SITE PLAN SET **FOR**

ALRIG USA DEVELOPMENT, LLC PROPOSED STARBUCKS WITH DRIVE-THRU FACILITIES

MAP 93, LOTS 275, 168, & 169 0 & 8 MITCHELL STREET & 157 COGGESHALL STREET CITY OF NEW BEDFORD, BRISTOL COUNTY, MASSACHUSETTS

TAX & ZONING MAP

SCALE: $I'' = 1,000' \pm$



ZONING LEGEND

AERIAL MAP

SCALE: $I'' = 80' \pm$

195 17 Interstate 195 QUARTER MILE SITE RADIUS SOURCE: MASSACHUSETTS INTERACTIVE PROPERTY MAP, RETRIEVED ON 06/29/2021.

LOCUS MAP

SCALE: $I'' = 400' \pm$

PLANS PREPARED BY:

BLOCK 93, LOTS 168, 169, & 275 MIXED USE BUSINESS (MUB) & INDUSTRIAL BUSINESS (IB) DISTRICTS HICKS-LOGAN-SAWYER (HLS IPOD) OVERLAY DISTRICT												
									PROPOSED USE			
									RESTAURANT WITH DRIVE-THRU	SPECIAL PERMIT *		
OUTDOOR PATIO	PERMITTED USE											
ZONING REQUIREMENT	REQUIRED **	EXISTING	PROPOSED									
MINIMUM LOT AREA	N/A	35,212.2 SF (0.81 AC)	35,212.2 SF (0.81 AC)									
MINIMUM LOT FRONTAGE	0.0 FT	90.7 FT	90.7 FT									
MINIMUM GREEN SPACE	0.0% (0.0 SF)	55.0% (19,371.0 SF)	20.9% (7,370 SF)									
MAXIMUM BUILDING COVERAGE	0.0% (0.0 SF)	13.9% (4,894.3 SF)	6.5% (2,280.0 SF)									
MAXIMUM BUILDING HEIGHT	100 FT / 7 STORIES	<100 FT / I STORY	21.5 FT / I STORY									
MINIMUM GREENBELT SETBACK	5.0 FT	0.0 FT (EN)	5.0 FT									
MINIMUM FRONT YARD SETBACK	0.0 FT	58.3 FT	65.2 FT									
MINIMUM SIDE YARD SETBACK	0.0 FT	0.0 FT	43.5 FT									
MINIMUM REAR YARD SETBACK	10.0 FT	102.1 FT	44.5 FT									

A USE AUTHORIZED UNDER SPECIAL PERMIT FOR MIXED USE BUSINESS (N/A) REQUIREMENTS CONSIDER ZONING FOR MIXED USE BUSINESS (MUB) (EN) DISTRICT ONLY

EXISTING NON-CONFORMITY

Know what's **below** Call before you dig.



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PLAN REFERENCE MATERIALS:

- I. THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS **INCLUDING, BUT NOT LIMITED TO:**
- ALTA/NSPS LAND TITLE SURVEY PREPARED BY CONTROL POINT ASSOCIATES, INC. DATED 05/04/2021. ARCHITECTURAL PLANS PREPARED BY CORTLAND MORGAN ARCHITECT AND DETROIT ARCHITECTURAL GROUP, DATED 06/25/2021.
- GEOTECHNICAL ENGINEERING REPORT PREPARED BY **TERRACON, DATED 05/27/2021.**
- AERIAL MAP RETRIEVED FROM GOOGLE EARTH PRO.
- LOCATION MAP OBTAINED FROM THE UNITED STATES GEOLOGICAL SURVEY, 7.5 MINUTE SERIES, NEW BEDFORD NORTH QUADRANGLE - MASSACHUSETTS,
- TAX MAP OBTAINED FROM THE CITY OF NEW BEDFORD ONLINE PARCEL MAP, RETRIEVED 06/23/2021.
- ZONING MAP OBTAINED FROM THE CITY OF NEW
- BEDFORD, DATED JUNE 2015. 2. ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF

CONSTRUCTION.

SHEET INDEX								
DRAWING TITLE	SHEET#							
COVER SHEET	C-I							
EXISTING CONDITIONS PLAN	C-2							
DEMOLITION PLAN	C-3							
SITE PLAN	C-4							
GRADING & DRAINAGE PLAN	C-5							
UTILITY PLAN	C-6							
LIGHTING PLAN	C-7							
LANDSCAPING PLAN	C-8							
SOIL EROSION & SEDIMENT CONTROL PLAN	C-9 - C-10							
CONSTRUCTION DETAILS	C-11 - C-14							
TRUCK TURN PLAN	C-15 - C-16							

DESCRIPTION	ISSUED FOR REVIEW	ISSUED FOR REVIEW	REVISED PER BOARD COMMENTS				
ВУ	СМС	СМС	Ħ				
DATE	07/01/2021	09/03/2021	09/28/2021				
SUE	0	02	93				

APPLICANT/OWNER

ALRIG USA DEVELOPMENT, LLC 30200 TELEGRAPH ROAD, SUITE 205

SITE SUMMARY

BOOK 4320, PAGE 247 BOOK 8163, PAGE 289

NOT APPROVED FOR CONSTRUCTION



DEVELOPMENT,

ALRIG USA

JAKE MODESTOW, P.E. MASSACHUSETTS LICENSE No. 6201065336

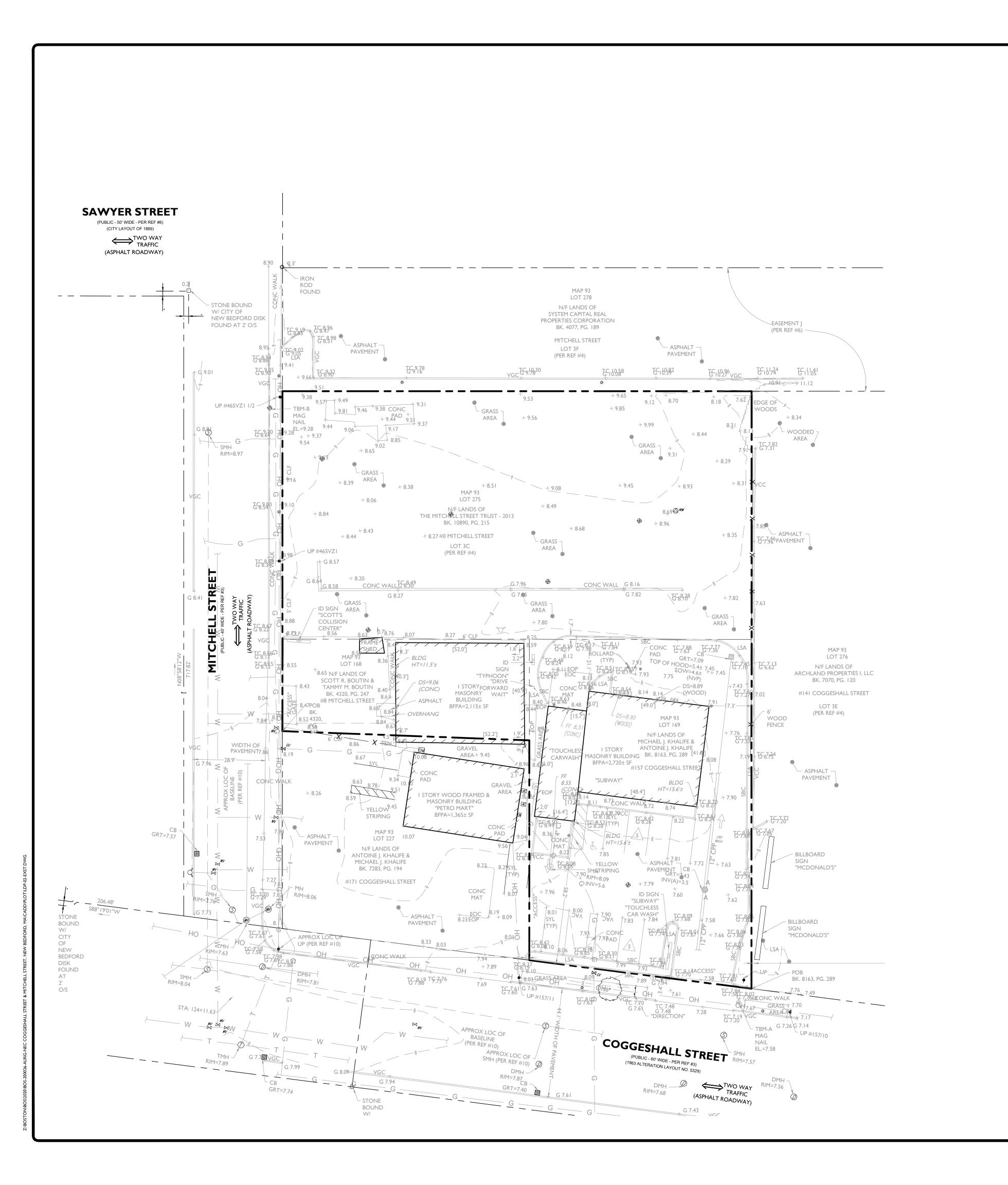


SCALE: AS SHOWN PROJECT ID: BOS-200026

COVER SHEET

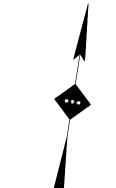
DRAWING:

C-I



SURVEY NOTES:

- I. THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.
- 2. THE EXISTING CONDITIONS SHALL ONLY BE USED AS A REFERENCE.
 CONTRACTOR IS RESPONSIBLE TO REFER BACK TO THE SURVEY
 REFERENCED ON THE COVER SHEET.
- 3. ALTA/NSPS LAND TITLE SURVEY PREPARED BY CONTROL POINT ASSOCIATES, INC. DATED 05/04/2021.



SYMBOL DESCRIPTION

UP# →

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-v-v-

D DMH

s SMH
T TMH

СВ

BLDG

BFPA

TOW

CLF

EOC

EOP

LSA

MC

(TYP)

SBC

VGC

NFV

(D)

	PROPERTY LINE
-	EXISTING CONTOUR
× ¹²⁵	EXISTING SPOT ELEVATION
\times TC	EXISTING TOP OF CURB ELEVATION
imes G	EXISTING GUTTER ELEVATION
\times^{TW}	EXISTING TOP OF WALL ELEVATION
\times^{BW}	EXISTING BOTTOM OF WALL ELEVATION
imes FF	EXISTING FINISHED FLOOR ELEVATION
	HYDRANT
WV ⊠ GV ⊠	WATER VALVE
GV ⊠	GAS VALVE
GM	GAS METER
EM	ELECTRIC METER
OH	OVERHEAD WIRES
G	UNDERGROUND GAS LINE
D	UNDERGROUND DRAINAGE LINE
s	UNDERGROUND SEWER LINE
т ——	UNDERGROUND TELEPHONE LINE
W	UNDERGROUND WATER LINE

UNDERGROUND WATER LINE

UTILITY POLE

AREA LIGHT

VACUUM

SIGN

BOLLARD

POST

PAINTED ARROWS

DRAINAGE/STORM MANHOLE

SANITARY/SEWER MANHOLE

TELEPHONE MANHOLE

UNKNOWN MANHOLE
CATCH BASIN OR INLET
TREE & TRUNK SIZE
PARKING SPACE COUNT
SOLID YELLOW LINE
HEIGHT

HEIGHT
BUILDING
BUILDING FOOTPRINT AREA
TOP OF WATER

CHAIN LINK FENCE
EDGE OF CONCRETE
EDGE OF PAVEMENT
LANDSCAPED AREA
METAL COVER

NOT FIELD VERIFIED

GRAPHIC SCALE IN FEET

I" = 20'

TYPICAL
SLOPED BITUMINOUS CONCRETE CURB
VERTICAL GRANITE CURB

DOOR SILL
OFFSET OF STRUCTURE AT GROUND
LEVEL RELATIVE TO PROPERTY LINE
SURVEY DIMENSION
DEED DIMENSION

| 09/28/2021 | JT REVISED PER BOARD COMMENTS | 09/03/2021 | CMG | ISSUED FOR REVIEW | 07/01/2021 | CMG | ISSUED FOR REVIEW | E | DATE | BY | DESCRIPTION

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VELOPMENT

DE

USA

ALRIG

OSED STARBUCK
E-THRU FACILITIE

PROPOSED
DRIVE-THR
BOOK 10890, PG. 215
MAP 93, LOTS 275, 16

JAKE MODESTOW, P.E.
MASSACHUSETTS LICENSE No. 6201065336
LICENSED PROFESSIONAL ENGINEER

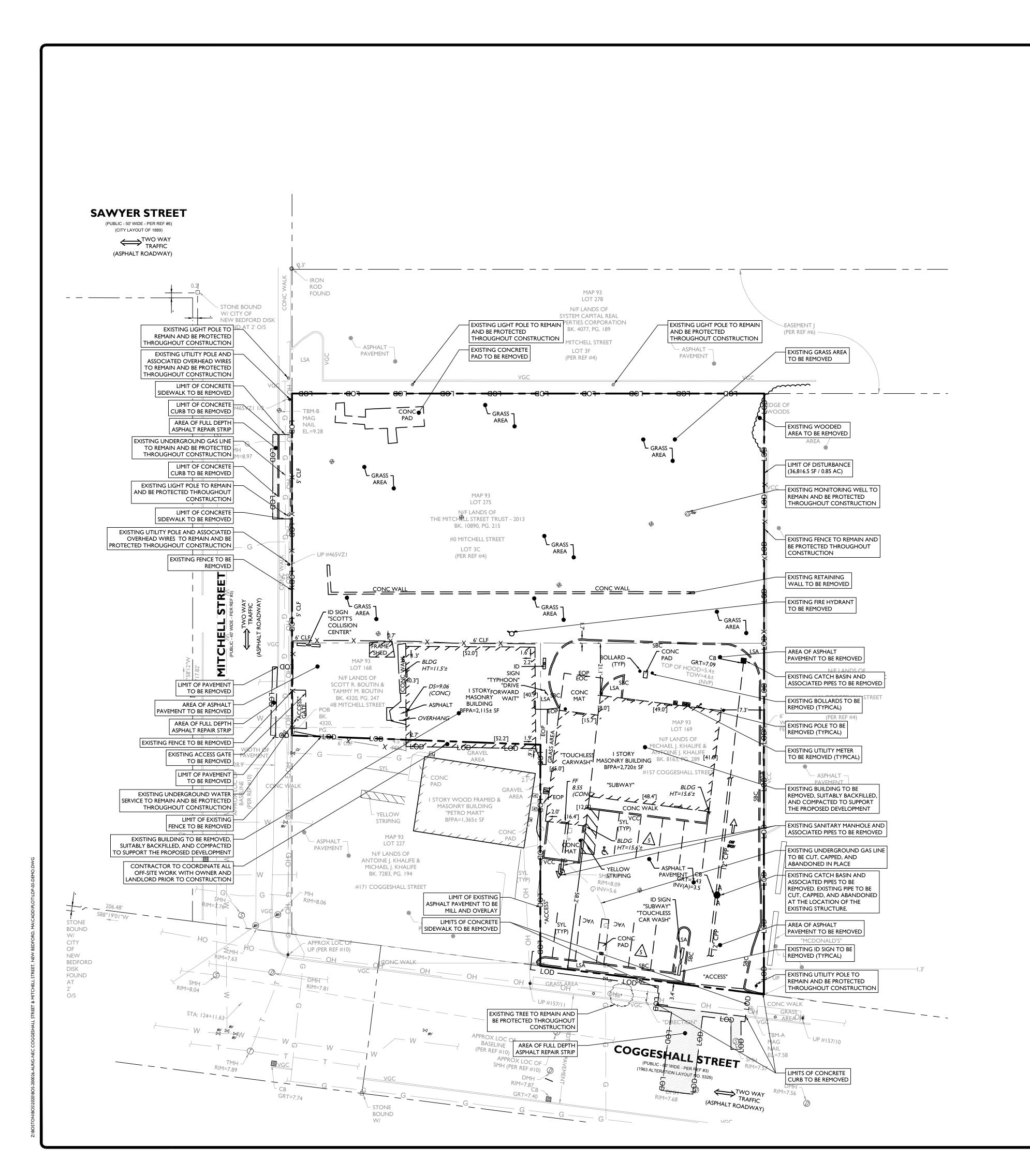


ALE: I" = 20' PROJECT ID: BOS-200026

TITLE:

EXISTING CONDITIONS PLAN

DRAWING:







SYMBOL

DESCRIPTION

FEATURE TO BE REMOVED / DEMOLISHED

LIMIT OF DISTURBANCE

ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS

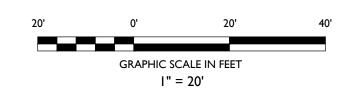
DUST CONTROL NOTES

- $\underline{\text{MULCHES}}$ SEE STANDARD OF STABILIZATION WITH MULCHES ONLY, PG.
- <u>VEGETATIVE COVER</u> SEE STANDARD FOR: TEMPORARY VEGETATIVE COVER, PG. 7-1, PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION PG. 4-1
- AND PERMANENT STABILIZATION WITH SOD, PG. 6-1 SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.
- TILLAGE TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE.
 THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED
- SPRINKLING SITE IS SPRINKLED UNTIL THE SURFACE IS WET. BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL
- AIR CURRENTS AND SOIL BLOWING. CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.

STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

DEMOLITION NOTES

- I. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
- 2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
- 3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
- 4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL
- MATERIAL WAS COMPACTED TO A SUITABLE CONDITION. 5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.



					REVISED PER BOARD COMMENTS	ISSUED FOR REVIEW	ISSUED FOR REVIEW	DESCRIPTION	
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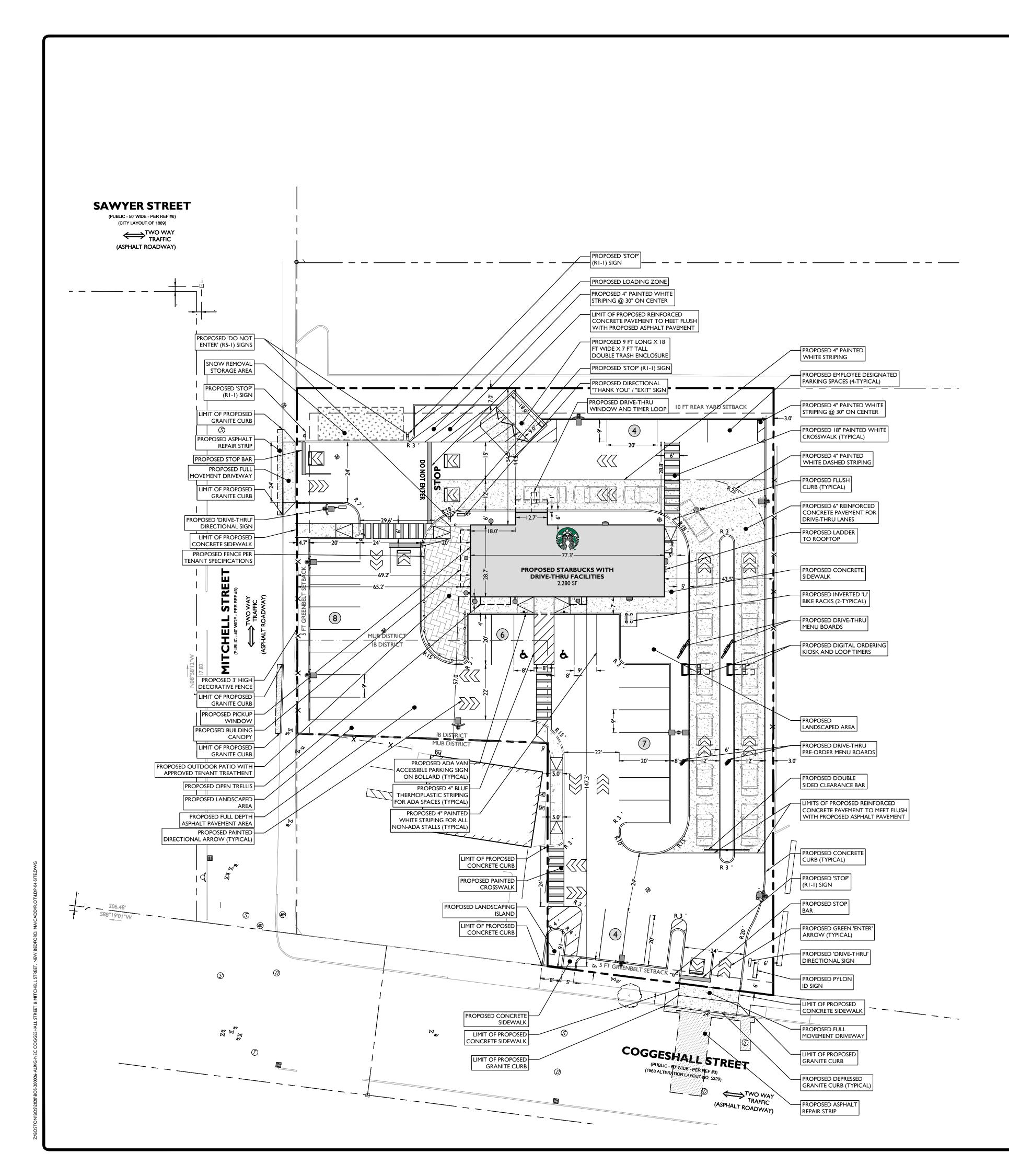
JAKE MODESTOW, P.E. MASSACHUSETTS LICENSE No. 6201065336



LICENSED PROFESSIONAL ENGINEER

I" = 20' PROJECT ID: BOS-200026

DEMOLITION PLAN



LAND USE AND ZONING

BLOCK 93, LOTS 168, 169, & 275

MIXED USE BUSINESS (MUB) & INDUSTRIAL BUSINESS (IB) DISTRICTS HICKS-LOGAN-SAWYER (HLS IPOD) OVERLAY DISTRICT

PROPOSED USE RESTAURANT WITH DRIVE-THRU SPECIAL PERMIT * **OUTDOOR PATIO** PERMITTED USE

ZONING REQUIREMENT	REQUIRED **	EXISTING	PROPOSED
MINIMUM LOT AREA	N/A	35,212.2 SF (0.81 AC)	35,212.2 SF (0.81 AC)
MINIMUM LOT FRONTAGE	0.0 FT	90.7 FT	90.7 FT
MINIMUM GREEN SPACE	0.0% (0.0 SF)	55.0% (19,371.0 SF)	20.9% (7,370 SF)
MAXIMUM BUILDING COVERAGE	0.0% (0.0 SF)	13.9% (4,894.3 SF)	6.5% (2,280.0 SF)
MAXIMUM BUILDING HEIGHT	100 FT / 7 STORIES	<100 FT / I STORY	21.5 FT / I STORY
MINIMUM GREENBELT SETBACK	5.0 FT	0.0 FT (EN)	5.0 FT
MINIMUM FRONT YARD SETBACK	0.0 FT	58.3 FT	65.2 FT
MINIMUM SIDE YARD SETBACK	0.0 FT	0.0 FT	43.5 FT
MINIMUM REAR YARD SETBACK	10.0 FT	102.1 FT	44.5 FT

- A USE AUTHORIZED UNDER SPECIAL PERMIT FOR MIXED USE BUSINESS (MUB) DISTRICT REQUIREMENTS CONSIDER ZONING FOR MIXED USE BUSINESS (MUB) DISTRICT ONLY
- (N/A) NON-APPLICABLE (EN) EXISTING NON-CONFORMITY

	OFF-STREET PARKING REQUIREMENTS	
CODE SECTION	REQUIRED	PROPOSED
CHAPTER 9 APPENDIX C	REQUIRED PARKING SPACES (I SPACE / 100 SF GFA) + (I SPACE / EMPLOYEE) = (2,280 SF x (I SPACE / 100 SF)) + (7 EMPLOYEES) = 23 SPACES + 7 SPACE	
	TOTAL REQUIRED = 30 SPACES	29 SPACES (V
CHAPTER 9 APPENDIX C	ONE (I) LOADING SPACE FOR EACH BUILDING	I SPACE
CHAPTER 9 § 3141	PARKING SPACES SHALL BE LOCATED ON THE SAME LOT AS THE BUILDING OR USE WHERE THAT THEY ARE INTENDED TO SERVE, EXCEPT THAT THEY MAY BE PROVIDED ON AN ADJOINING LOT IN THE SAME OWNERSHIP.	COMPLIES
CHAPTER 9 § 3144	MINIMUM DRIVE AISLE WIDTH FOR PARKING SPACES SITUATED AT RIGHT ANGLES, OR NEARLY RIGHT ANGLES = 22 FT	22 FT
CHAPTER 9 § 3145	OPEN-AIR OFF-STREET PARKING FACILITIES MAY BE LOCATED IN REQUIRED FRONT, REAR, AND SIDE YARDS	COMPLIES
CHAPTER 9 § 3146	WHEN FIVE (5) OR MORE PARKING SPACES ARE REQUIRED ON A LOT, ALL SPACES SHALL BE LAID OUT SO THAT VEHICLES CAN ENTER OR LEAVE ANY PARKING SPACE DIRECTION FROM A DRIVE OR AISLE OTHER THAN A STREET. ALL SPACES SHALL BE LAID OUT SO THE VEHICLES ENTERING A STREET MAY DO SO FACING THE STREET.	COMPLIES
CHAPTER 9 § 3147	ALL PARKING SPACES AND LOADING AREAS OR BERTHS IN OPEN-AIR AND THE ACCESS DRIVES SHALL BE PROVIDED WITH A CONCRETE OR ASPHALT SURFACE.	COMPLIES
CHAPTER 9 § 3150	MINIMUM PARKING SPACE DIMENSIONS WIDTH = 9 FT LENGTH = 20 FT	9 FT 20 FT

SIGNAGE REQUIREMENTS								
CODE SECTION	REQUIRED	PROPOSED						
CHAPTER 9 § 3220	PROHIBITED SIGNS INCLUDE ANY SIGN THAT (I) MAY BE CONFUSING WITH OR CONSTRUED AS PUBLIC SAFETY DEVICE, (2) INCORPORATES MOVING, FLASHING, ANIMATED, OR INTERMITTENT LIGHTING, (3) MIMICKING THE APPEARANCE OR COPY OF TRAFFIC SIGNS, (4) REVOLVING, (5) PORTABLE MOUNTED ON WHEELED TRAILERS, (6) CONSTRUCTED, MOUNTED, OR MAINTAINED UPON THE ROOF, AND (7) OFF-PREMISE SIGNS.	COMPLIES						
CHAPTER 9 § 3251	WALL SIGNS (*) MAXIMUM PROJECTION = 12 INCHES	12 INCHES						
CHAPTER 9 § 3252	NO WALL SIGNS SHALL HAVE AN AREA IN SQUARE FEET IN EXCESS OF THE PRODUCT OF THE WIDTH OF THE BUILDING OR STOREFRONT, AS MAY BE APPROPRIATE, TIMES TWO (2): (77.6 LF x 2) = 154.6 SF MAX	154.6 SF						
CHAPTER 9 § 3254	GROUND SIGNS SHALL MEAN AND INCLUDE ANY SIGNS HAVING AS SUPPORTS WOOD OR METAL COLUMNS, PIPES, ANGLE IRON FRAMING, MASONRY, PLASTIC, OR ANY COMBINATION OF THESE MATERIALS UNATTAHCED TO ANY BUILDING OR OTHER STRUCTURE.	COMPLIES						
CHAPTER 9 § 3255 - 3256	GROUND SIGNS MAXIMUM AREA = 25 SF (**) MAXIMUM GROUND TO BOTTOM OF SIGN LENGTH = 10 FT MAXIMUM GROUND TO TOP OF SIGN LENGTH = 15 FT	25 SF 10 FT 35 FT (V)						
CHAPTER 9 § 3255 - 3256	GROUND SIGNS MINIMUM SETBACK = 6 FT	6 FT						
CHAPTER 9 § 3255 - 3256	GROUND SIGNS MAXIMUM QUANTITY = ONE (I) SIGN	ONE (I) SIGN						

- INDIVIDUAL LETTERS OR DEVICES CUT INTO MASONRY OR SO AFFIXED AS TO FORM AN INTEGRAL PART OF AN EXTERIOR WALL, SHALL NOT BE CONSIDERED WALL SIGNS IF THEY ARE CUT INTO OR PROJECT OUT OF SAID WALL FOR A DEPTH OF ONE-FORTH (1/4) INCH OR LESS.
- NO GROUND SIGN SHALL EXCEED ONE (I) SQUARE FOOT IN AREA FOR EACH LINEAR FOOT OF STREET FRONTAGE OF THE LOT UPON WHICH IS ERECTED, BUT IN NO EVENT EXCEED TWENTY-FIVE (25) SQUARE FEET IN AREA.
- (TBD) TO BE DETERMINED

SCREENING AND LANDSCAPING REQUIREMENTS								
CODE SECTION	REQUIRED	PROPOSED						
CHAPTER 9 § 3331-3333	SCREENING MINIMUM HEIGHT = 3 FT AT PLANTING & 6 FT AT MATURITY MINIMUM HEIGHT (NON-PLANTING) = 6 FT MAXIMUM HEIGHT (NON-PLANTING) = 10 FT	COMPLIES						
CHAPTER 9 § 3331-3333	SCREENING MINIMUM WIDTH = 5 FT (*)	COMPLIES						
CHAPTER 9 § 3334	EXCEPT FOR ON-PREMISES DIRECTIONAL SIGNS NOT IN EXCESS OF SIX (6) SF IN AREA, NO SIGN SHALL BE ATTACHED TO OR SUSPENDED FROM A SCREEN.	COMPLIES						

(TBD) TO BE DETERMINED VARIANCE

A SCREEN OTHER THAN OF PLANT MATERIALS, SHALL BE AT LEAST SIX (6) FEET IN HEIGHT ABOVE THE GROUND ELEVATION. WHERE A SCREEN IS REQUIRED TO VISUALLY OBSCURE A STORAGE AREA, THE HEIGHT OF SUCH SCREEN SHALL NOT BE LESS THAN SIX (6) FEET AND SHALL BE EQUAL TO THE HEIGHT OF MATERIALS STORED ABOVE SIX (6) FEET, BUT IN NO INSTANCE SHALL THE MATERIALS TO BE SCREENED BE IN EXCESS OF TEN (10) FEET IN HEIGHT.

I HEREBY CERTIFY THAT THE PROJECT AS DESIGNED MEETS THE APPLICABLE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD.

- DRIVEWAY PERMIT SUBJECT TO TRAFFIC COMMISSION APPROVAL.
- PERMITS FOR SIDEWALK, DRIVEWAYS, WATER & SEWER MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC INFRASTRUCTURE ENGINEERING DIVISION. ANY MINOR MODIFICATIONS TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK
- BEING PERFORMED. ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS. ALL HANDICAP PARKING, RAMPS, AND ACCESS SHALL CONFORM TO AAB & MAAB REQUIREMENTS.
- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION, EROSION SHALL CONFORM TO THE CITY OF NEW BEDFORD CONSERVATION COMMISSION REQUIREMENTS AS STATED IN THE ORDER OF CONDITIONS. (REFER TO SOIL EROSION AND SEDIMENT CONTROL PLAN. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS.



