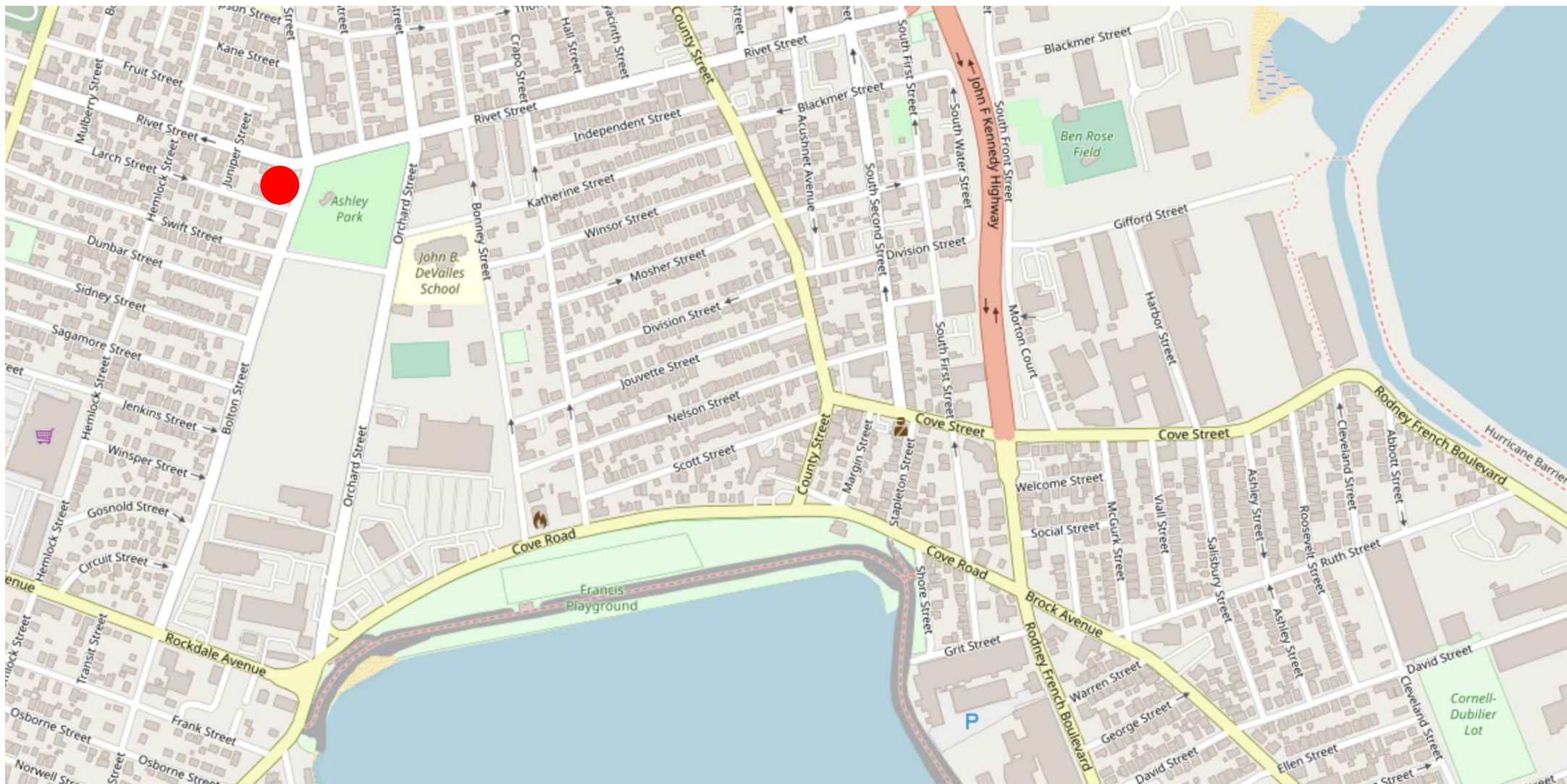


414-430 RIVET STREET, NEW BEDFORD, MA 02740

GENERAL NOTES:

1. ALL WORK, AS DEFINED OR IMPLIED WITHIN THESE CONSTRUCTION DRAWINGS AND BUILDING SPECIFICATIONS IS TO BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL BUILDING CODES AND REGULATIONS.
2. ALL DIMENSIONS SHOWN REPRESENT APPROXIMATE DELINEATIONS AND ARE NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES. ALL WIDTH DIMENSIONS ARE APPROXIMATE, AS WALLS ARE UNEVEN PLASTER, STONE AND/OR BRICK MASONRY. ALL DIMENSIONS MUST BE VERIFIED IN FIELD (V.I.F.)
3. THE CONTRACTOR SHALL EXAMINE THE ENTIRE SITE, AND WILL TAKE INTO ACCOUNT ALL CONDITIONS THEREON AS MAY AFFECT THE PERFORMANCE OF THE WORK UNDER THE CONTRACT. ALL DIMENSIONS MUST BE VERIFIED IN-FIELD PRIOR TO COMMENCING WORK. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES AND/OR DEVIATIONS FROM WHAT IS PRESENTED AND/OR IMPLIED ON THESE DRAWINGS AND SPECIFICATIONS.
4. THESE DRAWINGS ARE INTENDED TO SHOW THE EXISTING CONDITIONS OF THE EXISTING BUILDING, INCLUDING PROPOSED REPAIRS AND RENOVATIONS. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN FIELD. DO NOT SCALE DRAWINGS. CONTRACTOR TO NOTIFY THE ARCHITECT AND THE OWNER IF ANY CONDITIONS APPEAR CONTRARY TO THE DRAWINGS AND/OR SPECIFICATIONS.
5. THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE IDENTIFICATION, DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE.

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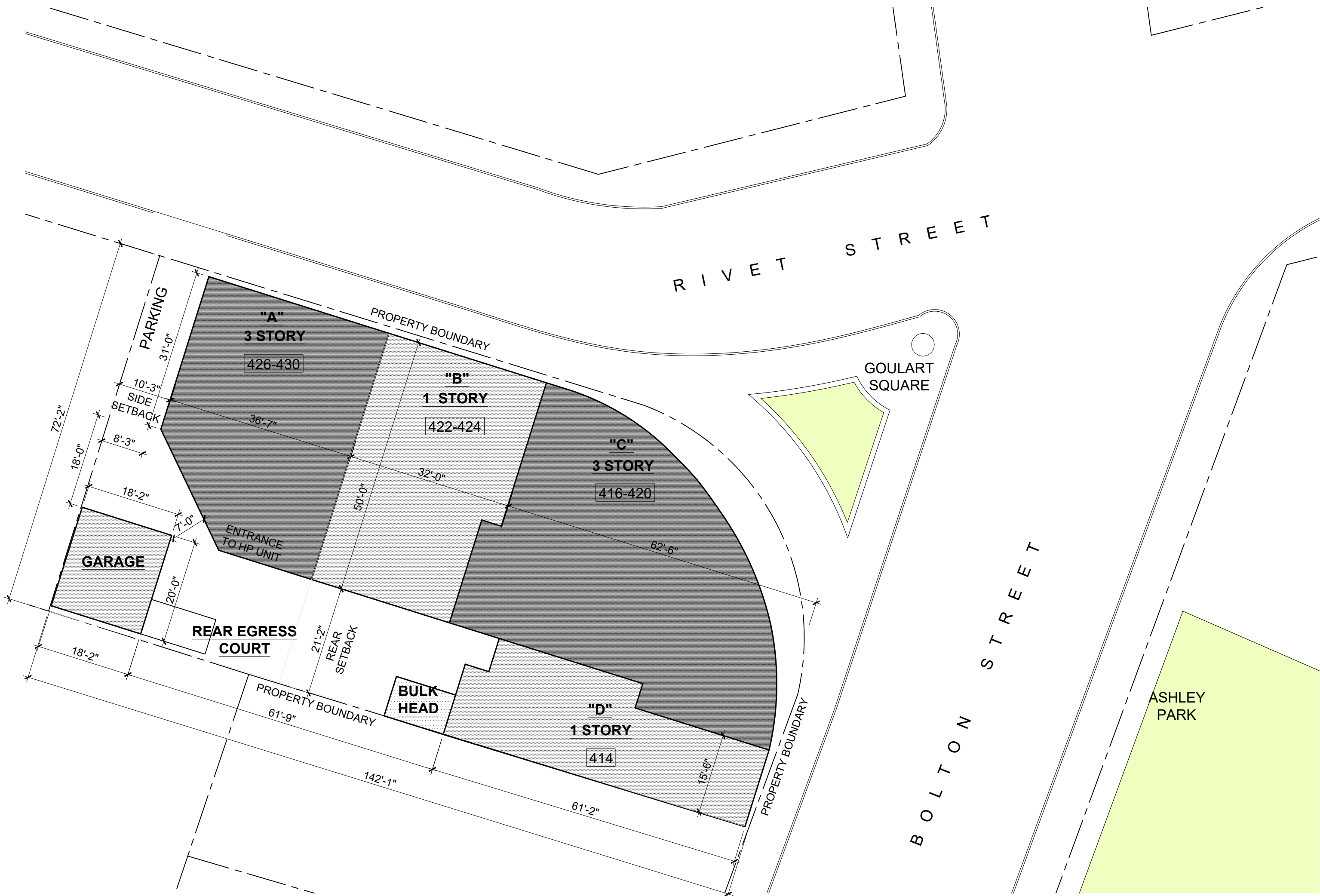


LOCUS MAP - 414-430 RIVET ST. NEW BEDFORD, MA 02740

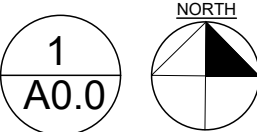


GENERAL ABBREVIATIONS:

- |        |                          |
|--------|--------------------------|
| AFF    | Above Finish Floor       |
| ALUM   | Aluminum                 |
| BM     | Beam                     |
| CL     | Centerline               |
| COL    | Column                   |
| CONC   | Concrete                 |
| CONT   | Continuous               |
| DBL    | Double                   |
| EL     | Elevation                |
| EQ     | Equal                    |
| EXISTG | Existing                 |
| FF     | Finish Floor             |
| FNDN   | Foundation               |
| FOF    | Face of Foundation       |
| FOS    | Face of Stud             |
| GALV   | Galvanized               |
| GL     | Glass                    |
| GYP    | Gypsum Board             |
| HF     | Hem-Fir                  |
| INSUL  | Insulation               |
| MTL    | Metal                    |
| NTS    | Not To Scale             |
| PT     | Pressure Treated         |
| PTD    | Painted                  |
| SCWV   | Solid Core Wood Veneer   |
| SPF    | Spruce Pine Fir          |
| SS     | Stainless Steel          |
| SSM    | Solid Surfacing Material |
| STL    | Steel                    |
| SYP    | Southern Yellow Pine     |
| TYP    | Typical                  |
| U.N.O. | Unless Noted Otherwise   |
| VIF    | Verify In Field          |
| WD     | Wood                     |
| WWF    | Welded Wire Fabric       |



SITE PLAN - 414-430 RIVET ST. - PROPOSED  
SCALE: 1/16" = 1'-0"



PROJECT SUMMARY:

PROJECT: MINOR RENOVATIONS OF THE EXISTING THREE-STORY MIXED USE BUILDING BLOCK, RECENTLY PURCHASED BY THE WOMEN'S CENTER FOR HOUSING NEEDS.

LOCATION: 414 - 430 RIVET STREET, NEW BEDFORD, MA, 02740

- SCOPE OF WORK: A **LEVEL 2 ALTERATION**, INCLUDING THE FOLLOWING:
- INSTALLATION OF NFPA-13R FIRE SUPPRESSION SYSTEM AND FIRE ALARM IN THE RESIDENTIAL UNITS AND EGRESS STAIRS ONLY.
  - MODIFICATIONS TO EXISTING STAIRS, WALLS, AND CEILINGS AS REQUIRED TO PROVIDE FIRE-RATED SEPARATIONS.
  - GENERAL RENOVATIONS TO EXISTING COMMERCIAL OFFICE SPACE ON FIRST FLOOR.
  - RENOVATIONS TO EXISTING COMMERCIAL SPACE ON FIRST FLOOR TO ACCOMMODATE A NEW ADA RESIDENTIAL UNIT.
  - UPGRADES AS REQUIRED TO EXISTING BUILDING SYSTEMS:
    - NEW COPPER SERVICE TO REPLACE EXISTING LEAD SERVICE OFF BOLTON ST.
    - NEW HVAC SYSTEM AT ADA RESIDENTIAL UNIT AS INDICATED.
    - ELIMINATION OF ANY EXISTING OLD KNOB AND TUBE WIRING IN STAIRS AND ADA UNIT, REPLACE WITH NEW WIRING AS REQUIRED.

ZONING CLASSIFICATION: MIXED USE BUSINESS

USE GROUP CLASSIFICATIONS:  
EXISTING: MERCANTILE; A-2 ASSEMBLY; R-2: RESIDENTIAL  
PROPOSED: MERCANTILE; BUSINESS; A-2 ASSEMBLY; R-1: RESIDENTIAL

CONSTRUCTION CLASSIFICATION: TYPE III-B

414-430 RIVET STREET IS A BRICK MASONRY STRUCTURE WITH WOOD FRAMED ROOF AND FLOORS. MASONRY PARTI-WALLS SEPARATE THE BLOCK INTO THREE ADJACENT STRUCTURES.

EXPOSURE CATEGORY: URBAN

WIND BORNE DEBRIS REGION: 115 mph BASIC WIND SPEED

ARCHITECT: KATHRYN DUFF, studio2sustain inc, 412 COUNTY STREET, NEW BEDFORD, MA 02740.  
OFFICE: 508.999.5145, FAX: 508.999.5183, **MA RA #7778**

CONSULTANTS:  
FS/FA: FIRE PROTECTION SERVICES: ALCIA WOOD, FAIRHAVEN, MA 02719. OFFICE: 508-728-8374

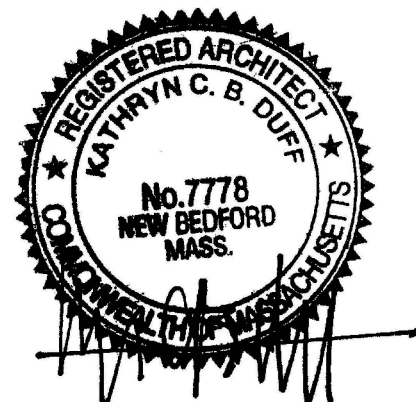
STRUCTURAL: ASAP ENGINEERING & DESIGN CO. MIDDLEBORO, MA

DRAWING LIST:

- A-0.0 PROJECT SUMMARY, SITE PLAN
- A-0.1 NARRATIVE SPECIFICATIONS
- A-0.2 NARRATIVE SPECIFICATIONS
- CR-0.1 CODE REVIEW SUMMARY
- SP1.1 SITE PLAN - EXISTING & PROPOSED
- EX-1.1 PLANS: BASEMENT, FIRST, SECOND, THIRD FLOORS, AND ROOF - EXISTING
- A-1.1 PLANS & SECTION: FIRST FLOOR, SECTION: BUILDING - PROPOSED
- A-1.2 PLANS: SECOND & THIRD FLOORS - PROPOSED
- A-1.3 ENLARGED PLANS & SPECIFICATIONS: FIRST FLOOR ADA UNIT & OFFICE - 426-428 RIVET STREET - PROPOSED
- A-1.4 REFLECTED CEILING PLANS & SPECIFICATIONS: FIRST FLOOR ADA UNIT & OFFICE - 426-428 RIVET STREET - PROPOSED
- FP-1 FIRE PROTECTION / FIRE ALARM - DETAILS, NOTES, SITE PLAN - PROPOSED
- FP-2 FIRE PROTECTION / FIRE ALARM - PLANS - PROPOSED
- FP-3 FIRE PROTECTION / FIRE ALARM - PLANS - PROPOSED



GOULART SQUARE - 414-430 RIVET STREET



kathryn duff ra cphc

**BID DOCUMENTS**  
-  
**NOT FOR CONSTRUCTION**

studio2sustain inc  
architects consultants environmental evangelists



kathryn duff, RA, founder & director, kathryn@studio2sustain.com  
412 county street, new bedford, massachusetts, 02740, 508.999.5145

CD'S  
-  
**TITLE SHEET & PROJECT SUMMARY**

**A 0.0**

GENERAL NOTES:

ALL WORK, AS DEFINED OR IMPLIED WITHIN THESE CONSTRUCTION DRAWINGS, SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

- IBC 2015 INTERNATIONAL EXISTING BUILDING CODE
- IBC 2015 INTERNATIONAL BUILDING CODE
- MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB) CODE REGULATIONS.
- IECC 2015 INTERNATIONAL ENERGY CONSERVATION CODE
- 780 CMR 2015 EDITION MASSACHUSETTS AMENDMENTS
- 780 CMR 2015 EDITION APPENDIX 115AA - STRECH ENERGY CODE
- CITY OF NEW BEDFORD ZONING AND PLANNING REGULATIONS
- US HOUSING AND URBAN DEVELOPMENT LEAD BASED LAW 24 CFR 35.1350
- COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC HEALTH 105 CMR
- 460.00 LEAD POISONING PREVENTION AND CONTROL.

UNLESS OTHERWISE NOTED, DETAILS SHOWN ON ANY DRAWING SHALL BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS. CONTRACTOR MUST CONFIRM ALL DIMENSIONS, AREA CALCULATIONS AND SCOPE OF WORK IN FIELD.

THE CONTRACTOR SHALL CHECK AND COORDINATE ENGINEERING DRAWINGS WITH ALL OTHER DRAWINGS OF ALL OTHER TRADES, AND ENSURE COMPREHENSIVE INSTALLATION OF ALL SYSTEMS AS INDICATED AND/OR NOTED. ANY AND ALL DISCREPANCIES ARE TO BE REVIEWED BY ARCHITECT PRIOR TO MODIFICATION AND/OR COMMENCEMENT OF WORK.

THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BRACING TO ENSURE STABILITY OF THE STRUCTURE AND ITS COMPONENTS DURING CONSTRUCTION.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AND NOTIFY THE ARCHITECT & OWNER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.

DIVISION 1 - GENERAL CONDITIONS:

SUMMARY

- SUMMARY OF WORK:
- LEVEL II ALTERATION OF EXISTING BUILDING AT 414-430 RIVET ST.
  - ALL NEW UTILITIES TO THE BASEMENT/UTILITY LEVEL, UNDERGROUND, OFF BOLTON STREET, AS NOTED ON THE SITE PLAN.
  - STRIPING OF EXISTING PAVEMENT FOR HP PARKING SPOT WEST OF BUILDING.
- PROJECT UTILITY SOURCES:
- NEW WATER SERVICE, CITY OF NEW BEDFORD, DEPARTMENT OF PUBLIC INFRASTRUCTURE (DPI), OFF BOLTON STREET.
  - NEW FIRE SUPPRESSION WATER SERVICE, CITY OF NEW BEDFORD, DPI, OFF BOLTON STREET.
  - ALL OTHER UTILITIES ARE TO REMAIN.

PRICE & PAYMENT PROCEDURES

- TESTING AND INSPECTING ALLOWANCES:
- FINAL SWIPE TEST FOR ALL SURFACE TO ENSURE LEAD-FREE BUILDING.
  - FINAL ASBESTOS-FREE TEST TO ENSURE FULL AND COMPREHENSIVE REMOVAL OF ALL ASBESTOS.

- SUBSTITUTION PROCEDURES:
- PRODUCT SUBSTITUTIONS MUST BE APPROVED BY ARCHITECT PRIOR TO ORDERING. CONTRACTOR TO SUBMIT SPECIFICATIONS AND REASON FOR SUBSTITUTION OF PROPOSED PRODUCT FOR APPROVAL, PRIOR TO ORDERING. SUBSTITUTION PRODUCTS MUST MATCH SPECIFIED PRODUCTS IN SCOPE, QUALITY, PERFORMANCE AND SPECIFICATION.
- PAYMENT PROCEDURES:
- AIA CONTRACT A101 & A201, 2017, ARE HEREBY PART OF THE CONSTRUCTION CONTRACT. ALL REQUESTS FOR PAYMENTS MUST ALIGN WITH AIA FORM G-702 & G-703
  - CONSTRUCTION PROGRESS DOCUMENTATION.
  - CONTRACTOR TO SUBMIT CONSTRUCTION SCHEDULE PRIOR TO COMMENCING WORK.
  - CONTRACTOR TO UPDATE CONSTRUCTION SCHEDULE WEEKLY, AND KEEP OWNER AND ARCHITECT ABREAST OF ANY AND ALL MODIFICATIONS.

ADMINISTRATIVE REQUIREMENTS

- SUBMITTAL PROCEDURES:
- CONTRACTOR TO SUBMIT PRODUCT SPECIFICATIONS, MILLWORK SHOP-DRAWINGS, STRUCTURAL DETAIL SHOP DRAWINGS AND ALL FINISH MATERIAL SAMPLES TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING MATERIALS AND/OR COMMENCING WORK.

- SPECIAL PROCEDURES - SUSTAINABILITY STANDARDS:
- ALL PACKAGING MATERIAL FROM PRODUCT DELIVERIES TO BE RECYCLED. PROVIDE PROOF OF RECYCLED MATERIAL.
  - PROVIDE ON-SITE RECYCLING COLLECTION DEVICES DURING CONSTRUCTION
  - PROVIDE PROOF OF ENERGY STAR COMPLIANCE FOR APPLIANCES AND EQUIPMENT BEING INSTALLED.

TEMPORARY FACILITIES

EXECUTION & CLOSEOUT REQUIREMENTS

- CLOSEOUT DOCUMENTS:
- COMPLETION AND CORRECTION LIST
  - MAINTENANCE CONTRACTS
  - PREVENTATIVE MAINTENANCE INSTRUCTIONS
  - FINAL LEAD-FREE CERTIFICATION
  - FINAL ASBESTOS FREE ROOF CERTIFICATION
  - WARRANTIES
  - PROJECT RECORDS DOCUMENTS
  - SPARE PARTS, LEFT OVER PAINT, ETC.
  - EXTRA STOCK
  - SUSTAINABLE DESIGN CLOSEOUT DOCUMENTATION
  - FINAL CLEAN RESULTS FROM LEAD "SWIPE" TESTS

PERFORMANCE REQUIREMENTS

LIFE CYCLE ACTIVITIES

- COMMISSIONING:
- ALL SYSTEMS TO BE BALANCED AND COMMISSIONED.
  - ALL BUILDING SYSTEMS OPERATIONS TO BE CONVEYED TO BUILDING OWNER WITH INITIAL TUTORIAL AND OPERATION DEMONSTRATION.
  - ALL EQUIPMENT MANUALS TO BE CONVEYED TO OWNER IN THE FORM OF A BINDER WITH USB THUMB-DRIVES OF ALL MANUALS, INCLUDING WARRANTY INFORMATION.

DIVISION 2 - EXISTING CONDITIONS:

MAINTENANCE OF EXISTING CONDITIONS:

- MAINTENANCE OF EXISTING CONDITIONS:
- CONTRACTOR TO SUBMIT PROTECTION SCHEDULE FOR PROTECTION OF EXISTING STRUCTURE DURING RENOVATION-RECONSTRUCTION PROJECT.
- CONSERVATION TREATMENT FOR EXISTING PERIOD CONDITIONS:

ASSESSMENT:

- SURVEYS:
- CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, AND MAP ACCESS TO PROJECT SITE TO BE APPROVED BY OWNER AND ARCHITECT AND ALL REGULATORY AGENCIES HAVING JURISDICTION OVER THE UTILITIES, PRIOR TO COMMENCING WORK.

- EXISTING MATERIAL ASSESSMENT:
- EXISTING MASONRY ENCLOSURE TO BE CAREFULLY ASSESSED. AREAS TO BE RECONSTRUCTED TO BE CLEARLY MARKED FOR APPROVAL BY OWNER AND ARCHITECT. AREAS TO BE REPAIRED AND AREAS TO BE RE-POINTED TO BE SECURED AND PROTECTED FROM FURTHER DEGRADATION DURING CONSTRUCTION.

- HAZARDOUS MATERIAL ASSESSMENT:
- NOTED AREAS OF LEAD PAINT - SEE REPORT - TO BE ITEMIZED AND MARKED FOR REMOVAL
  - NOTED AREA OF ASBESTOS - SEE REPORT - TO BE ITEMIZED AND MARKED FOR REMOVAL.
  - HISTORIC BUILDING FABRIC TO BE RESTORED TO BE ASSESSED FOR MOLD CONTAMINATION PRIOR TO RENOVATION AND/OR RESTORATION.

DIVISION 2 - EXISTING CONDITIONS - CONTINUED:

DEMOLITION AND STRUCTURE MOVING:

- DEMOLITION:
- EXISTING LEAD WATER SUPPLY AND METER ON BOLTON STREET TO BE REMOVED. NOTE: WATER SERVICE IN BOLTON STREET TO BE SHUT-OFF IN STREET, IN STRICT ACCORDANCE WITH NEW BEDFORD DPI REGULATIONS.
  - DEMOLITION OF EXISTING LEAD-PAINT IN AREAS NOTED ON REPORT. NOTE: LEAD PAINT REMOVAL BY OWNER, HOWEVER, CONTRACTOR RESPONSIBLE FOR FINAL REPORTS AND INSPECTIONS.
  - SAFE AND REGULATED REMOVAL OF ASBESTOS AT ROOF PARAPET, AS NOTED IN REPORT.
  - SELECTIVE INTERIOR DEMOLITION, PER PLANS, FOR CAREFUL ADAPTIVE REUSE OF HISTORIC BUILDING. CONTRACTOR TO NOTIFY OWNER OF ANY AND ALL HISTORIC FABRIC BEING REMOVED TO APPEARS SUITABLE FOR REUSE.

DIVISION 5 - METALS:

REFER TO US SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AND RESTORATION, SECTIONS ON WOOD AND US SECRETARY OF INTERIOR'S STANDARDS FOR RECONSTRUCTION.

- MAINTENANCE OF METALS:
- NO EXISTING METAL BUILDING COMPONENT IS TO BE MODIFIED WITHOUT APPROVAL OF THE ARCHITECT & OWNER.
- COMMON WORK RESULTS FOR METALS:
- REFER TO ARCHITECTURAL PLANS & STRUCTURAL DRAWINGS FOR LOCATIONS WHERE EXISTING METAL COMPONENTS ARE TO BE REMOVED.
  - REFER TO STRUCTURAL DRAWINGS FOR SPECIFICATIONS & DETAILS ON METAL FASTENINGS.

STRUCTURAL METAL FRAMING:

- STRUCTURAL STEEL FRAMING:
- REFER TO DRAWINGS FOR ADDITIONAL FRAMING NOTES AND SPECIFICATIONS.
  - WELDING TO CONFORM WITH AWS D1.1, WITH CERTIFIED WELDERS AND FABRICATORS.
  - PROVIDE BEARING PLATES FOR BEAMS SEATED ON CONCRETE, WOOD OR MASONRY.
  - STEEL SHALL BE SHOP-PAINTED WITH A MODIFIED ALKYD PRIMER UNLESS OTHERWISE NOTED.
  - ALL STRUCTURAL STEEL EXPOSED TO THE WEATHER SHALL BE GALVANIZED.
  - STRUCTURAL STEEL SHOP DRAWINGS SHALL BE PREPARED AND SUBMITTED TO THE ENGINEER FOR APPROVAL. THESE DRAWINGS SHALL SHOW COMPLETE AND ACCURATE MEMBER LAYOUT, SIZES, GRADE, DIMENSIONS, CONNECTIONS, OPENINGS, ACCESSORIES AND ALL OTHER INFORMATION NECESSARY FOR COMPLETE AND ACCURATE FABRICATION AND ASSEMBLY OF THE MEMBERS. PROVIDE TEMPLATES OR LOCATIONS DRAWINGS FOR INSTALLATION OF ANCHOR BOLTS.
  - NO CUTTING OF OR OPENINGS THROUGH STEEL WILL BE PERMITTED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER.

