GENERAL NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK. ALL EXISTING CONTROL POINTS AND BENCHMARKS HAVE BEEN PROVIDED ON THE EXISTING CONDITIONS PLANS. ANY ADDITIONAL CONTROL POINTS SHALL BE ESTABLISHED AND MAINTAINED BY THE CONTRACTOR.
- 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS, AND CITY STANDARDS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A COPY OF THE CITY STANDARDS AND REGULATIONS FOR USE ON THIS PROJECT.
- 3. BARRICADING, TRAFFIC CONTROL, AND PROJECT SIGNS SHALL CONFORM TO ALL STATE, LOCAL REGULATIONS. AREA ADJACENT TO THE PROJECT SITE WILL BE IN USE DURING CONSTRUCTION AT VARIOUS TIMES. THE CONTRACTOR WILL PROVIDE ADEQUATE CONSTRUCTION FENCING DURING EACH PHASE OF THE PROJECT TO FULLY SECURE THE PROPOSED SITE SUBJECT TO OWNER APPROVAL. THE FENCING MAY NEED ADJUSTMENT AT VARIOUS TIMES WITHOUT CONTRACT MODIFICATION.
- 4. THE GENERAL CONTRACTOR SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS AND/OR CONNECTION FEES REQUIRED.
- 6. GENERAL CONTRACTOR SHALL COORDINATE WITH OTHER TRADES AS APPLICABLE INCLUDING BUT NOT LIMITED TO ELECTRICAL, LIGHTING, AND GAS. THE CONTRACTOR ACKNOWLEDGES THAT ANOTHER CONTRACTOR WILL BE A UNDER A SEPARATE CONTRACT. THE CONTRACTOR WILL COORDINATE HIS EFFORTS IN GOOD FAITH, AND WORK IN HARMONY WITH THE OTHER CONTRACTOR. NO EXTRA WILL BE AWARDED DUE TO CONFLICTS BETWEEN CONTRACTORS.
- 7. SUBSTITUTIONS AND APPROVAL OF "OR-EQUAL" PRODUCTS IN PLACE OF THOSE SPECIFIED WILL NOT BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER OR ENGINEER.

GENERAL UTILITY NOTES

- 1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORD PLANS AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- 2. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- 3. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
- 4. TRENCH EXCAVATIONS SHALL BE IN ACCORDANCE WITH ALL PROVISIONS OF OSHA PART 1926, SUBPART P -'EXCAVATIONS, TRENCHES AND SHORING OF THE OCCUPATIONAL SAFETY AND HEALTH'S STANDARDS AND NECESSARY TRENCH SAFETY PLANS TO THE ENGINEER AND CITY FOR REVIEW PRIOR TO COMMENCING CONSTRUCTION.
- 5. ALL DRAIN, WATER AND SANITARY SEWER PIPES INSTALLED WITHIN 10 FEET OF THE BUILDING (BY OTHERS) MUST BE PERMITTED AND INSTALLED BY A MASSACHUSETTS LICENSED PLUMBER.
- 6. CONTRACTOR SHALL VERIFY ALL EXISTING INVERTS AND RIM ELEVATIONS PRIOR TO CONSTRUCTION.
- 7. THE CONTRACTOR SHALL ADJUST ALL UTILITY CASTINGS TO BE FLUSH WITH PROPOSED GRADE UNLESS OTHERWISE INDICATED ON PLAN.
- 8. THE CONTRACTOR SHALL FIELD COORDINATE WITH THE ELECTRICAL ENGINEER TO DETERMINE EXACT POINT OF SERVICE CONNECTION. REFER TO THE SITE ELECTRICAL DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
- 9. CONTRACTOR SHALL PARGE LIFTING HOLES ON ALL CONCRETE STRUCTURES.

GRADING NOTES

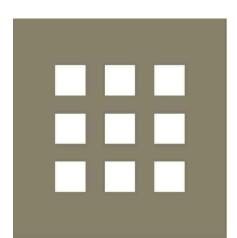
- 1. ALL GRADING SHALL MEET THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AND LOCAL BUILDING AND ACCESSIBILITY CODES. IN GENERAL, GRADING OF SIDEWALKS SHALL NOT EXCEED 2.0% CROSS SLOPE AND 5.0% RUNNING SLOPE, GRADING OF ADA PARKING STALLS AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ANY DIRECTION AND GRADING OF PLAZA AND GATHERING AREAS SHALL NOT EXCEED 2.0% IN ANY DIRECTION. GRADING ON SIDEWALK CURB RAMPS AND OTHER ACCESSIBLE RAMPS SHALL NOT EXCEED 8.0%. ALL AREAS SHALL PROVIDE POSITIVE DRAINAGE AS TO NOT POOL WATER, MINIMUM SLOPES SHALL BE 1.0% UNLESS OTHERWISE NOTED.
- 2. ALL PROPOSED CONTOURS ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGN GRADIENT ARE TO BE USED IN THE EVENT OF ANY DISCREPANCIES.
- 3. GRADING SHALL BE PERFORMED TO ALLOW WATER TO FLOW AWAY FROM BUILDING STRUCTURES, AND TO NOT ALLOW PUDDLING OF WATER ANYWHERE ON SITE.
- 4. MINOR ADJUSTMENTS TO FINISH GRADES TO ACCOMPLISH DRAINAGE FLOW ARE ACCEPTABLE, IF NECESSARY, UPON PRIOR APPROVAL OF ENGINEER.
- 5. NEW PAVEMENT SHALL BE FLUSH AT ANY JUNCTURE WITH EXISTING PAVEMENT.
- 6. ALL EXCAVATIONS SHOULD BE STABILIZED BY CUTTING BACK SIDE SLOPES OR USING SHORING AND BRACING AS REQUIRED. ALL EXCAVATION AND SHORING SHALL BE DONE IN ACCORDANCE WITH OSHA STANDARDS AND MGL CH. 149 SECT. 129A.
- 7. ANY DEWATERING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. DISCHARGE OF SILTY OR OTHERWISE "DIRTY" WATER INTO DRAINAGE SYSTEM OR ANY BODY OF WATER, WETLAND OR RESOURCE AREA SHALL NOT BE PERMITTED.

