

DEMOLITION LEGEND

- DEMOLITION - P & R ADJACENT WALLS TO PREPARE FOR NEW FINISH
- ▨ PATCH & REPAIR & INFILL T.M.E.
- P & R
- EXISTING CONSTRUCTION TO REMAIN
- ⤵ DEMO DOOR, FRAME & ALL ASSOCIATED HARDWARE
- 1 DEMOLITION KEY NOTE
- # < AD300 DEMOLITION ELEVATION VIEW KEY
- # EXISTING CONDITIONS PHOTO KEY

KEY NOTES

#	NOTE	#	NOTE
1	REMOVE EXISTING PARTITION IN ITS ENTIRETY. PATCH AND REPAIR ALL REMAINING ADJACENT PARTITIONS, FLOOR AND CEILING AS REQUIRED TO PROVIDE LIKE NEW CONDITION. COORDINATE WITH PLAN.	14	DEMOLISH NOTED PORTION OF EXISTING CMU WALL IN ITS ENTIRETY. PATCH & REPAIR ADJACENT WALL THAT IS E.T.R.
2	EXISTING COLUMN/STRUCTURE/WALL TO REMAIN. PATCH AND REPAIR TO PROVIDE LIKE NEW CONDITION.	15	DEMOLISH ENTIRE ROOF STRUCTURE, ROOFING MATERIALS, OVERHANG AND ITS CONNECTIONS TO WALLS E.T.R. IN THEIR ENTIRETY.
3	REMOVE ALL EXISTING CEILINGS, CEILING GRIDS, SOFFITS AND CONNECTIONS TO STRUCTURE ABOVE IN THEIR ENTIRETY THROUGHOUT, U.N.O.	16	ENTIRE HATCHED AREA TO BE EXCAVATED AS NECESSARY FOR INSTALLATION OF NEW FOUNDATIONS. COORDINATE WITH STRUCTURAL AND CIVIL DRAWINGS.
4	EXISTING LIGHTING FIXTURES TO BE REMOVED THROUGHOUT, U.N.O.	17	EXISTING STEEL STRUCTURE TO BE DEMOLISHED IN ITS ENTIRETY, INCLUDING ALL WALLS, ROOFING, FRAMING, E.T.C.
5	EXISTING FLOOR FINISHES TO BE REMOVED TO THE SUBFLOOR THROUGHOUT, U.N.O. PATCH AND REPAIR SLAB FOR POLISHING.	18	EXISTING FOUNDATION AT DEMOLISHED PORTION OF THE BUILDING TO BE DEMOLISHED IN ITS ENTIRETY.
6	REFER TO PLUMBING DEMO SHEETS FOR MORE INFO.	19	REMOVE ALL FLOOR, CEILING AND WALL MOUNTED FIXTURES AND MILLWORK FROM PREVIOUS TENANT, U.N.O.
7	REFER TO ELECTRICAL DEMO SHEETS FOR MORE INFO.	20	REMOVE EXISTING PLUMBING FIXTURES. CUT AND CAP ALL ABANDONED FIXTURES. COORDINATE WITH PLAN.
8	REFER TO MECHANICAL DEMO SHEETS FOR MORE INFO.	21	DEMOLISH AND REMOVE EXISTING FLOORING IN ITS ENTIRETY. EXCAVATE EXISTING EARTH TO A DEPTH NECESSARY TO INSTALL NEW CONCRETE SLAB, COORDINATE WITH STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
9	REMOVE EXISTING EXTERIOR AWNING IN ITS ENTIRETY.	22	TRENCH EXISTING EARTH AS REQUIRED TO INSTALL ALL UNDERGROUND UTILITIES, TYP. ENTIRE FLOOR, COORDINATE WITH PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
10	REMOVE EXISTING WINDOW AND/OR BOARDING IN ITS ENTIRETY. PATCH, REPAIR & MAINTAIN OPENING TO RECEIVE REPLACEMENT. ALL STONE SILLS ARE E.T.R.	23	REMOVE PORTIONS OF EXISTING FLOOR AS REQUIRED TO INSTALL PLUMBING SYSTEMS, COORDINATE WITH PLUMBING DRAWINGS.
11	REMOVE EXISTING DOOR, DOOR FRAME AND/OR BOARDING IN ITS ENTIRETY.	24	EXISTING PARTITION TO REMAIN IN ITS ENTIRETY.
12	DEMOLISH AND REMOVE EXISTING STEEL VAULT STRUCTURE	25	G.C. AND MASONRY SUBCONTRACTOR TO VISUAL INSPECT EXISTING MASONRY WALLS AND IDENTIFY AREAS REQUIRING RE-POINTING. MASONRY RE-POINTING SHALL BE CARRIED AS AN ALLOWANCE. COORDINATE WITH MASONRY CLEANINGS AND RE-POINTING SPECIFICATIONS.
13	DEMOLISH SOLID CONCRETE VAULT FOUNDATION.		