ORNAMENTAL METALS:

TIN CEILING PANELS & CORNICE:

REFER TO US SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AND RESTORATION, SECTIONS ON TIN PANELS AND US SECRETARY OF INTERIOR'S STANDARDS FOR RECONSTRUCTION.

DIVISION 6 - WOOD, PLASTICS & COMPOSITS:

SUSTAINABILITY STANDARDS:

- ALL EXISTING FRAMING AND TRIM TO REMAIN. CONTRACTOR TO SEEK APPROVAL PRIOR TO REMOVING EXISTING BUILDING FABRIC.
- UNLESS OTHERWISE NOTED, LIKE MATERIALS TOO DAMAGED FOR REPAIR TO BE REPLACED WITH LIKE MATERIALS.
- PROVIDE RECYCLING BINS ON SITE FOR ALL PACKAGING AND ALL BUILDING MATERIALS.

REFER TO US SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AND RESTORATION, SECTIONS ON WOOD AND US SECRETARY OF INTERIOR'S STANDARDS FOR RECONSTRUCTION.

MAINTENANCE OF WOOD, PLASTICS AND COMPOSITES

- MAINTENANCE OF ROUGH CARPENTRY & FINISH CARPENTRY
- PROTECT MATERIAL FROM DAMAGE DURING CONSTRUCTION. CONTRACTOR TO CAREFULLY REMOVE AND STORE MATERIALS NOTED TO BE RESTORED. SEE DRAWINGS.

CONSERVATION TREATMENT FOR PERIOD WOOD

- MAINTENANCE FOR PERIOD WOOD
- PROTECT, PRESERVE AND RESTORE ROOF WOOD TRUSSES. SEE DRAWINGS.

COMMON WORK RESULTS FOR WOOD, PLASTICS AND COMPOSITES

- SELECTIVE DEMOLITION FOR WOOD, PLASTICS AND COMPOSITES
- SEE DRAWINGS FOR DEMOLITION SECTIONS.
  - SEE STRUCTURAL DRAWINGS FOR STRUCTURAL REPAIRS REQUIRING SELECTIVE DEMOLITION.

SCHEDULES FOR WOOD, PLASTICS AND COMPOSITES

- SCHEDULES FOR ROUGH CARPENTRY
- SEE DRAWINGS FOR FRAMING DETAILS AND SPECIFICATIONS.

ROUGH CARPENTRY

WOOD FRAMING

- ENGINEERED WOOD PRODUCTS
- PROVIDE SUBMITTALS OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT.
  - REFER TO STRUCTURAL ENGINEERING DRAWINGS FOR SPECIFICATIONS AND DETAILS.
  - FOR ALL INTERIOR WOOD-STUD WALLS, REFER TO DRAWINGS.

SHEATHING

- INSULATING SHEATHING
- PROVIDE INSULATING SHEATHING AT ALL NEW ROOF RESURFACING. SEE DRAWINGS.
  - RESTORE EXISTING SUB-FLOORS, AS REQUIRED. PROVIDE PLYWOOD SHEATHING IN AREAS OF REPLACEMENT.
- UNDERLAYMENT:
- RESTORE EXISTING UNDERLAYMENT, AS REQUIRED. PROVIDE PLYWOOD UNDERLAYMENT IN AREAS OF REPLACEMENT.
- CEMENTITIOUS SHEATHING:
- PROVIDE CEMENTITIOUS SHEATHING UNDER ALL TILE FLOORS OVER WOOD SUBFLOORS. SEE DRAWINGS.

SHOP-FABRICATED STRUCTURAL WOOD

LAMINATED VENEER LUMBER:

FINISH CARPENTRY

- EXTERIOR FINISH CARPENTRY:
- NEW WOOD TO BE PAINTED TO BE RED CEDAR AND/OR REDWOOD, OR BORAL TRU-EXTERIOR TRIM.
  - EXTERIOR WOOD TO BE RESTORED AND/OR RECONSTRUCTED TO MATCH EXISTING SPECIES. SEE DRAWINGS.
- INTERIOR FINISH CARPENTRY:
- NEW INTERIOR WOOD TRIM TO BE PAINTED TO BE POPLAR.
- WOOD PANELING:
- RESTORE EXISTING WOOD BEAD-BOARD PANELING AT STAIRWELL. SEE DRAWINGS.
  - NEW WOOD PANELING, TO BE PAINTED, TO BE POPLAR, PINE, OR EQUAL.
- WOOD TRIM:
- WOOD TRIM AT RESTORED WOOD DOORS TO MATCH EXISTING SPECIES.
  - WOOD TRIM AT NEW WOOD DOORS TO BE POPLAR, PRIMED, TO BE PAINTED. MATCH HISTORIC CORNER BLOCKS.
  - WOOD TRIM AT WALL BASE TO BE POPLAR. SEE DRAWINGS FOR SPECIFICATIONS AND LOCATIONS.

COMPOSITE FABRICATIONS:

- COMPOSITE TRIM:
- TRIM BOARDS AT SOFFIT, CORNERS, WINDOW TRIM AND FASCIA OF RECONSTRUCTED AND/OR REPAIRED AREAS TO BE BORAL TRU-EXTERIOR TRIM, OR EQUAL, PAINTED.

OUTLINE SPECIFICATIONS

NO SCALE

DIVISION 7 - THERMAL & MOISTURE PROTECTION:

OPERATION & MAINTENANCE OF THERMAL & MOISTURE PROTECTION

- ROOF REMOVAL:
- SEE ABATEMENT REPORT FOR AREAS REQUIRING REMOVAL OF ASBESTOS AT PARAPET.
  - REPAIR ALL EXISTING FRAMING WITH IN-KIND MATERIALS. MATCH EXISTING DEPTH OF MEMBERS.
  - REMOVE ALL ROOFING MATERIALS DOWN TO EXISTING SHEATHING WHERE REPLACEMENT INDICATED.
  - MAINTAIN EXISTING GUTTERS, METAL FLASHING AND METAL DOWNSPOUTS. PROTECT EXISTING MASONRY WALL DURING CONSTRUCTION.

THERMAL PROTECTION:

- INSULATION VALUES FOR BUILDING ASSEMBLIES:
- WALLS: EXISTING TO REMAIN
  - ROOF: WHERE NEW: ADD R-10
  - BASEMENT CEILING: EXISTING TO REMAIN

- ROOF BOARD INSULATION:
- PROVIDE SUBMITTALS OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT.
  - PROVIDE INSULATED SHEATHING TOP-PANELS WITH INTEGRATED WRB, OVER EXISTING/RESTORED ROOF SHEATHING, WITH ALL SEAMS TAPED AND SEALED FOR CONTINUOUS ROOFING TPO MEMBRANE SUB-STRATE.

- BLANKET INSULATION:
- PROVIDE SUBMITTALS OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT.
  - PROVIDE HIGH-DENSITY, FORMALDEHYDE-FREE, BIO-BASED BINDER, MINIMUM OF 50% RECYCLED GLASS CONTENT, FIBERGLASS BATT INSULATION AT WALLS, FLOORS AND CEILINGS, AS NOTED IN DRAWINGS.

WEATHER BARRIERS:

- VAPOR RETARDERS:
- PROVIDE SUBMITTALS OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT.
  - PROVIDE WRB AT REPAIRED/MODIFIED EXTERIOR BRICK MASONRY WALL TO MATCH EXISTING. PATCH AND REPAIR AS REQUIRED.
  - PROVIDE GRACE "ICE & WATER," OR EQUAL OVER EXISTING ROOF SHEATHING AT ROOF TO BE REPAIRED AND OR RESTORED - CONTINUOUS.

- AIR BARRIERS:
- PROVIDE SUBMITTALS OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT.

MEMBRANE ROOFING:

- THERMOPLASTIC MEMBRANE ROOFING:
- PROVIDE SUBMITTALS OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT.
  - PROVIDE 60 MIL, TPO MEMBRANE ROOFING, WHITE OR LIGHT GRAY COLOR, FULLY ADHERED OVER INSULATING SHEATHING PANELS. SLOPE TO DRAIN, AS REQUIRED.

FLASHING & SHEET METAL:

- SHEET METAL FLASHING & TRIM:
- PROVIDE SUBMITTALS OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT.
  - PROVIDE HEAVY GAUGE ALUMINUM FLASHING, FACTORY COLOR COATED, AT ROOF PERIMETER, ROOF "CREASE" AT PARAPET, ALL ROOF/WALL INTERSECTIONS, AS SHOWN & INDICATED ON DRAWINGS.

ROOF & WALL SPECIALTIES & ACCESSORIES:

- ROOF SPECIALTIES:
- PROVIDE SUBMITTALS OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT.
  - PROVIDE HEAVY GAUGE ALUMINUM FLASHING, FACTORY COLOR COATED, AT ROOF PERIMETER, COUNTER FLASHING AT TOP-OF-WALL RECONSTRUCTION UNDER GUTTERS.

DIVISION 8 - OPENINGS:

- CONSERVATION TREATMENT FOR PERIOD OPENINGS:
- REMOVE & PROTECT ALL DOORS TO BE RESTORED, REPAIRED AND/OR RE-LOCATED. SEE DRAWINGS FOR LOCATIONS AND SCHEDULES.
  - PROTECT ALL MASONRY WINDOW OPENINGS FOR REPAIR AND/OR RESTORATION DURING CONSTRUCTION.
  - SALVAGE ALL EXISTING DOOR HARDWARE, INCLUDING HANDLES, HINGES AND KICK PLATES, FOR RE-USE AND/OR RE-INSTALLATION.

- COMMON WORK RESULTS FOR OPENINGS:
- SEE DRAWINGS FOR SELECTIVE DEMOLITION AREAS AND RE-USE SPECIFICATIONS.

- SCHEDULES FOR OPENINGS:
- REFER TO DRAWINGS FOR DOOR SCHEDULE, SPECIFICATIONS AND/OR LOCATIONS.
  - REFER TO DRAWINGS FOR WINDOW SCHEDULE, SPECIFICATIONS AND/OR LOCATIONS.
  - REFER TO DRAWINGS FOR HARDWARE SCHEDULE, SPECIFICATIONS AND/OR LOCATIONS.
  - REFER TO DRAWINGS FOR HARDWARE SCHEDULE, SPECIFICATIONS AND/OR LOCATIONS.

DOORS & FRAMES:

- METAL FRAMES:
- PROVIDE SUBMITTALS OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT.
  - PROVIDE HALLOW METAL FRAMES AT ALL FIRE-RATED ENTRANCE DOORS AS NOTED ON DOOR SCHEDULE.

- WOOD DOORS:
- PROVIDE SUBMITTALS OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT.
  - PROVIDE SOLID WOOD STILE & RAIL DOORS, AS PER DOOR SPECIFICATIONS - SEE DRAWINGS.

- INTEGRATED DOOR OPENING ASSEMBLIES:
- PROVIDE SUBMITTALS OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT.
  - PROVIDE HOLLOW METAL FRAMES AND SOLID WOOD STILE & RAIL FIRE RATED ENTRANCE DOORS AT ALL UNITS, AS NOTED ON DOOR SCHEDULE - SEE DRAWINGS.

SPECIALTY DOORS & FRAMES:

- PROVIDE SUBMITTALS OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT.

STOREFRONT WINDOW:

- REPLACEMENT WINDOW:
- PROVIDE SUBMITTALS OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT.
  - PROVIDE ALUMINUM-FRAME INSERT DOUBLE-HUNG WINDOWS, TO MATCH EXISTING STOREFRONT, INSTALLED IN REPAIRED AND/OR RESTORED WINDOW OPENINGS.

HARDWARE:

- DOOR HARDWARE:
- PROVIDE SUBMITTALS OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT.
  - REFER TO DOOR SCHEDULE FOR HARDWARE SPECIFICATIONS. ALL FINISHES TO BE OIL RUBBED BRONZE.
  - PROVIDE LOCK ENTRY LEVERS, SCHLAGE ND SERIES, OR EQUAL, AT ALL UNIT ENTRY DOORS AND COMMON ENTRY DOOR.

- WINDOW HARDWARE:
- PROVIDE SUBMITTALS OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT.
  - PROVIDE OIL-RUBBED BRONZE LOCKS AND LEVERS AT NEW WINDOWS, OIL RUBBED BRONZE, OR EQUAL.

DIVISION 9 - FINISHES:

SUSTAINABILITY STANDARDS:

- ALL FINISHES TO BE NON-VOC, PREFERRED, OR LOW-VOC, WHEN NON-VOC IS NOT AVAILABLE, FINISHES: WATER-BASED PAINTS, WATER-BASED POLYURETHANE, CONCRETE SEALER & FINISH
- ALL GLUES, CAULKS AND ADHESIVES TO BE RED-LIST CHEMICAL FREE: AIR-BARRIER CAULKS, SEALANTS, ADHESIVES, ETC. (PRO CLIMA, OR EQUAL).
- PROVIDE ON-SITE RECYCLING COLLECTION DEVICES DURING CONSTRUCTION

- MAINTENANCE OF FINISHES - FLOORING:
- PROTECT ALL FLOORS DURING CONSTRUCTION. ALL EXISTING FLOORS FOR RESTORATION, REPAIR AND/OR RECONSTRUCTION.
  - PROTECT EXISTING STAIR, BALUSTERS, PEDESTAL, AND TRIM BOARDS AT ENTRANCE STAIR ENCLOSURE. THESE FINISHES TO BE RESTORED AND/OR RENOVATED.

- SUBMITTALS
- PROVIDE SUBMITTALS OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT.

- CONSERVATION TREATMENT OF PERIOD FINISHES:
- REPAIR AREAS OF HISTORIC STRIP WOOD FLOORING AS REQUIRED WITH WATER-BASED EPOXY FILL, COLOR BLACK, IN ALL DENTS AND GOUGES GREATER THAN 1/16" DEEP.
  - EXISTING FLOORS TO BE CLEANED, SANDED AND PREPARED FOR FINISH USING NON-ABRASIVE CLEANERS - SEE US SECRETARY OF INTERIOR'S STANDARDS. PROTECT ALL FLOORS DURING CONSTRUCTION.
  - PROTECT EXISTING STAIR, BALUSTERS, PEDESTAL, AND TRIM BOARDS AT ENTRANCE STAIR ENCLOSURE. THESE FINISHES TO BE RESTORED AND/OR RENOVATED.

GYPSUM BOARD:

- GYPSUM BOARD ASSEMBLIES:
- UNLESS OTHERWISE NOTED, ALL INTERIOR FINISHES TO BE 5/8" GYPSUM BOARD, LEVEL 5 FINISH.
  - ALL GYPSUM BOARD TO BE INSTALLED AIR-TIGHT, IN ACCORDANCE WITH PASSIVE HOUSE US STANDARDS FOR AIR-INFILTRATION IN ASSEMBLIES. TAPE ALL SEAMS, PROVIDE CONTINUOUS AIR-BARRIER CAULK AT ALL FASTENING SEAMS.
  - REFER TO PARTITION TYPE DETAILS IN DRAWINGS FOR SPECIFIC REQUIREMENTS FOR GYPSUM ASSEMBLIES.
  - UNIT PARTITIONS TO MEET A STRICT STC RATING - SEE DRAWINGS FOR DETAILS
  - FIRE-ENCLOSURE PARTITIONS TO MEET A STRICT FIRE-RATING - SEE DRAWINGS FOR DETAILS, SPECIFICATIONS AND LOCATIONS.
  - ALL INTERIOR PARTITIONS TO HAVE SOUND BATT INSULATION TO DEPTH OF PARTITION.

- SUPPORTS FOR GYPSUM BOARD:
- WOOD STUD WALLS, WOOD STRAPPING AT ALL CEILINGS TO SERVE AS FASTENING MECHANISM FOR GYPSUM BOARD SYSTEM.
  - AT ALL WALLS REQUIRING A STC RATING FOR SOUND TRANSMISSION CONTROL, PROVIDE METAL RESILIENT CHANNEL FURRING TO MEET STC RATING.

- GYPSUM BOARD:
- 5/8" GYPSUM BOARD, FINISH TO LEVEL 5, TYP AT INTERIOR - SEE PARTITION TYPES IN DRAWINGS
  - 5/8" TYPE-X FIRE RATED GYPSUM BOARD AT FIRE ENCLOSURES.
  - 5/8" MOISTURE RESISTANT GYPSUM BOARD AT ALL BATHROOM SURFACES.

TILING:

- PAVER TILING:
- BATHROOM FLOORS TO RECEIVE PORCELAIN TILE, WHERE INDICATED.

THIN-SET TILING:

- ALL FLOOR TILE TO BE INSTALLED OVER DIMPLED, FLEXIBLE PLASTIC SHEET MEMBRANE (AIR TIGHT AND GAS TIGHT), INSTALLED USING THIN-SET CEMENT ADHESIVE AS PER MANUFACTURER'S RECOMMENDATIONS. SCHLUTER DITRA, OR EQUAL.
- PROVIDE CEMENT BOARD UNDER FLEXIBLE TILE MEMBRANE AT TILE FLOORS BEING INSTALLED OVER EXISTING WOOD FLOORING. CONTRACTOR TO REMOVE FINISH FLOORING, AND INSTALL CEMENT BOARD OVER EXISTING WOOD SUB-FLOOR.

SUSTAINABILITY STANDARDS:

- ALL FINISHES TO BE NON-VOC, PREFERRED, OR LOW-VOC, WHEN NON-VOC IS NOT AVAILABLE, FINISHES: WATER-BASED PAINTS, WATER-BASED POLYURETHANE, CONCRETE SEALER & FINISH
- ALL GLUES, CAULKS AND ADHESIVES TO BE RED-LIST CHEMICAL FREE: AIR-BARRIER CAULKS, SEALANTS, ADHESIVES, ETC. (PRO CLIMA, OR EQUAL).
- PROVIDE ON-SITE RECYCLING COLLECTION DEVICES DURING CONSTRUCTION

FLOORING:

- WOOD FLOORS:
- PROVIDE SUBMITTALS OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT.
  - INSTALL NEW STRIP FLOORING, TO MATCH EXISTING, IN AREAS OF RECONSTRUCTION WHERE REQUIRED.
  - REPAIR ALL EXISTING WOOD FLOORING IN AREAS OF RENOVATION. FILL ALL GOUGES AND DENTS WITH WATER-BASED, BLACK EPOXY. SAND AND PREPARE FLOORS FOR CLEAR FINISH.
  - REMOVE ALL DEBRIS, PAINT, SURFACE STAINS FROM EXISTING WOOD FLOORS.
  - FINISH FLOORS WITH NON-VOC, PREFERRED, OR LOW-VOC, WATER-BASED POLYURETHANE FINISH: 1 COAT SEALER, AND 3 COATS FINISH. BONA HD HIGH-TRAFFIC FINISH SYSTEM, OR EQUAL.

RESILIENT FLOORS:

- PROVIDE SUBMITTALS OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT.

PAINTING & COATINGS:

- EXTERIOR PAINTING:
- PROVIDE SUBMITTALS OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT.
  - PROVIDE 2 FINISH COATS, AND 1 PRIMER COAT ON ALL SURFACES.
  - PAINT EXTERIOR HISTORIC DOORS AND TRIM: PREMIUM EXTERIOR WATER-BASED ACRYLIC PAINT: BENJAMIN MOORE AURA GRAND ENTRANCE, SATIN FINISH, OR EQUAL.

INTERIOR PAINTING:

- PROVIDE SUBMITTAL OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT.
- SEE FINISH SCHEDULE FOR SPECIFICATIONS. ALL COLORS APPROVED BY OWNER & ARCHITECT.
- PROVIDE 2 FINISH COATS AND 1 PRIMER COAT ON ALL SURFACES.
- PREPARE ALL GYPSUM BOARD SURFACES FOR PAINT. FINISH PAINT WITH WATER-BASED ACRYLIC PREMIUM COLOR-LOCK PAINT, BENJAMIN MOORE AURA INTERIOR, EGGSHELL, OR EQUAL. COLOR APPROVED BY OWNER & ARCHITECT.
- PREPARE ALL GYPSUM BOARD SURFACES AT BATHROOM LOCATIONS FOR PAINT. FINISH PAINT WITH WATER-BASED ACRYLIC PREMIUM COLOR-LOCK PAINT, BENJAMIN MOORE AURA BATH & SPA PAINT, MATTE FINISH , OR EQUAL.
- PREPARE ALL BEAD-BOARD SURFACES FOR PAINT. PAINT PREPARED SURFACE WITH WATER-BASED PREMIUM ACRYLIC PAINT, BENJAMIN MOORE AURA INTERIOR, SATIN FINISH, OR EQUAL.
- PREPARE HISTORIC TRIM BEING RESTORED FOR PAINT. PAINT PREPARED SURFACE WITH WATER-BASED PREMIUM ACRYLIC PAINT, BENJAMIN MOORE AURA INTERIOR, SEMI-GLOSS PAINT, OR EQUAL.

SPECIAL COATINGS:

- PROVIDE SUBMITTAL OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT.
- SEE FINISH SCHEDULE FOR SPECIFICATIONS. ALL COLORS APPROVED BY OWNER & ARCHITECT.
- PROVIDE 2 FINISH COATS AND 1 PRIMER COAT ON ALL SURFACES.
- EXPOSED STEEL STRUCTURAL COLUMNS: PREPARE SURFACE FOR FINISH PAINT. PRIME STEEL COLUMNS WITH PREMIUM WATER-BASED ALKYD PAINT, BENJAMIN MOORE ADVANCE INTERIOR PRIMER, OR EQUAL. PAINT STEEL PRIMED COLUMNS WITH PREMIUM GRADE WATER-BASED ALKYD PAINT, BENJAMIN MOORE ADVANCE INTERIOR PAINT, HIGH GLOSS.
- TIN CEILING PANELS & CORNICE: PREPARE SURFACE FOR FINISH PAINT. PRIME STEEL TIE-RODS WITH PREMIUM WATER-BASED ALKYD PAINT, BENJAMIN MOORE ADVANCE INTERIOR PRIMER, OR EQUAL. PAINT STEEL PRIMED COLUMNS WITH PREMIUM GRADE WATER-BASED ALKYD PAINT, BENJAMIN MOORE ADVANCE INTERIOR PAINT, HIGH GLOSS.