DEMOLITION NOTES

- DEMOLITION TO COMPLY WITH GOVERNING EPA NOTIFICATION REGULATIONS BEFORE STARTING SELECTIVE DEMOLITION. THE CONTRACTOR SHALL COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
- THE OWNER MAY OCCUPY PORTIONS OF THE BUILDING IMMEDIATELY ADJACENT TO SELECTIVE DEMOLITION AREAS. CONDUCT SELECTIVE DEMOLITION SO THAT OWNERS'S OPERATIONS WILL NOT BE DISRUPTED. PROVIDE NOT LESS THAN 72 HOURS NOTICE TO OWNER OF ACTIVITIES (IF ANY) THAT MAY AFFECT THEIR OPERATIONS.
- 3. SURVEY THE CONDITION OF THE SITE TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN UNDESIRABLE DAMAGE OF ANY PORTION OF ADJACENT FACILITIES DURING SELECTIVE DEMOLITION.
- 4. MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS.
- 5. CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, PARKING LOTS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES.
- 6. CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS, FACILITIES, AND SITE IMPROVEMENTS TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE AROUND SELECTIVE DEMOLITION AREA.
- 7. USE WATER MIST AND OTHER SUITABLE METHODS TO LIMIT THE SPREAD OF DUST AND DIRT. COMPLY WITH GOVERNING ENVIRONMENTAL PROTECTION REGULATIONS.
- 8. THE CONTRACTOR SHALL SUBMIT A DUST CONTROL PLAN TO THE MUNICIPALITY WHICH SHALL INCLUDE PROVISIONS OF STREET SWEEPING OF SURROUNDING ROADWAYS AND TRUCK WASHING TO MINIMIZE THE TRANSPORT OF DEBRIS ON HAUL ROUTES.
- 9. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.
- 10. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE START OF SELECTIVE DEMOLITION.
- 11. DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AND AS INDICATED. CONTRACTOR TO BE RESPONSIBLE FOR ANY CUTTING AND PATCHING THAT IS REQUIRED.
- 12. PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE.
- 13. BURNING IS PROHIBITED ON SITE.
- 14. TRANSPORT DEMOLISHED MATERIALS OFF OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM, IF NOT DESIGNATED TO BE SALVAGED BY THE OWNER OR REUSED.
- 15. IN AREAS WHERE BITUMINOUS CONCRETE IS TO BE REMOVED, THE EDGE OF ANY BITUMINOUS CONCRETE TO REMAIN MUST BE A CLEAN SAW-CUT EDGE.

EROSION CONTROL NOTES

- 1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH STATE REGULATIONS AND ALL CITY REGULATIONS AND PERMIT CONDITIONS.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK OR EARTHWORK OPERATIONS, AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- 3. STOCKPILES SHALL BE SURROUNDED ON THEIR PERIMETERS WITH STAKED SILTATION FENCES TO PREVENT AND/OR CONTROL SILTATION AND EROSION. OTHERWISE SPOIL MATERIAL SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND DISPOSED OF LEGALLY AND IN CONFORMANCE TO ALL CITY REGULATIONS.
- 4. ALL EROSION CONTROL MEASURES SHALL BE ROUTINELY INSPECTED, CLEANED AND REPAIRED OR REPLACED AS NECESSARY THROUGHOUT ALL PHASES OF CONSTRUCTION. IN ADDITION, INSPECTION SHALL TAKE PLACE AFTER EACH RAINFALL EVENT AND BEFORE FORECASTED RAIN.
- 5. ALL SEDIMENTS MUST BE REMOVED PRIOR TO REACHING THE EXISTING DRAINAGE SYSTEMS AND/OR ANY ENVIRONMENTAL RESOURCE AREAS.
- 6. THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES EXTRA SILTATION FENCING FOR INSTALLATION AT THE DIRECTION OF THE ENGINEER OR THE OWNER TO MITIGATE ANY EMERGENCY CONDITION.
- THE AREA OR AREAS OF ENTRANCE AND EXIT TO AND FROM THE SITE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED OUTSIDE OF CONSTRUCTION AREA MUST BE REMOVED IMMEDIATELY.
- 8. EROSION CONTROL DEVICES MAY BE ADDED OR REDUCED IN THE FIELD AS DIRECTED BY THE OWNER/ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR REESTABLISHING ANY EROSION CONTROL DEVICE WHICH THEY DISTURB. THE CONTRACTOR SHALL NOTIFY THE OWNER/ENGINEER OF ANY DEFICIENCIES IN THE ESTABLISHED EROSION CONTROL MEASURES WHICH MAY LEAD TO UNAUTHORIZED DISCHARGE OR STORM WATER POLLUTION, SEDIMENTATION OR OTHER POLLUTANTS. UNAUTHORIZED POLLUTANTS INCLUDE, BUT ARE NOT LIMITED TO, EXCESS CONCRETE DUMPING OR CONCRETE RESIDUE, POINTS, SOLVENTS, GREASES, FUEL AND LUBE OIL, PESTICIDES, AND SOLID WASTE MATERIALS.



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Prepared for:

CITY OF NEW BEDFORD DEPARTMENT OF PUBLIC INFRASTRUCTURE

1	10/25/21	REVISIONS PER DPI COMMENTS
No.	Date	Revision

Project:

"10 @ 8TH STREET" APARTMENTS

> 278 UNION STREET NEW BEDFORD. MA

PERMIT SET (PROGRESS)

