



# NEW BEDFORD COMMUNITY PRESERVATION COMMITTEE

## STEP II

# COMMUNITY PRESERVATION ACT PROJECT APPLICATION FY24

Project Application Deadline:

**NOVEMBER 17, 2023 by NOON**

**No late submissions will be accepted.**

Applicants must submit this application no later than Noon on Friday, November 17, 2023. *Please review the entire application packet before completing the application.*

Applications will not be accepted--regardless of project eligibility--unless the STEP I Project Eligibility Determination Form was submitted and approved by the Community Preservation Committee.

COMMUNITY PRESERVATION COMMITTEE  
Department of City Planning  
City Hall Room 303 | 133 William Street  
(508)979-1488 [cpa@newbedford-ma.gov](mailto:cpa@newbedford-ma.gov)

INTENTIONAL BLANK PAGE



CITY OF NEW BEDFORD  
**COMMUNITY PRESERVATION ACT FY24  
PROJECT APPLICATION**

**PROJECT INFORMATION – Please complete all questions**

PROJECT TITLE	New Bedford Superior Courthouse Facade Restoration	WARD	5B
PROJECT LOCATION	441-443 County Street, New Bedford, MA 02740		
LEGAL PROPERTY OWNER OF RECORD	Bristol County Commissioners		
CPA PROGRAM CATEGORY (Select relevant categories for your project)	<input type="checkbox"/> OPEN SPACE	<input checked="" type="checkbox"/> HISTORIC RESOURCE	
	<input type="checkbox"/> RECREATION	<input type="checkbox"/> HOUSING	
ESTIMATED START DATE	03.01.2023	ESTIMATED COMPLETION DATE	12.30.2023
ONE SENTENCE DESCRIPTION OF PROJECT	Rehabilitation/restoration of facade.		

**APPLICANT INFORMATION**

APPLICANT ORGANIZATION NAME	Bristol County Commissioners		
APPLICANT IS (Check only one)	<input type="checkbox"/> CITY DEPARTMENT	<input type="checkbox"/> NON-PROFIT	<input type="checkbox"/> PRIVATE GROUP/CITIZEN
CO-APPLICANT ORGANIZATION NAME (If applicable)			
CO-APPLICANT IS (Check only one)	<input type="checkbox"/> CITY DEPARTMENT	<input type="checkbox"/> NON-PROFIT	<input type="checkbox"/> PRIVATE GROUP/CITIZEN
PROJECT CONTACT PERSON	Tammy Moutinho		
MAILING ADDRESS	441 County Street, New Bedford, MA 02740		
TELEPHONE NUMBER	508.979.9505	EMAIL:	tmoutinho@countyofbristol.net

**BUDGET SUMMARY**

CPA FUNDING REQUEST (must match CPA request-line 1 of Project Budget on page 8)	\$422,972
TOTAL BUDGET FOR PROJECT	\$687,854

**SIGNATURES**

I/we attest that all information provided in this entire submission is true and correct to the best of my/our knowledge and that no information has been excluded which might reasonably affect funding. I/we authorize the Community Preservation Committee and/or the City of New Bedford to obtain verification from any source provided. I/we acknowledge and agree that a permanent restriction may be placed on the property as a condition of funding.

APPLICANT NAME (printed) Tammy Moutinho	SIGNATURE	DATE: 11.16.23
CO-APPLICANT NAME (printed)	SIGNATURE	DATE:

## Submission Checklist

The following items should be organized on your submitted flash drive in folders named for each applicable section below (e.g., Application, Financial, etc.). Please check off each item on this list if it is included in your submission packet. **Note: not all items will apply to each project.**

APPLICATION	
<input checked="" type="checkbox"/>	Application Information (page 1)
<input checked="" type="checkbox"/>	Submission Checklist (this page)
<input checked="" type="checkbox"/>	Narrative/Project Management/Category Specific Section/Financial (pages 3-7)
<input checked="" type="checkbox"/>	Project Schedule – Project Budget – Funding Sources Summary (page 8)
<input checked="" type="checkbox"/>	Construction Budget Summary – to be complete for construction projects ONLY (page 9)
<input type="checkbox"/>	Certificate of Vote of Corporation and Tax Compliance Certification (page 10) must be completed by both applicant and co-applicant. Form must be completed by authorized board member. *Certificate of Vote named person must be different person from signer of the certificate.
FINANCIAL	
<input checked="" type="checkbox"/>	1 written quote from a contractor and 1 cost estimate from an architect <b>OR</b> 2 written quotes from a contractor <b>(Quotes must be submitted with application – late submissions will not be accepted)</b>
<input checked="" type="checkbox"/>	Proof of secured funding (commitment letters or bank statements), if applicable. <b>Please redact account numbers and any sensitive information.</b>
OWNERSHIP/OPERATION (NON-CITY)	
<input type="checkbox"/>	If the applicant is not the owner, attach documentation of site control or written consent of owner to undertake the project. <i>Applications will not be reviewed without this documentation.</i>
<input type="checkbox"/>	Certificate of Good Standing (if operating as a corporation)
<input type="checkbox"/>	501(c)(3) certification (if operating as a non-profit)
<input type="checkbox"/>	Purchase & Sale agreement or copy of current recorded deed, if applicable.
COMMUNITY SUPPORT	
<input checked="" type="checkbox"/>	Letters of support from residents, community groups, city departments, boards or commissions, etc.
PLANS & REPORTS	
<i>The following plans and reports, if available, will strength your application. Submit in digital format only.</i>	
<input checked="" type="checkbox"/>	Renderings, site plans, engineering plans, design/bidding plans, specifications, and any MAAB variance requests.
<input type="checkbox"/>	Applicable reports (21E, Historic Structure Report, appraisals, survey plan, feasibility studies, etc.)
VISUAL	
<input checked="" type="checkbox"/>	Map of the property location (if applicable, show wetlands and wetland buffers, flood plain, water bodies, parks, open spaces, rails, and other features pertinent to the project). Applicants may use the City's interactive mapping website.
<input checked="" type="checkbox"/>	Photos of the project site (not more than four views per site) Digital copies <u>only</u> .
<input type="checkbox"/>	Catalog cuts (i.e. recreation equipment) if applicable.
FOR HISTORIC RESOURCE PROJECTS ONLY	
<input checked="" type="checkbox"/>	Documentation stating the project is listed on the State Register of Historic Places or a written determination from the New Bedford Historical Commission that the resource is significant in the history, archeology, architecture, or culture of New Bedford.
<input checked="" type="checkbox"/>	Photos documenting the condition of the property. Digital copies <u>only</u> .
<input type="checkbox"/>	Report or condition assessment by a qualified professional describing the current condition of the property, if available.
<input checked="" type="checkbox"/>	I/We have read the <b><i>U.S. Secretary of the Interior's Standards for the Treatment of Historic Properties</i></b> and understand that planning for and execution of this project must meet these standards.



## PROJECT NARRATIVE

### 1 GENERAL NARRATIVE (1000 Character Maximum)

- Describe the project's location, the property involved and its proposed use.
- Describe the proposed scope of work.

The New Bedford Superior Courthouse is located at 441-443 County Street New Bedford MA. This prominent institutional building is located within the County Street Historic Distric (NBE.A). The building is currently and will continue to be an active courthouse serving Bristol County.

The scope of work includes the rehabilitation of the exisiting granite stonework, installation of new granite pavers on portico deck, repair and rehabilitation of the wood pilasters, columns, bases and capitals, cornice, pediment, fascia, mouldings, trim, window frames and sashes. Repair and replacement of copper flashing, brick repointing, door restoration and door restoration.

### 2 COMMUNITY NEED (1000 Character Maximum)

- What community need(s) listed in the FY24 CPA Plan will this project address? How does the project benefit the public and what populations(s) will it serve? If it serves a population currently underserved, please describe.
- How does the project preserve and enhance the character of New Bedford?

This project will address the "historic resource" aspect of the FY24 CPA Plan. The public benefit is that the community will have a beautiful, historical, architectural structure at their disposal to enjoy and memorialize. This project preserves and protects a significant component of New Bedford's timeline to the past which, in turn, paves its future. The true character that this building exudes is classic of the true roots of the New Bedford Community. Historically this building has always been a courthouse serving all demographic populations including those under-served. The character of New Bedford is evident in the architectural design of the Superior Courthouse. It is recognized purely as it was designed in 1928 and constructed in the 1830-31.

### 3 GOALS & OBJECTIVES (1000 Character Maximum)

- Describe the project's goals and objectives. The objectives must be specific, measurable, achievable and realistic.
- How does the project meet the general and category-specific priorities outlined in the Community Preservation Plan or other current relevant planning documents?

The goal to not only rejuvenate the aesthetic appeal, but also restore and rehabilitate the integrity of the structure will only increase safety and assure the long-term stability of the historic structure.

This project meets the general and historic preservation category-specific priorities as it will focus on a historical courthouse which, in accordance with the '24 CPA Plan, is a threatened class of historic resources.

#### 4 MEASURING SUCCESS (1000 Character Maximum)

- *How will the success of this project be measured?*

Once restored, the aesthetic appeal with the strong symbolic facade features combined as being the Superior Courthouse will retain its captivating civic presence for the public, tourist, and historians. The building is located on a heavily traveled street, both vehicular and by pedestrians. The rejuvenation will certainly attract attention while providing a sense of pride for County Street Historic District and the City of New Bedford.

#### 5 COMMUNITY SUPPORT (1000 Character Maximum)

- *Explain the level of community support this project has received. If possible, please include letters of support from any groups or individuals who have endorsed this project.*

Two (2) letters of support attached:  
City of New Bedford Historical Commission  
Massachusetts Trial Courts

#### 6 CRITICAL NEED (1000 Character Maximum)

- *Is this project of an urgent nature?*
- *Is there a deadline or factors not controlled by the applicant (i.e. opportunity for immediate acquisition, opportunity to leverage available non-CPA grant or other financial opportunity)?*
- *For historic resource applications only, is the property at risk for irreparable loss? If so, please include a condition assessment from a qualified professional if available.*

1) The existing conditions of the building are deteriorated, and do require repairs. However, no known urgent repairs for life safety or concerns for immediate failure of elements are not part of this project.

2) If work could be completed by June 15, 2024 there would be the possibility of \$100,000 that would be committed by the Massachusetts Trial Court.

3) The existing conditions as they stand are sound enough to be repaired or replaced in kind, by matching significant items. Conditions are not to a point of irreparable loss.

## PROJECT MANAGEMENT

### 1 APPLICANT INFORMATION (1000 Character Maximum)

- Describe applicant. Is applicant a public entity, private non-profit, private for-profit, an individual, a partnership, or another type of entity? What is their history and background?
- Identify and describe the roles of all participants (applicants, architects, contractors, etc.) including the project manager.
- Describe any past projects of similar type and scale, or experience that demonstrates the applicant's ability to carry out this project.

The applicant is a County entity. Bristol County owns seven (7) buildings, six (6) of which are historical. The buildings are located in New Bedford (New Bedford Superior Courthouse, New Bedford Registry of Deeds, New Bedford 3rd District Courthouse), Taunton (Superior Courthouse & the Registry of Deeds), Attleboro (District Courthouse) and Fall River (the former Superior Courthouse). The Bristol County Facilities Superintendent will oversee and solicit the general contractor for this project. The architect, Robinson, Green & Barretta (RGB), have completed the feasibility study and will continue as the designer on this project. The Facilities Director has overseen several historical projects in her former position as Project Manager and acting Director of Facilities for the City of Fall River (several roofs, water infiltration, boiler replacement, building restoration, wall restoration, feasibility studies) always utilizing a designer that is knowledgeable and savvy in historic restoration.

### 2 PROJECT FEASIBILITY (1000 Character Maximum)

- List and explain further actions or steps required for completion of the project, such as environmental assessments, zoning or other permits and approvals, agreement on terms of any required conservation, affordability or historic preservation agreements, subordination agreements, and any known or potential barriers or impediments to project implementation.

No known barriers. Secretary of Interior Standards will be followed for all components of this project.

### 3 PROJECT MAINTENANCE (1000 Character Maximum)

- Please explain the long-term maintenance plan for the completed project.

This project will follow the U.S. Secretary of Interior Standards. The architect will work with the Historic Commission to ensure compliance and conformance to these standards for new work. No changes to the historic property of adding conjectural features or false architectural elements will be considered or pursued. A yearly maintenance review will be part of the buildings operation schedule, by the facility and custodial staff. Any chemical or physical cleaning methods having the potential to damage the historic materials will not be used.

## COMPLETE FOR HISTORIC RESOURCE PROJECTS ONLY

### CPA Compliance (1000 Character Maximum)

- Describe how the proposed project complies with the [U.S. Secretary of the Interior's Standards for Rehabilitation](#), as required by the CPA legislation under the definition of rehabilitation.
- Describe how the applicant will ensure compliance with these standards as the project is ongoing, including an identification of who will make historic preservation determinations.

Restoration work is to preserve, repair, and stabilize select sections of the 1830s New Bedford Superior Courthouse. This work will maintain the historic character of this property. The historic entries are publicly visible and very prominent conditions on the building. The entries will retain their character, with no removal of historical elements, either in material or form. Deteriorated historic features shall be repaired / restored prior to placement, unless deteriorated to a point such that they cannot be salvaged and retained. As encountered, all existing profiles and features will be preserved. New components will match existing items and not affect their character-defining condition. Distinctive features and construction techniques displaying craftsmanship of the time shall be preserved.

## COMPLETE FOR PROJECTS WITH ACCESSIBILITY REQUIREMENTS ONLY

### CPA Compliance (500 Character Maximum)

- Describe how the proposed project complies with the [ADA/MAAB Regulations](#).

Fortunately the Superior Court building has both interior and exterior ADA accessible routes. Via use of a ramp on the outside and a powered lift on the interior. While these items are not aesthetically appealing, they are in place and did not destroy any character defining element of the historic building.

## COMPLETE FOR COMMUNITY HOUSING PROJECTS ONLY

### CPA Compliance (500 Character Maximum)

- Describe how the proposed project complies with CPA affordability requirements (100% of AMI for New Bedford)
- Describe the number and types of units (e.g.: 1br, 2br).
- Provide a complete Development Budget and an Operating Budget (for rental properties).

## PROJECT FINANCIAL INFORMATION

### 1 FINANCIAL INFORMATION (2000 Character Maximum)

- *Describe all successful and unsuccessful attempts to secure funding and/or in-kind contributions, donations, or volunteer labor for the project. A bullet point list is acceptable.*
- *Will the project require CPA funding over multiple years? If so, provide estimated annual funding requirements.*
- *What is the basis for the total CPA request?*
- *How will the project be affected if it does not receive CPA funds or receives a reduced amount?*

The Bristol County Commissioners have agreed to fund part of this project with ARPA funds.

The Massachusetts Trial Courts are willing to contribute to this project but the fiscal year cut off versus the timing of CPA contract awards does interfere with a concrete funding commitment. The Massachusetts Trial Courts do offer many on-staff services for a variety of needs such as abatement, mechanical engineering, environmental, structural engineering etc. that are resources the County will most definitely utilize should the need arise. These services are available for this project because the Trial Court leases this County-owned building.

This project is not expected to require funding over multiple years.

The basis for the total CPA request is to complete the entire scope within the time-frame allowed under the grant agreement (preferably within one-year) in anticipation of moving into the next phase of restoration which, at this time, is anticipated to be windows for the entire structure.

Should the project not receive CPA funds or a reduced award the project will move forward at a much slower pace utilizing the funds that can be garnered, prioritizing segments of the overall project, resulting in a much slower transition of the aesthetic appeal to the historical structure and the historic County Street area.

## PROJECT SCHEDULE – PROJECT BUDGET – FUNDING SOURCE SUMMARY

### PROJECT SCHEDULE

Please provide a project timeline below, noting all project milestones. Please note the City Council must approve all appropriations of CPA funds. Grant funding will not be available for disbursement until July 1, 2024.

	ACTIVITY	ESTIMATED DATE
PROJECT START DATE:	Bid Advertising	week of July 22, 2024
PROJECT MILESTONE:	Open Bids, Descope, Contract Award	end of August 2024
50% COMPLETION STAGE:	ongoing construction	October 5, 2024
PROJECT MILESTONE:	punch list & close out items	December 1, 2024
PROJECT COMPLETION DATE:		December 31, 2024

### ANTICIPATED PROJECT BUDGET

Please include a **complete itemized budget** of all project expenses, including the proposed funding source for each expense, with your application. Note: CPA funds cannot be used for maintenance.

If the project received CPA funds in another fiscal year, please include this amount on a separate line, not on line 1.

FUNDING SOURCES		EXPENSES				
		STUDY	SOFT COSTS*	ACQUISITION	CONSTRUCTION**	TOTAL
1	NEW BEDFORD CPA FY24***	\$	\$	\$	\$422,972	\$422,972
2	Bristol County Commissioners	\$	\$	\$	\$264,882	\$264,882
3	design/professional cost	\$	\$29,500	\$	\$	\$ 29,500
4	Preservation Restriction	\$	\$105	\$	\$	\$ 105
5		\$	\$	\$	\$	\$
6		\$	\$	\$	\$	\$
7		\$	\$	\$	\$	\$
TOTAL PROJECT COSTS		\$	\$ 29655	\$	\$ 687854	\$ 717,509

\* Soft costs include design, professional services, permitting fees, closing costs, legal, etc.

\*\* Construction refers to new construction, rehabilitation, preservation, restoration work, and/or accessibility related expenses.

\*\*\*New Bedford CPA (Line 1) amount should match the amount requested on the application cover page.

### ANTICIPATED FUNDING SOURCE SUMMARY

Please explain the current status of each funding source (i.e., submitting application on X date, applied on X date, received award notification on X date, funds on hand, etc.). For sources where funding has been awarded or funds are on hand, please include documentation from the funding source (e.g., commitment letter, bank statement) in application packet.

FUNDING SOURCE		STATUS OF FUNDING
1	Bristol County Commission	commitment letter attached
2		
3		
4		
5		
6		
7		

**CONSTRUCTION BUDGET**  
To be completed for construction projects only

ACTIVITY	CPA FUNDS	OTHER FUNDS	TOTAL
<b>Acquisition Costs</b>			
Land	\$	\$	\$
Existing Structures	\$	\$	\$
Other acquisition costs	\$	\$	\$
<b>Site Work (not in construction contract)</b>			
Demolition/clearance	\$	\$	\$
Other site costs	\$	\$	\$
<b>Construction/Project Improvement Costs</b>			
New Construction	\$	\$	\$
Rehabilitation	\$231,567	\$235,277	\$
Performance bond premium	\$4,668	\$	\$
Construction contingency (30%)	\$ 140,053	\$	\$
Other	46,684	\$	\$
<b>Architectural and Engineering (See Designer Fee Schedule for guidance):</b> <a href="https://www.mass.gov/files/design_fee_schedule-dsb_2015_2007.pdf">https://www.mass.gov/files/design_fee_schedule-dsb_2015_2007.pdf</a>			
Architect fees	\$	\$29,500	\$
Engineering fees	\$	\$	\$
Other A & E fees	\$	\$105	\$
<b>Other Owner Costs</b>			
Appraisal fees	\$	\$	\$
Survey	\$	\$	\$
Soil boring/environmental/LBP	\$	\$	\$
Tap fees and impact fees	\$	\$	\$
Permitting fees	\$	\$	\$
Legal fees	\$	\$	\$
Other	\$	\$	\$
<b>Miscellaneous Costs</b>			
Developer fees	\$	\$	\$
Project reserves	\$	\$	\$
Relocation costs	\$	\$	\$
<b>Project Administration &amp; Management Costs</b>			
Marketing/management	\$	\$	\$
Operating/Maintenance	\$	\$	\$
Taxes	\$	\$	\$
Insurance	\$	\$	\$
Other	\$	\$	\$
<b>TOTAL</b>	<b>\$422,972</b>	<b>\$264,882</b>	<b>\$687,854</b>

**CERTIFICATE OF VOTE OF CORPORATION AUTHORIZING  
EXECUTION OF CORPORATE AGREEMENTS**

At a meeting of the Board of Directors of \_\_\_\_\_(organization) duly called and held on \_\_\_\_\_, 20\_\_\_\_ at which a quorum was present and acting throughout, the following vote was duly adopted.

VOTED: That \_\_\_\_\_(person), the \_\_\_\_\_(title) of the corporation, be and hereby is authorized to affix the Corporate Seal, sign and deliver in the name and on behalf of the corporation, contract documents with the City of New Bedford, the above mentioned documents to include but not be limited to Bids, Proposals, Deeds, Purchase and Sales Agreements, Agreements, Contracts, Leases, Licenses, Releases and Indemnifications; and also to seal and execute, as above, surety company bonds to secure bids and proposals and the performance of said contract and payment for labor and materials, all in such form and on such terms and conditions as he/she, by the execution thereof, shall deem proper.

A TRUE COPY, ATTEST:

\_\_\_\_\_  
Name (printed)

\_\_\_\_\_  
Signature (Affix Corporate Seal)

\_\_\_\_\_  
Title

\_\_\_\_\_  
Date

=====

**TAX COMPLIANCE CERTIFICATION**

Pursuant to Chapter 62C of the Massachusetts General Laws, Section 49A(b), I, the undersigned, authorized signatory for the below named contractor, do hereby certify under the pains and penalties of perjury that said contractor has complied with all laws of the Commonwealth of Massachusetts relating to taxes, reporting of employees and contractors, and withholding and remitting child support.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Print Name

\_\_\_\_\_  
Organization name

\_\_\_\_\_  
Federal Tax ID #

\_\_\_\_\_  
Date





PLANNING DIRECTOR  
JENNIFER CARLONI

## CITY OF NEW BEDFORD DEPARTMENT OF CITY PLANNING

133 William Street • Room 303 • New Bedford, MA 02740  
508-979-1488 • [www.newbedford-ma.gov](http://www.newbedford-ma.gov)

### HISTORICAL COMMISSION

November 6, 2023

Ms. Janine da Silva, Chair  
City of New Bedford Community Preservation Committee  
133 William Street  
New Bedford, MA 02740

**Re: New Bedford Superior Courthouse**

Dear Ms. Da Silva:

On behalf of the City of New Bedford's Historical Commission, I would like to take this opportunity to offer full support of the Bristol County Commissioners in their submission of a Community Preservation Act funding application for the exterior rehabilitation of the New Bedford Superior Courthouse.

The New Bedford Superior Courthouse is the second oldest operating courthouse in the State, having been built between 1828-1831, during the height of the City's whaling era. The Courthouse was designed by renowned Providence architect Russell Warren, who was a master of the Greek Revival architectural style. This prominent institutional building is located within the County Street Historic District (NBE.A) and has both architectural and historical significance.

The City's Preservation Planner has long identified the Superior Courthouse as a preservation priority, and for several years has been in discussion with County and Courthouse officials relative to the rehabilitation needs and planning for the historic building. The proposed restoration meets all the specific Historic Preservation criteria within the FY24 CPA Plan with the goal to protect, preserve, enhance, and restore a significant historical structure through the full rehabilitation of the exterior porticos.

The Bristol County Commissioners oversee and manage numerous buildings and County budget constraints severely impact the ability of the County to undertake this important work without Community Preservation Act grant support. The Bristol County Commissioners have the expertise as well as the administrative and financial capabilities to manage the proposed project.

The New Bedford Historical Commission urges the Community Preservation Committee to give this application its utmost consideration and thanks you for the opportunity to support the continued preservation work in New Bedford.