DEMOLITION SPECIFICATIONS

- GENERAL
 - SUBMIT FOR APPROVAL SELECTIVE DEMOLITION SCHEDULE, INCLUDING SCHEDULE AND METHODS FOR CAPPING AND CONTINUING UTILITY SERVICES.
 - USE ADEQUATE NUMBERS OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK OF THIS SECTION.
 - ALL WORK SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE DIVISION OF INDUSTRIAL SAFETY, OSHA, 29 CFR 10 AND ALL OTHER LOCAL, STATE AND FEDERAL AGENCIES AND AUTHORITIES HAVING JURISDICTION.
 - THE DEMOLITION CONTRACTOR SHALL COORDINATE AND BE RESPONSIBLE FOR ALL THE MUNICIPALITIES & STATE OF MASSACHUSETTS REQUIREMENTS FOR PROTECTION OF PERSONS, PROPERTY, TRAFFIC, CONTROL, BARRICADES, TEMP. LIGHTING, ETC. FOR THE DURATION OF THE DEMOLITION CONTRACT.
 - GENERAL CONTRACTOR TO PROVIDE AND COORDINATE A SCHEDULE FOR DEMOLITION WITH SPECIFIC ITEMS TO CONFORM WITH SCHEDULING FOR OTHER TRADES REQUIRED TO COMPLETE OR PERFORM A DIRECTLY RELATED PORTION OF WORK. THE G.C. SHALL COORDINATE WITH OWNER AND SUBMITTERS REGARDING DEMOLITION, NOISE, INTRUSIVE LIGHTING ETC. PRIOR TO CONSTRUCTION AT A PRE-CONSTRUCTION CONFERENCE.
- HANDLING
 - WHEN THE NATURE OF DEMOLITION WORK REQUIRES THEIR USE, ERECT AND MAINTAIN DUST CHUTES & BARRIERS FOR THE DISPOSAL OF MATERIALS, RUBBISH, AND DEBRIS.
 - REMOVE AND SALVAGE DEBRIS FROM THE SITE AS IT ACCUMULATES ON A DAILY BASIS. DO NOT STORE, SELL, BURN, OR OTHERWISE DISPOSE OF DEBRIS ON THE SITE. REMOVE ALL MATERIALS IN SUCH A MANNER AS TO PREVENT SPILLAGE, KEEP ALL PAVEMENTS AND AREAS ADJACENT TO AND LEADING FROM THE SITE CLEAN AND FREE OF MUD, DIRT, AND DEBRIS AT ALL TIMES. ALL MATERIALS SHALL BE DISPOSED OF IN A LEGAL MANNER OFF-SITE.
 - ERECT AND MAINTAIN TEMPORARY BRACING, SHORING, LIGHTS, PARTITIONS, BARRICADES, WARNING SIGNS, LIGHTS, AND GUARDS NECESSARY TO PROTECT ADJACENT BUILDING OCCUPANTS, AND WORKERS FROM INJURY, AND/OR DAMAGE, ALL IN ACCORDANCE WITH APPLICABLE RULES AND REGULATIONS.
 - DO NOT DAMAGE BUILDING ELEMENTS AND IMPROVEMENTS INDICATED TO REMAIN. ITEMS OF SALVAGE VALUE WHICH ARE NOT INCLUDED ON SCHEDULE OF SALVAGE ITEMS TO BE RETURNED TO OWNER SHALL BE REVIEWED WITH OWNER AS TO WHETHER THEY CAN BE REMOVED FROM THE PREMISES. STORAGE OR SALE OF ITEMS AT PROJECT SITE IS PROHIBITED. DEMOLISHED MATERIAL SHALL BE COMPLETELY REMOVED FROM THE SITE AND DISPOSED OF USING LEGAL METHODS.
 - DO NOT CLOSE OR OBSTRUCT THE MEANS OF EGRESS, CORRIDORS, OR OTHER OCCUPIED SPACES. REVIEW ANY SEQUENCE OR PHASING ISSUES W/ BKA ARCHITECTS AND THE MUNICIPALITY'S PROJECT REPRESENTATIVE. DO NOT INTERRUPT UTILITIES WITHOUT THE WRITTEN PERMISSION OF THE OWNER OR AUTHORITIES HAVING JURISDICTION. IF NECESSARY, PROVIDE TEMPORARY UTILITIES.
 - CEASE OPERATIONS IF PUBLIC SAFETY OR REMAINING STRUCTURES ARE ENDANGERED. PERFORM TEMPORARY CORRECTIVE MEASURES UNTIL OPERATIONS CAN BE CONTINUED PROPERLY.
- SEQUENCING AND EXECUTION
 - AFTER CAREFUL STUDY OF THE CONTRACT DOCUMENTS, DETERMINE THE LOCATION AND EXTENT OF SELECTIVE DEMOLITION TO BE PERFORMED.
 - VISIT THE SITE AND VERIFY THE EXTENT AND LOCATION OF SELECTIVE DEMOLITION REQUIRED PRIOR TO STARTING THE WORK.
 - CAREFULLY IDENTIFY LIMITS OF SELECTIVE DEMOLITION.
 - MARK INTERFACE SURFACES AS REQUIRED TO ENABLE WORKMAN TO ALSO IDENTIFY ITEMS TO BE REMOVED, ITEMS TO BE LEFT IN PLACE INTACT, ITEMS TO BE SALVAGED AND/OR FOR REUSE AND RELOCATION, AND ITEMS TO BE REMOVED AND SORTED FOR RECYCLING.
 - PREPARE AND FOLLOW AN ORGANIZED PLAN FOR DEMOLITION AND REMOVAL OF ITEMS.
 - SHUT OFF, CAP, AND OTHERWISE PROTECT EXISTING UTILITY LINES IN ACCORDANCE WITH THE REQUIREMENTS OF THE PUBLIC AGENCY OR UTILITY HAVING JURISDICTION. NOTIFY DIG-SAFE AND THE MUNICIPALITY PRIOR TO EXCAVATION.
 - COMPLETELY REMOVE ITEMS SCHEDULED TO BE SO DEMOLISHED AND REMOVED, LEAVING SURFACES CLEAN, SOLID, AND READY TO RECEIVE NEW MATERIALS SPECIFIED ELSEWHERE. IN ALL ACTIVITIES, COMPLY WITH PERTINENT REGULATIONS & GOVERNMENTAL AGENCIES HAVING JURISDICTION.
 - USE MEANS NECESSARY TO PREVENT DUST BECOMING A NUISANCE TO WORKERS IN THE BUILDING, THE PUBLIC, NEIGHBORING BUILDINGS, AND TO OTHER WORK BEING PERFORMED.
 - WHERE EXISTING CONSTRUCTION TO REMAIN IS AFFECTED BY DEMOLITION OR INSTALLATION OF NEW WORK, PATCH, REPAIR OR REPLACE THE WORK AT SURFACES WHICH HAVE BEEN DAMAGED AND FINISH TO MATCH EXISTING (T.M.E.) ADJACENT CONSTRUCTION.
 - FINISH NEW AND EXISTING SURFACES AS SCHEDULED. CLEAN EXISTING SURFACES OF DIRT, GREASE, AND LOOSE PAINT BEFORE REFINISHING.
 - COORDINATE THE REMOVAL, RELOCATION, REPLACEMENT, RE-USE, SHUT-OFF, STUB-OFF, CAPPING-OFF, OR UPGRADING OF ALL EXISTING, PLUMBING, HVAC, FIRE ALARM, SECURITY AND ELECTRICAL SYSTEMS, EQUIPMENT, AND APPURTENANCES- INCLUDING, BUT NOT LIMITED TO, UTILITY LINES, DUCTS, CONNECTIONS, PANELS, VENTS, FANS, PIPING, DEVICES, CONTROLS, OUTLETS, AND CONDUIT DURING CONSTRUCTION AS REQUIRED, AS SCHEDULED, OR AS SPECIFIED IN ACCORDANCE WITH ALL LOCAL, MUNICIPAL AND STATE CODES TO SUIT THE WORK.
- SCOPE

ITEMS TO BE DEMOLISHED AND REMOVED - INCLUDING BUT NOT LIMITED TO: ITEMS AS DELINEATED IN THE DRAWINGS AND NOTES HEREIN
REMOVAL OF HAZARDOUS MATERIALS:

 - IN THE EVENT THAT HAZARDOUS MATERIALS ARE UNCOVERED DURING DEMOLITION WHICH HAVE NOT BEEN RENDERED HARMLESS, THE G.C. SHALL IMMEDIATELY STOP WORK IN THE AREA AFFECTED AND REPORT THE CONDITION TO THE OWNER AND ARCHITECT IN WRITING. WORK SHALL NOT BE RESUMED UNTIL THE MATERIAL IS RENDERED HARMLESS.
 - G.C. SHALL COORDINATE THE HIRING OF A TESTING AGENCY WITH THE OWNER. THE OWNER SHALL CONTRACT WITH THE TESTING AGENCY DIRECTLY. THE G.C. SHALL IDENTIFY THE SUSPECT MATERIAL FOR THE AGENCY AND COORDINATE THE TESTING WITH HIS WORK AND THE CONSTRUCTION SCHEDULE. G.C. FORWARD ALL TESTING REPORTS AND DOCUMENTATION INDICATING REMOVAL OF HAZARDOUS MATERIALS TO OWNER AND ARCHITECT.
 - IN THE EVENT THE TESTING RESULTS INDICATE A HAZARDOUS MATERIAL, THE G.C. SHALL COORDINATE THE HIRING OF AN ABATEMENT COMPANY WITH THE OWNER. THE OWNER SHALL CONTRACT DIRECTLY WITH THE ABATEMENT COMPANY. THE G.C. SHALL COORDINATE THE ABATEMENT WITH HIS WORK AND THE CONSTRUCTION SCHEDULE. FINAL ABATEMENT REPORTS INDICATING THE REMOVAL OF HAZARDOUS MATERIALS SHALL BE FORWARDED TO THE OWNER AND THE ARCHITECT.

ARCHITECT

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CONSULTANT

SEAL

ISSUED

DATE ISSUANCE

09/18/20 ISSUED FOR BID

10/-/20 ISSUED FOR PERMIT

REVISIONS

1 10/28/20 RFI #1

OWNER/CLIENT

ASCEND

PROJECT

ASCEND CANNABIS
DISPENSARY

115 COGGESHALL STREET
NEW BEDFORD, MA

DRAWING TITLE

FIRST FLOOR
DEMOLITION PLANS &
NOTES

DRAWING INFORMATION

Job Number: 219246

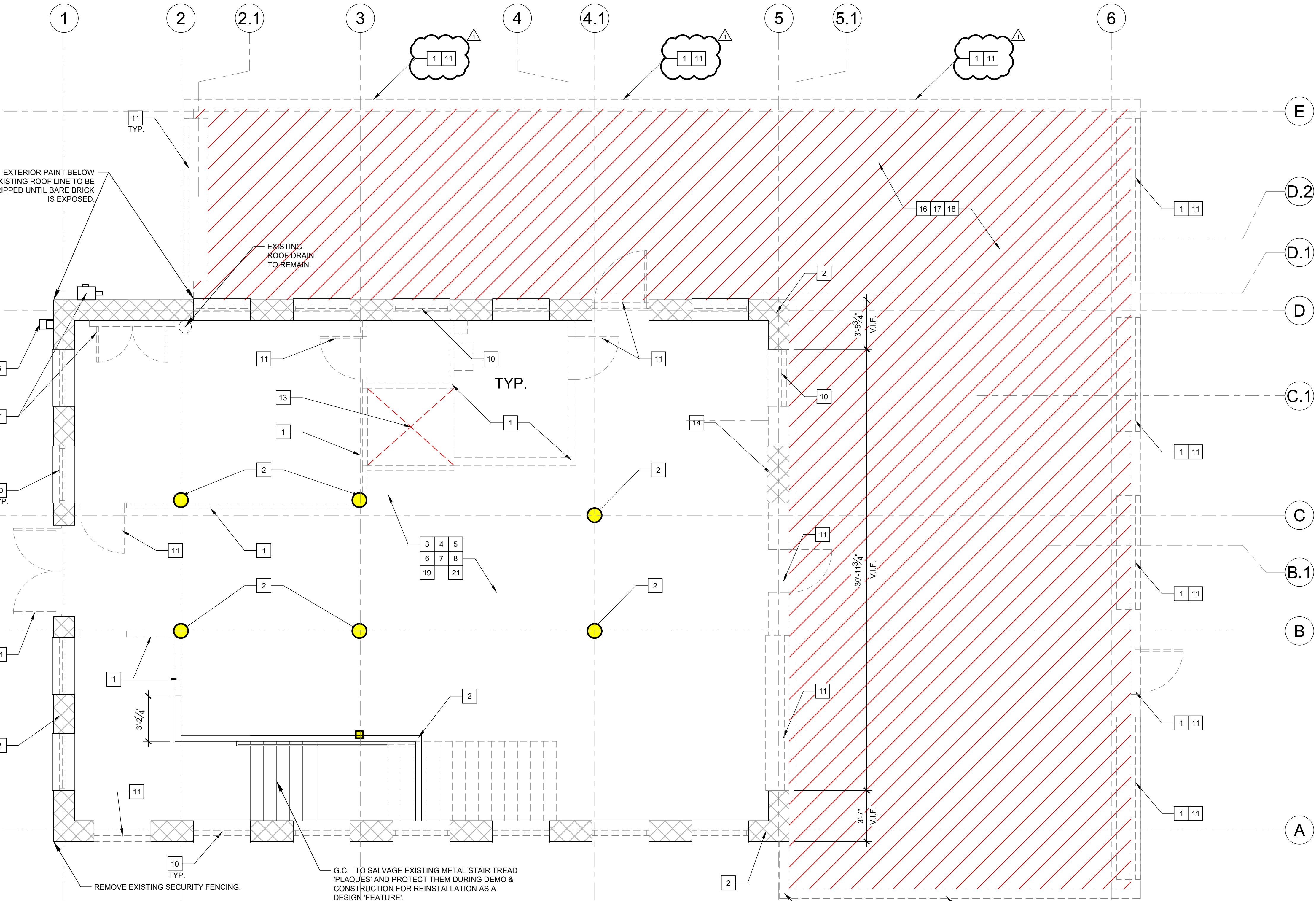
Checked By: NLL

Drawn By: CMD

DRAWING NUMBER

AD

100



1 DEMOLITION PLAN - FIRST FLOOR

SCALE: 1/4\" = 1'-0\"


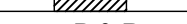


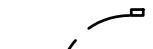
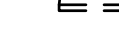
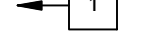