DATE: 06.30.2021

kathryn duff ra cphc

BID DOCUMENTS

NOT FOR CONSTRUCTION


studio2sustain inc  
architects consultants environmental evangelists



CD'S  
-  
NARRATIVE  
SPECIFICATIONS

A 0.1

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		DATE: 06.30.2021
<div>DIVISION 10 - SPECIALTIES:</div> <div>INFORMATION SPECIALTIES: SIGNAGE: OFFICE BATHROOM SIGNAGE</div> <div>INTERIOR SPECIALTIES: TOILET, BATH AND LAUNDRY ACCESSORIES: TOILET AND BATH ACCESSORIES: - SEE DRAWINGS FOR ACCESSORY SCHEDULE, LOCATION AND SPECIFICATIONS. TUB AND SHOWER ENCLOSURES: - SEE DRAWINGS FOR PLUMBING AND ACCESSORIES SCHEDULES, LOCATIONS AND SPECIFICATIONS.</div> <div>SAFETY SPECIALTIES: EMERGENCY ACCESS AND INFORMATION CABINETS: FIRE DEPARTMENT PLAN CABINETS: - AS PER SPECIFICATIONS AND APPROVALS BY CITY OF NEW BEDFORD FIRE DEPARTMENT.</div> <div>PROTECTION SPECIALTIES: FIRE EXTINGUISHERS: - PROVIDE SUBMITTALS OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT. - LOCATIONS AS PER APPROVAL BY CITY OF NEW BEDFORD FIRE DEPARTMENT.</div> <div>DIVISION 11 - EQUIPMENT:</div> <div>SUSTAINABILITY STANDARDS: - ALL APPLIANCES TO MEET ENERGY STAR STANDARD.</div> <div>SCHEDULES FOR EQUIPMENT: SCHEDULE FOR RESIDENTIAL EQUIPMENT: - SEE DRAWINGS FOR SPECIFICATIONS AND LOCATIONS OF ALL EQUIPMENT. - REFER TO APPROPRIATE ENGINEERING DRAWINGS FOR EQUIPMENT SPECIFICATIONS RELATIVE TO SPECIFIED TRADE/BUILDING SYSTEM.</div> <div>COMMISSIONING OF EQUIPMENT: - PROVIDE THIRD-PARTY COMMISSIONING OF ALL EQUIPMENT ASSOCIATED WITH BUILDING SYSTEMS: MEP, VENTILATION AND DHW.</div> <div>RESIDENTIAL EQUIPMENT: RESIDENTIAL APPLIANCES: - PROVIDE SUBMITTALS OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT. - APPLIANCES TO BE PURCHASED BY OWNER, INSTALLED BY CONTRACTOR.</div> <div>RESIDENTIAL KITCHEN APPLIANCES: - PROVIDE SUBMITTALS OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT. - APPLIANCES TO BE PURCHASED BY OWNER, INSTALLED BY CONTRACTOR. -- REFRIGERATOR, RANGE, OVEN, DISHWASHER.</div> <div>RESIDENTIAL LAUNDRY APPLIANCES: - PROVIDE SUBMITTALS OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT. - APPLIANCES TO BE PURCHASED BY OWNER, INSTALLED BY CONTRACTOR. -- WASHER &amp; DRYER. DRYER WILL BE CONDENSING/DUCTLESS DRYER.</div> <div>DIVISION 12 - FURNISHINGS:</div> <div>SUSTAINABILITY STANDARDS: - ALL CASEWORK TO BE FINISHED WITH NON (PREFERRED) OR LOW-VOC WATER-BASED FINISH. - ALL COUNTERTOPS TO BE PHENOL FORMELDYDE-FREE LAMINATE PRODUCT, MADE WITH RECYCLED PLASTIC.</div> <div>WINDOW TREATMENT: WINDOW BLINDS: - PROVIDE SUBMITTAL OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT. - PROVIDE METAL HORIZONTAL LOUVER BLINDS FOR ALL WINDOWS IN AREAS OF RENOVATIONS. COLOR APPROVED BY OWNER AND ARCHITECT.</div> <div>CASEWORK: KITCHEN CASEWORK: - PROVIDE SUBMITTALS OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT. - PROVIDE SHOP DRAWINGS OF ALL KITCHEN CABINETS FOR REVIEW BY ARCHITECT. - PROVIDE PLYWOOD BOX AND WOOD PANEL DOOR CABINETRY, PAINTED, FOR ALL KITCHENS. SEE DRAWINGS FOR SPECIFICATIONS. CONTRACTOR TO COORDINATE WILL ALL TRADES FOR FIXTURE AND APPLIANCE INSTALLATION REQUIREMENTS AT ALL CABINETS.</div> <div>BATHROOM CASEWORK: - PROVIDE SUBMITTALS OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT. - PROVIDE SHOP DRAWINGS FOR ALL BATHROOM VANITY CASEWORK FOR REVIEW BY ARCHITECT. - PROVIDE PLYWOOD BOX AND WOOD PANEL DOOR CABINETRY, PAINTED, FOR ALL BATHROOMS. SEE DRAWINGS FOR SPECIFICATIONS. CONTRACTOR TO COORDINATE WILL ALL TRADES FOR FIXTURE INSTALLATION REQUIREMENTS AT ALL CABINETS.</div> <div>COUNTERTOPS: PLASTIC-LAMINATE-CLAD COUNTERTOPS: - PROVIDE SAMPLES OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT. - PROVIDE PLASTIC-LAMINATE-CLAD COUNTERTOPS OVER P.T. PLYWOOD AT ALL KITCHEN AND BATHROOM COUNTERS. - PROVIDE INTEGRATED PLASTIC-LAMINATE-CLAD BACKSPLASH AT ALL PLSTIC-LAMINATE-CLAD COUNTERTOPS. SEE DRAWINGS FOR SPECIFICATIONS.</div> <div>DIVISION 21 - FIRE SUPPRESSION:</div> <div>PROVIDE SUBMITTALS OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT. PROVIDE SCALED SHOP DRAWINGS OF ALL ELEMENTS. ALLOW A MINIMUM OF 2 WEEKS FOR REVIEW.</div> <div>REFER TO THE FIRE-SUPPRESSION &amp; FIRE-ALARM DRAWINGS FOR SPECIFICATIONS AND DETAILS.</div>		
<div>DIVISION 22 - PLUMBING:</div> <div>PROVIDE SUBMITTALS OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT. PROVIDE SCALED SHOP DRAWINGS OF ALL ELEMENTS. ALLOW A MINIMUM OF 2 WEEKS FOR REVIEW.</div> <div>CONTRACTOR SHALL PROVIDE AND INSTALL A FULLY FUNCTIONING DESIGN-BUILD PLUMBING SYSTEM TO ACCOMMODATE THE EXISTING CONDITIONS, PROPOSED LAYOUT AND CODE REQUIREMENTS. THE SYSTEM SHALL INCLUDE, BUT NOT BE LIMITED TO, NEW WATER SERVICE COPPER PIPING AND UPDATED METER, SHUT-FF VALVES, WATER HEATER, SINKS AND FAUCETS, TOILETS, HOT AND COLD SUPPLY PIPING, WASTE PIPING, CONDENSATE DRAIN PIPING FROM MINI-SPLIT INDOOR WALL-HEAD, VENT PIPING, VENT CAPS, GAS SUPPLY PIPING, PIPING INSULATION, ESCUTCHEONS AND ACCESSORIES.</div> <div>THE ARCHITECTURAL DRAWINGS SHOW THE GENERAL DESIGN INTENT AND MAY NOT DESCRIBE ALL CODE REQUIRED COMPONENTS. THE CONTRACTOR SHALL DETERMINE THE FINAL SYSTEM COMPONENTS AND LAYOUT TO MEET THE DESIGN INTENT, EXISTING CONDITIONS AND CODE REQUIREMENTS.</div> <div>COMPONENTS, SUCH AS PIPING AND EQUIPMENT SHALL BE INSTALLED IN A MANNER THAT DOES NOT LIMIT THE FUTURE USE OF SPACES OUTSIDE THE WORK AREA. COMPONENTS INSIDE THE WORK AREA SHALL BE CONCEALED. WHERE EXISTING CONSTRUCTION DOES NOT ALLOW PIPING CONCEALED IN WALLS, CONTRACTOR SHALL COORDINATE ROUTING OF MAIN AND BRANCH PIPING AND LOCATION OF HEADS WITH ARCHITECT.</div> <div>CONTRACTOR SHALL COORDINATE PLUMBING SYSTEMS AND COMPENTS WITH EXISTING CONDITIONS AND OTHER TRADES.</div> <div>CONTRACTOR SHALL SUBMIT ALL NECESSARY ENGINEERING AND SUBMIT A LAYOUT, INCLUDING EQUIPMENT AND FIXTURE CUT SHEETS, TO THE ARCHITECT FOR APPROVAL PRIOR TO THE COMMENCEMENT OF WORK.</div> <div>THE PLUMBING SYSTEM SHALL BE DESIGNED AND INSTALLED BY A QUALIFIED ENINEER/CONTRACTOR.</div> <div>CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PLUMBING AFFIDAVITS, PERMITS, AND INSPECTIONS.</div> <div>DIVISION 23 - HEATING, VENTILATING &amp; AIR CONDITIONING:</div> <div>PROVIDE SUBMITTALS OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT. PROVIDE SCALED SHOP DRAWINGS OF ALL ELEMENTS. ALLOW MINIMUM OF 2 WEEKS FOR REVIEW.</div> <div>CONTRACTOR SHALL PROVIDE AND INSTALL A FULLY FUNCTIONING DESIGN-BUILD HVAC SYSTEM TO ACCOMMODATE THE EXISTING CONDITIONS, PROPOSED LAYOUT AND CODE REQUIREMENTS.</div> <div>- MITSUBISHI MINI-SPLIT UNIT WITH WALL-MOUNTED INDOOR HEAD, AS INDICATED, OR EQUAL. - PANASONIC WHISPER-COMFORT SPOT ERV #FV-04VE1, AS INDICATED, OR EQUAL.</div> <div>THE ARCHITECTURAL DRAWINGS SHOW THE GENERAL DESIGN INTENT AND MAY NOT DESCRIBE ALL CODE REQUIRED COMPONENTS. CONTRACTOR SHALL DETERMINE THE FINAL SYSTEM COMPONENTS AND LAYOUT TO MEET THE DESIGN INTENT, EXISTING CONDITIONS AND CODE REQUIREMENTS.</div> <div>CONTRACTOR SHALL COORDINATE HVAC SYSTEMS AND COMPONENTS WITH EXISTING CONDITIONS AND OTHER TRADES.</div> <div>CONTRACTOR SHALL SUBMIT ALL NECESSARY ENGINEERING AND SUBMIT A LAYOUT, INCLUDING EQUIPMENT CUT SHEETS, TOT EH ARCHITECT FOR APPROVAL PRIOR TO THE COMMENCEMENT OF WORK.</div> <div>HVAC SYSTEMS SHALL BE DESIGNED AND INSTALLED BY A QUALIFIED ENGINEER/CONTRACTOR.</div> <div>CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HVAC AFFIDAVITS, PERMITS AND INSPECTIONS.</div> <div>DIVISION 26 - ELECTRICAL:</div> <div>PROVIDE SUBMITTALS OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT. PROVIDE SCALED SHOP DRAWINGS OF ALL ELEMENTS. ALLOW MINIMUM OF 2 WEEKS FOR REVIEW.</div> <div>CONTRACTOR SHALL PROVIDE AND INSTALL A FULLY-FUNCTIONING DESIGN-BUILD ELECTRICAL SYSTEM TO ACCOMMODATE THE EXISTING CONDITIONS, PROPOSED LAYOUT AND CODE REQUIREMENTS. THE SYSTEM SHALL INCLUDE BUT NOT BE LIMITED TO REMOVAL OF ALL KNOB-N-TUBE WIRING IN AREAS BEING RENOVATED, NEW SERVICE &amp; PANEL TO NEW RESIDENTIAL UNIT ON FIRST FLOOR, SIZING OF ELECTRICAL PANELS AND BRANCH CIRCUITS TO SUPPORT THE ELECTRICAL LAYOUT, WIRING, LIGHT FIXTURES, EXIST SIGNAGE, GFCI OUTLETS, SWITCHES, HVAC EQUIPMENT AND CONTROLS, APPLIANCES, ACCESSORIES, ETC. WITHIN THE WORK AREA. OUTSIDE OF THE WORK AREA PROVIDE CODE MINIMUM REQUIRED EXIST SIGNAGE, TEMPORARY TEMPORARY LIGHTING AND TEMPORARY EMERGENCY LIGHTING.</div> <div>THE ARCHITECTURAL DRAWINGS SHOW THE GENERAL DESIGN INTENT AND MAY NOT DESCRIBE ALL CODE REQUIRED COMPONENTS. THE CONTRACTOR SHALL DETERMINE THE FINAL SYSTEM COMPONENTS AND LAYOUT TO MEET THE DESIGN INTENT, EXISTING CONDITIONS AND CODE REQUIREMENTS.</div> <div>CONTRACTOR SHALL COORDINATE ELECTRICAL SYSTEMS AND COMPONENTS WITH EXISTING CONDITIONS AND OTHER TRADES.</div> <div>CONTRACTOR SHALL SUBMIT ALL NECESSARY ENGINEERING AND SUBMIT A LAYOUT, INCLUDING EQUIPMENT AND LIGHTING FIXTURE CUT SHEETS, TO THE ARCHITECT FOR APPROVAL PRIOR TO THE COMMENCEMENT OF WORK.</div> <div>CONTRACTOR SHALL LAYOUT THE PRELIMINARY LOCATION OF ELECTRICAL DEVICES, INCLUDING OUTLETS AND SWITCHES FOR OWNER AND ARCHITECT'S FIELD REVIEW AND APPROVAL.</div> <div>THE ELECTRICAL SYSTEM SHALL BE DESIGNED AND INSTALLED BY A QUALIFIED ENGINEER/CONTRACTOR.</div> <div>CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ELECTRICAL AFFIDAVITS, PERMITS AND INSPECTIONS.</div> <div>SCOPE SHALL INCLUDE ALL WORK REQUIRED, INCLUDING SERVICE UPGRADES IF REQUIRED TO PROVIDE POWER TO ALL EQUIPMENT.</div>		
<div>DIVISION 32 - EXTERIOR IMPROVEMENTS:</div> <div>SUSTAINABILITY STANDARDS: - PROVIDE ON-SITE RECYCLING COLLECTION DEVICES DURING CONSTRUCTION</div> <div>OPERATION AND MAINTENANCE OF EXTERIOR IMPROVEMENTS: - REMOVE ALL PAINT AND STRIPING FROM EXISTING ASPHALT PARKING - WEST END OF SITE. - EXISTING PARKING AREA TO REMAIN AND BE MODIFIED. PROTECT EXISTING PARKING SURFACE DURING CONSTRUCTION. - EXISTING PARKING AREA TO BE REFINISHED WITH A SEALER AT END OF CONSTRUCTION AND PRIOR TO FINAL STRIPING. SEE DRAWINGS.</div> <div>SUBMITTALS: - PROVIDE SUBMITTALS OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT.</div> <div>SCHEDULES FOR EXTERIOR IMPROVEMENTS: - PROVIDE SUBMITTALS OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT. - SEE DRAWINGS FOR LIMITATIONS, SCOPE AND SPECIFICATIONS OF WORK. - COORDINATE WITH ALL TRADES AND CITY OF NEW BEDFORD DPI FOR UTILITY SERVICE THROUGH SITE, PAINTINGS, FINISH PAVING AND FINISH SITE IMPROVEMENTS.</div> <div>BASES, BALLASTS, AND PAVING: RIGID PAVING: CONCRETE PAVING: - ALL PAVING WITHIN PROJECT SITE TO ALIGN WITH CITY PAVING REGULATIONS - SEE DRAWINGS - AND TO MEET MA AAB REGULATIONS FOR ENTRY AT ENTRANCES NOTED AS ACCESSIBLE. - ALL EXISTING PAVING TO REMAIN. NEW HP PARKING AREA TO BE DESIGNATE, AS NOTED.</div> <div>PAVING SPECIALTIES: PARKING BUMPERS: - PROVIDE CONCRETE PARKING WHEEL-BUMPERS AT ALL PARKING SPACES, SECURELY FASTENED TO PAVING, IN AREAS NOTED ON SITE PLAN. SEE DRAWINGS. - PROVIDE HP PARKING DESIGNATION AT NEW HP PARKING AREA.</div> <div>DIVISION 33 - UTILITIES:</div> <div>SUSTAINABILITY STANDARDS: - NEW WATER SERVICE OFF BOLTON STREET, AS INDICATED ON DRAWINGS. ALL OTHER UTILITIES TO REMAIN. - PROVIDE ON-SITE RECYCLING COLLECTION DEVICES DURING CONSTRUCTION</div> <div>OPERATION AND MAINTENANCE OF UTILITIES: OPERATION AND MAINTENANCE OF WATER UTILITIES: - EXISTING, ANTIQUATED SERVICE OFF BOLTON STREET TO BE TERMINATE, AND SHUT OFF IN STREET, AS PER NEW BEDFORD DPI REGULATIONS.</div> <div>COMMON WORK RESULTS FOR UTILITIES: BURIED PIPING INSTALLATION: - PROVIDE SUBMITTALS OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT. - UTILITIES TO BE UNDERGROUND AND NEW, OFF BOLTON STREET - SEE DRAWINGS: WATER, FIRE SUPPRESSION. ALL PIPING UNDERGROUND TO CONFORM TO CITY OF NEW BEDFORD DPI.</div> <div>SCHEDULES FOR UTILITIES: - PROVIDE SUBMITTALS OF ALL PRODUCTS THAT WILL BE USED FOR REVIEW BY ARCHITECT. - SEE FIRE PROTECTION ENGINEERING DRAWINGS FOR SPECIFICATIONS FOR WATER SERVICE.</div> <div>COMMISSIONING OF UTILITIES: - ALL SYSTEMS TO BE COMMISSIONED BY THIRD-PARTY COMPANY, APPROVED BY OWNER: WATER, FIRE, AND AS PER CITY OF NEW BEDFORD RULES AND REGULATIONS.</div> <div>INSTRUMENTATION AND CONTROL FOR UTILITIES: - ALL METER REGISTERS AS REQUIRED BY NEW BEDFORD DPI, IN LOCATIONS APPROVED BY OWNER.</div> <div>WATER UTILITIES: WATER UTILITY TRANSMISSION AND DISTRIBUTION: PUBLIC WATER UTILITY DISTRIBUTION PIPING: - NEW PUBLIC WATER SERVICE FOR BUILDING USE OFF BOLTON STREET, AS PER NEW BEDFORD DPI REGULATIONS. - NEW FIRE SUPPRESSION WATER SERVICE OFF BOLTON STREET, AS PER NEW BEDFORD DPI.</div> <div>WATER UTILITY METERING EQUIPMENT: - WATER METERING PER NEW BEDFORD DPI REGULATIONS:</div> <div>SANITARY SEWERAGE &amp; STORM-WATER MANAGEMENT: - EXISTING SYSTEMS TO REMAIN. TIE-IN TO EXISTING AS REQUIRED.</div> <div>ELECTRICAL UTILITIES: - EXISTING SYSTEMS TO REMAIN. TIE-IN TO EXISTING AS REQUIRED.</div> <div>COMMUNICATIONS UTILITIES: - EXISTING SYSTEMS TO REMAIN. TIE-IN TO EXISTING AS REQUIRED.</div>		
		kathryn duff ra cphc
		BID DOCUMENTS - NOT FOR CONSTRUCTION
		<div><div>studio2sustain inc architects consultants environmental evangelists</div><div></div><div>CD'S - NARRATIVE SPECIFICATIONS</div></div> <div><div>kathryn duff, RA, founder &amp; director, kathryn@studio2sustain.com 612 county street, new bedford, massachusetts, 02740, 508.998.5145</div><div>1 A0.2</div></div>
OUTLINE SPECIFICATIONS NO SCALE		A0.2

CODE REVIEW SUMMARY:

SCOPE OF WORK: A LEVEL 2 ALTERATION, SEE COVER A0.1

CHAPTER 3 SUMMARY:

- BUILDING "A" (426, 428, 430 RIVET ST.)

FIRST FLOOR: CHANGING (M) MERCANTILE SPACES INTO:  
-(1) BUSINESS UNIT AND  
-(1) ADA RESIDENTIAL UNIT.

SECOND & THIRD FLOORS: CHANGE OF USE FROM R-2 TO R-1. ONLY PROVIDING SPRINKLER SYSTEM. NO ALTERATION OR RECONFIGURATION TO EXISTING SPACES.

- BUILDING "B" (422-424 RIVET ST):

NO ALTERATION - 1-STORY (M) MERCANTILE USE TO REMAIN.

- BUILDING "C" (416, 418, 420 RIVET ST.)

FIRST FLOOR: PROVIDE MATERIAL IN CEILING OF (A-2) ASSEMBLY SPACE FOR HORIZONTAL SEPARATION. 2015 EIBC LEVEL 1: "COVER EXISTING". NO ALTERATION/RECONFIGURATION TO ASSEMBLY AND KITCHEN AREA.

SECOND AND THIRD FLOORS: CHANGE OF USE FROM R-2 TO R-1. ONLY PROVIDING SPRINKLER SYSTEM. NO ALTERATION OR RECONFIGURATION TO EXISTING SPACES.

- BUILDING "D" (414 RIVET ST):

FIRST FLOOR: NO ALTERATION/RECONFIGURATION TO ASSEMBLY AND KITCHEN AREA.

CHAPTER 3: USE AND OCCUPANCY CLASSIFICATIONS & LOADS

(TABLE 1004.4.1.2)

TABLE 1: OCCUPANCY REVIEW - FIRST FLOOR:

ADDRESS (RIVET ST)	EXISTING				PROPOSED			
	OCCUPANCY LOAD SUMMARY 1ST FLOOR 414-430 RIVET ST - EXISTING				OCCUPANCY LOAD SUMMARY 1ST FLOOR 430-414 RIVET ST - INTENDED USE			
	USE CLASSIFICATION	TOTAL SF	OCC/SF ALLOW.	TOTAL OCC.	USE CLASSIFICATION	TOTAL SF	OCC/SF ALLOW.	TOTAL OCC.
428	MERCANTILE	579	60 gross	9	BUISNESS	579	100 gross	5
426	MERCANTILE	618	60 gross	10	RESIDENTIAL	618	200 gross	3
424	MERCANTILE	748	60 gross	12	MERCANTILE	748	60 gross	12
422	MERCANTILE	657	60 gross	10	MERCANTILE	657	60 gross	10
418-420	ASSEMBLY	1776	15 net	118	ASSEMBLY	1776	15 net	118
418-420	STORAGE	200	300 gross	-	STORAGE	200	300 gross	-
414	KITCHEN	361	200 gross	1	KITCHEN	361	200 gross	1
414	MERCANTILE	404	60 gross	6	MERCANTILE	404	60 gross	6
	EGRESS STAIRS	405	NON-OCCUPIABLE		EGRESS STAIRS	405	NON-OCCUPIABLE	
	TOTAL SF:	5,748			TOTAL SF:	5,748		
	1ST FL EXISTING TOTAL OCCUPANTS:			166	1ST FL PROPOSED TOTAL OCCUPANTS:			155

TABLE 2: OCCUPANCY REVIEW - SECOND FLOOR:

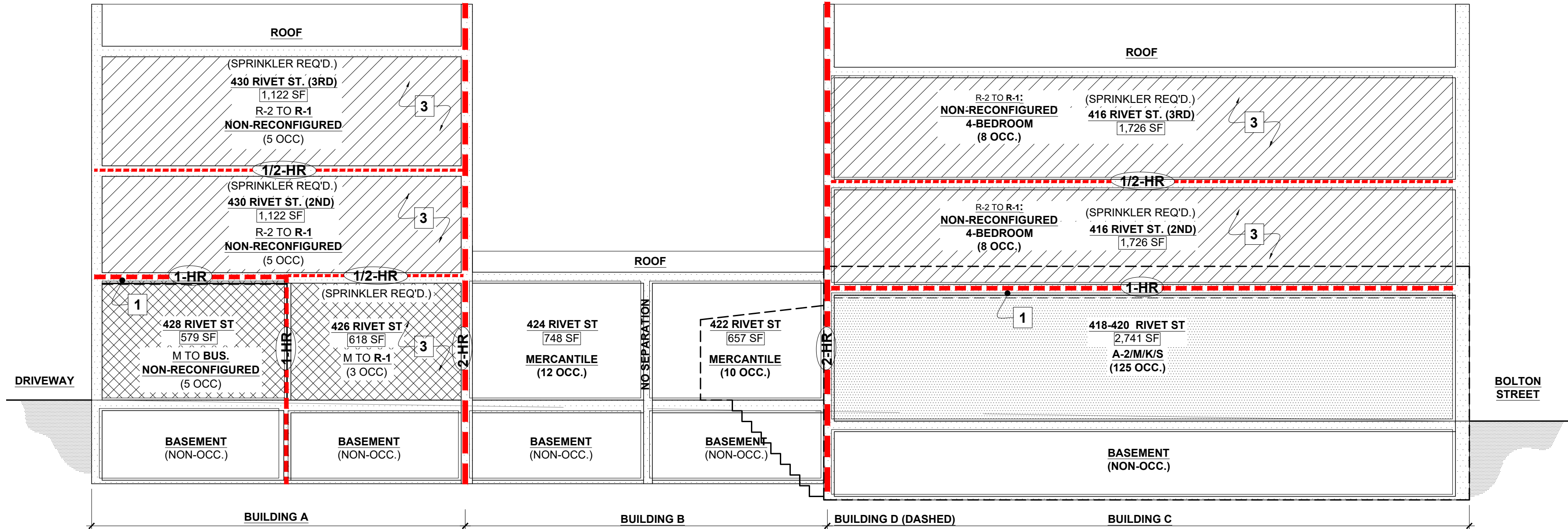
ADDRESS (RIVET ST)	EXISTING				PROPOSED			
	OCCUPANCY LOAD SUMMARY 2ND FLOOR 416 & 430 RIVET ST - EXISTING				OCCUPANCY LOAD SUMMARY 2ND FLOOR 416 & 430 RIVET ST - PROPOSED			
	USE CLASSIFICATION	TOTAL SF	OCC/SF ALLOW.	TOTAL OCC.	USE CLASSIFICATION	TOTAL SF	OCC/SF ALLOW.	TOTAL OCC.
430	RESIDENTIAL R-2	1,122	200 gross	5	RESIDENTIAL R-1	1,122	200 gross	5
430	EGRESS STAIRS	253	NON-OCCUPIABLE		EGRESS STAIRS	253	NON-OCCUPIABLE	
416	RESIDENTIAL R-2	1,726	200 gross	8	RESIDENTIAL R-1	1,726	200 gross	8
416	EGRESS STAIRS	326	NON-OCCUPIABLE		EGRESS STAIRS	326	NON-OCCUPIABLE	
	TOTAL SF:	3,427			TOTAL SF:	3,427		
	2ND FL TOTAL OCCUPANTS:			13	2ND FL TOTAL OCCUPANTS:			13

TABLE 3: OCCUPANCY REVIEW - THIRD FLOOR:

ADDRESS (RIVET ST)	EXISTING				PROPOSED			
	OCCUPANCY LOAD SUMMARY 3RD FLOOR 416 & 430 RIVET ST - EXISTING				OCCUPANCY LOAD SUMMARY 3RD FLOOR 416 & 430 RIVET ST - PROPOSED			
	USE CLASSIFICATION	TOTAL SF	OCC/SF ALLOW.	TOTAL OCC.	USE CLASSIFICATION	TOTAL SF	OCC/SF ALLOW.	TOTAL OCC.
430	RESIDENTIAL R-2	1,122	200 gross	5	RESIDENTIAL R-1	1,122	200 gross	5
430	EGRESS STAIRS	195	NON-OCCUPIABLE		EGRESS STAIRS	195	NON-OCCUPIABLE	
430	STORAGE	66	300 gross	-	STORAGE	66	300 gross	-
416	RESIDENTIAL R-2	1,726	200 gross	8	RESIDENTIAL R-1	1,726	200 gross	8
416	EGRESS STAIRS	256	NON-OCCUPIABLE		EGRESS STAIRS	256	NON-OCCUPIABLE	
416	STORAGE	91	300 gross	-	STORAGE	91	300 gross	-
	TOTAL SF:	3,456			TOTAL SF:	3,456		
	3RD FL TOTAL OCCUPANTS:			13	3RD FL TOTAL OCCUPANTS:			13

CODE REVIEW - SUMMARY

SCALE: NTS



SECTION DIAGRAM - EXISTING & PROPOSED- 414-430 RIVET ST.

SCALE: 1/8" = 1'-0"

CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS

1. THE EXISTING BUILDING BLOCK HAS (2) BUILDINGS ONE-STORY ABOVE GRADE PLANE; AND (2) BUILDINGS 3-STORIES ABOVE GRADE PLANE.

2. THE EXISTING BUILDING AREA IS 12,631 SF.

3. PROPOSED WORK DOES NOT ALTER EXISTING BUILDING HEIGHTS. NO NEW WORK BEYOND EXTERIOR OF EXISTING BUILDING ENVELOPE.

TABLE 4: GENERAL BUILDING HEIGHT & AREAS (TYPE III-B CONSTRUCTION)

BLD'G ELEMENT	EXISTING/ PROPOSED	CODE ALLOW	CONFORM
BUILDING HEIGHT (T.504.3)	40' (EXIST)	55'	YES
# OF STORIES (T.504.4)	3 (EXIST)	4 STORIES	YES
AREAS ABOVE GRADE (T.506.2):			
414, 418-428 EXISTING 1ST FLOOR (MIX)	5,748 SF	9,500 SF	YES
416 - EXISTING SECOND FLOOR (R)	1,375 SF		
416 - EXISTING THIRD FLOOR (R)	1,383 SF		
430 - EXISTING SECOND FLOOR (R)	2,052 SF		
430 - EXISTING THIRD FLOOR (R)	2,073 SF		
TOTAL BUILDING AREA:	12,631 SF		

CHAPTER 6 - TYPES OF CONSTRUCTION

1. THE EXISTING BUILDING BLOCK IS TYPE III-B CONSTRUCTION: STONE FOUNDATIONS, MASONRY WALLS, WOOD FRAME FLOORS AND ROOF. THE PROPOSED WORK INCLUDES ADDING A FIRE SUPPRESSION SYSTEM TO THE RESIDENTIAL UNITS AND EGRESS STAIRS AND INCREASING FIRE RESISTANCE RATING BETWEEN USE GROUPS AS REQUIRED.

TABLE 5: BUILDING CONSTRUCTION TYPE & FIRE RATING (TYPE III-B CONSTRUCTION) (T.601)

BLD'G ELEMENT	RATING (HRS)
PRIMARY STRUCTURAL FRAME	0
EXTERIOR BEARING WALL	2
INTERIOR BEARING WALL	0
EXTERIOR NON-BEARING WALL	0
INTERIOR NON-BEARING WALL	0
FLOOR CONST. & ASSOC. MEMBERS	0
ROOF CONST. & ASSOC. MEMBERS	0

SECTION DIAGRAM - CODE REVIEW SUMMARY NOTES:

1 HORIZONTAL/FLOOR ASSEMBLY:

1-HOUR FIRE-RESISTANCE RATING REQUIRED. EXISTING ARCHAIC FLOOR ASSEMBLY FIRE-RESISTANCE RATING IS +/- .6 HR. 2015 IBC TABLE 508.4 REQUIRES FIRE SEPARATION OF (1) HOUR BETWEEN ASSEMBLY/BUSINESS/MERCANTILE AND RESIDENTIAL WITH SPRINKLER. HORIZONTAL ASSEMBLY TO BE MADE COMPLIANT BY ADDING (ONE LAYER) OF 5/8" TYPE "X" GYPSUM BOARD TO THE CEILING OF ROOMS.

2 EGRESS STAIR ENCLOSURE:

1-HOUR FIRE-RESISTANCE RATING REQUIRED. ALL EXISTING RESIDENTIAL APARTMENTS HAVE TWO MEANS OF EGRESS. THE EXISTING WOOD-STUD WITH LATH AND PLASTER STAIRWAYS ARE REQUIRED TO BE ONE-HOUR ENCLOSURES. STAIRS TO BE MADE COMPLIANT BY ADDING (ONE LAYER) OF 5/8" TYPE "X" GYPSUM BOARD TO THE UNIT-SIDE OF EGRESS STAIRS. EXISTING DOOR RATING TO BE DETERMINED.

3 ADD RESIDENTIAL FIRE SUPPRESSION SYSTEM:

SPRINKLER SYSTEM REQUIRED. INSTALL NFPA 13-R RESIDENTIAL FIRE-SUPPRESSION SYSTEM THROUGHOUT THE (5) RESIDENTIAL UNITS AND EGRESS STAIRS.

ZONING RESTRICTIONS: NEW BEDFORD COMPREHENSIVE ZONING: APPENDIX B - TABLE OF DIM'L REGS.

