




CITY OF NEW BEDFORD  
**COMMUNITY PRESERVATION ACT FY26  
PROJECT APPLICATION**

PROJECT INFORMATION			
PROJECT TITLE	Cape Verdean Association in New Bedford	WARD	2
PROJECT LOCATION	1157 Acushnet Ave, New Bedford, MA 02746		
LEGAL PROPERTY OWNER OF RECORD	Cape Verdean Association in New Bedford, Inc.		
CPA PROGRAM CATEGORY (Select relevant categories for your project)	<input type="checkbox"/> OPEN SPACE	<input checked="" type="checkbox"/> HISTORIC RESOURCE	
	<input type="checkbox"/> RECREATION	<input type="checkbox"/> HOUSING	
ESTIMATED START DATE	July 2026	ESTIMATED COMPLETION DATE	July 2027

PROJECT APPLICANT			
APPLICANT ORGANIZATION NAME	Cape Verdean Association in New Bedford (CVANB)		
APPLICANT IS (Check only one)	<input type="checkbox"/> CITY DEPARTMENT	<input checked="" type="checkbox"/> NON-PROFIT	<input type="checkbox"/> PRIVATE GROUP/CITIZEN
CO-APPLICANT ORGANIZATION NAME (If applicable)			
CO-APPLICANT IS (Check only one)	<input type="checkbox"/> CITY DEPARTMENT	<input type="checkbox"/> NON-PROFIT	<input type="checkbox"/> PRIVATE GROUP/CITIZEN
PROJECT CONTACT PERSON	Jan Baptist		
MAILING ADDRESS (INCLUDE ZIP CODE)	128 Union St., Ste 100, New Bedford, MA 02740		
TELEPHONE NUMBER	508-982-2022	EMAIL:	

PROJECT FUNDING	
CPA FUNDING REQUEST (must match CPA request-line 1 of Project Budget on page 8)	\$ 145,200
TOTAL PROJECT BUDGET	\$ 5,698,803

SIGNATURES		
I/we attest that all information provided in this entire submission is true and correct to the best of my/our knowledge and that no information has been excluded which might reasonably affect funding. I/we authorize the Community Preservation Committee and/or the City of New Bedford to obtain verification from any source provided. I/we acknowledge and agree that a permanent restriction may be placed on the property as a condition of funding.		
APPLICANT NAME (printed) Jan Baptist	SIGNATURE 	DATE 11/14/25
CO-APPLICANT NAME (printed)	SIGNATURE	DATE

## Submission Checklist

The following items must be organized on your submitted flash drive in folders named for each applicable section below (e.g., Application, Financial, etc.). Please check each item on this list if it is included in your submission packet. **Note: not all items will apply to each project.**

<b>APPLICATION – All items in this section are required</b>	
<input checked="" type="checkbox"/>	Application Information (page 1)
<input checked="" type="checkbox"/>	Submission Checklist (this page)
<input checked="" type="checkbox"/>	Narrative/Project Management/Category Specific Section/Financial (pages 3-7)
<input checked="" type="checkbox"/>	Project Schedule – Project Budget – Funding Sources Summary (page 8)
<input checked="" type="checkbox"/>	Construction Budget Summary – to be complete for construction projects ONLY (page 9)
<input checked="" type="checkbox"/>	Certificate of Vote of Corporation and Tax Compliance Certification (page 10) must be completed by both applicant and co-applicant if non-municipal applicant. The form must be completed by authorized board member. *Certificate of Vote named person must be different person from signer of the certificate.
<b>FINANCIAL</b>	
<input checked="" type="checkbox"/>	One cost estimate from an architect <b>OR</b> two written vendor/contractor quotes ( <b>Quotes/cost estimates must be submitted with application – late submissions will not be accepted</b> )
<input checked="" type="checkbox"/>	Proof of secured funding (commitment letters or bank statements), if applicable. <b>Please redact account numbers and any sensitive information.</b>
<b>OWNERSHIP/OPERATION (NON-CITY)</b>	
<input type="checkbox"/>	If the applicant is not the owner, attach documentation of site control or written consent of owner to undertake the project. <i>Applications will not be reviewed without this documentation.</i>
<input checked="" type="checkbox"/>	Board of Directors listing
<input checked="" type="checkbox"/>	Certificate of Good Standing – available at MA Secretary of State website
<input checked="" type="checkbox"/>	501(c) certification (if operating as a non-profit) or corporate certificate
<input checked="" type="checkbox"/>	Purchase & Sale agreement or copy of current recorded deed, if applicable.
<b>COMMUNITY SUPPORT</b>	
<input checked="" type="checkbox"/>	Letters of support from residents, community groups, city departments, boards or commissions, etc.
<b>PLANS &amp; REPORTS</b> <i>If applicable to your project, please submit in digital format only.</i>	
<input checked="" type="checkbox"/>	Renderings, site plans, engineering plans, design/bidding plans, specifications, and any MAAB variance requests.
<input checked="" type="checkbox"/>	Applicable reports (21E, Historic Structure Report, appraisals, survey plan, feasibility studies, etc.)
<b>VISUAL</b> <i>If applicable to your project, please submit in digital format only.</i>	
<input checked="" type="checkbox"/>	Photos of the project site (not more than four views per site) Digital copies <u>only</u> .
<input checked="" type="checkbox"/>	Catalog cuts (i.e. recreation equipment) if applicable.
<b>FOR HISTORIC RESOURCE PROJECTS ONLY</b>	
<input checked="" type="checkbox"/>	Documentation stating the project is listed on the State Register of Historic Places or a written determination from the New Bedford Historical Commission that the resource is significant in the history, archeology, architecture, or culture of New Bedford.
<input checked="" type="checkbox"/>	Photos documenting the condition of the property/resource. Digital copies <u>only</u> .
<input checked="" type="checkbox"/>	Report or condition assessment by a qualified professional describing the current condition of the property/resource, if available.
<input checked="" type="checkbox"/>	I/We have read the <b><i>U.S. Secretary of the Interior's Standards for the Treatment of Historic Properties</i></b> and understand that planning for and execution of this project must meet these standards.

