

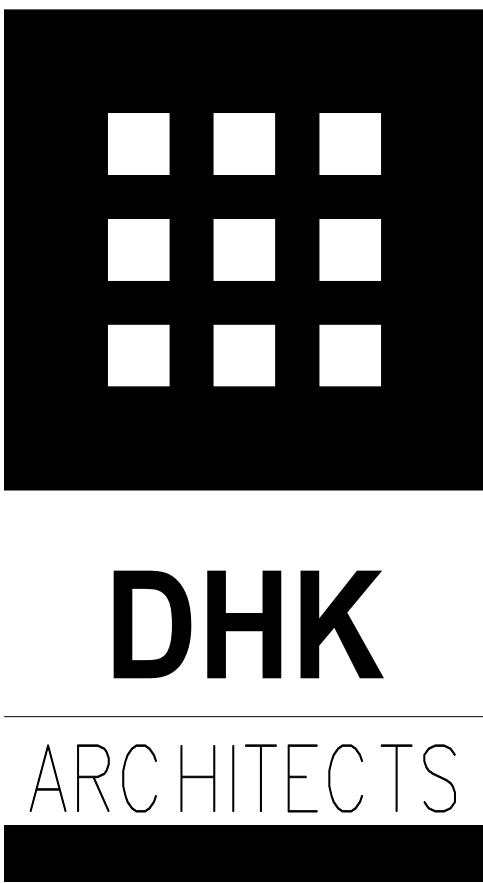
Project:

"10 @ 8TH STREET" APARTMENTS

278 UNION STREET, NEW BEDFORD, MA

PERMIT SET (PROGRESS)
COVER SHEET
25 OCTOBER 2021

Prepared for:
ALINEA CAPITAL PARTNERS, LLC
278 Union Street, New Bedford, MA



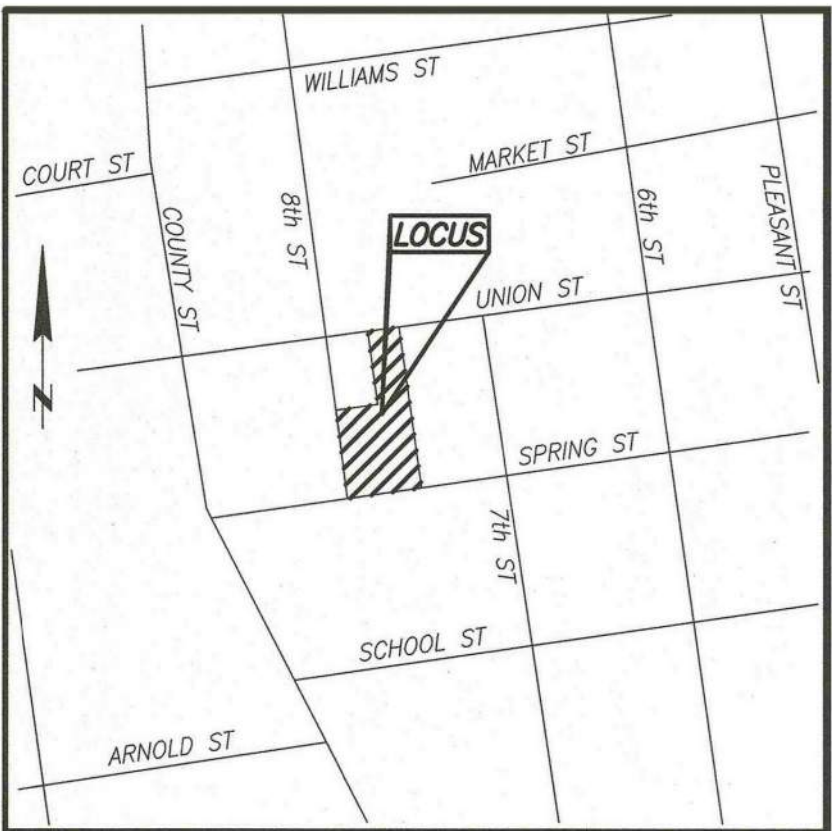
DHK Architects
54 Canal Street, Boston, MA 02114
t: 617 267 6408

Thornton Tomasetti - Structural Engineering
27 Wormwood Street #200, Boston, MA 02210
t: 617 250 4100

10 @ 8TH STREET APARTMENTS
278 UNION STREET, NEW BEDFORD
Book 7800 Page 226

Program:
Dwelling Units 53 Units
Commercial Space 4,000 sf

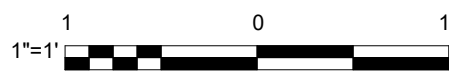
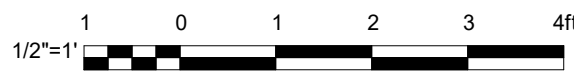
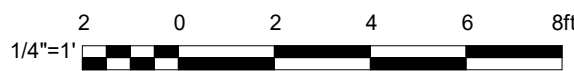
ZONING TABLE:			
REQUIREMENT	EXISTING	REQUIRED (MUB)	PROPOSED
Minimum Lot Size	16,071 sf	15,000 sf	16,071 sf
Density of Dwelling Units per Lot	0	1 per 1,000 sf	3.3 per 1,000 sf
Lot Frontage (total 3 streets):	266'	150'	266'
Union Street	50'		50'
Eighth Street	108'		108'
Spring Street	108'		108'
Height of Buildings			
Union Street (ft)	TBD	100' max	65'
Stories	1	7 max.	5
Front Yard (ft.)	0'	0'	0'
Side Yard (ft.)	0'	10'	0'
Rear Yard (ft.)	108'	20'	0'
Lot Coverage by Buildings (%)	27%	0%	100%
Green Space	5%	0%	0%



PARKING AND LOADING TABLE:								
USE	PARKING				LOADING			
	REQUIRED	PROPOSED	RELIEF	PARKING REQUIREMENTS	REQUIRED	PROPOSED	RELIEF	LOADING REQUIREMENTS
Multi-family	106 sp	19 sp	87 sp	2 spaces per dwelling unit	1 sp	0 sp	1 sp	One (1) loading space for each multifamily dwelling containing more than ten (10) dwelling units, or more than twenty (20) housekeeping units
Business	20 sp	0 sp	20 sp	One (1) space per each 200 sq. ft. of gross floor area, but not less than two (2) spaces for each business use intended to occupy the premises.	0 sp	0 sp	0 sp	One loading space for each building containing more than 5,000 and less than 10,000 sq. ft. of gross floor area. Thereafter, one (1) additional loading space shall be required for each additional 25,000 sq. ft. of gross floor area
Subtotal	126 sp	19 sp	107 sp		1 sp	0 sp	1 sp	

Wozny/Barbar & Associates, Inc. - MEP/FP
1076 Washington Street, Hanover, MA 02339
t: 781-826-4144
f: 781-924-5792

Gale Associates - Civil
163 Libbey Parkway, Weymouth, MA 02189
t: 781-335-6465



If this sheet is less than 22"x34" in size, it has been reduced. Graphic scales must be adjusted accordingly.

ABBREVIATIONS

&	And	FHMS	Flathead Machine Screw
<	Angle	FHWS	Flathead Wood Screw
@	At	FIN	Finish (ed)
153	Centerline	FL	Floor
I	Channel	FLASH	Flashing
⊥	Diameter or Round Perpendicular	FLOR	Flour
J	Joint	FLX	Flexible
#	Number or Pound	FLMP	Fiberglass Mat Drywall Panel
w/	With	FN	Fence
A-3	Anchor Bolt	FND	Foundation
ABV	Above	FOC	Face of Concrete
ACT	Acoustical Tile	FOM	Face of Masonry
AD	Area Drain	FOS	Face of Stud
ADH	Adhesive	FP	Fireproof (ing)
ADJ	Adjacent, Adjustable	FR	Fireproof
APF	Above Finished Floor	FR	Frame
AGG	Aggregate	FRT	Fire Retardant
ANC	Anchor	FS	Full Size
ANOD	Anodized	FT	Fuel
APPRO	Architect, Architectural	FTG	Footing
ARCH	Architect, Architectural	FUR	Furring
ASPH	Asphalt	FUT	Future
AUTO	Automatic	GA	Gauge
BD	Board	GALV	Galvanized
BEL	Below	GB	Grab Bar
BET	Between	GC	General Contractor
BIT	Bituminous	GI	Galvanized Iron
BLDG	Building	GL	Glass, Glazing
BLK	Block	GRD	Ground
BLKG	Blocking	GRDW	Gypsum Drywall
BH	Bench Mark	GR	Grade
BOT	Bottom	GRN	Granite
BRP	Bearing Plate	GT	Groat
BRK	Brick	GWB	Gypsum Wall Board
BRKT	Bracket	GYP	Gypsum
BS	Both Sides	HB	Hose Bibb
BSMT	Basement	HC	Hollow Core
BL	Built Up	HDR	Header
BVL	Beveled	HDF	Hardwood
CAB	Cabinet	HDH	High Density Hardboard
CAT	Category	HDW	Hardware
CB	Catch Basin	HDWD	Hardwood
CEM	Cement	HGT	Height
CER	Ceramic	HM	Hollow Metal
CTL	Counterflashing	HNDRL	Handrail
CG	Coating Height	HOR	Horizontal
CHT	Cast Iron	HP	High Point
CI	Cast in Place	HRS	Hour
CJT	Control Joint	HTG	Heating
CK	Chalk (ing)	HWH	Hot Water Heater
CLG	Cladding	HVAC	Heating, Ventilating, AirConditioning
CLO	Closet	ID	Inside Diameter
CLR	Clear	IN	Inch
CLS	Concrete Masonry Unit	INCN	Incinerator
CMU	Column	INSUL	Insulation
COMP	Compressed (ion)(ble)	INT	Interior
CONC	Sealed Concrete	INV	Invert
CONST	Construction	IS	Insulated Steel
CONTR	Contractor	JAN	Janitor
CONT	Continuous	JF	Joint Filler
CORR	Corrosion	JST	Joint
CPT	Carpet (ed)	JT	Joint
CTR	Center	KIT	Kitchen
CTSK	Countersink	KO	Knockout
CVB	Cove Vinyl Base	KPL	Kickplate
CYD	Cubic Yard	L	Length
D	Drain	LAD	Ladder
DBL	Double	LAM	Laminate
DEM	Demolition	LBL	Label
DEP	Depressed	LH	Left Hand
DEPT	Department	LKR	Locker
DF	Drinking Fountain	LL	Live Load
DH	Double Hung	LL	Low Point, Louisiana-Pacific
DIAG	Diagonal	LP	Light
DIA	Diameter	LTL	Lintel
DM	Dimension	LVR	Louver
DISP	Dispenser	M	Master
DIV	Division	MAS	Masonry
DMP	Demountable	MATL	Material
DN	Down	MAX	Maximum
DP	Dampproofing	MBR	Member
DR	Door	MDO	Medium-Density Overlay
DS	Downspout	MECH	Mechanical
DTA	Dovetail Anchor	MED	Medium
DTL	Detail	MEMB	Membrane
DW	Drawing	MTL	Metal
DWGS	Drawings	MFG	Manufacturer
DWR	Drawer	MH	Manhole
E	Each	MIN	Minimum
EB	Expansion Bolt	MIR	Mirror
EJ	Each Face	MISC	Miscellaneous
EL	Elevation	MLD	Molding
ELEV	Electrical	MO	Masonry Opening
EMER	Emergency	MOD	Modular
ENCL	Enclosure	MR	Moisture Resistant
EP	Electrical Panel Board	MRB	Marble
EQ	Equal	MT	Mount (ed)
EQPT	Equipment	MULL	Mullion
ESC	Escalator	MWK	Millwork
EST	Estimate	N	North
EW	Each Way	NAT	Natural
EWC	Electric Water Cooler	NIC	Not in Contract
EXCA	Excavate	NO	Number
EXH	Exhaust	NOM	Nominal
EXP	Exposed	NR	Noise Reduction
EXST	Existing	NTS	Not to Scale
EAT	Exterior	OA	Overall
FA	Fire Alarm	OC	On Center
FAS	Fasten (er)	OD	Outside Diameter
FB	Face Brick	OF	Office
FBD	Fiberboard	OH	Overhead
FD	Fire Door	OHMS	Overhead Machine Screw
FE	Fire Extinguisher	OHWS	Overhead Wood Screw
FEC	Fire Extinguisher Cabinet	OPP	Opposite
FFE	Finished Floor Elevation	OPG	Opening
FL	Fiberglass	OPP	Opposite
FHL	Fire Head	OZ	Ounce
FHC	Fire Hose Cabinet	PVG	Paving
		PCC	Precast Concrete
		PCF	Pounds per Cubic Foot
		PE	Potential Enamel
		PED	Pedestal
		PERF	Perforated
		PF	Planar Flooring
		PFB	Prefabricated
		PFN	Prefinished
		PL	Plate
		PLF	Pounds per Linear Foot
		PLAM	Plastic Laminate
		PLAS	Plaster
		PLB	Plumbing
		PML	Panel
		PNT	Painted
		POL	Polished
		PR	Bar
		PRF	Preformed
		PSC	Prestressed Concrete
		PSF	Pounds per Square Foot
		PSI	Pounds per Square Inch
		PT	Porcelain Tile
		PTC	Post-tensioned Concrete
		PTD	Paper Towel Dispenser
		PTN	Partition
		PVC	Polyvinyl Chloride
		PVMT	Pavement
		PWD	Radius
		R	Riser
		RAD	Return Air
		RB	Rubber Base
		REF	Reinforced Concrete Pipe
		RD	Roof Drain
		REF	Refrigerator
		REIN	Reinforced
		REIN	Reinforced
		RECQ	Required
		RES	Resilient
		RET	Return
		RF	Rubber Flooring
		RFQ	Roofing
		REL	Refrigerator
		RH	Right Hand
		REG	Room
		RM	Rough Opening
		ROW	Right of Way
		RS	Resilient Sheet Flooring
		RSV	Reversible
		RVT	Rivet
		S	South
		SAFIBS	Sound Attenuating Fiberglass Batt Insulation Sanitary
		SC	Solid Core
		SCHED	Schedule
		SD	Soap Dispenser
		SEC	Section
		SFG	Safety Glass
		SH	Sprinkler Head
		SHR	Shower
		SH	Sheet
		SHTH	Sheathing
		SL	Slab
		SL	Slender
		SP	Soundproof
		SPEC	Specification
		SPK	Speaker
		SPL	Special
		SQ	Square
		SSK	Service Sink
		STA	Station
		STD	Standard
		ST	Steel
		ST	Stainless Steel
		STOR	Storage
		STR	Structural
		SUSP	Suspended
		SVB	Straight Vinyl Base
		SYS	Systems
		T	Tread
		TB	Towel Bar
		TC	Terra Cotta
		TD	Towel Dispenser
		TEL	Telephone
		TAG	Tempered
		TH	Tongue and Groove
		TH	Thick and Holder
		THK	Thickness
		THOLD	Threshold
		TPD	Toler Paper Dispenser
		TOL	Tolerance
		TOS	Top of Steel
		TPFN	Toler Partition
		TR	Transom
		TSL	Top of Slab
		TV	Television
		TW	Top of Wall
		TYP	Typical
		TZ	Terrazzo
		UNF	Unfinished
		VAN	Varnish
		VAT	Vinyl Asbestos Tile
		VB	Vinyl Base Vapor Barrier
		VCT	Vinyl Composition Tile
		VERT	Vertical
		VEST	Vestibule
		VG	Vertical Grain
		VIN	Vinyl
		VNR	Vanner
		VNM	Vermiculite
		VT	Vinyl Tile
		W	Width
		WB	Wood Base
		WC	Water Closet
		WD	Wood
		WG	Wire Glass
		WH	Wall Hung
		WI	Wrought Iron
		WIN	Window
		WM	Walkoff Mat
		W/O	Without
		WP	Waterproof
		WPT	Working Point
		WR	Water Resistant
		W/SCT	Wainscot
		WT	Weight
		WWF	Woven Wire Fabric