REQ'T	MUB - TO -		MUB	
	EXISTING	CODE REQ.	PROPOSED	CODE REQ.
LOT	9,844 SF	15,000 SF	9,844 SF	15,000 SF
BUILDING AREA (EXTERIOR)	12,631 SF	-	12,631 SF	-
DENSITY OF DWELLING UNITS PER LOT	4	(1) UNIT:1,000 SF MAX. (9) UNITS	5	(1) UNIT:1,000 SF MAX. (9) UNITS
LOT FRONTAGE	124 FT	0 FT	124 FT	
HEIGHT OF BUILDING (FT)	38 FT	100 FT	38 FT	100 FT
HEIGHT OF BLDG. (STORIES)	3 STORIES	7 STORIES	3 STORIES	7 STORIES
FRONT YARD	0 FT	0 FT	0 FT	0 FT
SIDE YARD	10 FT	10 FT	10 FT	10 FT
REAR YARD	21 FT	20 FT	21 FT	20 FT
LOT COVERAGE BY BLDG (%)	7,200 SF	-	7,200 SF	-
GREEN SPACE (%)	0%	0%	0%	0%

ZONING ORDINANCE SUMMARY

NO SCALE

DATE: 06.30.2021

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BID DOCUMENTS

NOT FOR CONSTRUCTION

WORK AREA KEY	
	LAYOUT IS TO REMAIN, OUTSIDE OF WORK AREA
	LAYOUT IS TO REMAIN, ADD GYP. CEILING
	LAYOUT IS TO REMAIN, INSTALL SPRINKLER
	RECONFIGURE LAYOUT & INSTALL SPRINKLER

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CD'S  
-  
CODE REVIEW

CR 0.1

**GENERAL NOTES:**  
1. ALL WORK, AS DEFINED OR IMPLIED WITHIN THESE CONSTRUCTION DRAWINGS AND BUILDING SPECIFICATIONS IS TO BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL BUILDING CODES AND REGULATIONS.

2. ALL DIMENSIONS SHOWN REPRESENT APPROXIMATE DELINEATIONS AND ARE NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES. ALL WIDTH DIMENSIONS ARE APPROXIMATE, AS WALLS ARE UNEVEN PLASTER, STONE AND/OR BRICK MASONRY. ALL DIMENSIONS MUST BE VERIFIED IN FIELD (V.I.F.)

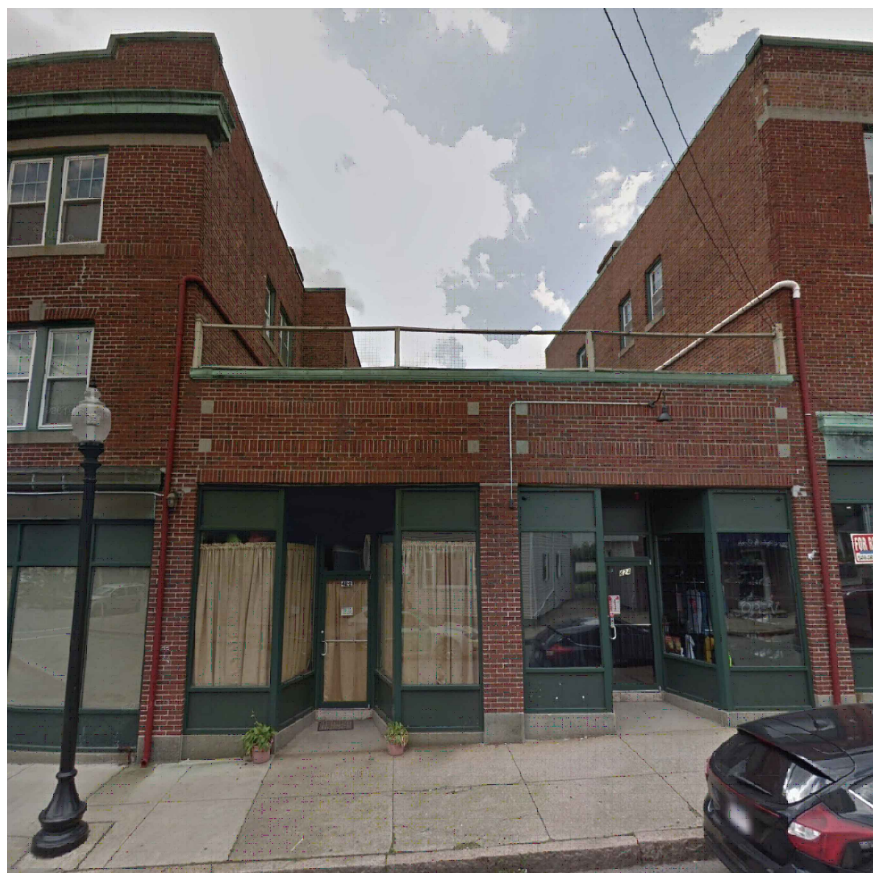
3. THE CONTRACTOR SHALL EXAMINE THE ENTIRE SITE, AND WILL TAKE INTO ACCOUNT ALL CONDITIONS THEREON AS MAY AFFECT THE PERFORMANCE OF THE WORK UNDER THE CONTRACT. ALL DIMENSIONS MUST BE VERIFIED IN-FIELD PRIOR TO COMMENCING WORK. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES AND/OR DEVIATIONS FROM WHAT IS PRESENTED AND/OR IMPLIED ON THESE DRAWINGS AND SPECIFICATIONS.

4. THESE DRAWINGS ARE INTENDED TO SHOW THE EXISTING CONDITIONS OF THE EXISTING BUILDING, INCLUDING PROPOSED REPAIRS AND RENOVATIONS. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN FIELD. DO NOT SCALE DRAWINGS. CONTRACTOR TO NOTIFY THE ARCHITECT AND THE OWNER IF ANY CONDITIONS APPEAR CONTRARY TO THE DRAWINGS AND/OR SPECIFICATIONS.

5. THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE IDENTIFICATION, DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE.



**A** 3-STORY: 416-430 RIVET ST. & 1-STORY: 414 RIVET ST.  
NO ALTERATIONS TO EXTERIOR



**B** 1-STORY: 422-424 RIVET ST.  
NO ALTERATIONS TO EXTERIOR



**C** STOREFRONT ENTRANCE: 426 RIVET ST.  
NO ALTERATIONS TO EXTERIOR



**D** 3-STORY - WEST: 426-430 RIVET ST.  
NO ALTERATIONS TO EXTERIOR

**SITE PLAN NOTES:**

1. EXISTING STRUCTURES TO REMAIN. ALL ALTERATION WORK TO OCCUR WITHIN EXISTING BUILDING FOOTPRINT.
2. STRIPE EXISTING PARKING SPOT FOR USE AS AN HP PARKING SPOT FOR NEW RESIDENTIAL ADA UNIT ON FIRST FLOOR. INSTALL TIRE STOPS AS SHOWN ON PLANS. SEE SPECIFICATIONS AND DRAWING 1/A1.3.
3. REMOVE EXISTING LEAD PIPE WATER SERVICE, INSTALL NEW STUB AND WATER METER FOR WATER SERVICE.
4. INSTALL NEW WATER SERVICE FOR NEW FIRE SUPPRESSION SYSTEM. SEE FIRE PROTECTION PLANS FOR SPECIFICATIONS.



**E** DRIVEWAY - WEST  
PAINT STRIPING FOR HP SPOT



**F** REAR EGRESS COURT  
PAINT STRIPING FOR HP SPOT & NEW HP ENTRANCE

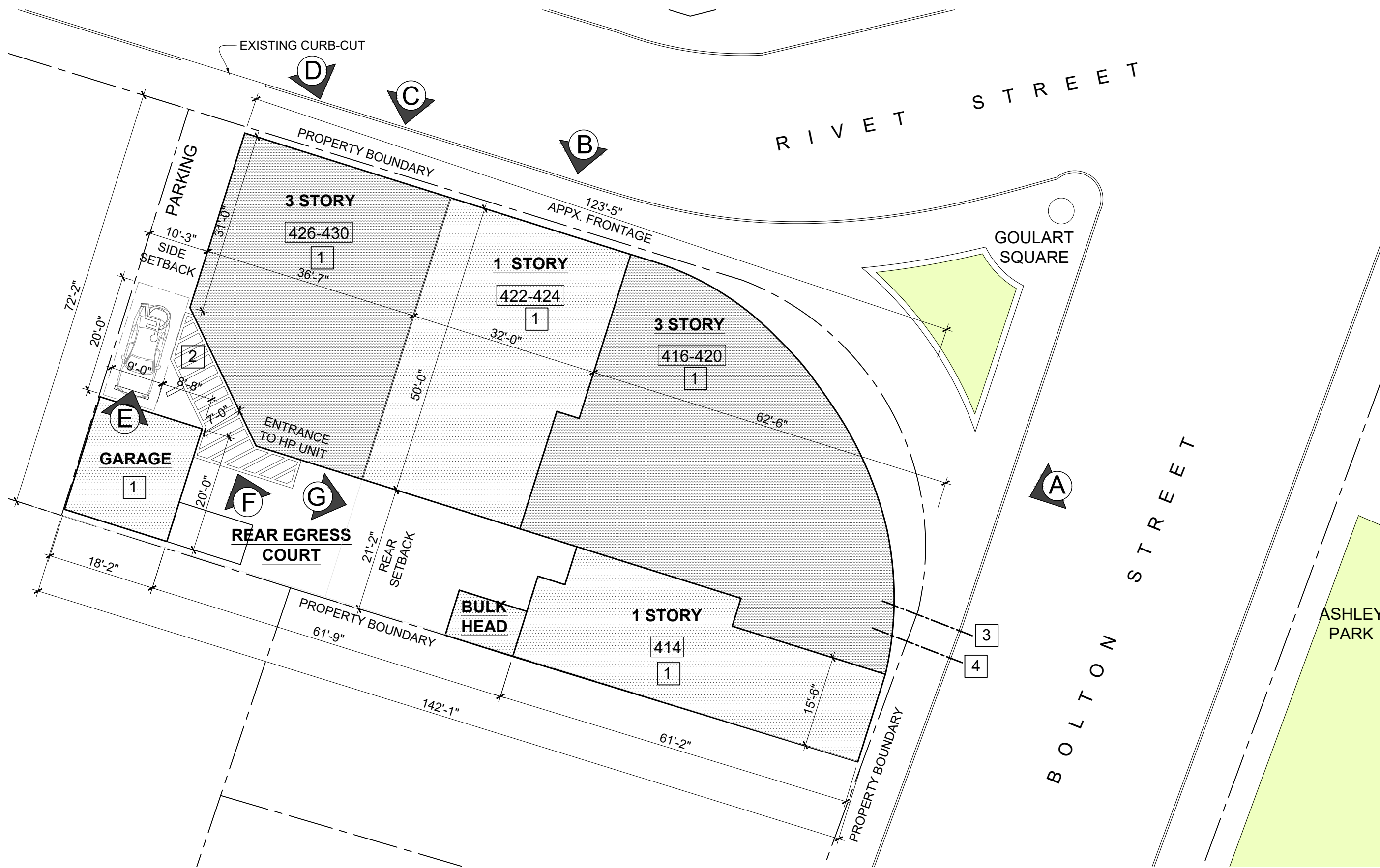


**G** REAR EGRESS COURT  
NO ALTERATIONS TO EXTERIOR



SITE PLAN - 416-430 RIVET ST. - EXISTING  
SCALE: 1/16" = 1'-0"

2  
SP1.1



SITE PLAN - 414-430 RIVET ST. - PROPOSED  
SCALE: 1/16" = 1'-0"

1  
SP1.1

DATE: 06.30.2021  
● REV: 08.10.2021

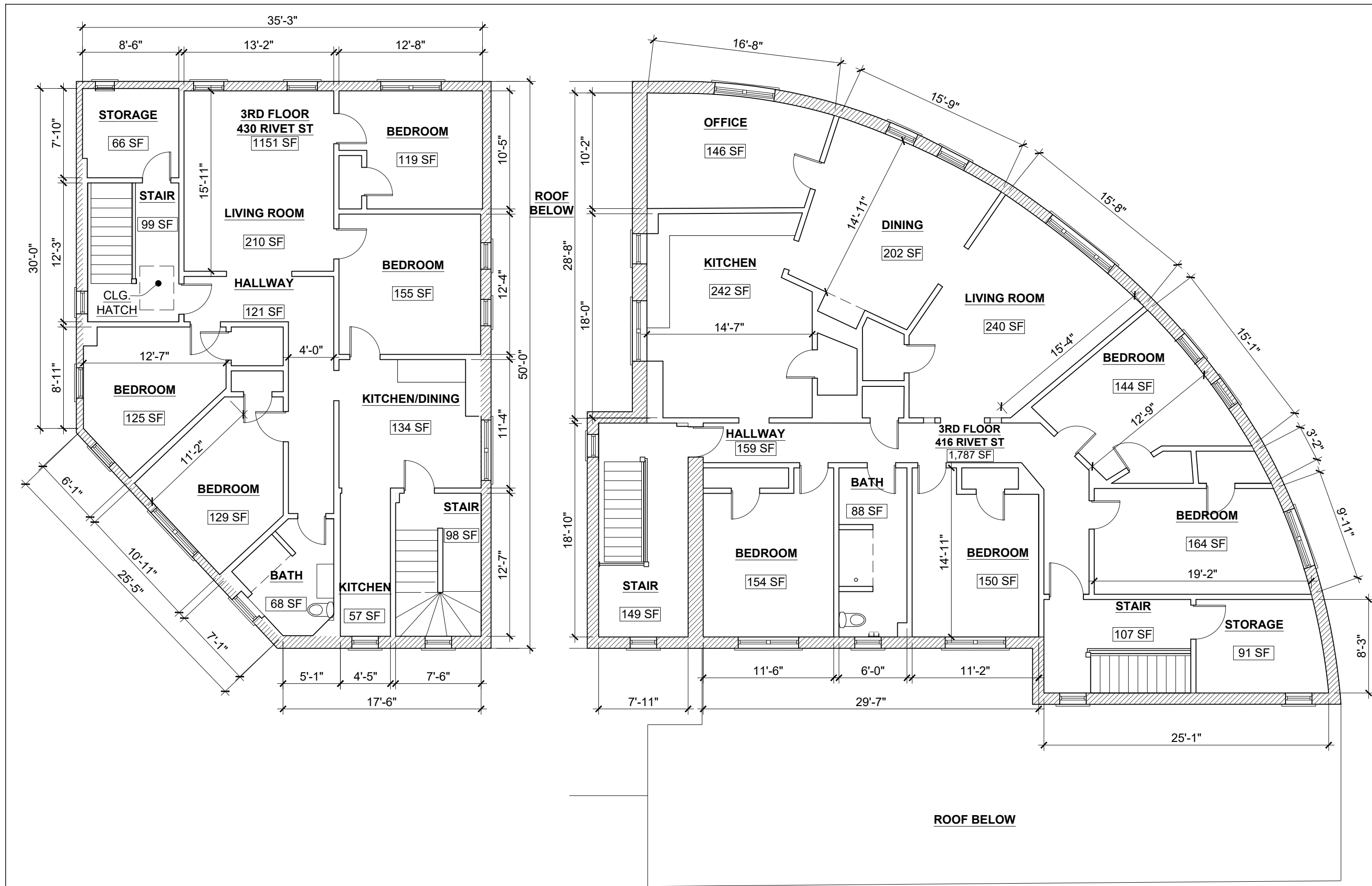
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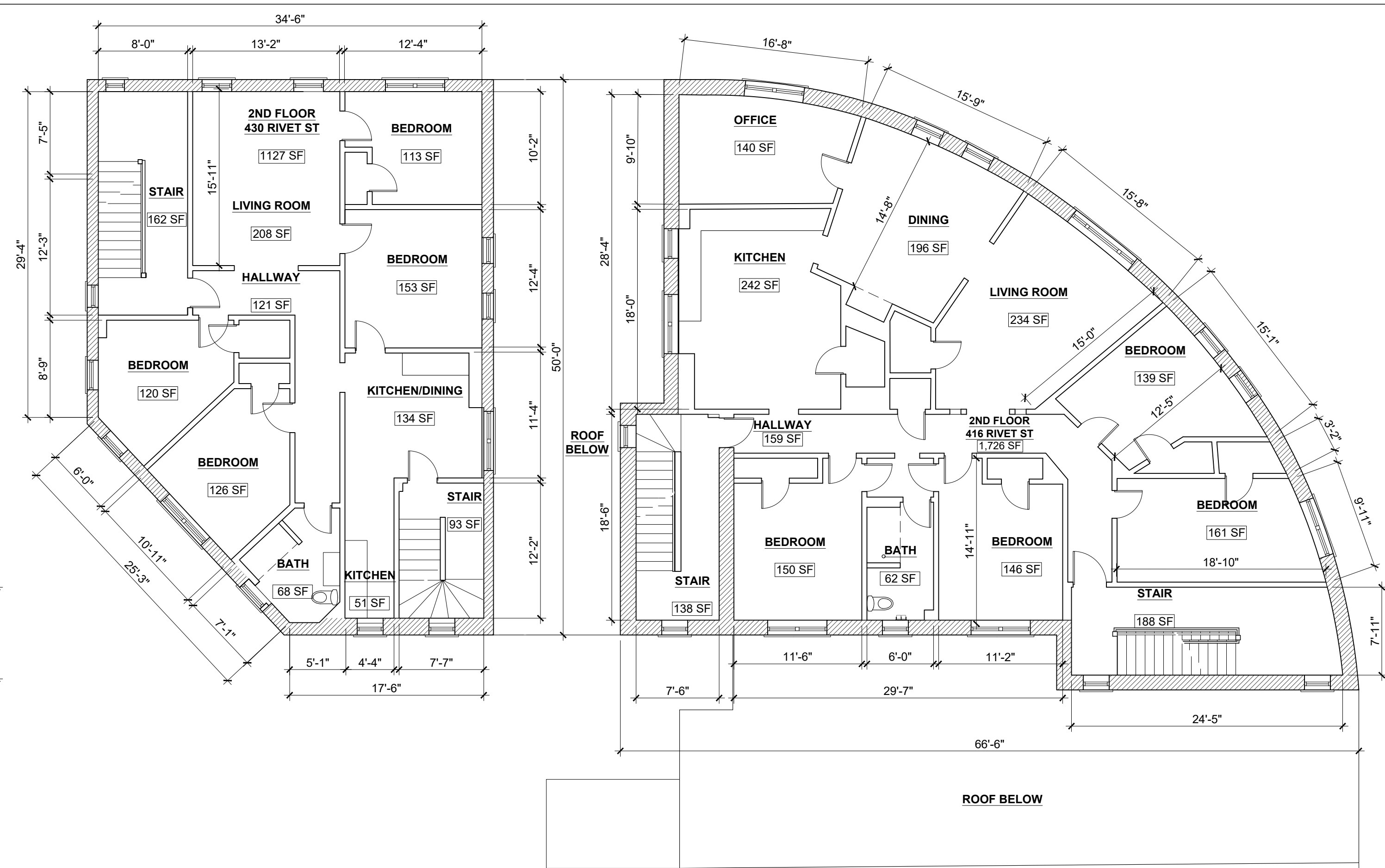
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SITE PLAN  
EXIST'G & PROP'D

SP 1.1



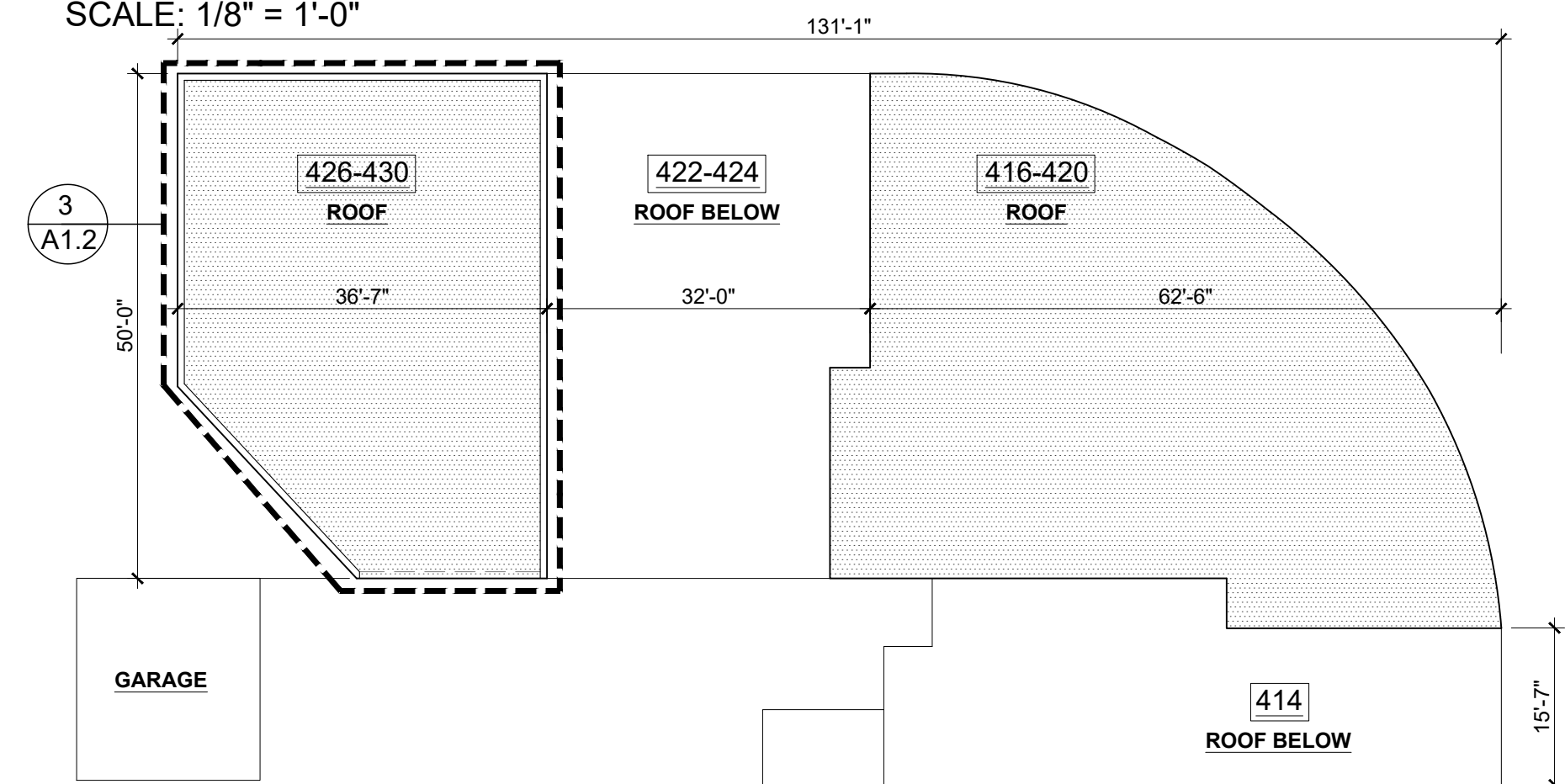
PLAN - 3RD FLOOR - EXISTING  
SCALE: 1/8" = 1'-0"

3  
EX1.1



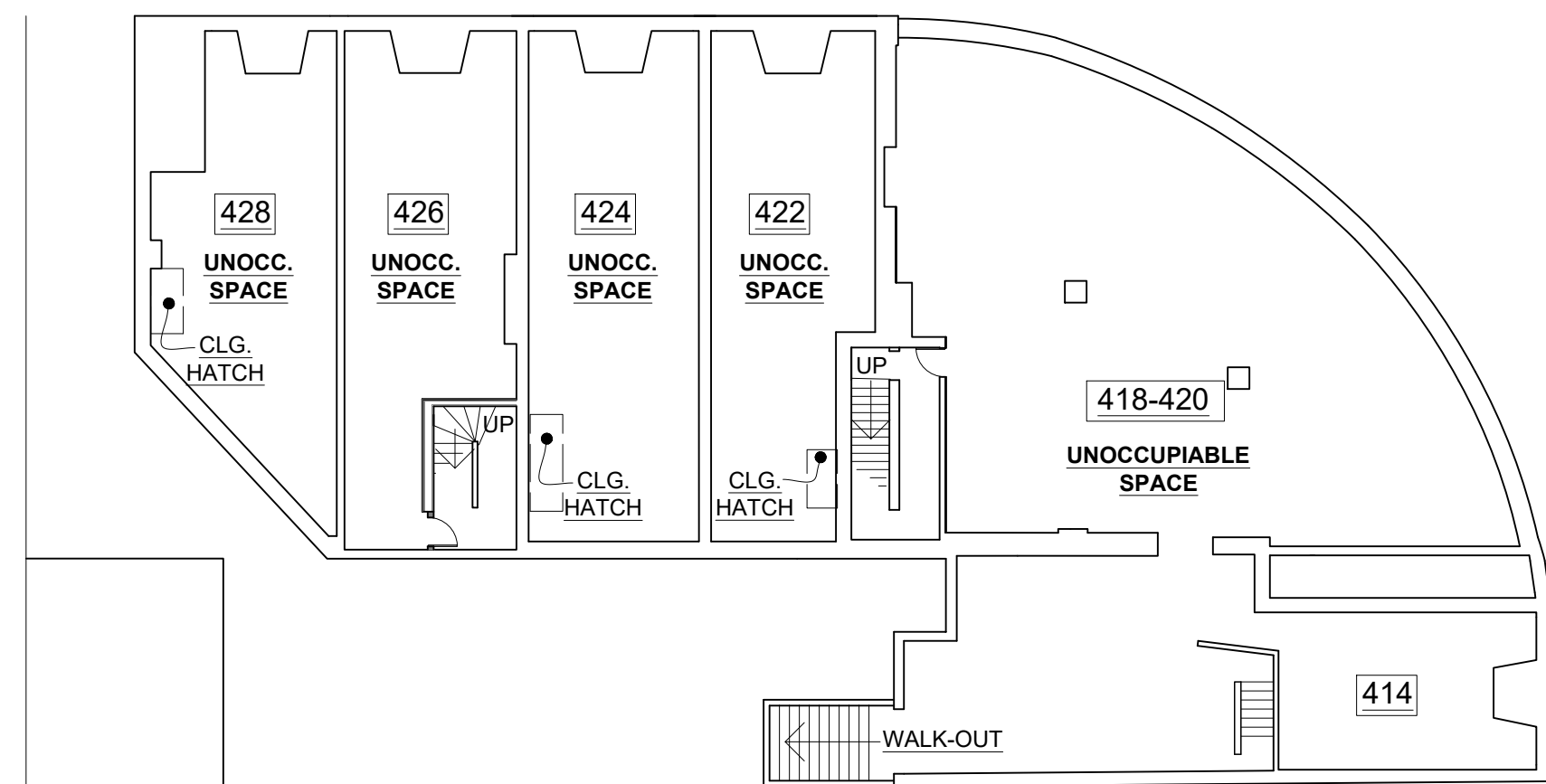
PLAN - 2ND FLOOR - EXISTING  
SCALE: 1/8" = 1'-0"