CIVIL NOTES

NOT FOR CONSTRUCTION

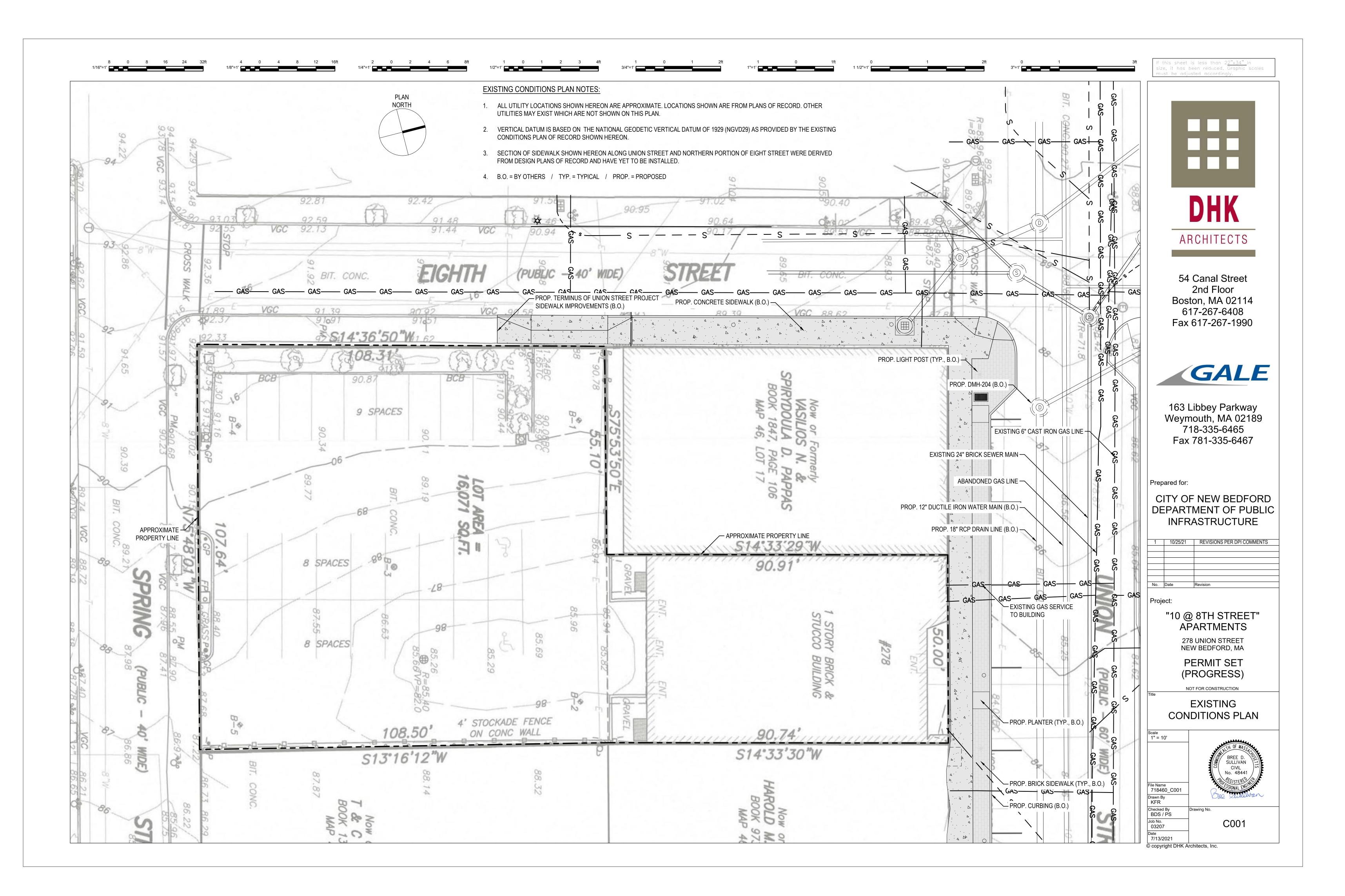
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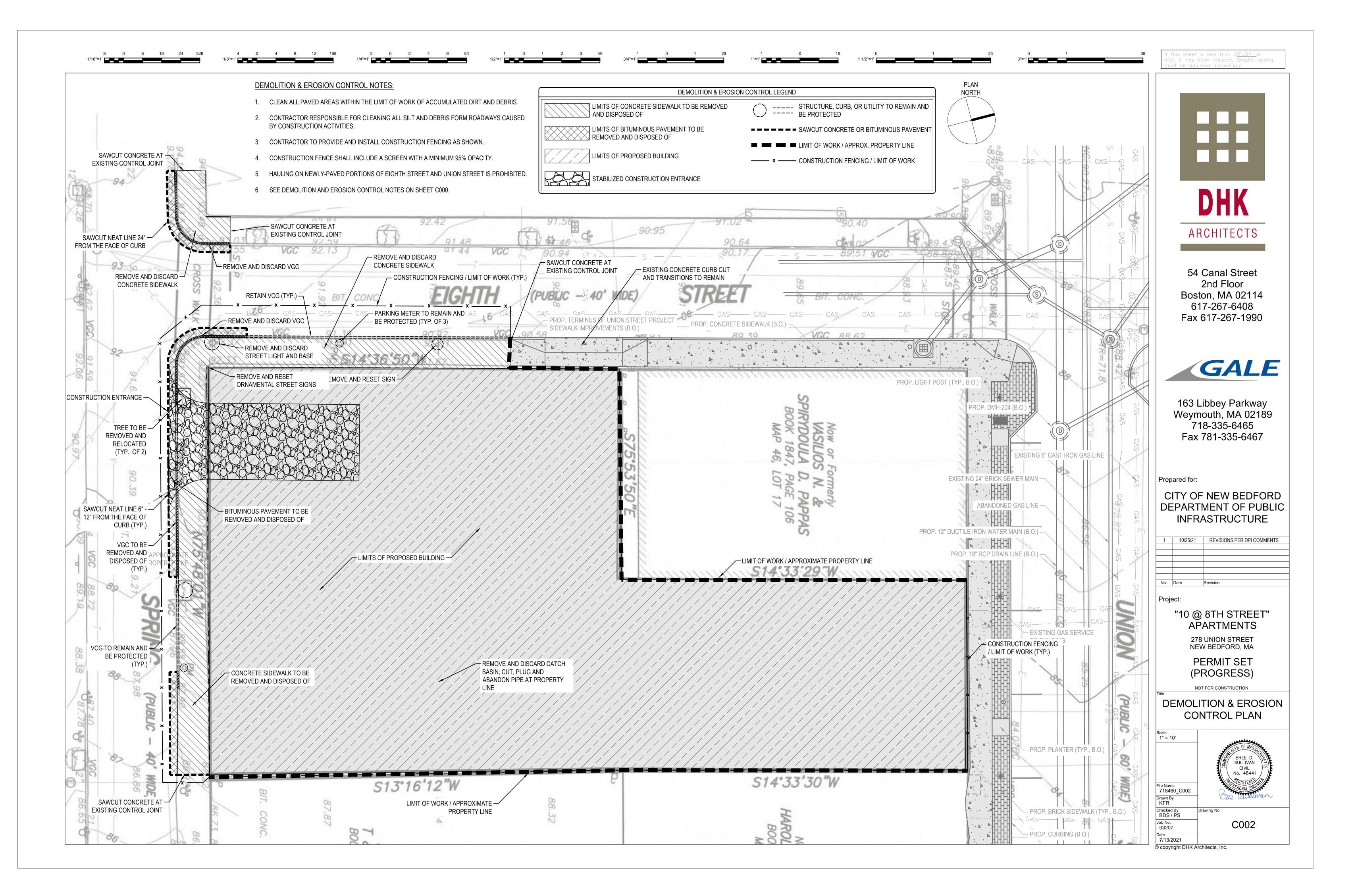
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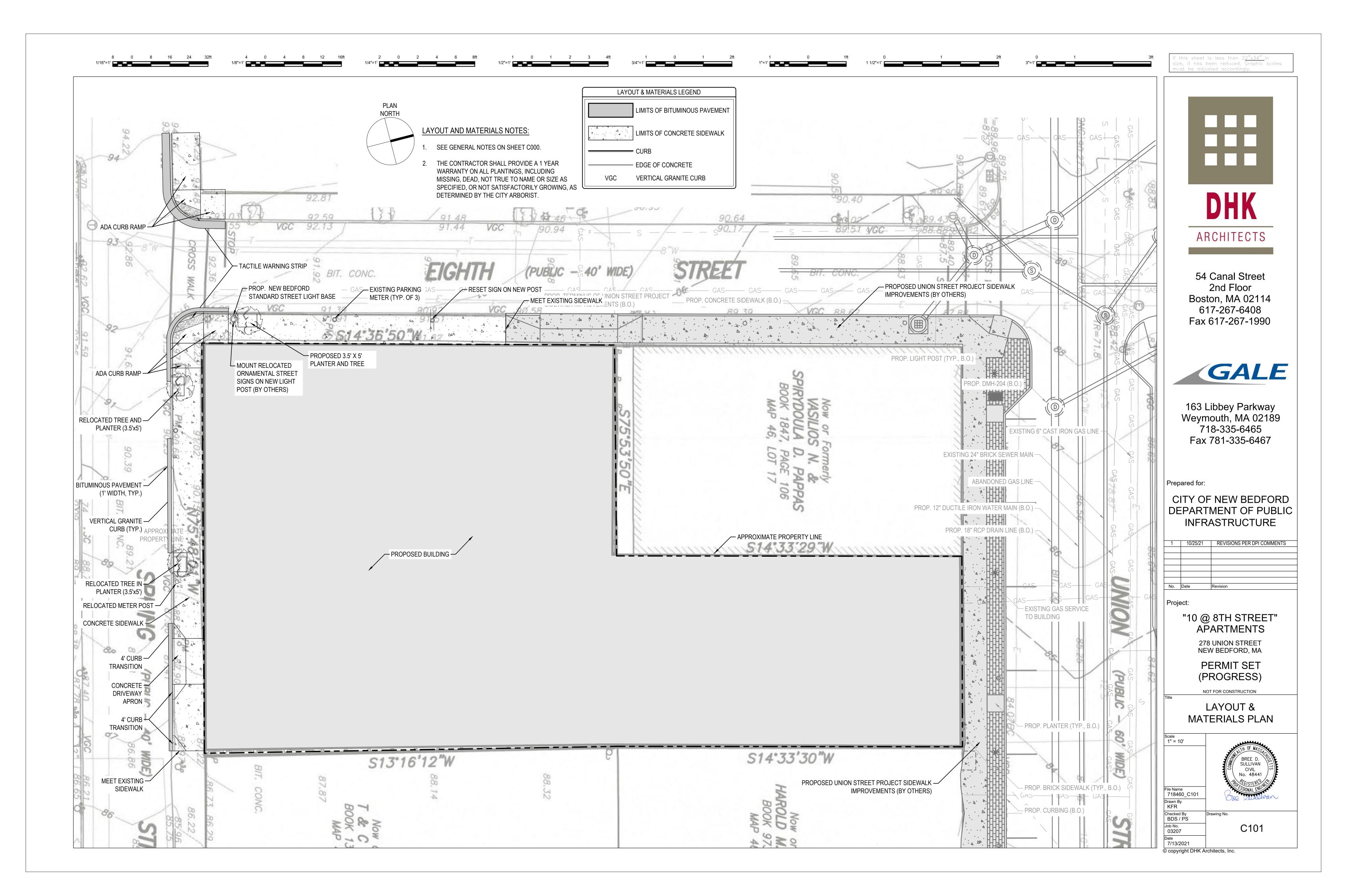