MATERIALS

	EARTH
	ROCK
	POROUS FILL
	STRUCTURAL CONCRETE
	LIGHTWEIGHT CONCRETE
	STRUCTURAL CLAY TILE
	CONCRETE UNIT MASONRY
	BRICK MASONRY
	CUT STONE, PRECAST CONCRETE
	SLATE, BLUESTONE, FLAGGING
	STEEL, IRON
	ALUMINUM
	SHEET METAL
	PLYWOOD (large scale)
	ROUGH WOOD
	FINISH WOOD
	BATT INSULATION
	RIGID INSULATION
	ACOUSTICAL
	GYPSUM WALL BOARD (large scale)
	GLASS (large scale)

SYMBOLS

	SECTION CUT KEY
	WALL SECTION CUT KEY
	ELEVATION KEY - EXTERIOR
	ELEVATION KEY - INTERIOR
	ELEVATION DATUM
	SPOT ELEVATION
	DETAIL SECTION/PLAN BUBBLE
	COLUMN GRID LINE
	ROOM IDENTIFICATION TAG
	WALL TYPE TAG
	DOOR IDENTIFICATION TAG
	CABINET IDENTIFICATION TAG
	CEILING IDENTIFICATION TAG
	FURNITURE IDENTIFICATION TAG
	ACCESSORY IDENTIFICATION TAG
	DOWNLIGHT
	2X2 RECESSED LED
	RECESSED LINEAR LED
	SIGN TAG
	KEYNOTE

① View Name
SCALE: 1/8" = 1'-0", R101

DRAWING LIST

G001	COVER SHEET
G002	ABBREVIATIONS, LEGENDS AND DRAWING LIST
G003	EXISTING SITE PLAN
G004	VIEW OF SITE FACING NORTH
G005	VIEW OF SITE FACING EAST
G006	EXISTING SITE IMAGERY
G007	SITE PLAN
G008	URBAN CONTEXTUAL ASSESSMENT VIEW FACING NORTH
G009	URBAN CONTEXTUAL ASSESSMENT VIEW FACING EAST
G010	VIEW FROM EIGHTH & SPRING ST. FACING SOUTHWEST
G011	VIEW FROM UNION ST. FACING NORTHEAST
G012	VIEW FROM UNION ST. FACING NORTHEAST MATERIALITY
C000	CIVIL NOTES
C001	EXISTING CONDITIONS PLAN
C002	DEMOLITION AND EROSION CONTROL PLAN
C101	LAYOUT AND MATERIALS PLAN
C201	GRADING AND DRAINAGE PLAN
C301	SITE UTILITY PLAN
C501	CIVIL DETAIL SHEET 1 OF 3
C502	CIVIL DETAIL SHEET 2 OF 3
C503	CIVIL DETAIL SHEET 3 OF 3
A100	BASEMENT PLAN
A101	PARKING PLAN
A102	FIRST FLOOR PLAN
A103	SECOND FLOOR PLAN
A104	THIRD FLOOR PLAN
A105	FOURTH FLOOR PLAN
A106	FIFTH FLOOR PLAN
A107	ROOF PLAN
A109	NORTH ELEVATION
A110	WEST ELEVATION
A111	SOUTH ELEVATION
A112	EAST ELEVATION
A113	SECTION FACING NORTH
A114	SECTION FACING WEST
A115	SECTION THROUGH ABUTTING BUILDING FACING NORTH

Prepared for:

ALINEA CAPITAL
PARTNERS, LLC

Project:

"10 @ 8TH STREET"
APARTMENTS

278 UNION STREET
NEW BEDFORD, MA

PERMIT SET
(PROGRESS)

NOT FOR CONSTRUCTION

Title
ABBREVIATIONS,
LEGENDS AND DRAWING
LIST

Scale
As indicated

File Name

Drawn By

Checked By

Job No.

Date

10/25/2021

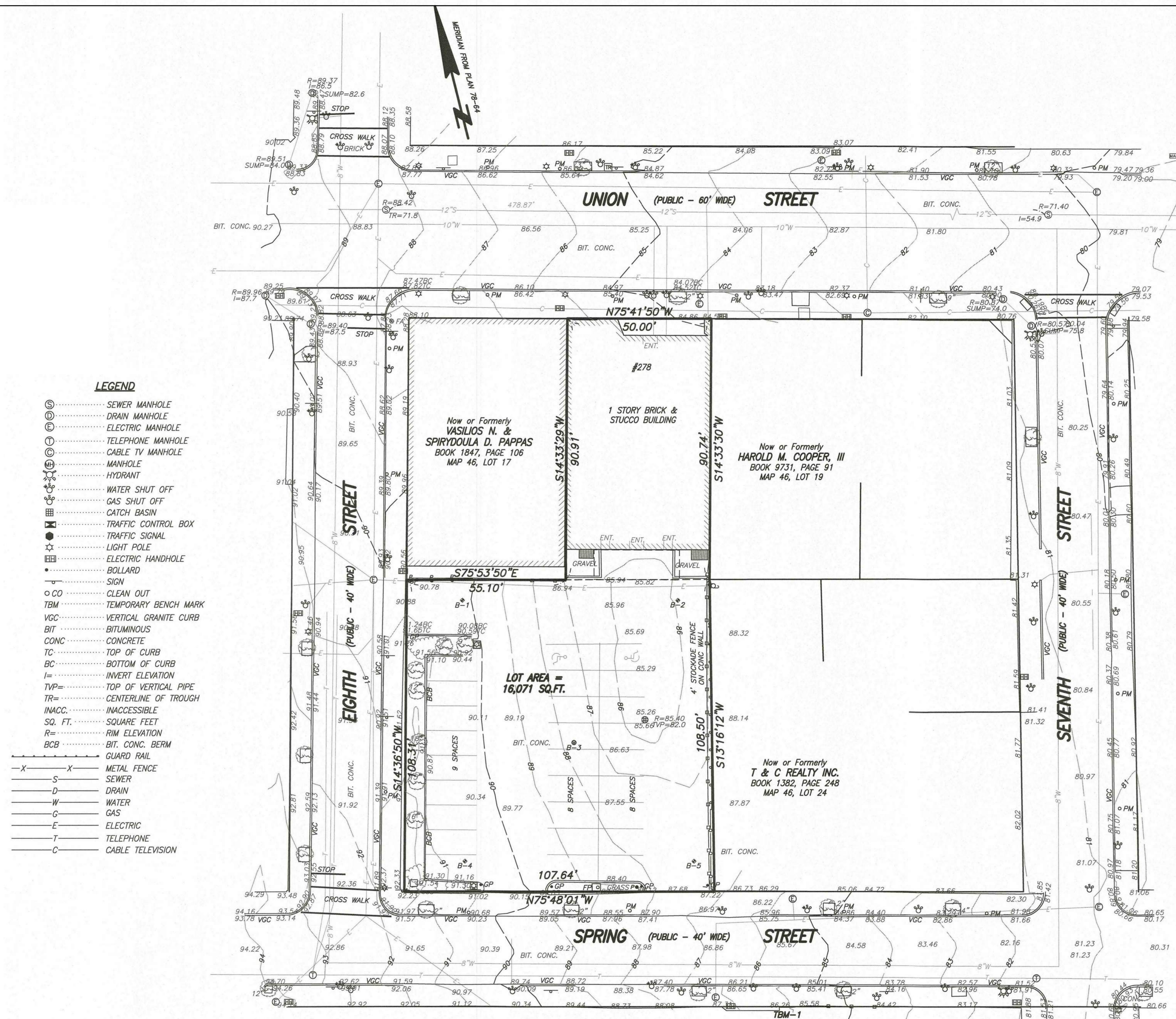


G002

© copyright DHK Architects, Inc.



If this sheet is less than 22"x34" in size, it has been reduced. Graphic scales must be adjusted accordingly.



- LEGEND**
- SEWER MANHOLE
 - DRAIN MANHOLE
 - ELECTRIC MANHOLE
 - TELEPHONE MANHOLE
 - CABLE TV MANHOLE
 - MANHOLE
 - HYDRANT
 - WATER SHUT OFF
 - GAS SHUT OFF
 - CATCH BASIN
 - TRAFFIC CONTROL BOX
 - TRAFFIC SIGNAL
 - LIGHT POLE
 - ELECTRIC HANDHOLE
 - BOLLARD
 - SIGN
 - CLEAN OUT
 - TEMPORARY BENCH MARK
 - VERTICAL GRANITE CURB
 - BITUMINOUS
 - CONCRETE
 - TOP OF CURB
 - BOTTOM OF CURB
 - INVERT ELEVATION
 - TOP OF VERTICAL PIPE
 - CENTERLINE OF TROUGH
 - INACCESSIBLE
 - SQ. FT. SQUARE FEET
 - RIM ELEVATION
 - BIT. CONC. BERM
 - GUARD RAIL
 - METAL FENCE
 - SEWER
 - DRAIN
 - WATER
 - GAS
 - ELECTRIC
 - TELEPHONE
 - CABLE TELEVISION

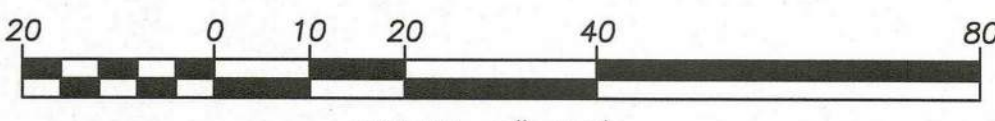
NOTES:

- BENCH MARK INFORMATION:
BENCH MARK USED:
BM: A U.S.C.&G.S. AND STATE SURVEY DISK STAMPED "66V-75.22", SET IN A CONCRETE MONUMENT, FLUSH WITH THE GROUND AND 4 INCHES ABOVE THE SIDEWALK. AT THE SOUTHEAST CORNER OF THE INTERSECTION OF N. SIXTH AND MIDDLE STREETS; ELEVATION = 75.22
TEMPORARY BENCH MARKS SET:
TBM-1: RIGHT OUTER CORNER OF THE LOWEST GRANITE STEP AT 96 SPRING STREET; ELEVATION = 86.46
TBM-2: LEFT OUTER CORNER OF LOWEST GRANITE STEP AT 71 EIGHTH STREET; ELEVATION = 91.17
- ELEVATIONS REFER TO N.G.V.D. OF 1929.
- CONTOUR INTERVAL EQUALS ONE (1) FOOT.
- BY GRAPHIC PLOTTING ONLY, THE PARCEL SHOWN HEREON LIES WITHIN A ZONE "X" (UNSHADED), AN AREA OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR BRISTOL COUNTY, MASSACHUSETTS, MAP NUMBER 25005C0393G, CITY OF NEW BEDFORD COMMUNITY NUMBER 255216, PANEL NUMBER 0393G, HAVING AN EFFECTIVE DATE OF JULY 16, 2014.
- UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFOREMENTIONED RECORD PLANS AND ARE APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INACCURATELY SHOWN ON SAID RECORD PLANS, SINCE SUBSURFACE UTILITIES CANNOT BE VISIBLY VERIFIED. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL, TOLL FREE, THE DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY-TWO HOURS PRIOR TO EXCAVATION.
- NO UNDERGROUND GAS LINE INFORMATION HAS BEEN RECEIVED FROM THE UTILITY PROVIDER.
- THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN LAND SURVEYORS ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN LAND SURVEYORS' SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN LAND SURVEYORS.

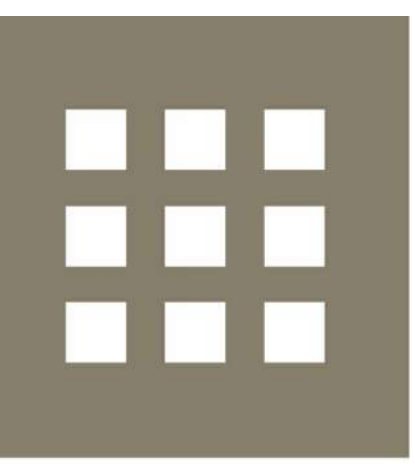
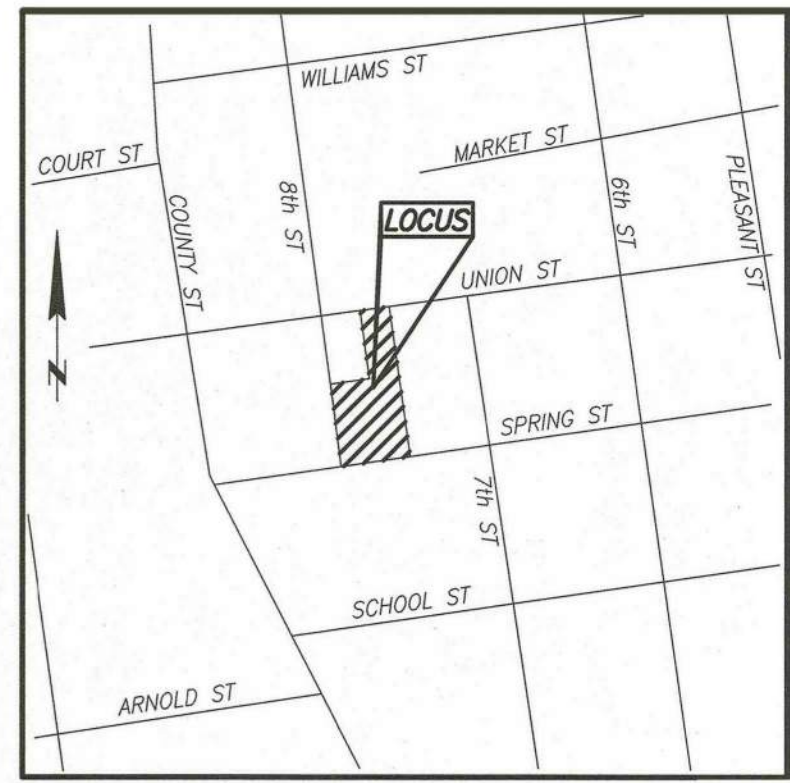
**EXISTING CONDITIONS PLAN
278 UNION STREET
NEW BEDFORD, MASS.**

FELDMAN LAND SURVEYORS
152 HAMPDEN STREET
BOSTON, MASS. 02119
SEPTEMBER 29, 2017
PHONE: (617)357-9740
www.feldmansurveyors.com

FELDMAN
LAND SURVEYORS



RESEARCH	FIELD CHIEF GD	PROJ MGR MDS	APPROVED	SHEET NO. 1 OF 1
CALC MDS	CADD MDS	FIELD CHECKED	CRD FILE 15797	JOB NO. 15797
FILENAME: S:\PROJECTS\15700a\15797\DWG\15797-EC.dwg				



DHK
ARCHITECTS

54 Canal Street
2nd Floor
Boston, MA 02114
617-267-6408
Fax 617-267-1990

Prepared for:


ALINEA CAPITAL
PARTNERS, LLC

1	10-12-21	
No.	Date	Revision

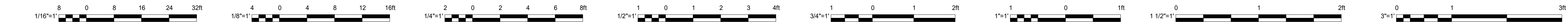
Project:

"10 @ 8TH STREET"
APARTMENTS
278 UNION STREET
NEW BEDFORD, MA
PERMIT SET
(PROGRESS)

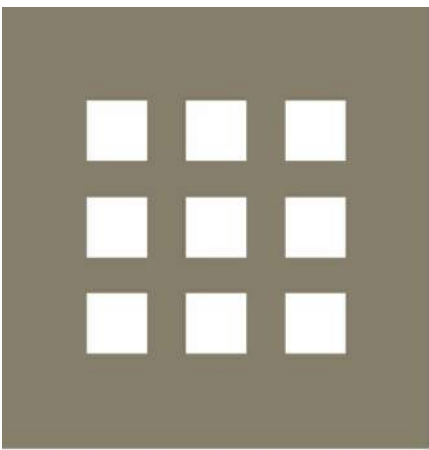
NOT FOR CONSTRUCTION

EXISTING SITE PLAN	
Scale	
File Name	
Drawn By	
Checked By	
Drawing No.	
Job No. 03207	G003
Date 10/25/2021	

© copyright DHK Architects, Inc.



If this sheet is less than 22"x34" in size, it has been reduced. Graphic scales must be adjusted accordingly.