2  
EX1.1



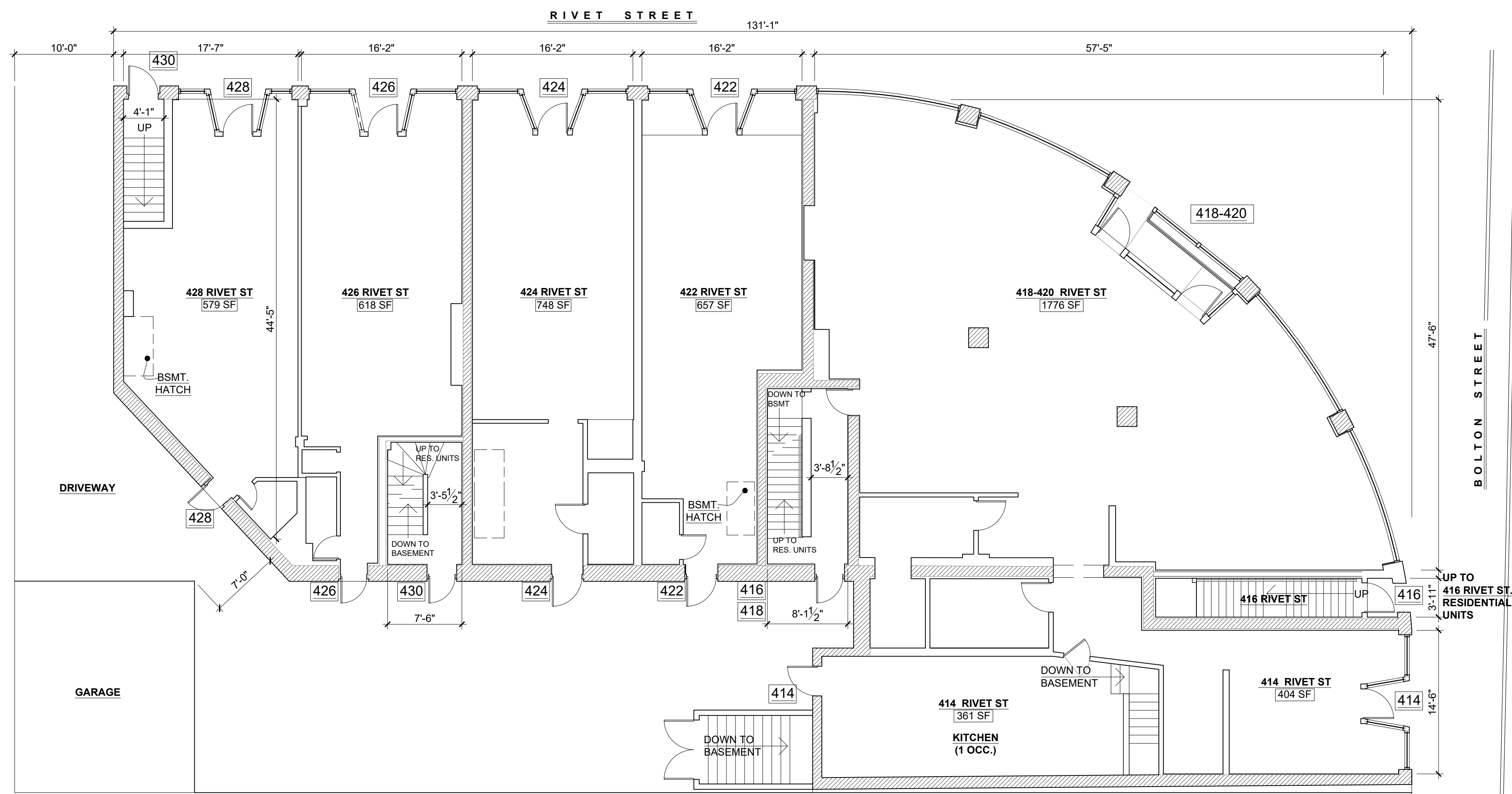
PLAN - ROOF - EXISTING  
SCALE: 1/16" = 1'-0"

4  
EX1.1



PLAN - BASEMENT - EXISTING  
SCALE: 1/16" = 1'-0"

5  
EX1.1



PLAN - 1ST FLOOR - EXISTING  
SCALE: 1/8" = 1'-0"

1  
EX1.1

DATE: 06.30.2021

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**BID DOCUMENTS**  
-  
**NOT FOR CONSTRUCTION**

PLAN KEY	
EXISTING MASONRY WALL	
EXISTING WOOD STUD WALL	
EXISTING WOOD STUD WALL W/ TYPE 'X' GYP COVER	
NEW PARTIAL HEIGHT WOOD STUD WALL	
NEW WOOD STUD WALL	

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**PLANS**  
-  
**EXISTING CONDITIONS**

**EX 1.1**

**TYPICAL PROPOSED PLAN NOTES:**

**1 EXISTING WALL: SEE WALL TYPE 1:**

ADD (ONE LAYER) OF 5/8" TYPE "X" FIRE-RATED GYPSUM BOARD TO THE UNIT-SIDE OF EGRESS STAIRS - SEE PLAN. (1-HOUR FIRE-RESISTANCE RATING REQUIRED AT STAIR ENCLOSURE). EXISTING WALL IS ASSUMED W-4-W-40 2"x4" WOOD STUD WALL WITH WOOD LATH AND PLASTER ON BOTH SIDES OF WALL (.5 HR RATING EXISTING + .5 HR NEW GYP = 1 HOUR)

**2 AT SELECT EXISTING HORIZONTAL/FLOOR ASSEMBLY @ TIN CEILING: SEE DTL. 3/A1.1:**

ADD (ONE LAYER) OF 5/8" TYPE "X" FIRE-RATED GYPSUM BOARD TO THE UNDERSIDE OF FLOOR ASSEMBLY - SEE PLAN. CAREFULLY REMOVE EXISTING TIN CEILING TO INSTALL FIRE-RATED GYP. AND REINSTALL OR REPLACE WITH NEW TIN CEILING TO MATCH EXISTING.

**3 ADD RESIDENTIAL FIRE SUPPRESSION SYSTEM:**

**SPRINKLER SYSTEM REQUIRED.** INSTALL NFPA 13-R RESIDENTIAL FIRE-SUPPRESSION SYSTEM THROUGHOUT THE (5) RESIDENTIAL UNITS AND EGRESS STAIRS. SEE PLANS FP-1 AND FP-2.

**4 INSTALL 1-HOUR RATED DOOR:**

REMOVE EXISTING DOOR. INSTALL NEW 1-HOUR RATED DOOR 2-PANEL MOLDED STYLE DOOR, PAINTED W/CLOSER & SCHLAGE DOOR HARDWARE, LOCKING PER OWNER REQUIREMENTS.

**5 430 RIVET ST - REAR EGRESS STAIR :**

- REMOVE AND REPAIR ALL DAMAGED FINISH MATERIALS IN-KIND INCLUDING WOOD STAIR TREADS, WOOD FLOOR LANDINGS, FRAMING (ASSUME 20% REPLACEMENT), TRIM, AND WINDOW TRIM. LIGHTING TO REMAIN.  
- ADD (ONE LAYER) OF 5/8" TYPE "X" FIRE-RATED GYPSUM BOARD TO THE INTERIOR WALLS AND CEILING OF THE EGRESS STAIR, LEVEL-4 FINISH AND PAINT.

**GENERAL WALL NOTES:**

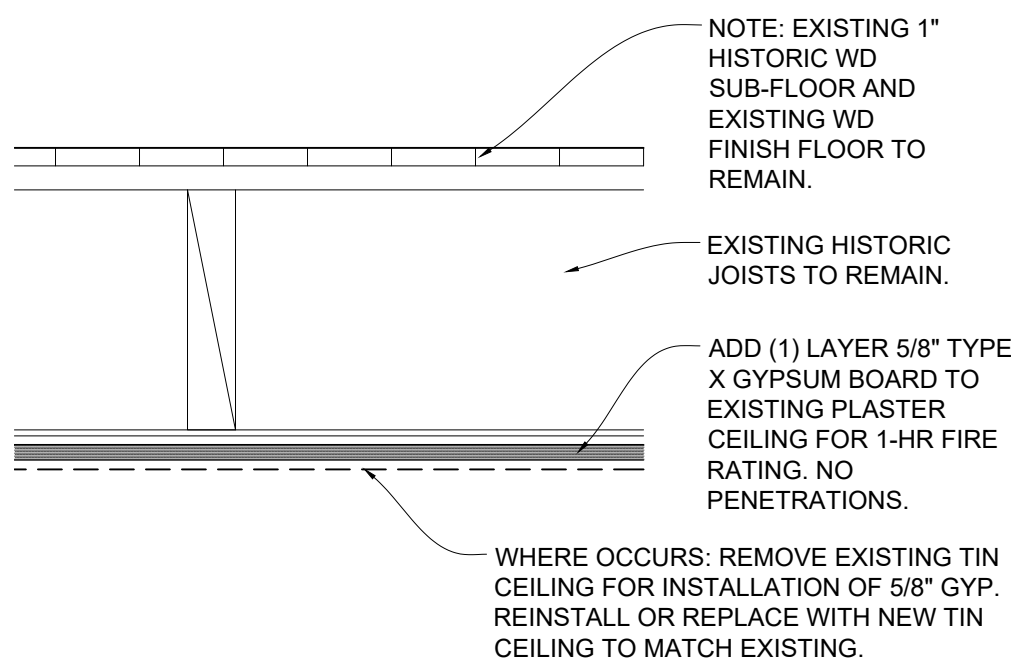
**1. BEDROOM WALLS:** 3 1/2" SOUND BATT INSULATION BETWEEN STUDS, TYPICAL AT ALL NEW WALL TYPES.

**2. FIRE WALL PENETRATION:** WHERE OCCURS ALL ELECTRICAL CONDUIT TO BE IN METAL BOXES IN FIRE RATED WALLS & CEILINGS AS REQUIRED BY FIRE CODE.

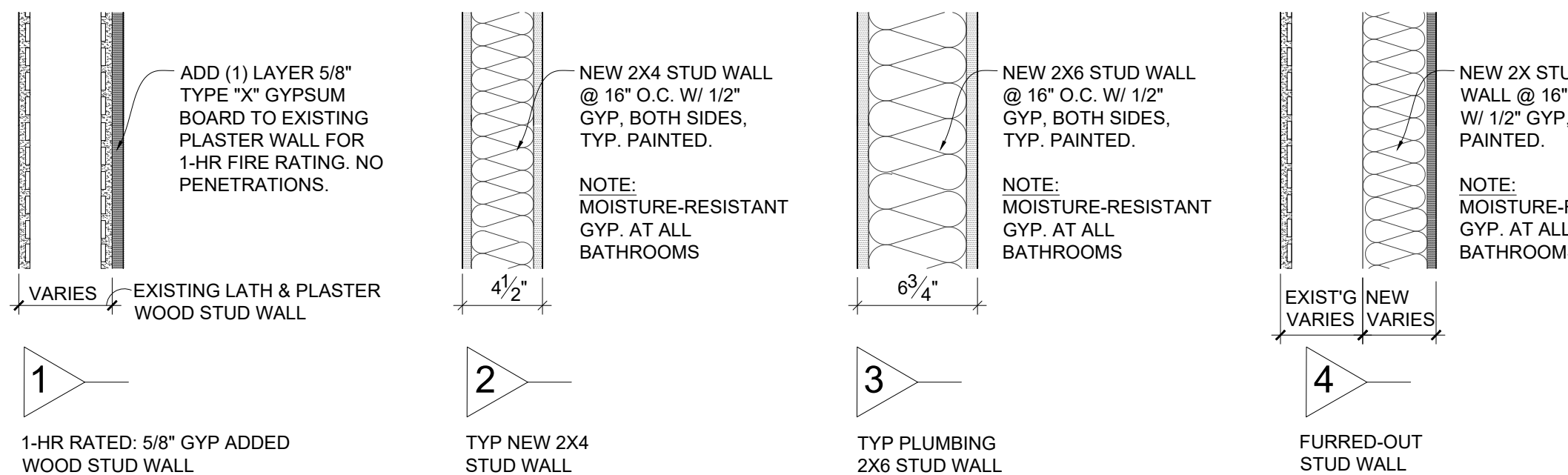
**3. BATHROOM WALLS:** 5/8" MOISTURE-RESISTANT GYPSUM BOARD, PRIMED AND PAINTED AT ALL BATHROOMS, TYP.

**4. FIRE WALLS:** SEE PLAN FOR LOCATION OF ALL 1/2-HR & 1-HR FIRE RATED WALLS, PRIMED & PTD.

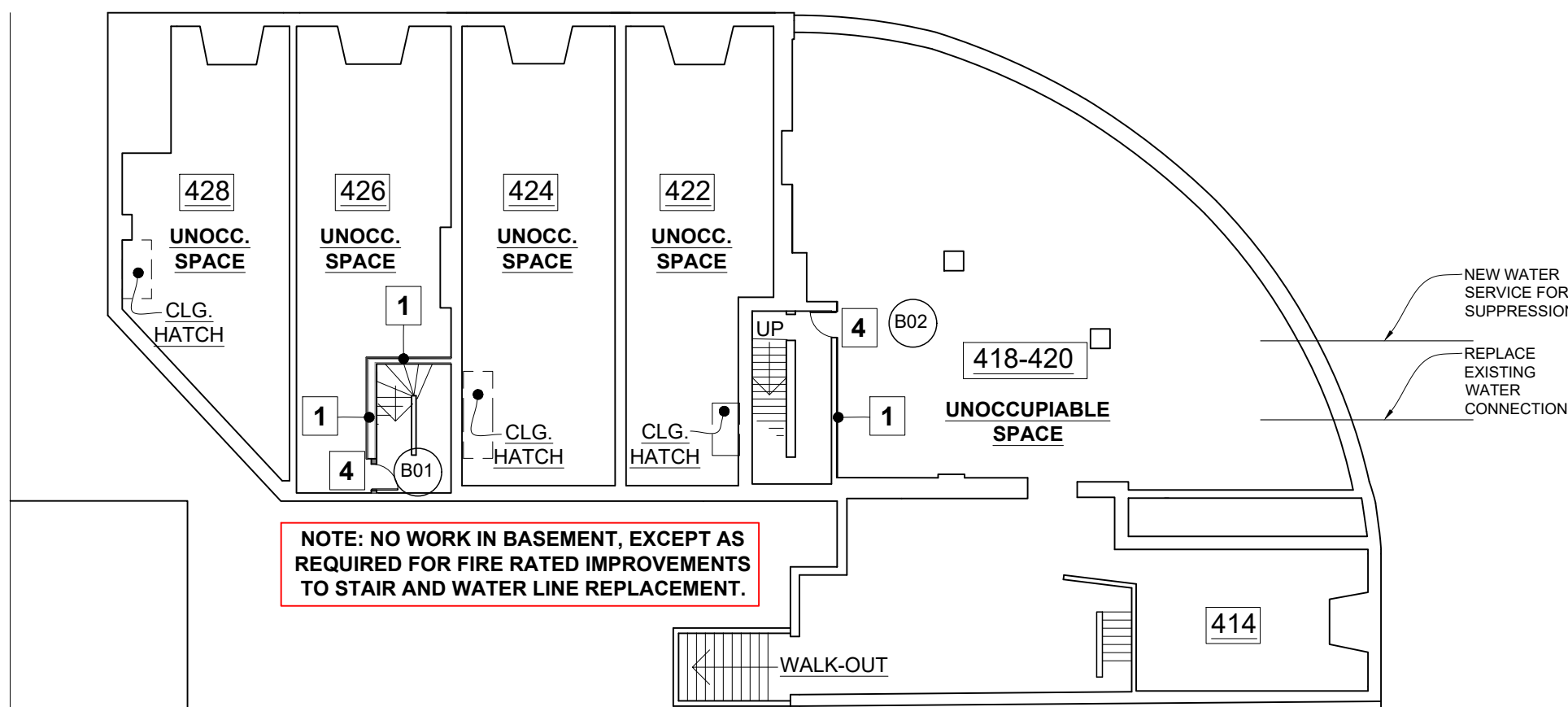
**5. NEW WALLS:** ALL NEW WALLS TO BE TAPED AND SPACKLED AS REQUIRED, PRIMED & PAINTED, COLOR TO BE SELECTED BY ARCHITECT.



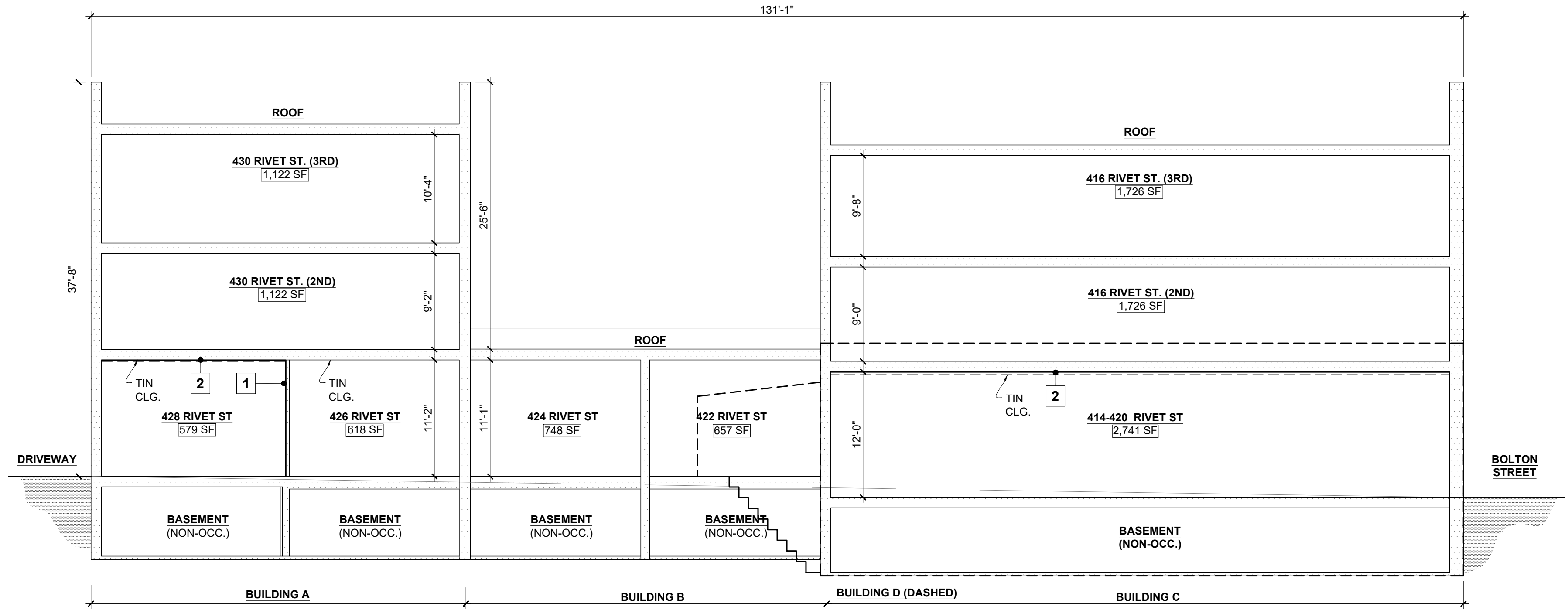
DETAIL: 1-HR FIRE RATED FLOOR ASSEMBLY  
SCALE: 1 1/2" = 1'-0"



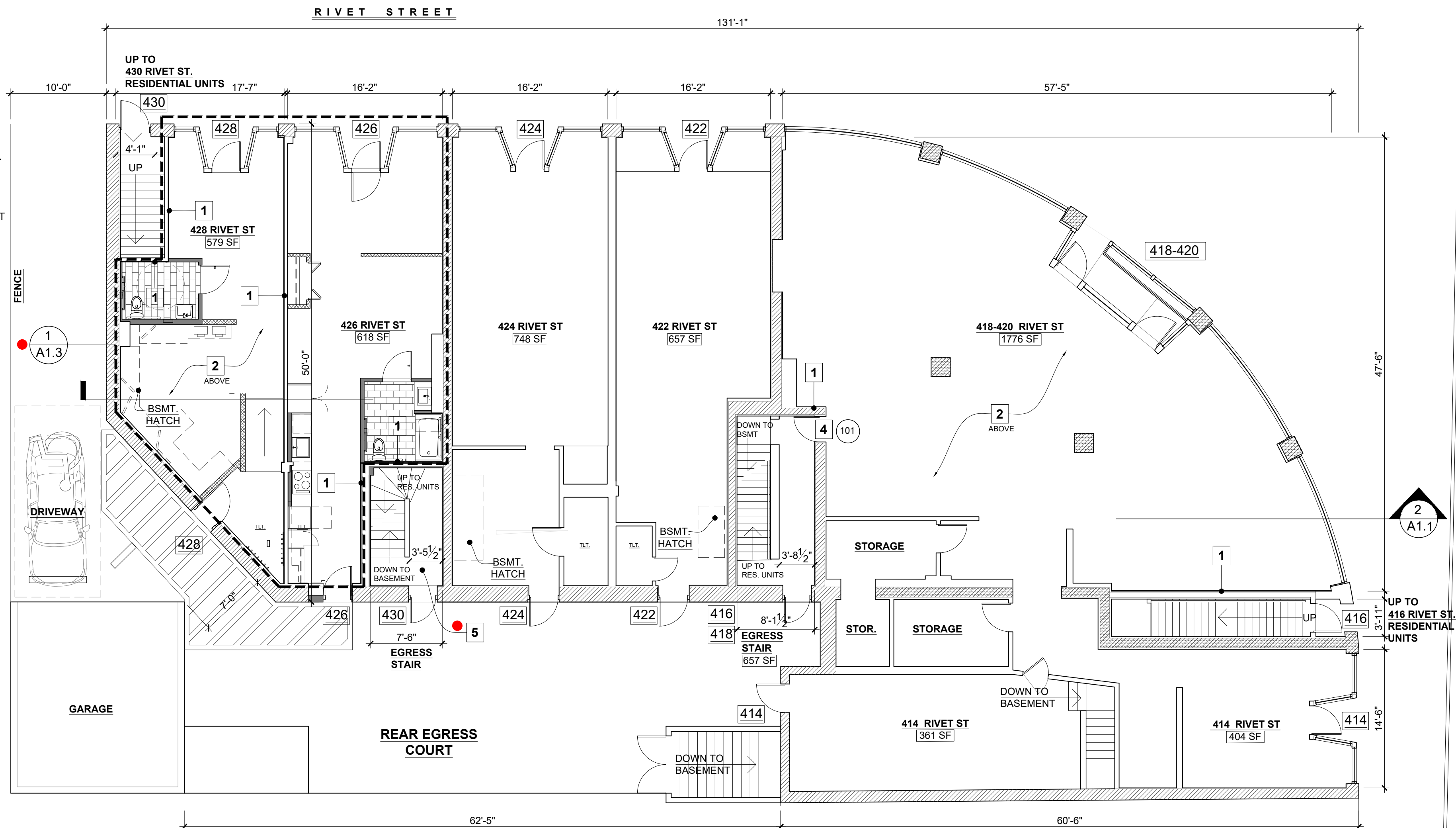
DETAILS: WALL TYPES  
SCALE: 1 1/2" = 1'-0"



PLAN - EXISTING - BASEMENT - 414 - 430 RIVET ST.  
SCALE: 1/16" = 1'-0"



SECTION DIAGRAM - EXISTING & PROPOSED- 414-430 RIVET ST.  
SCALE: 1/8" = 1'-0"



PLAN - FIRST FLOOR - PROPOSED  
SCALE: 1/8" = 1'-0"

DATE: 06.30.2021

REV: 08.10.2021

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**BID DOCUMENTS**  
-  
**NOT FOR CONSTRUCTION**

PLAN KEY	
EXISTING MASONRY WALL	
EXISTING WOOD STUD WALL	
EXISTING WOOD STUD WALL W/ TYPE "X" GYP COVER	
NEW PARTIAL HEIGHT WOOD STUD WALL	
NEW WOOD STUD WALL	

SYMBOL KEY	
0	WALL TYPE
P-1	PLUMBING NUMBER
101	ROOM NUMBER
A	WINDOW TYPE
101	DOOR NUMBER

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**1ST FL. PLAN,  
SECTION & WALL  
TYPES**  
-  
**PROPOSED**