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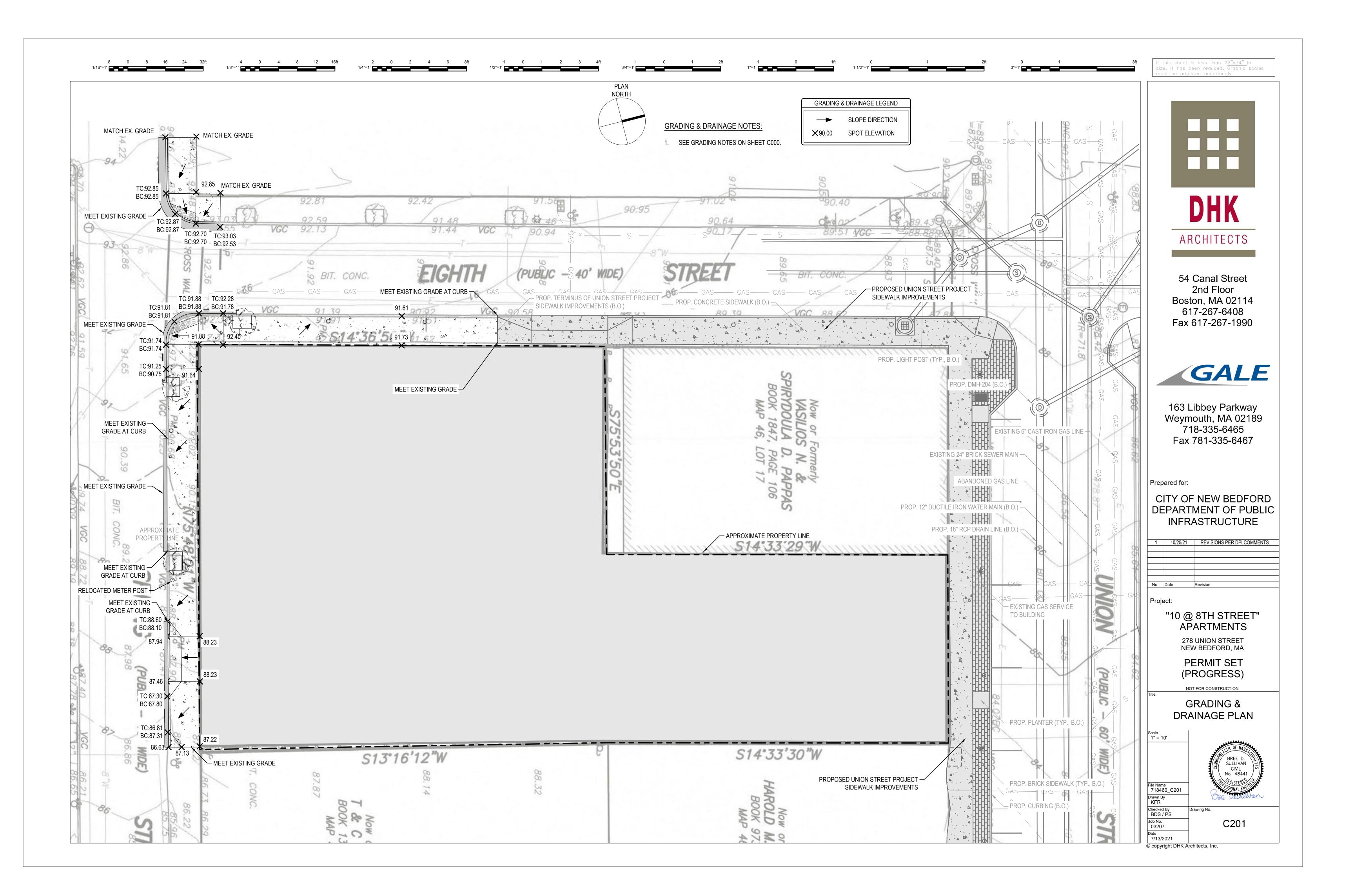
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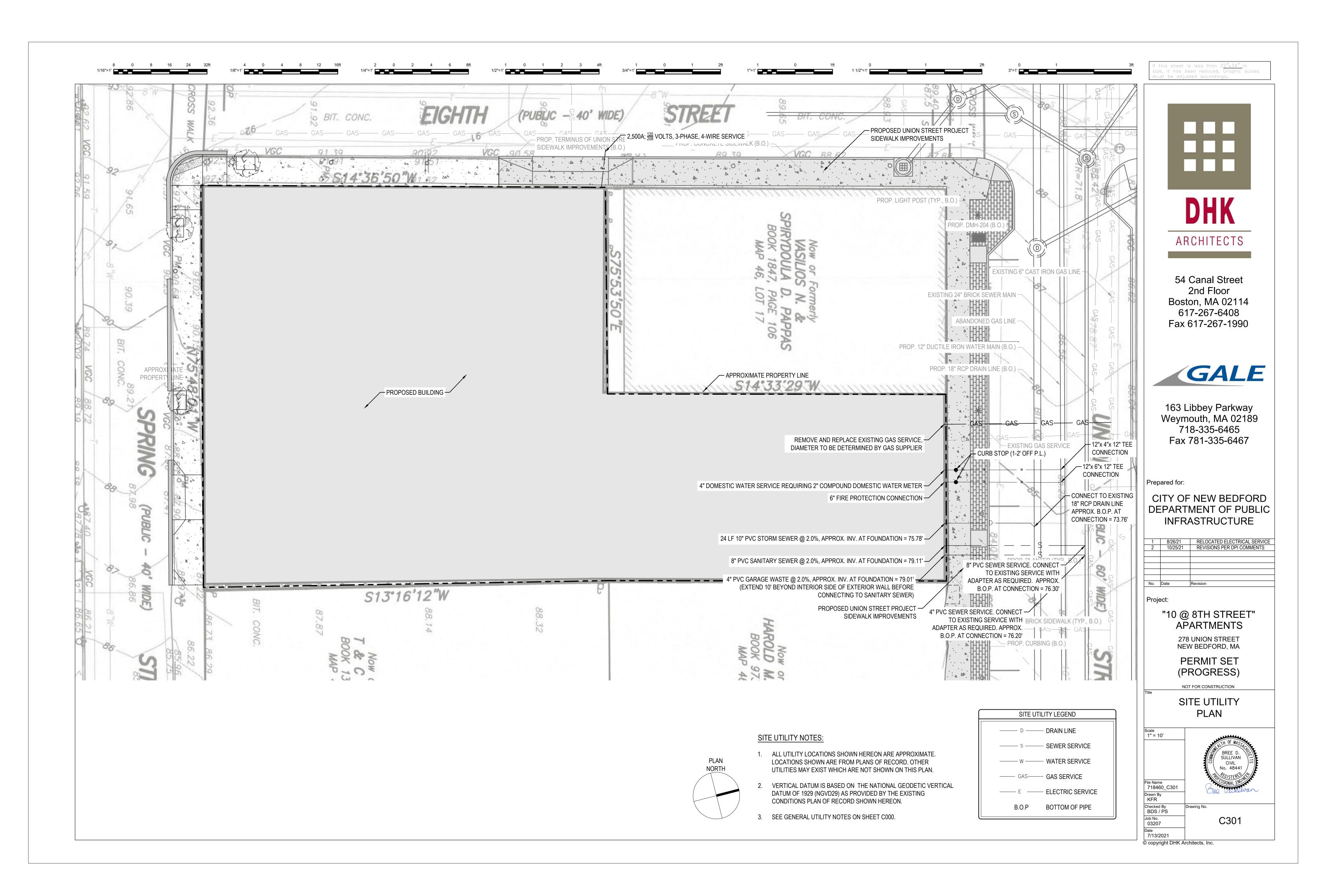
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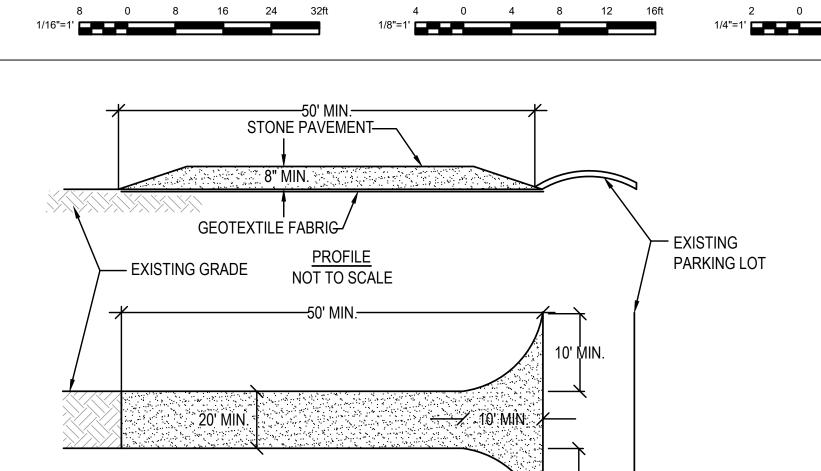