Sincerely,

Diana Henry  
Chairman



THE TRIAL COURT OF MASSACHUSETTS  
EXECUTIVE OFFICE OF THE TRIAL COURT

John Adams Courthouse  
One Pemberton Square, 1M  
Boston, MA 02108

Jeffrey A. Locke  
Chief Justice of the Trial Court

Thomas G. Ambrosino  
Court Administrator

October 25, 2023

Tammy A. Moutinho  
Facilities Superintendent  
County of Bristol  
441 County Street  
New Bedford, Massachusetts 02470

Re: *Restoration of the New Bedford Superior Courthouse*

Dear Ms. Moutinho:

On behalf of the Massachusetts Trial Court, I am writing to urge favorable consideration for the proposal of the Bristol County Commissioners to rehabilitate the exterior of the New Bedford Superior Court.

The historic New Bedford courthouse is currently utilized for important Superior Court Department work, including jury trials. Improving the aesthetic appearance of this historic building's exterior will enhance the delivery of justice. Both court employees and court users feel better and have a sense of pride when justice is delivered in dignified settings that properly reflect the importance of an independent judicial system to our democratic society.

The Trial Court enthusiastically supports this historic preservation and renovation effort.

Sincerely,

Thomas G. Ambrosino  
Court Administrator

cc: Honorable Jeffrey A. Locke, *Chief Justice*  
Chuck O'Brien, *Director of Facilities Management & Capital Planning*

**Tammy Moutinho**

*attempt to secure  
additional funding*

**From:** Charles A O'Brien <charles.obrien@jud.state.ma.us>  
**Sent:** Tuesday, November 7, 2023 9:41 AM  
**To:** Tammy Moutinho  
**Cc:** Ronald P De Pesa; Christopher McQuade  
**Subject:** RE: NEW BEDFORD SUPERIOR AESTHETICS

Tammy

Yes, if the grant gets approved and you are able to get the work completed prior to July 1, 2024, we will commit to 100k. We will need to work with Chris on how the County craves out 100K of the schedule of work to bill the TRC for once the work is complete.

Tks  
chuck

*Charles A. O'Brien  
Director  
Facilities Management & Capital Planning  
Massachusetts Trial Courts*

*Cell: 617 507-9034*

*FM&CP... "Proud to be the Backbone of the MA Trial Court"*

**From:** Tammy Moutinho <tmoutinho@countyofbristol.net>  
**Sent:** Tuesday, November 7, 2023 8:59 AM  
**To:** Charles A O'Brien <charles.obrien@jud.state.ma.us>  
**Cc:** Ronald P De Pesa <ronald.depesa@jud.state.ma.us>  
**Subject:** RE: NEW BEDFORD SUPERIOR AESTHETICS  
**Importance:** High

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning Chuck,

Have you been able to make a determination as to whether the Trial Court will be allowed to commit to funding the New Bedford Superior Court Façade project?

I will need to submit the County's application on Thursday 10/16 (next week due to a prior commitment on Friday.

Thank you,

Tammy





JENNIFER A. SULLIVAN, ESQ.  
CLERK OF THE BOARD

MARIA V. GOMES  
COUNTY ADMINISTRATOR

*The Commonwealth of Massachusetts*  
OFFICE OF THE  
**COUNTY COMMISSIONERS OF BRISTOL COUNTY**  
P.O. BOX 208  
TAUNTON, MASSACHUSETTS 02780  
TEL: (508) 824-9681  
FAX: (508) 821-3101

COMMISSIONERS

CHAIRMAN  
PAUL B. KITCHEN  
FAIRHAVEN

JOHN R. MITCHELL  
FALLRIVER

JOHN T. SAUNDERS  
NEW BEDFORD

THE COMMONWEALTH OF MASSACHUSETTS

BRISTOL SS

At a meeting of the Bristol County Commissioners holden in Dighton for the County of Bristol on the ninth day of November A.D., 2023 by successive adjournments from the September term of the same year.

Present: Commissioner Paul B. Kitchen, Commissioner John R. Mitchell and Commissioner John T. Saunders.

Upon motion of Commissioner Mitchell, seconded by Commissioner Saunders it was voted to authorize Facilities Superintendent Tammy Moutinho to make application to the City of New Bedford for **Community Preservation Funds ('CPA')** in the amount of **\$300,000.00** for the historical restoration project at the New Bedford Superior Court. Total project estimated cost is \$564,882.00. The County will contribute \$264,882.00 for this restoration project.

\_\_\_\_\_  
Garrett R. Fregault, Esq.

A true copy,

Attest:

\_\_\_\_\_  
Assistant Clerk/Magistrate

Clerk/ Assistant Clerk

A1:K19A1:K20/ 2A1:K23A1:K42



# ***Crocker Architectural Sheet Metal Co., Inc.***

129 Southbridge Road, North Oxford, MA 01537

Phone: 508-987-9900 \* Fax: 508-987-9902

[www.crockerarchitectural.com](http://www.crockerarchitectural.com)

## **BID TRANSMITTAL**

TO: NAME: Tammy Moutinho DATE: 11/15/2023  
COMPANY: County of Bristol JOB NAME: New Bedford Superior CT  
PHONE: 508-987-9505 LOCATION: New Bedford MA  
EMAIL: [Tmoutinho@countyofbristol.net](mailto:Tmoutinho@countyofbristol.net)

FROM: **JEREMY CROCKER** [Jeremy@crockerarchitectural.com](mailto:Jeremy@crockerarchitectural.com)

### ***WORK INCLUDED***

We are pleased to provide a quote for the following work

Restoration of the NewBedrod Chouthouse entry as discussed!

General Conditions	\$197,399
--------------------	-----------

Existing Conditions	\$332,793
---------------------	-----------

Masonry	\$28,044
---------	----------

Wood plastics	\$14,756
---------------	----------

Thermal moisture protection	\$38,900
-----------------------------	----------

Finishes	\$12,875
----------	----------

Total	\$624,767
-------	-----------

### **Qualifications**

## Tammy Moutinho

---

**From:** Andrew Barkley <abarkley@rgb.net>  
**Sent:** Wednesday, November 15, 2023 4:48 PM  
**To:** Tammy Moutinho  
**Subject:** FW: New Bedford Superior Court - Entry facade estimate  
**Attachments:** 00 00 00 SPEC COVER - 1 DATE 10\_19\_2023.pdf; C2E - New Bedford Courthouse Entry Unit Prices.pdf; C2E - New Bedford Courthouse Entry.pdf; C2E - New Bedford Courthouse Entry Sub Divisions.pdf; 00 00 02 IFB #24-04, RFQ \_ NB SUPERIOR COURT ROOF - 25 OK - TM UPDATED.pdf

Respectfully,  
**Andrew Barkley**  
Principal, LEED AP, ALEP

**RGB Architects**  
50 Holden Street  
Providence, Rhode Island 02908

O: (401) 272-1730 Ext. 3110 or M: (401) 450-5212

**From:** Andrew Barkley  
**Sent:** Thursday, August 31, 2023 3:28 PM  
**To:** Tammy Moutinho <tmoutinho@countyofbristol.net>  
**Cc:** Dave DeQuattro <ddequattro@rgb.net>  
**Subject:** RE: New Bedford Superior Court - Update Spec section IFB 24-04 & Entry facade estimate

**Tammy** – Above is the updated IFB 24-04 File. And updated cover page w/ date.

**New Bedford Superior Courthouse** Entry façade cost estimate came in. This is above as well. Files marked with C2E Prefix.

Best,  
**Andrew Barkley**  
Principal, LEED AP, ALEP

**RGB Architects**  
50 Holden Street  
Providence, Rhode Island 02908

O: (401) 272-1730 Ext. 3110 or M: (401) 450-5212

**From:** Tammy Moutinho <tmoutinho@countyofbristol.net>  
**Sent:** Thursday, August 31, 2023 2:13 PM  
**To:** Andrew Barkley <abarkley@rgb.net>  
**Cc:** Dave DeQuattro <DDeQuattro@rgb.net>  
**Subject:** RE: Taunton Superior Court - Copper Roof



CONSTRUCTION COST ENGINEERING OF BOSTON

New Bedford Superior Court House, Entry Façade Renovations

23 0405

East Entry AREA: 1,928 SF North Entry Area: 655 SF

Total Work Area 2,583 SF

R O U G H D R A F T

2583 SF

Public Administration Buildings

Last Updated

Year 2023

Cost File 2023 BOSTON UNION AVERA

8/9/2023 10:36:30 AM

**Project Summary**

Division	Total		
01 General Requirements	150,533	\$58.28 /SF	32.2 %
02 Existing Conditions	266,226	\$103.07 /SF	57.0 %
04 Masonry	18,969	\$7.34 /SF	4.1 %
06 Wood, Plastics, and Composites	5,479	\$2.12 /SF	1.2 %
07 Thermal and Moisture Protection	21,639	\$8.38 /SF	4.6 %
09 Finishes	3,998	\$1.55 /SF	0.9 %
Sub Total	466,844	180.74 / SF	
Profit	46,684		
Bond	4,668		
Contingency	46,684		
Grand Total	564,882	218.69 / SF	

other

10 %

1 %

30% 30%

140,053

658,249



CONSTRUCTION COST ENGINEERING OF BOSTON

## Sub Division Summary

New Bedford Superior Court House, Entry Façade Renovations			23 0405
East Entry AREA: 1,928 SF North Entry Area: 655 SF			
Total Work Area: 2,583 SF			
ROUGH DRAFT			
2583 SF	Public Administration Buildings	Last Updated	
Year 2023	Cost File 2023 BOSTON UNION AVERA	8/9/2023 10:36:30 AM	

SubDivision	Description	Total	
<b><u>01 General Requirements</u></b>		<b><u>\$150,533</u></b>	
01 00 00	General Requirements	\$53,309	20.64 SF
01 31 00	Project Management and Coordination	\$5,170	2.00 SF
01 32 16.13	Network Analysis Schedules	\$2,200	0.85 SF
01 50 00	Temporary Facilities and Controls	\$53,784	20.82 SF
01 52 13	Field Offices and Sheds	\$1,496	0.68 SF
01 74 00	Cleaning and Waste Management	\$34,574	13.39 SF
<b><u>02 Existing Conditions</u></b>		<b><u>\$266,226</u></b>	
02 03 42	Removal and Salvage of Period Constr	\$266,226	103.07 SF
<b><u>04 Masonry</u></b>		<b><u>\$18,969</u></b>	
04 01 00	Maintenance of Masonry	\$11,306	4.38 SF
04 21 13.13	Brick Veneer Masonry	\$7,664	2.97 SF
<b><u>06 Wood, Plastics, and Composites</u></b>		<b><u>\$5,479</u></b>	
06200	FINISH CARPENTRY	\$5,479	2.12 SF
<b><u>07 Thermal and Moisture Protection</u></b>		<b><u>\$21,639</u></b>	
07 90 00	Joint Protection	\$16,943	6.56 SF



SubDivision	Description	Total	
07100	DAMPPROOFING AND WATERPROO	<b>\$4,696</b>	1.82 SF

**09 Finishes****\$3,998**

09 90 00	Painting and Coating	<b>\$3,998</b>	1.55 SF
----------	----------------------	----------------	---------

Sub Total		468,844	180.74 / SF
Profit	10 %	46,884	
Bond	1 %	4,688	
Contingency	10 %	46,884	
Grand Total		564,882	218.69 / SF



New Bedford Superior Court House, Entry Façade Renovations 23 0405  
 East Entry AREA: 1,928 SF North Entry Area: 655 SF  
 Total Work Area 2,583 SF  
 R O U G H D R A F T

2583 SF Public Administration Buildings Last Updated  
 Year 2023 Cost File 2023 BOSTON UNION AVERA 8/9/2023 10:36:30 AM

Description	Quantity	Unit	Unit Cost	Extended Cost
-------------	----------	------	-----------	---------------

## 01 General Requirements

### 01 00 00 General Requirements

General superintendent	16 WEEK	3038.05	48,609
Permit fee \$10/m	470 JOB	10.00	4,700
<b>01 00 00 General Requirements</b>			<b>53,309</b>

### 01 31 00 Project Management and Coordination

Insurance, 1%	4700 JOB	1.10	5,170
<b>01 31 00 Project Management and Coordination</b>			<b>5,170</b>

### 01 32 16.13 Network Analysis Schedules

Scheduling, progress cpm	1 EA	1100.00	1,100
Scheduling, cpm, update	4 EA	275.00	1,100
<b>01 32 16.13 Network Analysis Schedules</b>			<b>2,200</b>

### 01 50 00 Temporary Facilities and Controls

Scaffolding, exten/inter >12'<5000sf	1000 SF	1.92	1,916
Project sign, 4' x 8' x 1 7/8	1 EA	1280.91	1,281
Protection, property	16 JOB	220.00	3,520
Toilet, portable chemical, rent	8 Mo.	99.00	792
Internet Service	4 Mo.	100.00	400
Scissor lift, 15' high, 2000 lb. capacity w/o operator	50 DAY	80.00	4,000
Scissor lift, 25' high, 1000 lb. capacity w/o operator	50 DAY	120.00	6,000
Truck crane 90ton, w/operator & oiler	10 DAY	3587.47	35,875
<b>01 50 00 Temporary Facilities and Controls</b>			<b>53,784</b>

**01 General Requirements**

Description	Quantity	Unit	Unit Cost	Extended Cost
<b>01 52 13 Field Offices and Sheds</b>				
Office trailer, furnished, 36'x36'	4	Mo.	264.00	1,056
Storage trailer, 28'x10'	4	Mo.	110.00	440
<b>01 52 13 Field Offices and Sheds</b>				<b>1,496</b>
<b>01 74 00 Cleaning and Waste Management</b>				
Cleaning general, site	80	HR	115.88	9,270
Rubbish removal, 40 cy capacity	16	LOAD	660.00	10,560
Clean-up, final	1	WEEK	9270.18	9,270
Punchlist, survey/check	1	WEEK	5473.60	5,474
<b>01 74 00 Cleaning and Waste Management</b>				<b>34,574</b>

**02 Existing Conditions****02 03 42 Removal and Salvage of Period Construc**

SR-1 S&R Entry Stone Stairs	100	SF	102.91	10,291
SR-2 S&R Paving Stone at Entry Portico	100	SF	102.91	10,291
SR-3 R&D Dryrotted Wood Column Base & Capital	4	EA	863.58	3,454
SR-4 S&R Wood Window Frame & Sash	7	EA	469.27	3,285
SR-5 S&R Wood Conditions Uncovered Dryrot Replace	1	EA	554.56	555
SR-6 S&R Wood Component to Remain & Prime & Painted	100	SF	49.06	4,906
SR-7 R&D Roof Wood Fella & Eave Trim & Prime & HP Painted	200	SF	76.56	15,311
SR-8 R&D Composite Decking	250	SF	17.97	4,491
SR-9 F&I New Granite Stone Paving Former Deck Area	250	SF	102.91	25,728
SR-10 R&D Wood Window Box	3	EA	339.15	1,017
SR-11 S&R ADA Ramp & Rail Assembly Primed & Epoxy Painted Black	2000	SF	21.78	43,556
SR-12 S&R Restore Ionic Column Capitals w/Epoxy Resin	4	EA	2945.56	11,782
SR-13 S&R Replace Falling brick F&I Tuck pointing	100	SF	73.46	7,346
SR-14 S&R Replace Portions of Wood Cornice	500	SF	76.56	38,278
SR-15 S&R Replace Doors (3), Transom (2) & trim	3	EA	3446.46	10,339

**02 Existing Conditions**

Description	Quantity	Unit	Unit Cost	Extended Cost
SR-16 S&R Restore Plaster, Apply Liquid Hardening Epoxy	350	SfF	65.64	22,974
SR-17 S&R Restore Pediment Louver, Apply HP Exter. Paint	1	EA	494.28	494
SR-18 F&I New 20oz. Copper Wash Copping, & at Colm. Capitals	500	SF	77.96	38,981
SR-19 R&O Concrete Planter Urns	2	EA	319.54	639
SR-20 S&R Header & Sill Stone Cleaning masonry, h.p. water & chem	1000	SF	4.17	4,169
SR-21 S&R All Stone Work Cleaning masonry, h.p. water & chem	2000	SF	4.17	8,337
<b>02 03 42</b>	<b>Removal and Salvage of Period Construction</b>			<b>266,226</b>

**04 Masonry****04 01 00 Maintenance of Masonry**

Grinding, mortar joints 1/2" deep	1100	LF	3.22	3,540
Pointing, brick, hard mortar	500	SF	15.53	7,766
<b>04 01 00</b>	<b>Maintenance of Masonry</b>			<b>11,306</b>

**04 21 13.13 Brick Veneer Masonry**

Brick veneer, Waterstruck \$1,115/m 6.86/sf (2.625" h x 3.625" w 7.625" l) w/ 3/8" joints	210	SF	36.49	7,664
<b>04 21 13.13</b>	<b>Brick Veneer Masonry</b>			<b>7,664</b>

**06 Wood, Plastics, and Composites****06200 FINISH CARPENTRY**

Molding, Cornice Repairs	100	LF	54.79	5,479
<b>06200</b>	<b>FINISH CARPENTRY</b>			<b>5,479</b>

**07 Thermal and Moisture Protection****07 90 00 Joint Protection**

Caulking, backer rod polyeth. 1/4"	600	LF	2.70	1,620
Caulking, cutout & recaulk polysulf	1200	LF	10.48	12,576
Caulking, polysulfide, masonry wall	600	LF	4.59	2,754

### 07 Thermal and Moisture Protection

Description	Quantity	Unit	Unit Cost	Extended Cost
07 90 00 Joint Protection				16,943

### 07100 DAMPPROOFING AND WATERPROOFING

Ice & water shield 3' wide	5000	SF	0.94	4,696
07100 DAMPPROOFING AND WATERPROOFING				4,696

### 09 Finishes

### 09 90 00 Painting and Coating

Epoxy paint	3000	SF	1.33	3,998
09 90 00 Painting and Coating				3,998

Sub Total		466,044	180.74 / SF
Profit	10 %	46,604	
Bond	1 %	4,660	
Contingency	10 %	46,604	
Grand Total		564,882	218.69 / SF



architecture  
project management  
interior design

November 14, 2023

Ms. Tammy Moutinho  
Facilities Superintendent  
County of Bristol  
441 County Street  
New Bedford, MA 02740

**Re: New Bedford Superior Court Continuation of Services  
RGB #6767-9001-2**

Dear Tammy,

Thank you for the opportunity to submit this proposal for the continuation of services for the Historic Restoration of the above-mentioned property.

**Scope of Work**

The scope of the work would be to assist in bidding by providing input to bid solicitations and responses to questions as well as issuing addenda as needed. RGB will assist with descoping the qualified bidder and prepare an award draft for review of Bristol County. During construction RGB will visit the site as needed and answer any questions, review shop drawings, and issue sketches as needed. Additionally, RGB will issue final paperwork to properly close the project out.

**Proposed Fee:**

RGB anticipates the following fee for the work identified above.

Bidding and Negotiation	\$ 5,000.00
Construction Administration Services	\$22,000.00
Reimbursables (estimated)	\$ 2,500.00
<b>Total</b>	<b>\$29,500.00</b>

Sincerely,

David L. DeQuattro, AIA, NCARB, LEED AP  
QA/QC  
RGB Architects

Accepted by: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_









**The Commonwealth of Massachusetts**  
William Francis Galvin, Secretary of the Commonwealth  
Massachusetts Historical Commission

June 13, 2023

Tammy Moutinho  
Facilities Superintendent  
Bristol County Commission  
441 County Street  
New Bedford, MA 02740

RE: Bristol County Commission Owned Buildings, Attleboro, Fall River, New Bedford, Taunton, MA; MHC# RC.33233, RC.24325, RC.24276, RC.26200, RC.33639, RC.73218

Dear Ms. Moutinho:

Thank you for your inquiry regarding buildings owned by the Bristol County Commission.

The New Bedford Superior Court (NBE.2486), historically known as the Bristol County Court House, at 441 County Street in New Bedford is listed in the State and National Registers of Historic Places as a contributing element of the County Street Historic District (NBE.A).

The New Bedford Registry of Deeds (NBE.731), historically known as the Bristol County Registry of Deeds, at 25 North Sixth Street is listed in the State and National Registers of Historic Places as a contributing element of the Central New Bedford Historic District (NBE.AC).

The Fall River Registry of Deeds (FLR.254), historically known as the Bristol County Superior Courthouse and Registry, at 441 North Main Street is individually listed in the State and National Registers of Historic Places.

The Taunton Superior Court (TAU.23), historically known as the Bristol County Superior Court House, at 9 Court Street is listed in the State and National Registers of Historic Places as a contributing element of the Bristol County Courthouse Complex (TAU.B). Additionally, the Massachusetts Historical Commission (MHC) holds a preservation restriction (M.G.L. Chapter 184, sections 31-33) on this building and parcel. The preservation restriction was recorded in the Northern Bristol County Registry of Deeds, Book 15767, Page 278 on April 10, 2006. The active preservation restriction agreement entitles the MHC review and approval authority prior to implementation of any major alterations to the property.

The Taunton Registry of Deeds (TAU.25), historically known as the Bristol County Registry of Deeds Building, at 11 Court Street is listed in the State and National Registers of Historic Places as a contributing element of the Bristol County Courthouse Complex (TAU.B).

The Attleboro District Court (ATT.17), historically known as the Fourth District Court of Bristol County, at 88 North Main Street is included in MHC's *Inventory of Historic and Archaeological Assets of the Commonwealth*.



If a project is receiving any state and/or federal funding, licensing, or permitting, review by this office is required, in accordance with Section 106 of the National Historic Preservation Act of 1966, as amended (36 CFR 800), and M.G.L. Chapter 9, sections 26-27C (950 CMR 71).

These comments are offered to assist in compliance with Section 106 of the National Historic Preservation Act of 1966 (36 CFR 800), M.G.L. Chapter 9, sections 26-27C (950 CMR 71.00), and the terms of the preservation restriction. Please do not hesitate to contact me if you have any questions.