DEMOLITION SPECIFICATIONS

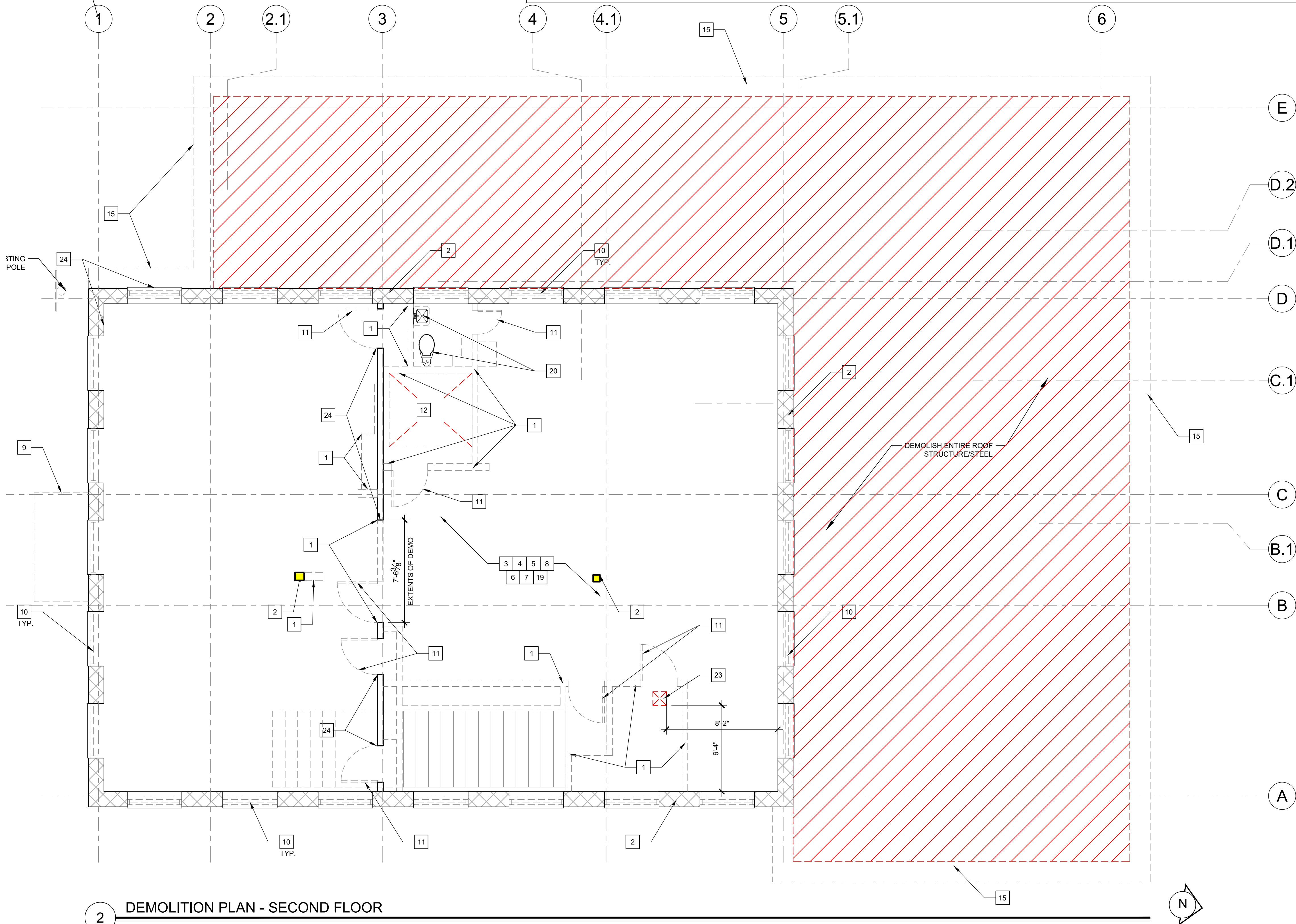
- GENERAL
- A. SUBMIT FOR APPROVAL SELECTIVE DEMOLITION SCHEDULE, INCLUDING SCHEDULE AND METHODS FOR CAPPING AND CONTINUING UTILITY SERVICES.
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- C. ALL WORK SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE DIVISION OF INDUSTRIAL SAFETY, OSHA, 29 CMR 10 AND ALL OTHER LOCAL, STATE AND FEDERAL AGENCIES AND AUTHORITIES HAVING JURISDICTION.
- D. THE DEMOLITION CONTRACTOR SHALL COORDINATE AND BE RESPONSIBLE FOR ALL THE MUNICIPALITIES & STATE OF MASSACHUSETTS REQUIREMENTS FOR PROTECTION OF PERSONS, PROPERTY, TRAFFIC, CONTROL, BARRICADES, TEMP. LIGHTING, ETC. FOR THE DURATION OF THE DEMOLITION CONTRACT.
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2. HANDLING
- A. WHEN THE NATURE OF DEMOLITION WORK REQUIRES THEIR USE, ERECT AND MAINTAIN DUST CURTAINES & BARRIERS FOR THE DISPOSAL OF MATERIALS, RUBBISH, AND DEBRIS.
- B. REMOVE AND SALVAGE DEBRIS FROM THE SITE AS IT ACCUMULATES ON A DAILY BASIS. DO NOT STORE, SELL, BURN, OR OTHERWISE DISPOSE OF DEBRIS ON THE SITE. REMOVE ALL MATERIALS IN SUCH A MANNER AS TO PREVENT SPILLAGE. KEEP ALL PAVEMENTS AND AREAS ADJACENT TO AND LEADING FROM THE SITE CLEAN AND FREE OF MUD, DIRT, AND DEBRIS AT ALL TIMES. ALL MATERIALS SHALL BE DISPOSED OF IN A LEGAL MANNER OFF-SITE.
- C. ERECT AND MAINTAIN TEMPORARY BRACING, SHORING, LIGHTS, PARTITIONS, BARRICADES, WARNING SIGNS, LIGHTS, AND GUARDS NECESSARY TO PROTECT ADJACENT BUILDING OCCUPANTS, AND WORKERS FROM INJURY, AND/OR DAMAGE, ALL IN ACCORDANCE WITH APPLICABLE RULES AND REGULATIONS.
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- F. CEASE OPERATIONS IF PUBLIC SAFETY OR REMAINING STRUCTURES ARE ENDANGERED. PERFORM TEMPORARY CORRECTIVE MEASURES UNTIL OPERATIONS CAN BE CONTINUED PROPERLY.
3. SEQUENCING AND EXECUTION
- A. AFTER CAREFUL STUDY OF THE CONTRACT DOCUMENTS, DETERMINE THE LOCATION AND EXTENT OF SELECTIVE DEMOLITION TO BE PERFORMED.
- B. VISIT THE SITE AND VERIFY THE EXTENT AND LOCATION OF SELECTIVE DEMOLITION REQUIRED PRIOR TO STARTING THE WORK.
- 1.1. CAREFULLY IDENTIFY LIMITS OF SELECTIVE DEMOLITION.
- 1.2. MARK INTERFACE SURFACES AS REQUIRED TO ENABLE WORKMAN TO ALSO IDENTIFY ITEMS TO BE REMOVED, ITEMS TO BE LEFT IN PLACE INTACT, ITEMS TO BE SALVAGED AND/OR FOR REUSE AND RELOCATION, AND ITEMS TO BE REMOVED AND SORTED FOR RECYCLING.
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4. SCOPE
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- B. G.C. SHALL COORDINATE THE HIRING OF A TESTING AGENCY WITH THE OWNER. THE OWNER SHALL CONTRACT WITH THE TESTING AGENCY DIRECTLY. THE G.C. SHALL IDENTIFY THE SUSPECT MATERIAL FOR THE AGENCY AND COORDINATE THE TESTING WITH HIS WORK AND THE CONSTRUCTION SCHEDULE. G.C. FORWARD ALL TESTING REPORTS AND DOCUMENTATION INDICATING REMOVAL OF HAZARDOUS MATERIALS TO OWNER AND ARCHITECT.
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DEMOLITION LEGEND