DESCRIPTIO
PROPERTY LINE

SETBACK LINE ZONE BOUNDARY LINE

> PROPOSED CURB PROPOSED DEPRESSED CURB

> > PROPOSED SIGNS

= = = = = PROPOSED FLUSH CURB PROPOSED EXTENDED CURB

PROPOSED BUILDING

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PROPOSED FULL DEPTH ASPHALT REPAIR STRIP PROPOSED CONCRETE

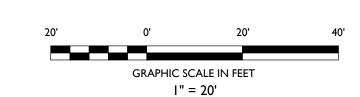
PROPOSED BUILDING DOORS

PROPOSED DECORATIVE FENCE

GENERAL NOTES

- I. THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. PRIOR TO THE START OF CONSTRUCTION.
- 2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- 3. ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC. AND IT'S SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
- 4. THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN,
- 5. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION. 6. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT
- PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE 7. THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTORS EXPENSE.
- 8. CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC. WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
- 9. THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL
- DEVICES, LATEST EDITION. 10. THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
- 11. THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES. 12. SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC. BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES

AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



					REVISED PER BOARD COMMENTS	ISSUED FOR REVIEW	ISSUED FOR REVIEW	DESCRIPTION		
					Л	CMG	CMG	ВУ		
					1202/82/60	1202/20/60	07/01/2021	DATE		
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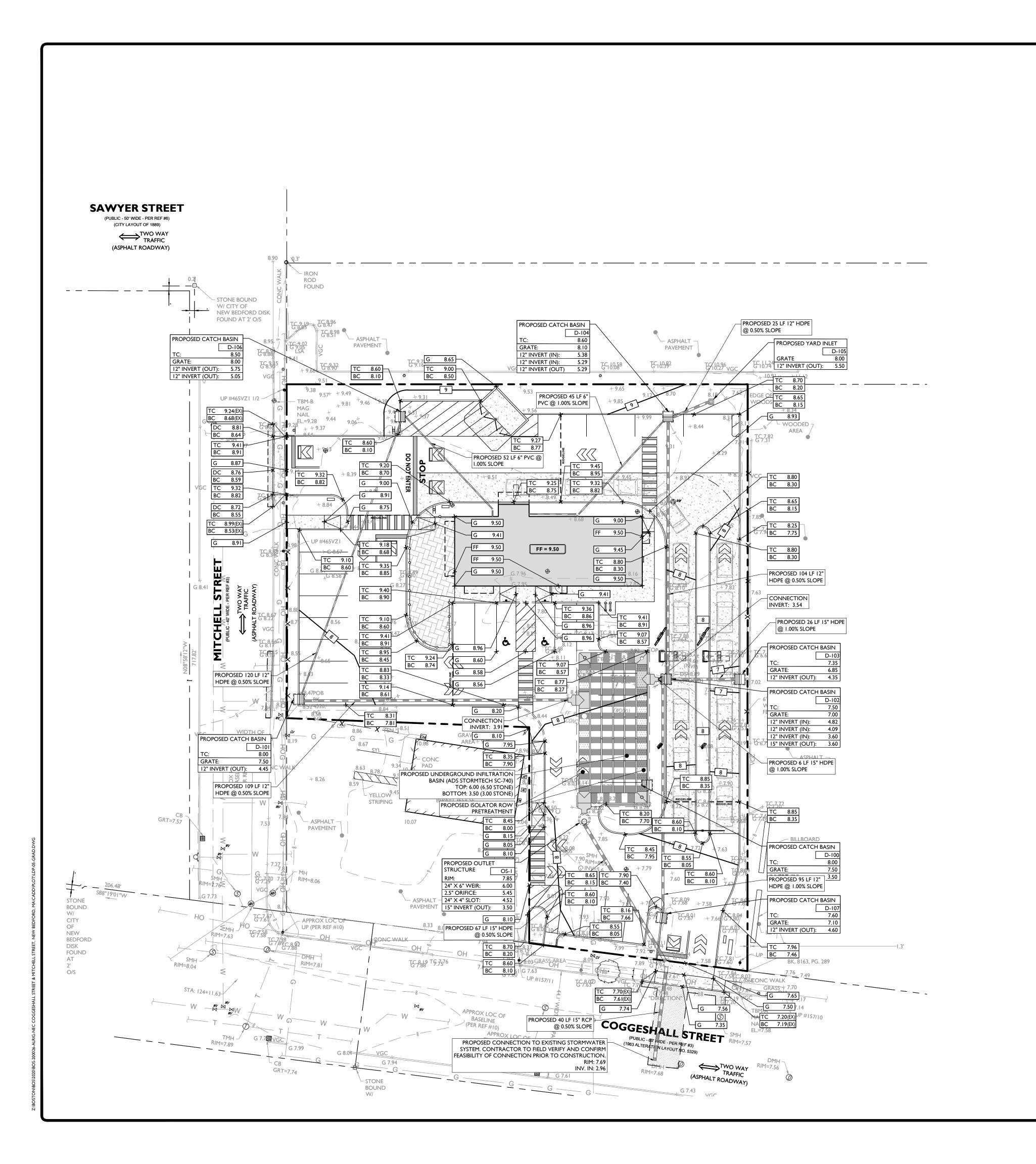
JAKE MODESTOW, P.E. MASSACHUSETTS LICENSE No. 6201065336 LICENSED PROFESSIONAL ENGINEER

SED 'HR



I" = 20' PROJECT ID: BOS-200026

SITE PLAN





SYMBOL DESCRIPTIO

PROPERTY LINE PROPOSED GRADING CONTOUR PROPOSED GRADING RIDGELINE RIDGELINE PROPOSED DIRECTION OF DRAINAGE FLOW

> PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT

PROPOSED GRADE SPOT SHOT

PROPOSED FLUSH CURB SPOT SHOT

X FC 100.00 PROPOSED DEPRESSED CURB / BOTTOM OF CURB SPOT SHOT

PROPOSED TOP OF WALL / BOTTOM OF WALL SPOT SHOT

BW 100.00

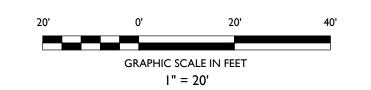
GRADING NOTES

X G 100.00

- I. ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
- 2. THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
- 3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
- 4. THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY
- 5. MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS • CURB GUTTER:
- CONCRETE SURFACES: 1.00%
- ASPHALT SURFACES: 5. A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD
- ENGINEERING & DESIGN, LLC. IF THIS CONDITION CANNOT BE MET. 6. FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

- I. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS
- 2. THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES. 3. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN
- THE PLAN SET. 4. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP, AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- 5. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR ALTERATIONS, A CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
- 6. ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
- 7. A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS. 8. THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS,
- LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN I UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE). 9. THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/2 INCH.

CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN



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NOT APPROVED FOR CONSTRUCTION



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JAKE MODESTOW, P.E. MASSACHUSETTS LICENSE No. 6201065336



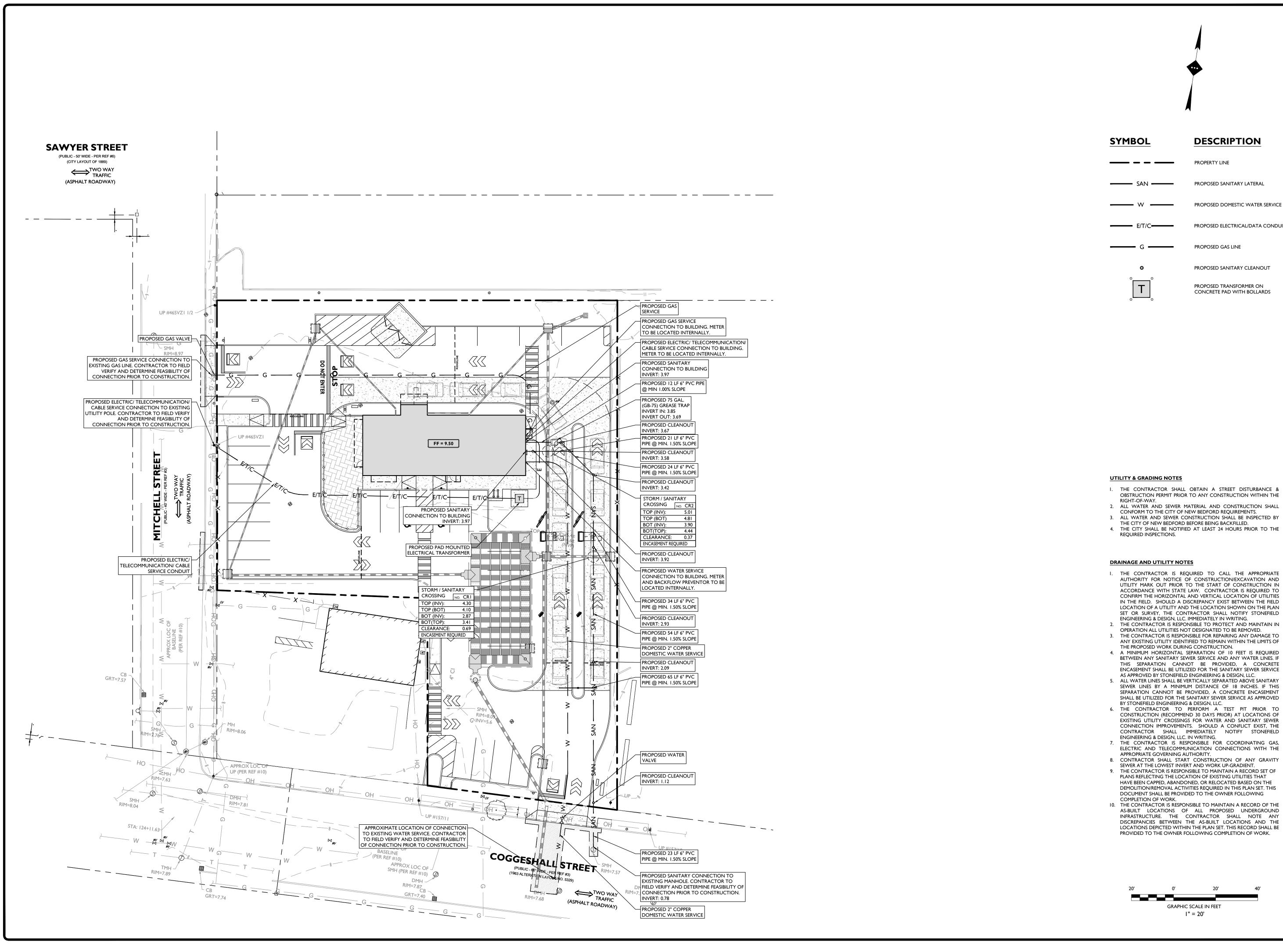
LICENSED PROFESSIONAL ENGINEER

SED 'HR

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I" = 20' PROJECT ID: BOS-200026

GRADING PLAN





SYMBOL DESCRIPTION PROPERTY LINE PROPOSED SANITARY LATERAL PROPOSED DOMESTIC WATER SERVICE PROPOSED ELECTRICAL/DATA CONDUITS PROPOSED GAS LINE

PROPOSED SANITARY CLEANOUT

PROPOSED TRANSFORMER ON CONCRETE PAD WITH BOLLARDS

OBSTRUCTION PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE

AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND

UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN

ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO

CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES

IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD

LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN

SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD

ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF

BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF

THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE

ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE

SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS

SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED

CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD

ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE

SEWER AT THE LOWEST INVERT AND WORK UP-GRADIENT.

PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT

DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING

HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE

DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS

AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY

DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE

PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

GRAPHIC SCALE IN FEET

I" = 20'

ENGINEERING & DESIGN, LLC. IMMEDIATELY IN WRITING.

THE PROPOSED WORK DURING CONSTRUCTION.

BY STONEFIELD ENGINEERING & DESIGN, LLC.

ENGINEERING & DESIGN, LLC. IN WRITING.

APPROPRIATE GOVERNING AUTHORITY.

COMPLETION OF WORK.

OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.

AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.

THE CITY OF NEW BEDFORD BEFORE BEING BACKFILLED.

RIGHT-OF-WAY.

REQUIRED INSPECTIONS.

NOT APPROVED FOR CONSTRUCTION

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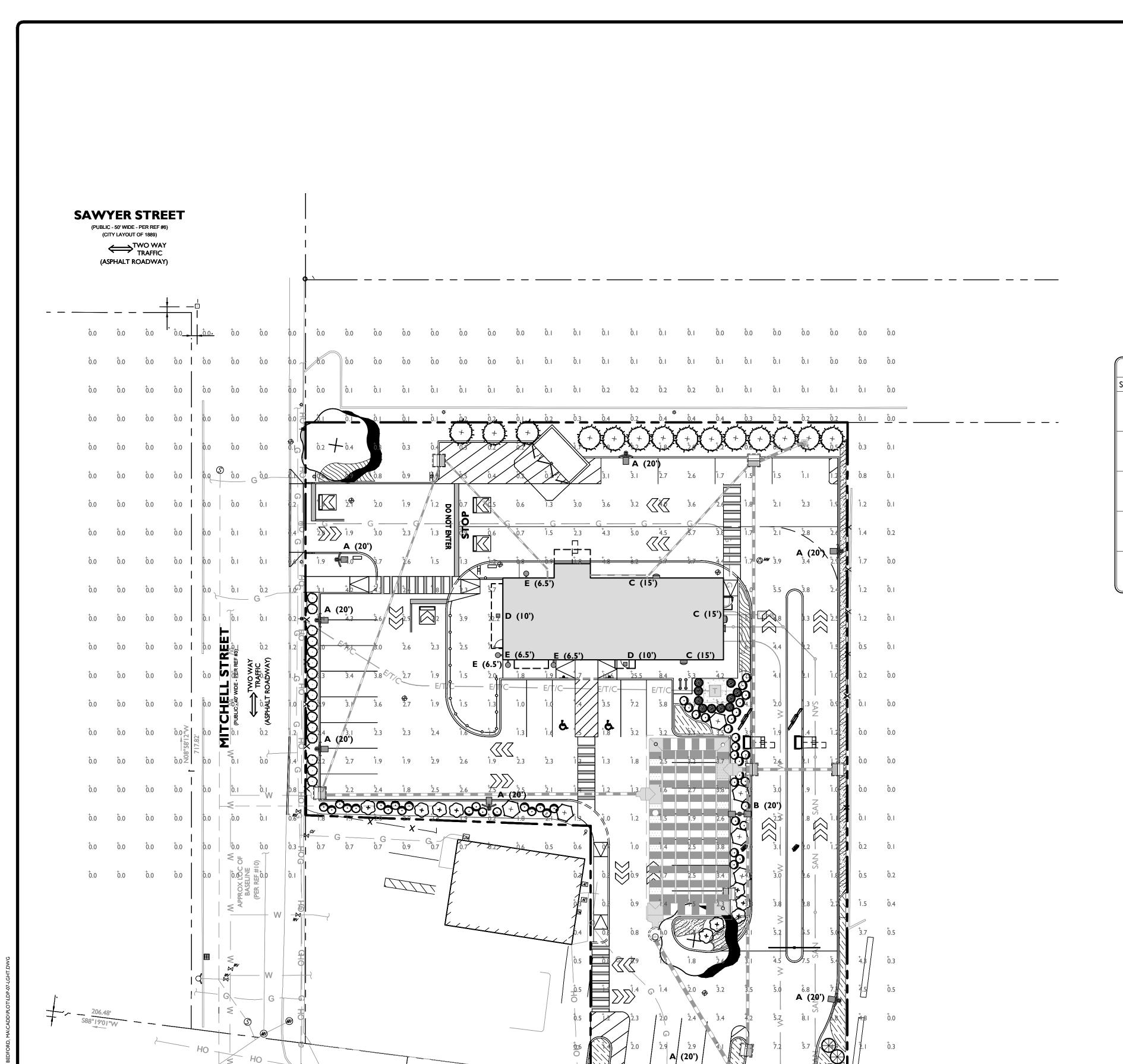
JAKE MODESTOW, P.E. MASSACHUSETTS LICENSE No. 6201065336 LICENSED PROFESSIONAL ENGINEER



