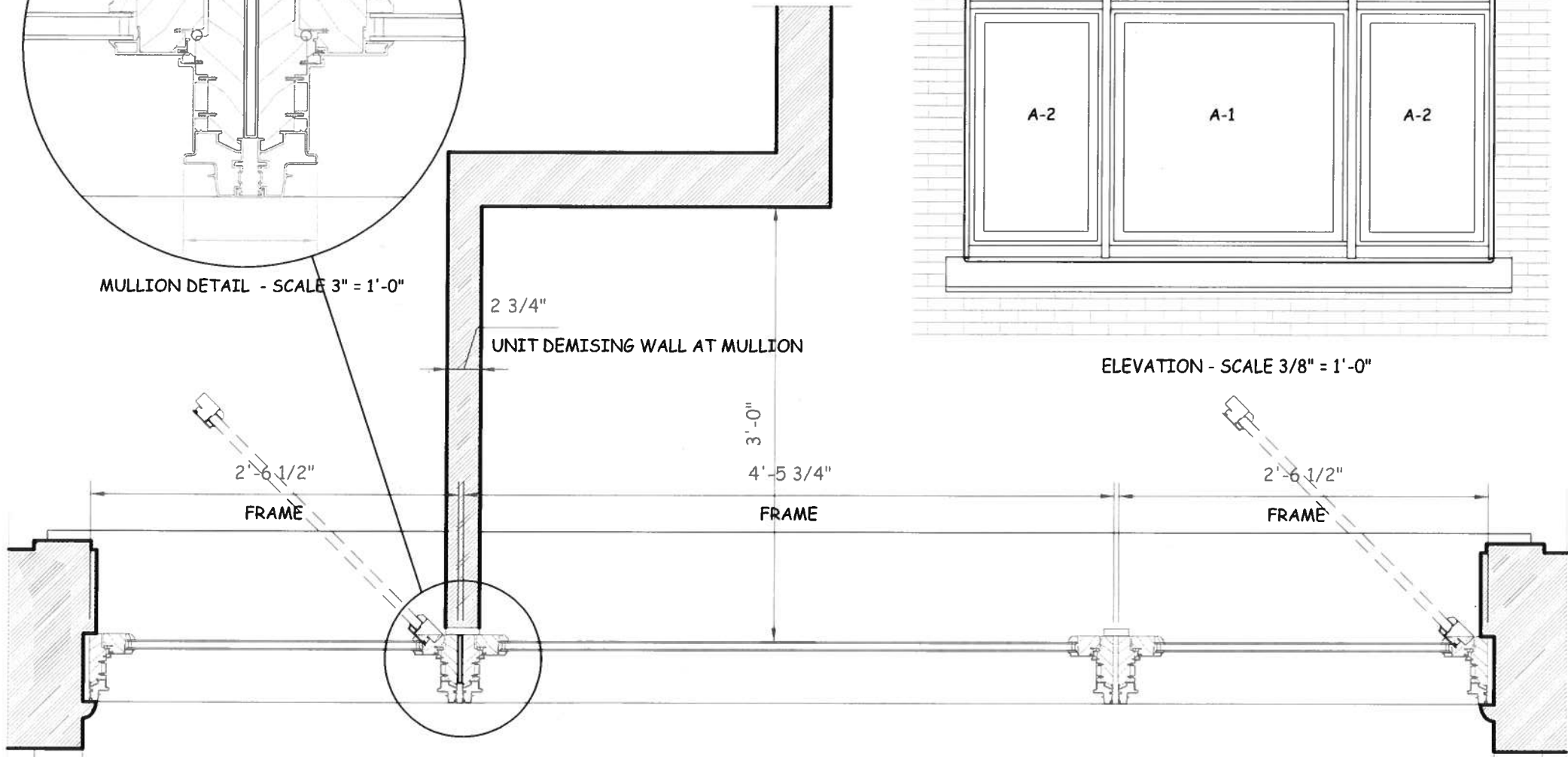
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A-3.6

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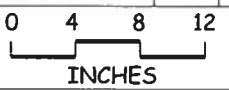
**WINDOWS TYPE A**  
SEE WINDOW SCHEDULE - A-4.5



VERT. SECTION EXISTING    VERT. SECTION PROPOSED  
SCALE 1" = 1'-0"

PLAN DETAIL - PROPOSED  
SCALE 1" = 1'-0"

PLAN DETAIL - EXISTING  
SCALE 1" = 1'-0"