## PROJECT NARRATIVE

### 1 GENERAL NARRATIVE (1000 Character Maximum)

- *Describe the proposed scope of work including the project location, property involved, and the proposed use*

CVANB seeks FY26 CPA funding to complete the historic Strand Theater rehabilitation at 1157 Acushnet Ave. This step in Phase I focuses on completing the building envelope, including rehabilitation of the North and West masonry facades—repointing, new replacement windows, and restoration of historic door openings with hardware repair and reconstruction—and sealing the previously restored South façade to protect non-exterior-grade brick from UV deterioration. All work will adhere to the Secretary of the Interior Standards for Historic Rehabilitation and align with the prior façade reconstruction along Acushnet Avenue.

Located adjacent to Island Park, the fully restored structure will function as a cultural and community gathering space, supporting arts, heritage programs, and neighborhood engagement while preserving a prominent historic building visible from all public elevations and iconic to the International Marketplace.

### 2 COMMUNITY NEED (1000 Character Maximum)

- *What community need(s) listed in the current CPA Plan will this project address? How does the project benefit the public and what populations(s) will it serve? If it serves a population currently underserved, please describe.*

The Strand Theater rehabilitation fulfills CPA Plan goals by preserving and adaptively reusing a historic, culturally significant property. Once restored as a community cultural center, the building will provide a dynamic space for live performances, arts, and cultural programs, serving residents of all ages, including Cape Verdean and other immigrant communities that have been historically underrepresented in New Bedford's current arts venues.

Situated at the gateway to the International Marketplace, the project strengthens neighborhood identity, supports local economic revitalization, and reflects the diversity and vibrancy of our historic seaport city. It also advances Community Preservation objectives and other plans as noted in the 2020 City Master Plan, the Acushnet Avenue Economic Impact Study, and the MassDevelopment Transformative District Initiative, by returning a landmark to active use while safeguarding a key historic resource for future generations.

### 3 GOALS & OBJECTIVES (1000 Character Maximum)

- *Describe the project's goals and objectives. The objectives must be specific, measurable, achievable and realistic.*
- *How does the project meet the general and category-specific priorities outlined in the current Community Preservation Plan?*

This project will preserve and adaptively reuse the historic Strand Theater as the Cape Verdean Cultural Center. Goals include securing and restoring the building envelope by repointing masonry on the North and West façades, restoring historic doors and hardware, replacing windows with historically appropriate units, and sealing the South façade to prevent deterioration. All work follows the Secretary of the Interior's Standards and ensures ADA compliance. The project meets Community Preservation Plan priorities by protecting a culturally significant resource, supporting adaptive reuse, revitalizing a pivotal neighborhood site, and preventing further damage to a historic landmark. Completion of this phase will fully enclose and stabilize the structure, in preparation for community use.

#### 4 MEASURING SUCCESS (1000 Character Maximum)

- *How will the success of this project be measured?*

Success will be measured by the completion of all façade rehabilitation and envelope work, including repointing, window installation, historic door restoration, and sealing of the South façade, ensuring a fully enclosed and weather-protected structure in accordance with the Secretary of the Interior's Standards. Verification will include final inspections, contractor sign-offs, and preservation compliance reports.

#### 5 COMMUNITY SUPPORT (1000 Character Maximum)

- *Explain the level of community support this project has received. If possible, please include letters of support from any groups or individuals who have endorsed this project.*

The Strand Theater rehabilitation has received broad and enthusiastic community support. Key supporters include WHALE, the CEDC, New Bedford's Economic Development Council, the Massachusetts Historic Commission, Senator Montigny, State Representatives Cabral and Hendricks, and numerous city councilors. Additional endorsements have come from the New Bedford Historical Society, the City's Tourism Department, and the Cape Verdean Consulate. The project is recognized in NB Creative's Arts + Culture 10-Year Plan and the City's Regeneration Committee report as advancing cultural equity and neighborhood revitalization goals. CVANB has also collaborated with Love the Ave and MassDevelopment's TDI program, which invested \$175,000 and continues to provide in-kind support. Letters of support from community supporters are attached.

#### 6 CRITICAL NEED (1000 Character Maximum)

- *Is this project of an urgent nature?*
- *Is there a deadline or factors not controlled by the applicant (i.e. opportunity for immediate acquisition, opportunity to leverage available non-CPA grant or other financial opportunity)?*
- *For historic resource applications only, is the property at risk for irreparable loss? If so, please include a condition assessment from a qualified professional if available.*

Yes, this project is of an urgent nature. Without immediate CPA investment, rehabilitation work will be stalled, delaying both preservation and activation of the Cape Verdean Cultural Center. The Strand Theater is maintained but vulnerable; its exterior envelope—particularly the North, West, and South façades—requires prompt stabilization to prevent water infiltration and structural deterioration. The project is shovel-ready, with plans and permits in place, and leverages more than \$175,000 in prior investment from MassDevelopment's TDI program, and nearly \$2.5 million in total funding.

Timely CPA funding support will protect the historic fabric, ensure continuity of restoration efforts, and secure the opportunity to match additional public and private resources now available for this phase of work.