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|  | EXISTING CONSTRUCTION TO REMAIN |
|  | DEMO DOOR, FRAME & ALL ASSOCIATED HARDWARE |
|  | DEMOLITION KEY NOTE |
|  | DEMOLITION ELEVATION VIEW KEY |
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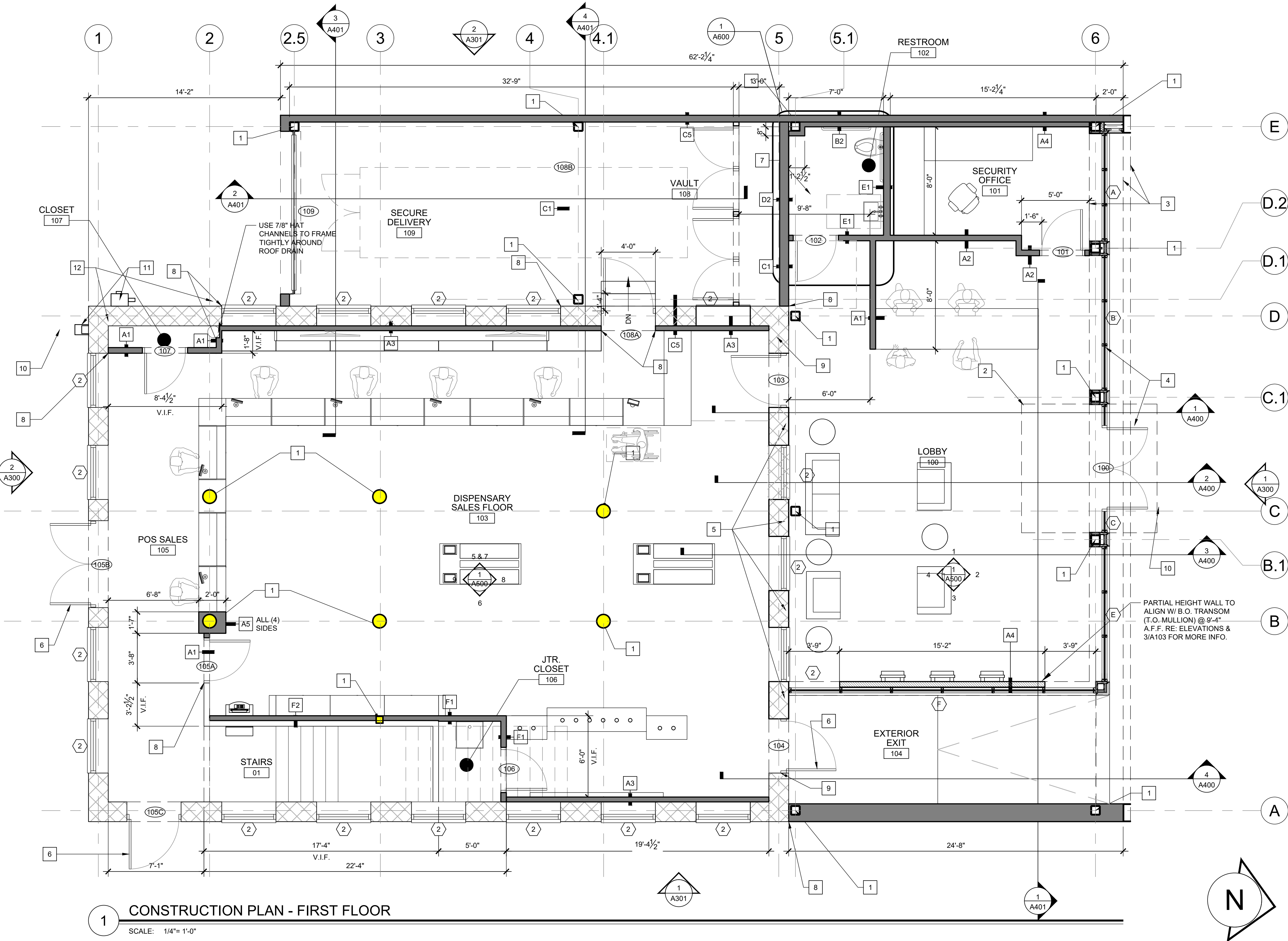


DEMOLITION PLAN - SECOND FLOOR

SCALE: 1/4" = 1'-0"

Last save: Feb 09, 2021 - 8:08pm

Drawing name: P:\Proj_2019\219246\300_CAD_and_Drawings\Contract_Dwgs\219246_AD-101-SECOND-FLOOR-DEMOLITION-PLAN-&-NOTES.dwg



PARTITION TYPE LEGEND	
SYMBOL	DESCRIPTION
	EXISTING PARTITION - REPAIR AS REQ'D TO MAINTAIN RATINGS AND ACCEPT FINAL TENANT FINISHES
	NEW FULL HEIGHT PARTITION
	NEW LOW HEIGHT PARTITION, SEE PARTITION TYPE FOR HEIGHT
	NEW FULL HEIGHT INSULATED PARTITION
	EXISTING BRICK WALL OR NEW BRICK WALL T.M.E.

GENERAL NOTES	
NOTE: ALL ASSEMBLIES TYPICAL U.N.O. FOR SHEAR WALLS OR SPECIALTY CONSTRUCTION.	
• ALL DIMENSIONS ARE TO FACE OF FRAMING, OR CENTERLINE OF STRUCTURE U.N.O.	
• DASHED CIRCLE IN RESTROOM INDICATED 5'-0" TURNING DIAMETER REQUIRED BY ADA.	
• STUD SIZES INDICATED ON INTERIOR PARTITIONS SHEET	
• INTERIOR DOORS ARE 4" OFF OF PERPENDICULAR WALL U.N.O.	
• IN SITUATIONS WHERE TENANTS' GC IS TO PROVIDE TYPE 'X' GYP. BD. FOR A RATED ASSEMBLY, THE TYPE 'X' GYP BD. IS REQUIRED TO GO BENEATH THE SHEATHING AND FINISH.	
• SEE SHEET A800 FOR DOOR TYPES.	
• SEE SHEET A103 FOR PARTITION TYPES.	
• PROVIDE DEFLECTION TRACKS AT WALLS WHICH GO TO THE UNDERSIDE OF THE DECKING.	