I" = 20' PROJECT ID: BOS-200026

UTILITY PLAN

DRAWING:



(PUBLIC - 60' WIDE - PER REF #3)



SYMBOL

A (XX')

+X.X

DESCRIPTION PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)

PROPOSED LIGHTING INTENSITY (FOOTCANDLES)

PROPOSED AREA LIGHT

PROPOSED CANOPY LIGHT

			PROPOSED LUMINAIRE	SCHEDULE			
SYMBOL	LABEL	QUANTITY	LIGHTING	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
	A	7	OSQ OUTDOOR LED AREA LIGHT	TYPE IV	0.9	CREE LIGHTING	OSQM-B-9L-40K7-4M-UX-XX-XX-Q9 W_OSQ-BLSMF.IES
	В	I	OSQ OUTDOOR LED AREA LIGHT - DOUBLE 180	TYPE IV	0.9	CREE LIGHTING	OSQM-B-9L-40K7-4M-UX-XX-XX-Q9 W_OSQ-BLSMF.IES
	С	I	EDGE SERIES - OUTDOOR LED WALLPACK	TYPE V	0.9	CREE LIGHTING	ARE-EDG-4M-XX-06-E-UL-XX-525- XXXX-40K.IES
	D	2	CPY SERIES - LED WALKWAY CANOPY LIGHT	TYPE V	0.9	CREE LIGHTING	CPY250-B-XX-F-A-UL-XX-40K.IES
P	E	4	LED UP & DOWN WALL SCONCE		0.9	Y TECH	103643585CHI-004 TECH LIGHTING 7000WAST14ZLED930 MERGED.IES



FIXTURES 'A' & 'B



FIXTURE 'C'



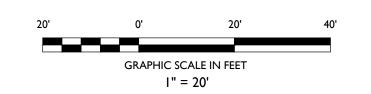
FIXTURE 'D'



FIXTURE 'E'

GENERAL LIGHTING NOTES

- I. THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH ARE WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER
- VARIABLE FIELD CONDITIONS. 2. WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR
- LIGHTING FIXTURE MODEL. 3. UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS: LIGHT EMITTING DIODES (LED): 0.90 HIGH PRESSURE SODIUM: `
- METAL HALIDE: 4. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING/ PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS. 5. THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES.
 THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD
- ENGINEERING & DESIGN, LLC. 6. SIGNAGE ON SITE SHALL BE ILLUMINATED NO EARLIER THAN ONE HOUR PRIOR TO OPENING AND NO LATER THAN ONE HOUR AFTER
- 7. LIGHTING SHALL BE ILLUMINATED NO EARLIER THAN ONE HOUR PRIOR TO OPENING AND NO LATER THAN ONE HOUR AFTER



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JAKE MODESTOW, P.E. MASSACHUSETTS LICENSE No. 6201065336 LICENSED PROFESSIONAL ENGINEER

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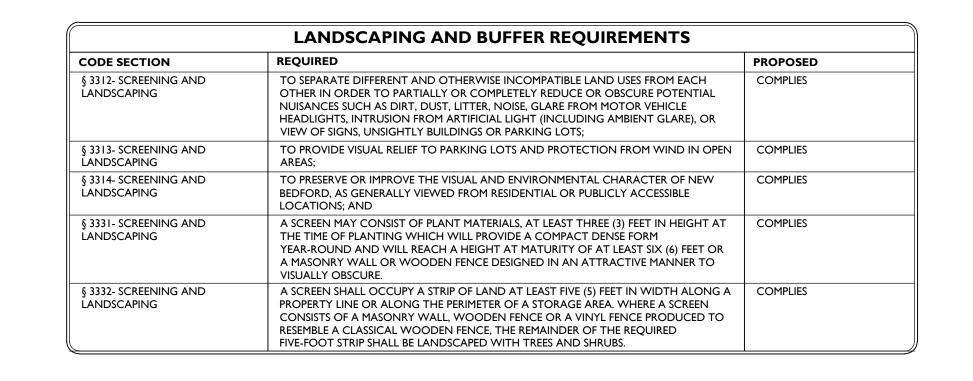


I" = 20' PROJECT ID: BOS-200026

LIGHTING PLAN

DRAWING:





SAWYER STREET (PUBLIC - 50' WIDE - PER REF #6)

TWO WAY TRAFFIC

(ASPHALT ROADWAY)

AREA TO BE SEEDED

AS LAWN

16 BUX GRE

19 ILE GLA

4 VIB DEN

<i></i>							-
PLANT_SCI	HEDUL	E					
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
\bigodot	CUP LEY	14	X CUPRESSOCYPARIS LEYLANDII	LEYLANDI CYPRESS	6' HT	B&B	NATIVE
+	ACE RUB	2	ACER RUBRUM	RED MAPLE	2.5" - 3" CAL	B&B	NATIVE
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
+	COR RE5	5	CORNUS SERICEA	RED TWIG DOGWOOD	36"HT	POT	NATIVE
\otimes	ILE WI3	2	ILEX VERTICILLATA	WINTERBERRY	36"HT	POT	NATIVE
0	ITE VI3	7	ITEA VIRGINICA 'VIRGINIA'	VIRGINIA SWEETSPIRE	36"HT	POT	NATIVE
+	VIB DEN	9	VIBURNUM DENTATUM 'ARROWWOOD'	ARROWWOOD VIBURNUM	36"HT	POT	NATIVE
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
	ILE ECR	10	ILEX CRENATA 'FASTIGIATA'	COLUMNAR JAPANESE HOLLY	48" HT	POT	
③	ILE GLA	44	ILEX GLABRA	INKBERRY HOLLY	36"HT	POT	NATIVE
0	BUX GRE	26	BUXUS X 'GREEN VELVET'	GREEN VELVET BOXWOOD	18"-24"	B&B	
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
	CHA LAT	25	CHASMANTHIUM LATIFOLIUM	NORTHERN SEA OATS	I GAL	36" o.c.	NATIVE
	JUN HO2	38	JUNIPERUS HORIZONTALIS	CREEPING JUNIPER	I GAL	36" o.c.	NATIVE
	PAN SH3	55	PANICUM VIRGATUM 'SHENANDOAH'	SWITCH GRASS	7 GAL	48" o.c.	NATIVE

AREA TO COVERED WITH PEA GRAVEL

AS LAWN

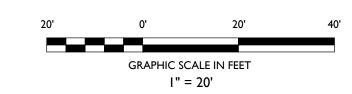
18 JUN HO2

COGGESHALL STREET

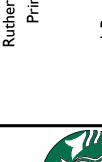
NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

LANDSCAPING NOTES

- I. THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- 2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED. 3. THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM
- 3 INCH LAYER OF MULCH. 4. THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1
- SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. 5. THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
- 6. THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING



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VELOPMENT

JAKE MODESTOW, P.E. MASSACHUSETTS LICENSE No. 6201065336 LICENSED PROFESSIONAL ENGINEER



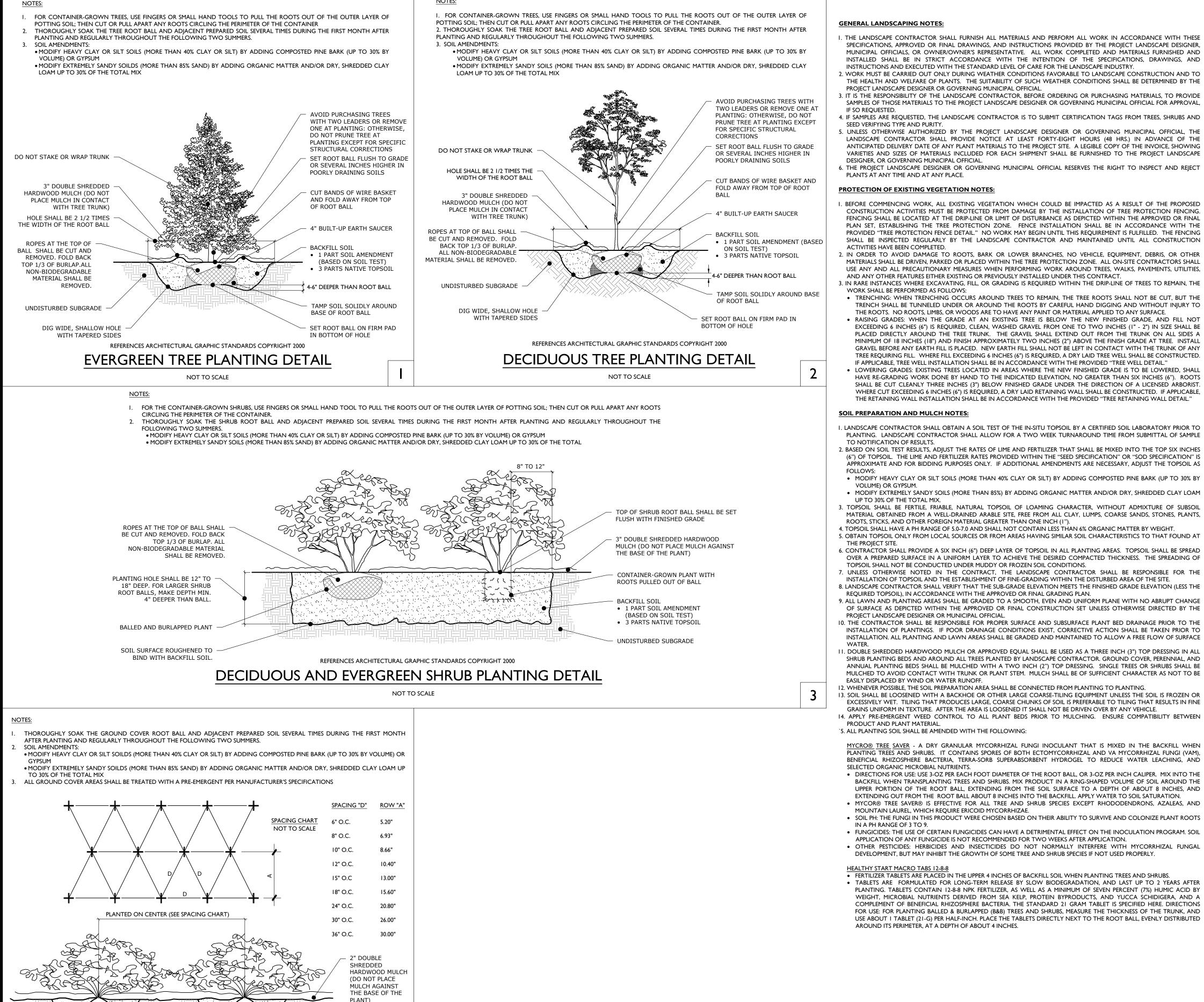
I" = 20' PROJECT ID: BOS-200026

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LANDSCAPING PLAN



GENTLY PULL ROOTS AWAY FROM TOPSOIL MASS WITH

 1 PART SOIL AMENDMENT (BASED ON SOIL TEST)

3 PARTS NATIVE TOPSOIL

FINGERS

GROUND COVER/PERENNIAL/ANNUAL

PLANTING DETAIL

BACKFILL SOIL

GENERAL LANDSCAPING NOTES:

- I. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE I. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) OR LATEST SPECIFICATIONS, APPROVED OR FINAL DRAWINGS, AND INSTRUCTIONS PROVIDED BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIALS, OR OWNER/OWNER'S REPRESENTATIVE. ALL WORK COMPLETED AND MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH THE INTENTION OF THE SPECIFICATIONS, DRAWINGS, AND INSTRUCTIONS AND EXECUTED WITH THE STANDARD LEVEL OF CARE FOR THE LANDSCAPE INDUSTRY.
- WORK MUST BE CARRIED OUT ONLY DURING WEATHER CONDITIONS FAVORABLE TO LANDSCAPE CONSTRUCTION AND TO THE HEALTH AND WELFARE OF PLANTS. THE SUITABILITY OF SUCH WEATHER CONDITIONS SHALL BE DETERMINED BY THE
- PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL. 3. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, BEFORE ORDERING OR PURCHASING MATERIALS. TO PROVIDE
- SAMPLES OF THOSE MATERIALS TO THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL FOR APPROVAL,
- 4. IF SAMPLES ARE REQUESTED, THE LANDSCAPE CONTRACTOR IS TO SUBMIT CERTIFICATION TAGS FROM TREES, SHRUBS AND SEED VERIFYING TYPE AND PURITY. 5. UNLESS OTHERWISE AUTHORIZED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL, THE
- VARIETIES AND SIZES OF MATERIALS INCLUDED FOR EACH SHIPMENT SHALL BE FURNISHED TO THE PROJECT LANDSCAPE DESIGNER, OR GOVERNING MUNICIPAL OFFICIAL 6. THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL RESERVES THE RIGHT TO INSPECT AND REJECT

PROTECTION OF EXISTING VEGETATION NOTES

- BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE BY THE INSTALLATION OF TREE PROTECTION FENCING. FENCING SHALL BE LOCATED AT THE DRIP-LINE OR LIMIT OF DISTURBANCE AS DEPICTED WITHIN THE APPROVED OR FINAL PLAN SET, ESTABLISHING THE TREE PROTECTION ZONE. FENCE INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE PROTECTION FENCE DETAIL." NO WORK MAY BEGIN UNTIL THIS REQUIREMENT IS FULFILLED. THE FENCING SHALL BE INSPECTED REGULARLY BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION
- . IN ORDER TO AVOID DAMAGE TO ROOTS, BARK OR LOWER BRANCHES, NO VEHICLE, EQUIPMENT, DEBRIS, OR OTHER MATERIALS SHALL BE DRIVEN, PARKED OR PLACED WITHIN THE TREE PROTECTION ZONE. ALL ON-SITE CONTRACTORS SHALL USE ANY AND ALL PRECAUTIONARY MEASURES WHEN PERFORMING WORK AROUND TREES, WALKS, PAVEMENTS, UTILITIES, AND ANY OTHER FEATURES FITHER EXISTING OR PREVIOUSLY INSTALLED UNDER THIS CONTRACT 3. IN RARE INSTANCES WHERE EXCAVATING, FILL, OR GRADING IS REQUIRED WITHIN THE DRIP-LINE OF TREES TO REMAIN, THE
- WORK SHALL BE PERFORMED AS FOLLOWS: • TRENCHING: WHEN TRENCHING OCCURS AROUND TREES TO REMAIN, THE TREE ROOTS SHALL NOT BE CUT, BUT THE TRENCH SHALL BE TUNNELED UNDER OR AROUND THE ROOTS BY CAREFUL HAND DIGGING AND WITHOUT INJURY TO
- THE ROOTS. NO ROOTS, LIMBS, OR WOODS ARE TO HAVE ANY PAINT OR MATERIAL APPLIED TO ANY SURFACE. RAISING GRADES: WHEN THE GRADE AT AN EXISTING TREE IS BELOW THE NEW FINISHED GRADE. AND FILL NOT EXCEPDING 6 INCHES (6") IS REQUIRED. CLEAN, WASHED GRAVEL FROM ONE TO TWO INCHES (1" - 2") IN SIZE SHALL BE PLACED DIRECTLY AROUND THE TREE TRUNK. THE GRAVEL SHALL EXTEND OUT FROM THE TRUNK ON ALL SIDES A MINIMUM OF 18 INCHES (18") AND FINISH APPROXIMATELY TWO INCHES (2") ABOVE THE FINISH GRADE AT TREE. INSTALL GRAVEL BEFORE ANY EARTH FILL IS PLACED. NEW EARTH FILL SHALL NOT BE LEFT IN CONTACT WITH THE TRUNK OF ANY TREE REQUIRING FILL. WHERE FILL EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID TREE WELL SHALL BE CONSTRUCTED.
- IF APPLICABLE, TREE WELL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE WELL DETAIL." LOWERING GRADES: EXISTING TREES LOCATED IN AREAS WHERE THE NEW FINISHED GRADE IS TO BE LOWERED, SHALL HAVE RE-GRADING WORK DONE BY HAND TO THE INDICATED ELEVATION, NO GREATER THAN SIX INCHES (6"). ROOTS SHALL BE CUT CLEANLY THREE INCHES (3") BELOW FINISHED GRADE UNDER THE DIRECTION OF A LICENSED ARBORIST WHERE CUT EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID RETAINING WALL SHALL BE CONSTRUCTED. IF APPLICABLE, THE RETAINING WALL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE RETAINING WALL DETAIL."