Sincerely,



Elizabeth Sherva  
Deputy State Historic Preservation Officer  
Director of Architectural Review  
Massachusetts Historical Commission

Enclosure

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466	467	468	469	470	471	472	473	474	475	476	477	478	479	480	481	482	483	484	485	486	487	488	489	490	491	492	493	494	495	496	497	498	499	500	501	502	503	504	505	506	507	508	509	510	511	512	513	514	515	516	517	518	519	520	521	522	523	524	525	526	527	528	529	530	531	532	533	534	535	536	537	538	539	540	541	542	543	544	545	546	547	548	549	550	551	552	553	554	555	556	557	558	559	560	561	562	563	564	565	566	567	568	569	570	571	572	573	574	575	576	577	578	579	580	581	582	583	584	585	586	587	588	589	590	591	592	593	594	595	596	597	598	599	600	601	602	603	604	605	606	607	608	609	610	611	612	613	614	615	616	617	618	619	620	621	622	623	624	625	626	627	628	629	630	631	632	633	634	635	636	637	638	639	640	641	642	643	644	645	646	647	648	649	650	651	652	653	654	655	656	657	658	659	660	661	662	663	664	665	666	667	668	669	670	671	672	673	674	675	676	677	678	679	680	681	682	683	684	685	686	687	688	689	690	691	692	693	694	695	696	697	698	699	700	701	702	703	704	705	706	707	708	709	710	711	712	713	714	715	716	717	718	719	720	721	722	723	724	725	726	727	728	729	730	731	732	733	734	735	736	737	738	739	740	741	742	743	744	745	746	747	748	749	750	751	752	753	754	755	756	757	758	759	760	761	762	763	764	765	766	767	768	769	770	771	772	773	774	775	776	777	778	779	780	781	782	783	784	785	786	787	788	789	790	791	792	793	794	795	796	797	798	799	800	801	802	803	804	805	806	807	808	809	810	811	812	813	814	815	816	817	818	819	820	821	822	823	824	825	826	827	828	829	830	831	832	833	834	835	836	837	838	839	840	841	842	843	844	845	846	847	848	849	850	851	852	853	854	855	856	857	858	859	860	861	862	863	864	865	866	867	868	869	870	871	872	873	874	875	876	877	878	879	880	881	882	883	884	885	886	887	888	889	890	891	892	893	894	895	896	897	898	899	900	901	902	903	904	905	906	907	908	909	910	911	912	913	914	915	916	917	918	919	920	921	922	923	924	925	926	927	928	929	930	931	932	933	934	935	936	937	938	939	940	941	942	943	944	945	946	947	948	949	950	951	952	953	954	955	956	957	958	959	960	961	962	963	964	965	966	967	968	969	970	971	972	973	974	975	976	977	978	979	980	981	982	983	984	985	986	987	988	989	990	991	992	993	994	995	996	997	998	999	1000	1001	1002	1003	1004	1005	1006	1007	1008	1009	1010	1011	1012	1013	1014	1015	1016	1017	1018	1019	1020	1021	1022	1023	1024	1025	1026	1027	1028	1029	1030	1031	1032	1033	1034	1035	1036	1037	1038	1039	1040	1041	1042	1043	1044	1045	1046	1047	1048	1049	1050	1051	1052	1053	1054	1055	1056	1057	1058	1059	1060	1061	1062	1063	1064	1065	1066	1067	1068	1069	1070	1071	1072	1073	1074	1075	1076	1077	1078	1079	1080	1081	1082	1083	1084	1085	1086	1087	1088	1089	1090	1091	1092	1093	1094	1095	1096	1097	1098	1099	1100	1101	1102	1103	1104	1105	1106	1107	1108	1109	1110	1111	1112	1113	1114	1115	1116	1117	1118	1119	1120	1121	1122	1123	1124	1125	1126	1127	1128	1129	1130	1131	1132	1133	1134	1135	1136	1137	1138	1139	1140	1141	1142	1143	1144	1145	1146	1147	1148	1149	1150	1151	1152	1153	1154	1155	1156	1157	1158	1159	1160	1161	1162	1163	1164	1165	1166	1167	1168	1169	1170	1171	1172	1173	1174	1175	1176	1177	1178	1179	1180	1181	1182	1183	1184	1185	1186	1187	1188	1189	1190	1191	1192	1193	1194	1195	1196	1197	1198	1199	1200	1201	1202	1203	1204	1205	1206	1207	1208	1209	1210	1211	1212	1213	1214	1215	1216	1217	1218	1219	1220	1221	1222	1223	1224	1225	1226	1227	1228	1229	1230	1231	1232	1233	1234	1235	1236	1237	1238	1239	1240	1241	1242	1243	1244	1245	1246	1247	1248	1249	1250	1251	1252	1253	1254	1255	1256	1257	1258	1259	1260	1261	1262	1263	1264	1265	1266	1267	1268	1269	1270	1271	1272	1273	1274	1275	1276	1277	1278	1279	1280	1281	1282	1283	1284	1285	1286	1287	1288	1289	1290	1291	1292	1293	1294	1295	1296	1297	1298	1299	1300	1301	1302	1303	1304	1305	1306	1307	1308	1309	1310	1311	1312	1313	1314	1315	1316	1317	1318	1319	1320	1321	1322	1323	1324	1325	1326	1327	1328	1329	1330	1331	1332	1333	1334	1335	1336	1337	1338	1339	1340	1341	1342	1343	1344	1345	1346	1347	1348	1349	1350	1351	1352	1353	1354	1355	1356	1357	1358	1359	1360	1361	1362	1363	1364	1365	1366	1367	1368	1369	1370	1371	1372	1373	1374	1375	1376	1377	1378	1379	1380	1381	1382	1383	1384	1385	1386	1387	1388	1389	1390	1391	1392	1393	1394	1395	1396	1397	1398	1399	1400	1401	1402	1403	1404	1405	1406	1407	1408	1409	1410	1411	1412	1413	1414	1415	1416	1417	1418	1419	1420	1421	1422	1423	1424	1425	1426	1427	1428	1429	1430	1431	1432	1433	1434	1435	1436	1437	1438	1439	1440	1441	1442	1443	1444	1445	1446	1447	1448	1449	1450	1451	1452	1453	1454	1455	1456	1457	1458	1459	1460	1461	1462	1463	1464	1465	1466	1467	1468	1469	1470	1471	1472	1473	1474	1475	1476	1477	1478	1479	1480	1481	1482	1483	1484	1485	1486	1487	1488	1489	1490	1491	1492	1493	1494	1495	1496</
---	---	---	---	---	---	---	---	---	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	--------



## Historic Building Detail: NBE.2486

### Bristol County Court House

MHC ID	NBE.2486	MACRIS Map for NBE.2486	No Photos Available
Cross Reference	NBE.A has additional information about this resource		
Historic Name	Bristol County Court House		
Common Name	-		
Street Address	443 County St		
City/Town	New Bedford		
Village/Neighborhood	-		
Local Number	A:		
Year Constructed	1830		
Architects	-		
Architectural Styles	Greek Revival		
Uses	Courthouse		
Significance	Architecture; Law; Politics Government		
Areas	NBE.A, County Street Historic District NR:  Inventory:		
Designations	Nat'l Register District (08/11/1976);		
Building Materials Roof	-		
Building Materials Wall	Brick;		
Building Materials	-		
Foundation	-		
Demolished	No		

## B. SIGNIFICANCE

PERIOD (Check One or More as Appropriate)			
<input type="checkbox"/> Pre-Columbian	<input type="checkbox"/> 16th Century	<input checked="" type="checkbox"/> 18th Century	<input type="checkbox"/> 20th Century
<input type="checkbox"/> 15th Century	<input type="checkbox"/> 17th Century	<input checked="" type="checkbox"/> 19th Century	
SPECIFIC DATE(S) (If Applicable and Known)			
AREAS OF SIGNIFICANCE (Check One or More as Appropriate)			
<input type="checkbox"/> Aboriginal	<input type="checkbox"/> Education	<input type="checkbox"/> Political	<input type="checkbox"/> Urban Planning
<input type="checkbox"/> Prehistoric	<input type="checkbox"/> Engineering	<input checked="" type="checkbox"/> Religion/Philosophy	<input type="checkbox"/> Other (Specify)
<input type="checkbox"/> Historic	<input type="checkbox"/> Industry	<input type="checkbox"/> Science	
<input type="checkbox"/> Agriculture	<input type="checkbox"/> Invention	<input type="checkbox"/> Sculpture	
<input checked="" type="checkbox"/> Architecture	<input checked="" type="checkbox"/> Landscape Architecture	<input type="checkbox"/> Social/Humanitarian	
<input type="checkbox"/> Art	<input type="checkbox"/> Literature	<input type="checkbox"/> Theater	
<input checked="" type="checkbox"/> Commerce	<input type="checkbox"/> Military	<input type="checkbox"/> Transportation	
<input type="checkbox"/> Communications	<input type="checkbox"/> Music		
<input type="checkbox"/> Conservation			
STATEMENT OF SIGNIFICANCE			
<p>New Bedford was divided into eleven farms in 1711, and until 1760 these farm houses were the only dwellings that existed in the city. Joseph Russell's sale of 10 acres near the waterfront to Joseph Rotch in 1765, was the beginning of the Bedford Village. Before his death in 1806, Joseph Russell, grandson of the original landowner, had sold as house lots substantially all his farm east of County and North of Madison.</p> <p>The growth and development of this area occurred in three major phases corresponding geographically to the areas east of County Street, along County Street, and west of County Street.</p> <p>The area east of County Street contains many of the oldest dwellings remaining in New Bedford, several of which were built prior to the War of 1812. The first buildings in the town were built close to the water, and the British invasion during the Revolution resulted in the burning and destruction of much of the village. After the War of Independence the most thickly settled portion of the town was south of Union Street. With few exceptions all the section west of County Street was a forest.</p> <p>During the period between the two wars with England, New Bedford enjoyed great maritime prosperity and the foundation of future whaling fortunes was laid. Wealthy men of this era constructed homes throughout this area usually of similar design. A history of New Bedford relates that "Apparently it was satisfactory that all good homes should be exactly alike, and the reason is not hard to discover. It was an expression of the dominant influence on the social, religious, and business life of New Bedford of the society of Friends, more general than has been supposed, and of such vitality and persistence that it can be observed at the present day when the visible appearance of the Quakers had disappeared. While Friends had claimed to strive only for plainness and to avoid ostentation, yet in their zeal to</p>			

SEE INSTRUCTIONS



NATIONAL REGISTER OF HISTORIC PLACES  
INVENTORY - NOMINATION FORM

(Continuation Sheet)

STATE	Massachusetts	NBE.A
COUNTY	Bristol	
FOR NPS USE ONLY		
ENTRY NUMBER	DATE	

(Number all entries)

8. Significance

accomplish their purpose, they became technical observers of rigid uniformity in dress, speech, made of living and style of housebuilding. It was no hardship to them if their houses were all built on the same plan. A skillful carpenter who could construct that style in a desirable manner was in demand but there was no employment for an architect whose object was to secure variety."

County Street has been a major thoroughfare since it was laid out as a road in 1717 along an existing Indian Trail. As the Whaling Industry flourished following the War of 1812, fortunes were spent on imposing mansions; first along Sixth and Seventh Streets and later on County Street and further west. Still called County Road in 1820, its position at the crest of the hill overlooking the Harbor made it a natural site for the homes of wealthy merchant-mariners. Several of the luxurious Mansions erected during the years 1825-50 are of the monumental Greek Revival style; two of the many which remain today were designed by the famous Providence architect, Russell Warren. During these years, 1825-60, the size and scale of new houses increased to reflect the opulence and grandeur of the wealthiest men in the wealthiest per capita city in the country.

As the population of New Bedford increased, residential construction expanded to the area west of County Street. Several major changes took place in New Bedford near the middle of the nineteenth century. In New Bedford, as well as across the country, the Victorian era led to a growing diversity in styles of architecture. Freed of external restrictions of form and ornament, these styles gained popularity and allowed owners a greater degree of individual expression in the construction of their residences. With the growth of the textile industry in the latter half of the nineteenth century, additional demand for substantial homes led to the development of the western area as well as an increased density in the other two areas.

The buildings in all three areas were the most fashionable residences of the time when they were built, and reflected the best in domestic architecture of the era. Since there have been few buildings erected in this area after the early years of the twentieth century, the scale and settings blend harmoniously and continue to give an air of dignity and quiet distinction to this residential section of New Bedford.

## 7. DESCRIPTION

CONDITION	(Check One)					
	<input type="checkbox"/> Excellent	<input type="checkbox"/> Good	<input type="checkbox"/> Fair	<input type="checkbox"/> Deteriorated	<input type="checkbox"/> Ruins	<input type="checkbox"/> Unexposed
	(Check One)			(Check One)		
	<input type="checkbox"/> Altered	<input type="checkbox"/> Unaltered	<input type="checkbox"/> Moved	<input type="checkbox"/> Original Site		

DESCRIBE THE PRESENT AND ORIGINAL (If known) PHYSICAL APPEARANCE

The residential area reflects the historical and architectural growth of New Bedford from the years 1780-1890. The oldest homes remaining in this area were the residences of the city's wealthy men from 1780-1820. There were no local architects in this period, resulting in plain substantial houses all of the same style. They were two story, peak roof dwellings, with two large chimneys, one near each end. This arrangement located the front door in the middle of one side and provided a central hall.

This style of house, while exceedingly convenient and comfortable, presented one slight disadvantage which was remedied in the next style. In the former style, owing to position of the two chimneys, it was not possible to open into a front and back parlor. If a large number of guests were being entertained it was therefore necessary that they be placed in separate rooms which connected only by means of central hall-ways. Then the position of chimneys were changed to the end of the house. The body of the house was divided into four corner rooms, two on each side of the center chimney at the outer end. This would give four chimneys in the body of the house which usually had an ell containing the kitchen.

A number of historic mansions that were built between 1820-1860 reflect the period of classic architecture, when whaling fortunes were used in constructing lasting dwellings of brick, wood and stone. Many of the homes built between 1810-1835 were of the Federal style, especially notable by elliptical fanlights over doorways and projecting curvilinear bays on the sides or rear of the house. The six over six windows are narrow with slender mullions and glazing bars, and several of the larger homes contain elaborate Palladian windows.

From about 1830 to 1860 the Greek Revival style overshadowed all other styles. First popular in New Bedford for public buildings, this style was soon adapted and modified for house construction. The variations within this style are numerous, with examples of many modifications to be found in this area. Many were set with the gable end toward the street, incorporating the front entrance either in the middle or at the side of the building. In this way it was possible to make the gable into an impressive pediment, which would either remain flat or be extended to accommodate a row of supporting columns, thus forming a portico.

The latter half of the nineteenth century embraced a wide variety of related styles classified as Victorian. As the size and wealth of New Bedford grew with the whaling and

SEE INSTRUCTIONS



NATIONAL REGISTER OF HISTORIC PLACES  
INVENTORY - NOMINATION FORM

(Continuation Sheet)

STATE Massachusetts NBE.A	
COUNTY Bristol	
FOR NPS USE ONLY	
ENTRY NUMBER	DATE

(Number all entries)

7.

Description

textile industries, homes were built that reflected the individuality and wealth of their successful owners. Beginning with the Victorian Gothic, houses soon contained details from Italian, French, Tudor, Moorish, Oriental and Swiss influences. One of the Victorian style's chief merits was that it gave the architect and builders a great deal of freedom in developing a floor plan to meet a variety of needs and to utilize the recent technical innovations in materials and construction techniques. In contrast to earlier styles where exterior dimensions and window and door placements were restricted, the Victorian styles could be planned from the inside out, with additions possible in any direction. Wings, bays and projections of any kind could be stacked on at any angle, and the whole unified by the exterior decoration. Local builders had access to a wide variety of ready-made designs and building manuals whose plans were often modified to meet local conditions and owner's whims.



























*The Commonwealth of Massachusetts*

Office of the  
COUNTY COMMISSIONERS of BRISTOL COUNTY  
P.O. Box 208, 9 Court Street, Taunton, MA 02780  
TEL: (508)824.9681

*Tammy Moutinho*  
*Facilities Superintendent*

*November 15, 2023*

*Community Preservation Committee*  
*Department of City Planning*  
*City Hall Room 303*  
*133 William Street*  
*New Bedford, MA 02740*

*Dear Committee Members:*

*On behalf of the Bristol County Commissioners, I assure the Committee that the U.S. Secretary of the Interior's Standards for the Treatment of Historic Properties has been read and it is understood that planning for and execution of this project must meet these standards.*

*Respectfully submitted,*

*Tammy Moutinho*  
*Facilities Superintendent*  
*Bristol County*  
*MA CSL Lic #CS-113841*



## ELEVATION NOTES - EXTERIOR

- SUBMIT SAMPLES OF ALL EXTERIOR FINISH MATERIALS FOR REVIEW & APPROVAL PRIOR TO FABRICATING/CONSTRUCTION, TYPICAL.
- SEALANT/CAULKING COLORS TO MATCH ADJACENT FINISH LISTED IN REQUIRED PRIORITY. ARCHITECT TO APPROVE SAMPLE IN FIELD PRIOR TO INSTALLATION.

## CONSTRUCTION LEGEND

- XXX WORK NOTES WITHOUT AN ARROW INDICATE AN ENTIRE SPACE/AREA.
- XXX WORK NOTES WITH AN ARROW(S) INDICATE SPECIFIC AREAS &/OR ITEMS.

## SALVAGE, RESTORATION, AND RESET WORK NOTES

- SR 1 S&R ENTRY STONE STAIRS, MARK STONE LOCATIONS AND ORIENTATION, LIFT, REMOVE, AND STORE STONES TO ACCESS AND IMPROVE UNDERLYING SUBSTRATE AND BEARING CONDITIONS. RESET ALL STONEMWORK BACK TO LEVEL AND PLUMB. IF SIGNIFICANT CRACKING OR BROKEN STONES ARE NOT SALVAGEABLE, REPLACE WITH A NEW CUT STONE TO MATCH THE ORIGINAL NON-BROKEN ITEM. BED ALL STONES IN POLYMERIC SAND FOR JOINTS AND SEAMS. COORDINATE STAIR PIECES FOR REPLACEMENT, OR RESETTING TYP. SALVAGE WORK NOTES
- SR 2 S&R EXISTING PAVING STONES OF THE ENTRANCE PORTICO. REMOVE STONE WORK DOWN TO SOUNDSOLID SUBSTRATE CONDITIONS. COMPACT CONDITIONS, FILL VOIDS AND DEPRESSIONS WITH STONE DUST. REINSTALL STONES, SET STONES IN POLYMERIC SAND AT JOINTS AND SEAMS. STONES ARE TO BE LEVELED AND HAVE SURFACES PITCHED TO DRAIN AWAY FROM THE BUILDING AT 3/16" PER FOOT MIN. COORDINATE SIZE AND PIECES OF STONE FOR REPLACEMENT. TYP. SALVAGE WORK NOTES
- SR 3 R&D EXISTING WATER-DAMAGED PORTION OF DECAYED AND DRYROTTED WOOD COLUMN BASE, SHAFT, AND/OR CAPITOL AS REQ. LIMITED SAWCUTTING FOR REMOVAL IS EXPECTED FOR NEW WORK TO REPAIR EXISTING CONDITIONS. APPLY LIQUID WOOD HARDENING EPOXY TO ALL REMAINING SOUND AREAS ADJACENT TO THE REMOVED PORTIONS OF THE COLUMN. SALVAGE WORK NOTES
- SR 4 S&R RESTORE THE EXISTING WOOD WINDOW FRAME AND SASH. SCRAPE, SAND, APPLY NEW SEALANT, PRIMER, AND FINAL HIGH-PERFORMANCE EXTERIOR PAINT FINISH TO WINDOW ASSEMBLY. SALVAGE WORK NOTES
- SR 5 S&R IF POOR DETERIORATED WOOD CONDITIONS ARE UNCOVERED (DRYROT FUNGUS) REMOVE AND REPLACE SECTIONS AS NECESSARY TO MAKE THE ASSEMBLY WHOLE. TREAT THE REMAINING ADJACENT AND ADJOINING WOOD CONDITIONS WITH 3% BORIC ACID SOLUTION. COMPLETE WORK UNDER NOTE SR 6. SALVAGE WORK NOTES
- SR 6 S&R EXISTING COMPONENT TO REMAIN. SURFACE OF COMPONENT TO BE CLEANED/DEGREASED, PRIMED, AND PAINTED WITH A HIGH-PERFORMANCE EXTERIOR GRADE ACRYLIC, SEMI-GLOSS FINISH. COLOR TBD BY THE ARCHITECT. SALVAGE WORK NOTES
- SR 7 R&D FAILING EXISTING ROOF FASCIA AND EAVE TRIM IN ITS ENTIRETY. PATCH, REPAIR & REPLACE ALL DEGRADED COMPONENTS. PREP CORNICE BAND AS REQ. FOR NEW SEALANT, PRIMER, AND FINAL HIGH-PERFORMANCE EXTERIOR PAINT FINISH. SALVAGE WORK NOTES
- SR 8 R&D EXISTING COMPOSITE DECKING AND UNDERLYING WOOD STRUCTURE. REMOVING ALL ASSOCIATED HANGERS, FASTENERS & ADHESIVES, TO STONE PAVERS BELOW. SALVAGE WORK NOTES
- SR 9 F&I NEW GRANITE STONE PAVING STONES TO THE ENTIRE AREA FORMERLY OCCUPIED BY COMPOSITE DECKING AND UNDERLYING WOOD SUPPORT STRUCTURE. NEW STONE PAVER BLOCKS TO MATCH THE HEIGHT OF ADA ACCESS RAMP AND MEET THE ADA ENTRY THRESHOLD HEIGHT AT THE DOOR. THE RESULTANT HEIGHT AT THIS LOCATION CAN BE NO GREATER THAN 1/2" MAX.
- SR 10 R&D EXISTING WOOD WINDOW BOX. REMOVE ANY ASSOCIATED FASTENERS OR APPURTENANCE ATTACHED TO THE REMAINING STONE OR WINDOW SASH. SALVAGE WORK NOTES
- SR 11 S&R EXISTING ADA RAMP AND RAIL ASSEMBLY CONSTRUCTION ARE TO REMAIN. ALL STEEL COMPONENTS (STINGER, RAILS, PICKETS) TO BE CLEANED/DEGREASED, PRIMED, AND PAINTED WITH A HIGH-PERFORMANCE EXTERIOR EPOXY IN A BLACK SEMI-GLOSS FINISH.
- SR 12 S&R WORK TO RESTORE THE EXISTING CORINTHIAN COLUMN CAPITOLS. REPAIR DECORATIVE ELEMENTS WITH A NON-SLUMPING EPOXY RESIN (WATCO or Sika) MATERIAL THAT WILL BOND, ATTACH TO, AND STRENGTHEN THE UNDERLYING MATERIALS. MATCH THE EXISTING DETAIL, SIZE, SHAPES AND CONFIGURATION. CAPITOLS ARE A CAST-REINFORCED LIGHTWEIGHT CEMENTITIOUS MATERIAL. RE: SPEC.
- SR 13 S&R REPLACE PORTIONS OF FAILING EXISTING BRICK WITH NEW UNITS. F&I WORK FOR MASONRY REPAIR AND TUCK POINTING. NEW BRICK COLOR TO MATCH EXISTING. PROVIDE NEW COLOR-MATCHED MORTAR AND PERMEABLE MASONRY COATING TO SEAL REPAIRED AREA, AND COORDINATE W/ EXISTING ROOF SHEETS FOR GENERAL LOCATION. SALVAGE WORK NOTES
- SR 14 S&R REPLACE OR RESTORE PORTIONS EXISTING WOOD CORNICE MOLDING & TRIM WORK ALONG THE EAVE AND PEDIMENT FASCIA. PREP ALL NEW AND REMAINING CONDITIONS. SCRAPE, SAND, PRIME & FINISH PAINT W/ EXTERIOR HIGH-PERFORMANCE PAINT. SALVAGE WORK NOTES
- SR 15 S&R EXISTING DOORS, TRANSOM, AND TRIM. PREP ANY APPLY NEW SEALANT, PRIMER, AND FINAL HIGH-PERFORMANCE EXTERIOR PAINT. FINISH TO MATCH THE COLOR OF THE EXISTING COMPARABLE ITEM. COORDINATE WITH AXONELEVATION VIEWS.
- SR 16 S&R RESTORE OR REPLACE PORTIONS OF DETERIORATED PILASTERS. APPLY LIQUID HARDENING EPOXY TO ALL REMAINING SOUND AREAS ADJACENT TO THE REMOVED PORTIONS OF THE COMPONENT.
- SR 17 R&D THE EXISTING PEDIMENT LOUVER VENT AND CASING TRIM FROM THE EXTERIOR OF THE BUILDING. REMOVE ALL DETERIORATED POOR WOOD CONDITIONS. REPLACE ALL WOOD CASING SECTIONS AS NECESSARY TO MAKE THE OPENING ASSEMBLY WHOLE. APPLY PRIMER AND HIGH-PERFORMANCE EXTERIOR PAINT. COORDINATE WITH AXONELEVATION VIEWS.
- SR 18 F&I NEW 20 OZ COPPER WASH COPING AT THE PEDIMENT CONDITION ACROSS THE EXISTING CORNICE LINE AND AT THE HEAD/TOP OF EXISTING COLUMN CAPITALS, TYP. SALVAGE WORK NOTES
- SR 19 R&D EXISTING CAST CONCRETE PLANTER URNS, REMOVE FROM COURT HOUSE. SALVAGE WORK NOTES
- SR 20 S&R EXISTING HEADER AND SILL STONE. PRESSURE WASH AND ACID WASH GRANITE TO REMOVE THE STAINS AND ALGAE FROM THE SURFACE OF THE STONEMWORK. PLUG ANY EXISTING HOLES WITH GREY HYDRAULIC MORTAR OR EPOXY TO SEAL AND FINISH. SALVAGE WORK NOTES
- SR 21 S&R AS WORK TO RESET ALL STONE WORK IS COMPLETED. CLEAN STONEMWORK. PRESSURE WASH, AND CHEMICAL CLEAN TO REMOVE STAINING, DIRT, AND ALGAE FROM THE STONE. USE SURE KLEAN by PROSOCO - STAIN REMOVER & RESTORER OR SIMILAR PRODUCTS TO CLEAN AND RESTORE THE SURFACE. SALVAGE WORK NOTES
- SR 22 S&R IN THE ATTIC OF THE COURTHOUSE. THE ORIGINAL PEDIMENT WINDOW IS STORED/LOCATED HERE. RETRIEVE THIS ITEM FOR RESTORATION, REPLACE THE MISSING GLASS PANE(S), CAULK /PUTTY, AND IMPROVE THE WINDOW AND PLACE THE WINDOW BACK IN ITS ORIGINAL LOCATION. REMOVE THE INTERIOR PAN AND SHROUDING AND LEAVE IT IN THE ATTIC SPACE. REPLACE WOOD SASH CASING NECESSARY TO SUPPORT THE FIXED WINDOW ASSEMBLY. APPLY PRIMER AND HIGH-PERFORMANCE EXTERIOR PAINT TO THE WINDOW AND ALL WOOD FRAMING. SALVAGE WORK NOTES