# PROJECT MANAGEMENT

## 1 APPLICANT INFORMATION (1000 Character Maximum)

- Describe applicant. Is applicant a public entity, private non-profit, private for-profit, an individual, a partnership, or another type of entity? What is the history and background of the applicant?
- Identify and describe the roles of all participants (applicants, architects, contractors, etc.) including the project manager.
- Describe any past projects of similar type and scale, or experience that demonstrates the applicant's ability to carry out this project.

The Cape Verdean Association in New Bedford (CVANB) is a private nonprofit founded in 1990 to preserve and promote Cape Verdean culture through education, heritage programming, and community engagement. Vice President Jan Baptist serves as Project Manager, bringing extensive experience overseeing community initiatives and managing complex projects. CVANB has demonstrated strong capacity with the successful completion of Island Park in 2025 and the restoration of the east-facing Italianate façade of the Strand Theater. Key partners include WHALE, a preservation nonprofit with more than 70 major rehabilitation projects to its credit, including the Steeple Playhouse and First Baptist Church restoration; Studio2Sustain, specializing in adaptive reuse and sustainable design; and Post Oak Preservation Solutions, providing expertise in historic tax credit management.

## 2 PROJECT FEASIBILITY (1000 Character Maximum)

- List and explain further actions or steps required for completion of the project, such as environmental assessments, zoning or other permits and approvals, agreement on terms of any required conservation, affordability or historic preservation agreements, subordination agreements, and any known or potential barriers or impediments to project implementation.

All design and documentation comply with the Secretary of the Interior's Standards and the National Park Service Preservation Brief 2 for masonry rehabilitation. CVANB's architect, Studio2Sustain, specializes in historic restoration and has completed a historic mortar lab report approved for use. Contractor specifications will ensure that the selected mason demonstrates proven experience in historic masonry rehabilitation, as designated with Ma Historic Tax Credits, ensuring compliance with preservation and environmental standards. A City building permit will be required for exterior masonry and window work, and City of New Bedford approval will be obtained for temporary sidewalk closure along Beetle St during construction. Other than these routine permits, no additional environmental or zoning reviews are anticipated.

CVANB intends to extend the currently out to bid Phase II contractor and utilize change orders immediately upon a CPA award.

## 3 PROJECT MAINTENANCE (1000 Character Maximum)

- Please explain the long-term maintenance plan for the completed project.

As the property owner, the Cape Verdean Association in New Bedford (CVANB) is fully committed to the long-term maintenance and stewardship of the Cultural Center. Annual maintenance and repair costs will be incorporated into CVANB's operating budget, supported through program revenue, fundraising, and partnerships. WHALE will remain a long-term partner, providing technical assistance and guidance on preservation standards. CVANB's ownership of the adjacent parcel and investment in Island Park demonstrate its sustained commitment to revitalizing the North End. Upon completion of the cultural center, an on-site Director will oversee building operations, routine maintenance, and vendor contracts, ensuring both the Strand Theater and Island Park remain safe, welcoming, and well-maintained community assets.

## COMPLETE FOR HISTORIC RESOURCE PROJECTS ONLY

### CPA Compliance (1000 Character Maximum)

- Describe how the proposed project complies with the [U.S. Secretary of the Interior's Standards for Rehabilitation](#), as required by the CPA legislation under the definition of rehabilitation.
- Describe how the applicant will ensure compliance with these standards as the project is ongoing, i.e., hiring of a consultant.

All restoration work will meet the Secretary of the Interior's Standards for Rehabilitation, due to the project's allocations of state historic tax credits and prior rounds of CPA funding. Work will be historically accurate and the remaining details, character, and significance will be retained. The scope pertains specifically to the exterior envelope: masonry, windows, and doors and will align with the scope of rehabilitation and subsequent amendments approved by the MA Historical Commission. The project will also ensure that retained vendors and contractors have experience with historic buildings, restoration, and working on projects in compliance with SOI standards.

WHALE is an active member of the team and serves as a historic consultant for the project, ensuring compliance with SOI standards and the successful communication with the MA Historical Commission. Post Oak Preservation, another preservation consulting firm, continues its affiliation and familiarity with the project.

## COMPLETE FOR PROJECTS WITH ACCESSIBILITY REQUIREMENTS ONLY

### CPA Compliance (500 Character Maximum)

- Describe how the proposed project complies with the [ADA/MAAB Regulations](#).

A comprehensive code compliance study, conducted by Studio2Sustain, has been fully integrated into the project's restoration plans. The architect has incorporated all ADA and MAAB requirements into the design, including accessible routes, entrances, and egress measurements. All proposed work has been reviewed to ensure full compliance with current accessibility standards and regulations.

## COMPLETE FOR COMMUNITY HOUSING PROJECTS ONLY

### CPA Compliance (500 Character Maximum)

- Describe how the proposed project complies with CPA affordability requirements (100% of AMI for New Bedford)
- Describe the number and types of units (e.g.: 1br, 2br).
- Provide a complete Development Budget and an Operating Budget (for rental properties).

n/a

## PROJECT FINANCIAL INFORMATION

### 1 FINANCIAL INFORMATION (2000 Character Maximum)

- Describe all successful and unsuccessful attempts to secure funding and/or in-kind contributions, donations, or volunteer labor for the project. A bullet point list is acceptable.
- Will the project require CPA funding over multiple years? If so, provide estimated annual funding requirements.
- What is the basis for the total CPA request?
- How will the project be affected if it does not receive CPA funds or receives a reduced amount?

The Cultural Center project has received broad support from public and private funders. Since 2020, the City of New Bedford's Community Preservation Committee has awarded \$765,000, and the Massachusetts Cultural Council Facilities Fund contributed \$200,000. The project also received \$700,000 in state and city ARPA funds. The Southcoast Community Foundation awarded \$15,000 and continues to provide technical assistance for additional fundraising, while MassDevelopment's Underutilized Properties Grant Program awarded \$50,000 in 2023. The project has secured \$850,000 in State Historic Tax Credits, with \$1,012,741 anticipated. Together, these resources reflect strong confidence in the project's community and cultural value.