SOIL PREPARATION AND MULCH NOTES:

- I. LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST OF THE IN-SITU TOPSOIL BY A CERTIFIED SOIL LABORATORY PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL ALLOW FOR A TWO WEEK TURNAROUND TIME FROM SUBMITTAL OF SAMPLE TO NOTIFICATION OF RESULTS.
- 2. BASED ON SOIL TEST RESULTS, ADJUST THE RATES OF LIME AND FERTILIZER THAT SHALL BE MIXED INTO THE TOP SIX INCHES (6") OF TOPSOIL. THE LIME AND FERTILIZER RATES PROVIDED WITHIN THE "SEED SPECIFICATION" OR "SOD SPECIFICATION" IS APPROXIMATE AND FOR BIDDING PURPOSES ONLY. IF ADDITIONAL AMENDMENTS ARE NECESSARY, ADJUST THE TOPSOIL AS
- MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
- MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX. B. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL TOPSOIL OF LOAMING CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL
- MATERIAL OBTAINED FROM A WELL-DRAINED ARABLE SITE, FREE FROM ALL CLAY, LUMPS, COARSE SANDS, STONES, PLANTS, ROOTS, STICKS, AND OTHER FOREIGN MATERIAL GREATER THAN ONE INCH (1"). 4. TOPSOIL SHALL HAVE A PH RANGE OF 5.0-7.0 AND SHALL NOT CONTAIN LESS THAN 6% ORGANIC MATTER BY WEIGH
- 5. OBTAIN TOPSOIL ONLY FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT THE PROJECT SITE. 6. CONTRACTOR SHALL PROVIDE A SIX INCH (6") DEEP LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHALL BE SPREAD
- OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN SOIL CONDITIONS. . UNLESS OTHERWISE NOTED IN THE CONTRACT, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBED AREA OF THE SITE.
- LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE SUB-GRADE ELEVATION MEETS THE FINISHED GRADE ELEVATION (LESS REQUIRED TOPSOIL), IN ACCORDANCE WITH THE APPROVED OR FINAL GRADING PLAN. 9. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE
- OF SURFACE AS DEPICTED WITHIN THE APPROVED OR FINAL CONSTRUCTION SET UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL IO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SURFACE AND SUBSURFACE PLANT BED DRAINAGE PRIOR TO THE
- INSTALLATION OF PLANTINGS. IF POOR DRAINAGE CONDITIONS EXIST, CORRECTIVE ACTION SHALL BE TAKEN PRIOR TO INSTALLATION. ALL PLANTING AND LAWN AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW A FREE FLOW OF SURFACE
- II. DOUBLE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL SHRUB PLANTING BEDS AND AROUND ALL TREES PLANTED BY LANDSCAPE CONTRACTOR. GROUND COVER, PERENNIAL, AND ANNUAL PLANTING BEDS SHALL BE MULCHED WITH A TWO INCH (2") TOP DRESSING. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO AVOID CONTACT WITH TRUNK OR PLANT STEM. MULCH SHALL BE OF SUFFICIENT CHARACTER AS NOT TO BE EASILY DISPLACED BY WIND OR WATER RUNOFF $\mathfrak L$. Whenever possible, the soil preparation area shall be connected from planting to planting.
- 13. SOIL SHALL BE LOOSENED WITH A BACKHOE OR OTHER LARGE COARSE-TILING EQUIPMENT UNLESS THE SOIL IS FROZEN OR EXCESSIVELY WET. TILING THAT PRODUCES LARGE, COARSE CHUNKS OF SOIL IS PREFERABLE TO TILING THAT RESULTS IN FINE GRAINS UNIFORM IN TEXTURE. AFTER THE AREA IS LOOSENED IT SHALL NOT BE DRIVEN OVER BY ANY VEHICLE.
- 14. APPLY PRE-EMERGENT WEED CONTROL TO ALL PLANT BEDS PRIOR TO MULCHING. ENSURE COMPATIBILITY BETWEEN PRODUCT AND PLANT MATERIAL

'5. ALL PLANTING SOIL SHALL BE AMENDED WITH THE FOLLOWING

- MYCRO® TREE SAVER A DRY GRANULAR MYCORRHIZAL FUNGI INOCULANT THAT IS MIXED IN THE BACKFILL WHEN PLANTING TREES AND SHRUBS. IT CONTAINS SPORES OF BOTH ECTOMYCORRHIZAL AND VA MYCORRHIZAL FUNGI (VAM), BENEFICIAL RHIZOSPHERE BACTERIA. TERRA-SORB SUPERABSORBENT HYDROGEL TO REDUCE WATER LEACHING. AND SELECTED ORGANIC MICROBIAL NUTRIENTS
- DIRECTIONS FOR USE: USE 3-OZ PER EACH FOOT DIAMETER OF THE ROOT BALL, OR 3-OZ PER INCH CALIPER. MIX INTO THE BACKFILL WHEN TRANSPLANTING TREES AND SHRUBS. MIX PRODUCT IN A RING-SHAPED VOLUME OF SOIL AROUND THE UPPER PORTION OF THE ROOT BALL, EXTENDING FROM THE SOIL SURFACE TO A DEPTH OF ABOUT 8 INCHES, AND EXTENDING OUT FROM THE ROOT BALL ABOUT 8 INCHES INTO THE BACKFILL, APPLY WATER TO SOIL SATURATION • MYCOR® TREE SAVER® IS EFFECTIVE FOR ALL TREE AND SHRUB SPECIES EXCEPT RHODODENDRONS, AZALEAS, AND MOUNTAIN LAUREL, WHICH REQUIRE ERICOID MYCORRHIZAE.
- SOIL PH: THE FUNGI IN THIS PRODUCT WERE CHOSEN BASED ON THEIR ABILITY TO SURVIVE AND COLONIZE PLANT ROOTS IN A PH RANGE OF 3 TO 9.
- FUNGICIDES: THE USE OF CERTAIN FUNGICIDES CAN HAVE A DETRIMENTAL EFFECT ON THE INOCULATION PROGRAM. SOIL APPLICATION OF ANY FUNGICIDE IS NOT RECOMMENDED FOR TWO WEEKS AFTER APPLICATION. • OTHER PESTICIDES: HERBICIDES AND INSECTICIDES DO NOT NORMALLY INTERFERE WITH MYCORRHIZAL FUNGAL DEVELOPMENT, BUT MAY INHIBIT THE GROWTH OF SOME TREE AND SHRUB SPECIES IF NOT USED PROPERLY.

• FERTILIZER TABLETS ARE PLACED IN THE UPPER 4 INCHES OF BACKFILL SOIL WHEN PLANTING TREES AND SHRUBS. • TABLETS ARE FORMULATED FOR LONG-TERM RELEASE BY SLOW BIODEGRADATION, AND LAST UP TO 2 YEARS AFTER PLANTING. TABLETS CONTAIN 12-8-8 NPK FERTILIZER, AS WELL AS A MINIMUM OF SEVEN PERCENT (7%) HUMIC ACID BY WEIGHT, MICROBIAL NUTRIENTS DERIVED FROM SEA KELP, PROTEIN BYPRODUCTS, AND YUCCA SCHIDIGERA, AND A COMPLEMENT OF BENEFICIAL RHIZOSPHERE BACTERIA. THE STANDARD 21 GRAM TABLET IS SPECIFIED HERE. DIRECTIONS FOR USE: FOR PLANTING BALLED & BURLAPPED (B&B) TREES AND SHRUBS, MEASURE THE THICKNESS OF THE TRUNK, AND USE ABOUT I TABLET (21-G) PER HALF-INCH. PLACE THE TABLETS DIRECTLY NEXT TO THE ROOT BALL, EVENLY DISTRIBUTED AROUND ITS PERIMETER, AT A DEPTH OF ABOUT 4 INCHES.

PLANT QUALITY AND HANDLING NOTES

- REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- 2. IN ALL CASES, BOTANICAL NAMES LISTED WITHIN THE APPROVED OR FINAL PLANT LIST SHALL TAKE PRECEDENCE OVER COMMON NAMES
- 3. ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FAVORED IN THEIR DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL HAVE A NORMAL HABIT OR SOUND. HEALTHY, VIGOROUS PLANTS WITH WELL DEVELOPED ROOT SYSTEM.
- PLANTS SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE. 4. PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY. TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR
- FRESH CUTS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (I-1/4") WHICH HAVE NOT COMPLETELY CALLOUSED SHALL BE 5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY
- TAGGED WITH THE PROPER NAME AND SIZE. 6. THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF
- '. ALL PLANTS DESIGNATED BALL AND BURLAP (B&B) MUST BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. THE DIAMETER AND DEPTH OF THE BALLS OF EARTH MUST BE SUFFICIENT TO encompass the fibrous root feeding systems necessary for the healthy development of the plant. No plant SHALL BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN PREPARATORY TO OR DURING THE PROCESS OF PLANTING. THE BALLS SHALL REMAIN INTACT DURING ALL OPERATIONS. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE MUST BE HEELED-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL OR MULCH AND THEN WATERING. HEMP BURLAP AND TWINE IS PREFERABLE TO TREATED. IF TREATED BURLAP IS
- USED, ALL TWINE IS TO BE CUT FROM AROUND THE TRUNK AND ALL BURLAP IS TO BE REMOVED. 8. PLANTS TRANSPORTED TO THE PROJECT IN OPEN VEHICLES SHALL BE COVERED WITH TARPS OR OTHER SUITABLE COVERS SECURELY FASTENED TO THE BODY OF THE VEHICLE TO PREVENT INJURY TO THE PLANTS. CLOSED VEHICLES SHALL BE ADEQUATELY VENTILATED TO PREVENT OVERHEATING OF THE PLANTS, EVIDENCE OF INADEQUATE PROTECTION FOLLOWING DIGGING, CARELESSNESS WHILE IN TRANSIT, OR IMPROPER HANDLING OR STORAGE SHALL BE CAUSE FOR REJECTION OF PLANT MATERIAL. ALL PLANTS SHALL BE KEPT MOIST, FRESH, AND PROTECTED. SUCH PROTECTION SHALL ENCOMPASS THE
- ENTIRE PERIOD DURING WHICH THE PLANTS ARE IN TRANSIT, BEING HANDLED, OR ARE IN TEMPORARY STORAGE. 9. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING LANDSCAPE PLAN AND PLANTING DETAILS.
- 10. LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. IF PLANTS ARE NOT PLANTED IMMEDIATELY ON SITE, PROPER CARE SHALL BE TAKEN TO PLACE THE PLANTINGS IN PARTIAL SHADE WHEN POSSIBLE. THE ROOT BALL SHALL BE KEPT MOIST AT ALL TIME AND COVERED WITH MOISTENED MULCH OR AGED WOODCHIPS. PROPER IRRIGATION SHALL BE SUPPLIED SO AS TO NOT ALLOW THE ROOT BALL TO DRY OUT. PLANTINGS HALL BE UNTIED AND PROPER SPACING SHALL BE ALLOTTED FOR AIR CIRCULATION AND TO PREVENT DISEASE, WILTING, AND LEAF LOSS. PLANTS THAT REMAIN UNPLANTED FOR A PERIOD OF TIME GREATER THAN THREE (3) DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH AND WATERED AS REQUIRED TO PRESERVE ROOT MOISTURE. II. NO PLANT MATERIAL SHALL BE PLANTED IN MUDDY OR FROZEN SOIL.
- 12. PLANTS WITH INJURED ROOTS OR BRANCHES SHALL BE PRUNED PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY DISEASED OR INJURED PLANTS SHALL BE REMOVED. 13. IF ROCK OR OTHER UNDERGROUND OBSTRUCTION IS ENCOUNTERED, THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO
- RELOCATE OR ENLARGE PLANTING PITS OR DELETE PLANT MATERIAL FROM THE CONTRACT. 14. IF PLANTS ARE PROPOSED WITHIN SIGHT TRIANGLES, TREES SHALL BE LIMBED AND MAINTAINED TO A HEIGHT OF EIGHT FEET (8') ABOVE GRADE, AND SHRUBS, GROUND COVER, PERENNIALS, AND ANNUALS SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED TWO FEET (2") ABOVE GRADE UNLESS OTHERWISE NOTED OR SPECIFIED BY THE GOVERNING MUNICIPALITY OR
- 15. INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS: PLANTS (MARCH 15 - DECEMBER 15)
- LAWNS (MARCH 15 JUNE 15 OR SEPTEMBER 1 DECEMBER 1) 16. THE FOLLOWING TREES ARE SUSCEPTIBLE TO TRANSPLANT SHOCK AND SHALL NOT BE PLANTED DURING THE FALL SEASON (STARTING SEPTEMBER 15)

ABIES CONCOLOR	CORNUS VARIETIES	OSTRYA VIRGINIANA
ACER BUERGERIANUM	CRATAEGUS VARIETIES	PINUS NIGRA
ACER FREEMANII	CUPRESSOCYPARIS LEYLANDII	PLATANUS VARIETIES
ACER RUBRUM	FAGUS VARIETIES	POPULUS VARIETIES
ACER SACCHARINUM	HALESIA VARIETIES	PRUNUS VARIETIES
BETULA VARIETIES	ILEX X FOSTERII	PYRUS VARIETIES
CARPINUS VARIETIES	ILEX NELLIE STEVENS	QUERCUS VARIETIES (NOT Q. PALUSTRIS)
CEDRUS DEODARA	ILEX OPACA	SALIX WEEPING VARIETIES
CELTIS VARIETIES	JUNIPERUS VIRGINIANA	SORBUS VARIETIES
CERCIDIPHYLLUM VARIETIES	KOELREUTERIA PANICULATA	TAXODIUM VARIETIES
CERCIS CANADENSIS	LIOLIDAMBAR VARIETIES	TAXLIX B REPANDENS

FAXUX B REPANDEN: **CORNUS VARIETIES** LIRIODENDRON VARIETIES TILIA TOMENTOSA VARIETIES CRATAEGUS VARIETIES MALUS IN LEAF ULMUS PARVIFOLIA VARIETIES NYSSA SYLVATICA ZELKOVA VARIETIES

17. IF A PROPOSED PLANT IS UNATTAINABLE OR ON THE FALL DIGGING HAZARD LIST, AN EQUIVALENT SPECIES OF THE SAME SIZE MAY BE REQUESTED FOR SUBSTITUTION OF THE ORIGINAL PLANT. ALL SUBSTITUTIONS SHALL BE APPROVED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL PRIOR TO ORDERING AND INSTALLATION.