DHK

ARCHITECTS

54 Canal Street
2nd Floor
Boston, MA 02114
617-267-6408
Fax 617-267-1990

Prepared for:

ALINEA CAPITAL
PARTNERS, LLC

1	10-12-21	
No.	Date	Revision

Project:

"10 @ 8TH STREET"
APARTMENTS
278 UNION STREET
NEW BEDFORD, MA
PERMIT SET
(PROGRESS)

NOT FOR CONSTRUCTION

Title
VIEW OF SITE FACING
NORTH

Scale

File Name

Drawn By

Checked By

Job No.

Date

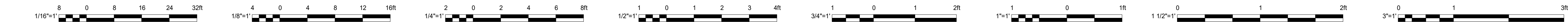


Drawing No.

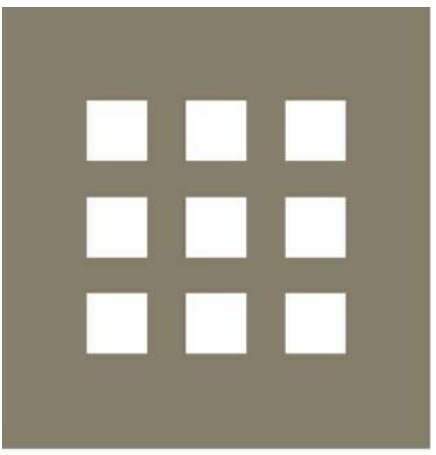
G004

© copyright DHK Architects, Inc.





If this sheet is less than 22"x34" in size, it has been reduced. Graphic scales must be adjusted accordingly.



DHK

ARCHITECTS

54 Canal Street
2nd Floor
Boston, MA 02114
617-267-6408
Fax 617-267-1990

Prepared for:

ALINEA CAPITAL
PARTNERS, LLC

1	10-12-21	
No.	Date	Revision

Project:

"10 @ 8TH STREET"
APARTMENTS
278 UNION STREET
NEW BEDFORD, MA
PERMIT SET
(PROGRESS)

NOT FOR CONSTRUCTION

VIEW OF SITE FACING
EAST

Scale

File Name

Drawn By

Checked By

Job No.

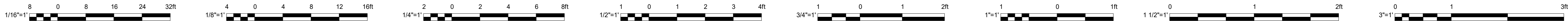
Date

10/25/2021



G005

© copyright DHK Architects, Inc.



If this sheet is less than 22"x34" in size, it has been reduced. Graphic scales must be adjusted accordingly.



VIEW OF SITE FROM ABOVE FACING SOUTHEAST



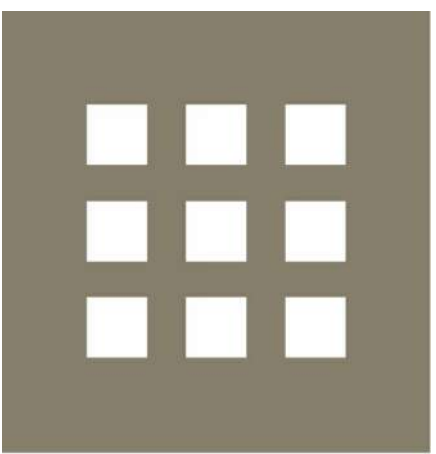
VIEW OF SITE FROM UNION STREET FACING WEST



VIEW OF SITE AT STREET LEVEL FACING SOUTH



VIEW OF SITE FROM UNION STREET FACING EAST



DHK

ARCHITECTS

54 Canal Street
2nd Floor
Boston, MA 02114
617-267-6408
Fax 617-267-1990

Prepared for:

ALINEA CAPITAL
PARTNERS, LLC

1	10-12-21	
No.	Date	Revision

Project:

"10 @ 8TH STREET"
APARTMENTS
278 UNION STREET
NEW BEDFORD, MA
PERMIT SET
(PROGRESS)

NOT FOR CONSTRUCTION

Title

EXISTING SITE IMAGERY

Scale

File Name

Drawn By

Checked By

Job No.

Date

10/25/2021



Drawing No.

G006

© copyright DHK Architects, Inc.

1/16"=1'-0"

1/8"=1'-0"

1/4"=1'-0"

1/2"=1'-0"

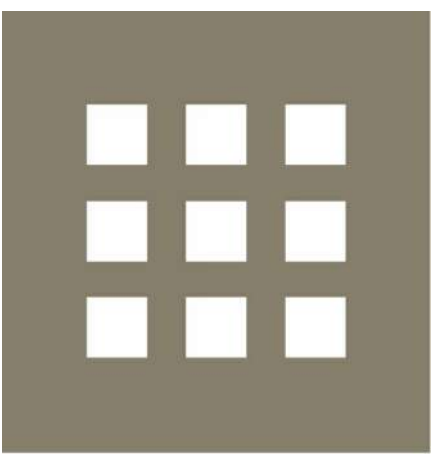
3/4"=1'-0"

1"=1'-0"

1 1/2"=1'-0"

3"=1'-0"

If this sheet is less than 22"x34" in size, it has been reduced. Graphic scales must be adjusted accordingly.



DHK

ARCHITECTS

54 Canal Street
2nd Floor
Boston, MA 02114
617-267-6408
Fax 617-267-1990

Prepared for:

ALINEA CAPITAL
PARTNERS, LLC

Project:

"10 @ 8TH STREET"
APARTMENTS
278 UNION STREET
NEW BEDFORD, MA
PERMIT SET
(PROGRESS)

NOT FOR CONSTRUCTION

Title

SITE PLAN

Scale
1/16" = 1'-0"

File Name

Drawn By

Checked By

Job No.

Date

Drawing No.

G007

© copyright DHK Architects, Inc.

1 Site Plan_P
1/16" = 1'-0"

1/16"=1' 0 8 16 24 32ft

1/8"=1' 0 4 8 12 16ft

1/4"=1' 0 2 4 6 8ft

1/2"=1' 0 1 2 3 4ft

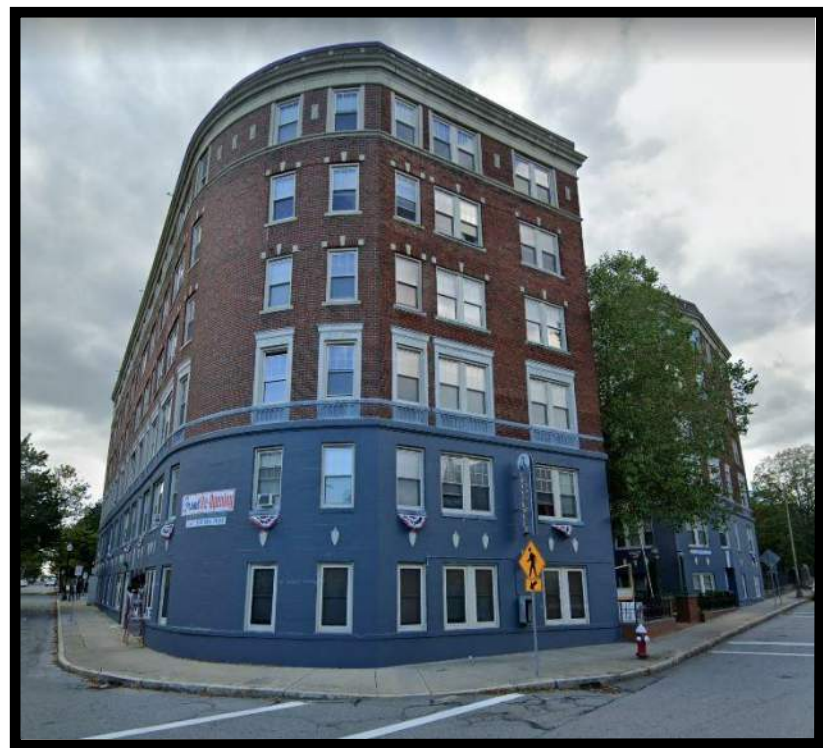
3/4"=1' 0 1 2ft

1"=1' 0 1ft

1 1/2"=1' 0 1 2ft

3"=1' 0 1 3ft

If this sheet is less than 22"x34" in size, it has been reduced. Graphic scales must be adjusted accordingly.



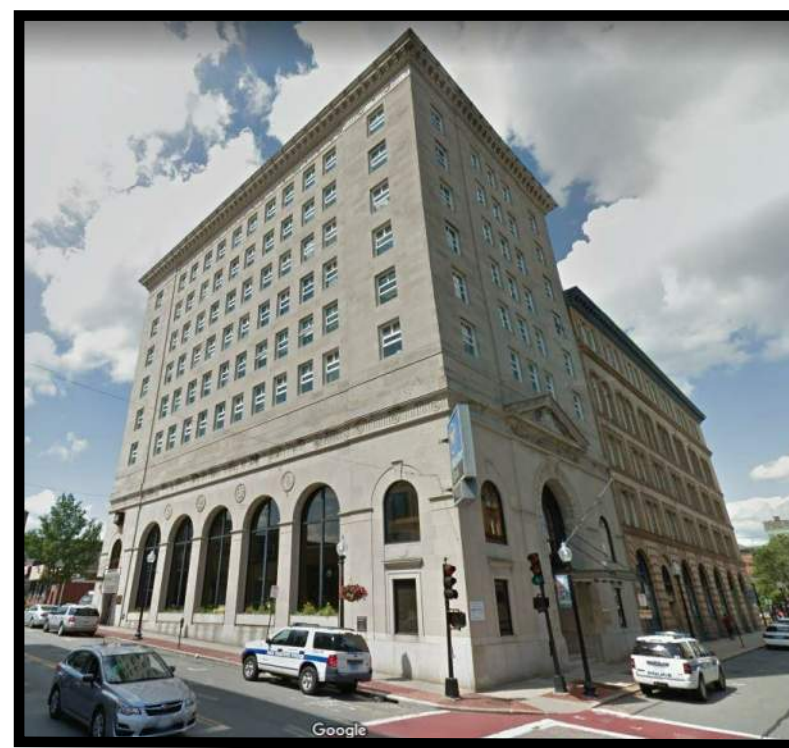
6 STORY RED BRICK WITH PAINTED GRAY BRICK AT BOTTOM



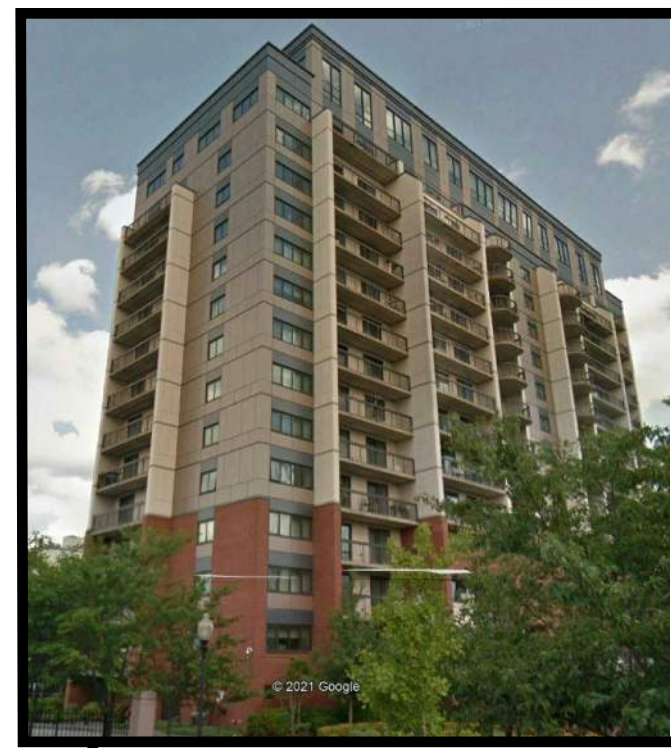
4 STORY TAN & GRAY STONE



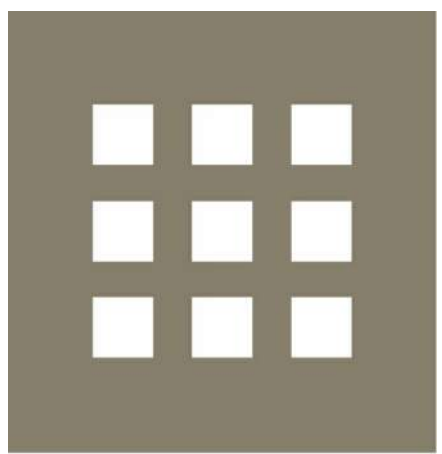
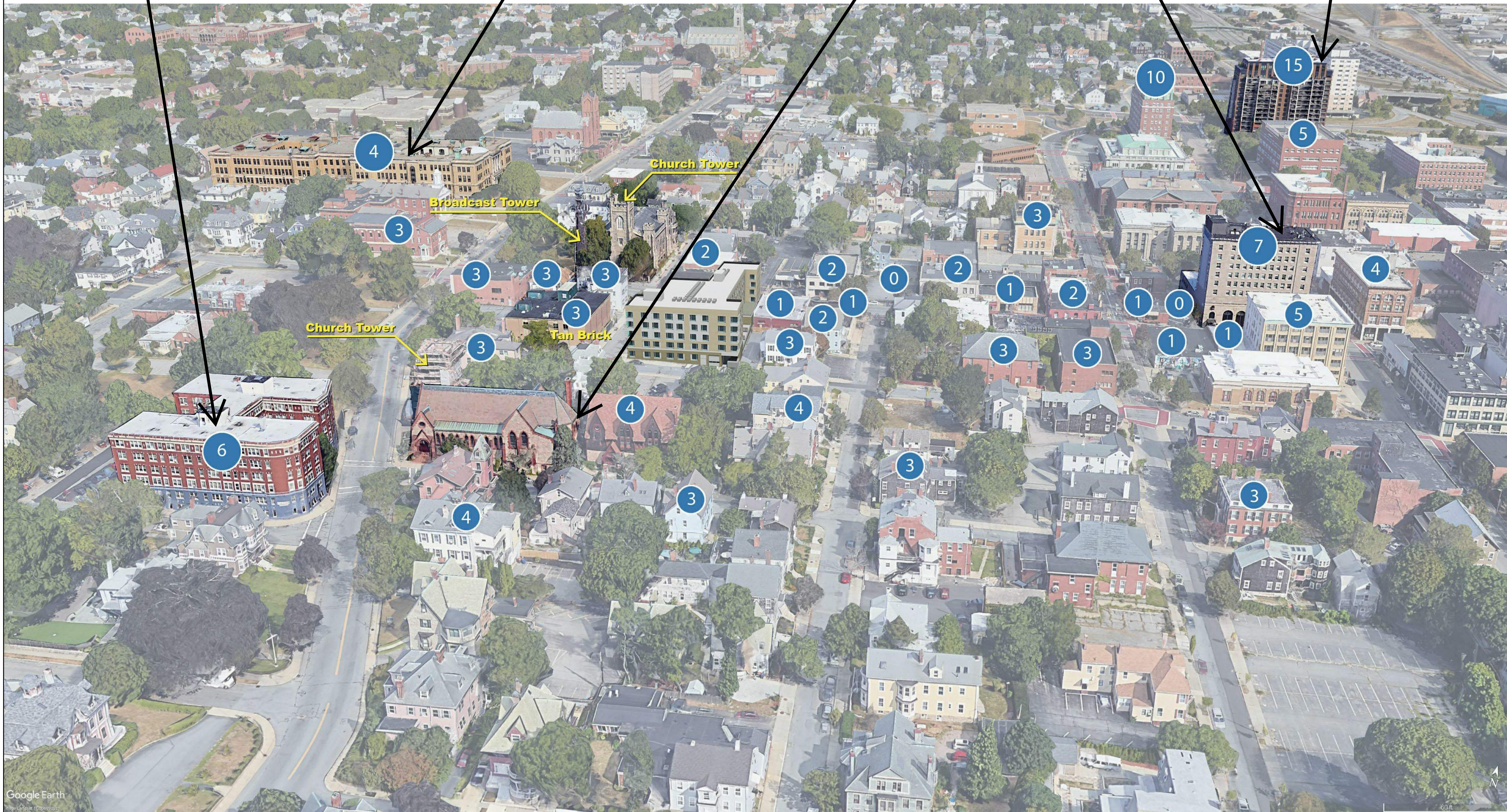
RED BRICK & GRAY STONE



7 STORY GRAY STONE




15 STORY RED BRICK ON BOTTOM WITH TAN PANELS ABOVE



DHK

ARCHITECTS

54 Canal Street
2nd Floor
Boston, MA 02114
617-267-6408
Fax 617-267-1990

 # of Stories

Prepared for:

ALINEA CAPITAL
PARTNERS, LLC

Project:

"10 @ 8TH STREET"
APARTMENTS
278 UNION STREET
NEW BEDFORD, MA
PERMIT SET
(PROGRESS)

NOT FOR CONSTRUCTION

Title URBAN CONTEXTUAL
ASSESSMENT VIEW
FACING NORTH

Scale

File Name

Drawn By

Checked By

Job No.