50 Holden Street  
Providence, Rhode Island 02908

Phone: (401) 272-1730  
Fax: (401) 273-7158

E-mail: rgbinfo@rgb.net  
www.rgb.net

Architecture - Project Management - Interior Design

Project

BRISTOL  
COUNTY

NEW BEDFORD  
SUPERIOR  
COURT HOUSE  
ENTRY FACADE  
RESTORATIONS



441 COUNTY ST, NEW  
BEDFORD, MA 02740

Drawing Status

CD REVIEW SET

Issued On 09/20/2023

Sheet Contents

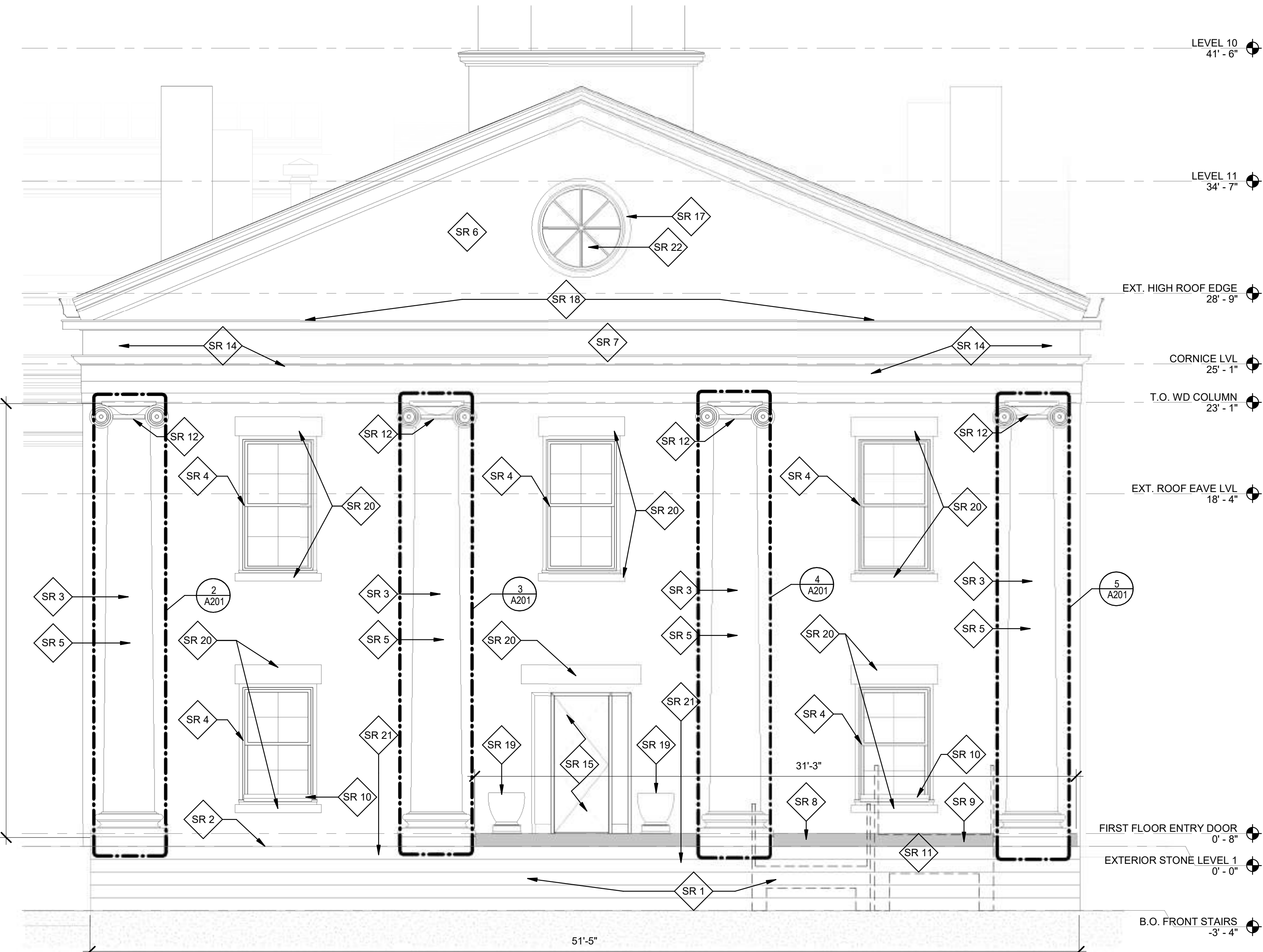
EXISTING EAST FRONT  
ENTRY ELEVATION

Project Number. 6767-9001

Drawing No.

A201

Sheet of



## 1 EAST ENTRY ELEVATION

A201 Scale: 1/4" = 1'-0"



## 2 COLUMN 1

A201 Scale: 1/2" = 1'-0"



## 3 COLUMN 2

A201 Scale: 1/2" = 1'-0"



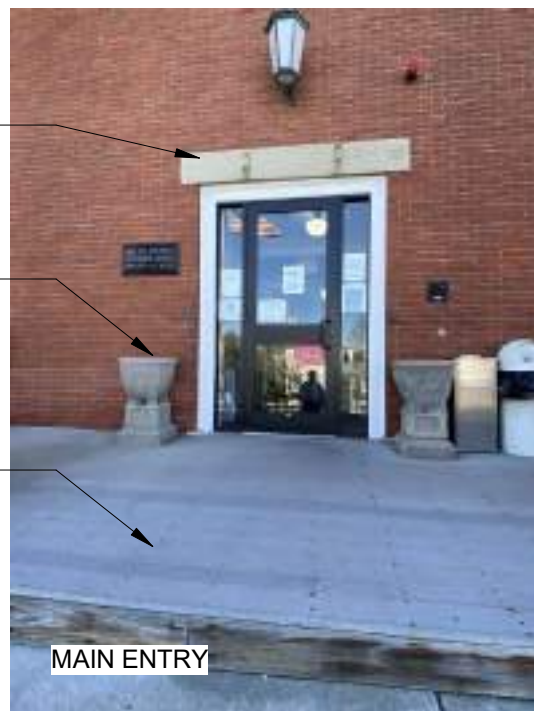
## 4 COLUMN 3

A201 Scale: 1/2" = 1'-0"



## 5 COLUMN 4

A201 Scale: 1/2" = 1'-0"



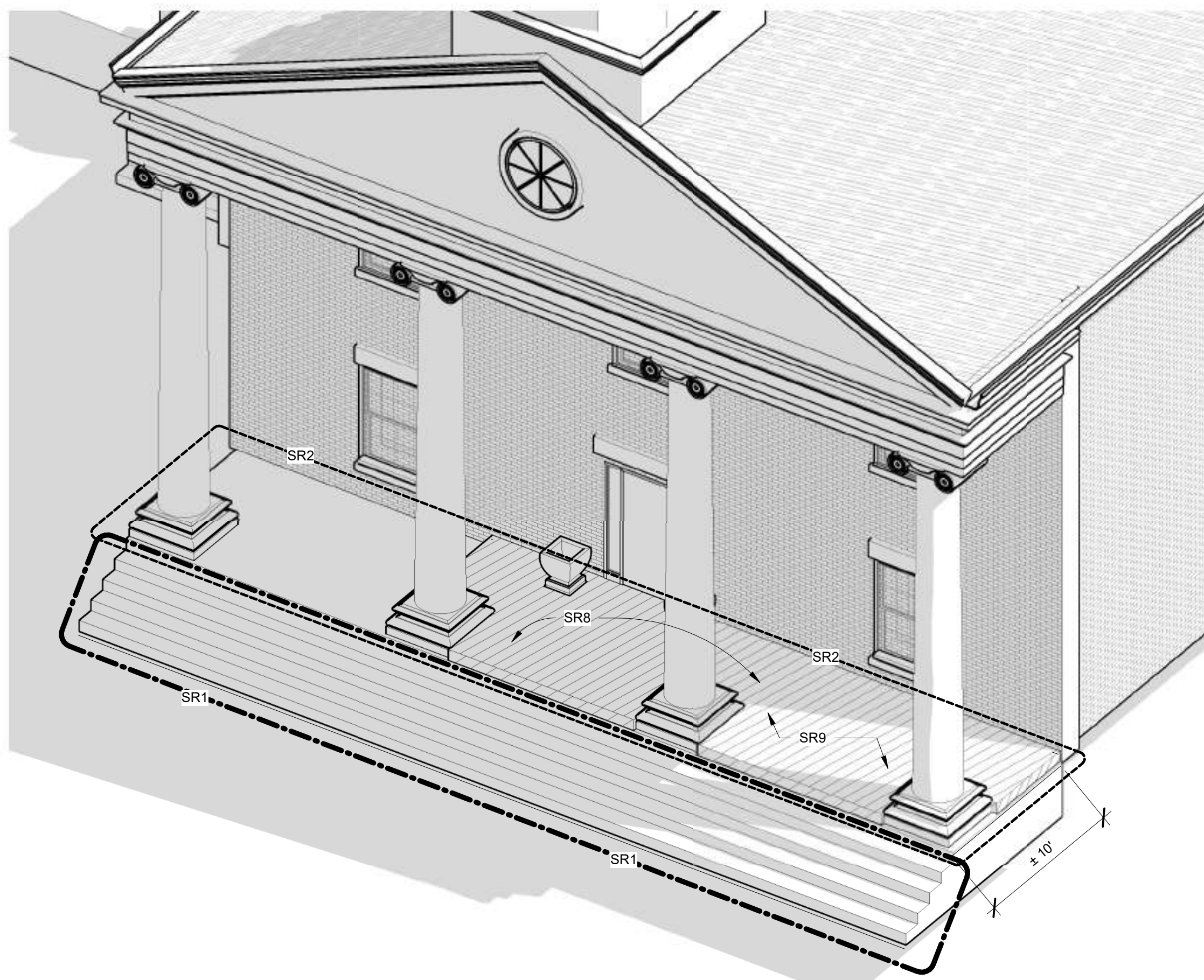
## 6 EXISTING CONDITIONS PHOTOS

A201 Scale: 1" = 1'-0"



## 7 EXISTING ADA RAMP

A201 Scale: 1/2" = 1'-0"



## 8 EAST ENTRY - AXON VIEW

A201 Scale:



## BRISTOL COUNTY

### NEW BEDFORD SUPERIOR COURT HOUSE ENTRY FACADE RESTORATIONS



441 COUNTY ST, NEW  
BEDFORD, MA 02740

Drawing Status

CD REVIEW SET

Issued On 09/20/2023

Sheet Contents

EXISTING NORTH SIDE  
ENTRY ELEVATION

Project Number. 6767-9001

Drawing No.

# A202

Sheet of

## ELEVATION NOTES - EXTERIOR

- SUBMIT SAMPLES OF ALL EXTERIOR FINISH MATERIALS FOR REVIEW & APPROVAL PRIOR TO FABRICATING/CONSTRUCTION, TYPICAL.
- SEALANT/CAULKING COLORS TO MATCH ADJACENT FINISH LISTED IN REQUIRED PRIORITY. ARCHITECT TO APPROVE SAMPLE IN FIELD PRIOR TO INSTALLATION.

## CONSTRUCTION LEGEND

- XXX WORK NOTES WITHOUT AN ARROW  
INDICATE AN ENTIRE SPACE/AREA.
- XXX WORK NOTES WITH AN ARROW(S)  
INDICATE SPECIFIC AREAS &/or ITEMS.

## SALVAGE, RESTORATION, AND RESET WORK NOTES

- SR 1 SR ENTRY STONE STAIRS, MARK STONE LOCATIONS AND ORIENTATION. LIFT, REMOVE, AND STORE STONES TO ACCESS AND IMPROVE UNDERLYING SUBSTRATE AND BEARING CONDITIONS. RESET ALL STONework BACK TO LEVEL AND PLUMB. IF SIGNIFICANT CRACKING OR BROKEN STONES ARE NOT SALVAGEABLE, REPLACE WITH A NEW CUT STONE TO MATCH THE ORIGINAL, NON-BROKEN ITEM. BED ALL STONES IN POLYMERIC SAND FOR JOINTS AND SEAMS. COORDINATE STAIR PIECES FOR REPLACEMENT, OR RESETTING TYP. SALVAGE WORK NOTES
- SR 2 SR EXISTING PAVING STONES OF THE ENTRANCE PORTICO. REMOVE STONE WORK DOWN TO SOUNDSOLID SUBSTRATE CONDITIONS. COMPACT CONDITIONS, FILL VOIDS AND DEPRESSIONS WITH STONE DUST. REINSTALL STONES, SET STONES IN POLYMERIC SAND AT JOINTS AND SEAMS. STONES ARE TO BE LEVELED AND HAVE SURFACES PITCHED TO DRAIN AWAY FROM THE BUILDING AT 3/16" PER FOOT MIN. COORDINATE SIZE AND PIECES OF STONE FOR REPLACEMENT, TYP. SALVAGE WORK NOTES
- SR 3 R&D EXISTING WATER-DAMAGED PORTION OF DECAYED AND DRYROTTED WOOD COLUMN BASE, SHAFT, AND/OR CAPITOL AS REQ. LIMITED SAWCUTTING FOR REMOVAL IS EXPECTED FOR NEW WORK TO REPAIR EXISTING CONDITIONS. APPLY LIQUID WOOD HARDENING EPOXY TO ALL REMAINING SOUND AREAS ADJACENT TO THE REMOVED PORTIONS OF THE COLUMN. SALVAGE WORK NOTES
- SR 4 SR RESTORE THE EXISTING WOOD WINDOW FRAME AND SASH, SCRAPE, SAND, APPLY NEW SEALANT, PRIMER, AND FINAL HIGH-PERFORMANCE EXTERIOR PAINT FINISH TO WINDOW ASSEMBLY. SALVAGE WORK NOTES
- SR 5 SR IF POOR DETERIORATED WOOD CONDITIONS ARE UNCOVERED (DRYROT FUNGUS) REMOVE AND REPLACE SECTIONS AS NECESSARY TO MAKE THE ASSEMBLY WHOLE. TREAT THE REMAINING ADJACENT AND ADJOINING WOOD CONDITIONS WITH 3% BORIC ACID SOLUTION. COMPLETE WORK UNDER NOTE SR 6. SALVAGE WORK NOTES
- SR 6 SR EXISTING COMPONENT TO REMAIN. SURFACE OF COMPONENT TO BE CLEANED/DEGREASED, PRIMED, AND PAINTED WITH A HIGH-PERFORMANCE EXTERIOR GRADE ACRYLIC, SEMI-GLOSS FINISH, COLOR TBD BY THE ARCHITECT. SALVAGE WORK NOTES
- SR 7 R&D FAILING EXISTING ROOF FASCIA AND EAVE TRIM IN ITS ENTIRETY. PATCH, REPAIR & REPLACE ALL DEGRADED COMPONENTS. PREP CORNICE BAND AS REQ. FOR NEW SEALANT, PRIMER, AND FINAL HIGH-PERFORMANCE EXTERIOR PAINT FINISH. SALVAGE WORK NOTES
- SR 8 R&D EXISTING COMPOSITE DECKING AND UNDERLYING WOOD STRUCTURE, REMOVING ALL ASSOCIATED HANGERS, FASTENERS & ADHESIVES. TO STONE PAVERS BELOW. SALVAGE WORK NOTES
- SR 9 F&I NEW GRANITE STONE PAVING STONES TO THE ENTIRE AREA FORMERLY OCCUPIED BY COMPOSITE DECKING AND UNDERLYING WOOD SUPPORT STRUCTURE. NEW STONE PAVER BLOCKS TO MATCH THE HEIGHT OF ADA ACCESS RAMP AND MEET THE ADA ENTRY THRESHOLD HEIGHT AT THE DOOR. THE RESULTANT HEIGHT AT THIS LOCATION CAN BE NO GREATER THAN 1/2" MAX.
- SR 10 R&D EXISTING WOOD WINDOW BOX, REMOVE ANY ASSOCIATED FASTENERS OR APPURTENANCE ATTACHED TO THE REMAINING STONE OR WINDOW SASH. SALVAGE WORK NOTES
- SR 11 SR EXISTING ADA RAMP AND RAIL ASSEMBLY CONSTRUCTION ARE TO REMAIN. ALL STEEL COMPONENTS (STRINGER, RAILS, PICKETS) TO BE CLEANED/DEGREASED, PRIMED, AND PAINTED WITH A HIGH-PERFORMANCE EXTERIOR EPOXY IN A BLACK SEMI-GLOSS FINISH.
- SR 12 SR WORK TO RESTORE THE EXISTING CORINTHIAN COLUMN CAPITOLS. REPAIR DECORATIVE ELEMENTS WITH A NON-SLUMPING EPOXY RESIN (WATCO or SIK) MATERIAL THAT WILL BOND, ATTACH TO, AND STRENGTHEN THE UNDERLYING MATERIALS. MATCH THE EXISTING DETAIL, SIZE, SHAPES AND CONFIGURATION. CAPITOLS ARE A CAST-REINFORCED LIGHTWEIGHT CEMENTITIOUS MATERIAL. RE. SPEC.
- SR 13 SR REPLACE PORTIONS OF FAILING EXISTING BRICK WITH NEW UNITS. F&I WORK FOR MASONRY REPAIR AND TUCK POINTING. NEW BRICK COLOR TO MATCH EXISTING. PROVIDE NEW COLOR-MATCHED MORTAR AND PERMEABLE MASONRY COATING. TO SEAL REPAIRED AREA, AND COORDINATE W/ EXISTING ROOF SHEETS FOR GENERAL LOCATION. SALVAGE WORK NOTES
- SR 14 SR REPLACE OR RESTORE PORTIONS EXISTING WOOD CORNICE MOLDING & TRIM WORK ALONG THE EAVE AND PEDIMENT FASCIA. PREP ALL NEW AND REMAINING CONDITIONS, SCRAPE, SAND, PRIME & FINISH PAINT W/ EXTERIOR HIGH-PERFORMANCE PAINT. SALVAGE WORK NOTES
- SR 15 SR EXISTING DOORS, TRANSOM, AND TRIM. PREP ANY APPLY NEW SEALANT, PRIMER, AND FINAL HIGH-PERFORMANCE EXTERIOR PAINT, FINISH TO MATCH THE COLOR OF THE EXISTING COMPARABLE ITEM. COORDINATE WITH AXONELEVATION VIEWS.
- SR 16 SR RESTORE OR REPLACE PORTIONS OF DETERIORATED PILASTERS, APPLY LIQUID HARDENING EPOXY TO ALL REMAINING SOUND AREAS ADJACENT TO THE REMOVED PORTIONS OF THE COMPONENT.
- SR 17 R&D THE EXISTING PEDIMENT LOUVER VENT AND CASING TRIM, FROM THE EXTERIOR OF THE BUILDING. REMOVE ALL DETERIORATED POOR WOOD CONDITIONS. REPLACE ALL WOOD CASING SECTIONS AS NECESSARY TO MAKE THE OPENING ASSEMBLY WHOLE. APPLY PRIMER AND HIGH-PERFORMANCE EXTERIOR PAINT. COORDINATE WITH AXONELEVATION VIEWS.
- SR 18 F&I NEW 20 OZ COPPER WASH COPING AT THE PEDIMENT CONDITION ACROSS THE EXISTING CORNICE LINE AND AT THE HEADTOP OF EXISTING COLUMN CAPITALS. TYP. SALVAGE WORK NOTES
- SR 19 R&D EXISTING CAST CONCRETE PLANTER URNS, REMOVE FROM COURT HOUSE. SALVAGE WORK NOTES
- SR 20 SR EXISTING HEADER AND SILL STONE. PRESSURE WASH AND ACID WASH GRANITE TO REMOVE THE STAINS AND ALGAE FROM THE SURFACE OF THE STONework. PLUG ANY EXISTING HOLES WITH GREY HYDRAULIC MORTAR OR EPOXY TO SEAL AND FINISH. SALVAGE WORK NOTES
- SR 21 SR AS WORK TO RESET ALL STONE WORK IS COMPLETED. CLEAN STONework, PRESSURE WASH, AND CHEMICAL CLEAN TO REMOVE STAINING, DIRT, AND ALGAE FROM THE STONE. USE SURE KLEAN by PROSOOD - STAIN REMOVER & RESTORER OR SIMILAR PRODUCTS TO CLEAN AND RESTORE THE SURFACE. SALVAGE WORK NOTES
- SR 22 SR IN THE ATTIC OF THE COURTHOUSE, THE ORIGINAL PEDIMENT WINDOW IS STORED/LOCATED HERE. RETRIEVE THIS ITEM FOR RESTORATION, REPLACE THE MISSING GLASS PANE/S, CAULK PUTTY, AND IMPROVE THE WINDOW AND PLACE THE WINDOW BACK IN ITS ORIGINAL LOCATION. REMOVE THE INTERIOR FAN AND SHROUD AND LEAVE IT IN THE ATTIC SPACE. REPLACE WOOD SASH CASING NECESSARY TO SUPPORT THE FIXED WINDOW ASSEMBLY. APPLY PRIMER AND HIGH-PERFORMANCE EXTERIOR PAINT TO THE WINDOW AND ALL WOOD FRAMING. SALVAGE WORK NOTES



## 4 NORTH SIDE ENTRY ELEVATION

Scale: 1 1/2" = 1'-0"