18. DURING THE COURSE OF CONSTRUCTION/PLANT INSTALLATION, EXCESS AND WASTE MATERIALS SHALL BE CONTINUOUSLY AND PROMPTLY REMOVED AT THE END OF EACH WORK DAY. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF AND ALL PAVED AREAS SHALL BE CLEANED.

19. THE LANDSCAPE CONTRACTOR SHALL DISPOSE OF ALL RUBBISH AND EXCESS SOIL AT HIS EXPENSE TO AN OFF-SITE LOCATION AS APPROVED BY THE LOCAL MUNICIPALITY. 20. A 90-DAY MAINTENANCE PERIOD SHALL BEGIN IMMEDIATELY AFTER ALL PLANTS HAVE BEEN SATISFACTORILY INSTALLED.

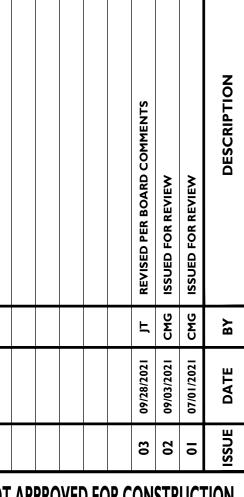
- 21. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, REPLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR DTHER MEANS, REPAIRING AND RESHAPING WATER RINGS OR SAUCERS, MAINTAINING STAKES AND GUYS IF ORIGINALI REQUIRED, WATERING WHEN NEEDED OR DIRECTED, WEEDING, PRUNING, SPRAYING, FERTILIZING, MOWING THE LAWN, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION.
- 2. Mow all grass areas at regular intervals to keep the grass height from exceeding three inches (3"). Mowing SHALL BE PERFORMED ONLY WHEN GRASS IS DRY. MOWER BLADE SHALL BE SET TO REMOVE NO MORE THAN ONE THIRD (1/3) OF THE GRASS LENGTH. WHEN THE AMOUNT OF GRASS IS HEAVY, IT SHALL BE REMOVED TO PREVENT DESTRUCTION OF THE underlying turf. Mow grass areas in such a manner as to prevent clippings from blowing on paved areas, and sidewalks. Cleanup after mowing shall include sweeping or blowing of paved areas and sidewalks to
- CLEAR THEM FROM MOWING DEBRIS. 23. GRASSED AREAS DAMAGED DURING THE PROCESS OF THE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL RESTORE THE DISTURBED AREAS TO A CONDITION SATISFACTORY TO THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL
- OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE. THIS MAY INCLUDE FILLING TO GRADE, FERTILIZING, SEEDING, AND
- 24. SHOULD THE OWNER REQUIRE MAINTENANCE BEYOND THE STANDARD 90-DAY MAINTENANCE PERIOD, A SEPARATE CONTRACT SHALL BE ESTABLISHED.
- 25. LANDSCAPE CONTRACTOR SHALL WATER NEW PLANTINGS FROM TIME OF INSTALL AND THROUGHOUT REQUIRED 90-DAY MAINTENANCE PERIOD UNTIL PLANTS ARE ESTABLISHED. IF ON-SITE WATER IS NOT AVAILABLE AT THE PROJECT LOCATION, THE LANDSCAPE CONTRACTOR SHALL FURNISH IT BY MEANS OR A WATERING TRUCK OR OTHER ACCEPTABLE MANNER.
- 26. THE QUANTITY OF WATER APPLIED AT ONE TIME SHALL BE SUFFICIENT TO PENETRATE THE SOIL TO A MINIMUM OF EIGHT INCHES (8") IN SHRUB BEDS AND SIX INCHES (6") IN TURF AREAS AT A RATE WHICH WILL PREVENT SATURATION OF THE SOIL. 27. IF AN AUTOMATIC IRRIGATION SYSTEM HAS BEEN INSTALLED, IT CAN BE USED FOR WATERING PLANT MATERIAL. HOWEVER, FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY OF PLANT HEALTH AND

PLANT MATERIAL GUARANTEE NOTES

- the Landscape Contractor Shall Guarantee all plant material for a period of one year (1 yr.) from approval OF LANDSCAPE INSTALLATION BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S
- I. THE LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE DYING, DEAD, OR DEFECTIVE PLANT MATERIAL AT HIS EXPENSE. THE LANDSCAPE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS COMPANY'S OPERATIONS. 3. ALL REPLACEMENT PLANTS SHALL BE OF THE SAME SPECIES AND SIZE AS SPECIFIED ON THE APPROVED OR FINAL PLANT LIST. REPLACEMENTS RESULTING FROM REMOVAL, LOSS, OR DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART, VANDALISM, PHYSICAL DAMAGE BY ANIMALS, VEHICLES, ETC., AND LOSSES DUE TO CURTAILMENT OF WATER BY LOCAL AUTHORITIES SHALL BE APPROVED AND PAID FOR BY THE OWNER.
- 4. THE CONTRACTOR SHALL INSTRUCT THE OWNER AS TO THE PROPER CARE AND MAINTENANCE OF ALL PLANTINGS.

LAWN (SEED OR SOD) NOTES:

- I. SEED MIXTURE SHALL BE FRESH, CLEAN, NEW CROP SEED. SOD SHALL BE STRONGLY ROOTED, UNIFORM IN THICKNESS, AND FREE OF WEEDS, DISEASE, AND PESTS.
- .. SEED OR SOD SHALL BE PURCHASED FROM A RECOGNIZED DISTRIBUTOR AND SHALL BE COMPOSED OF THE MIX OR BLEND WITHIN THE PROVIDED "SEED SPECIFICATION" OR "SOD SPECIFICATION."
- 3. REFERENCE LANDSCAPE PLAN FOR AREAS TO BE SEEDED OR LAID WITH SOD. 4. SEEDING SHALL NOT BE PERFORMED IN WINDY WEATHER. IF THE SEASON OF THE PROJECT COMPLETION PROHIBITS
- PERMANENT STABILIZATION, TEMPORARY STABILIZATION SHALL BE PROVIDED IN ACCORDANCE WITH THE "TEMPORARY SEEDING SPECIFICATION.'
- 5. PROTECT NEW LAWN AREAS AGAINST TRESPASSING WHILE THE SEED IS GERMINATING. FURNISH AND INSTALL FENCES, SIGNS, BARRIERS OR ANY OTHER NECESSARY TEMPORARY PROTECTIVE DEVICES. DAMAGE RESULTING FROM TRESPASS. EROSION. WASHOUT, SETTLEMENT OR OTHER CAUSES SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR AT HIS EXPENSE. REMOVE ALL FENCES, SIGNS, BARRIERS OR OTHER TEMPORARY PROTECTIVE DEVICES ONCE LAWN HAS BEEN ESTABLISHED.



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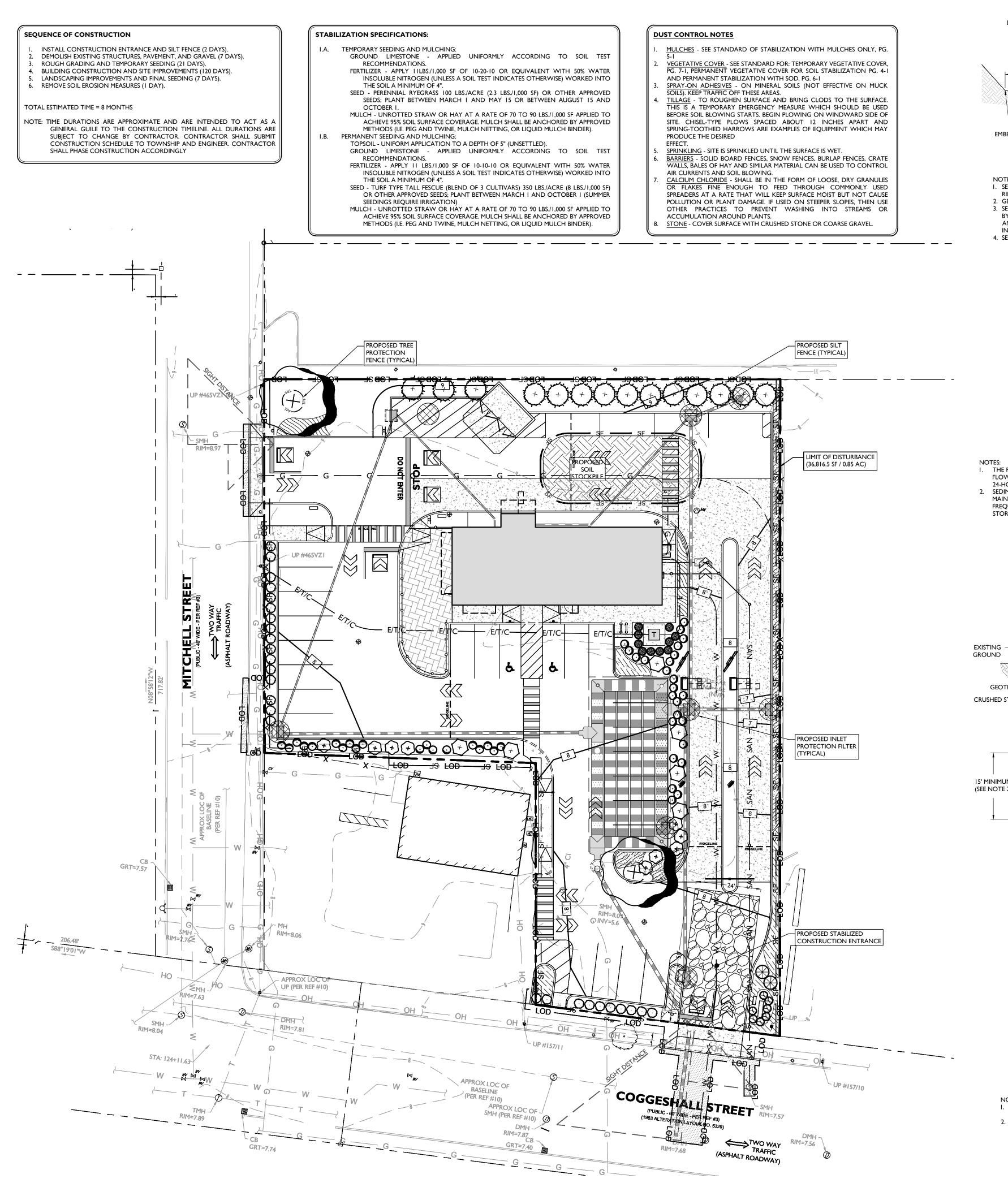


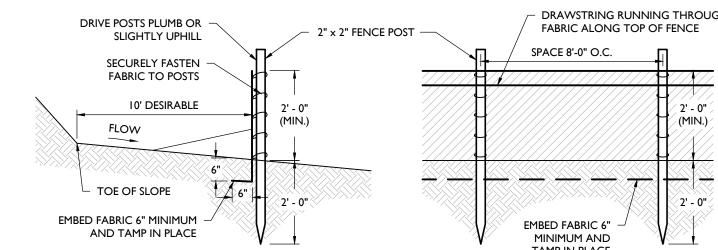
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SCALE: AS SHOWN PROJECT ID: BOS-200026

LANDSCAPING DETAILS





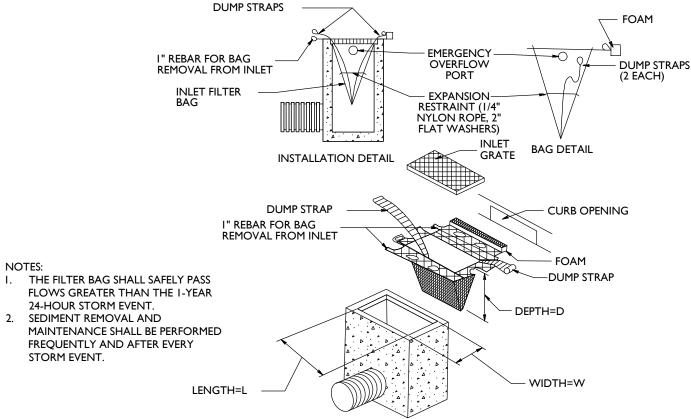
I. SECURELY FASTEN GEOTEXTILE TO FENCE POST BY USE OF WIRE TIES, HOG

RINGS, STAPLES OR POCKETS. FOUR TO SIX FASTENERS PER POST. 2. GEOTEXTILE FABRIC TO BE EMBEDDED 6" (MIN.) AND TAMP IN PLACE. 3. SECURELY FASTEN ENDS OF INDIVIDUAL ROLLS OF GEOTEXTILE TO A POST BY WRAPPING EACH END OF THE GEOTEXTILE AROUND THE POST TWICE AND ATTACHING AS SPECIFIED IN NOTE I ABOVE. SPLICING OF

INDIVIDUAL ROLLS SHALL NOT OCCUR AT LOW POINTS. 4. SET SILT FENCE WITHIN PROJECT LIMITS. 10'-0" IS DESIRABLE.

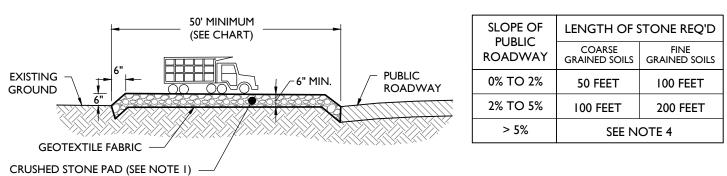
SILT FENCE DETAIL

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INLET FILTER BAG DETAIL

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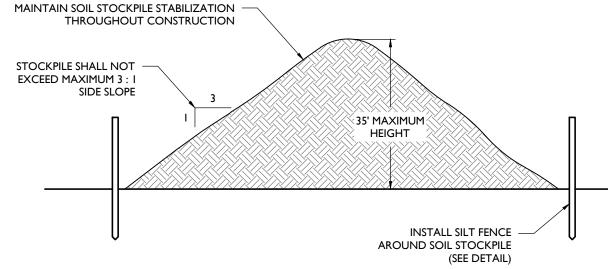
PROFILE VIEW 50' MINIMUM (SEE CHART) 15' MINIMUM (SEE NOTE 2) CRUSHED STONE PAD -(SEE NOTE I) PLAN VIEW

I. STONE SHALL BE ASTM C-33, SIZE No. 2 (2.5" TO 1.5") OR No. 3 (2" TO I") CLEAN CRUSHED ANGULAR STONE. WIDTH SHALL BE 15' MINIMUM OR THE FULL WIDTH OF

THE ACCESS POINT, WHICHEVER IS GREATER. STORMWATER FROM UP-SLOPE AREAS SHALL BE DIVERTED AWAY FROM THE STABILIZED PAD, WHERE POSSIBLE. AT POORLY DRAINED LOCATIONS, SUBSURFACE DRAINAGE GRAVEL FILTER OR GEOTEXTILE SHALL BE INSTALLED BEFORE THE STABILIZED CONSTRUCTION ENTRANCE WHERE THE SLOPE OF THE ROADWAY EXCEEDS 5%, A STABILIZED BASE OF HOT MIX ASPHALT BASE COURSE SHALL BE INSTALLED. THE TYPE AND THICKNESS OF THE BASE COURSE AND USE OF DENSE GRADED AGGREGATE SUB-BASE SHALL BE AS PRESCRIBED BY LOCAL MUNICIPAL ORDINANCE OR GOVERNING AUTHORITY. CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN THE STABILIZED CONSTRUCTION ACCESS AND

STABILIZED CONSTRUCTION ACCESS DETAIL

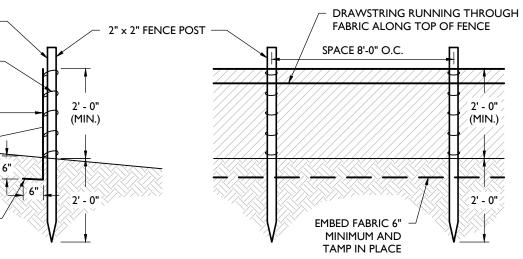
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I. STOCKPILES SHALL BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE. 2. STOCKPILES SHALL BE STABILIZED IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT OR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, AS APPROPRIATE (SEE SOIL EROSION NOTES).