Date

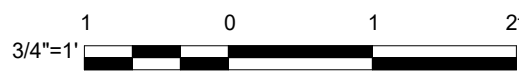
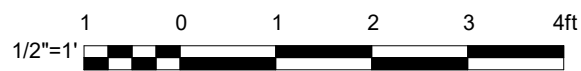
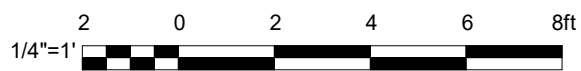
10/25/2021



Drawing No.

G008

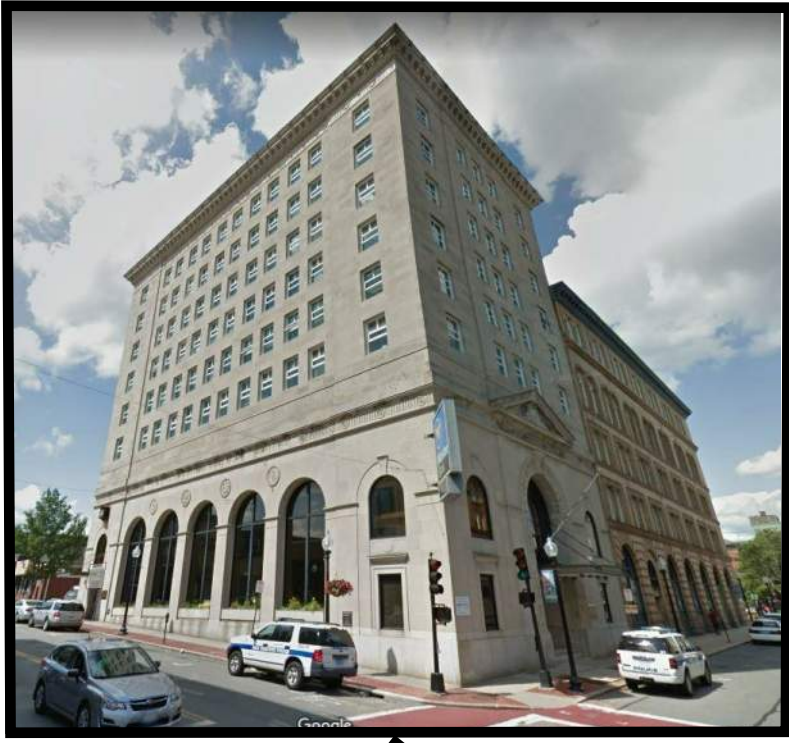
© copyright DHK Architects, Inc.



If this sheet is less than 22"x34" in size, it has been reduced. Graphic scales must be adjusted accordingly.



15 STORY RED BRICK ON BOTTOM WITH TAN PANELS ABOVE



7 STORY GRAY STONE



RED BRICK & GRAY STONE



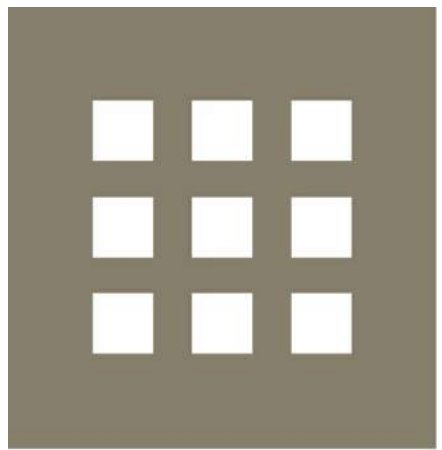
6 STORY RED BRICK WITH PAINTED GRAY BRICK AT BOTTOM



10 STORY GRAY STUCCO



6 STORY BROWN BRICK



DHK

ARCHITECTS

54 Canal Street
2nd Floor
Boston, MA 02114
617-267-6408
Fax 617-267-1990

of Stories

Prepared for:

ALINEA CAPITAL
PARTNERS, LLC

1	10-12-21	
No.	Date	Revision

Project:

"10 @ 8TH STREET"
APARTMENTS
278 UNION STREET
NEW BEDFORD, MA
PERMIT SET
(PROGRESS)

NOT FOR CONSTRUCTION

Title URBAN CONTEXTUAL
ASSESSMENT FACING
EAST

Scale

File Name

Drawn By

Checked By

Job No.

Date

10/25/2021



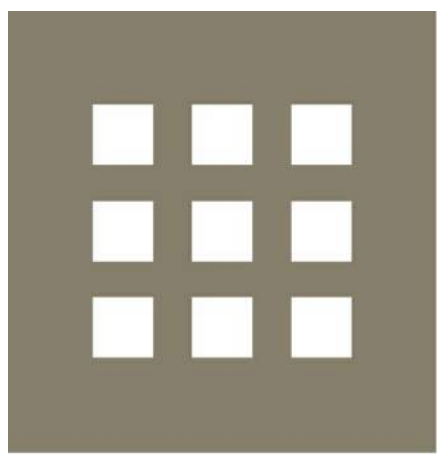
Drawing No.

G009

© copyright DHK Architects, Inc.



If this sheet is less than 22"x34" in size, it has been reduced. Graphic scales must be adjusted accordingly.



DHK

ARCHITECTS

54 Canal Street
2nd Floor
Boston, MA 02114
617-267-6408
Fax 617-267-1990

Prepared for:

ALINEA CAPITAL
PARTNERS, LLC

1	10-12-21	
No.	Date	Revision

Project:

"10 @ 8TH STREET"
APARTMENTS
278 UNION STREET
NEW BEDFORD, MA
PERMIT SET
(PROGRESS)

NOT FOR CONSTRUCTION

VIEW FROM EIGHTH &
SPRING ST. FACING
SOUTHWEST

Scale

File Name

Drawn By

Checked By

Job No.

03207

Date

10/25/2021

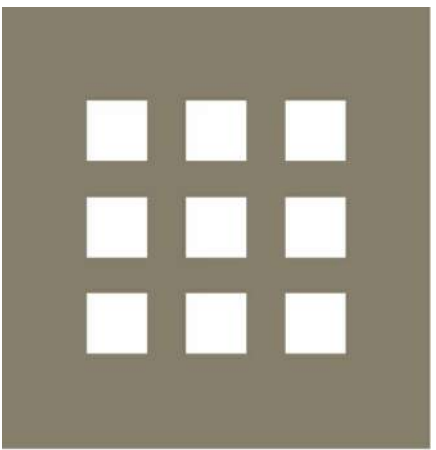


G010

© copyright DHK Architects, Inc.



If this sheet is less than 22"x34" in size, it has been reduced. Graphic scales must be adjusted accordingly.



DHK
ARCHITECTS

54 Canal Street
2nd Floor
Boston, MA 02114
617-267-6408
Fax 617-267-1990

Prepared for:
**ALINEA CAPITAL
PARTNERS, LLC**

1	10-12-21	
No.	Date	Revision

Project:
**"10 @ 8TH STREET"
APARTMENTS**
278 UNION STREET
NEW BEDFORD, MA
**PERMIT SET
(PROGRESS)**

NOT FOR CONSTRUCTION
Title
**VIEW FROM UNION ST.
FACING NORTHEAST**

Scale		
File Name		
Drawn By		
Checked By		Drawing No.
Job No. 03207 Date 10/25/2021		G011

1/16"=1' 0 8 16 24 32ft

1/8"=1' 4 0 4 8 12 16ft

1/4"=1' 2 0 2 4 6 8ft

1/2"=1' 1 0 1 2 3 4ft

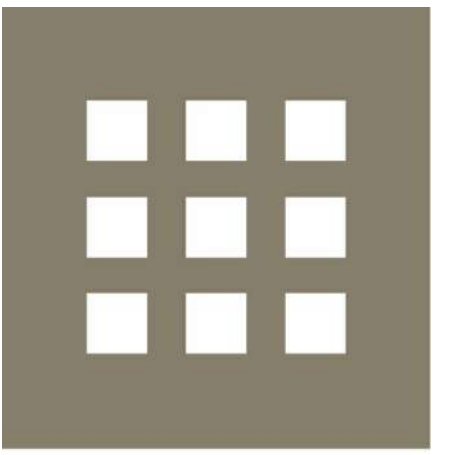
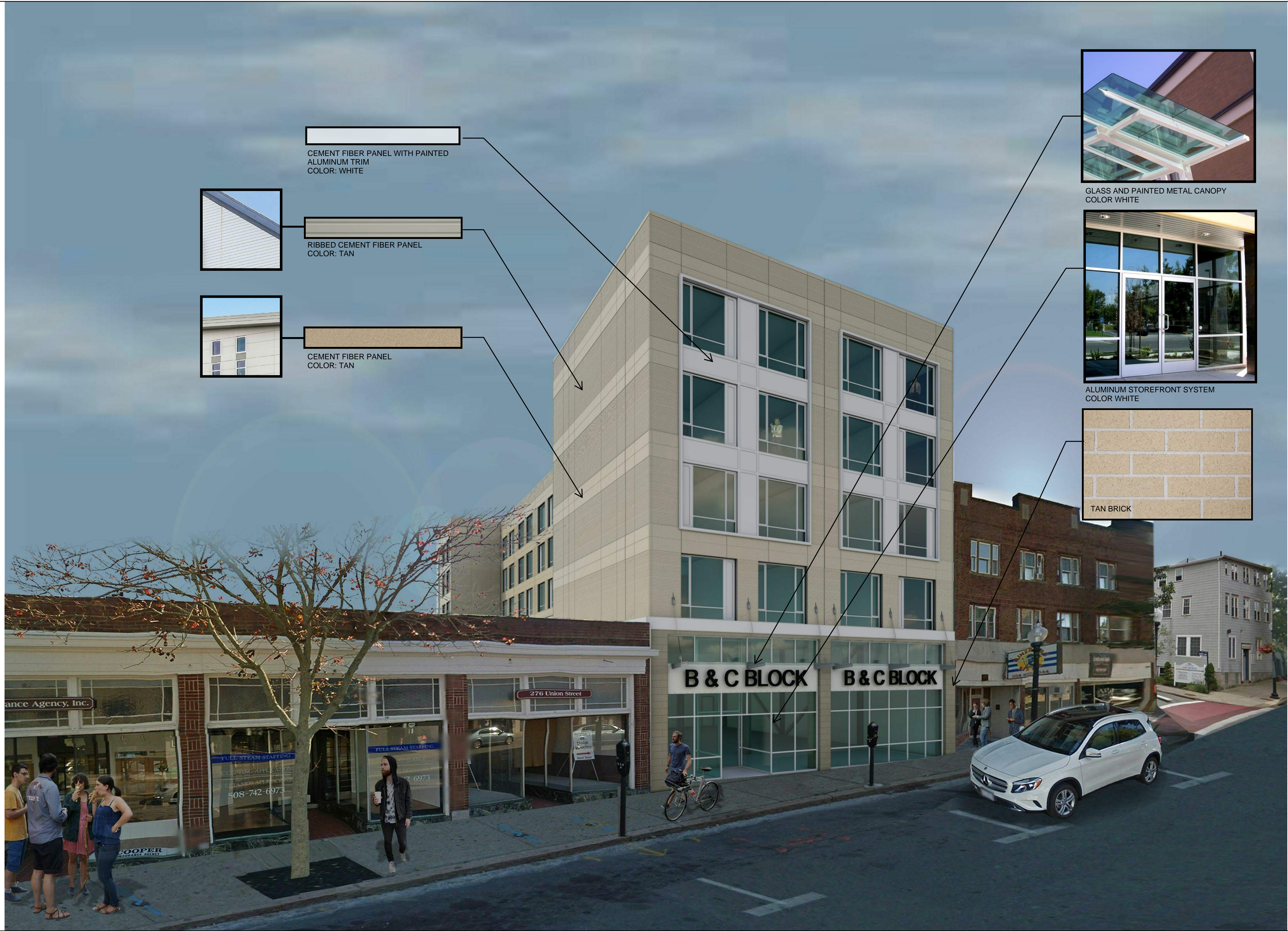
3/4"=1' 1 0 1 2ft

1"=1' 1 0 1ft

1 1/2"=1' 0 1 2ft

3"=1' 0 1 3ft

If this sheet is less than 22"x34" in size, it has been reduced. Graphic scales must be adjusted accordingly.



DHK

ARCHITECTS

54 Canal Street
2nd Floor
Boston, MA 02114
617-267-6408
Fax 617-267-1990

Prepared for:

ALINEA CAPITAL
PARTNERS, LLC

1	10-12-21	
No.	Date	Revision

Project:

"10 @ 8TH STREET"
APARTMENTS
278 UNION STREET
NEW BEDFORD, MA
PERMIT SET
(PROGRESS)

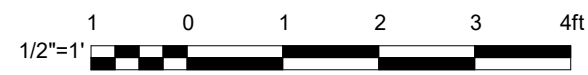
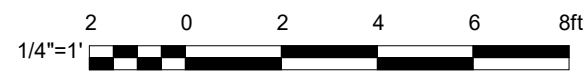
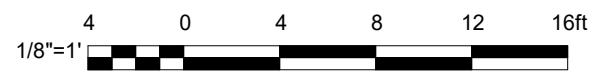
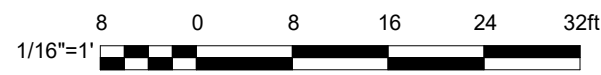
NOT FOR CONSTRUCTION

VIEW FROM UNION ST.
FACING NORTHEAST
MATERIALITY

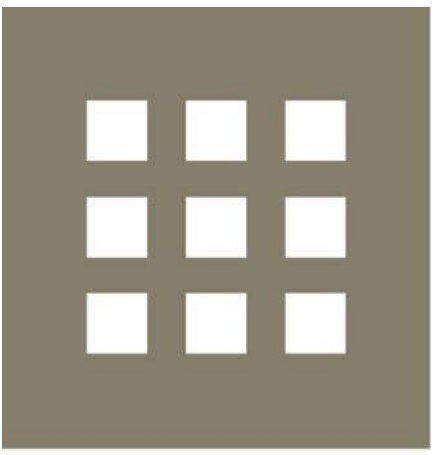
Scale	
File Name	
Drawn By	
Checked By	Drawing No.
Job No. 03207 Date 10/25/2021	G012



© copyright DHK Architects, Inc.



If this sheet is less than 22"x34" in size, it has been reduced. Graphic scales must be adjusted accordingly.



DHK

ARCHITECTS

54 Canal Street
2nd Floor
Boston, MA 02114
617-267-6408
Fax 617-267-1990

Prepared for:

ALINEA CAPITAL
PARTNERS, LLC

Project:

"10 @ 8TH STREET"
APARTMENTS
278 UNION STREET
NEW BEDFORD, MA
PERMIT SET
(PROGRESS)

NOT FOR CONSTRUCTION

Title

BASEMENT PLAN

Scale
1/8" = 1'-0"

File Name

Drawn By

Checked By

Job No.
03207

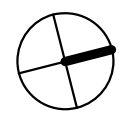
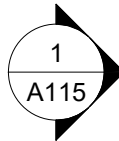
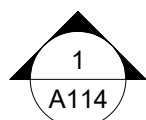
Date
10/25/2021



Drawing No.