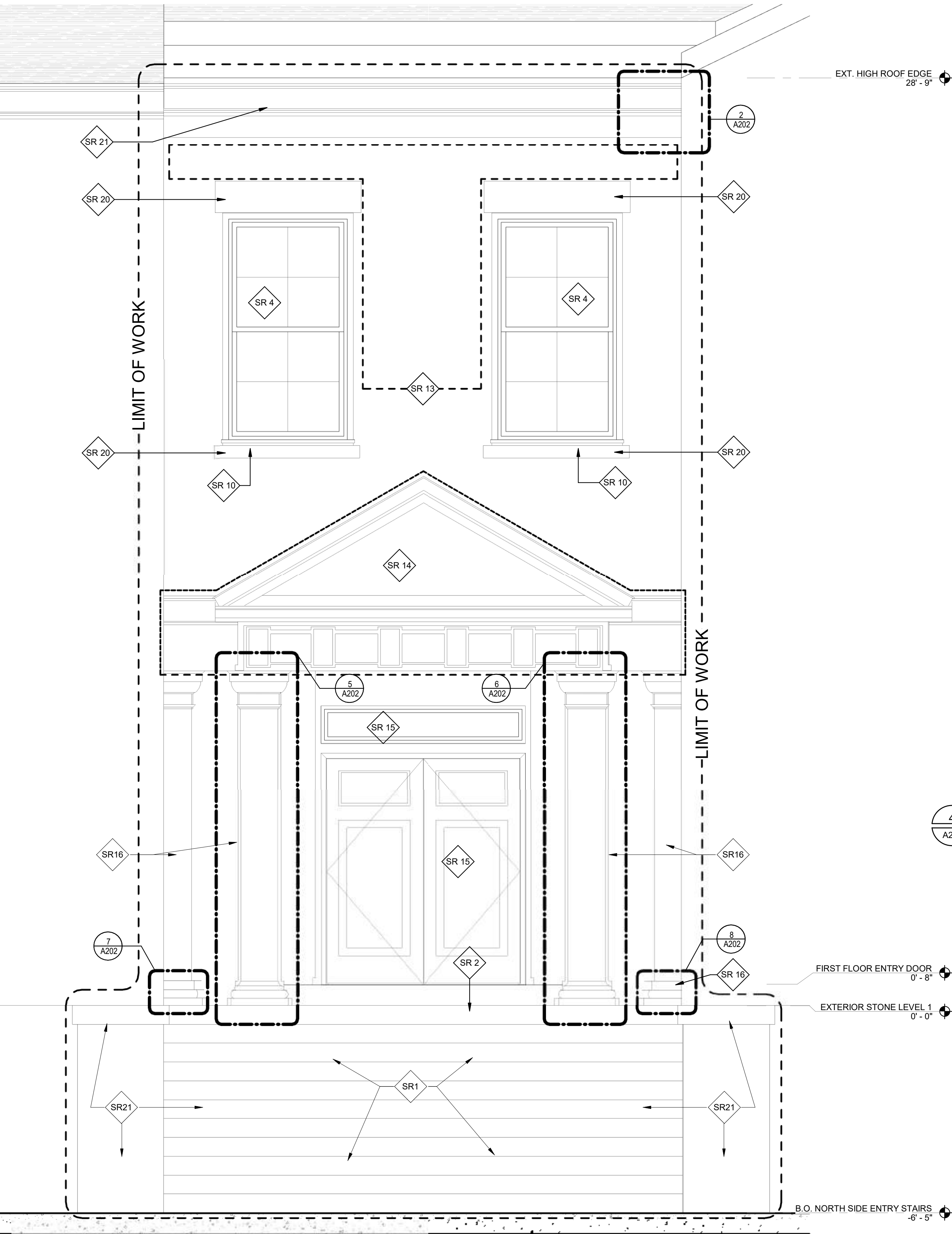
± 10' TYPICAL HEIGHT OF COLUMN

## 5 NORTH ENTRY COLUMN 1

Scale: 1/2" = 1'-0"

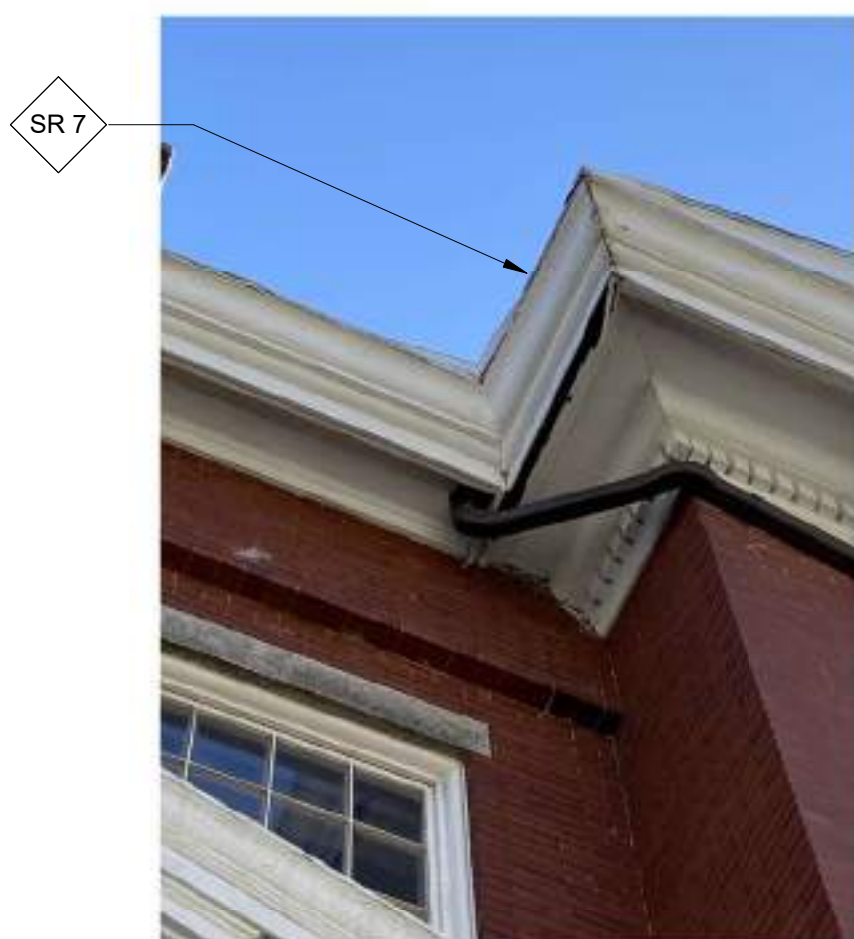
## 6 NORTH ENTRY COLUMN 2

Scale: 1/2" = 1'-0"



## 1 NORTH SIDE ENTRY ELEVATION

Scale: 1/2" = 1'-0"



## 3 BASE OF COLUMNS & PILASTERS

Scale: 1/4" = 1'-0"

## 2 ROOF CORNICE

Scale: 1/2" = 1'-0"

Sheet of



# BRISTOL COUNTY



## NEW BEDFORD SUPERIOR COURT HOUSE ENTRY FACADE RESTORATIONS

441 COUNTY ST, NEW  
BEDFORD, MA 02740

50 Holden Street · Providence, Rhode Island 02908  
(401) 272-1730 · [www.rgb.net](http://www.rgb.net)

*Architecture · Project Management · Interior Design*



THE ROBINSON GREEN BERETTA CORPORATION

ARCHITECTURE, PROJECT MANAGEMENT, AND  
INTERIOR DESIGN

### LIST OF DRAWINGS

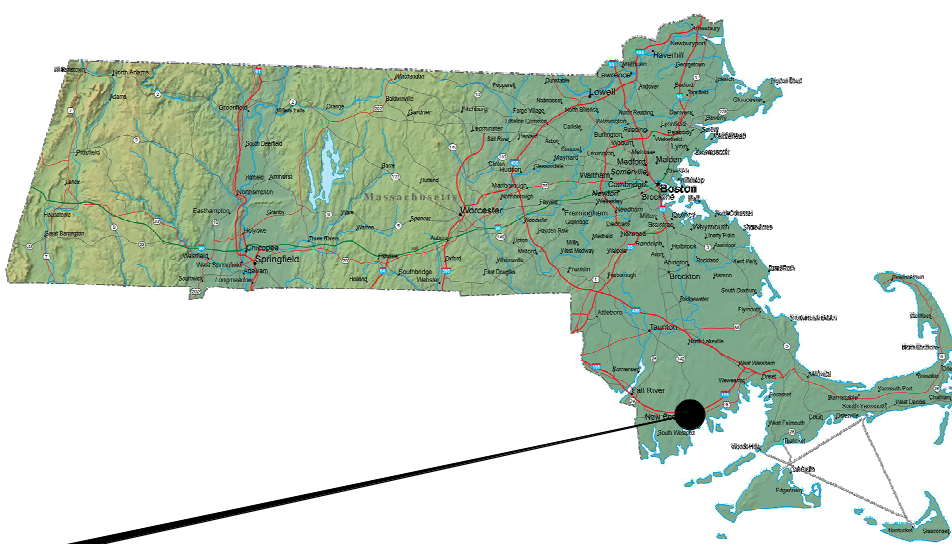
REVISION	DATE	SHEET #	SHEET NAME
ARCHITECTURAL			
G000			COVER SHEET
G001			ABBREVIATIONS & SYMBOLS
A201			EXISTING EAST FRONT ENTRY ELEVATION
A202			EXISTING NORTH SIDE ENTRY ELEVATION

NEW BEDFORD SUPERIOR COURT HOUSE  
ENTRY FACADE RESTORATIONS - 6767-9001

LOCATION MAP



441 COUNTY ST,  
NEW BEDFORD, MA 02740



VICINITY MAP

STATUS: CD REVIEW SET  
DATE: 09/20/2023



AFF ABOVE FINISHED FLOOR  
 AFP ACCESS PANEL  
 ACC ACCESSORY, ACCESSORIES  
 ACAL ACCESS  
 ACUS ACOUSTIC CEILING TILE  
 ADH ADHESIVE  
 ADJ ADJUSTABLE  
 AGG AGGREGATE (S)  
 AIR AIR CONDITIONING  
 AYB AIR/VAPOUR BARRIER  
 ALT ALTERNATING CURRENT  
 ALN ALTERNATE  
 ALUM ALUMINUM  
 ALTH ALUMINUM THRESHOLD  
 ANC ANCHOR (S) AND CHORAGE (S)  
 AB ANCHOR BOLTS  
 A- ANGLE  
 ANOD ANODIZED  
 ANGL ANGLE  
 APP APPROVED, APPROVAL  
 APPROX APPROXIMATE  
 ACQ ACQUISITION, PARTITION  
 @ AREA DRAIN AT  
 AD ATTACH, ATTACHMENT  
 ALV AUTOMATIC LOUVER DAMPER  
 AVE AVERAGE  
 AVG AVERAGE  
 BTB BACK TO BACK  
 BM BEAM  
 BMK BENCHMARK  
 BC BEARING  
 BPL BEARING PLATE  
 BIT BITUMINOUS  
 BC BOTTOM OF CURB  
 BLK BLOCK  
 BLKG BLOCKING  
 BD BOARD  
 BF BOTTOM OF FOOTING  
 BO BOTTOM OF  
 BC BOTTOM OF CURB  
 BOC BOTH SIDES  
 BW BOTH WAYS  
 BOT BOTTOM  
 BKT BRACKET  
 BK BRICK  
 BRG BRIDGING, BRIDGE (D)  
 BTU BRITISH THERMAL UNIT  
 DL.D LG DRAIN  
 BULG BUILT-UP ROOFING CHALK  
 CBK CHALK  
 CPT CAB  
 CPT CARPET  
 CI CAST IRON  
 CB CATCH BASIN  
 CL CEILING  
 CTR CENTER  
 CLR CENTERLINE  
 CTRC CENTER TO CENTER  
 CTR CENTER  
 CLF CENTERGRADE (CELSIUS)  
 CLM CERAMIC TILE  
 CHM CHAIN-LINK FENCE  
 CHM CHALKBOARD  
 CHM CHANNEL  
 CM CENTERMETER  
 CCK CHECK VALVE  
 CHWR CHILLED WATER RETURN  
 CHWS CHILLED WATER SUPPLY  
 CKT CIRCUIT  
 CL CLEANOUT  
 CLR CLEAR, CLEARANCES  
 CS CLOSURE  
 CW COLD WATER  
 C.COL COLUMN  
 COMP COMPRESS (ED,ION),(BLE)  
 CON CONCRETE  
 CMU CONCRETE MASONRY UNITS  
 COND CONDENSED  
 CS CONNECTION  
 CONT CONTINUOUS  
 CONTR CONTRACT LIMIT LINE  
 CONTR CONTRACTOR  
 CONT CONTROL JOINT  
 CFL COUNTERFLASHING (S)  
 CS COUNTERSINK, COUNTERSUNK  
 CU COPPER  
 CFM CUBIC FEET PER MINUTE  
 CFU CUBIC FEET PER SECOND  
 CFU CUBIC FEET  
 CU IN CUBIC INCH  
 CY CUBIC YARD  
 CYL CYLINDER, CYLINDRICAL  
 DPL DAMPER  
 DMP DAMPROOF (ED),(ING)  
 DL DEAD LOAD  
 DB DECEMBER  
 DEG DEGREE  
 DEM DEMOLISH, DEMOLITION  
 DEP DEPENDENT  
 DET DETAIL  
 DIA DIAMETER  
 DQ DRAINAGE  
 DIM DIMENSION  
 DNG DIRECT CURRENT  
 DPN DISCONNECT (ION)  
 DPN DISPENSER  
 DPL DISPOSAL, DISPOSABLE  
 DR DOOR  
 DBL DOUBLE  
 DR DOUBLE-HUNG  
 DTA DOVETAIL ANCHOR  
 DTS DOVETAIL ANCHOR SLOT  
 DN DOWN  
 DWS DOWNSPOUT  
 DRAIN DRAIN, DRAINAGE LINE  
 DI DRAIN INLET  
 DT DRAIN TILE  
 DWS DRAWING (S)  
 DWG.DRWO DRAWING FROM DRAINAGE  
 DMH DRAIN FLOOD MOUNTAIN  
 DMH DRAIN MANHOLE

EW	EXT. INSUL. FINISH SYSTEM	HCWD	HOLLOW CORE WOOD
EW	EACH WAY	HM	HOLLOW METAL
EW	EACH	HMC	HOLLOW METAL CLAD
EFF	EFFICIENCY	HMFR	HOLLOW METAL FRAME
EF	ELECTRIC	HOK	HOK (S)
EF ELECT.	ELECTRIC PANEL	HR	HOUR
ENC	ELECTRIC WATER COOLER	HRZ	HORIZONTAL
ENCL	ENCLOSURE	HRS	HOURS
ENCL	ENCLOSURE	HB	HOSE BIBB
EQ	EQUAL (TO)	HOB	HOT WATER
EQ, EQUIP	EQUIPMENT	HWR	HOT WATER RETURN
EXH	EXHAUST	HWC	HOT WATER, CIRCULATOR
EXH	EXHAUST DUCT	HWT	HOT WATER TAPSET
EXH	EXHAUST FAN	HHW	HOT WATER HEATING
EXH	EXHAUST HOOD	HWT	HOT WATER TANK
EXIST	EXISTING	HYD	HYDRANT
EXP	EXPANSION		
EXP	EXPANDED	IN	INCH
EXP	EXPANSION BOLT	INCL	INCLUDING (ED) (SIVE)
EXP	EXPANSION JOINT	INFO	INFORMATION
EXT	EXTENDED	ID	INSIDE DIAMETER
EPT	EXTRUDED POLYSTYRENE	INSL	INSULATE (D) (ATION)
EXT	EXTERIOR	INSL	INSULATED METAL CLAD
		INT	INTERIOR
FB	FABRICATE	INVT	INVERT
FB	FACE OF	IE	INTER. INTERVAL
FS, FOS	FACE OF STUD	IDM	ISOLATED SPEC. METALS
FAS	FASTER		
FFM	FEET PER MINUTE		
FFM	FEET PER SECOND	JAN	JANITOR
FNDP	FEMININE NAFKIN DISPENSER UNIT	JT	JOINT
FNDP	FEMININE NAFKIN DISPENSER UNIT	JF	JOINT FILLER
FNL	FINISH FLOOR	JN	JOINT SEALER
FBL	FIBERBOARD	J	JOIST
FBL	FIBERGLASS	JNCT	JUNCTION
FL	FILER (S)	JB	JUNCTION BOX
FIN	FINISH		
FIN	FINISH FLOOR ELEVATION	KVA	KILOVOLT-AMPERE
FIN	FINISH FLOOR LINE	KW	KILOWATT
FTR	FINNED TUBE RADIATION	K	KIP
FA	FIRE ALARM STATION	KD	KNOCK DOWN
FDC	FIRE DEPARTMENT CONNECTION		
FEX	FIRE EXTINGUISHER	LAB	LABORATORY
FEC, FXC	FIRE EXTINGUISHER CABINET	LAD	LADDER
FIR	FIRE HOSE CABINET	LAM	LAMINATE (D)
FIR	FIRE HOSE RACK	LAF	LATERAL
PH	FIRE HYDRANT	LAV	LAVATORY
FM	FIRE MAIN	LB	LAB BUILT
FR	FIRE PROOF (ING)	LBL	LABEL
FR	FIRE RESISTANT	LBS, #	POUNDS
FR	FIRE RESISTANT COATING	L	LEAD COATED COPPER
FRT	FIRE-RETARDANT TREATMENT	LR	LEADER
FRT	FIRE STANDPIPE	LEFT	LEFT HAND
FXD	FIXED	LWOD	LESS WIDTH OF DOOR
FLG	FLUTE	LN	LINEN
FLX	FLASHING	LP	LIGHT PROOF
FLX	FLAT HEAD COUNTERSUNK SCREW	LS	LIMESTONE
FLS	FLAT HEAD WOOD SCREW	LT	LIT
FLS	FLAT HEAD WOOD SCREW	LL	LIVE LOAD
FLR	FLOOR, FLOORING	LW	LIGHT WEIGHT
FLR	FLOOR DRAIN	LOW PRESS	LOW PRESSURE
FLR	FLOOR GRILLING (REGISTER)	LOC	LOCATION
FLU	FLUORESCENT	LOC	LOCATION
FLU	FLOW LINE	LR	LONG, LENGTH
FL	FOOT, FEET	LONG	LONGITUDINAL
FC	FOOT/CANDES	LONG	LONG SPAN STEEL JOIST
FTD	FOOTING	LVR	LOUVER
FTD	FOOTWORK	LD	LONG DRAIN
FND, FWD	FOUNDATION (WALL)	LVT	LUXURY VINYL, TILE
FND	FURNISHED BY OTHERS		
F I	FURNISH & INSTALL	MB	MACHINE BOLT
F I	FURNISHING	MB	MANHOLE
F I	FUTURE	MF, MFMD	MANUFACTURED
FRT	FRESH AIR INTAKE	MFR	MANUFACTURER
FRP	FIBRE REINFORCED PLASTIC	MFG	MANUFACTURING
FLS	FUSIBLE LINK	MBL	MARK
GAL	GALLON (S)	MK	MARK
GPH	GALLONS PER HOUR	MAS	MASONRY
GPH	GALLONS PER MINUTE	MCJ	MASONRY CONTROL JOINT
GPS	GALLONS PER SECOND	MASON	MASONRY JOINT
GST	GALVANIZED	MO	MASONRY OPENING
GALV	GALVANIZED IRON	MT	MATERIAL (S)
GALV	GALVANIZED STEEL	MAX	MAXIMUM
G	GAS	MC	MEDICINE CABINETS
GKT	GASKET (ED)	MDP	MEDIUM DENSITY FIBERBOARD
GAV	GAUGE VALVE	MBR	MEMBRANE
GAV	GAUGE	MB, MEMB	MEMBRANE
GLB	GLASS BLOCK	MTL	METAL
GUM	GLAZED MASONRY UNITS	METC	METAL CLAD
GB	GRAB BAR	ME	METAL EDGE
GL	GRADE, GRADING	MRE	METAL ROOF DECKING)
GRV	GRAVEL	ME	METER
GVL	GRAVEL	MEZZ	MEZZANINE
GR	GRIFF	MC	MICROPHONE
GD	GROUND (ED)	MM	MILLIMETER
GT	GROUT (ED)	MWK	MILLWORK
GB, GD	GYPSUM WALLBOARD	MMIN	MINIMUM
GWB	GYPSUM WALLBOARD	MIR	MIRROR
GVL	GYPSUM LATH	MIS	MISCELLANEOUS
GL	GLASS FIBRE REINF. CONC.	MIX	MIXING VALVE
GPL	GYPSUM PLASTER	MOD	MODULAR
		MOD	MODULING
HA	HAND HOLD	MDO	MEDIUM DENSITY OVERLAY
HA	HANGER	MU	MOUNT (ED) (ING)
HBD	HARDBOARD	MHT	MOUNTING HEIGHT
HA	HANDICAPPED	MUL	MULLION
HBDN	HARDWOOD		
HDW	HARDWARE		
HDW	HARDWOOD		
HD	HEAD	NC	NO
HD	HEADING	NAT	NATURAL (FINISH)
HDR	HEAD DETECTOR	NRC	NOISE-REDUCTION
HDE	HEAD DETECTOR		
HDE	HEAD DETECTOR	NOM	NOMINAL
HAC	HEATING & AIR CONDITIONING	NC	NON-CORROSIVE
H V & V	HEATING & VENTILATING	NT	NOT IN THIS CONTRACT
HAC	HEATING & AIR CONDITIONING	NTS	NOT TO SCALE
H V & V	HEATING & VENTILATING	NO.#	NUMBER
HVC	HEATING & VENTILATING, COOLING	OC	ON-CENTER
HVC	HEATING (CYCLES PER SECOND)	OC	ON-CENTER
H V	HEATING, VENTILATING, COOLING	OP	OPENING
HV	HIGH VOLTAGE	OP	OPERATOR
HV	HIGHWAY	OPPOSITE	OPPOSITE
HD	HOLD OPEN	O.P. OPH	OPPOSITE HAND
		OP	OPPOSITE HAND, SIMILAR