NOTES:

1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.

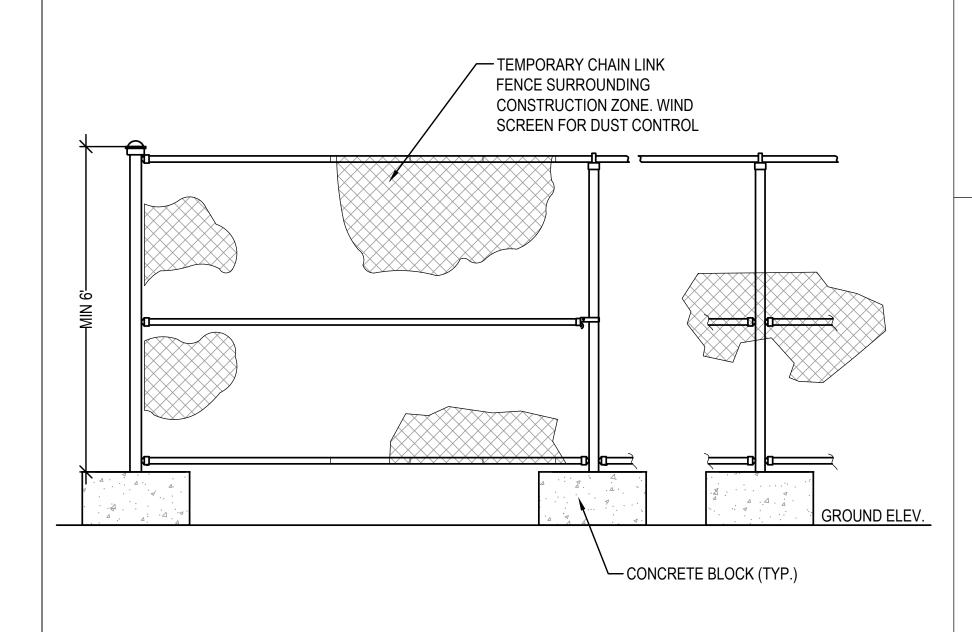
PLAN VIEW

NOT TO SCALE

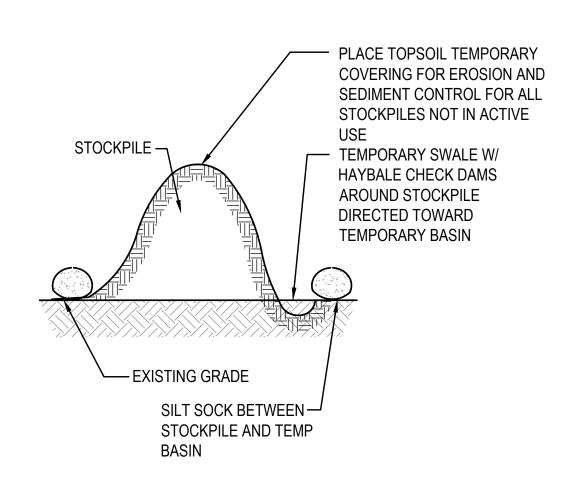
- 2. LENGTH NOT LESS THAN 40 FEET.
- 3. THICKNESS NOT LESS THAN (8) INCHES.
- WIDTH TWENTY (20) MINIMUM. BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- 5. GEOTEXTILE FABRÍC WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. GEOTEXTILE FABRIC SHALL BE MIRIFI 500X WOVEN FABRIC OR APPROVED EQUAL.
- 6. SURFACE WATER ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- 7. MAINTENANCE THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED. DROPPED, WASHED OR TRACKED ONTO PUBLIC
- RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