A100

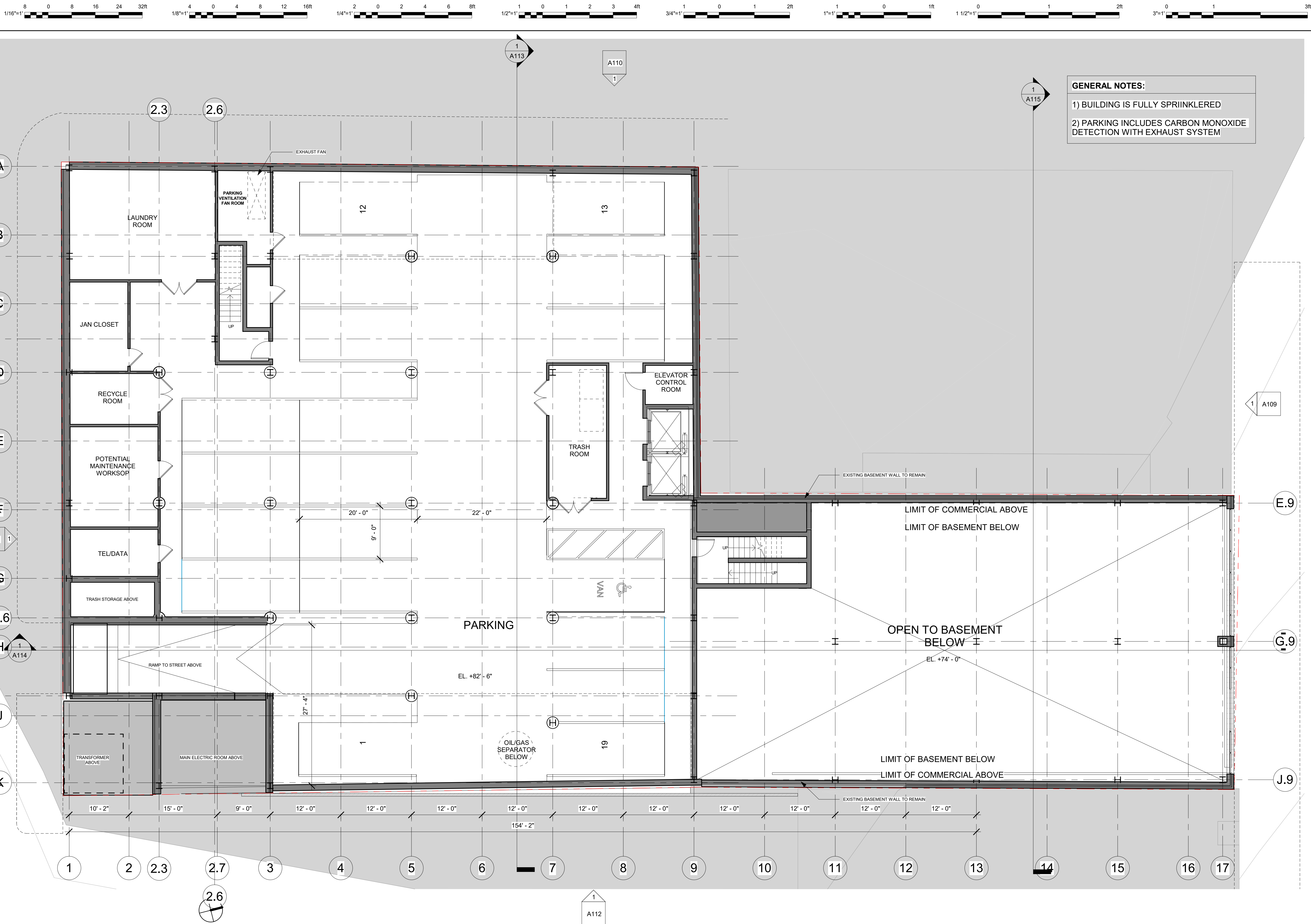
© copyright DHK Architects, Inc.



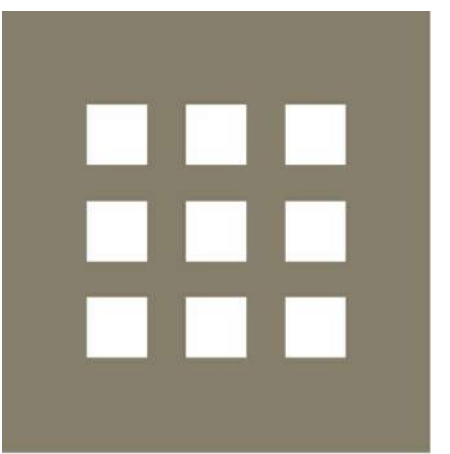
① Basement Plan_P
1/8" = 1'-0"

WALL TYPE LEGEND	
	EXISTING TO REMAIN
	NEW CONSTRUCTION

NOTE: ELEVATIONS REFER TO N.G.V.D. OF 1929



If this sheet is less than 22"x34" in size, it has been reduced. Graphic scales must be adjusted accordingly.



DHK

ARCHITECTS

54 Canal Street
2nd Floor
Boston, MA 02114
617-267-6408
Fax 617-267-1990

Prepared for:

ALINEA CAPITAL
PARTNERS, LLC

Project:

"10 @ 8TH STREET"
APARTMENTS

278 UNION STREET
NEW BEDFORD, MA

PERMIT SET
(PROGRESS)

NOT FOR CONSTRUCTION

Title

PARKING PLAN

Scale
1/8" = 1'-0"

File Name

Drawn By

Checked By

Job No.

Date

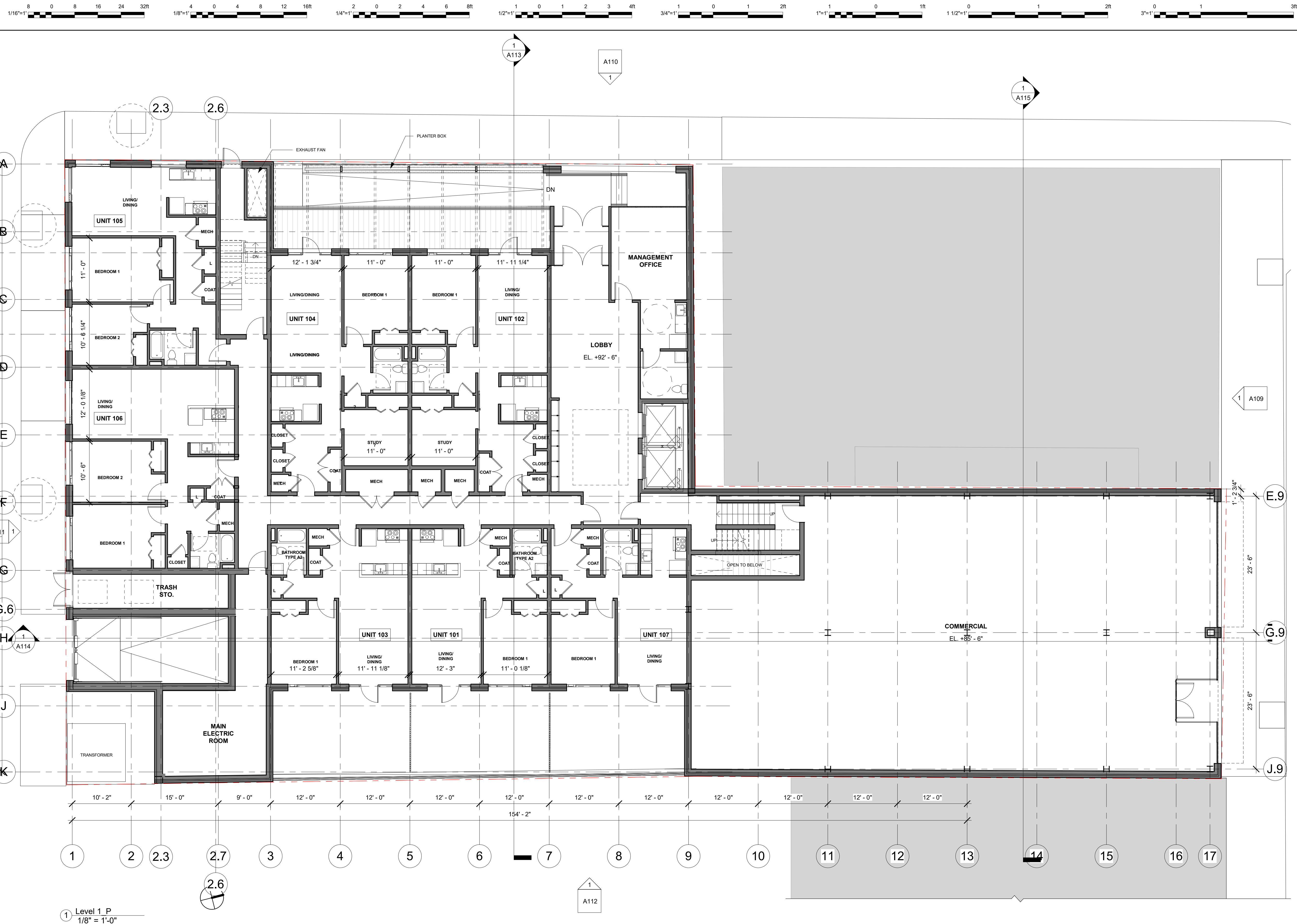
10/25/2021



Drawing No.

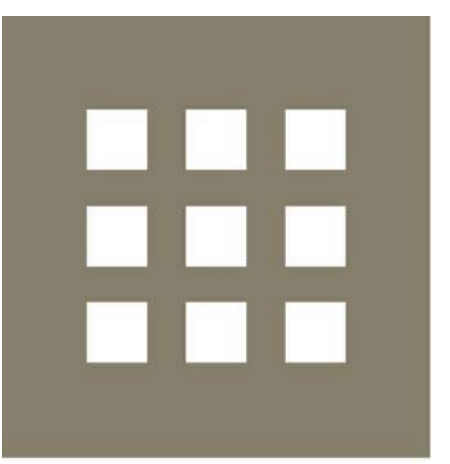
A101

© copyright DHK Architects, Inc.



1 Level 1 P
1/8" = 1'-0"

If this sheet is less than 22"x34" in size, it has been reduced. Graphic scales must be adjusted accordingly.



DHK

ARCHITECTS

54 Canal Street
2nd Floor
Boston, MA 02114
617-267-6408
Fax 617-267-1990

Prepared for:
ALINEA CAPITAL PARTNERS, LLC

Project:
"10 @ 8TH STREET" APARTMENTS
278 UNION STREET
NEW BEDFORD, MA
PERMIT SET (PROGRESS)

NOT FOR CONSTRUCTION

Title
FIRST FLOOR PLAN

Scale
1/8" = 1'-0"

File Name

Drawn By

Checked By

Job No.

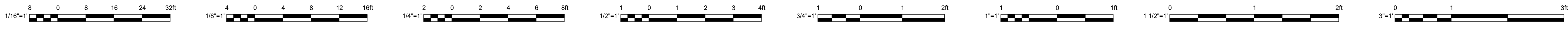
Date

10/25/2021

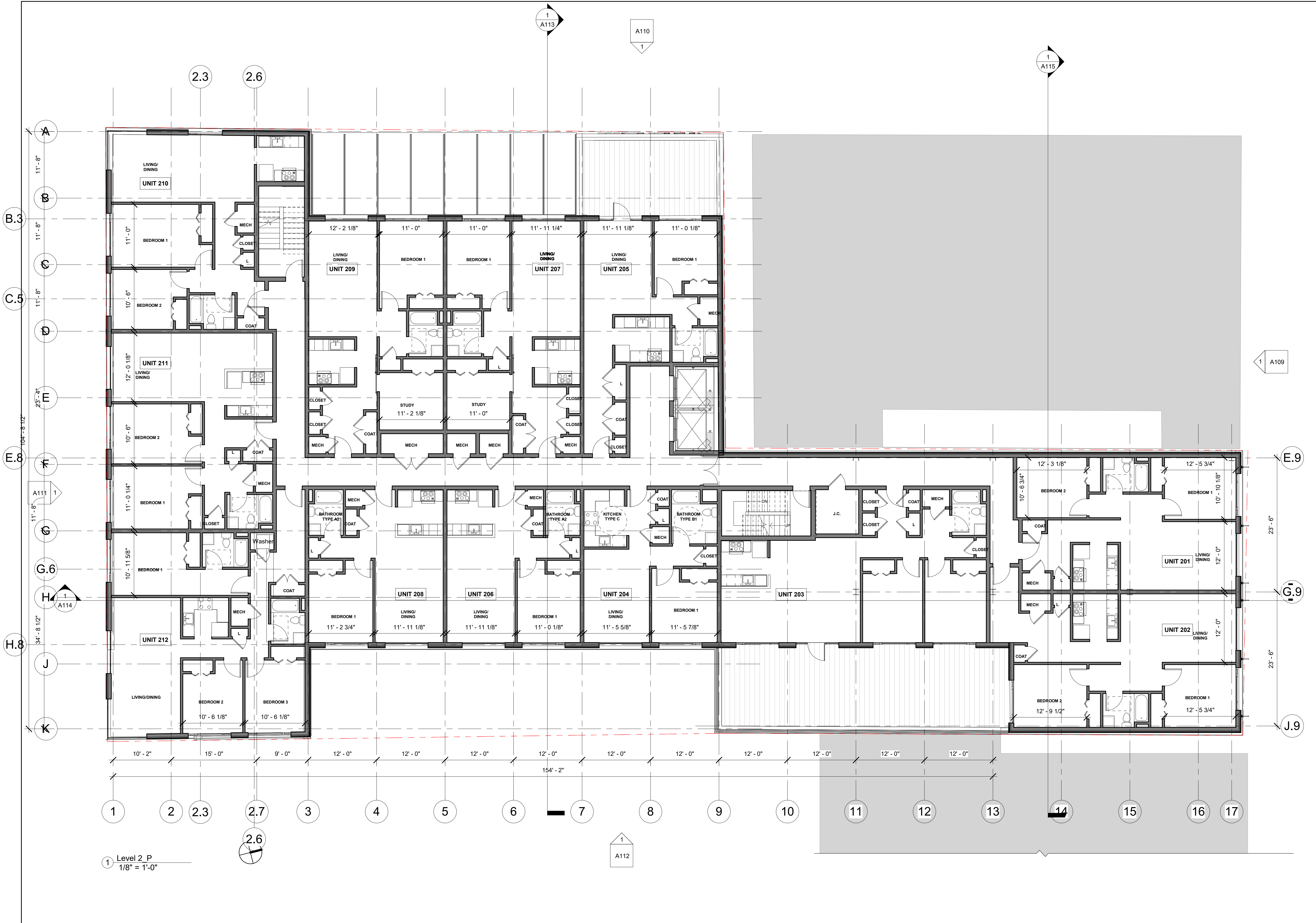
© copyright DHK Architects, Inc.



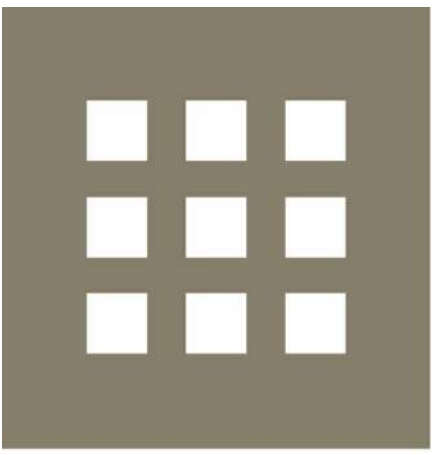
A102



If this sheet is less than 22"x34" in size, it has been reduced. Graphic scales must be adjusted accordingly.



1 Level 2 P
1/8" = 1'-0"



DHK
ARCHITECTS

54 Canal Street
2nd Floor
Boston, MA 02114
617-267-6408
Fax 617-267-1990

Prepared for:
ALINEA CAPITAL PARTNERS, LLC

1	10-12-21	
No.	Date	Revision

Project:
"10 @ 8TH STREET" APARTMENTS
278 UNION STREET
NEW BEDFORD, MA
PERMIT SET (PROGRESS)

NOT FOR CONSTRUCTION
Title
SECOND FLOOR PLAN

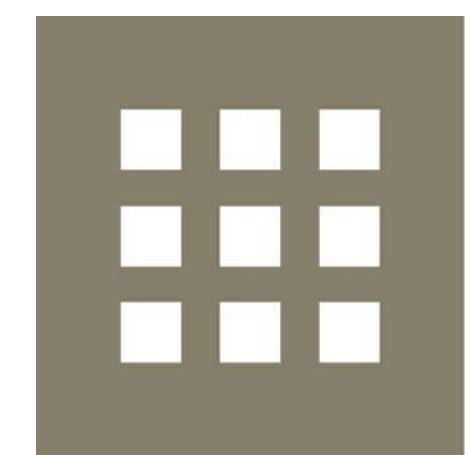
Scale 1/8" = 1'-0"	
File Name	
Drawn By	
Checked By	
Job No. 03207 Date 10/25/2021	
Drawing No. A103	



If this sheet is less than 22"x34" in size, it has been reduced. Graphic scales must be adjusted accordingly.