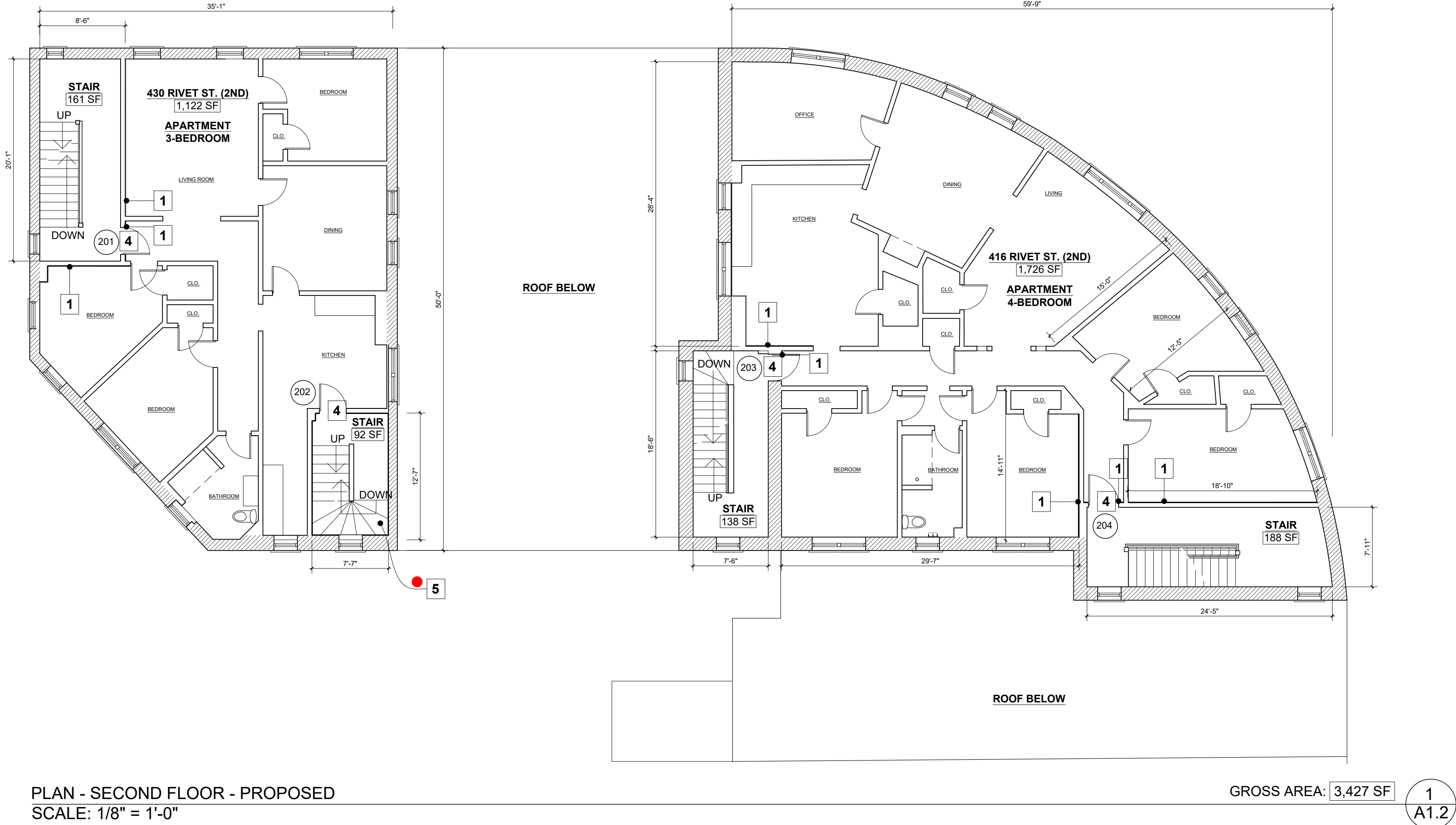
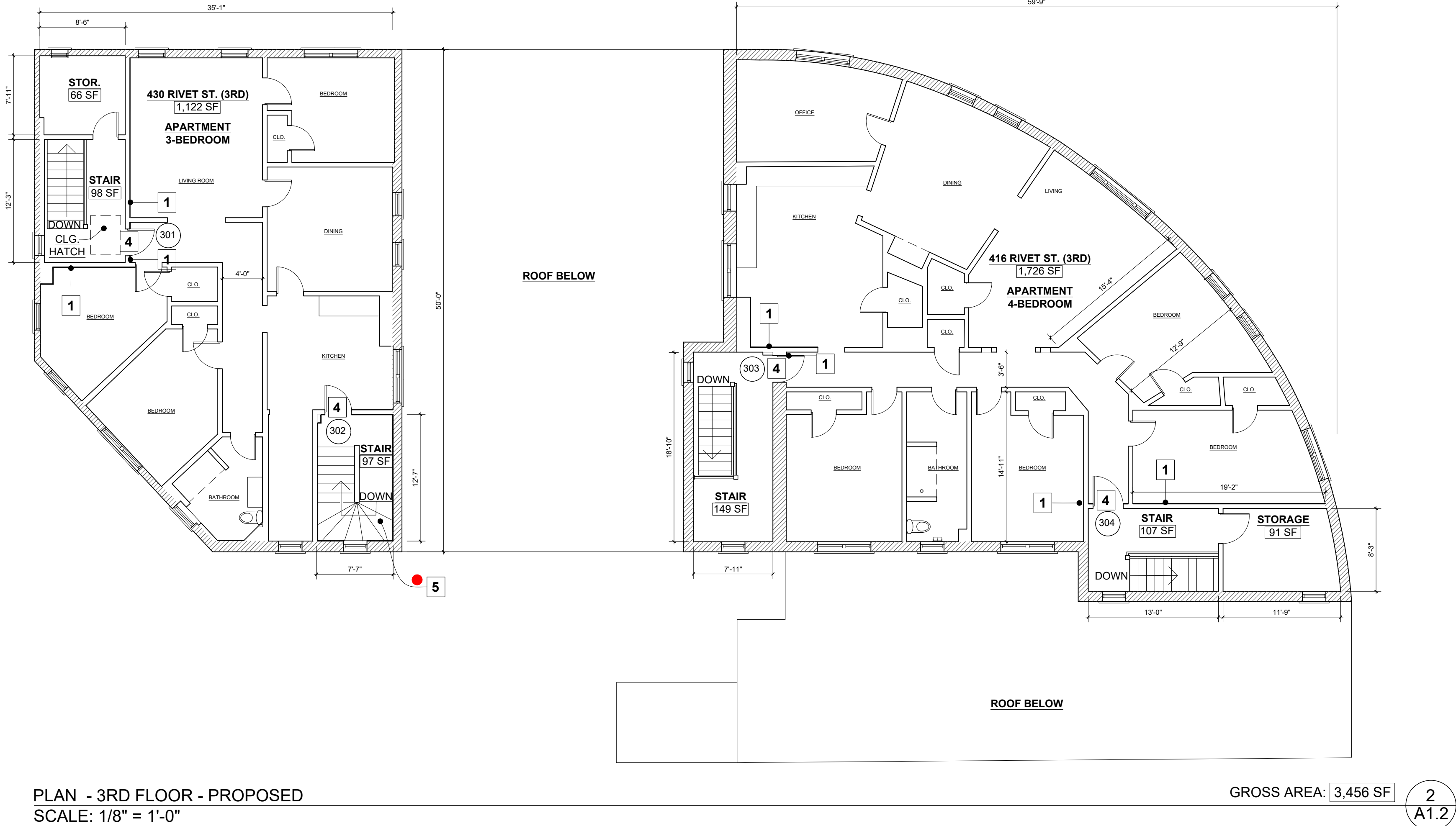
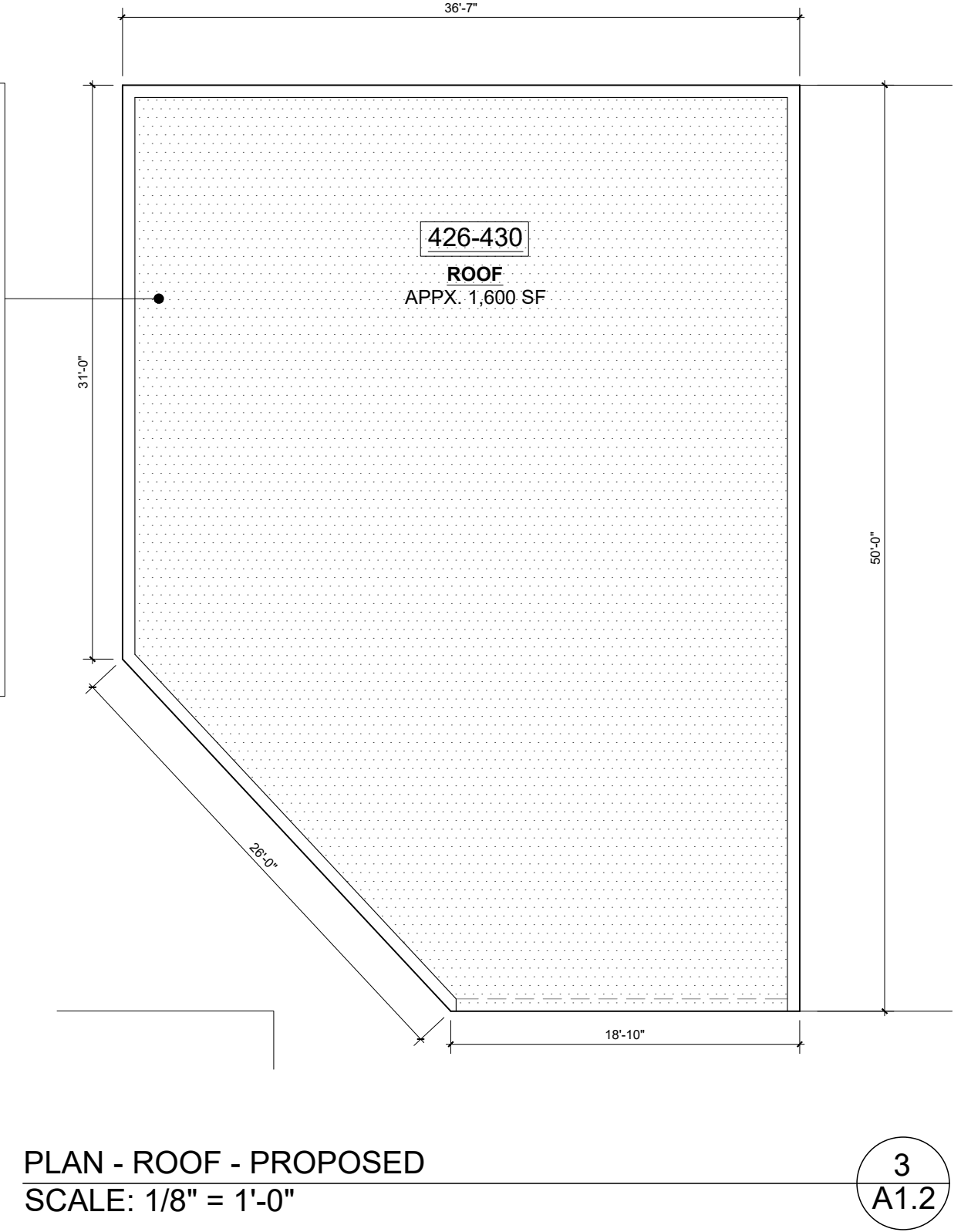
**A 1.1**

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  3. THE CONTRACTOR SHALL EXAMINE THE ENTIRE SITE, AND WILL TAKE INTO ACCOUNT ALL CONDITIONS THEREON AS MAY AFFECT THE PERFORMANCE OF THE WORK UNDER THE CONTRACT. ALL DIMENSIONS MUST BE VERIFIED IN-FIELD PRIOR TO COMMENCING WORK. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES AND/OR DEVIATIONS FROM WHAT IS PRESENTED AND/OR IMPLIED ON THESE DRAWINGS AND SPECIFICATIONS.
  4. THESE DRAWINGS ARE INTENDED TO SHOW THE EXISTING CONDITIONS OF THE EXISTING BUILDING, INCLUDING PROPOSED REPAIRS AND RENOVATIONS. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN FIELD. DO NOT SCALE DRAWINGS. CONTRACTOR TO NOTIFY THE ARCHITECT AND THE OWNER IF ANY CONDITIONS APPEAR CONTRARY TO THE DRAWINGS AND/OR SPECIFICATIONS.
  5. THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE IDENTIFICATION, DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE.

- TYPICAL PROPOSED PLAN NOTES:**
- 1 **EXISTING WALL: SEE WALL TYPE 1:**  
**ADD (ONE LAYER) OF 5/8" TYPE "X" FIRE-RATED GYPSUM BOARD TO THE UNIT-SIDE OF EGRESS STAIRS - SEE PLAN.** (1-HOUR FIRE-RESISTANCE RATING REQUIRED AT STAIR ENCLOSURE). EXISTING WALL IS ASSUMED W-4-W-40 2"x4" WOOD STUD WALL WITH WOOD LATH AND PLASTER ON BOTH SIDES OF WALL (.5 HR RATING EXISTING + .5 HR NEW GYP = 1 HOUR)
  - 2 **AT SELECT EXISTING HORIZONTAL/FLOOR ASSEMBLY @ TIN CEILING: SEE DTL. 3/A1.1:**  
**ADD (ONE LAYER) OF 5/8" TYPE "X" FIRE-RATED GYPSUM BOARD TO THE UNDERSIDE OF FLOOR ASSEMBLY - SEE PLAN.** CAREFULLY REMOVE EXISTING TIN CEILING TO INSTALL FIRE-RATED GYP. AND REINSTALL OR REPLACE WITH NEW TIN CEILING TO MATCH EXISTING.
  - 3 **ADD RESIDENTIAL FIRE SUPPRESSION SYSTEM:**  
**SPRINKLER SYSTEM REQUIRED.** INSTALL NFPA 13-R RESIDENTIAL FIRE-SUPPRESSION SYSTEM THROUGHOUT THE (5) RESIDENTIAL UNITS AND EGRESS STAIRS. SEE PLANS FP-1 AND FP-2.
  - 4 **INSTALL 1-HOUR RATED DOOR:**  
REMOVE EXISTING DOOR. INSTALL NEW 1-HOUR RATED DOOR 2-PANEL MOLDED STYLE DOOR, PAINTED W/CLOSER & SCHLAGE DOOR HARDWARE, LOCKING PER OWNER REQUIREMENTS.
  - 5 **430 RIVET ST - REAR EGRESS STAIR :**  
- REMOVE AND REPAIR ALL DAMAGED FINISH MATERIALS IN-KIND INCLUDING WOOD STAIR TREADS, WOOD FLOOR LANDINGS, FRAMING (ASSUME 20% REPLACEMENT), TRIM, AND WINDOW TRIM. LIGHTING TO REMAIN.  
- **ADD (ONE LAYER) OF 5/8" TYPE "X" FIRE-RATED GYPSUM BOARD TO THE INTERIOR WALLS AND CEILING OF THE EGRESS STAIR, LEVEL-4 FINISH AND PAINT.**

- PROPOSED RE-ROOFING  
@ 426-430 RIVET ST. ROOF ONLY**
- NOTES:**
1. REMEDIATE ASBESTOS IN PARAPET WALL. SEE ASBESTOS REPORT BY BANNER ENVIRONMENTAL DATED 04.30.2021 FOR LOCATION AND QUANTITY.
  2. DEMO EXISTING ROOFING MATERIAL.
  3. NEW FULLY-ADHERED 60 MIL TPO ROOF (LIGHT GREY) OVER SLOPED ROXUL "TOPROCK" OVER SLOPED POLYISO INSULATION. MIN 4" (R-16). TERMINATE AT PARAPET AS REQUIRED.



DATE: 06.30.2021  
●REV: 08.10.2021

kathryn duff ra cphc

**BID DOCUMENTS**  
-  
**NOT FOR CONSTRUCTION**

PLAN KEY	
EXISTING MASONRY WALL	
EXISTING WOOD STUD WALL	
EXISTING WOOD STUD WALL W/ TYPE "X" GYP COVER	
NEW PARTIAL HEIGHT WOOD STUD WALL	
NEW WOOD STUD WALL	

SYMBOL KEY	
	WALL TYPE
	PLUMBING NUMBER
	ROOM NUMBER
	WINDOW TYPE
	DOOR NUMBER

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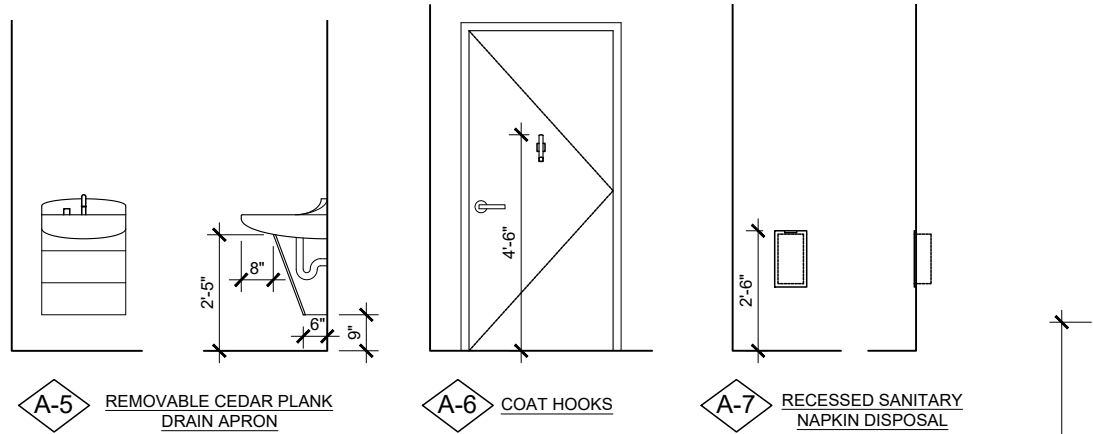
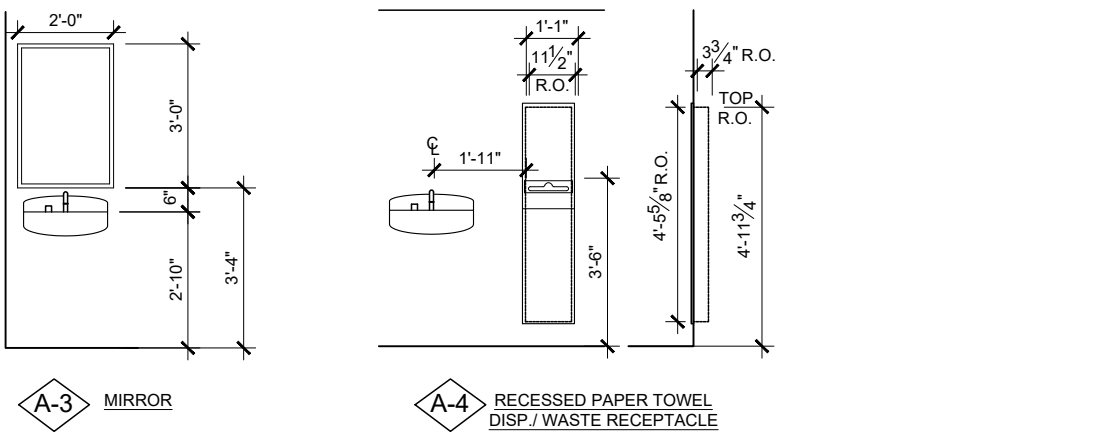
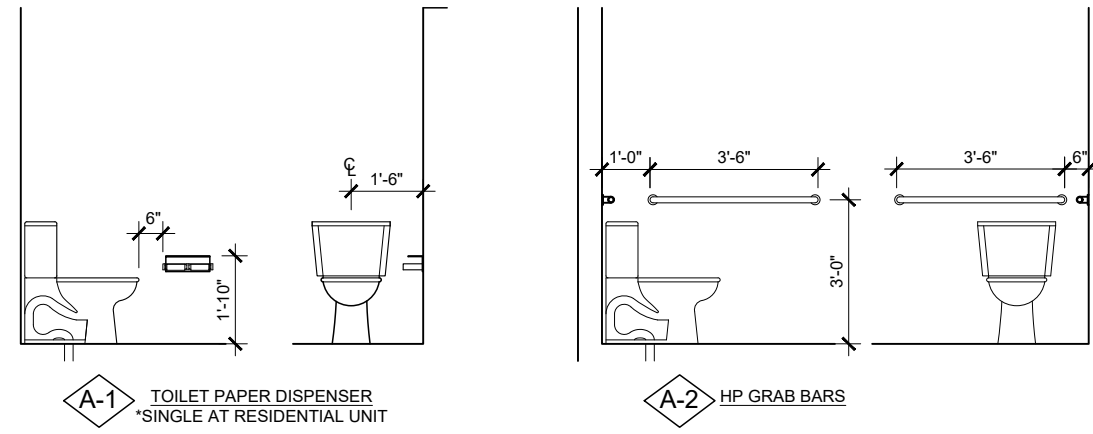
**S2S**

kathryn duff, RA, founder & director, kathryn@studio2sustain.com  
412 county street, new bedford, massachusetts, 02740, 508.998.5145

**2ND FL, 3RD FL,  
& ROOF PLANS**  
-  
**PROPOSED**

**A**

**1.2**



TOILET ACCESSORIES TYPES  
SCALE: 1/4" = 1'-0"

PROPOSED REVISIONS AT 426-428 RIVET ST. NOTES:

- DEMO EXISTING NON-STRUCTURAL WALLS AND FIXTURES AS REQUIRED FOR NEW WORK.
- ALL FLOORING IN OPEN SPACES TO BE MARMOLEUM "CLICK" TILE W/WOOD BASE. ARCHITECT TO SELECT COLORS. BATHROOMS TO BE PORCELAIN TILE "PLANK" STYLE OVER DITRAMAT TILE UNDERLAYMENT. MAX. 1/2" THRESHOLDS.
- ALL INTERIOR DOORS TO BE BROSCO 2-PANEL SHAKER STYLE WITH SCHLAGE HARDWARE.
- ALL INTERIOR WALLS AND CEILINGS TO BE PAINTED, W/BEN MOORE PAINT ARCHITECT TO SELECT COLORS.
- BATHROOM & KITCHEN FIXTURES, ACCESSORIES, FINISHES, AND APPLIANCES TO MEET THE REQUIREMENTS OF MASS ARCHITECTURAL ACCESS BOARD 521 CMR: GROUP TWO BATHROOMS AND KITCHENS.
- ALL CLOSETS TO RECEIVE A SHELF AND HANGING ROD MOUNTED PER ADA REQUIREMENTS.
- CONTRACTOR TO WIRE OFFICE AND ADA APARTMENT AS REQUIRED TO MEET CURRENT ELECTRIC CODE AND 521 CMR MASS ADA CODE. PROVIDE LED LIGHT FIXTURES (\$75 ALLOWANCE EACH) WHERE NOTED.
- PROVIDE NEW BASEBOARD HEAT IN OFFICE AND ADA APARTMENT, TIE-IN TO EXISTING SYSTEM.
- PROVIDE VENTILATION UNIT: PANASONIC WHISPER COMFORT SPOT ERV: FV-04VE1 20CFM.

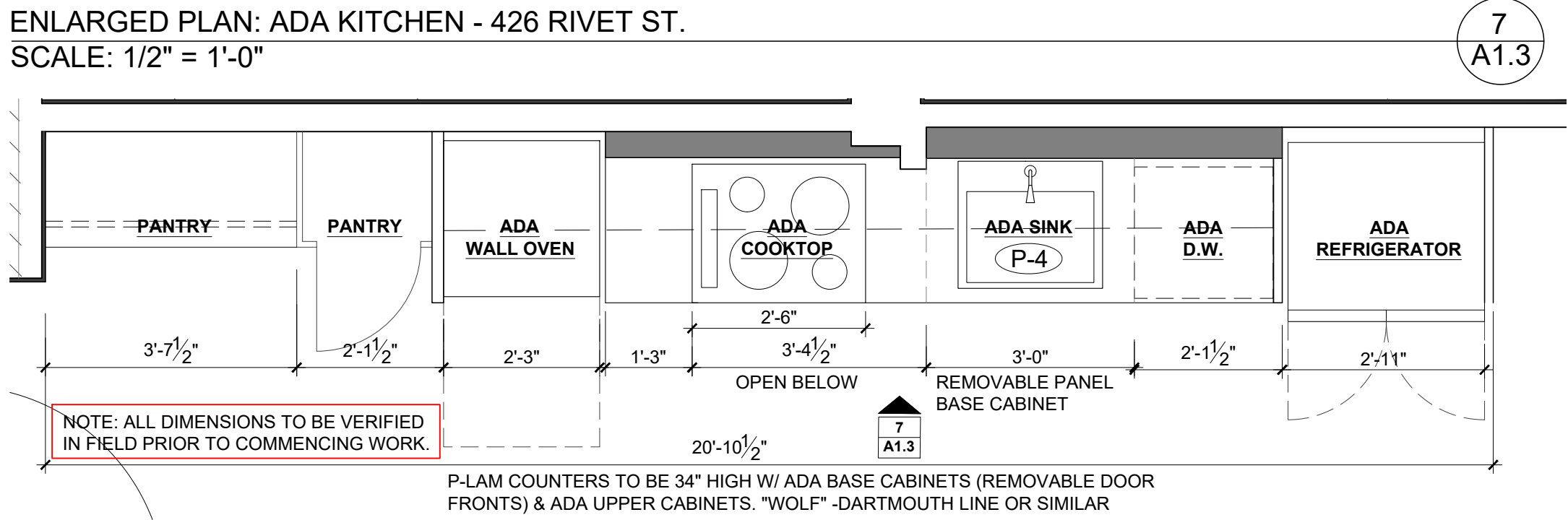
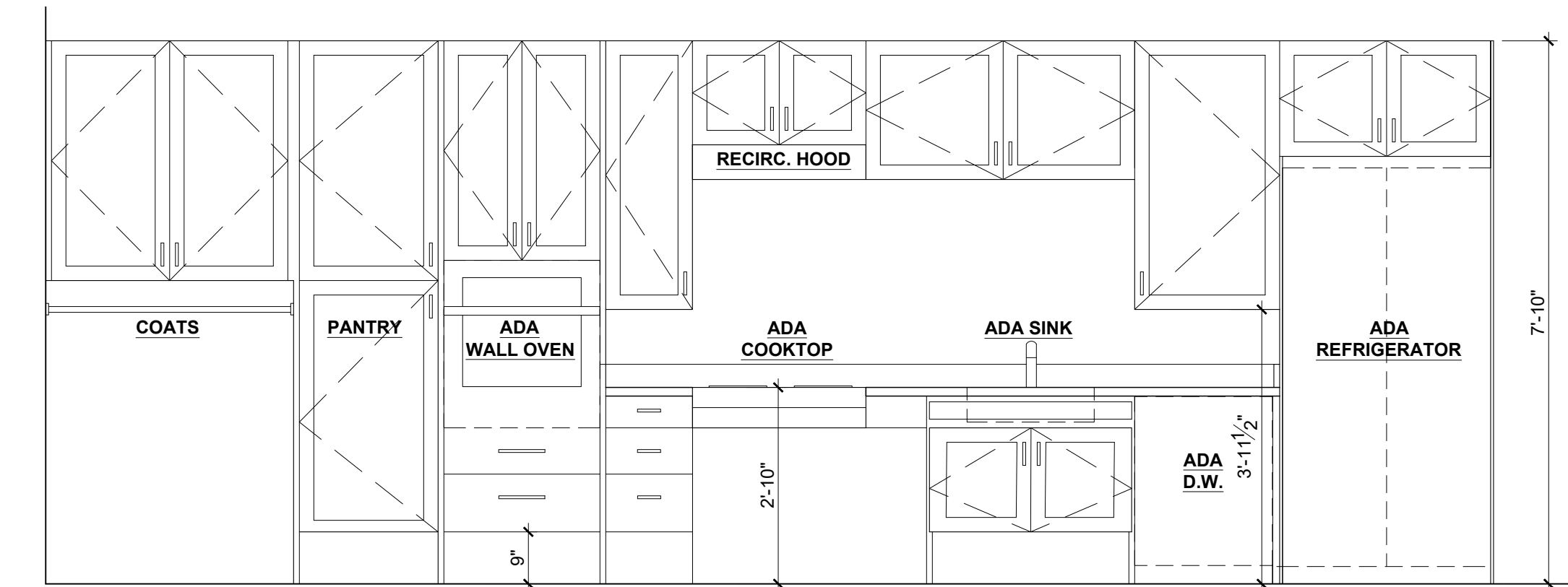
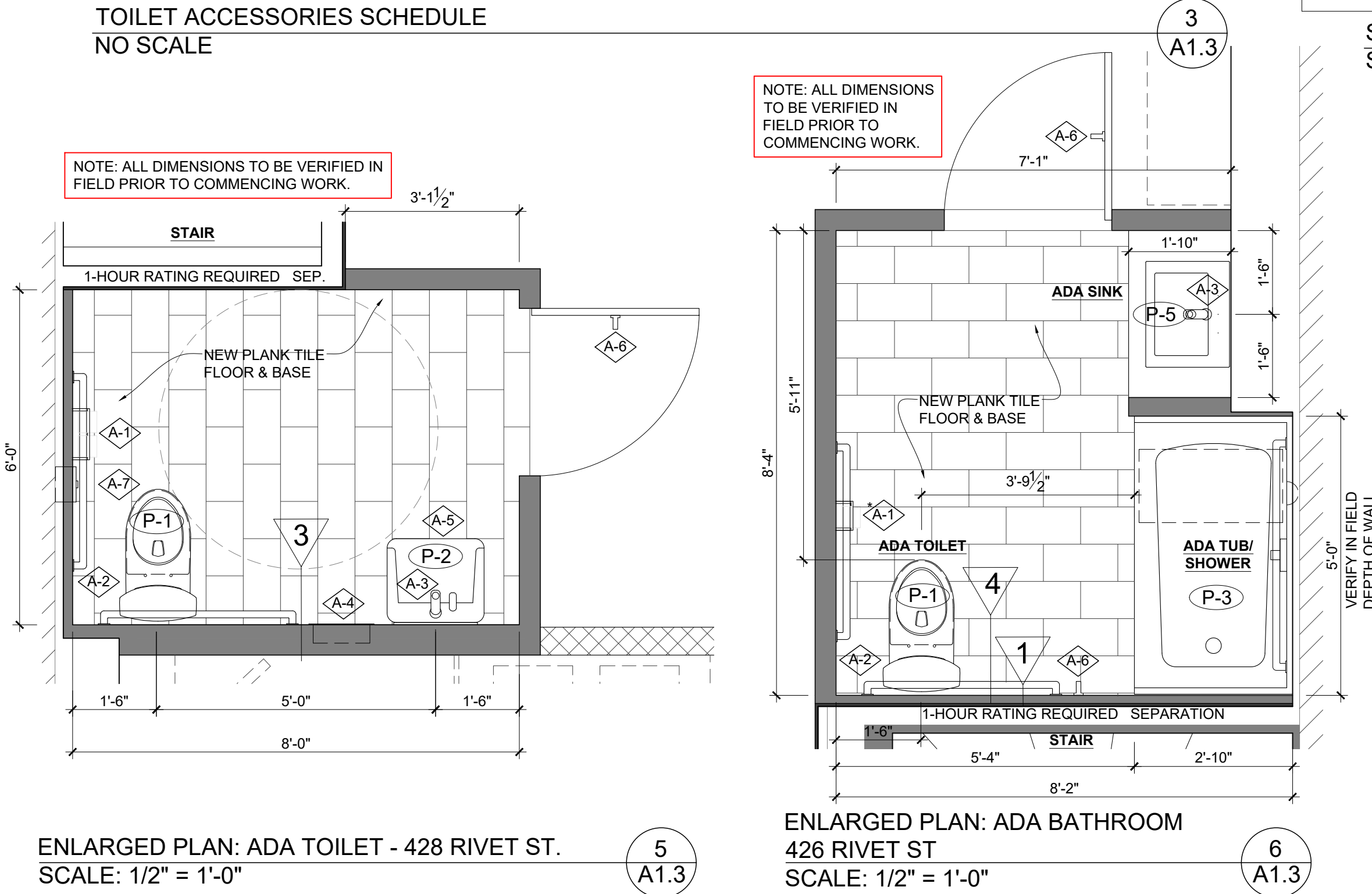
GENERAL MILLWORK NOTES:

- CABINETRY TO BE WOLF CABINETS, DARTMOUTH SERIES, OR EQUAL.
- ALL MILLWORK CABINETS TO BE CONSTRUCTED WITH 1/2" BIRCH-VENEER PLYWOOD SIDE AND BACK PANELS. WITH POLY FINISH ON INTERIOR SURFACES, WITH 3/4" SOLID WOOD OVERLAY STYLE & RAIL DOORS AND DRAWER FRONTS WITH FLAT PANELS OF MDF AND/OR PLYWOOD.
- ALL MILLWORK TO BE FACTORY FINISHED WITH AN OPAQUE LOWVOC FINISH AS APPROVED BY ARCHITECT. COLOR APPROVED BY ARCHITECT.
- ALL MILLWORK DOORS TO HAVE FLAT PANELS WITH SQUARE STICKING WITH DARTMOUTH PROFILE - APPROVED BY ARCHITECT.
- ALL MILLWORK COUNTERTOPS, UNLESS OTHERWISE NOTED, TO BE PLASTIC LAMINATE OVER 3/4" PLYWOOD SUBSTRATE, TYP. NOTE: USE P.T. PLYWOOD AT SINK INSTALLATION SURFACES.
- CONTRACTOR TO SUBMIT SHOP DRAWING FOR APPROVAL FOR ALL MANUFACTURED LUMBER PRODUCTS.
- ALL HARDWARE TO BE BRUSHED NICKEL FINISH, STYLE APPROVED BY ARCHITECT.