Some funding requests remain pending or were not awarded. Applications to MassDevelopment for FY26 electrical and thermal upgrades were unsuccessful. Decisions are pending from the Yawkey Foundation and the Southcoast Community Foundation's Henry Crapo Grant. CVANB continues discussions with the Amelia Peabody Charitable Fund, New Commonwealth Fund, Smith Family Foundation, and other government agencies, including MassDevelopment's TDI. A capital campaign is underway to raise \$1,000,000 through private donations and corporate sponsorships. To support this effort, CVANB recently hired its first part-time Executive Director to lead a donor-centered fundraising strategy.

This CPA request of \$145,200 funds the final phase of exterior rehabilitation, including restoration of the north and west masonry facades and sealing the south façade. The project will be completed within one funding cycle and does not require multi-year CPA support. Without CPA funding, restoration would be delayed, leaving the building exposed to weather damage, higher costs, loss of historic material, and postponing activation of the Strand Theater as a community cultural center.

# PROJECT SCHEDULE – PROJECT BUDGET – FUNDING SOURCE SUMMARY

## PROJECT SCHEDULE

Please provide a project timeline below, noting all project milestones. Please note the City Council must approve all appropriations of CPA funds. Grant funding will not be available for disbursement until after July 1, 202.

	ACTIVITY	ESTIMATED DATE
PROJECT START DATE:	Contracts signed and permits secured	June 2026
PROJECT MILESTONE:	Masonry Repair	Aug 2026
50% COMPLETION STAGE:	Purchased and installed window & door rehab	Oct 2026
PROJECT MILESTONE:	Masonry repointing and sealing	Dec 2026
PROJECT COMPLETION DATE:	Completion	Dec 2026

## PROJECT BUDGET

Please include an **itemized budget** of all project expenses. Note: CPA funds cannot be used for maintenance. If the project received CPA funds in another fiscal year, please include this amount on a separate line, not on line 1.

FUNDING SOURCES		EXPENSES				
		STUDY	SOFT COSTS*	ACQUISITION	CONSTRUCTION**	TOTAL
1	NEW BEDFORD CPA FY26***	\$ 0	\$ 13,000	\$ 0	\$ 132,200	\$ 145,000
2	MCC Cultural Facilities Fund	\$ 0	\$ 140,000	\$ 0	\$ 300,000	\$ 440,000
3	Campaign/Foundations	\$ 0	\$ 125,000	\$ 0	\$ 2,335,862	\$ 2,460,862
4	MA Historic Tax Credits	\$ 0	\$ 65,000	\$ 0	\$ 947,741	\$ 1,012,741
5	CPA FY19-24	\$ 0	\$ 0	\$ 0	\$ 765,000	\$ 765,000
6	City & State ARPA	\$ 0	\$ 0	\$ 0	\$ 700,000	\$ 700,000
7	MassDevelopment (TDI/UPP)	\$ 0	\$ 0	\$ 0	\$ 175,000	\$ 175,000
<b>TOTAL PROJECT COSTS</b>		<b>\$ 0</b>	<b>\$ 359,000</b>	<b>\$ 0</b>	<b>\$ 5,339,803</b>	<b>\$ 5,698,803</b>

\* Soft costs include design, professional services, permitting fees, closing costs, legal, etc.

\*\* Construction refers to new construction, rehabilitation, preservation, restoration work, and/or accessibility related expenses.

\*\*\*New Bedford CPA (Line 1) amount should match the amount requested on the application cover page.

## ANTICIPATED FUNDING SOURCE SUMMARY

Please explain the current status of each funding source (i.e., submitting application on X date, applied on X date, received award notification on X date, funds on hand, etc.). For sources where funding has been awarded or funds are on hand, please include documentation from the funding source (e.g., commitment letter, bank statement) in application packet.

FUNDING SOURCE		STATUS OF FUNDING
1	Yawkey Foundation	Applied - working on full proposal for Winter 2025, and may be invited for upwards of \$100,000 in future
2	Secured Funding	The total already secured to date is \$2,495,000. Award letters are attached.
3	Mass Cultural Council	Applying for \$200,000 in 2026, previous award attached
4	CVANB Capital Campaign	CVANB hired its first part-time executive director in Aug 2025 to launch this campaign
5	MA Historical Tax Credits	\$850,000 awarded to date; expected to net 90% value of a 20% QRE totaling \$1,012,741. Previous award letters attached
6		
7		