1 Level 3_P
1/8" = 1'-0"



DHK
ARCHITECTS

54 Canal Street
2nd Floor
Boston, MA 02114
617-267-6408
Fax 617-267-1990

Prepared for:
ALINEA CAPITAL PARTNERS, LLC

1	10-12-21	
No.	Date	Revision

Project:
**"10 @ 8TH STREET"
APARTMENTS**
278 UNION STREET
NEW BEDFORD, MA
**PERMIT SET
(PROGRESS)**

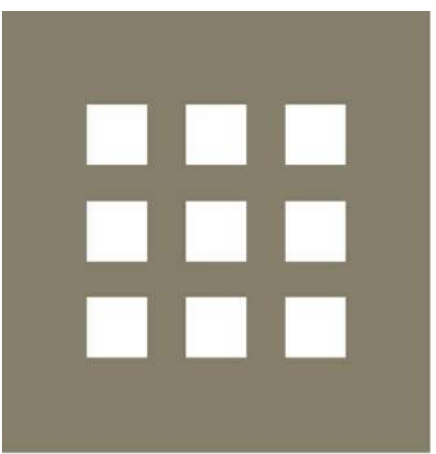
NOT FOR CONSTRUCTION

Title THIRD FLOOR PLAN	
Scale 1/8" = 1'-0"	
File Name	
Drawn By	
Checked By	
Job No. 03207	Drawing No. A104
Date 10/25/2021	

© copyright DHK Architects, Inc.



If this sheet is less than 22"x34" in size, it has been reduced. Graphic scales must be adjusted accordingly.



DHK

ARCHITECTS

54 Canal Street
2nd Floor
Boston, MA 02114
617-267-6408
Fax 617-267-1990

Prepared for:

ALINEA CAPITAL
PARTNERS, LLC

Project:

"10 @ 8TH STREET"
APARTMENTS
278 UNION STREET
NEW BEDFORD, MA
PERMIT SET
(PROGRESS)

NOT FOR CONSTRUCTION

FOURTH FLOOR PLAN

Scale
1/8" = 1'-0"

File Name

Drawn By

Checked By

Job No.

Date

10/25/2021

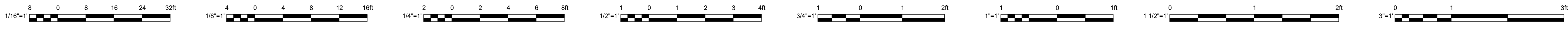
Drawing No.

A105

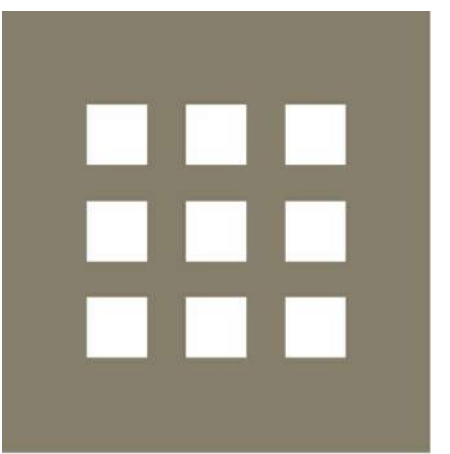
© copyright DHK Architects, Inc.



1 Level 4 P
1/8" = 1'-0"



If this sheet is less than 22"x34" in size, it has been reduced. Graphic scales must be adjusted accordingly.



DHK

ARCHITECTS

54 Canal Street
2nd Floor
Boston, MA 02114
617-267-6408
Fax 617-267-1990

Prepared for:

ALINEA CAPITAL
PARTNERS, LLC

Project:

"10 @ 8TH STREET"
APARTMENTS
278 UNION STREET
NEW BEDFORD, MA
PERMIT SET
(PROGRESS)

NOT FOR CONSTRUCTION

Title

FIFTH FLOOR PLAN

Scale
1/8" = 1'-0"

File Name

Drawn By

Checked By

Job No.

Date

10/25/2021

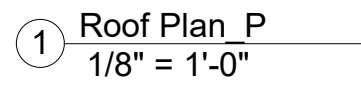
© copyright DHK Architects, Inc.



A106



1 Level 5 P
1/8" = 1'-0"



© copyright DHK Architects, Inc.

1/16"=1'-0"

1/8"=1'-0"

1/4"=1'-0"

1/2"=1'-0"

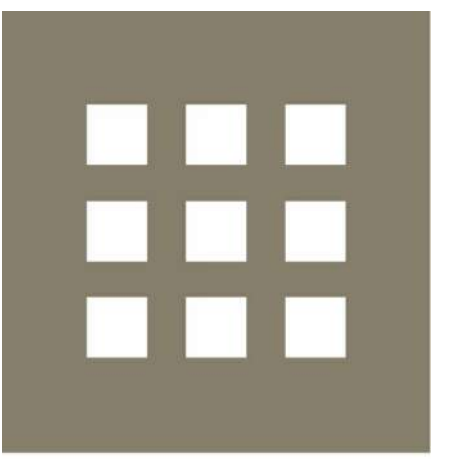
3/4"=1'-0"

1"=1'-0"

1 1/2"=1'-0"

3"=1'-0"

If this sheet is less than 22"x34" in size, it has been reduced. Graphic scales must be adjusted accordingly.



DHK

ARCHITECTS

54 Canal Street
2nd Floor
Boston, MA 02114
617-267-6408
Fax 617-267-1990

Prepared for:

ALINEA CAPITAL
PARTNERS, LLC

Project:

"10 @ 8TH STREET"
APARTMENTS
278 UNION STREET
NEW BEDFORD, MA
PERMIT SET
(PROGRESS)

NOT FOR CONSTRUCTION

Title

NORTH ELEVATION

Scale
1/8" = 1'-0"

File Name

Drawn By

Checked By

Job No.

Date

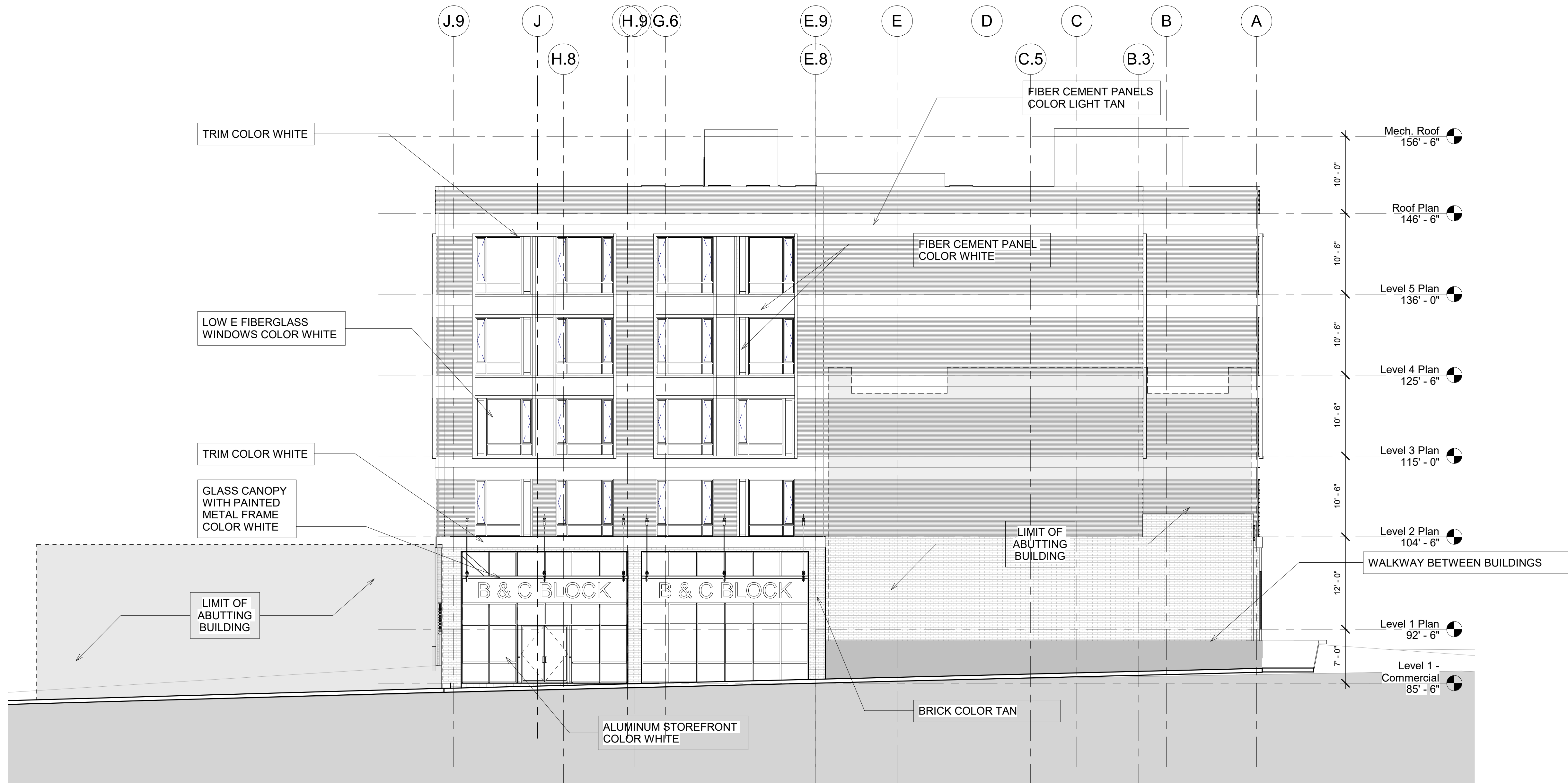
10/25/2021



Drawing No.

A109

© copyright DHK Architects, Inc.



1 North Elevation (Union St)_P
1/8" = 1'-0"

1/16"=1'-0"

1/8"=1'-0"

1/4"=1'-0"

1/2"=1'-0"

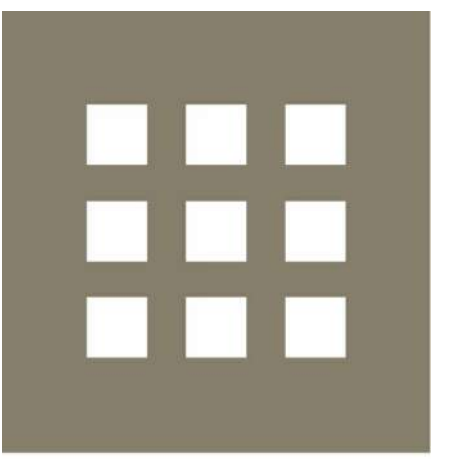
3/4"=1'-0"

1"=1'-0"

1 1/2"=1'-0"

3"=1'-0"

If this sheet is less than 22"x34" in size, it has been reduced. Graphic scales must be adjusted accordingly.



DHK

ARCHITECTS

54 Canal Street
2nd Floor
Boston, MA 02114
617-267-6408
Fax 617-267-1990

Prepared for:

ALINEA CAPITAL
PARTNERS, LLC

Project:

"10 @ 8TH STREET"
APARTMENTS
278 UNION STREET
NEW BEDFORD, MA
PERMIT SET
(PROGRESS)

NOT FOR CONSTRUCTION

Title

WEST ELEVATION

Scale
1/8" = 1'-0"

File Name

Drawn By

Checked By

Job No.

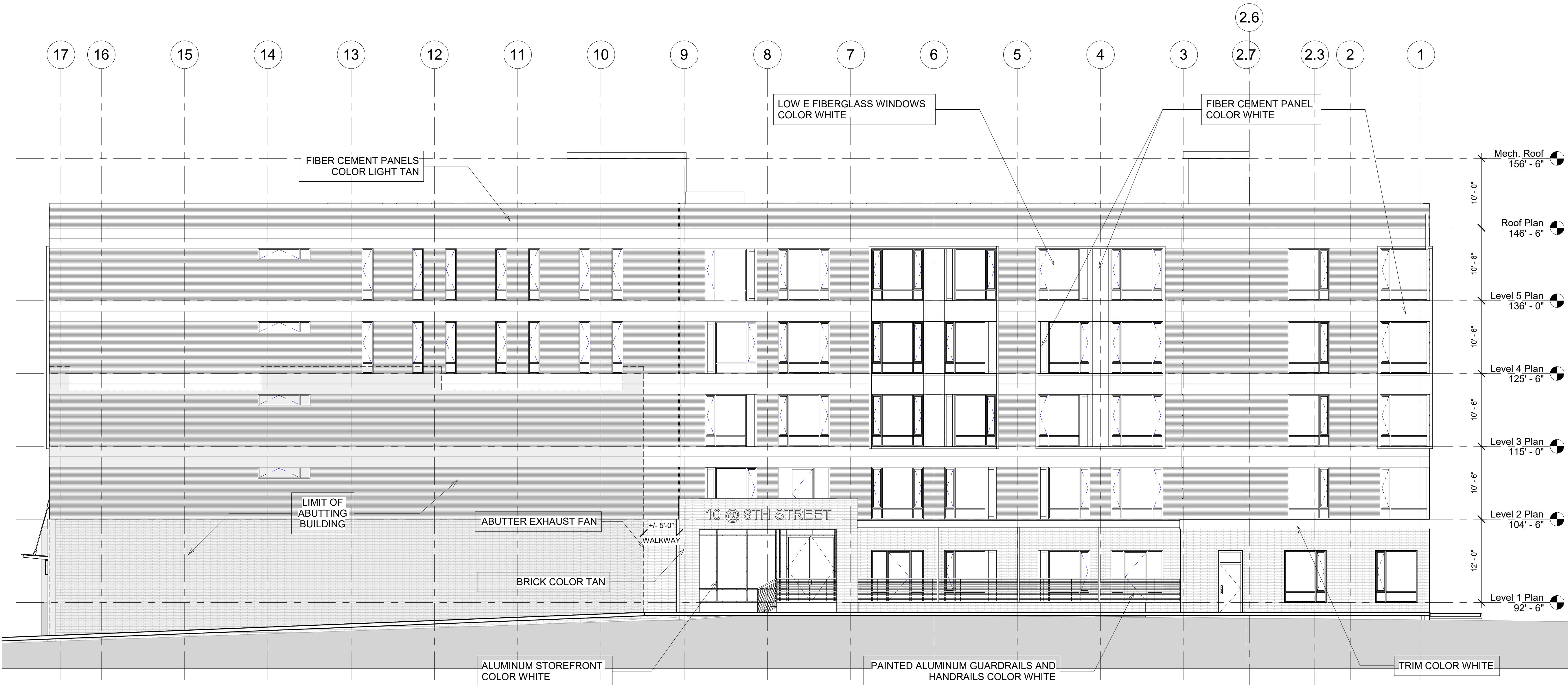
Date

10/25/2021

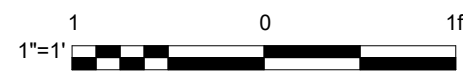
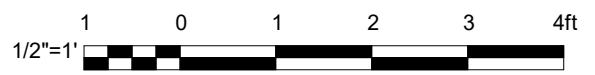
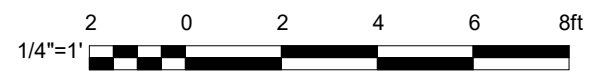
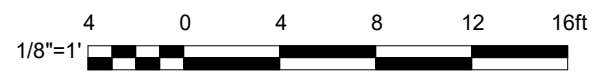
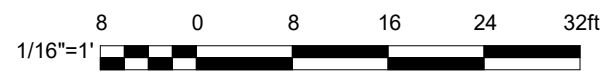
Drawing No.