NOTE: OWNER TO SUPPLY APPLIANCES, CONTRACTOR TO INSTALL, TYP.

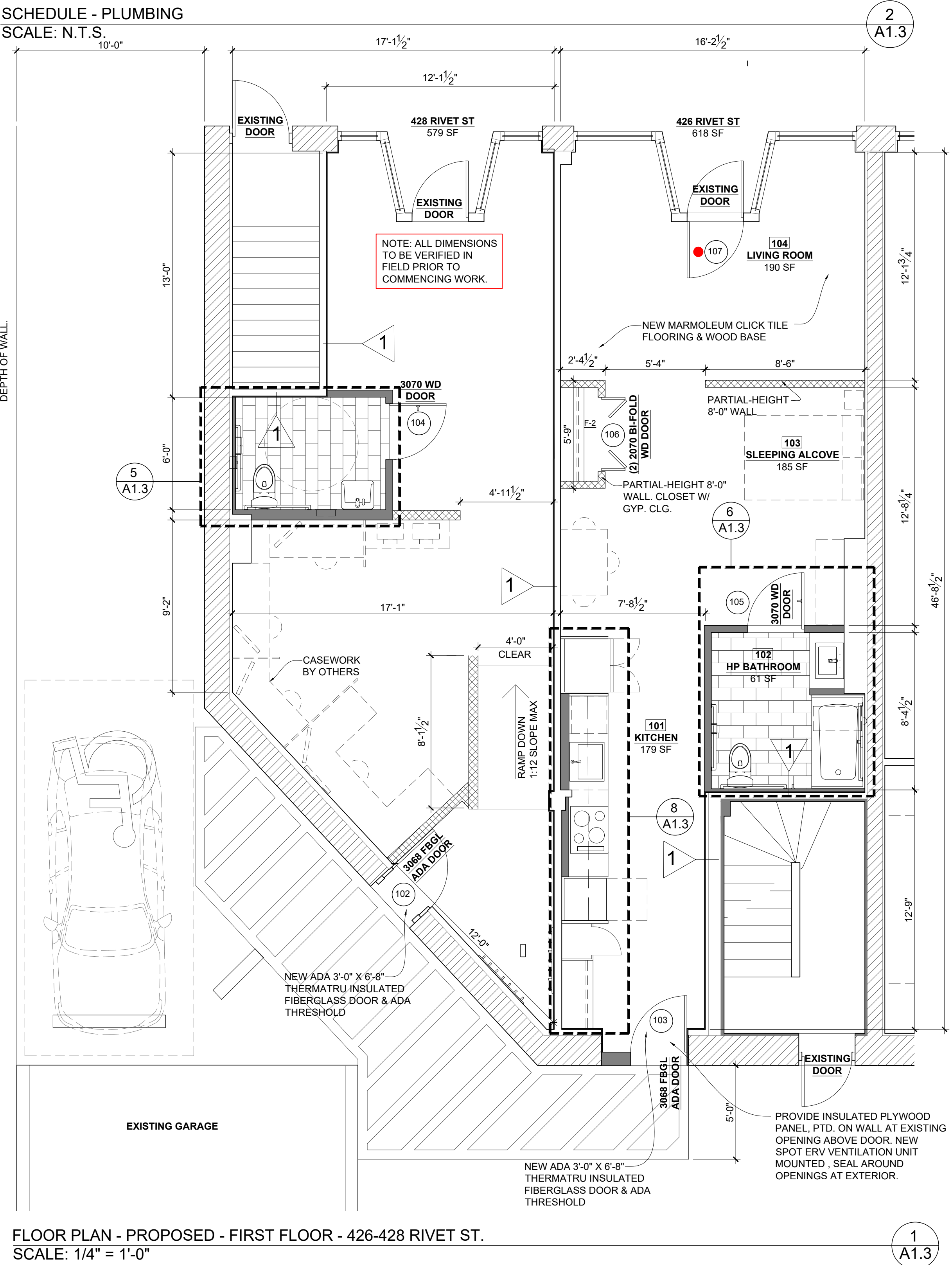
SYMBOL	DESCRIPTION	SPECIFICATION	FINISH	R.O. (ROUGH OPENING)	ADA & AAB NOTES
<b>A-1</b>	<b>SURFACE MTD. TOILET PAPER DISPENSER</b>	BOBRICK B-540 - SURFACE MOUNTED DOUBLE ROLL T.P. DISPENSER W/SHELF.	S.S.	SURFACE MTD.	ADA COMPLIANT IN REQUIRED RMS.
<b>A-2</b>	<b>SURFACE MTD. HP GRAB BARS</b>	BOBRICK B-5806x42 - 1 1/4" DIA. S.S. GRAB BARS	SATIN FINISH	SURFACE MTD.	36" TO TOP OF (2) GRAB BARS IN ADA REQUIRED RMS.
<b>A-3</b>	<b>SURFACE MTD. MIRROR</b>	BOBRICK B-165 2436 - MIRROR WITH S.S. CHANNEL FRAME	S.S.	SURFACE MTD.	MIRROR TO BE MTD. 40" MAX. A.F.F. TO BOTTOM EDGE.
<b>A-4</b>	<b>RECESSED PAPER TOWEL DISPENSER/ WASTE RECEPTACLE</b>	BOBRICK B-38034 - RECESSED PAPER TOWEL AND WASTE RECEPTACLE	SATIN FINISH	WIDTH: 11 1/2" DEPTH: 3 3/4" HEIGHT: 63 5/8"	DISPENSER TO BE MOUNTED 42" A.F.F. TO EDGE OF PAPER TOWEL DISPENSER.
<b>A-5</b>	<b>DRAIN APRON</b>	REMOVABLE PLANK PANEL, MATCH 2ND FLOOR BATHROOM PANEL.	CEDAR PLANK	SURFACE MTD.	SEE TYPE ELEVATION
<b>A-6</b>	<b>SURFACE MTD. COAT HOOK</b>	BOBRICK B-682 - COAT HOOK	SATIN FINISH	SURFACE MTD.	HOOK MOUNTED MAX. 54" A.F.F.
<b>A-7</b>	<b>RECESSED SANITARY NAPKIN DISPOSAL</b>	BOBRICK B-3513 - TRIMLINE SERIES RECESSED	SATIN FINISH	WIDTH: 6 3/8" DEPTH: 3 3/4" HEIGHT: 12 3/8"	DISPOSAL TO BE MOUNTED 30" MAX. A.F.F. TO OPENING.

TOILET ACCESSORIES SCHEDULE  
NO SCALE



SYMBOL	DESCRIPTION	UNIT TYPE & NO.	FINISH	COLOR	FITTING TYPE & NO.	LOCATION	NOTES
<b>P-1</b>	ADA TOILET (LEFT)	TOTO DRAKE II TWO PIECE TOILET - CST454CEF (R)(G) 1.28 GPF WITH CEFIONTECT GLAZE.	CERAMIC	#01 COTTON	TRIP LEVER	LOWER LEVEL	ADA COMPLIANT IN REQUIRED ROOMS. 12" ROUGH-IN COORDINATE WITH TRADESM
<b>P-2</b>	ADA BATHROOM SINK	TOTO COMERCIAL WALL HUNG LAVATORY - LT307A-01 TWO HOLE W/ LEFT SIDE SOAP HOLE	CERAMIC	#01 COTTON	FAUCET: GROHE 33170 002 - LAVATORY CENTERSET FAUCET. SOAP DISPENSER: BOBRICK COUNTER -MANUAL TOP FILL FOAM SOAP DISPENSER - B-823	ALL TOILET ROOMS	ADA COMPLIANT, WALL HUNG. COVER PIPING SEE ACCESSORIES.
<b>P-3</b>	ADA TUB/SHOWER	AKER OPTS-6032 TUB SHOWER - MASSACHUSETTS COMPLIANT MODEL.	ACRYLIC	WHITE	FACTORY-PROVIDED MIXING VALVE & HAND-HELD SHOWER. W/56" CHROME CURTAIN ROD & CHROME RECESSED SOAP DISH. W/(2) 48" GRAB BARS AND REMOVABLE SEAT.	426 RIVET ST. RESIDENTIAL BATHROOM	ADA COMPLIANT
<b>P-4</b>	ADA SINK W/ 36" ADA BASE CABINET	ADA BASE CABINET WITH REMOVABLE PANEL. ADJ. MILLWORK TO MATCH.	STAINLESS STEEL	BRUSHED	MOEN SINK 2000 SERIES: GS201974BQ, ADA COMPLIANT. 25"W X 22"D X 5 1/2" BOWL DEPTH GROHE EUROSART SINGLE LEVER SINK FAUCET : 30306000 SINGLE HOLE FAUCET	426 RIVET ST. RESIDENTIAL KITCHEN	CENTER ON CABINET AS INDICATED.
<b>P-5</b>	RESIDENTIAL DROP-IN ADA BATHROOM SINK	KOHLER ARCHER K-2356-1 IN P-LAM COUNTER OVER ADA BASE CABINET WITH REMOVABLE PANEL. ADJ. MILLWORK TO MATCH. P-LAM COUNTER	CERAMIC	WHITE	FAUCET: GROHE 33170 002 - LAVATORY CENTERSET FAUCET		

SCHEDULE - PLUMBING  
SCALE: N.T.S.



DATE: 06.30.2021  
REV: 08.10.2021

kathryn duff ra cphc

BID DOCUMENTS  
-  
NOT FOR CONSTRUCTION

PLAN KEY
EXISTING MASONRY WALL
EXISTING WOOD STUD WALL
EXISTING WOOD STUD WALL W/ TYPE 'X' GYP COVER
NEW PARTIAL-HEIGHT WOOD STUD WALL
NEW WOOD STUD WALL

SYMBOL KEY
0 WALL TYPE
P-1 PLUMBING NUMBER
101 ROOM NUMBER
A WINDOW TYPE
101 DOOR NUMBER

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PLANS & SPECS  
OFFICE & HP UNIT  
-  
PROPOSED

A 1.3

**GENERAL PLUMBING NOTES:**  
1. REFER TO DRAWINGS FOR LOCATIONS OF PLUMBING FIXTURES AND ACCESSORY LOCATIONS.  
2. REFER TO BUILDING SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.  
3. CONTRACTOR TO SUBMIT LAYOUT OF ALL PLUMBING PIPING, INCLUDING VENTS, SUPPLIES, AND DRAWINGS, TO ARCHITECT FOR APPROVAL PRIOR TO COMMENCING ANY PLUMBING WORK.  
4. CONTRACTOR TO SUBMIT FULL SET OF PLUMBING FIXTURES FOR APPROVAL PRIOR TO ORDERING.  
5. ALL PIPING CARRYING HEATED AND/OR COOLED WATER TO BE INSULATED.

**GENERAL HVAC NOTES:**  
1. REFER TO DRAWINGS FOR LOCATIONS OF HVAC EQUIPMENT.  
2. CONTRACTOR TO SUBMIT LAYOUT OF NECESSARY PIPING & DUCTING & SYSTEM COMPONENTS NECESSARY FOR A COMPLETE AND BALANCED SYSTEM TO ARCHITECT FOR APPROVAL PRIOR TO COMMENCING WORK.  
3. CONTRACTOR TO SUBMIT FULL SET OF HVAC EQUIPMENT SPECIFICATIONS FOR APPROVAL PRIOR TO ORDERING.  
4. ALL WIRING TO BE DETERMINED BY CONTRACTOR, APPROVED BY ARCHITECT, PRIOR TO COMMENCING WORK.  
5. CONTRACTOR TO PROVIDE ALL PERTINENT DOCUMENTS TO OWNER TO RECEIVE MASS-SAVES REBATES ON MINI-SPLIT SYSTEM.  
6. CONTRACTOR TO PROVIDE SMOKE/CO DETECTORS AS REQUIRED BY CODE.

SCHEDULE - HVAC  
SCALE: N.T.S.

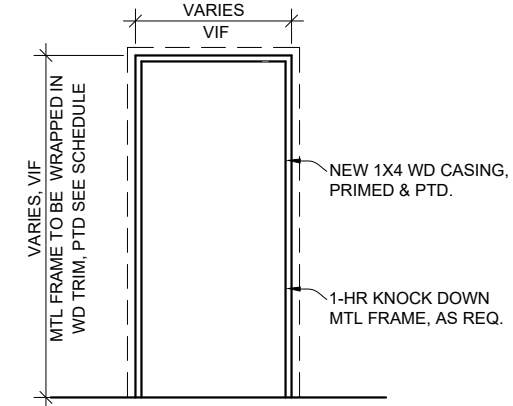
5  
A1.4

DOOR TYPE	QTY.	DOORS				FRAME				HARDWARE
		W	HT	THK	LOCATIONS	MAT	FIN	FIRE RATING	TYPE	
A - THERMA-TRU - SMOOTH STAR - CRAFTSMAN 1-LITE 2-PANEL FLUSH GLAZED FIBERGLASS DOOR <b>STYLE S4810</b>	2	3'-0"	6'-8"	1 3/4"	102 103	FGL	PREFINISHED	N/A	PRE-HUNG	PTD
B - SIMPSON - 2-PANEL 1-HOUR RATED MDO DOOR - <b>INFINITY 8212</b>	11	3'-0"	6'-8"	1 3/4"	801 802 101 201 202 203 204 301 302 303 304	MDO	SITE PTD	1-HOUR	A	HM
C - SIMPSON - 2-PANEL MDO DOOR - <b>OVATION 87102</b>	2	3'-0"	7'-0"	1 3/8"	104 105	MDO	SITE PTD	N/A	PRE-HUNG	WD
D - SIMPSON - SHAKER STYLE MDO DOOR - <b>BIFOLD DOORS 8043</b>	1	4'-0" (PAIR)	7'-0"	1 3/8"	106	MDO	SITE PTD	N/A	PRE-HUNG	WD
E - PCA PRODUCTS - INSWING ALUM. SCREEN DOOR - <b>WILLOUGHBY A-200</b>	1	3'-0" (V.I.F.)	6'-8" (V.I.F.)	1 3/8"	107	ALUM.	PREFIN. BRONZE	N/A	PREHUNG INTERIOR	ALUM. PREFIN. BRONZE

SCHEDULE - DOORS  
SCALE: N.T.S.

4  
A1.4







**DOOR NOTES:**  
1. CONTRACTOR TO VERIFY THROAT WIDTH AND DOOR HANDING OF ALL DOOR OPENINGS. SEE DOOR SCHEDULE.  
2. ALL NEW PRE-HUNG DOORS AND HOLLOW MTL FRAMED DOORS TO RECEIVE NEW 1X4 POPLAR WD CASING BOTH SIDES, PRIMED & PTD.  
3. CONTRACTOR TO COORDINATE ALL HANDLING OF DOORS. SEE PLANS, SUBMIT HARDWARE ORDER FOR APPROVAL.



TYPE - A  
(1-HR FIRE RATED)  
FRAME TYPES  
SCALE: 1/4" = 1'-0"

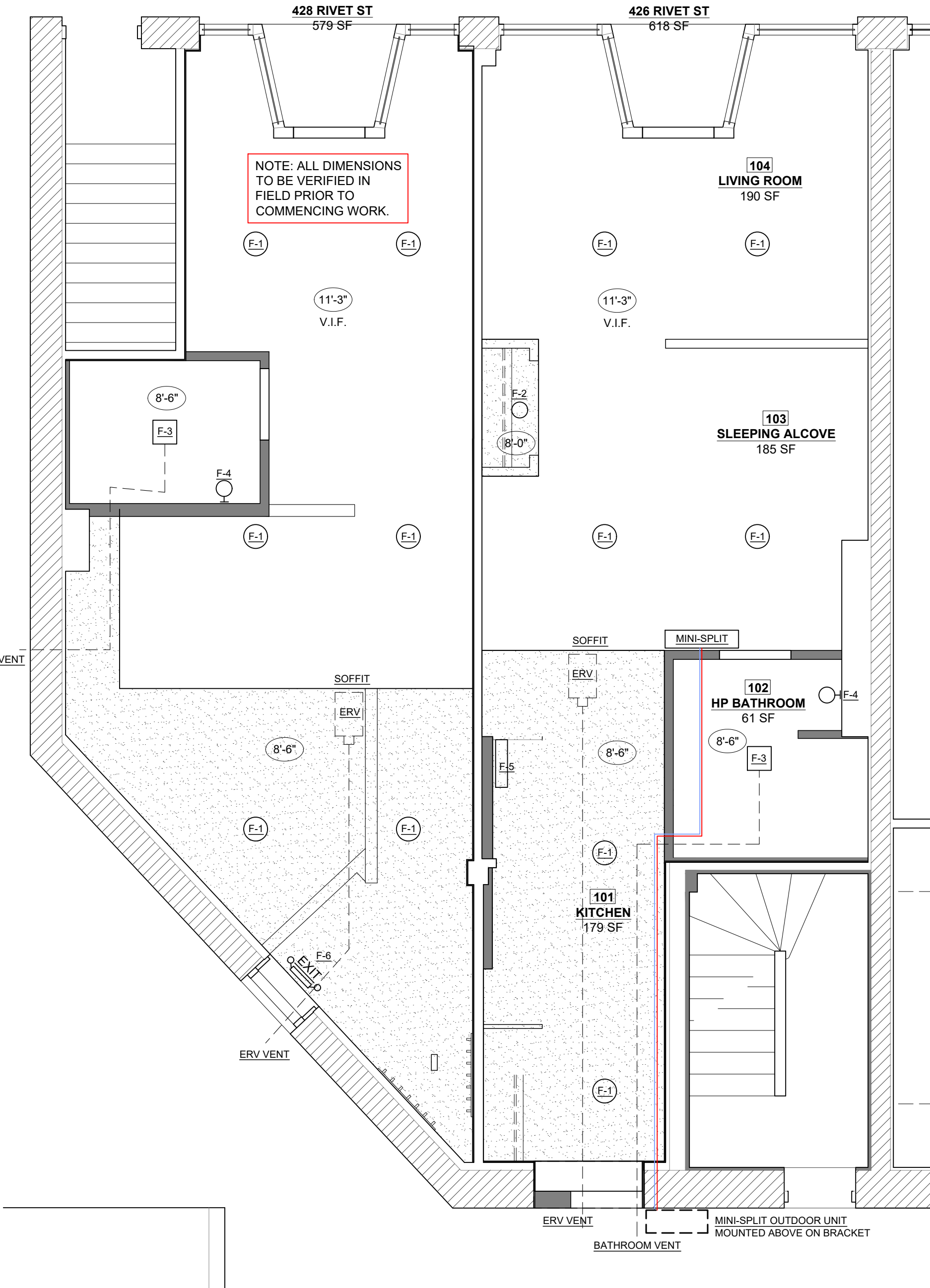
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A1.4

**GENERAL LIGHTING NOTES:**  
1. REFER TO DRAWINGS FOR LOCATIONS OF LIGHTING FIXTURES.  
2. REFER TO BUILDING SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS & SPECIFICATIONS.  
3. CONTRACTOR TO SUBMIT LAYOUT OF NECESSARY WIRING AND CONDUIT FOR ALL LIGHTING AND EQUIPMENT REQUIRING ELECTRICAL SERVICE TO ARCHITECT FOR APPROVAL PRIOR TO COMMENCING WORK.  
4. CONTRACTOR TO SUBMIT FULL SET OF LIGHTING FIXTURE SPECIFICATIONS FOR APPROVAL PRIOR TO ORDERING.  
5. ALL WIRING TO BE DETERMINED BY CONTRACTOR, APPROVED BY ARCHITECT, PRIOR TO COMMENCING WORK.

SYMBOL	DESCRIPTION	UNIT TYPE & NO.
	F-1 12" DIA. SURFACE MTD.	<u>LED</u>
	F-2 6" DIA. SURFACE MTD.	<u>LED</u>
	F-3 EXHAUST FANLIGHT	PANASONIC WHISPERGREEN W LED
	F-4 SCONCE LIGHT-VANITY	<u>LED</u>
	F-5 24" L UNDERCAB MTD.	<u>LED</u>
	F-6 EXIT SIGN & EMERGENCY LIGHT	ISOLITE RLC-LED, GREEN LETTERS

SCHEDULE - LIGHTING  
SCALE: N.T.S.

2  
A1.4



REFLECTED CEILING PLAN - PROPOSED - FIRST FLOOR - 426-428 RIVET ST.  
SCALE: 1/4" = 1'-0"

1  
A1.4

DATE: 06.30.2021  
● REV: 08.10.2021

kathryn duff ra cphc

BID DOCUMENTS  
-  
NOT FOR CONSTRUCTION

PLAN KEY	
EXISTING MASONRY WALL	
EXISTING WOOD STUD WALL	
EXISTING WOOD STUD WALL W/ TYPE 'X' GYP COVER	
NEW PARTIAL HEIGHT WOOD STUD WALL	
NEW WOOD STUD WALL	

SYMBOL KEY	
	WALL TYPE
	PLUMBING NUMBER
	ROOM NUMBER
	WINDOW TYPE
	DOOR NUMBER

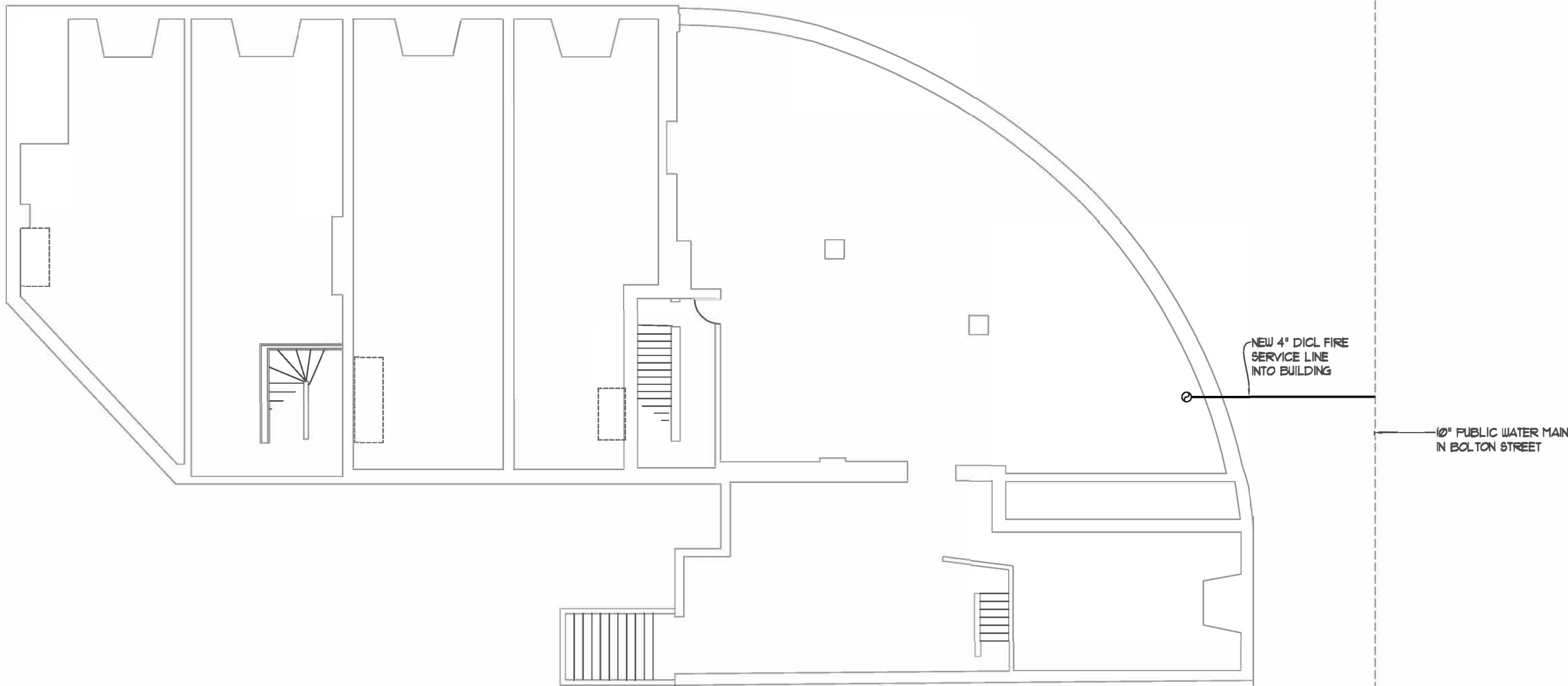
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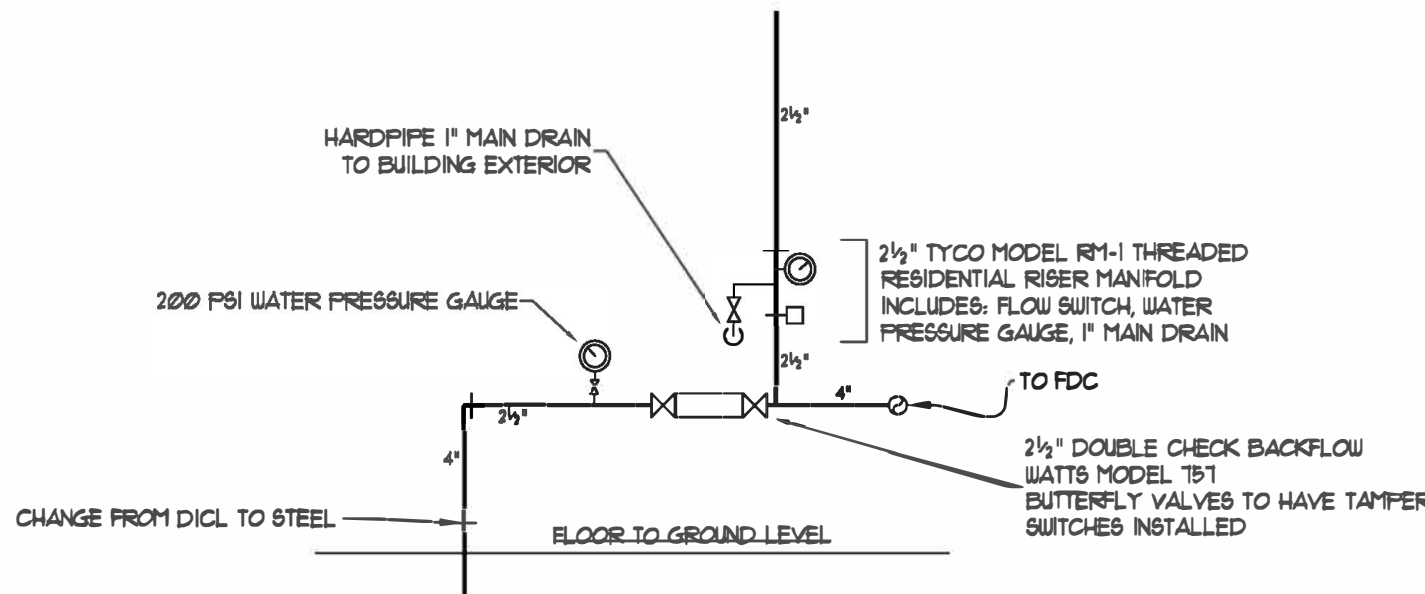
Kathryn duff, RA, founder & director, kathryn@studio2sustain.com  
412 county street, new bedford, massachusetts, 02740, 508.998.5145

REFLECTED CEILING  
OFFICE & HP UNIT  
-  
PROPOSED

A 1.4



SITE PLAN  
NOT TO SCALE



SECTION AT WATER ENTRANCE  
NOT TO SCALE

- NEW NOTIFIER SFP-10UD 10 ZONE CONVENTIONAL PANEL
- SYSTEM SENSOR I3 SERIES SMOKE DETECTOR 2W-B
- SYSTEM SENSOR F2GR L HORN STROBE
- SYSTEM SENSOR 6GR L STROBE
- SYSTEM SENSOR 6RK SPECTRALERT OUTDOOR STROBE
- NOTIFIER NKG-12 MANUAL FULL STATION
- 120V Smoke/CO Detector
- 120V Smoke Detector

#### GENERAL SPECIFICATIONS:

This project involves some minor renovations to an existing three story mixed used building to include changing the occupancy of five units within the building to R-2 residential. These occupancies will be separated from the remainder of the building by fire rated construction (see architectural drawings). As part of the renovations, a sprinkler system compliant with NFPA-13R will be installed in the 5 units undergoing an occupancy change along with the means of egress to the units. Additionally, modifications will be made to the existing fire alarm system in these units and means of egress to the units to meet current code requirements.