KEY NOTES	
#	NOTE
1	STRUCTURAL COLUMN
2	SOFFIT ABOVE SHOWN DASHED TYP., REFER TO RCP FOR DETAILS.
3	NEW STOREFRONT STRUCTURE ABOVE, REFER TO A300'S & A400'S FOR DETAILS.
4	NEW STOREFRONT SYSTEM AND ENTRY DOORS
5	NEW MASONRY INFILL T.M.E. TYP.
6	NEW EXTERIOR DOOR TYP.
7	NEW TRENCH FOR PLUMBING. COORD. W/MEP ENG. DWGS TYP.
8	NEW PARTITION TO ALIGN WITH ADJACENT EXISTING CONSTRUCTION. FOR EXISTING DOOR OR WINDOW OPENINGS, PARTITION TO BUTT UP TO EDGE OF FRAME OR ROUGH OPENING.
9	PATCH, REPAIR EXTERIOR WALL AFFECTED BY SCOPE OF DEMOLITION. REPLACE DAMAGED MASONRY AND TOOTH IN NEW BRICK INFILL AS REQUIRED TO PROVIDE CLEAN SMOOTH MASONRY SURFACE T.M.E.
10	LOCATION OF SIGNAGE - SHOWN FOR REFERENCE ONLY- SIGN FURNISHED, PERMITTED AND INSTALLED UNDER SEPARATED PERMIT.
11	REFER TO MEP DRAWINGS FOR MORE DETAILS ON MODIFICATIONS TO EXISTING SYSTEMS
12	G.C. AND MASONRY SUBCONTRACTOR TO VISUAL INSPECT EXISTING MASONRY WALLS AND IDENTIFY AREAS REQUIRING RE-POINTING. MASONRY REPOINTING SHALL BE CARRIED AS AN ALLOWANCE. COORDINATE WITH MASONRY CLEARING AND REPOINTING SPECIFICATIONS.

ARCHITECT

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CONSULTANT

SEAL

ISSUED	
DATE	ISSUANCE
09/18/20	ISSUED FOR BID
10/-/20	ISSUED FOR PERMIT
12/09/20	ISSUED FOR BID
03/02/21	SELECTIVE DEMOLITION

REVISIONS	
1	10/28/20 RFI #1

OWNER/CLIENT
ASCEND

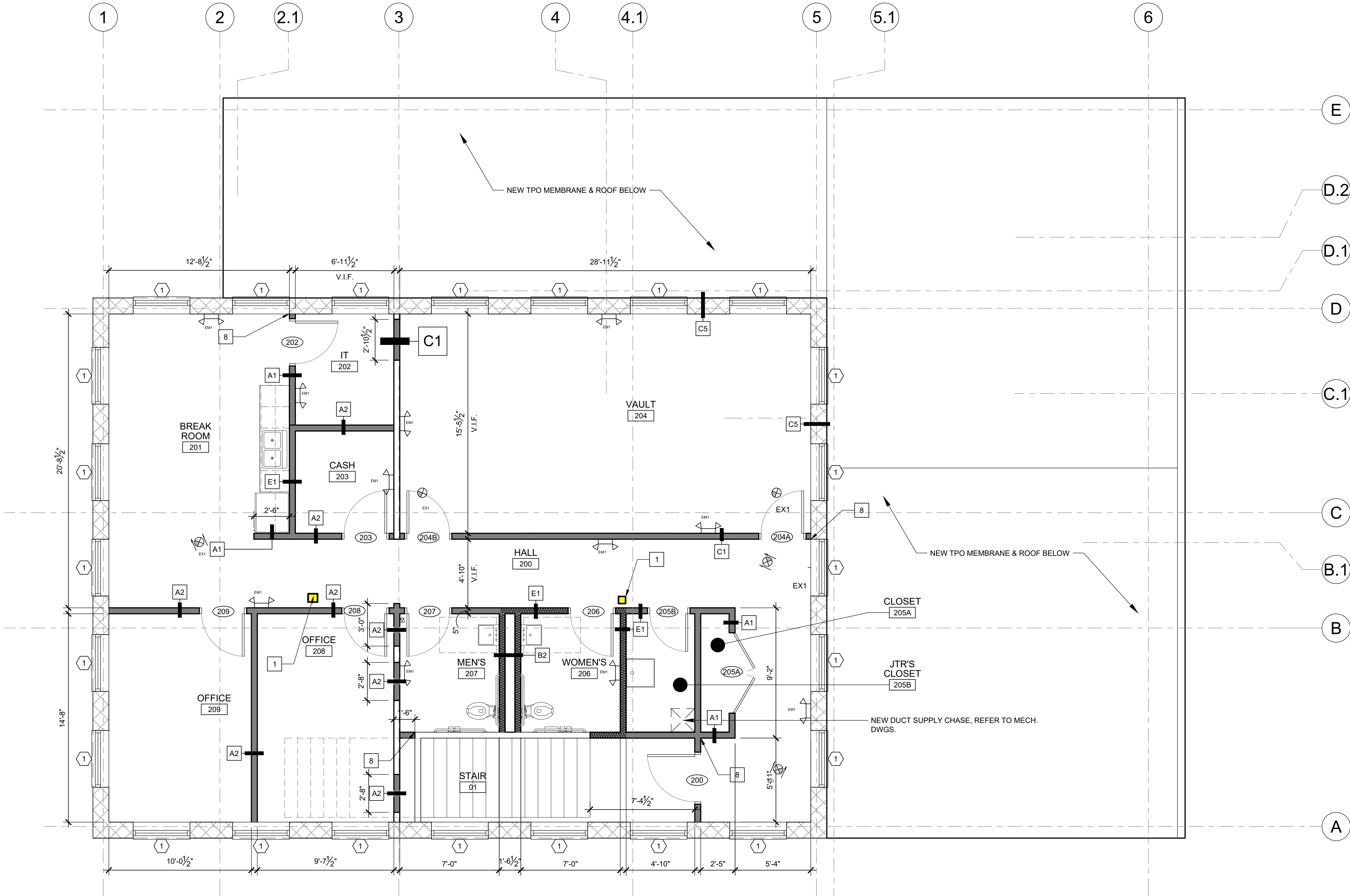
PROJECT
ASCEND CANNABIS
DISPENSARY

115 COGGESHALL STREET
NEW BEDFORD, MA

DRAWING TITLE
FIRST FLOOR
CONSTRUCTION PLAN

DRAWING INFORMATION
Job Number: 219246
Checked By: NLL
Drawn By: CMD
DRAWING NUMBER

A
100



1

CONSTRUCTION PLAN - FIRST FLOOR

SCALE: 1/4"= 1'-0"

PARTITION TYPE LEGEND	
SYMBOL	DESCRIPTION
	EXISTING PARTITION - REPAIR AS REQ'D TO MAINTAIN RATINGS AND ACCEPT FINAL TENANT FINISHES
	NEW FULL HEIGHT PARTITION
	NEW LOW HEIGHT PARTITION, SEE PARTITION TYPE FOR HEIGHT
	NEW FULL HEIGHT INSULATED PARTITION
	EXISTING BRICK WALL OR NEW BRICK WALL T.M.E.