A110

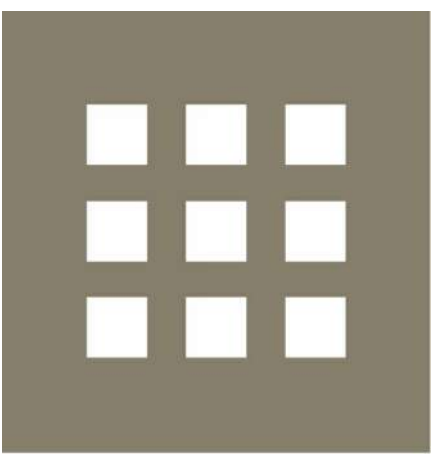
© copyright DHK Architects, Inc.



① West Elevation (Eighth St)_P
1/8" = 1'-0"



If this sheet is less than 22"x34" in size, it has been reduced. Graphic scales must be adjusted accordingly.



DHK

ARCHITECTS

54 Canal Street
2nd Floor
Boston, MA 02114
617-267-6408
Fax 617-267-1990

Prepared for:

ALINEA CAPITAL
PARTNERS, LLC

1	10-12-21	

No.	Date	Revision
-----	------	----------

Project:

"10 @ 8TH STREET"
APARTMENTS
278 UNION STREET
NEW BEDFORD, MA
PERMIT SET
(PROGRESS)

NOT FOR CONSTRUCTION

Title
SOUTH ELEVATION

Scale
1/8" = 1'-0"

File Name

Drawn By

Checked By

Job No.

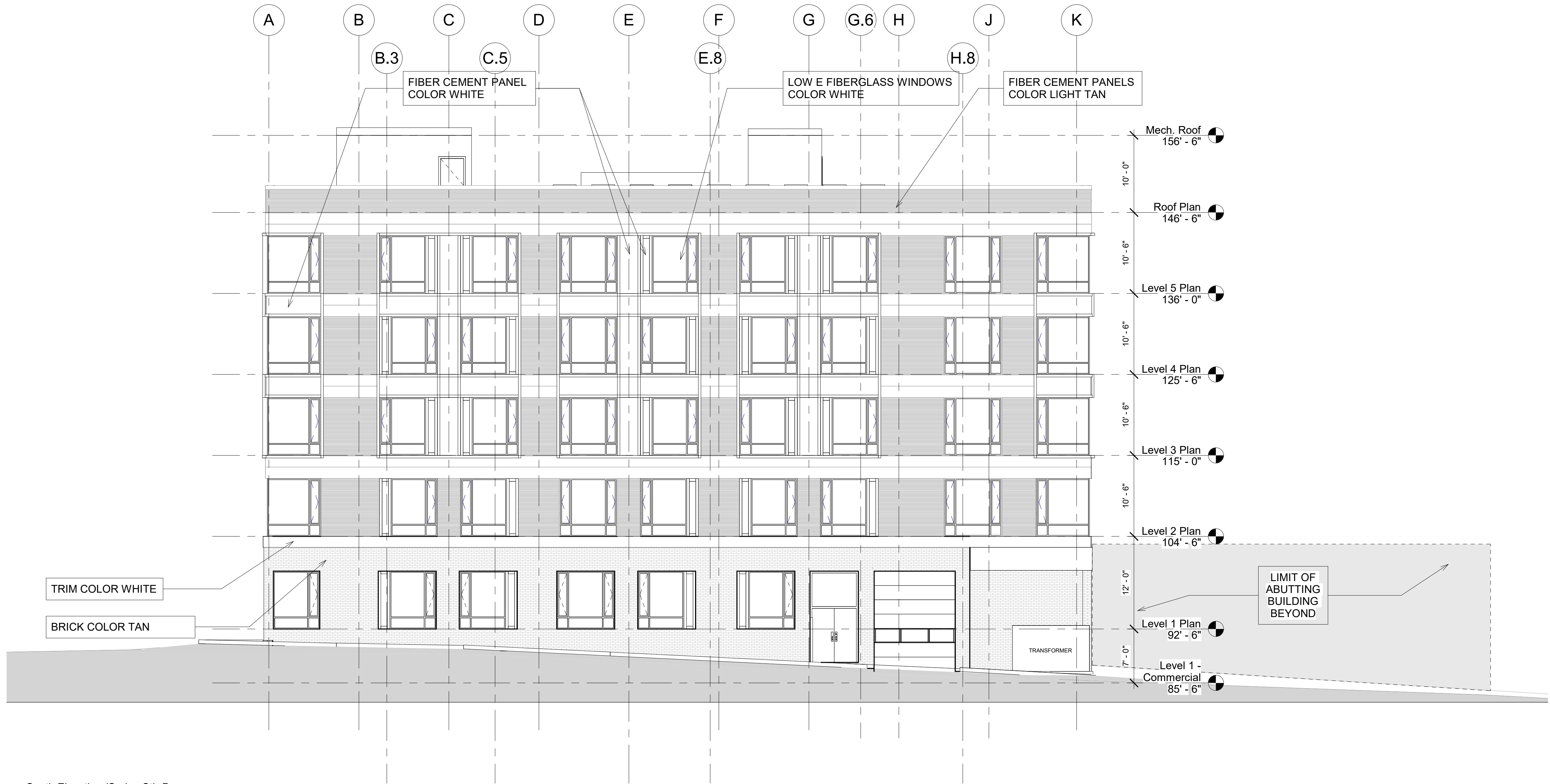
Date

10/25/2021



Drawing No.
A111

© copyright DHK Architects, Inc.



1 South Elevation (Spring St)_P
1/8" = 1'-0"

1/16"=1'-0"

1/8"=1'-0"

1/4"=1'-0"

1/2"=1'-0"

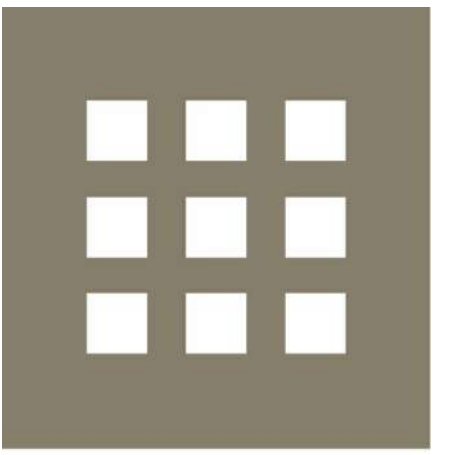
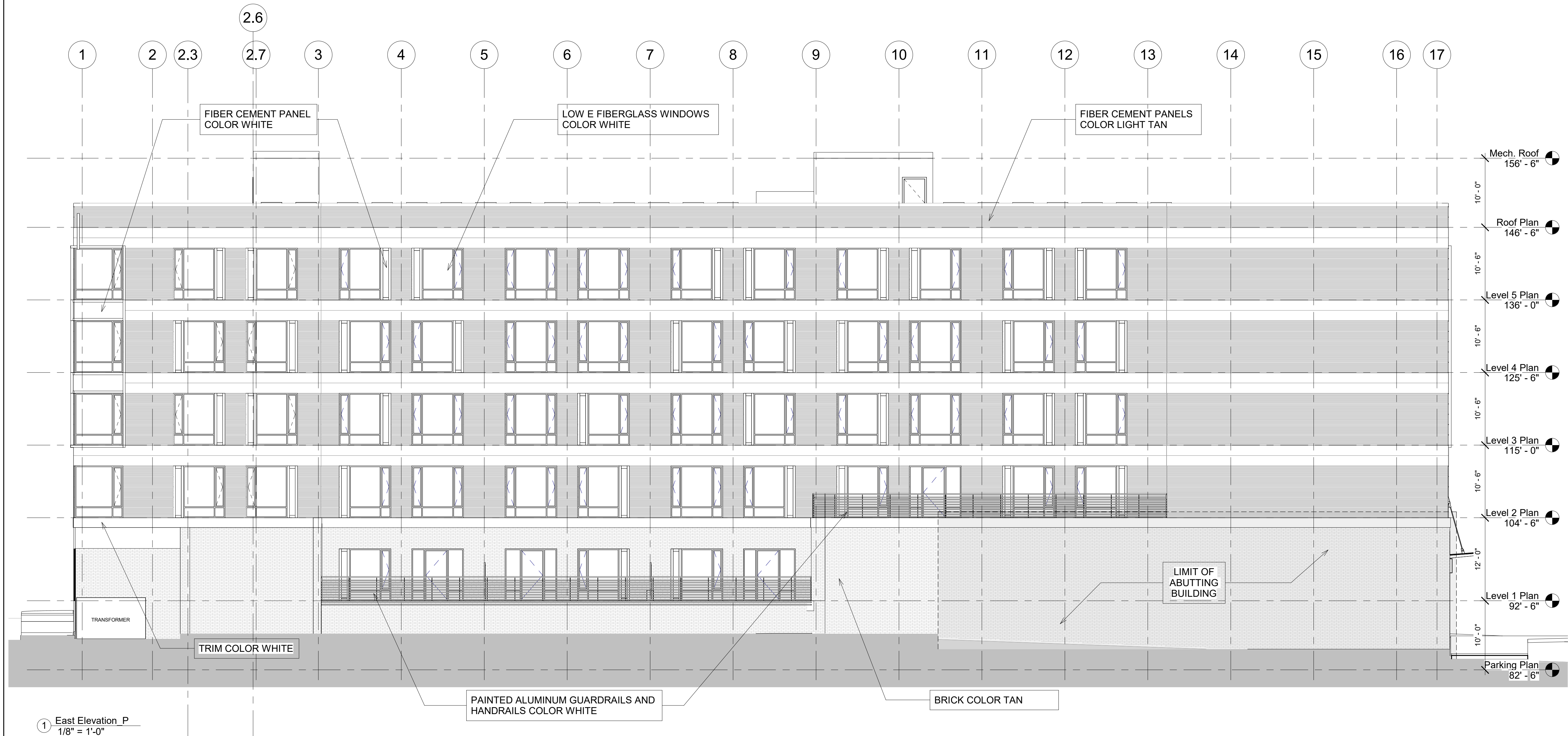
3/4"=1'-0"

1"=1'-0"

1 1/2"=1'-0"

3"=1'-0"

If this sheet is less than 22"x34" in size, it has been reduced. Graphic scales must be adjusted accordingly.



DHK

ARCHITECTS

54 Canal Street
2nd Floor
Boston, MA 02114
617-267-6408
Fax 617-267-1990

Prepared for:

ALINEA CAPITAL
PARTNERS, LLC

Project:

"10 @ 8TH STREET"
APARTMENTS
278 UNION STREET
NEW BEDFORD, MA
PERMIT SET
(PROGRESS)

NOT FOR CONSTRUCTION

Title

EAST ELEVATION

Scale
1/8" = 1'-0"

File Name

Drawn By

Checked By

Job No.

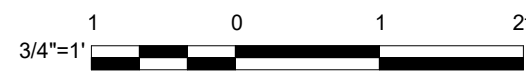
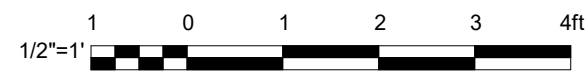
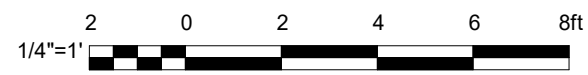
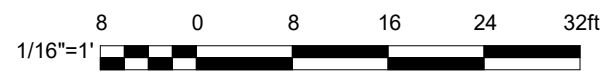
Date

10/25/2021

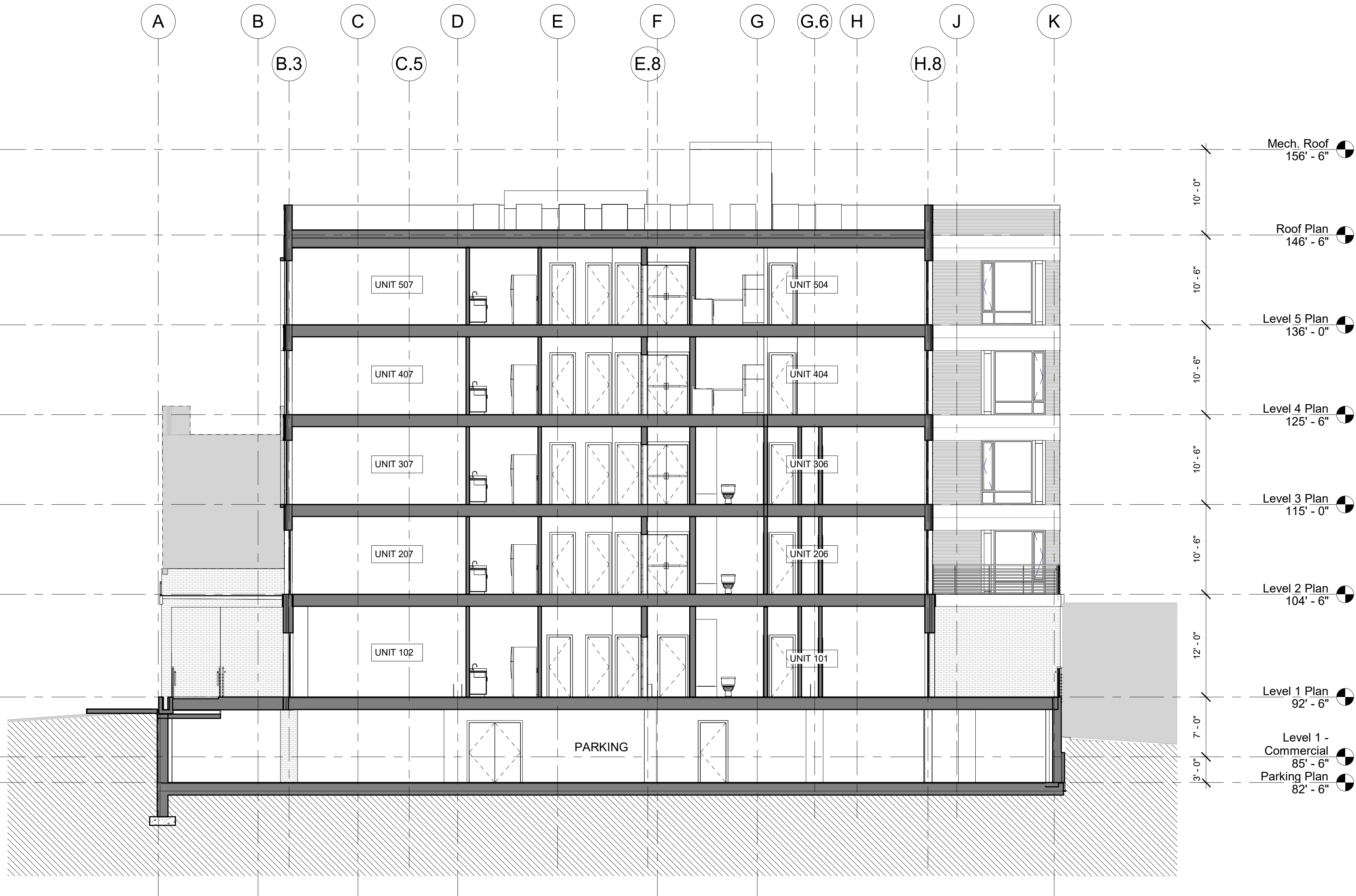
Drawing No.

A112

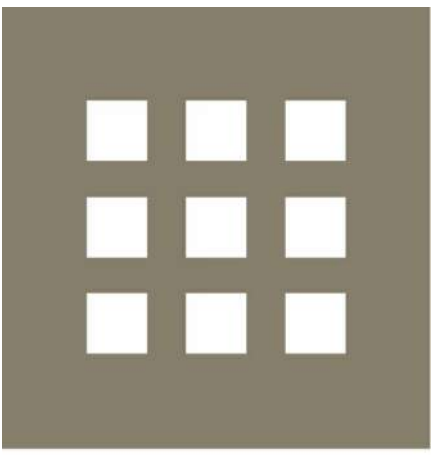
© copyright DHK Architects, Inc.