## CONSTRUCTION BUDGET

To be completed for construction projects only

*If you have a construction budget, it may be submitted in lieu of this page.*

ACTIVITY	CPA FUNDS	OTHER FUNDS	TOTAL
<b>Acquisition Costs</b>			
Land	\$	\$	\$
Existing Structures	\$	\$	\$
Other acquisition costs	\$	\$	\$
<b>Site Work (not in construction contract)</b>			
Demolition/clearance	\$ 1,000	\$	\$ 1000
Other site costs	\$	\$	\$
<b>Construction/Project Improvement Costs</b>			
New Construction	\$ 125,000	\$	\$ 125,000
Rehabilitation	\$	\$	\$
Performance bond premium	\$	\$	\$
Construction contingency	\$ 6,000	\$	\$ 6,000
Other		\$	\$
<b>Architectural and Engineering (See Designer Fee Schedule for guidance):</b> <a href="https://www.mass.gov/files/design_fee_schedule- dsb_2015_2007.pdf">https://www.mass.gov/files/design_fee_schedule- dsb_2015_2007.pdf</a>			
Architect fees	\$ 13,000	\$	\$ 13,000
Engineering fees	\$	\$	\$
Other A & E fees	\$	\$	\$
<b>Other Owner Costs</b>			
Appraisal fees	\$	\$	\$
Survey	\$	\$	\$
Soil boring/environmental/LBP	\$	\$	\$
Tap fees and impact fees	\$	\$	\$
Permitting fees	\$	\$	\$
Legal fees	\$	\$	\$
Other	\$	\$	\$
<b>Miscellaneous Costs</b>			
Developer fees	\$	\$	\$
Project reserves	\$	\$	\$
Relocation costs	\$	\$	\$
<b>Project Administration &amp; Management Costs</b>			
Marketing/management	\$	\$	\$
Operating/Maintenance	\$	\$	\$
Taxes	\$	\$	\$
Insurance	\$	\$	\$
Other	\$	\$	\$
<b>TOTAL</b>	<b>\$ 145,200</b>	<b>\$</b>	<b>\$ 145,200</b>

**CERTIFICATE OF VOTE OF CORPORATION AUTHORIZING  
EXECUTION OF CORPORATE AGREEMENTS**

At a meeting of the Board of Directors of Cape Verdean Association in New Bedford (CVANB) duly called and held on November 5th, 2025 at which a quorum was present and acting throughout, the following vote was duly adopted.

VOTED: That Jan Baptist (person), the Vice President (title) of the corporation, be and hereby is authorized to affix the Corporate Seal, sign and deliver in the name and on behalf of the corporation, contract documents with the City of New Bedford, the above mentioned documents to include but not be limited to Bids, Proposals, Deeds, Purchase and Sales Agreements, Agreements, Contracts, Leases, Licenses, Releases and Indemnifications; and also to seal and execute, as above, surety company bonds to secure bids and proposals and the performance of said contract and payment for labor and materials, all in such form and on such terms and conditions as he/she, by the execution thereof, shall deem proper.

A TRUE COPY, ATTEST:

Darlene Spencer

Name (printed)



Signature

(Affix Corporate Seal)

President

Title

11/11/25

Date

=====

**TAX COMPLIANCE CERTIFICATION**

Pursuant to Chapter 62C of the Massachusetts General Laws, Section 49A(b), I, the undersigned, authorized signatory for the below named contractor, do hereby certify under the pains and penalties of perjury that said contractor has complied with all laws of the Commonwealth of Massachusetts relating to taxes, reporting of employees and contractors, and withholding and remitting child support.



Signature

Jan Baptist

Print Name

Cape Verdean Association in New Bedford

Organization name

04-3105677

Federal Tax ID #

11/12/25

Date



## COST ESTIMATE



### CAPE VERDEAN ASSOCIATION CULTURAL CENTER: FAÇADE REHABILITATION

Date: 11 November, 2025

Project: Cape Verdean Association Cultural Center: Façade Rehabilitation

Address: 1157 Acushnet Ave., New Bedford, MA, 02746

Trade Division	Cost Estimate
<b>0100 General Conditions:</b>	\$ 6,000.00
<b>0200 Existing Conditions:</b>	\$ 1,000.00
- Demo existing windows	
<b>0300 Concrete, - 0500 Metals:</b>	\$ -
- n/a	
<b>0400 Masonry:</b>	\$ 60,000.00
- Re-Point, Paint & Repair Brick Masonry Facades	
<b>0600 Woods &amp; Plastics:</b>	\$ 5,000.00
- Exterior Trim, Door Panel, Window Trim	
<b>0700 Thermal &amp; Moisture Protection:</b>	\$ -
- Air Sealing, Re-Wiring, & Insulation	
<b>0800 Doors &amp; Windows:</b>	\$ 15,000.00
- (7) New Aluminum Clad Double Hung Windows	
<b>0900 Finishes:</b>	\$ 19,200.00
- Painting	
<b>1000 Specialties:</b>	\$ -
- n/a	
<b>1100 Equipment:</b>	\$ -
- n/a	
<b>1200 Furnishings:</b>	\$ -
- n/a	
<b>1200 Furnishings:</b>	
<b>1300 Special Construction:</b>	\$ 20,000.00
- Masonry Lift Rental	
<b>2300 HVAC:</b>	\$ -
- Heating & Air Conditioning, Ventilation	
<b>2600 Electrical:</b>	\$ -
- Electrical Service	
Cost Estimate - Subtotal:	\$ 126,200.00
Contingency (5%):	\$ 6,000.00
A & E Fees (10%):	\$ 13,000.00
<b>Total - Project Cost Estimate</b>	<b>\$ 145,200.00</b>
<b>TOTAL CPA FY-2026 Request</b>	<b>\$ 145,200.00</b>

412 County Street  
New Bedford, MA 02740  
info@studio2sustain.com  
508 999 5145



Cape Verdean Association in New Bedford, CVANB  
128 Union Street, Suite 100  
New Bedford, MA 02740

### **CVANB Executive Director -Part Time**

#### **About the Cape Verdean Association in New Bedford**

The CVANB mission is to preserve and promote Cape Verdean culture connecting residents to a history and culture that still needs its own physical space for exhibition, discussion, and education. CVANB provides arts and cultural programs and cultural education for youth and adults and aims to strengthen, foster, and share an appreciation of Cape Verdean culture and history, and collaborative relationships between New Bedford and Cabo Verde.

CVANB's work currently includes the creation of a **Cape Verdean Cultural Center, and the adjacent Island Park**, that acts as an extension of the Cultural Center, to celebrate and educate the public about the traditional customs and culture of music, theatre, and the arts of Cape Verde and offering cultural programs to the community at various locations.