GENERAL NOTES	
NOTE: ALL ASSEMBLIES TYPICAL U.N.O. FOR SHEAR WALLS OR SPECIALTY CONSTRUCTION.	
• ALL DIMENSIONS ARE TO FACE OF FRAMING, OR CENTERLINE OF STRUCTURE U.N.O.	
• DASHED CIRCLE IN RESTROOM INDICATED 5'-0" TURNING DIAMETER REQUIRED BY ADA.	
• STUD SIZES INDICATED ON INTERIOR PARTITIONS SHEET	
• INTERIOR DOORS ARE 4" OFF OF PERPENDICULAR WALL U.N.O.	
• IN SITUATIONS WHERE TENANTS' GC IS TO PROVIDE TYPE 'X' GYP. BD. FOR A RATED ASSEMBLY, THE TYPE 'X' GYP BD. IS REQUIRED TO GO BENEATH THE SHEATHING AND FINISH.	
• SEE SHEET A800 FOR DOOR TYPES.	
• SEE SHEET A103 FOR PARTITION TYPES.	
• PROVIDE DEFLECTION TRACKS AT WALLS WHICH GO TO THE UNDERSIDE OF THE DECKING.	

KEY NOTES		1
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REVISIONS

1	10/28/20 RFI #1

OWNER/CLIENT

ASCEND

PROJECT

ASCEND CANNABIS DISPENSARY

115 COGGESHALL STREET
NEW BEDFORD, MA

DRAWING TITLE

SECOND FLOOR
CONSTRUCTION PLAN

DRAWING INFORMATION

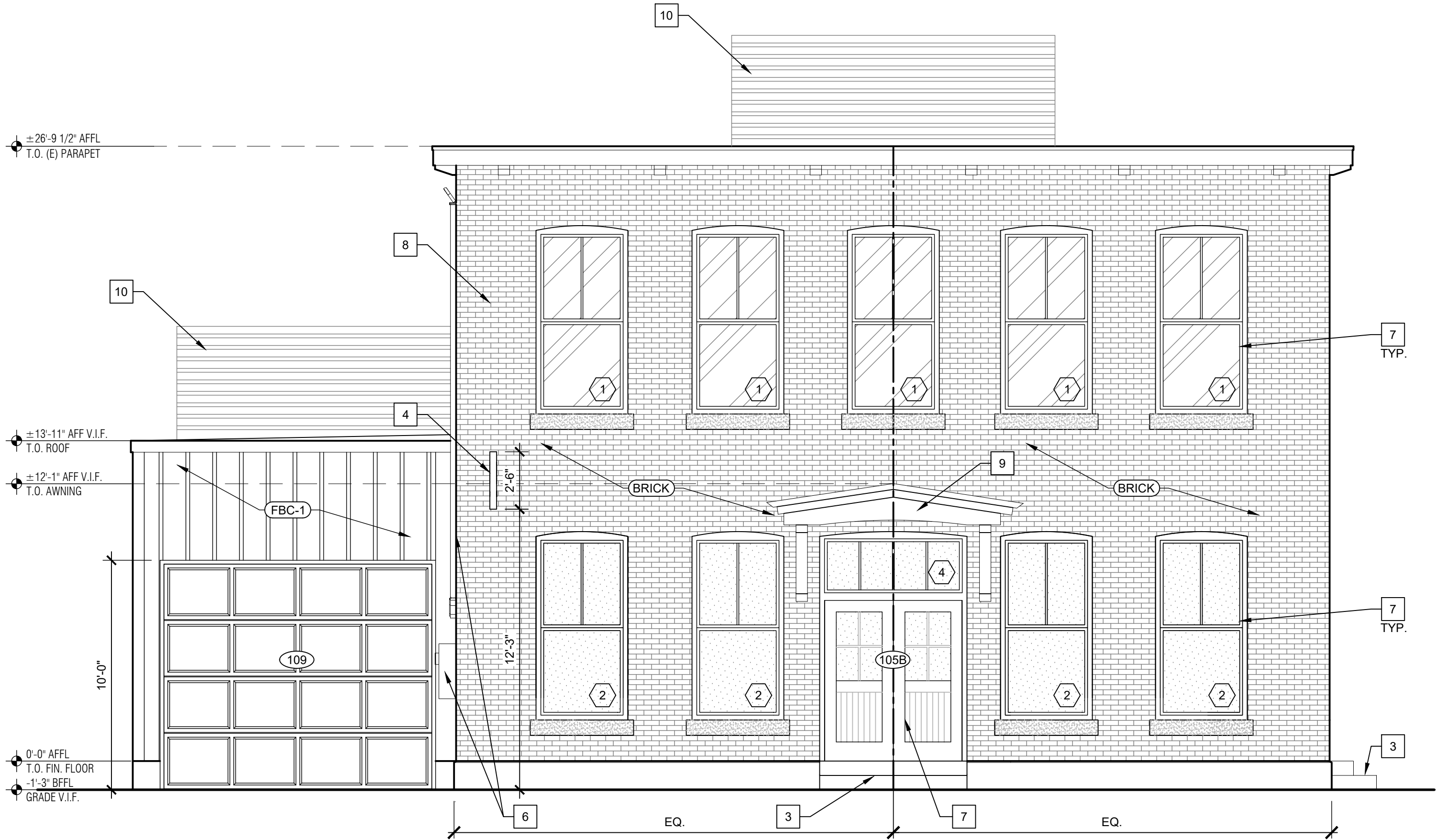
Job Number: 219246
Checked By: NLL
Drawn By: CMB