SOIL STOCKPILE DETAIL

NOT TO SCALE



SYMBOL DESCRIPTION PROPERTY BOUNDARY

PROPOSED LIMIT OF DISTURBANCE

ADJACENT PROPERTY BOUNDARY

PROPOSED SILT FENCE

PROPOSED STOCKPILE & **EQUIPMENT STORAGE**

PROPOSED TREE PROTECTION FENCE

PROPOSED STABILIZED CONSTRUCTION ENTRANCE PROPOSED INLET PROTECTION FILTER

SOIL EROSION AND SEDIMENT CONTROL NOTES

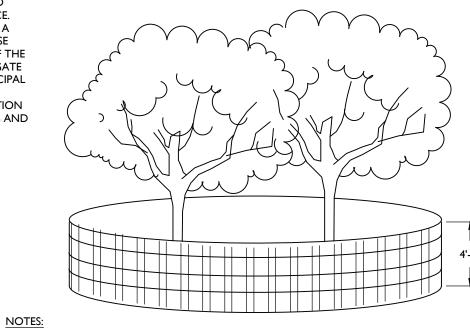
CONSTRUCTION AS REQUIRED.

- I. THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL 2. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL IN
- COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY 3. THE CONTRACTOR IS RESPONSIBLE TO INSPECT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER A PRECIPITATION EVENT GREATER THAN I INCH. THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG ON SITE AND DOCUMENT CORRECTIVE ACTION TAKEN THROUGHOUT THE COURSE OF

SOIL CHARACTE	RISTICS CHART
TYPE OF SOIL	URBAN LAND (602)
PERCENT OF SITE COVERAGE	100%
HYDROLOGIC SOIL GROUP	N/A
DEPTH TO RESTRICTIVE LAYER	N/A
SOIL PERMEABILITY	N/A
DEPTH TO WATER TABLE	N/A



Know what's **below Call** before you dig.

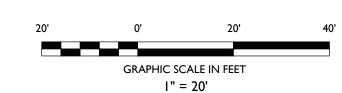


I. SNOW FENCING IS TO BE 4'-0" HIGH AND SELF SUPPORTED. 2. DO NOT STOCKPILE MATERIALS OR STORE EQUIPMENT WITHIN THE TREE PROTECTION FENCING.

3. SNOW FENCE TO BE INSTALLED AT DRIP LINE OF EXISTING TREE OR TREE CLUSTER TO BE PROTECTED OR NO CLOSER THAN 6' FROM TREE TRUNK IF NECESSARY. 4. IF THE PROJECT AREA ENCOMPASSES A PORTION OF THE DRIP LINE OF THE TREE, NO MORE THAN ONE THIRD OF THE OF THE TOTAL AREA OF WITHIN THE DRIP LINE SHOULD BE DISTURBED BY CONSTRUCTION OR REGRADING AND A 3" THICK LAYER OF MULCH SHALL BE INSTALLED OVER THE AREA OF THE DRIP LINE WHICH IS NOT PROTECTED BY FENCING TO PROVIDE A CUSHION.

TREE PROTECTION DETAIL

NOT TO SCALE



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JAKE MODESTOW, P.E. MASŠACHUSETTS LICENSE No. 6201065336

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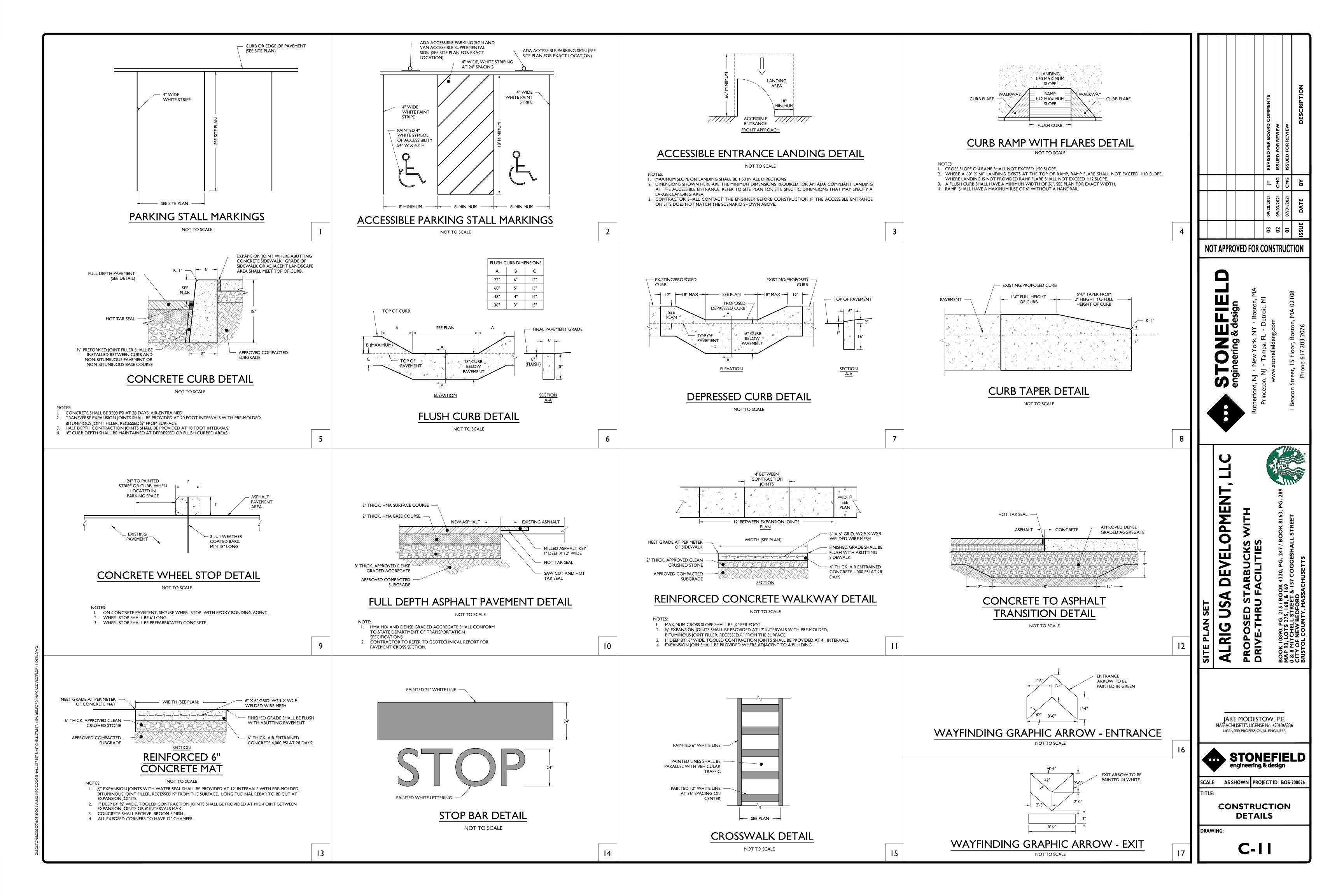