If this sheet is less than 22"x34" in size, it has been reduced. Graphic scales must be adjusted accordingly.



① SECTION FACING NORTH_P
1/8" = 1'-0"



DHK

ARCHITECTS

54 Canal Street
2nd Floor
Boston, MA 02114
617-267-6408
Fax 617-267-1990

Prepared for:

ALINEA CAPITAL
PARTNERS, LLC

Project:

"10 @ 8TH STREET"
APARTMENTS
278 UNION STREET
NEW BEDFORD, MA
PERMIT SET
(PROGRESS)

NOT FOR CONSTRUCTION

Title

SECTION FACING NORTH

Scale
1/8" = 1'-0"

File Name

Drawn By

Checked By

Job No.

Date

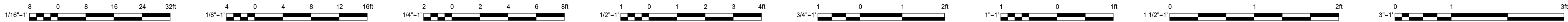
10/25/2021



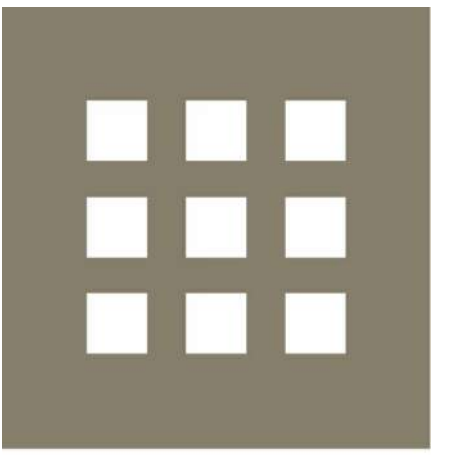
Drawing No.

A113

© copyright DHK Architects, Inc.



If this sheet is less than 22"x34" in size, it has been reduced. Graphic scales must be adjusted accordingly.



DHK
ARCHITECTS

54 Canal Street
2nd Floor
Boston, MA 02114
617-267-6408
Fax 617-267-1990

Prepared for:

ALINEA CAPITAL
PARTNERS, LLC

Project:

"10 @ 8TH STREET"
APARTMENTS
278 UNION STREET
NEW BEDFORD, MA
PERMIT SET
(PROGRESS)

NOT FOR CONSTRUCTION

Title

SECTION FACING WEST

Scale
1/8" = 1'-0"

File Name

Drawn By

Checked By

Job No.

Date

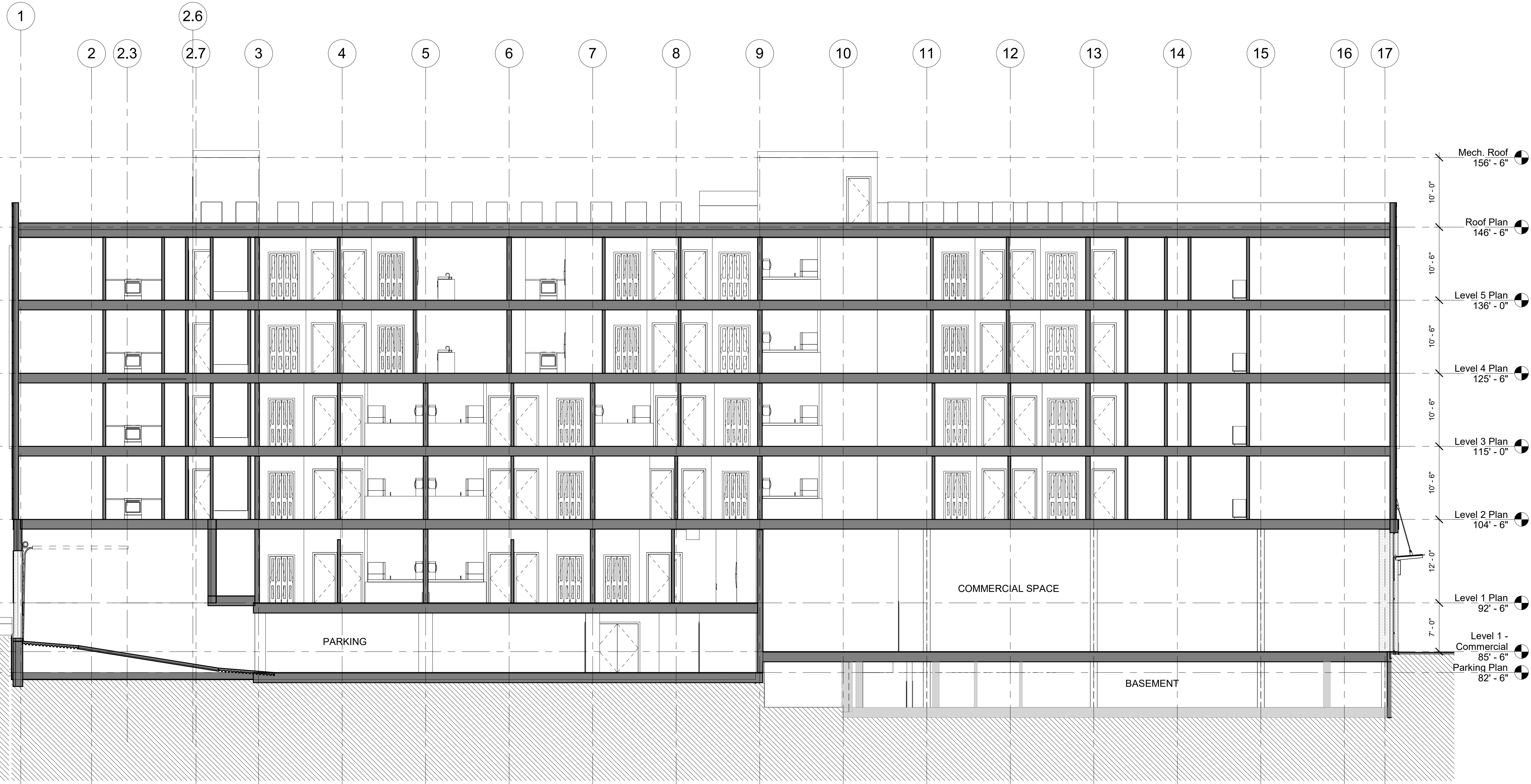
10/25/2021



Drawing No.

A114

© copyright DHK Architects, Inc.



① SECTION FACING WEST_P
1/8" = 1'-0"

1/16"=1' 0 8 16 24 32ft

1/8"=1' 4 0 4 8 12 16ft

1/4"=1' 2 0 2 4 6 8ft

1/2"=1' 1 0 1 2 3 4ft

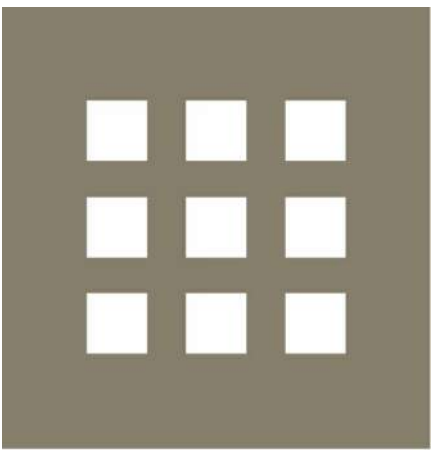
3/4"=1' 1 0 1 2ft

1"=1' 1 0 1ft

1 1/2"=1' 0 1 2ft

3"=1' 0 1 3ft

If this sheet is less than 22"x34" in size, it has been reduced. Graphic scales must be adjusted accordingly.



DHK

ARCHITECTS

54 Canal Street
2nd Floor
Boston, MA 02114
617-267-6408
Fax 617-267-1990

Prepared for:

ALINEA CAPITAL
PARTNERS, LLC

Project:

"10 @ 8TH STREET"
APARTMENTS
278 UNION STREET
NEW BEDFORD, MA
PERMIT SET
(PROGRESS)

NOT FOR CONSTRUCTION

Title
SECTION THROUGH
ABUTTING BUILDING
FACING NORTH

Scale
As indicated

File Name

Drawn By

Checked By

Job No.

Date

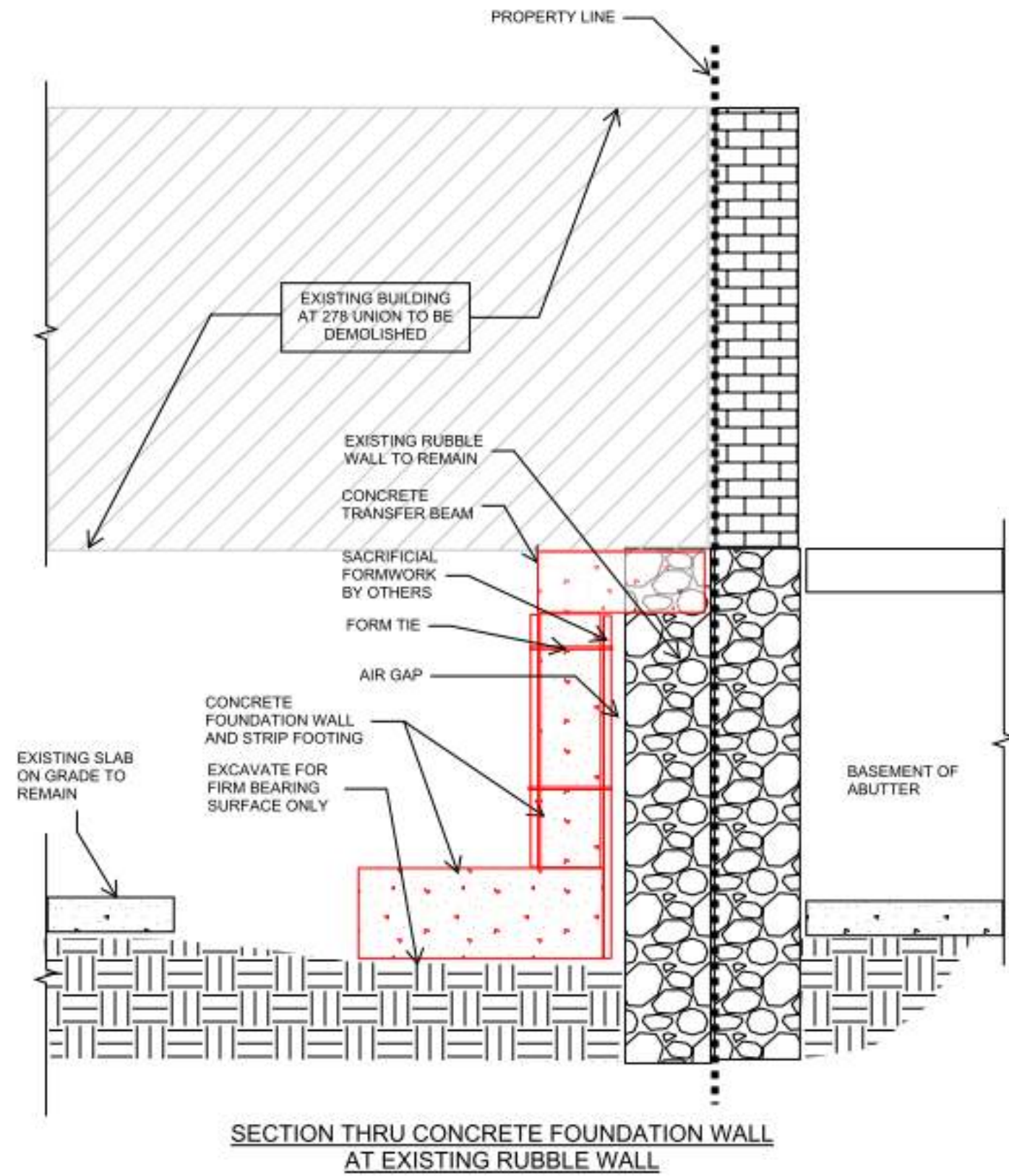
10/25/2021



Drawing No.

A115

© copyright DHK Architects, Inc.



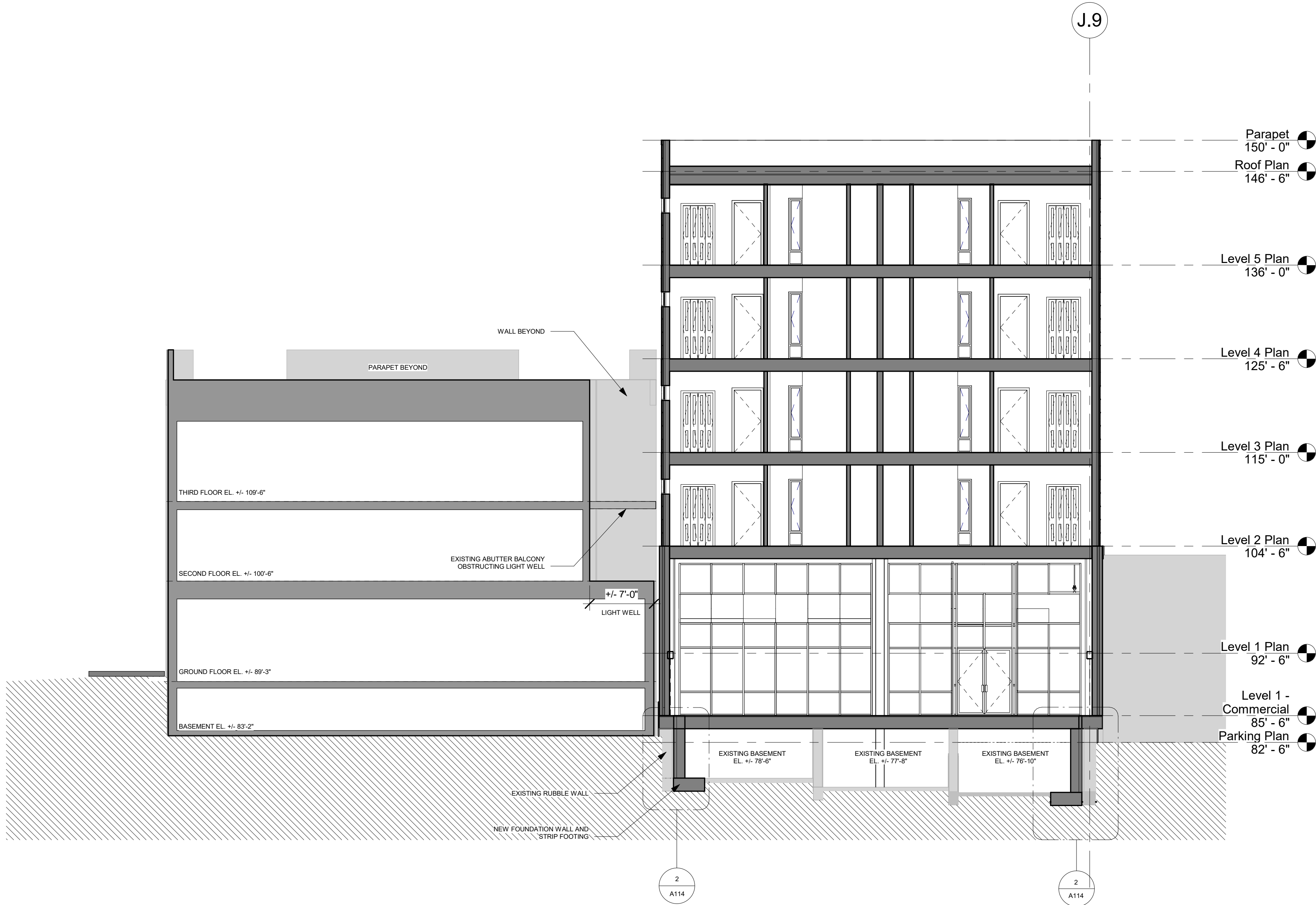
CONCEPTUAL. FOR DISCUSSION ONLY.
NOT FOR CONSTRUCTION.

Thornton Tomasetti
BY: ADL DATE: 10/11/2021

PROJECT: 278 UNION ST - THE CARAVELA
SUBJECT: WALL AT EXIST FOUNDATIONS
REFERENCE: Q21101.00

SSK-001

2 WALL AT EXISTING FOUNDATIONS
1/2" = 1'-0"



1 SECTION THROUGH ABUTTING BUILDING FACING NORTH
1/8" = 1'-0"