Visit [www.CVANB.org](http://www.CVANB.org) and [www.facebook.com/CapeVerdeanAssociationinNewBedford](https://www.facebook.com/CapeVerdeanAssociationinNewBedford) to learn more.

#### **Position Description**

CVANB is hiring a part-time Executive Director to manage the Association as the Cape Verdean Cultural Center and Island Park Capital projects near completion. This role includes overseeing daily operations and ensuring long-term success. The candidate should have skills in fundraising, event management, program operations, finances, data management, and social media communication.

This half-time position involves leading the organization and working with Board committees on development, programming, and communication. Continuation of the role depends on securing funding and may become full-time when the Cultural Center is fully operational. The position reports to the Board of Directors.

#### **Key Responsibilities:**

##### **STRATEGIC AND PROGRAMMATIC OVERSIGHT**

- Plan and oversee the development, implementation, and evaluation of programs and initiatives, ensuring that they align with the organization's mission and objectives.
- Engage with stakeholders such as, donors, community partners, and government officials to ensure support and collaboration. This engagement would include stakeholders on the local, regional, statewide level and in Cabo Verde.
- Work with Board Committees and attend Board meetings
- Work with ongoing consultants to achieve organizational goals that are set by CVANB BOD and ED.
- Routinely report performance and financial activities and updates to the Board

##### **FINANCIAL PLANNING AND FUNDRAISING**

- Manage the organization's finances, including the annual budget, financial reporting, monitoring cash flow and expenditures, and ensuring financial sustainability
- Drive development and fundraising in collaboration with the Board.
- Oversee fundraising efforts by identifying potential donors, creating fundraising strategies, and securing financial resources to support these activities.

- In collaboration with the Development committee and Board Treasurer, process donations and maintain the fundraising database.
- Work with consulting accountant and/or auditor to achieve financial organizational goals.

#### COMMUNICATIONS

- Deepen and refine all aspects of communications—from web presence to external relations with the goal of building and reinforcing a stronger brand.
- Build and expand relationships with major donors, family foundations, and philanthropic foundations.
- Ensure that all communications are culturally and linguistically responsive in alignment to CVANB's mission.

#### Qualifications

- Bachelor's Degree or an equivalence of relevant experience
- Demonstrated fundraising experience required with organizational leadership familiarity
- Ability to utilize Microsoft Office Suites and social media
- Strong written and oral communication skills
- Ability to work effectively in collaboration with diverse groups of people
- Experience working in/with the community
- Bilingual/bicultural preferred

**Compensation:** \$49,929 - \$48 x 20 hours x 52 weeks

**Duration:** June 1, 2025 through May 31, 2026 and continuing, if funding is in place.

**For immediate consideration please send your resume and cover letter, preferably via email , to:**

Darlene Spencer - Board President

Cape Verdean Association in New Bedford

128 Union St. Suite 100,

New Bedford MA 02740

Phone

Email - dspencercvanb@gmail.com

**Review of applications and expressions of interest will begin immediately and continue until an appointment is made.**



# COMMONWEALTH OF MASSACHUSETTS ~ STANDARD CONTRACT FORM



This form is jointly issued and published by the Office of the Comptroller (CTR), the Executive Office for Administration and Finance (ANF), and the Operational Services Division (OSD) as the default contract for all Commonwealth Departments when another form is not prescribed by regulation or policy. The Commonwealth deems void any changes made on or by attachment (in the form of addendum, engagement letters, contract forms or invoice terms) to the terms in this published form or to the [Standard Contract Form Instructions and Contractor Certifications](#), the [Commonwealth Terms and Conditions for Human and Social Services](#) or the [Commonwealth IT Terms and Conditions](#) which are incorporated by reference herein. Additional non-conflicting terms may be added by Attachment. Contractors are required to access published forms at CTR Forms: <https://www.macomptroller.org/forms>. Forms are also posted at OSD Forms: <https://www.mass.gov/lists/osd-forms>.