 8. WHEN WASHING IS REQUIRED. IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

1 STABILIZED CONSTRUCTION ENTRANCE N.T.S.

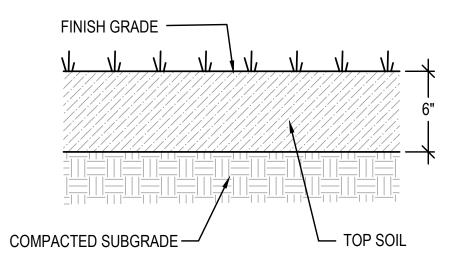


2 TEMPORARY CONSTRUCTION FENCE



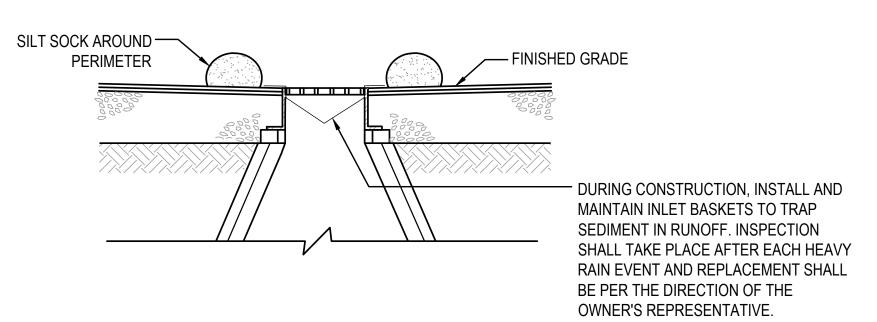
3 MATERIAL STOCKPILE AREA

1 0 1 2 3 4ft

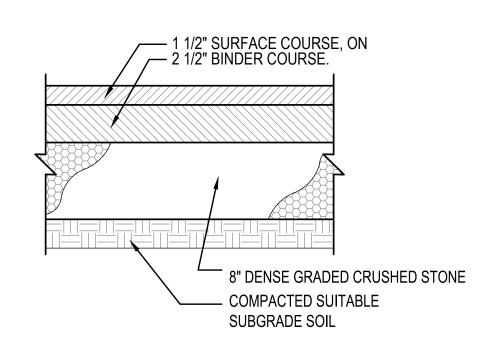


4 LOAM & SEED (DISTURBED AREAS)

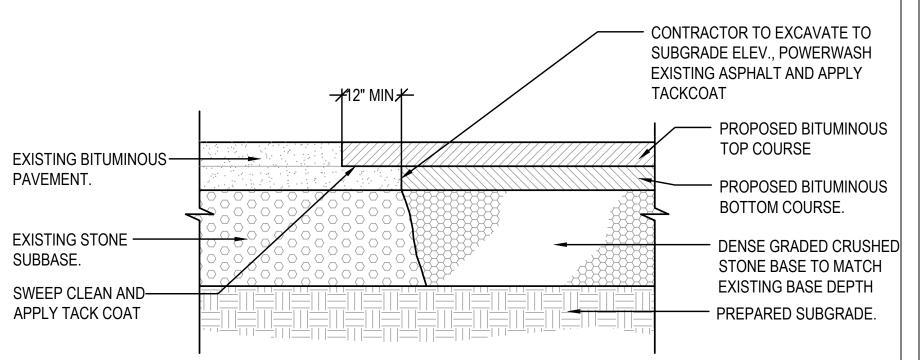
N.T.S.



5 INLET PROTECTION / SILT SACK

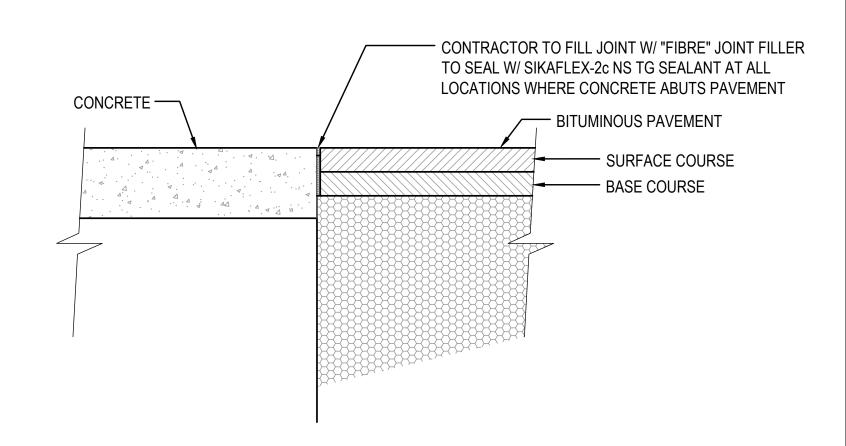


6 DRIVEWAY PAVEMENT SECTION
N.T.S.



7 PAVEMENT JOINTING DETAIL

N.T.S.



TYPICAL CONCRETE TO
PAVEMENT DETAIL (ALL CASES)



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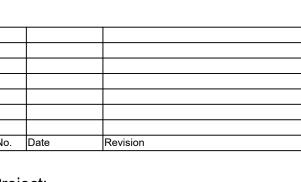
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7/13/2021

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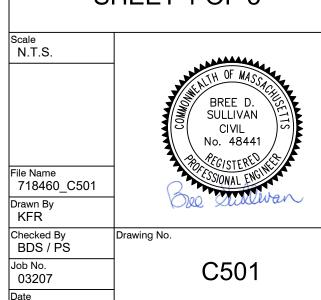
"10 @ 8TH STREET" APARTMENTS

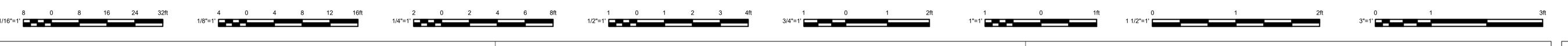
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PERMIT SET (PROGRESS)

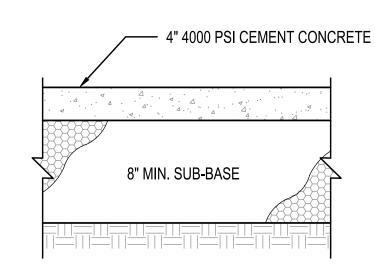
CIVIL DETAIL SHEET 1 OF 3

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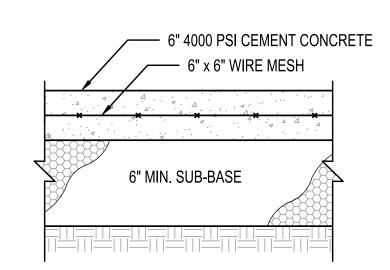
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NOTES:

- 1. SUB-BASE TO BE TYPE B GRAVEL BORROW (M1.03.0) OR DENSE-GRADED CRUSHED STONE (M2.01.7).
- 2. CEMENT CONCRETE TO BE 4,000 PSI, AIR-ENTRAINED, WITH A $4\frac{1}{2}$ " MAXIMUM SLUMP IN ACCORDANCE WITH SECTION M4.02.00.
- 3. PREFORMED EXPANSION JOINT FILLER TO BE GRAY AND CONFORM TO M9.14.0.
- 4. FLEXIBLE JOINT SEALER TO BE GRAY.