DRAWING NUMBER

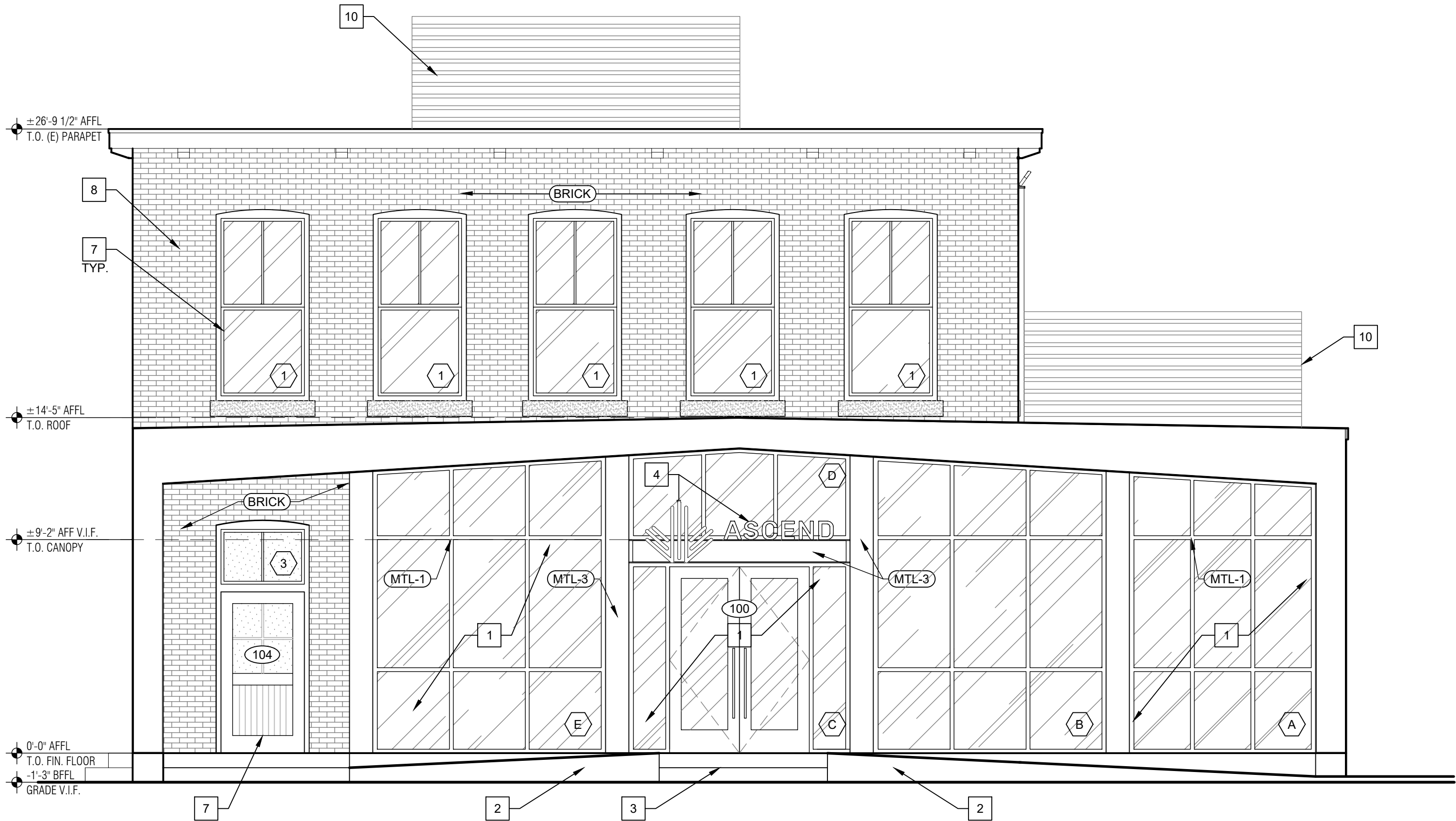
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101

GENERAL NOTES		
NOTE: REFER TO DOOR AND WINDOW SCHEDULE FOR ALL DOORS AND STOREFRONT SYSTEMS TYP.		
● ALL WINDOW AND DOOR GLAZING IS TO BE CLEAR / INSULATED UNLESS NOTED OTHERWISE.		
● WINDOW AND DOOR GLAZING TO BE TEMPERED AT LOCATIONS INDICATED WITH "".		
● NEW STOREFRONT FRAMING SYSTEM TO BE SUPPLIED BY G.C.		
● G.C. TO VERIFY ALL FRAMING OPENING SIZES AND MATERIALS WITH ARCHITECT PRIOR TO FABRICATION.		
● STOREFRONT SYSTEM BASED ON KAWNEER 451T WITH 1" INSULATED GLAZING, FRONT SET, COLOR: BLACK.		
KEY NOTES		
#	NOTE	
1	NEW STOREFRONT SYSTEM AND ENTRY DOORS	
2	NEW ACCESSIBLE SLOPED ENTRY WALKWAY & LANDING	
3	NEW CONCRETE STAIR, LANDING - REFER TO DETAILS IN A400'S	
4	NEW SIGNAGE SIGN FURNISHED, PERMITTED AND INSTALLED UNDER SEPARATED PERMIT.	
5	NEW INSULATED HOLLOW METAL DOOR AND FRAME SYSTEM	
6	REFER TO ELEC. DWGS. FOR MODIFICATIONS TO EXISTING ELEC. EQUIPMENT.	
7	NEW CUSTOM HISTORICAL REPLACEMENT DOOR OR WINDOW IN EXIST. LOCATION.	
8	G.C. AND MASONRY SUBCONTRACTOR TO VISUAL INSPECT EXISTING MASONRY WALLS AND IDENTIFY AREAS REQUIRING RE-POINTING. MASONRY RE-POINTING SHALL BE CARRIED AS AN ALLOWANCE. COORDINATE WITH MASONRY CLEANINGS AND RE-POINTING SPECIFICATIONS.	
9	CANOPY INTENT IS TO MATCH EXISTING, SELECTIVE DEMOLITION IS REQUIRED IN ORDER TO VERIFY THE EXISTING CONDITIONS AND MATCH IT EXACTLY PER CITY REQUIREMENTS.	
10	LOUVERED EQUIPMENT SCREEN. EXACT SIZE AND LOCATION TO BE DETERMINED UPON FURTHER EVALUATION OF EXISTING ROOF STRUCTURE.	
FINISH SPECIFICATIONS		
TAG	MATERIAL	MANUF.
STOREFRONT		
GL-1	CLEAR INSULATED GLASS	STOREFRONT VENDOR
GL-2	LAMINATED FROSTED GLASS	STOREFRONT VENDOR
GL-3	LAMINATED CLEAR GLASS	SF VENDOR OR G.C.
PT-5	EXTERIOR PAINT	BENJAMIN MOORE
PT-6	EXTERIOR PAINT	BENJAMIN MOORE
MTL-1	ALUMINUM STOREFRONT SYSTEM	KAWNEER
FBC-1	FIBER CEMENT BOARD/ BATTEN / JAMES HARDIE / SMOOTH BOARD	TBD
MTL-3	STEEL	TBD



2 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



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