<b>CONTRACTOR LEGAL NAME:</b> Cape Verdean Association in New Bedford (and d/b/a):		<b>COMMONWEALTH DEPARTMENT NAME:</b> Executive Office of Housing and Economic Development <b>MMARS Department Code:</b> EED	
<b>Legal Address: (W-9, W-4):</b> 128 Union Street Suite 100, New Bedford MA		<b>Business Mailing Address:</b> 1 Ashburton Pl. Room 2101, Boston, MA 02108	
<b>Contract Manager:</b> Jan Baptist	<b>Phone:</b> 508-982-2022	<b>Billing Address (if different):</b>	
<b>E-Mail:</b> jbastistcvanb@gmail.com	<b>Fax:</b>	<b>Contract Manager:</b> Joseph Harrington	<b>Phone:</b> 617-352-2555
<b>Contractor Vendor Code:</b> VC0001352729		<b>E-Mail:</b> Joseph.D.Harrington@mass.gov	
<b>Vendor Code Address ID (e.g. "AD001"):</b> AD		<b>Fax:</b>	
(Note: The Address ID must be set up for EFT payments.)		<b>MMARS Doc ID(s):</b>	
<b>RFR/Procurement or Other ID Number:</b>			
<b><u>X</u> NEW CONTRACT</b> <b>PROCUREMENT OR EXCEPTION TYPE: (Check one option only)</b> <input type="checkbox"/> <b>Statewide Contract</b> (OSD or an OSD-designated Department) <input type="checkbox"/> <b>Collective Purchase</b> (Attach OSD approval, scope, budget) <input type="checkbox"/> <b>Department Procurement</b> (includes all Grants - <a href="#">815 CMR 2.00</a> ) (Solicitation Notice or RFR, and Response or other procurement supporting documentation) <input type="checkbox"/> <b>Emergency Contract</b> (Attach justification for emergency, scope, budget) <input type="checkbox"/> <b>Contract Employee</b> (Attach Employment Status Form, scope, budget) <input checked="" type="checkbox"/> <b>Other Procurement Exception</b> (Attach authorizing language, legislation with specific exemption or earmark, and exception justification, scope and budget)		<b>____ CONTRACT AMENDMENT</b> Enter Current Contract End Date <u>Prior</u> to Amendment: ____, 20 ____ Enter Amendment Amount: \$ _____. (or "no change") <b>AMENDMENT TYPE: (Check one option only. Attach details of amendment changes.)</b> <input type="checkbox"/> <b>Amendment to Date, Scope or Budget</b> (Attach updated scope and budget) <input type="checkbox"/> <b>Interim Contract</b> (Attach justification for Interim Contract and updated scope/budget) <input type="checkbox"/> <b>Contract Employee</b> (Attach any updates to scope or budget) <input type="checkbox"/> <b>Other Procurement Exception</b> (Attach authorizing language/justification and updated scope and budget)	
The Standard Contract Form Instructions and Contractor Certifications and the following Commonwealth Terms and Conditions document are incorporated by reference into this Contract and are legally binding: (Check ONE option): <input checked="" type="checkbox"/> <a href="#">Commonwealth Terms and Conditions</a> <input type="checkbox"/> <a href="#">Commonwealth Terms and Conditions For Human and Social Services</a> <input type="checkbox"/> <a href="#">Commonwealth IT Terms and Conditions</a>			
<b>COMPENSATION:</b> (Check ONE option): The Department certifies that payments for authorized performance accepted in accordance with the terms of this Contract will be supported in the state accounting system by sufficient appropriations or other non-appropriated funds, subject to intercept for Commonwealth owed debts under <a href="#">815 CMR 9.00</a> . <input type="checkbox"/> <b>Rate Contract.</b> (No Maximum Obligation) Attach details of all rates, units, calculations, conditions or terms and any changes if rates or terms are being amended.) <input checked="" type="checkbox"/> <b>Maximum Obligation Contract.</b> Enter total maximum obligation for total duration of this contract (or <b>new</b> total if Contract is being amended). \$ <u>200,000</u> .			
<b>PROMPT PAYMENT DISCOUNTS (PPD):</b> Commonwealth payments are issued through EFT 45 days from invoice receipt. Contractors requesting <b>accelerated</b> payments must identify a PPD as follows: Payment issued within 10 days __% PPD; Payment issued within 15 days __% PPD; Payment issued within 20 days __% PPD; Payment issued within 30 days __% PPD. If PPD percentages are left blank, identify reason: <input checked="" type="checkbox"/> agree to standard 45 day cycle __ statutory/legal or Ready Payments ( <a href="#">M.G.L. c. 29, § 23A</a> ); __ only initial payment (subsequent payments scheduled to support standard EFT 45 day payment cycle. See Prompt Pay Discounts Policy.)			
<b>BRIEF DESCRIPTION OF CONTRACT PERFORMANCE or REASON FOR AMENDMENT:</b> (Enter the Contract title, purpose, fiscal year(s) and a detailed description of the scope of performance or what is being amended for a Contract Amendment. Attach all supporting documentation and justifications.) This contract is to fund the project designated in H.4269 An Act relative to immediate COVID-19 recovery needs: <b>Account # 1599-2043</b> - "provided further, that not less than \$200,000 shall be expended for the Cape Verdean Association in New Bedford"			
<b>ANTICIPATED START DATE:</b> (Complete ONE option only) The Department and Contractor certify for this Contract, or Contract Amendment, that Contract obligations: <input checked="" type="checkbox"/> 1. may be incurred as of the Effective Date (latest signature date below) and <b>no</b> obligations have been incurred <b>prior</b> to the Effective Date. <input type="checkbox"/> 2. may be incurred as of ____, 20 ____, a date <b>LATER</b> than the Effective Date below and <b>no</b> obligations have been incurred <b>prior</b> to the Effective Date. <input type="checkbox"/> 3. were incurred as of ____, 20 ____, a date <b>PRIOR</b> to the Effective Date below, and the parties agree that payments for any obligations incurred prior to the Effective Date are authorized to be made either as settlement payments or as authorized reimbursement payments, and that the details and circumstances of all obligations under this Contract are attached and incorporated into this Contract. Acceptance of payments forever releases the Commonwealth from further claims related to these obligations.			
<b>CONTRACT END DATE:</b> Contract performance shall terminate as of <b>June 30, 2024</b> , with no new obligations being incurred after this date unless the Contract is properly amended, provided that the terms of this Contract and performance expectations and obligations shall survive its termination for the purpose of resolving any claim or dispute, for completing any negotiated terms and warranties, to allow any close out or transition performance, reporting, invoicing or final payments, or during any lapse between amendments.			
<b>CERTIFICATIONS:</b> Notwithstanding verbal or other representations by the parties, the "Effective Date" of this Contract or Amendment shall be the latest date that this Contract or Amendment has been executed by an authorized signatory of the Contractor, the Department, or a later Contract or Amendment Start Date specified above, subject to any required approvals. The Contractor certifies that they have accessed and reviewed all documents incorporated by reference as electronically published and the Contractor makes all certifications required under the Standard Contract Form Instructions and Contractor Certifications under the pains and penalties of perjury, and further agrees to provide any required documentation upon request to support compliance, and agrees that all terms governing performance of this Contract and doing business in Massachusetts are attached or incorporated by reference herein according to the following hierarchy of document precedence, the applicable Commonwealth Terms and Conditions, this Standard Contract Form, the Standard Contract Form Instructions and Contractor Certifications, the Request for Response (RFR) or other solicitation, the Contractor's Response (excluding any language stricken by a Department as unacceptable, and additional negotiated terms, provided that additional negotiated terms will take precedence over the relevant terms in the RFR and the Contractor's Response only if made using the process outlined in <a href="#">801 CMR 21.07</a> , incorporated herein, provided that any amended RFR or Response terms result in best value, lower costs, or a more cost effective Contract.			
<b>AUTHORIZING SIGNATURE FOR THE CONTRACTOR:</b> X: <u>Janice Baptist</u> Date: <u>5/11/2023</u> (Signature and Date Must Be Captured At Time of Signature) Print Name: <u>SANICE BAPTIST</u> Print Title: <u>Vice President / Project Manager</u>		<b>AUTHORIZING SIGNATURE FOR THE COMMONWEALTH:</b> X: _____ Date: _____ (Signature and Date Must Be Captured At Time of Signature) Print Name: _____ Print Title: _____	