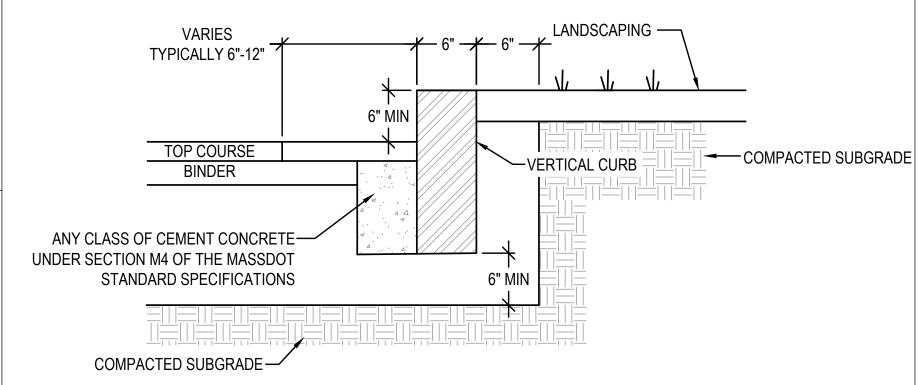
CONCRETE SIDEWALK SECTION N.T.S.



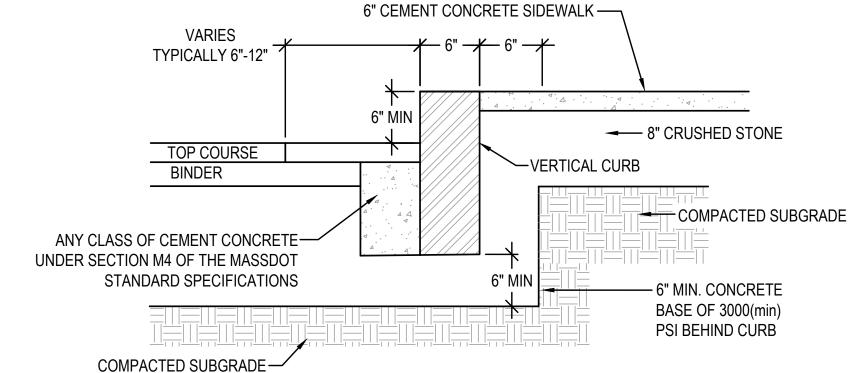
NOTES

- 1. SUB-BASE TO BE TYPE B GRAVEL BORROW (M1.03.0) OR DENSE-GRADED CRUSHED STONE (M2.01.7).
- 2. CEMENT CONCRETE TO BE 4,000 PSI, AIR-ENTRAINED, WITH A 4 ½" MAXIMUM SLUMP IN ACCORDANCE WITH SECTION M4.02.00.
- 3. PREFORMED EXPANSION JOINT FILLER TO BE GRAY AND CONFORM TO M9.14.0.
- 4. FLEXIBLE JOINT SEALER TO BE GRAY.
- 5. REINFORCING MESH OR FIBERS SHALL BE INSTALLED IN ALL COMMERCIAL DRIVEWAYS AND ALL WHEELCHAIR
- 6. REINFORCING MESH SHALL BE 6" x 6" 10-GAUGE WELDED WIRE MESH.

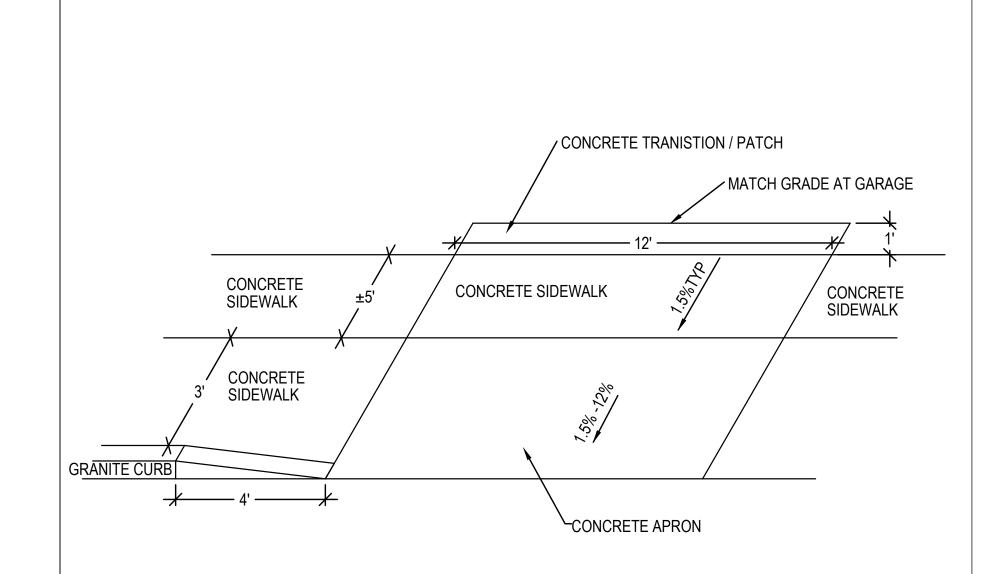
CONCRETE SIDEWALK SECTION AT DRIVEWAYS AND WHEELCHAIR RAMPS N.T.S.



VERTICAL GRANITE CURB (AT LANDSCAPING)



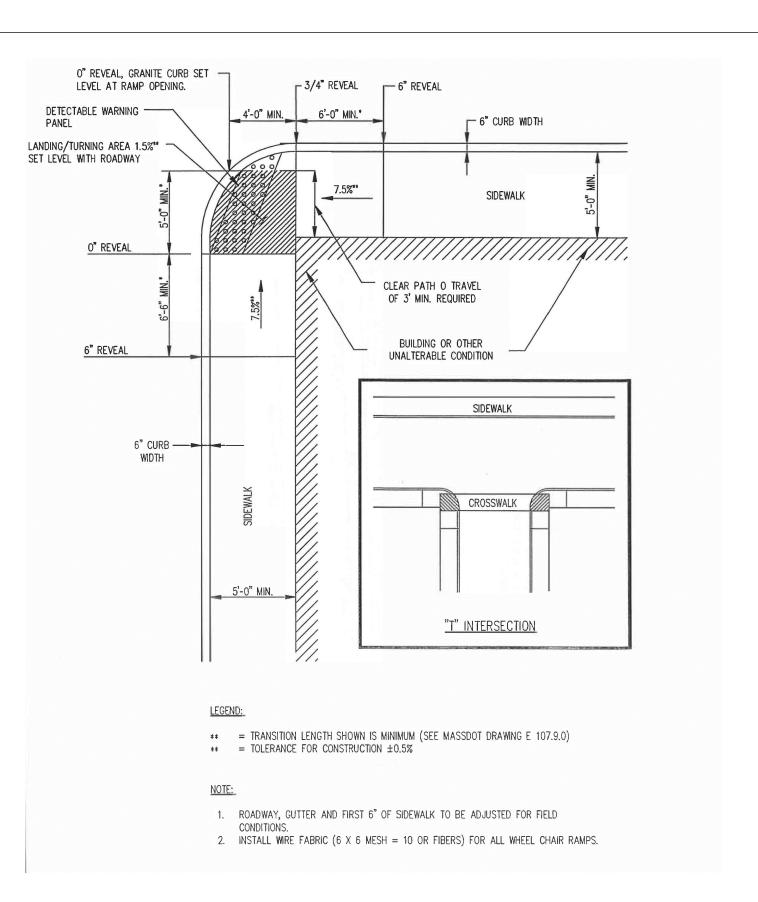
4 VERTICAL GRANITE CURB (AT CONCRETE) N.T.S.