OSB	ORIENTED STRAND BOARD	STD	STANDARD
OS	OR APPROVED EQUAL	STE	STEEL
OZ	OUNCE	STIFF	STIFFENER
OD	OUTSIDE DIAMETER	STN	STONE
OA	OVERALL	STO	STORAGE
OH	OVERHEAD	STO	STORM DRAIN
OHF	OVERHEAD BRACED	ST	STREET
OHF	OVERHEAD DOOR	STR	STRUCTURAL
OF	OWNER FURNISHED	STR	STRUCTURAL INSULATED PANEL
OF	OWNER FURNISHED & INSTALLED	SUP	SUPPLEMENT
OF	OWNER FURNISH-CONTRACTOR INSTALL	SUSP	SUSPENDED
OX	OXYGEN	SUSP	SUSPENDED ACOUSTIC TILE
		SUSP	SUSPENDED CEILING
		SUSP	SYMMETRY (ICAL)
PT	PRESSURE TREATED	SYS	SYSTEM
PNT, PTD	PAINTED	TS	TACKBOARD
PAR	PANEL	TEL	TELEPHONE
PBL	PASSABLE	TEL	TELEVISION
PND	PARTICLE BOARD	TEMP	TEMPER (ED)
PTN	PARTITION	TEMP	TEMPERATURE CONTROL VALVE
PCT or %	PERCENT (AGE)	TCV	TEST
P	PERFORATED (I)	TP	TERRAZZO
PERIM	PERIMETER	THM	THERMOMETER
PERP, L	PERPENDICULAR	THS	THIRST
PI	PROVIDE & INSTALL	TH	THICK, THICKNESS
PLAS	PLASTER	THR	THRESHOLD
PL	PLASTIC LAMINATE	TCL	TIME CLOCK
PLUMB	PLUMBING	TOL	TOLERANCE
PLYWD	PLYWOOD	TG, T & G	TONGUE AND GROOVE
PNU	PNEUMATIC	TOP	TOP OF
PO (ED)	POLY (ED)	TOP	TOP OF CONC
PE	PORCELAIN ENAMEL	TOS, TS	TOP OF STEEL
PCF	POUNDS PER CUBIC FOOT	TOW	TOP OF WALL
PL	POUNDS PER LINEAR FOOT	TRANS	TRANSFORMER
PCS	POUNDS PER SQUARE FOOT	TRANS	TRANSOM
PS	POUNDS PER SQUARE INCH	TRNS	TRANSVERSE SECTION
PIC	POURED INPLACE CONCRETE	TURN	TURNING POINT
PDC	POWER DRIVE FASTENER (ING)	TVP	TYPICAL
PRE	PREGAST CONCRETE	TOM	TOP OF MASONRY
PREFAB	PREFABRICATED		
PRN	PREFINISH (ED)	UHF	ULTRAHIGH FREQUENCY
PRF	PREFORMED	UHF	UNDERFLOOR (DUCT)
PM	PREMOLDED	UG	UNDERGROUND
MTL	PREFINISHED METAL	UNF	UNDERSLIVERS/LABORATORY
PVT	PRIVATE	UNF	UNFINISHED
PROJ	PROJECT	UNF	UNLESS NOTED OTHERWISE
PL, L	PROPERTY LINE	UH	UNIT HEATER
PUB	PUBLIC	UK	UNIT KITCHEN
PA	PUBLIC ADDRESS	UNIT	UNIT VENTILATOR
PB	PULL BOX	UP	UPWARD ACTING SECTIONAL
PB	PULL, PULL CHAIN	UJ	
PP	PUMP	VJ	V-JOINTED
PD	PUMP DISCHARGE	VA	VACUUM
PI	POST INDICATOR VALVE	VAB	VACUUM BREAKER
PC	PHYSICALLY CHALLENGED	VB	VAPOR BARRIER
Q	QUARRY, LIME	VAPOR	VAPORPROOF
PVT	QUARRY TILE	VNR	VENUE
		VNT	VENT
RV	RACEWAY	VR, VTR	VENT THROUGH ROOF
RAD	RADIATOR, RADIATION	VENT	VENTILATOR
RA, R	RISER	VERT	VERTICAL
RL	RAIL, RAILING	VHF	VERY HIGH FREQUENCY
RL	RAILROAD	VLF	VERY LOW FREQUENCY
RECP	RECEPTACLE	VIB	VIBRATION ISOLATOR
REF	REFERENCE	VIN	VERY IN FIELD
RFL	REFLECTIVE	VNL	VINYL COMPOSITION TILE
RE	REFER TO	VCT	VINYL BASE
REG	REGISTER	VF	VINYL FABRIC
REG	REGISTERED	VOT	VINYL QUARTZ TILE
RFC	REINFORCE (D) (ING)	VS	VINYL SHEET
RF	REINFORCED CONCRETE	VV	VINYL TILE
REQ, REQD	REQUIRED, REQUIREMENTS	VIT	VITREOUS
R & S	REMOVE AND SALVAGE	VIT	VITRIFIED CLAY
R & D	REMOVE AND DISPOSE & REINSTATE	V	W (AGE)
R	REMOVE AND REINSTATE	WC	WALL COVERING
RES	RESILIENT	WV	WALL WALLCOVERING
RTN	RETURN (ED) (ER) (ING)	WNC	WANSKOT
RS, REV	REVERSE (SIDE)	W	WALL-HANG
REV	REVISE (ED), REVISION	WHY	WALL HYDRANT
RTM	REVOLUTIONS PER MINUTE	W	WALL OF WALL
RS	REVOLUTIONS PER SECOND	W	WASTE
R	RIGHT HAND	W	WASTE RECEPTACLES
ROW	RIGHT-OF-WAY	WH	WATER CLOSET
R	ROOF DRAIN	WHA	WATER HAMMER ARRESTOR
RD	ROOF DRAIN	WP	WORK (ING) (ING)
RM	ROOM	WPT (WP)	WORK (ING) POINT
RO	ROUND OPENING	W	WEATHERSTRIPPING
R	RUBBER	W	WEEDPINE
RS	RUSTPROOF (ING)	WWF	WELDED WIRE FABRIC
		WID, WIDH	WIDE, WIDTH
SDL	SADDLE	WFLJF	WIDE-FLANGE BEAM
SAN	SANITARY (SEWER)	WG	WIRE GLASS
SCN	SCREEN	WM	WIRE MESH
S	SEAL	W, W/	WITH
SLR	SEALER	WIN	WITH
STG	SEATING	W, W/O, W/O	WITHOUT
S	SECT	W	WOOD
SEL	SELECT (OR) (OR)	WB	WOOD BASE
S	SEPTIC TANK	WBM	WOOD BEAM
SVC	SERVICE	WBO	WORK BY OWNER
S	SERVICE SINK	WBO	WORK BY OTHERS
SKH	SKEATING	WBT	WORK BY TENANT
SH	SHEET	WK	WORK
S	SHELF, SHELVE	WKRM	WORKROOM
S & R	SHELF & ROD	W	WROUGHT IRON
SHR	SHOWER RECEPTOR	XR	X-RAY
SHR	SIMILAR (TO)		
SI	SINGLE HUNG	Y	Y-FITTING
S	SINK		
SKL	SKYLIGHT	Z	ZONE
S	SLEEV	Z	ZONE
SDE, SD	SNOKE DETECTOR	ZS	ZINC COATED
SM	SNOKE-VENTING HATCH	ZS	ZEE STUD
SCWD	SOLID CORE WOOD		
SMV	SOLID SURFACE MATERIAL		
S	SOUNDPROOF		
SPK	SPEAKER		
SPEC	SPECIFICATIONS		
S	SPECIFIED		
SPR	SPRINKLER		
SQ, S	SQUARE		
S	SQUARE FOOT (FEET)		
S	SQUARE YARD		</

DETAIL # 1  
DRAWING # A101  
VIEW TITLE  
SCALE: 1/8" = 1'-0"  
DRAWING TITLE  
DRAWING SCALE

EXTERIOR ELEVATION IDENTIFICATION TAG  
DETAIL # 1  
DRAWING # A101

DETAIL REFERENCE (ENLARGED & DETAIL VIEW)  
DETAIL # 1  
DRAWING # A101

SECTION REFERENCE (BUILDING VIEW)  
DETAIL # 1  
DRAWING # A101

SECTION REFERENCE (WALL VIEW)  
DETAIL # 1  
DRAWING # A101

SECTION DETAIL IDENTIFICATION TAG  
DETAIL # 1  
DRAWING # A101

INTERIOR ELEVATION IDENTIFICATION TAG  
ELEVATION # 1  
DRAWING # A101

**PLAN WORK NOTES**

WALL TYPE → 1t thr

FIRE RATING → 1t thr

FLOOR TYPE → 1t thr

FIRE RATING → 1t thr

ROOF TYPE → 1t thr

FIRE RATING → 1t thr

**ELEVATION WORK NOTES**

NOTES WITHOUT ARROW INDICATE ENTIRE SPACE OR AREA → A1

NOTES WITH ARROWS INDICATE A SPECIFIC AREA OR ITEM → A1

**WINDOW TAG**

A → LETTER INDICATES INTERIOR WINDOW

99 → NUMBER INDICATES EXTERIOR WINDOW

ZZ → DOUBLE LETTER INDICATES ALUMINUM STOREFRONT SYSTEM

**ROOM IDENTIFICATION TAG**

ROOM NAME → NAME

ROOM # → 101

**DIMENSIONS**

DIMENSIONS ARE TO FOS UNO

1 1/4"

CENTERLINE  
CENTERLINE BM  
CENTERLINE COL

1 1/4"

1 1/4"

1 1/4"

F.O. CMU

F.O. BRICK  
F.O. CONC

F.O. CMU

F.O. BRICK  
F.O. CONC

ALIGN SYMBOL

ALIGN

CENTERLINE SYMBOL

FINISH FLOOR ELEVATION /  
DATUM IN PLAN

100'-0"

FINISH FLOOR ELEVATIONS IN  
SECTIONS / ELEVATIONS

100'-0"

PROJECT NORTH ARROWS

NORTH

REFERENCE  
NORTH

Any reproduction, possession, or use of this drawing or any part thereof without the express written permission of RGB, is prohibited. Violators will be prosecuted to the full extent of the law.

### Certification

Revised on

\_\_\_\_\_

Phone: (401) 272-1730  
Fax: (401) 273-7156

Architecture · Project Management · Interior Design

BRISTOL

## CONTENTS

SUPERIOR

COURT HOUSE

## RESTORATIONS



\_\_\_\_\_

BEDFORD, MA 02740

CD REVIEW SET

Sheet Contents

## SYMBOLS

0001

\_\_\_\_\_



## ELEVATION NOTES - EXTERIOR

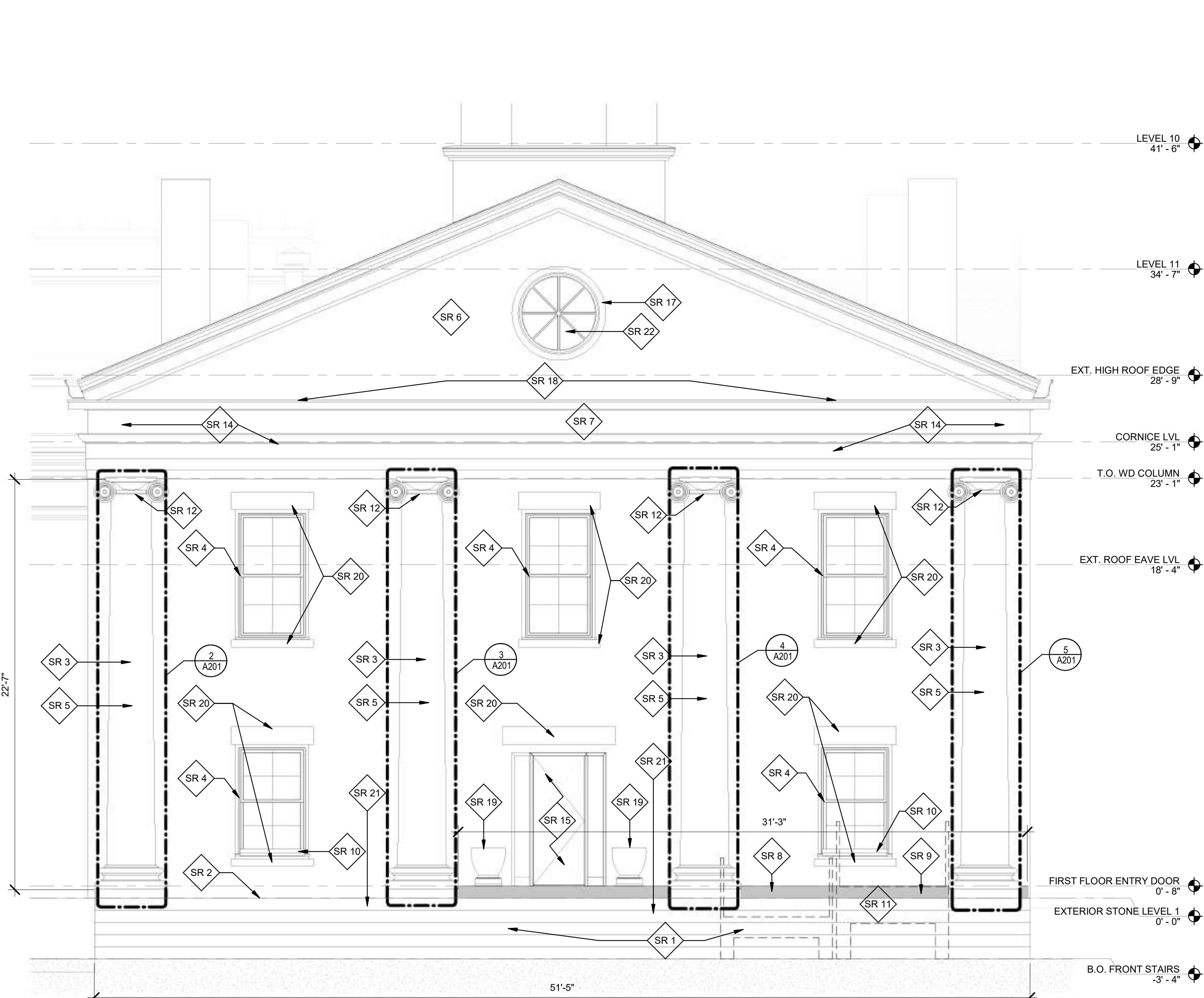
- SUBMIT SAMPLES OF ALL EXTERIOR FINISH MATERIALS FOR REVIEW & APPROVAL PRIOR TO FABRICATING/CONSTRUCTION, TYPICAL.
- SEALANT/CAULKING COLORS TO MATCH ADJACENT FINISH LISTED IN REQUIRED PRIORITY. ARCHITECT TO APPROVE SAMPLE IN FIELD PRIOR TO INSTALLATION.

## CONSTRUCTION LEGEND

- XXX WORK NOTES WITHOUT AN ARROW INDICATE AN ENTIRE SPACE/AREA.
- XXX WORK NOTES WITH AN ARROW(S) INDICATE SPECIFIC AREAS &/OR ITEMS.

## SALVAGE, RESTORATION, AND RESET WORK NOTES

- SR 1 S&R ENTRY STONE STAIRS, MARK STONE LOCATIONS AND ORIENTATION, LIFT, REMOVE, AND STORE STONES TO ACCESS AND IMPROVE UNDERLYING SUBSTRATE AND BEARING CONDITIONS. RESET ALL STONEMWORK BACK TO LEVEL AND PLUMB. IF SIGNIFICANT CRACKING OR BROKEN STONES ARE NOT SALVAGEABLE, REPLACE WITH A NEW CUT STONE TO MATCH THE ORIGINAL NON-BROKEN ITEM. BED ALL STONES IN POLYMERIC SAND FOR JOINTS AND SEAMS. COORDINATE STAIR PIECES FOR REPLACEMENT, OR RESETTING TYP. SALVAGE WORK NOTES
- SR 2 S&R EXISTING PAVING STONES OF THE ENTRANCE PORTICO. REMOVE STONE WORK DOWN TO SOUNDSOLID SUBSTRATE CONDITIONS. COMPACT CONDITIONS, FILL VOIDS AND DEPRESSIONS WITH STONE DUST. REINSTALL STONES, SET STONES IN POLYMERIC SAND AT JOINTS AND SEAMS. STONES ARE TO BE LEVELED AND HAVE SURFACES PITCHED TO DRAIN AWAY FROM THE BUILDING AT 3/16" PER FOOT MIN. COORDINATE SIZE AND PIECES OF STONE FOR REPLACEMENT, TYP. SALVAGE WORK NOTES
- SR 3 R&D EXISTING WATER-DAMAGED PORTION OF DECAYED AND DRYROTTED WOOD COLUMN BASE, SHAFT, AND/OR CAPITOL AS REQ. LIMITED SAWCUTTING FOR REMOVAL IS EXPECTED FOR NEW WORK TO REPAIR EXISTING CONDITIONS. APPLY LIQUID WOOD HARDENING EPOXY TO ALL REMAINING SOUND AREAS ADJACENT TO THE REMOVED PORTIONS OF THE COLUMN. SALVAGE WORK NOTES
- SR 4 S&R RESTORE THE EXISTING WOOD WINDOW FRAME AND SASH. SCRAPE, SAND, APPLY NEW SEALANT, PRIMER, AND FINAL HIGH-PERFORMANCE EXTERIOR PAINT FINISH TO WINDOW ASSEMBLY. SALVAGE WORK NOTES
- SR 5 S&R IF POOR DETERIORATED WOOD CONDITIONS ARE UNCOVERED (DRYROT FUNGUS) REMOVE AND REPLACE SECTIONS AS NECESSARY TO MAKE THE ASSEMBLY WHOLE. TREAT THE REMAINING ADJACENT AND ADJOINING WOOD CONDITIONS WITH 3% BORIC ACID SOLUTION. COMPLETE WORK UNDER NOTE SR 6. SALVAGE WORK NOTES
- SR 6 S&R EXISTING COMPONENT TO REMAIN. SURFACE OF COMPONENT TO BE CLEANED/DEGREASED, PRIMED, AND PAINTED WITH A HIGH-PERFORMANCE EXTERIOR GRADE ACRYLIC, SEMI-GLOSS FINISH. COLOR TBD BY THE ARCHITECT. SALVAGE WORK NOTES
- SR 7 R&D FAILING EXISTING ROOF FASCIA AND EAVE TRIM IN ITS ENTIRETY. PATCH, REPAIR & REPLACE ALL DEGRADED COMPONENTS. PREP CORNICE BAND AS REQ. FOR NEW SEALANT, PRIMER, AND FINAL HIGH-PERFORMANCE EXTERIOR PAINT FINISH. SALVAGE WORK NOTES
- SR 8 R&D EXISTING COMPOSITE DECKING AND UNDERLYING WOOD STRUCTURE. REMOVING ALL ASSOCIATED HANGERS, FASTENERS & ADHESIVES, TO STONE PAVERS BELOW. SALVAGE WORK NOTES
- SR 9 F&I NEW GRANITE STONE PAVING STONES TO THE ENTIRE AREA FORMERLY OCCUPIED BY COMPOSITE DECKING AND UNDERLYING WOOD SUPPORT STRUCTURE. NEW STONE PAVER BLOCKS TO MATCH THE HEIGHT OF ADA ACCESS RAMP AND MEET THE ADA ENTRY THRESHOLD HEIGHT AT THE DOOR. THE RESULTANT HEIGHT AT THIS LOCATION CAN BE NO GREATER THAN 1/2" MAX.
- SR 10 R&D EXISTING WOOD WINDOW BOX. REMOVE ANY ASSOCIATED FASTENERS OR APPURTENANCE ATTACHED TO THE REMAINING STONE OR WINDOW SASH. SALVAGE WORK NOTES
- SR 11 S&R EXISTING ADA RAMP AND RAIL ASSEMBLY CONSTRUCTION ARE TO REMAIN. ALL STEEL COMPONENTS (STINGER, RAILS, PICKETS) TO BE CLEANED/DEGREASED, PRIMED, AND PAINTED WITH A HIGH-PERFORMANCE EXTERIOR EPOXY IN A BLACK SEMI-GLOSS FINISH.
- SR 12 S&R WORK TO RESTORE THE EXISTING CORINTHIAN COLUMN CAPITOLS. REPAIR DECORATIVE ELEMENTS WITH A NON-SLUMPING EPOXY RESIN (WATCO or Sika) MATERIAL THAT WILL BOND, ATTACH TO, AND STRENGTHEN THE UNDERLYING MATERIALS. MATCH THE EXISTING DETAIL, SIZE, SHAPES AND CONFIGURATION. CAPITOLS ARE A CAST-REINFORCED LIGHTWEIGHT CEMENTITIOUS MATERIAL. RE: SPEC.
- SR 13 S&R REPLACE PORTIONS OF FAILING EXISTING BRICK WITH NEW UNITS. F&I WORK FOR MASONRY REPAIR AND TUCK POINTING. NEW BRICK COLOR TO MATCH EXISTING. PROVIDE NEW COLOR-MATCHED MORTAR AND PERMEABLE MASONRY COATING TO SEAL REPAIRED AREA, AND COORDINATE W/ EXISTING ROOF SHEETS FOR GENERAL LOCATION. SALVAGE WORK NOTES
- SR 14 S&R REPLACE OR RESTORE PORTIONS EXISTING WOOD CORNICE MOLDING & TRIM WORK ALONG THE EAVE AND PEDIMENT FASCIA. PREP ALL NEW AND REMAINING CONDITIONS. SCRAPE, SAND, PRIME & FINISH PAINT W/ EXTERIOR HIGH-PERFORMANCE PAINT. SALVAGE WORK NOTES
- SR 15 S&R EXISTING DOORS, TRANSOM, AND TRIM. PREP ANY APPLY NEW SEALANT, PRIMER, AND FINAL HIGH-PERFORMANCE EXTERIOR PAINT. FINISH TO MATCH THE COLOR OF THE EXISTING COMPARABLE ITEM. COORDINATE WITH AXONELEVATION VIEWS.
- SR 16 S&R RESTORE OR REPLACE PORTIONS OF DETERIORATED PLASTER, APPLY LIQUID HARDENING EPOXY TO ALL REMAINING SOUND AREAS ADJACENT TO THE REMOVED PORTIONS OF THE COMPONENT.
- SR 17 R&D THE EXISTING PEDIMENT LOUVER VENT AND CASING TRIM FROM THE EXTERIOR OF THE BUILDING. REMOVE ALL DETERIORATED POOR WOOD CONDITIONS. REPLACE ALL WOOD CASING SECTIONS AS NECESSARY TO MAKE THE OPENING ASSEMBLY WHOLE. APPLY PRIMER AND HIGH-PERFORMANCE EXTERIOR PAINT. COORDINATE WITH AXONELEVATION VIEWS.
- SR 18 F&I NEW 20 OZ COPPER WASH COPING AT THE PEDIMENT CONDITION ACROSS THE EXISTING CORNICE LINE AND AT THE HEAD/TOP OF EXISTING COLUMN CAPITALS, TYP. SALVAGE WORK NOTES
- SR 19 R&D EXISTING CAST CONCRETE PLANTER URNS, REMOVE FROM COURT HOUSE. SALVAGE WORK NOTES
- SR 20 S&R EXISTING HEADER AND SILL STONE. PRESSURE WASH AND ACID WASH GRANITE TO REMOVE THE STAINS AND ALGAE FROM THE SURFACE OF THE STONEMWORK. PLUG ANY EXISTING HOLES WITH GREY HYDRAULIC MORTAR OR EPOXY TO SEAL AND FINISH. SALVAGE WORK NOTES
- SR 21 S&R AS WORK TO RESET ALL STONE WORK IS COMPLETED. CLEAN STONEMWORK. PRESSURE WASH, AND CHEMICAL CLEAN TO REMOVE STAINING, DIRT, AND ALGAE FROM THE STONE. USE SURE KLEAN by PROSOCO - STAIN REMOVER & RESTORER OR SIMILAR PRODUCTS TO CLEAN AND RESTORE THE SURFACE. SALVAGE WORK NOTES
- SR 22 S&R IN THE ATTIC OF THE COURTHOUSE, THE ORIGINAL PEDIMENT WINDOW IS STORED/LOCATED HERE. RETRIEVE THIS ITEM FOR RESTORATION, REPLACE THE MISSING GLASS PANE/S, CAULK /PUTTY, AND IMPROVE THE WINDOW AND PLACE THE WINDOW BACK IN ITS ORIGINAL LOCATION. REMOVE THE INTERIOR PAN AND SHROUDING AND LEAVE IT IN THE ATTIC SPACE. REPLACE WOOD SASH CASING NECESSARY TO SUPPORT THE FIXED WINDOW ASSEMBLY. APPLY PRIMER AND HIGH-PERFORMANCE EXTERIOR PAINT TO THE WINDOW AND ALL WOOD FRAMING. SALVAGE WORK NOTES