#### SPRINKLER SPECIFICATIONS:

- (1) The sprinkler installation shall meet all requirements of NFPA-13R (2013 edition), the Massachusetts Building Code (9th edition), and any locally adopted ordinances and laws of the New Bedford Fire and Building Departments. All equipment shall be UL Listed for fire suppression systems. Sprinklers shall be as listed on these plans or exact equals in K-factor and flow/pressure requirements.
- (2) The units where sprinkler protection will be installed are residential and will be protected with residential sprinklers. The stairwells that are the means of egress to the residential units are being protected with quick response sprinklers.
- (3) Coverage rules of NFPA-13R shall be met. Sprinklers are not required in bathrooms of 55 sqft or less, in closets of 24 sqft or less (less than 3' deep), within concealed combustible spaces, within covered porches, within garages not utilizing the exception contained within the Building Code, within inaccessible eave, and within attic spaces. However, in case the sprinkler system is expanded into other areas of the building to meet NFPA 13 requirements, all closets and bathrooms in the residential units were designed to contain sprinkler protection.
- (4) Pipe: The underground piping shall be cement lined ductile iron and shall transition to schedule 40 black steel pipe just above the floor in the basement. All exposed pipe shall be schedule 40 black steel with cast threaded fittings.
- (5) Hangers: Steel pipe shall be supported with cadmium plated adjustable sprinkler band hangers spaced at a maximum centerline distance of 12'-0". A hanger shall be provided within 6" of all sprinklers.
- (7) This design has contemplated keeping all water filled sprinkler system piping well within the heated/insulated envelope of the building. The building owner is responsible for providing sufficient heat to ensure that the temperature of the building remains at or above 40°F.
- (8) The sprinkler system riser shall be as detailed and shall include a flow switch, supervision of the control valves, and main drain with test connection by-pass. Additionally a test connection shall be installed on the system with a 1/2" orifice size to mimic sprinkler operation.
- (9) All sprinkler piping shall be hydrostatically tested at 200 psi for a minimum period of 2 hours. The Sprinkler Contractor shall complete a standard Contractor's Material and Test Certificate for each building.
- (10) The sprinkler system alarms shall be connected into the fire alarm panel. The fire alarm panel must be monitored by a UL Listed Central Station. The connections to the panel shall be provided by the fire alarm contractor. This panel shall monitor system flow and position of the control valves.

#### FIRE ALARM SPECIFICATIONS:

- (1) The installation shall meet all requirements of MGL Chapter 148, 521 CMR, Massachusetts Fire Regulations, the Massachusetts Building Code (9th edition), NFPA 72 (2013 edition), and any locally adopted ordinances and laws of the New Bedford Fire and Building Departments. All equipment shall be UL Listed for fire alarm systems.
- (2) The property has an existing Notifier SFP-1024 Fire Alarm Control Panel located as shown on the plan. This panel shall be replaced with a Notifier SFP-10UD panel. There are some existing smoke detectors and horns/strobe units in the stairwells that can be stay in place if functional. All other devices shall be installed as shown on the plans.
- (3) A Knox box and an exterior strobe will be installed on the exterior of the building by the entrance where the fire alarm panel is located to indicate the activation of the fire alarm system.
- (4) The fire alarm wiring for both initiating device, signaling line, and notification line circuits can be Class B. All wiring shall be run above ceilings, in walls, or protected from damage in conduits.
- (5) All smoke detectors shall be photoelectric.
- (6) The building shall be provided with 120V combination carbon monoxide/smoke detectors outside of the sleeping areas in each dwelling unit and a 120V smoke detector in each bedroom. The combination smoke/carbon monoxide appliances shall sound an alarm that clearly distinguishes between carbon monoxide and smoke notification. In addition, the 120V appliances in each unit shall all sound when one of the detectors in the unit is in alarm. These devices shall be powered from the electrical panel for the unit where the devices are located.
- (7) The manual pull stations shall be installed in the locations shown on the plan. The manual pull stations shall be positioned between 42 and 48 inches above the floor level and be protected by covers.
- (8) Horns and horns/strobes shall also be installed in the locations shown on the plan. Wall mounted strobes shall be installed between 80 and 96 inches from the floor and shall be a minimum of the cd shown on the plan.
- (9) The fire alarm contractor may install another manufacturer's devices as long as they are comparable with the same specifications as those specified and meet the objectives detailed on this plan. The contractor is responsible for calculating the load on the system.
- (10) Final system turnover testing shall include completion of a FIRE ALARM SYSTEM RECORD OF COMPLETION report similar to that found in NFPA-72, 2013 edition, Figures 7.8.2. The licensed installer and testing certifier shall sign and date this form. This testing shall include all fire alarm devices including the 120V units.

- 27 O TYCO SERIES TY-FRB SPRINKLER, 5.6 K-FACTOR, QUICK RESPONSE  
PENDENT, 1/2" N.P.T. BRONZE, 155°F. RATED, SIN TY323
- 80 ● TYCO SERIES LFII RESIDENTIAL SPRINKLER, 4.9 K-FACTOR,  
PENDENT, 1/2" N.P.T. BRONZE, 155°F. RATED, SIN TY2236
- 1 ◁ TYCO SERIES LFII RESIDENTIAL SPRINKLER, 4.4 K-FACTOR,  
HORIZONTAL SIDEWALL, 1/2" N.P.T. WHITE, 155°F. RATED, SIN TY2334



## Fire Protection Services

PROFESSIONAL FIRE PROTECTION ENGINEERS  
• FIRE PROTECTION ENGINEERING •  
• HYDRAULICS SPECIALISTS •  
• CODE CONSULTANTS •  
81 LAUREL STREET  
FAIRHAVEN, MA 02718  
TEL: (508) 738-8514  
ALJWOOD@CFCPCAST.NET

## BID DOCUMENTS

NOT FOR CONSTRUCTION

#### LEGEND

- Pendent Sprinkler  
⊙ Pendent Sprinkler-1" Drop  
○ Upright Sprinkler  
⊙ Upright Sprinkler-1" Sprig  
△ Sidewall Sprinkler  
○ Pipe Rise  
○ Pipe Drop  
+ Pipe Centerline Abv. FF.  
\* Pipe Centerline Below T.O.S.  
— Proposed Pipe  
--- Existing Pipe  
☐ System Smoke Detector  
☐ 120V Smoke/CO Detector  
☐ 120V Smoke Detector  
☐ Manual Pull Station  
☐ Horn/Strobe  
☐ Strobe  
☐ Fire Alarm Control Panel  
☐ Exterior Strobe  
☐ Low Frequency Horn/Strobe

#### FLOW TEST DATA:

STATIC: 81 PSI

RESIDUAL: 78 PSI

FLOW: 1,122 GPM

DATE OF TEST: 12/15/2020

GAUGE ELEVATION: STREET LEVEL

LOCATION: FLOW HYDRANT ON  
BOLTON ST. NEAR LARCH ST.  
GAUGE HYDRANT ON RIVET ST  
ACROSS FROM #403

SCALE: 1/8" = 1'-0"

DATE: JUNE 30, 2021

CAD JOB NO.: RIVETSTDWG

DRAWN BY: A. J. WOOD

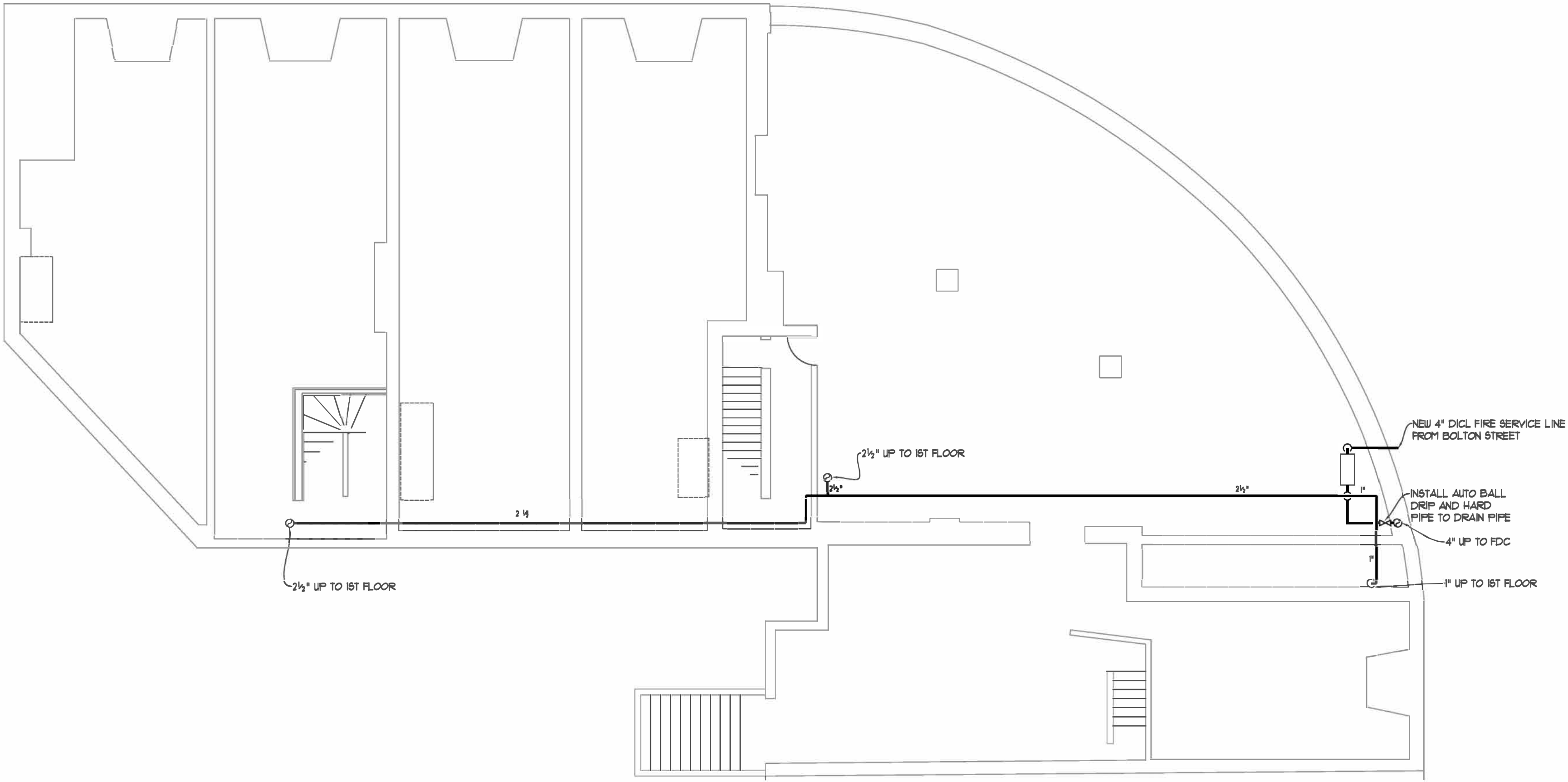
D-8DWG TEMPLATE

DRAWING TITLE:

SPRINKLER SYSTEM &  
FIRE ALARM SYSTEM  
PLANS, DETAILS  
& NOTES

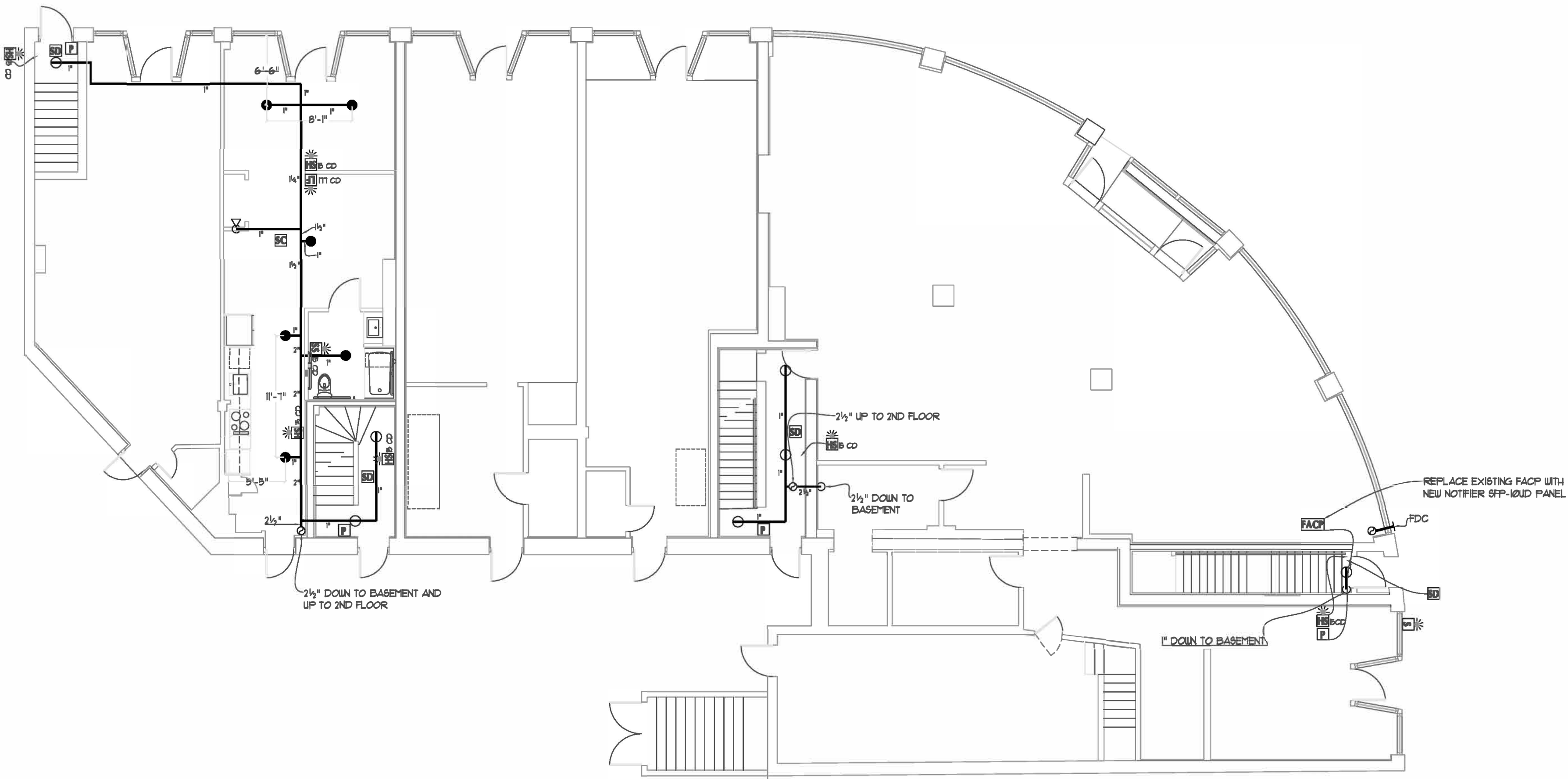
DRAWING NO.:

FP-1



BASEMENT FIRE PROTECTION PLAN

SCALE: 1/8" = 1'-0"



FIRST FLOOR FIRE PROTECTION PLAN

SCALE: 1/8" = 1'-0"

Fire Protection Services

PROFESSIONAL FIRE PROTECTION ENGINEERS  
• FIRE PROTECTION ENGINEERING •  
• HYDRAULICS SPECIALISTS •  
• CODE CONSULTANTS •  
88 LAUREL STREET  
FAIRHAVEN, MA 02718  
TEL: (508) 738-8514  
ALWOOD@MCOFFCAST.NET

BID DOCUMENTS

NOT FOR CONSTRUCTION

LEGEND

- Pendent Sprinkler
- Pendent Sprinkler-1" Drop
- Upright Sprinkler
- Upright Sprinkler-1" Sprig
- Sidewall Sprinkler
- Pipe Rise
- Pipe Drop
- Pipe Centerline Abv. FF.
- Pipe Centerline Below T.O.S.
- Proposed Pipe
- Existing Pipe
- System Smoke Detector
- 120V Smoke/CO Detector
- 120V Smoke Detector
- Manual Pull Station
- Horn/Strobe
- Strobe
- Fire Alarm Control Panel
- Exterior Strobe
- Low Frequency Horn/Strobe

FLOW TEST DATA:

STATIC: 81 PSI

RESIDUAL: 78 PSI

FLOW: 1,122 GPM

DATE OF TEST: 12/15/2020

GAUGE ELEVATION: STREET LEVEL

LOCATION: FLOW HYDRANT ON  
BOLTON ST. NEAR LARCH ST.  
GAUGE HYDRANT ON RIVET ST  
ACROSS FROM #403

SCALE: 1/8" = 1'-0"

DATE: JUNE 30, 2021

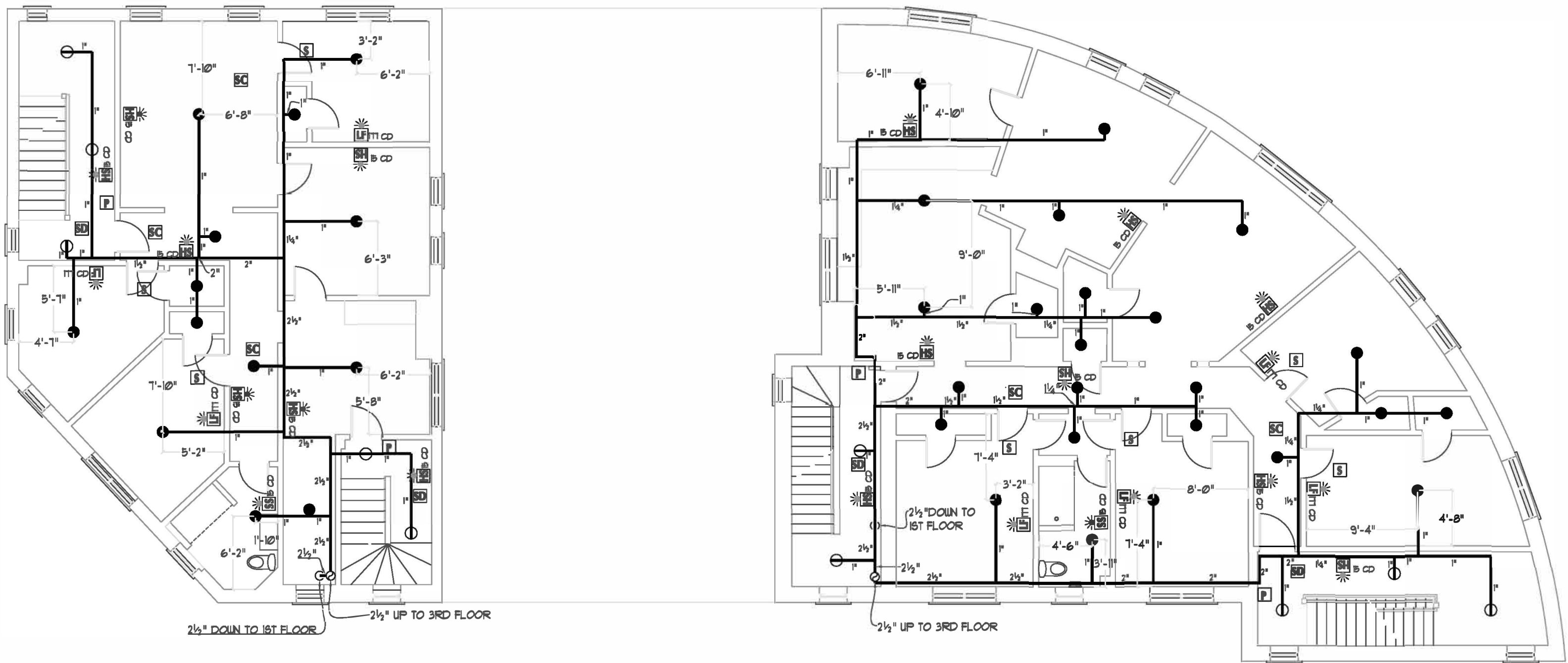
CAD JOB NO.: RIVETSTDWG

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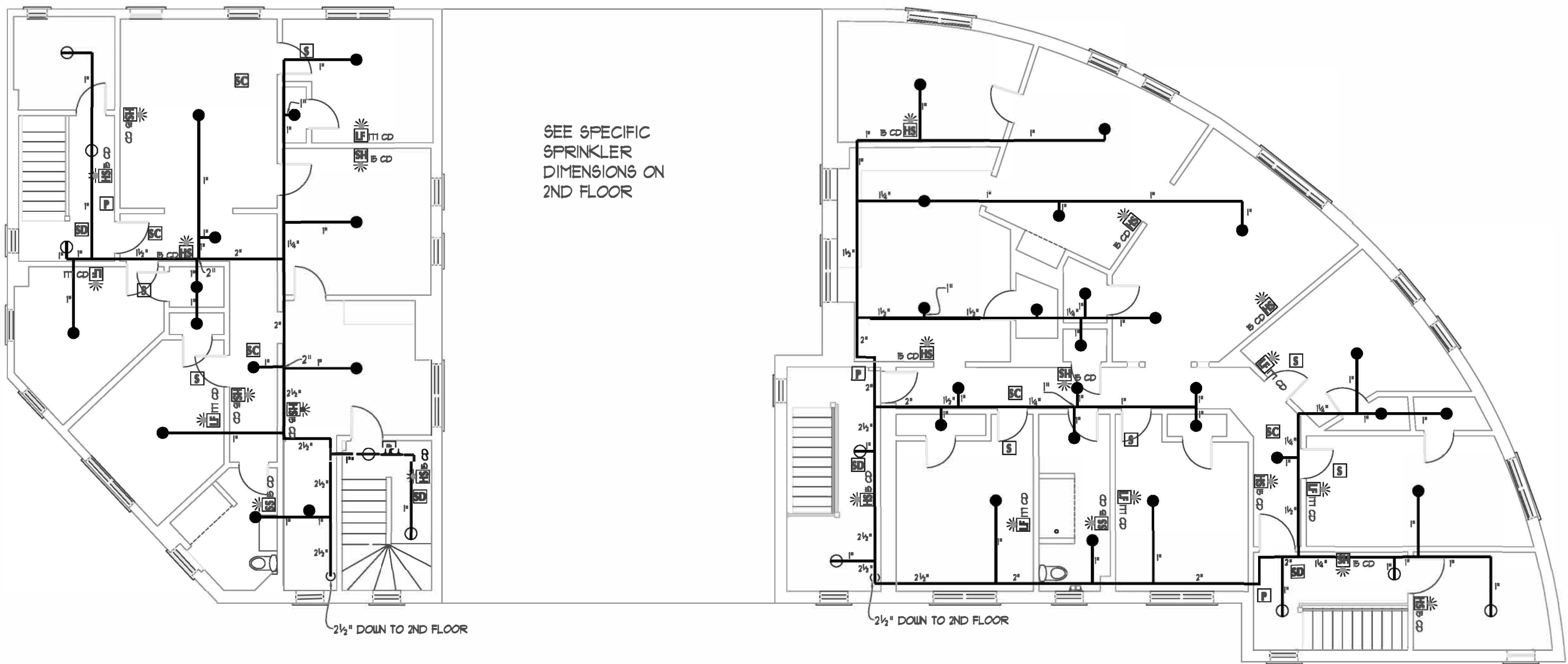
D-8.DWG TEMPLATE

DRAWING TITLE:  
SPRINKLER SYSTEM &  
FIRE ALARM SYSTEM  
PLANS, DETAILS  
& NOTES

DRAWING NO.:  
FP-2



SECOND FLOOR FIRE PROTECTION PLAN  
SCALE: 1/8" = 1'-0"



THIRD FLOOR FIRE PROTECTION PLAN  
SCALE: 1/8" = 1'-0"

SEE SPECIFIC  
SPRINKLER  
DIMENSIONS ON  
2ND FLOOR



## Fire Protection Services

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• HYDRAULICS SPECIALISTS •  
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88 LAUREL STREET  
FAIRHAVEN, MA 02718  
TEL: (508) 738-8514  
ALWOOD@MCCOMCAST.NET

### BID DOCUMENTS

NOT FOR CONSTRUCTION

#### LEGEND

- Pendent Sprinkler
- Pendent Sprinkler-1" Drop
- Upright Sprinkler
- Upright Sprinkler-1" Sprig
- Sidewall Sprinkler
- Pipe Rise
- Pipe Drop
- Pipe Centerline Abv. FF.
- Pipe Centerline Below T.O.S.
- Proposed Pipe
- Existing Pipe
- System Smoke Detector
- 120V Smoke/CO Detector
- 120V Smoke Detector
- Manual Pull Station
- Horn/Strobe
- Strobe
- Fire Alarm Control Panel
- Exterior Strobe
- Low Frequency Horn/Strobe

#### FLOW TEST DATA:

STATIC: 81 PSI

RESIDUAL: 78 PSI

FLOW: 1,722 GPM

DATE OF TEST: 12/15/2020

GAUGE ELEVATION: STREET LEVEL

LOCATION: FLOW HYDRANT ON  
BOLTON ST. NEAR LARCH ST.  
GAUGE HYDRANT ON RIVET ST  
ACROSS FROM #403

SCALE: 1/8" = 1'-0"

DATE: JUNE 30, 2021

CAD JOB NO: RIVETSTDWG

DRAWN BY: A. J. WOOD

D-BDWG TEMPLATE

DRAWING TITLE:

SPRINKLER SYSTEM &  
FIRE ALARM SYSTEM  
PLANS, DETAILS  
& NOTES

DRAWING NO:

FP-3