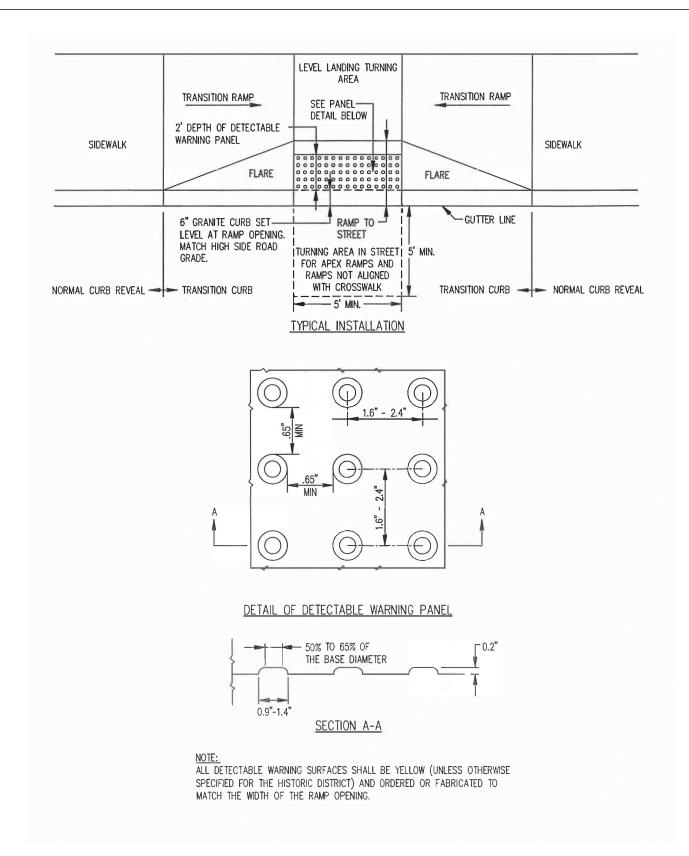
NOTE: INSTALL WIRE FABRIC (6 X 6 MESH = 10 OR FIBERS)

5 TYPICAL DRIVEWAY APRON

N.T.S.



6 "T" INTERSECTION WHEELCHAIR RAMP (NB DPI)



DETECTABLE WARNING PANEL FOR WHEELCHAIR
RAMPS AND STANDARD RAMP TERMINOLOGY (NB DPI)

N.T.S.



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1	10/25/21	REVISIONS PER DPI COMMENTS
No.	Date	Revision

Project:

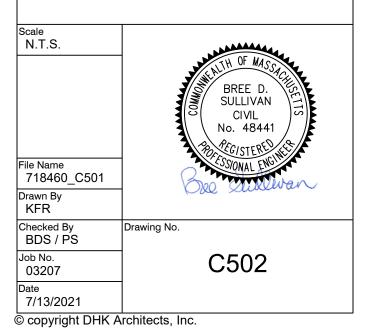
"10 @ 8TH STREET" APARTMENTS

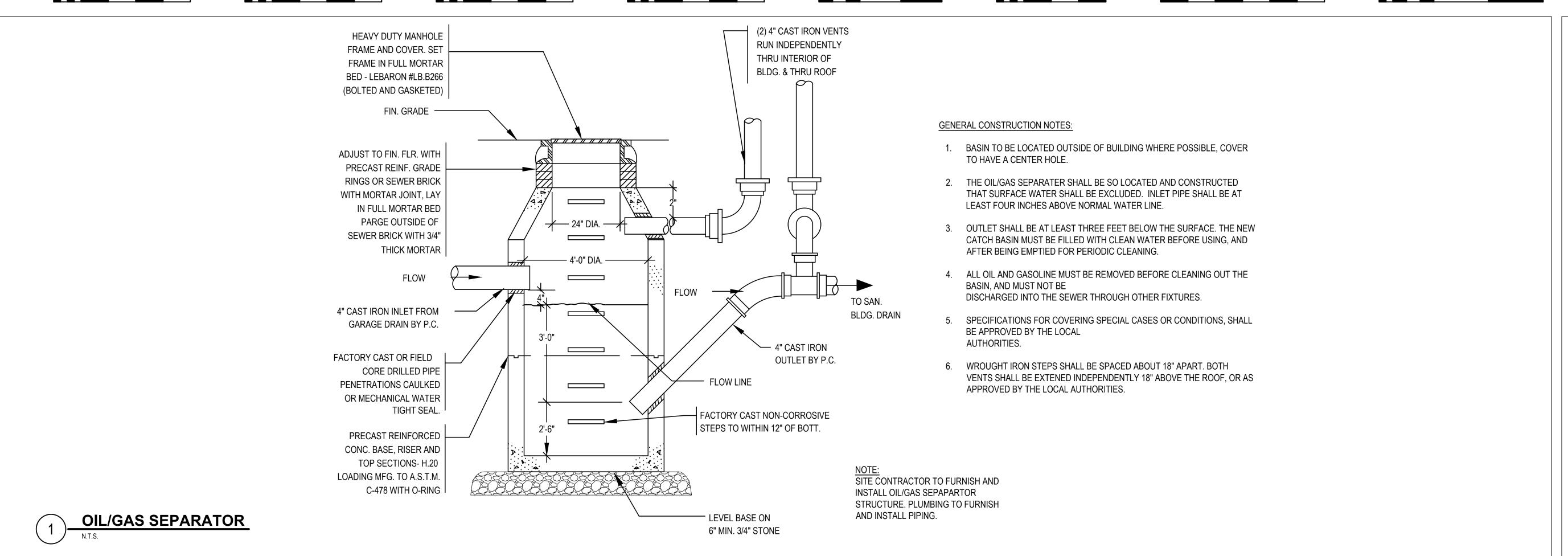
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CIVIL DETAIL SHEET 2 OF 3





1 0 1 2 3 4ft

4 0 4 8 12 16ft

2 0 2 4 6 8ft

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CIVIL DETAIL SHEET 3 OF 3

Scale N.T.S.

SULLIVAN CIVIL No. 48441

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