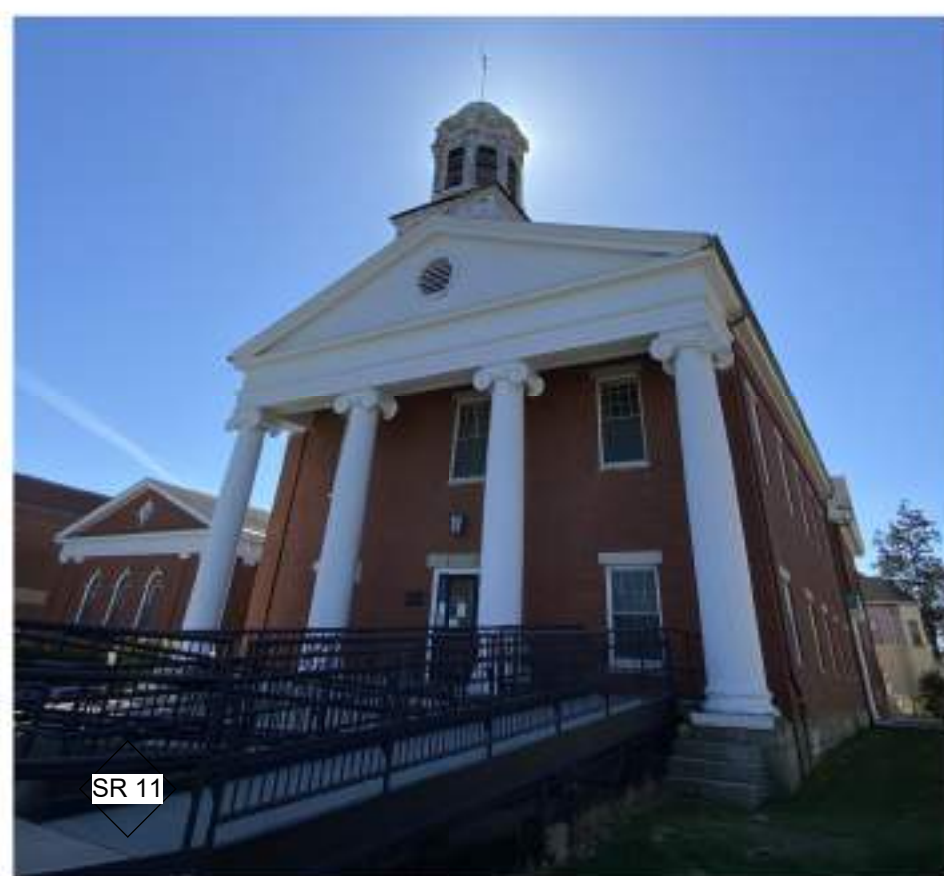


## 1 EAST ENTRY ELEVATION

A201 Scale: 1/4" = 1'-0"

## 6 EXISTING CONDITIONS PHOTOS

A201 Scale: 1" = 1'-0"



## 7 EXISTING ADA RAMP

A201 Scale: 1/2" = 1'-0"



## 2 COLUMN 1

A201 Scale: 1/2" = 1'-0"



## 3 COLUMN 2

A201 Scale: 1/2" = 1'-0"



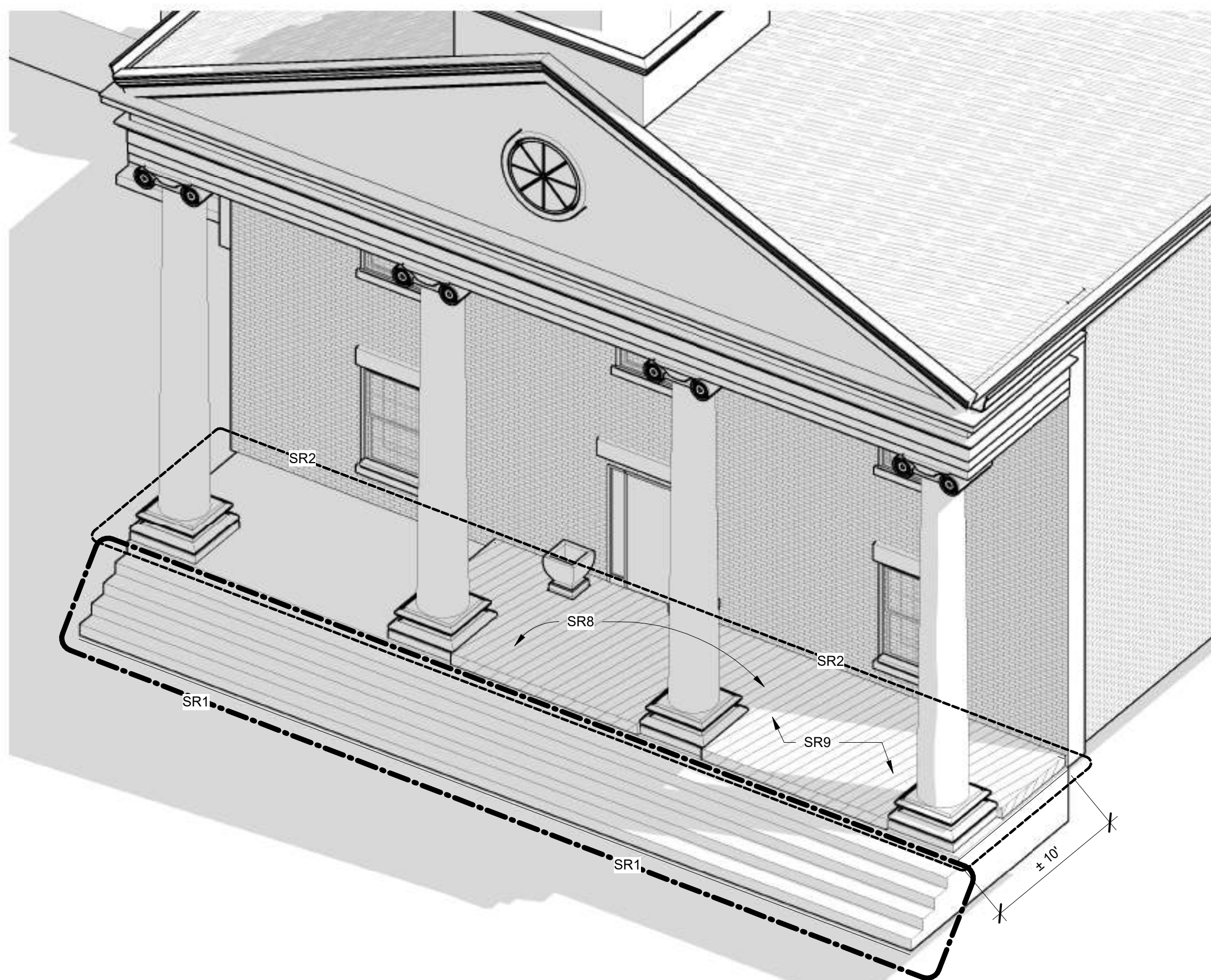
## 4 COLUMN 3

A201 Scale: 1/2" = 1'-0"



## 5 COLUMN 4

A201 Scale: 1/2" = 1'-0"



## 8 EAST ENTRY - AXON VIEW

A201 Scale:



## BRISTOL COUNTY

### NEW BEDFORD SUPERIOR COURT HOUSE ENTRY FACADE RESTORATIONS



441 COUNTY ST, NEW  
BEDFORD, MA 02740

Drawing Status

CD REVIEW SET

Issued On 09/20/2023

Sheet Contents

EXISTING NORTH SIDE  
ENTRY ELEVATION

Project Number. 6767-9001

Drawing No.

# A202

Sheet of

## ELEVATION NOTES - EXTERIOR

- SUBMIT SAMPLES OF ALL EXTERIOR FINISH MATERIALS FOR REVIEW & APPROVAL PRIOR TO FABRICATING/CONSTRUCTION. TYPICAL.
- SEALANT/CAULKING COLORS TO MATCH ADJACENT FINISH LISTED IN REQUIRED PRIORITY. ARCHITECT TO APPROVE SAMPLE IN FIELD PRIOR TO INSTALLATION.

## CONSTRUCTION LEGEND

- XXX WORK NOTES WITHOUT AN ARROW  
INDICATE AN ENTIRE SPACE/AREA.
- XXX WORK NOTES WITH AN ARROW(S)  
INDICATE SPECIFIC AREAS &/or ITEMS.

## SALVAGE, RESTORATION, AND RESET WORK NOTES

- SR 1 SR ENTRY STONE STAIRS, MARK STONE LOCATIONS AND ORIENTATION. LIFT, REMOVE, AND STORE STONES TO ACCESS AND IMPROVE UNDERLYING SUBSTRATE AND BEARING CONDITIONS. RESET ALL STONESTWORK BACK TO LEVEL AND PLUMB. IF SIGNIFICANT CRACKING OR BROKEN STONES ARE NOT SALVAGEABLE, REPLACE WITH A NEW CUT STONE TO MATCH THE ORIGINAL, NON-BROKEN ITEM. BED ALL STONES IN POLYMERIC SAND FOR JOINTS AND SEAMS. COORDINATE STAIR PIECES FOR REPLACEMENT, OR RESETTING TYP. SALVAGE WORK NOTES
- SR 2 SR EXISTING PAVING STONES OF THE ENTRANCE PORTICO. REMOVE STONE WORK DOWN TO SOUND/SOLID SUBSTRATE CONDITIONS. COMPACT CONDITIONS, FILL VOIDS AND DEPRESSIONS WITH STONE DUST. REINSTALL STONES, SET STONES IN POLYMERIC SAND AT JOINTS AND SEAMS. STONES ARE TO BE LEVELED AND HAVE SURFACES PITCHED TO DRAIN AWAY FROM THE BUILDING AT 3/16" PER FOOT MIN. COORDINATE SIZE AND PIECES OF STONE FOR REPLACEMENT. TYP. SALVAGE WORK NOTES
- SR 3 R&D EXISTING WATER-DAMAGED PORTION OF DECAYED AND DRYROTTED WOOD COLUMN BASE, SHAFT, AND/OR CAPITOL AS REQ. LIMITED SAWCUTTING FOR REMOVAL IS EXPECTED FOR NEW WORK TO REPAIR EXISTING CONDITIONS. APPLY LIQUID WOOD HARDENING EPOXY TO ALL REMAINING SOUND AREAS ADJACENT TO THE REMOVED PORTIONS OF THE COLUMN. SALVAGE WORK NOTES
- SR 4 SR RESTORE THE EXISTING WOOD WINDOW FRAME AND SASH, SCRAPE, SAND, APPLY NEW SEALANT, PRIMER, AND FINAL HIGH-PERFORMANCE EXTERIOR PAINT FINISH TO WINDOW ASSEMBLY. SALVAGE WORK NOTES
- SR 5 SR IF POOR DETERIORATED WOOD CONDITIONS ARE UNCOVERED (DRYROT FUNGUS) REMOVE AND REPLACE SECTIONS AS NECESSARY TO MAKE THE ASSEMBLY WHOLE. TREAT THE REMAINING ADJACENT AND ADJOINING WOOD CONDITIONS WITH 3% BORIC ACID SOLUTION. COMPLETE WORK UNDER NOTE SR 6. SALVAGE WORK NOTES
- SR 6 SR EXISTING COMPONENT TO REMAIN. SURFACE OF COMPONENT TO BE CLEANED/DEGREASED, PRIMED, AND PAINTED WITH A HIGH-PERFORMANCE EXTERIOR GRADE ACRYLIC, SEMI-GLOSS FINISH, COLOR TBD BY THE ARCHITECT. SALVAGE WORK NOTES
- SR 7 R&D FAILING EXISTING ROOF FASCIA AND EAVE TRIM IN ITS ENTIRETY. PATCH, REPAIR & REPLACE ALL DEGRADED COMPONENTS. PREP CORNICE BAND AS REQ. FOR NEW SEALANT, PRIMER, AND FINAL HIGH-PERFORMANCE EXTERIOR PAINT FINISH. SALVAGE WORK NOTES
- SR 8 R&D EXISTING COMPOSITE DECKING AND UNDERLYING WOOD STRUCTURE, REMOVING ALL ASSOCIATED HANGERS, FASTENERS & ADHESIVES. TO STONE PAVERS BELOW. SALVAGE WORK NOTES
- SR 9 F&I NEW GRANITE STONE PAVING STONES TO THE ENTIRE AREA FORMERLY OCCUPIED BY COMPOSITE DECKING AND UNDERLYING WOOD SUPPORT STRUCTURE. NEW STONE PAVER BLOCKS TO MATCH THE HEIGHT OF ADA ACCESS RAMP AND MEET THE ADA ENTRY THRESHOLD HEIGHT AT THE DOOR. THE RESULTANT HEIGHT AT THIS LOCATION CAN BE NO GREATER THAN 1/2" MAX.
- SR 10 R&D EXISTING WOOD WINDOW BOX, REMOVE ANY ASSOCIATED FASTENERS OR APPURTENANCE ATTACHED TO THE REMAINING STONE OR WINDOW SASH. SALVAGE WORK NOTES
- SR 11 SR EXISTING ADA RAMP AND RAIL ASSEMBLY CONSTRUCTION ARE TO REMAIN. ALL STEEL COMPONENTS (STRINGER, RAILS, PICKETS) TO BE CLEANED/DEGREASED, PRIMED, AND PAINTED WITH A HIGH-PERFORMANCE EXTERIOR EPOXY IN A BLACK SEMI-GLOSS FINISH.
- SR 12 SR WORK TO RESTORE THE EXISTING CORINTHIAN COLUMN CAPITOLS. REPAIR DECORATIVE ELEMENTS WITH A NON-SLUMPING EPOXY RESIN (WATCO or SIK) MATERIAL THAT WILL BOND, ATTACH TO, AND STRENGTHEN THE UNDERLYING MATERIALS. MATCH THE EXISTING DETAIL, SIZE, SHAPES AND CONFIGURATION. CAPITOLS ARE A CAST-REINFORCED LIGHTWEIGHT CEMENTITIOUS MATERIAL. RE. SPEC.
- SR 13 SR REPLACE PORTIONS OF FAILING EXISTING BRICK WITH NEW UNITS. F&I WORK FOR MASONRY REPAIR AND TUCK POINTING. NEW BRICK COLOR TO MATCH EXISTING. PROVIDE NEW COLOR-MATCHED MORTAR AND PERMEABLE MASONRY COATING. TO SEAL REPAIRED AREA, AND COORDINATE W/ EXISTING ROOF SHEETS FOR GENERAL LOCATION. SALVAGE WORK NOTES
- SR 14 SR REPLACE OR RESTORE PORTIONS EXISTING WOOD CORNICE MOLDING & TRIM WORK ALONG THE EAVE AND PEDIMENT FASCIA. PREP ALL NEW AND REMAINING CONDITIONS, SCRAPE, SAND, PRIME & FINISH PAINT W/ EXTERIOR HIGH-PERFORMANCE PAINT. SALVAGE WORK NOTES
- SR 15 SR EXISTING DOORS, TRANSOM, AND TRIM. PREP ANY APPLY NEW SEALANT, PRIMER, AND FINAL HIGH-PERFORMANCE EXTERIOR PAINT. FINISH TO MATCH THE COLOR OF THE EXISTING COMPARABLE ITEM. COORDINATE WITH AXONELEVATION VIEWS.
- SR 16 SR RESTORE OR REPLACE PORTIONS OF DETERIORATED PILASTERS, APPLY LIQUID HARDENING EPOXY TO ALL REMAINING SOUND AREAS ADJACENT TO THE REMOVED PORTIONS OF THE COMPONENT.
- SR 17 R&D THE EXISTING PEDIMENT LOUVER VENT AND CASING TRIM, FROM THE EXTERIOR OF THE BUILDING. REMOVE ALL DETERIORATED POOR WOOD CONDITIONS. REPLACE ALL WOOD CASING SECTIONS AS NECESSARY TO MAKE THE OPENING ASSEMBLY WHOLE. APPLY PRIMER AND HIGH-PERFORMANCE EXTERIOR PAINT. COORDINATE WITH AXONELEVATION VIEWS.
- SR 18 F&I NEW 20 OZ COPPER WASH COPING AT THE PEDIMENT CONDITION ACROSS THE EXISTING CORNICE LINE AND AT THE HEADTOP OF EXISTING COLUMN CAPITALS. TYP. SALVAGE WORK NOTES
- SR 19 R&D EXISTING CAST CONCRETE PLANTER URNS, REMOVE FROM COURT HOUSE. SALVAGE WORK NOTES
- SR 20 SR EXISTING HEADER AND SILL STONE. PRESSURE WASH AND ACID WASH GRANITE TO REMOVE THE STAINS AND ALGAE FROM THE SURFACE OF THE STONESTWORK. PLUG ANY EXISTING HOLES WITH GREY HYDRAULIC MORTAR OR EPOXY TO SEAL AND FINISH. SALVAGE WORK NOTES
- SR 21 SR AS WORK TO RESET ALL STONE WORK IS COMPLETED. CLEAN STONESTWORK, PRESSURE WASH, AND CHEMICAL CLEAN TO REMOVE STAINING, DIRT, AND ALGAE FROM THE STONE. USE SURE KLEAN by PROSOOD - STAIN REMOVER & RESTORER OR SIMILAR PRODUCTS TO CLEAN AND RESTORE THE SURFACE. SALVAGE WORK NOTES
- SR 22 SR IN THE ATTIC OF THE COURTHOUSE, THE ORIGINAL PEDIMENT WINDOW IS STORED/LOCATED HERE. RETRIEVE THIS ITEM FOR RESTORATION, REPLACE THE MISSING GLASS PANE/S, CAULK PUTTY, AND IMPROVE THE WINDOW AND PLACE THE WINDOW BACK IN ITS ORIGINAL LOCATION. REMOVE THE INTERIOR FAN AND SHROUD AND LEAVE IT IN THE ATTIC SPACE. REPLACE WOOD SASH CASING NECESSARY TO SUPPORT THE FIXED WINDOW ASSEMBLY. APPLY PRIMER AND HIGH-PERFORMANCE EXTERIOR PAINT TO THE WINDOW AND ALL WOOD FRAMING. SALVAGE WORK NOTES



## 4 NORTH SIDE ENTRY ELEVATION

Scale: 1 1/2" = 1'-0"



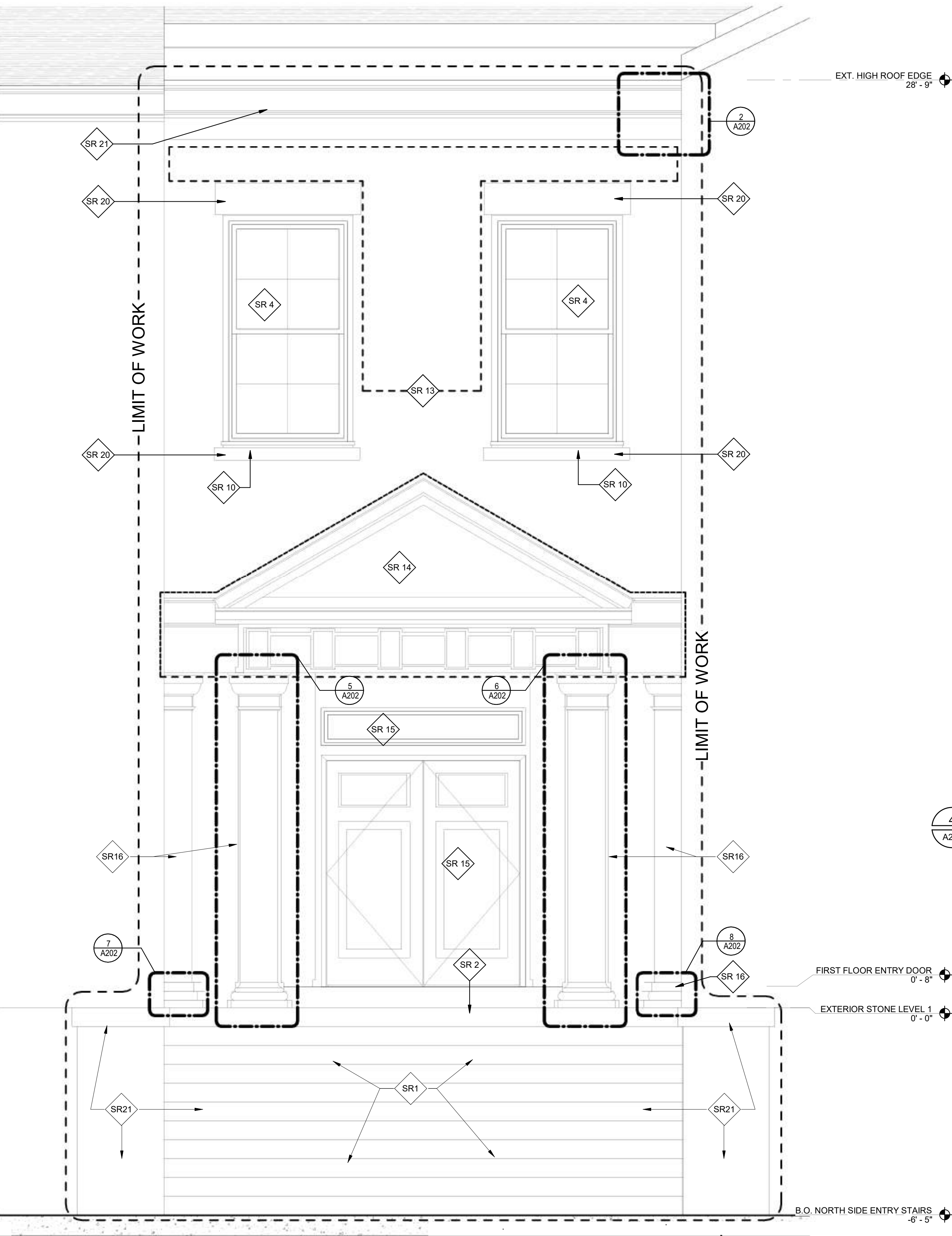
± 10' TYPICAL HEIGHT OF COLUMN

## 5 NORTH ENTRY COLUMN 1

Scale: 1/2" = 1'-0"

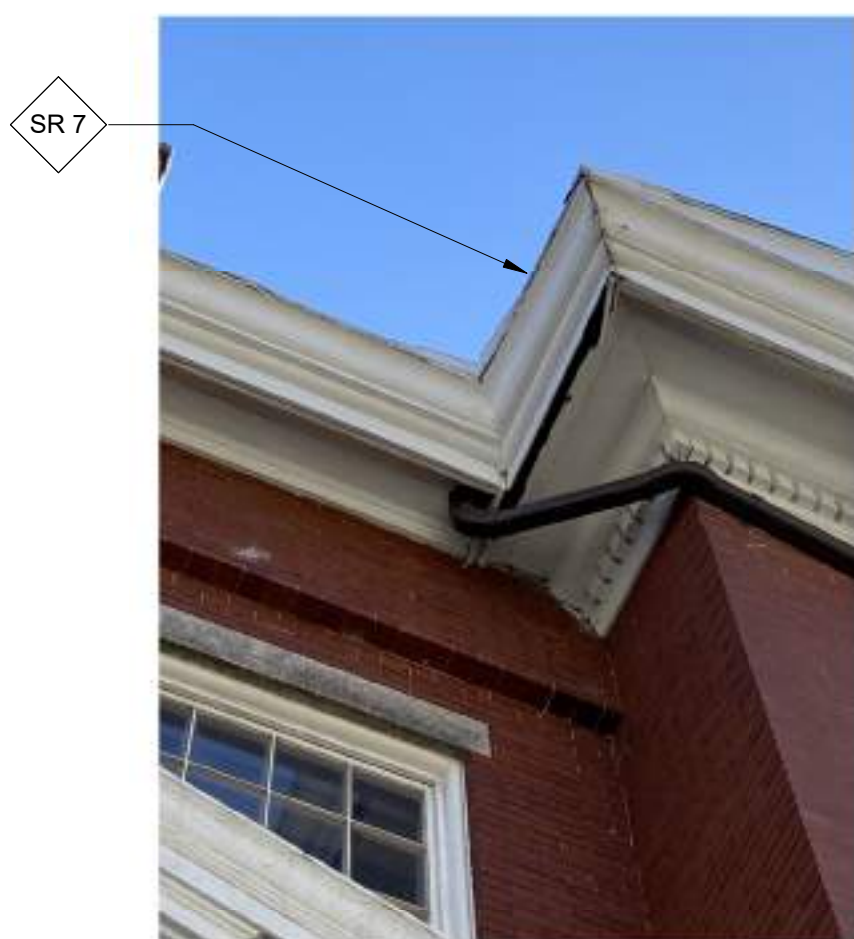
## 6 NORTH ENTRY COLUMN 2

Scale: 1/2" = 1'-0"