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NOTES

177 UNION STREET - PHASE 2  
REHABILITATION OF THE  
"MOBY DICK" BUILDING

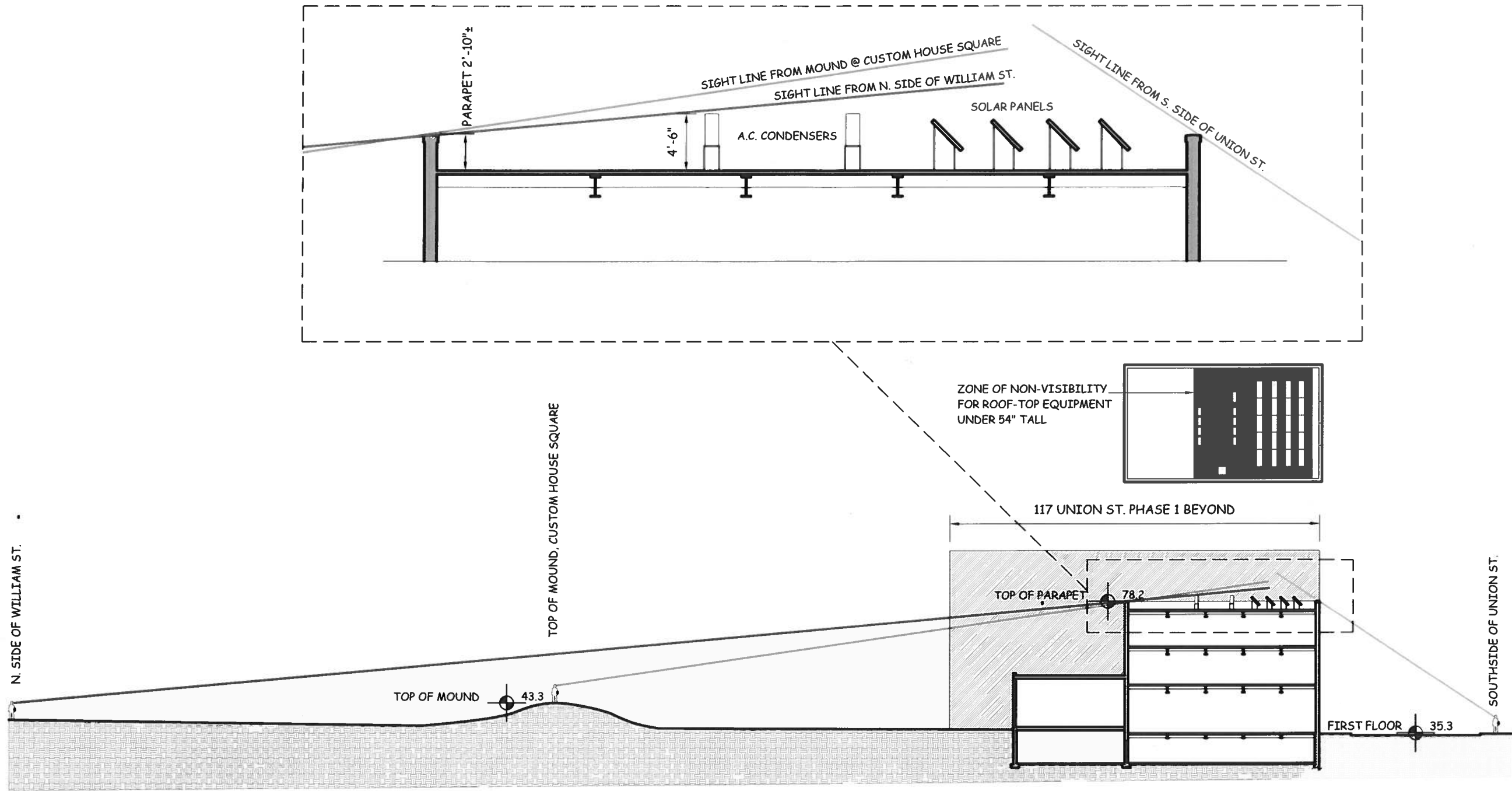
127-129 UNION STREET  
NEW BEDFORD, MA

TITLE  
PROPOSED  
WINDOW TYPE A

DRAWN: CTW  
SCALE AS SHOWN @ 11x17 sheet size  
DATE: SEPT. 27, 2019  
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DRAWING NUMBER

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A-4.1



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NOTES

177 UNION STREET - PHASE 2  
REHABILITATION OF THE  
"MOBY DICK" BUILDING

127-129 UNION STREET  
NEW BEDFORD, MA

TITLE  
SIGHT LINE STUDY

DRAWN: CTW  
SCALE: N.T.S.  
DATE: SEPT 27, 2019  
REVISED:  
DRAWING NUMBER

A-5.1

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