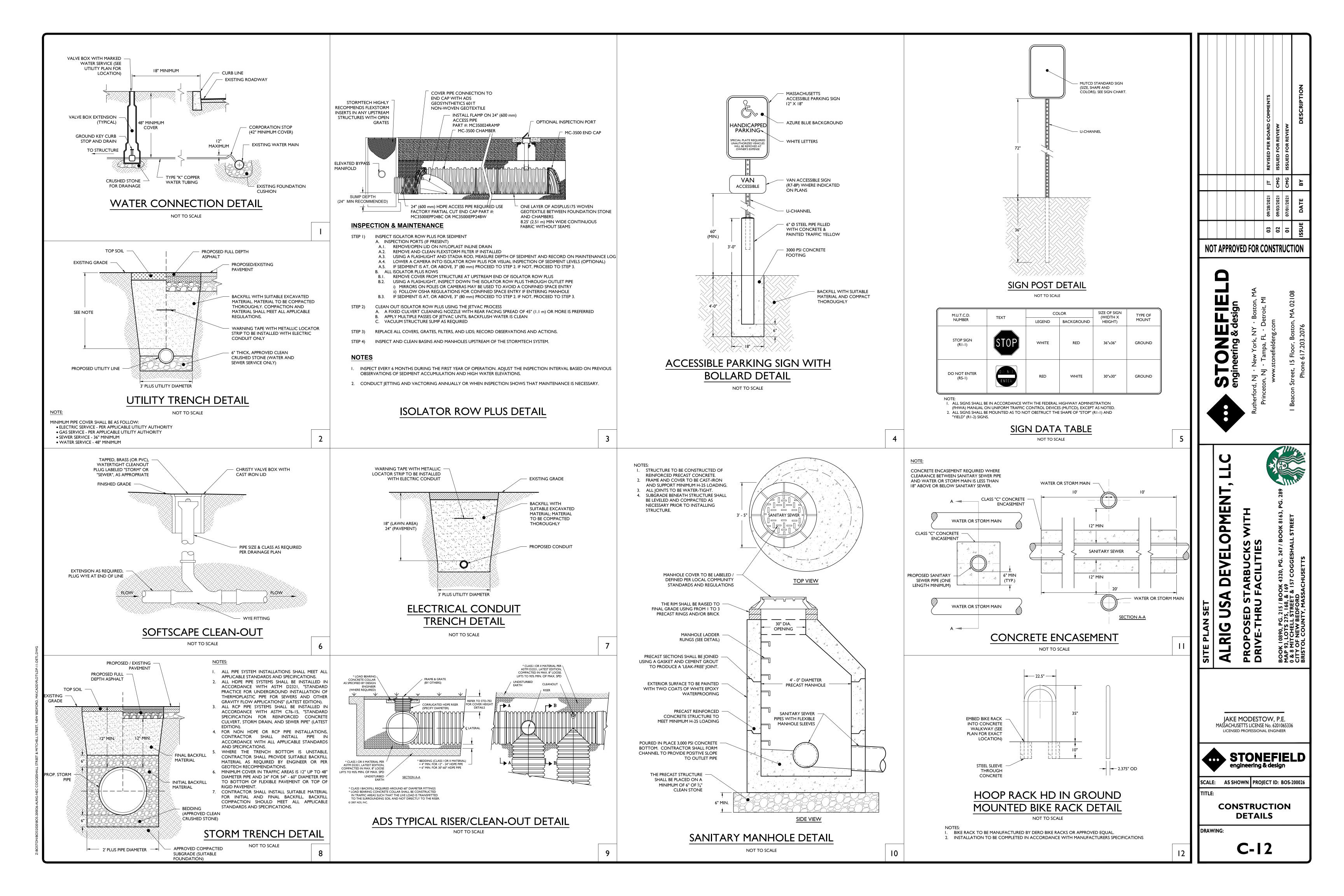
I" = 20' PROJECT ID: BOS-200026

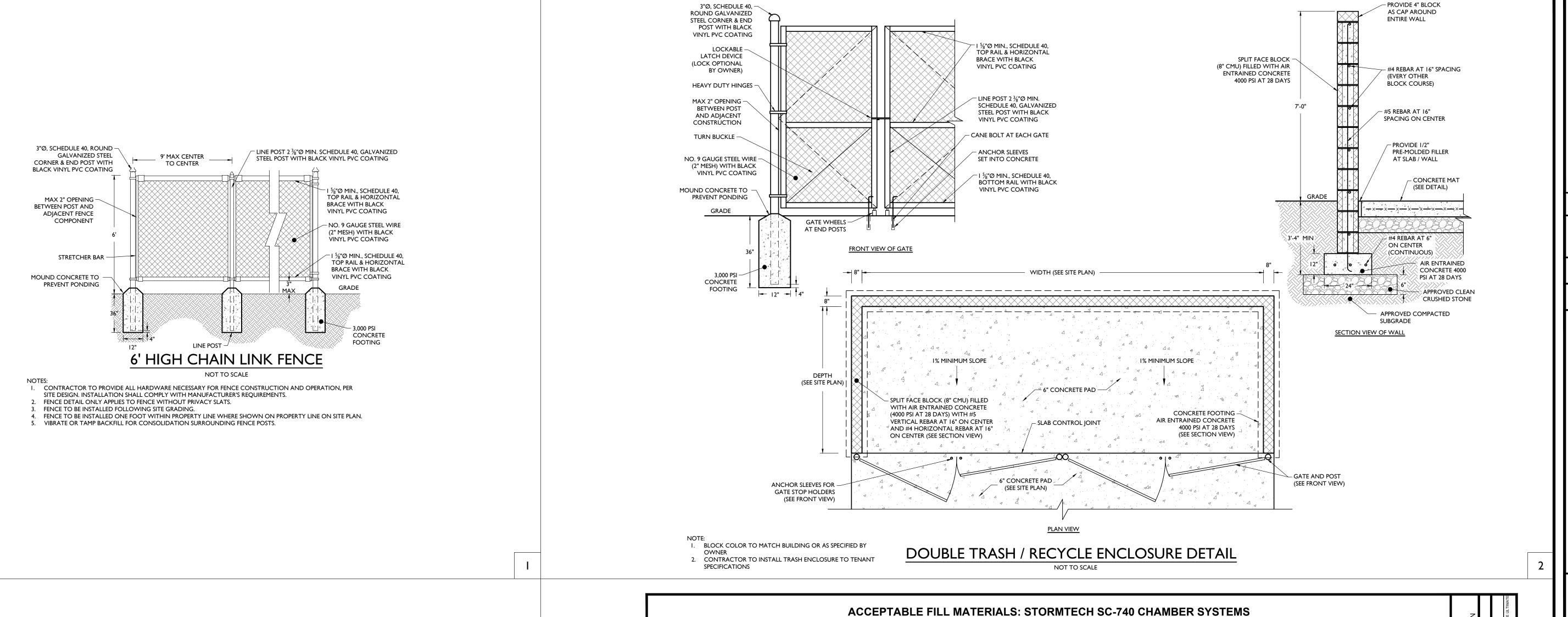
SOIL EROSION & SEDIMENT CONTROL

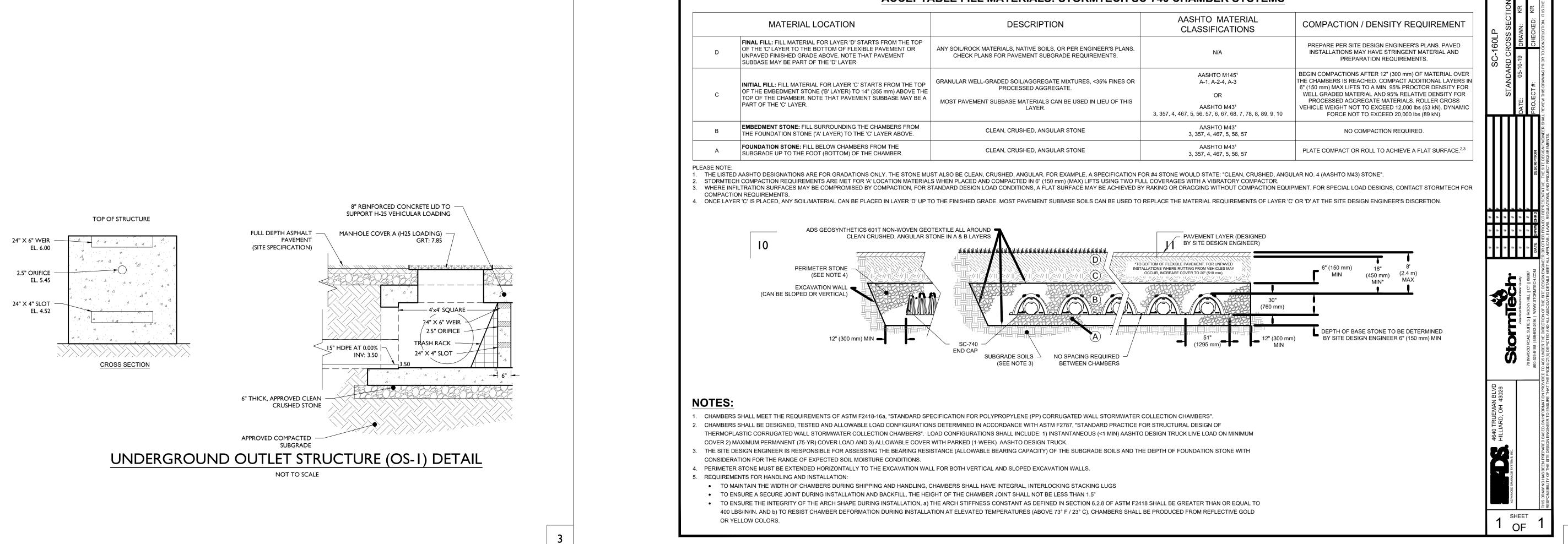
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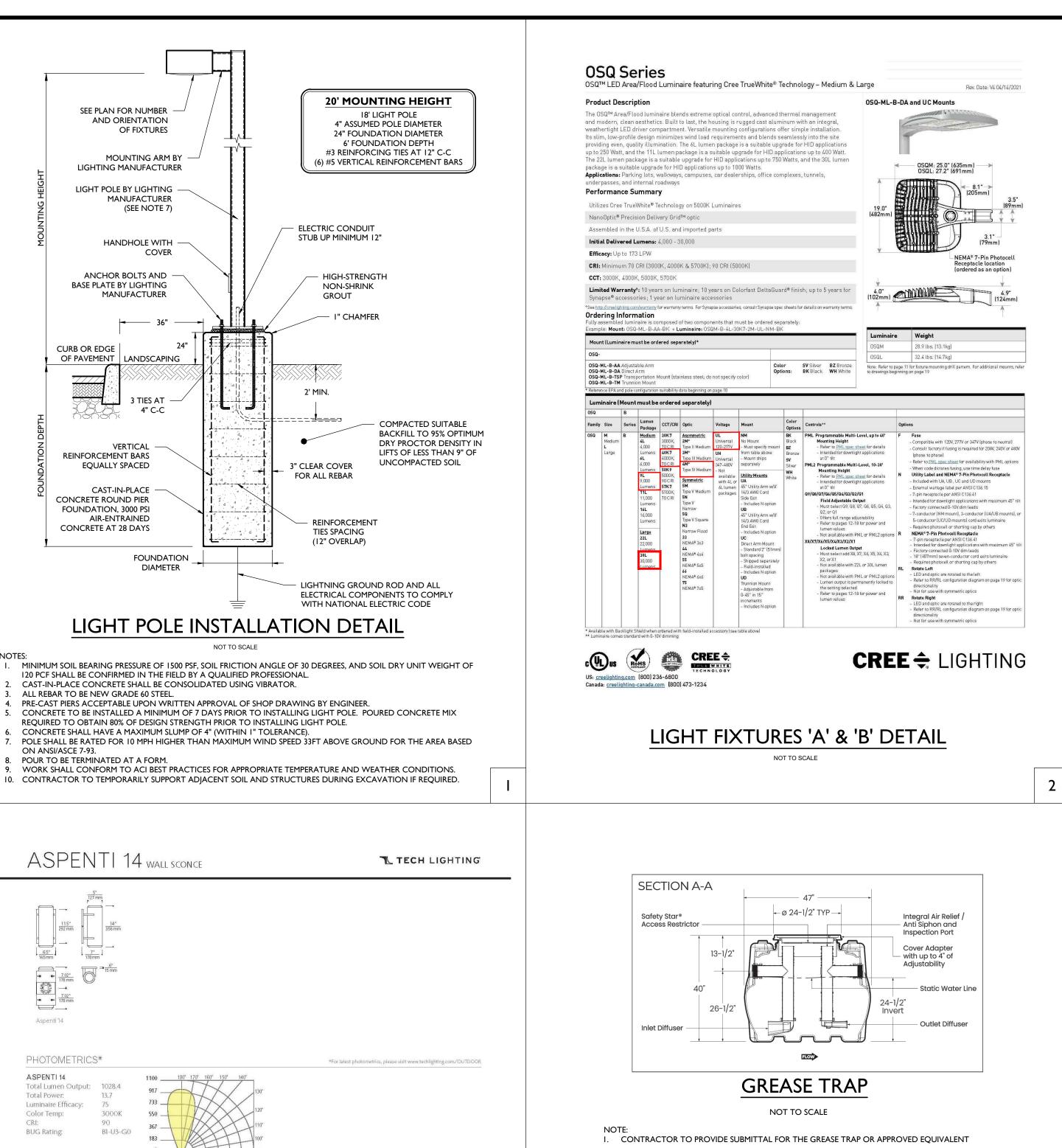
JAKE MODESTOW, P.E.

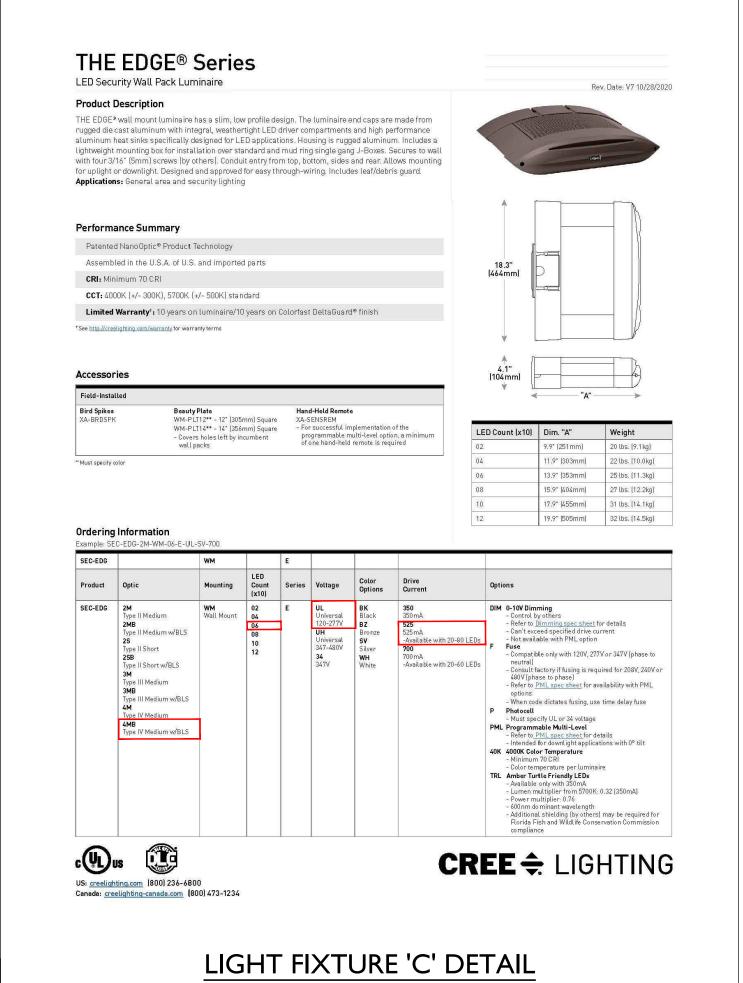
MASSACHUSETTS LICENSE No. 6201065336 LICENSED PROFESSIONAL ENGINEER

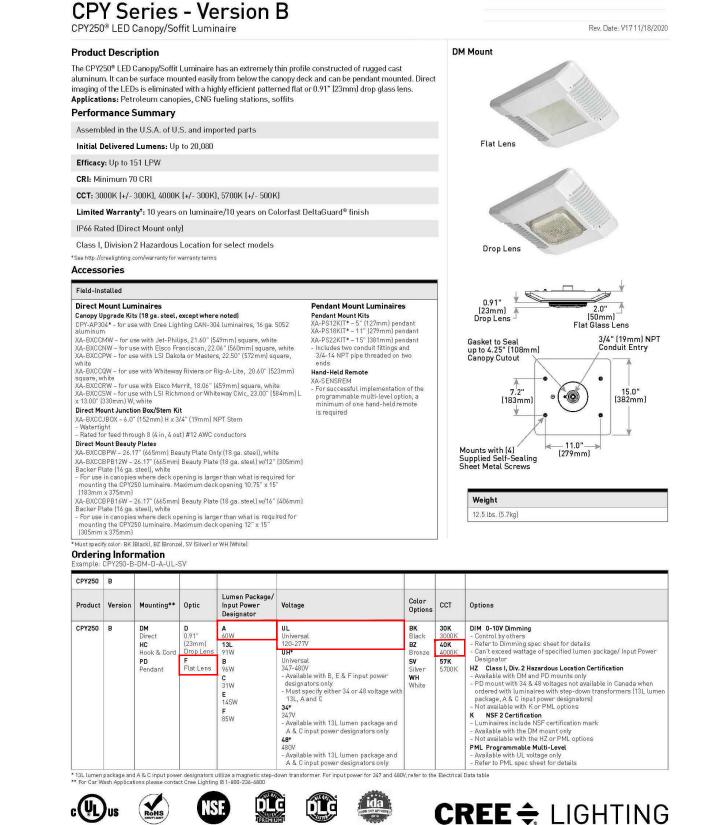


SCALE: AS SHOWN PROJECT ID: BOS-200026

CONSTRUCTION **DETAILS**







LIGHT FIXTURE 'D' DETAIL

NOT TO SCALE

US: <u>creelighting.com</u> T (800) 236-6800

Canada: creelighting-canada.com T (800) 473-1234

NOT TO SCALE



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NOT APPROVED FOR CONSTRUCTION

DEVELOPMENT,

ALRIG USA

Secrit

JAKE MODESTOW, P.E. MASSACHUSETTS LICENSE No. 6201065336 LICENSED PROFESSIONAL ENGINEER



SCALE: AS SHOWN PROJECT ID: BOS-200026

CONSTRUCTION DETAILS

DRAWING:

C-14

techlighting.com LIGHT FIXTURE 'E' DETAIL

NOTES

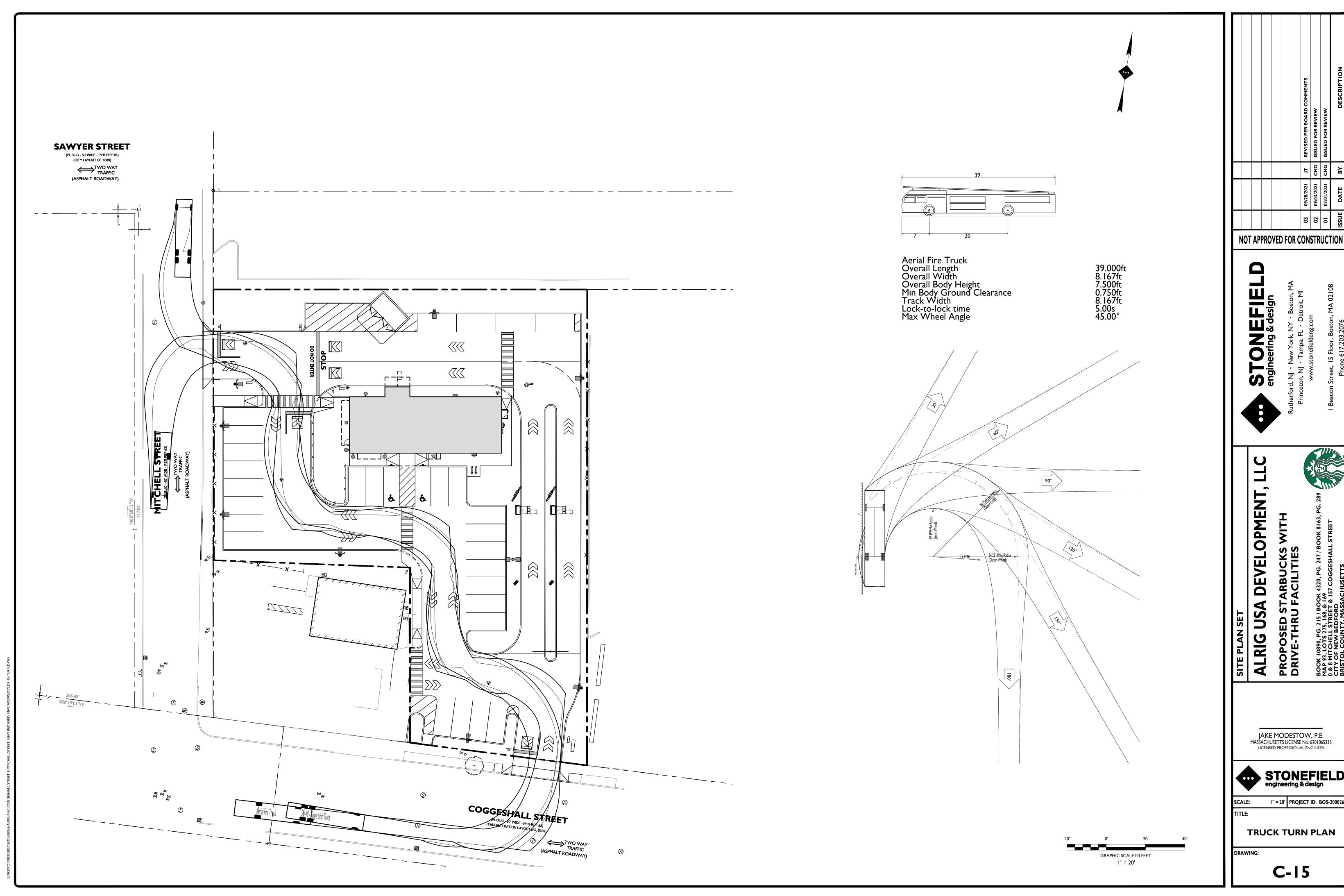
TECH LIGHTING VISUAL COMFORT & CO.

JOB NAME & INFO

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PROJECT INFO

FIXTURE TYPE & QUANTITY





I" = 20' PROJECT ID: BOS-200026