## 1 NORTH SIDE ENTRY ELEVATION

Scale: 1/2" = 1'-0"



## 3 BASE OF COLUMNS & PILASTERS

Scale: 1/4" = 1'-0"

## 2 ROOF CORNICE

Scale: 1/2" = 1'-0"

Sheet of



# BRISTOL COUNTY



## NEW BEDFORD SUPERIOR COURT HOUSE ENTRY FACADE RESTORATIONS

441 COUNTY ST, NEW  
BEDFORD, MA 02740

50 Holden Street · Providence, Rhode Island 02908  
(401) 272-1730 · [www.rgb.net](http://www.rgb.net)

*Architecture · Project Management · Interior Design*



THE ROBINSON GREEN BERETTA CORPORATION

ARCHITECTURE, PROJECT MANAGEMENT, AND  
INTERIOR DESIGN

### LIST OF DRAWINGS

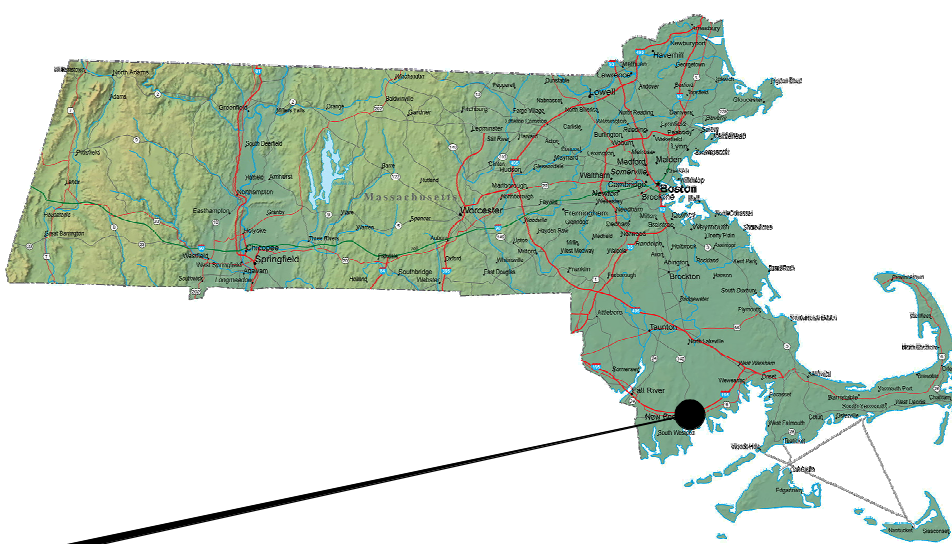
REVISION	DATE	SHEET #	SHEET NAME
ARCHITECTURAL			
G000			COVER SHEET
G001			ABBREVIATIONS & SYMBOLS
A201			EXISTING EAST FRONT ENTRY ELEVATION
A202			EXISTING NORTH SIDE ENTRY ELEVATION

NEW BEDFORD SUPERIOR COURT HOUSE  
ENTRY FACADE RESTORATIONS - 6767-9001

LOCATION MAP



441 COUNTY ST,  
NEW BEDFORD, MA 02740



VICINITY MAP

STATUS: CD REVIEW SET

DATE: 09/20/2023



AFF ABOVE FINISHED FLOOR  
 AFP ACCESS PANEL  
 ACC ACCESSORY, ACCESSORIES  
 ACAL ACCESS  
 ACUS ACOUSTIC CEILING TILE  
 ADH ADHESIVE  
 ADJ ADJUSTABLE  
 AGG AGGREGATE (S)  
 AIR AIR CONDITIONING  
 AYB AIR/VAPOUR BARRIER  
 ALT ALTERNATING CURRENT  
 ALN ALTERNATE  
 ALUM ALUMINUM  
 ALTH ALUMINUM THRESHOLD  
 ANC ANCHOR (S) AND CHORAGE (S)  
 AB ANCHOR BOLTS  
 AN ANGLE  
 ANOD ANODIZED  
 APP APPROVED, APPROVAL  
 APPROX APPROXIMATE  
 ACU ACQUISTION, PARTITION  
 AD AREA DRAIN AT  
 @ ATTACH, ATTACHMENT  
 AVE AVERAGE  
 AVG AVERAGE  
 BTB BACK TO BACK  
 BM BEAM  
 BMK BENCHMARK  
 BC BEARING  
 BPL BEARING PLATE  
 BIT BITUMINOUS  
 BC BOTTOM OF CURB  
 BLK BLOCK  
 BLKG BLOCKING  
 BD BOARD  
 BF BOTTOM OF FOOTING  
 BO BOTTOM OF  
 CCB BOTTOM OF CURB  
 CCB BOTH SIDES  
 BW BOTH WAYS  
 BOT BOTTOM  
 BKT BRACKET  
 BK BRICK  
 BRG BRIDGING, BRIDGE (D)  
 BTU BRITISH THERMAL UNIT  
 DL.D LG DRAIN  
 BUL BUILT-UP ROOFING CHALK  
 CBK CHALK  
 CPT CAB  
 CPT CARPET  
 CI CAST IRON  
 CB CATCH BASIN  
 CL CEILING  
 CTR CENTER  
 CTR CENTERLINE  
 CLC CENTER TO CENTER  
 CTR CENTER  
 CLF CENTERGRADE (CELSIUS)  
 CLF CERAMIC TILE  
 CHM CHAIN-LINK FENCE  
 CHM CHALKBOARD  
 CHM CHANNEL  
 CM CENTERMETER  
 CLV CHECK VALVE  
 CHWR CHILLED WATER RETURN  
 CHWS CHILLED WATER SUPPLY  
 CKT CIRCUIT  
 CL CLEANOUT  
 CLR CLEAR, CLEARANCES  
 CS CLOSURE  
 CW COLD WATER  
 C.COL COLUMN  
 COMP COMPRESS (ED,ION),(BLE)  
 CON CONCRETE  
 CMU CONCRETE MASONRY UNITS  
 COND COND  
 CON CONNECTION  
 CONT CONTINUOUS  
 CONTR CONTRACT LIMIT LINE  
 CONTR CONTRACTOR  
 CONT CONTROL JOINT  
 CFL COUNTERFLASHING (S)  
 CS COUNTERSINK, COUNTERSUNK  
 CU COPPER  
 CFM CUBIC FEET PER MINUTE  
 CFU CUBIC FEET PER SECOND  
 CFU CUBIC FEET  
 CU IN CUBIC INCH  
 CY CUBIC YARD  
 CYL CYLINDER, CYLINDRICAL  
 DPR DAMPER  
 DMP DAMPROOF (ED),(ING)  
 DL DEAD LOAD  
 DB DECEMBER  
 DEG DEGREE  
 DEM DEMOLISH, DEMOLITION  
 DEP DEPENDENT  
 DET DETAIL  
 DIA DIAMETER  
 DQ DRAINAGE  
 DIM DIMENSION  
 DNG DIRECT CURRENT  
 DPN DISCONNECT (ION)  
 DPN DISPENSER  
 DPL DISPOSAL, DISPOSABLE  
 DR DOOR  
 DBL DOUBLE  
 DR DOUBLE-HUNG  
 DTA DOVETAIL ANCHOR  
 DTS DOVETAIL ANCHOR SLOT  
 DN DOWN  
 DWS DOWNSPOUT  
 DRAIN DRAIN, DRAINAGE LINE  
 DI DRAIN INLET  
 DT DRAIN TILE  
 DWS DRAWING (S)  
 DW.DR.DWG DRAWING (S) DRAINAGE  
 DMH DRAINAGE MOUNTAIN  
 DMH DRAIN MANHOLE

EFWS	EXT. INSUL. FINISH SYSTEM	HCWD	HOLLOW CORE WOOD
EW	EACH WAY	HM	HOLLOW METAL
EW	ELECTRIC	HML	HOLLOW METAL FRAME
EFF	EFFICIENCY	HMFC	HOOK (S)
EF ELECT.	ELECTRIC ELECTRICAL	HR	HOUR
ENC	ELECTRIC WATER COOLER	HRZ	HORIZONTAL
ENCL ELEV	ELEVATOR	HP	HORSEPOWER
ENCLOS	ENCLOSURE	HO	HOBBIE
ENCL	EQUAL TO	HW	HOT WATER
EQ, EQUIP	EQUIPMENT	HWR	HOT WATER RETURN
EXH	EXHAUST	HWC	HOT WATER CIRCULATION
EXH DUCT	EXHAUST DUCT	HW	HOT WATER FAUCET
EXH FAN	EXHAUST FAN	HHW	HOT WATER HEATING
EXH HOOD	EXHAUST HOOD	HW	HOT WATER TANK
EXIST.	EXISTING	HYD	HYDRANT
EXP	EXPANSION		
EXP	EXPANSION	IN	INCH
EXP	EXPANSION BOLT	INCL	INCLUDING (ED) (SIVE)
EXT	EXTENDED	INFO	INFORMATION
EPTS	EXTENDED TENSION	INS	INSIDE MATERIAL
EXTR	EXTRUDED POLYSTYRENE	INSL	INSULATE (D) (IATION)
EXT	EXTENDED	INT	INTERIOR, INTERNAL
EXT	EXTENDED	INV	INVERT
EXT	EXTENDED	IE	INVERT ELEVATION
EXT	EXTENDED	IDM	ISOLATE DISC METALS
FB	FACE OF STUD		
FAS	FASTENER		
FFM	FEET PER MINUTE	JAN	JANITOR
FFM	FEET PER MINUTE	JF	JOINT FILLER
FNDP	FEMININE NAPKIN DISPOSAL UNIT	JT	JOINT SEALER
FNDP	FEMININE NAPKIN DISPOSAL UNIT	J	JOINT
FBD	FIBERBOARD	J	JOIST
FBL	FIBERGLASS	JUNCT	JUNCTION
FL	FILLET (S)		
FIN	FINISH	K	KILOVOLT-AMPERE
FFE	FINISH FLOOR ELEVATION	KW	KILOWATT
FIN	FINISH FLOOR LINE	K	KIP
FIN	FINISH FLOOR TYPED	KD	KNOCK DOWN
FAD	FIRE ALARM STATION		
FC	FIRE DEPARTMENT CONNECTION	LAB	LABORATORY
FC	FIRE EXTINGUISHER	LAD	LADDER
FC, FCX	FIRE EXTINGUISHER CABINET	LAM	LAMINATE (D)
FC	FIRE HOSE REEL	LATER	LATERAL
FC	FIRE HOSE TAP	LAV	LAVATORY
PH	FIRE HYDRANT	LAG	LAG BOLT
FIN	FIRE MAIN	L	LABOR
FR	FIRE PROOF (ING)	LBL	LABEL
FR	FIRE RESISTANT	LBS,	POUNDS
FR	FIRE-RESISTANT	LCC	LEAD COATED COPPER
FR	FIRE-RESISTANT COATING	LEADER	LEADER
FR	FIRE-RESISTANT TREATMENT	LF	LEFT HAND
FSP	FIRE STANDPIPE	L	LESS WIDTH OF DOOR
PXD	FIXED	LWOD	LESS WIDTH OF DOOR
FIX	FIXTURE	LIN	LIGHT PROOF
FLX	FLASHING	LJ	LIGHT JOINT
FLX	FLAT HEAD COUNTERSUNK SCREW	LS	LIMESTONE
FLS	FLAT HEAD WOOD SCREW	LL	LIVEL
FL	FLAME	LL	LIVE LOAD
FLR	FLOOR, FLOORING	LW	LOW WEIGHT
FLR	FLOOR DRAIN	LP	LOW PRESSURE
FLR	FLOOR GRILLE (REGISTER)	LOC	LOCATION
FLR	FLOOR JOIST	LOCKER	LOCKER
FL	FLOOR LINE	LG	LONG LENGTH
FL	FOOT, FEET	LONG	LONGITUDINAL
FC	FOOT CABLES	L	LONG LENGTH STAIL JOIST
FC	FOOT CABLES	L	LONG LENGTH STAIL JOIST
FOOT	FOOTING	LVR	LOUVER
FOOT	FOOTING	L	LOW VOLTAGE
FND, FWD	FOUNDATION (WALL)	LVT	LUXURY VINYL TILE
FND, FWD	FOUNDATION (WALL)		
FURN	FURNISHED BY OTHERS		
F I	FURNISH & INSTALL	MB	MACHINE BOLT
FUR	FURNISHING	M	MANHOLE
FUR	FUTURE	MF, MFMRD	MANUFACTURED
FRT	FRESH AIR INTAKE	MFR	MANUFACTURER
FRP	FIBER REINFORCED PLASTIC	MFG	MANUFACTURING
FSL	FIBERGLASS LINK	MBL	MARBLE
		MK	MARK
G	GALLON (S)	MK	MASONRY
GPH	GALLONS PER HOUR	MCJ	MASONRY CONTROL JOINT
GPM	GALLONS PER MINUTE	M	MASONRY JOINT
GPS	GALLONS PER SECOND	MO	MASONRY OPENING
G	GALVANIZED	MTL	MATERIAL (S)
GALV	GALVANIZED	MAX	MAXIMUM
GST	GALVANIZED STEEL	M	MEDIUM
GST	GALVANIZED IRON	MC	MEDICINE CABINETS
G	GASKET (ED)	MD	MEDIUM DENSITY FIBER
GAV	GATE VALVE	MBR	MEMBER
GAV	GATE VALVE	MBR MEMB	MEMBRANE
GLB	GLASS	MTL	METAL
GLB	GLAZED MASONRY UNITS	MTCTC	METAL CLAD
GB	GRAB BAR	ME	METAL EDGE
GRL	GRADE, GRADING	M	METAL ROOF DECKING
GVD	GRAVEL	M	METER
GR	GRILLE	MEZZ	MEZZANINE
GR	GROUND (ED)	MM	MILLIMETER
GR	GROUND (ED)	MWK	MILLWORK
GR BD	GYPSUM SHEETBOARD	MINUM	MIRROR
GVL	GYPSUM WALLBOARD	MIR	MIRROR
GVL	GYPSUM LATH	MIS	MISCELLANEOUS
GVL	GLASS FIBER REINFC CONC.	MXV	MIXING VALVE
GPH	GYPSUM PLASTER	MOD	MODULAR
		MOD	MODUL
HA	HAND HOLD	MDP	MEDIUM DENSITY OVERLAY
HA	HANGER	MHT	MOUNTING HEIGHT
HBD	HARBORBOR	MUL	MULLION
HC	HAND(CAP)PED		
HC	HARDENER (ED)		
HARD	HARDWARE		
HWD	HARDWOOD		
HD	HEAD		
HD	HEAD		
HDE	HEAD DETECTOR	NOM	NOMINAL
HDE	HEAD DETECTOR	NC	NON-CORROSIVE
HAC	HEATING & AIR CONDITIONING	NTS	NOT IN THIS CONTRACT
HAC	HEATING & VENTILATING	NTS	NOT TO SCALE
HAC	HEATING, VENTILATING & AIR CONDITIONING	NO #	NUMBER
HVC	HEAT CONDITIONING		
HVC	HEATING, VENTILATING, COOLING	NC	NON-CORROSIVE
HVC	HEATING (CYCLES PER SECOND)	OP	ONCE
HVC	HEATING (CYCLES PER SECOND)	OP, OPNG	OPENING
HVC	HEATING (CYCLES PER SECOND)	OPR	OPERATOR
HVC	HEATING (CYCLES PER SECOND)	OPR	OPERATOR

OS	ORIENTED STRAND BOARD	STD	STANDARD
OZ	OR APPROVED EQUAL	STL	STEEL
QZ	QUARTZ (S)	STF	STIFFNESS
OD	OUTSIDE DIAMETER	STN	STONE
OA	OVERALL	STO	STORAGE
OH	OVERHEAD	STD	STORM DRAIN
OHB	OVERHEAD BRACED	ST	STREET
OOD	OVERHEAD DOOR	STR	STRUCTURAL
OF	OWNER FURNISHED	STR	STRUCTURAL SUPPORT PANEL
OPI	OWNER FURNISHED & INSTALLED	SUP	SUPPLEMENT
OFCI	OWNER FURNISH-CONTRACTOR INSTALL	SUSP	SUSPENDED
OX	OXYGEN	SUSP	SUSPENDED ACOUSTIC TILE
		SUSP	SUSPENDED CEILING
		SYS	SYMMETRY (ICAL)
PT	PRESSURE TREATED	SVS	SYSTEM
PNT, PTD	PAINTED, PAINTED	SVS	SYSTEM
PR	PANEL	TB	TACKBOARD
PRL	PANEL	TEL	TELEPHONE
PAR, //	PARTIAL	TEL	TELEVISION
PB	PARTICLE BOARD	TEMP	TEMPERATURE
PTN	PARTITION	TEMP, TEMP	TEMPERATURE
PCT or %	PERCENT (AGE)	TCV	TEMPERATURE CONTROL VALVE
PF	PERFORATED (D)	TP	TEST PIT
PR	PERIMETER	TZ	TERRAZZO
PERF, L	PERPENDICULAR	THM	THERMOMETER
P81	PROVIDE & INSTALL	THS	THICK
PLAS	PLASTER	THK	THICK, THICKNESS
PL	PLASTIC LAMINATE	THR	THRESHOLD
PLUMB	PLUMBING	TCL	TIME CLOCK
PLY, VMD	PLYWOOD	TOL	TOLERANCE
PN	PNEUMATIC	TS, & G	TONGUES AND GROOVE
POI	POLE (ED)	TO	TOP OF
PO	PORCELAIN ENAMEL	TOC	TOP OF CONCRETE / CURB
PCF	POUNDS PER CUBIC FOOT	TO, TS	TOP OF STEEL
PIZ	PIER LINEAR FOOT	TOW	TOP OF WALL
PCS	POUNDS PER SQUARE FOOT	TRANS	TRANSFORMATION
PSI	POUNDS PER SQUARE INCH	TRANS	TRANSOM
PIP	POURED INPLACE CONCRETE	TRUS	TRUSS-TYPE SECTION
PCD	POWER DRIVEN FASTENER (ING)	TWP	TURNING POINT
PRECAST	PRECAST CONCRETE	TYP	TYPICAL
PREFAB	PREFABRICATED	TOM	TOP OF MASONRY
PRN	PREFINISH (ED)		
PRF	PREFORMED	UFH	ULTRAHIGH FREQUENCY
PM	PREMOLDED	UND	UNDERFLOOR (DUCT)
PMTL	PREPARED METAL	UNF	UNDERGROUND
PRJ	PRIVATE	UNF	UNDERSTERS/LABORATORY
PROJ	PROJECT	UNF	UNFINISHED
PRVLY, A	PROPERTY LINE	UNF	UNLESS NOTED OTHERWISE
PUB	PUBLIC	UH	UNIT HEATER
PA	PUBLIC ADDRESS SYSTEM	UK	UNIT KITCHEN
PB	PULL BOX	UNIT	UNIT VENTILATOR
PB, PUL	PULL, PULL CHAIN	UJ	UPWARD ACTING SECTIONAL
PP	PUMP		
PD	PUMP DISCHARGE	VJ	V-JOINTED
PVI	PUMP INDICATOR VALVE	VAC	VACUUM
PC	PHYSICALLY CHALLENGED	VAB	VACUUM BREAKER
PVC	POLY VINYL CHLORIDE	VAP	VAPOR BARRIER
QVT	QUARRY TILE	VAP	VAPORPROOF
		VNR	VEENER
		VNT	VENT
RW	RADIATION	VNT, VTR	VENT THROUGH ROOF
RAD	RADIATOR, RADIATION	VNT	VENTILATOR
RA, R	RISER	VERT	VERTICAL
RIS	RISER	VHF	VERY HIGH FREQUENCY
RL	RAIL RAILING	VLF	VERY LOW FREQUENCY
RA	RAILROAD	VLS	VERY LOW FREQUENCY
RECP	RECEPTACLE	VLI	VERY LOW IN FIELD
REF	REFERENCE	VNL	VINYL
REFL	REFLECTOR	VNT	VINYL COMPOSITION TILE
REF	REFER TO	VNB	VINYL BASE
REG	REGISTER	VNB	VINYL FABRIC
RFC	REINFORCE (D) (ING)	VOT	VINYL QUARTZ TILE
RC	REINFORCED CONCRETE	VNS	VINYL SHEET
REQ, REQD	REQUIRED, REQUIREMENTS	VNT	VINYL TILE
R & S	REMOVE AND SALVAGE	VNT	VITREOUS
R & R	REMOVE AND DISPOSE	VNT	VITRIFIED CLAY
R & R	REMOVE AND REINSTALL	VW	W/ (AGE)
RES	RESILIENT	VWC	VINYL WALLCOVERING
RES	RESILIENT		
RTN	RETAIN (ED) (ER) (ING)	WN	WANSKOT
RVS, REV	REVERSE (SIDE)	WH	WALL-HUNG
REV	REVISE (ED), REVISION	WHY	WALL HYDRANT
RPM	REVOLUTIONS PER MINUTE	WLL	WALL TO WALL
RPS	REVOLUTIONS PER SECOND	W	WASTE
RH	RIGHT HAND	WH	WASTE RECEPTACLES
RW	RIGHT-OF-WAY	WH	WATER CLOSET
RDR	ROOF DRAIN	WH	WATER HAMMER ARRESTOR
RFS	ROUGH FINISH	W	WATERPROOF (ED) (ING)
RM	ROOM	WPT	WORK (ING) POINT
RO	ROUGH OPENING	WPT (WP)	WORK (ING) POINT
RU	RUBBER	WE	WEATHERSTRIPPING
RST	RUSTPROOF (ING)	WFF	WELED WIRE FABRIC
		WF	WEEFLOPE
		WFFJ	WELDED FLANGE BARE
		WG	WIRE GLASS
		WM	WIRE MESH
		W, W/	WITH
		W	WITHOUT
		W, W/O	WITH/OUT
		WO	WOOD
		WB	WOOD BASE
		WBM	WOOD BEAM
		WBO	WORK BY OTHERS
		WBO	WORK BY OWNER
		WBT	WORK BY TENANT
		WK	WORK
		WKRM	WORKROOM
		W	WROUGHT IRON
		XR	X-RAY
		Y	WYE FITTING
		Z	ZONE
		ZC	ZINC COATED
		ZS	ZEE STUD

## Sheet 01