City of New Bedford  
Community Preservation Committee

133 William Street, New Bedford, Massachusetts 02740  
(508) 979-1488 • [CPA@newbedford-ma.gov](mailto:CPA@newbedford-ma.gov)

JONATHAN F. MITCHELL  
MAYOR

SENT VIA EMAIL

May 21, 2019

RE:  
2019 CPA PROJECT FUNDING FOR STRAND THEATRE RESTORATION AS CAPE VERDEAN  
CULTURAL CENTER

Dear Cape Verdean Association of New Bedford and WHALE, Inc.:

The Community Preservation Committee is pleased to confirm that on May 9, 2019, the New Bedford City Council approved the CPC recommendation to appropriate \$150,000 of Community Preservation Act (CPA) funds for your project – Strand Theatre Restoration as Cape Verdean Cultural Center. A copy of the City Council vote awarding the grant is attached.

Please note the award and acceptance of CPA funding is subject to project conditions set forth by the Community Preservation Committee as well as your organization entering into a Grant Agreement with the City, which will govern the use and disbursement of the funds. Projects that involve the acquisition of any interest in real property with CPA funds shall be bound by a permanent deed restriction that meets the requirements of M.G.L. c. 184, limiting the use of the interest to the purpose for which it was acquired.

Prior to project commencement, a *project start-up meeting* must be scheduled with Jessica Bailey, CPA Coordinator. Upon receipt of this letter, please contact Ms. Bailey to schedule a meeting by July 1, 2019. She may be reached either by email at [Jessica.Bailey@newbedford-ma.gov](mailto:Jessica.Bailey@newbedford-ma.gov) or by phone at 508-979-1488. All necessary documentation and communication with the City regarding the project should be directed to Ms. Bailey.

At this meeting, your Grant Agreement, project phases, project budget, and other funding requirements will be reviewed and discussed. Included with this letter is a Disbursement Schedule to be completed prior to the meeting. This document will serve as a starting point to determine project milestones and phase dates and will be finalized upon entering into the Grant Agreement. The Grant Agreement and the Funding Disbursement Guidelines are attached for your review prior to the project start-up meeting.

Thank you for working in partnership with the Community Preservation Committee. We look forward to the positive contribution your project will make to the community.

Sincerely,

Janine da Silva  
Chair



MAYOR  
JON MITCHELL

## City of New Bedford Department of City Planning

133 William Street · Room 303 · New Bedford, Massachusetts 02740

Telephone: (508) 979.1488 · Facsimile: (508) 979.1576

### COMMUNITY PRESERVATION COMMITTEE

#### SENT VIA EMAIL

May 24, 2022

RE: FY22 CPA PROJECT FUNDING FOR **STRAND THEATER RESTORATION**

Dear Ms. Baptist:

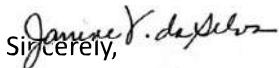
The Community Preservation Committee is pleased to confirm that on May 12, 2022, the New Bedford City Council approved the CPC recommendation to appropriate \$300,000 of Community Preservation Act (CPA) funds for your project. A copy of the City Council vote awarding the grant is attached.

Please note the award and acceptance of CPA funding is subject to project conditions set forth by the Community Preservation Committee as well as your organization entering into a Grant Agreement with the City, which will govern the use and disbursement of the funds. The grant agreement will be sent to you via DocuSign.

Prior to project commencement, a ***project start-up meeting*** must be scheduled with Jessica Bailey, CPA Coordinator. Upon receipt of this letter, please contact Ms. Bailey by June 17<sup>th</sup> to schedule a meeting; meetings can be held via Zoom to accommodate multiple participants. She may be reached either by email at [Jessica.Bailey@newbedford-ma.gov](mailto:Jessica.Bailey@newbedford-ma.gov) or by phone at 508-979-1488.

At this meeting, your grant agreement, project phases, budget, and other funding requirements will be reviewed and discussed. In addition, the Disbursement Schedule will be reviewed as this document serves as a starting point to determine project milestones and phase dates. An example of the Disbursement Guidelines is attached for your review prior to the project start-up meeting. All communication with the City regarding your CPA project should be directed to Ms. Bailey.

Thank you for working in partnership with the Community Preservation Committee. We look forward to the our project will make to the community.

  
Sincerely,

Janine da Silva  
Chair





**MAYOR**  
JON MITCHELL

**DIRECTOR OF CITY PLANNING**  
JENNIFER CARLONI

## City of New Bedford Department of City Planning

133 William Street · Room 303 · New Bedford, Massachusetts 02740  
Telephone: (508) 979.1488 · Facsimile: (508) 979.1576

### COMMUNITY PRESERVATION COMMITTEE

February 16, 2023

Jan Baptist  
Cape Verdean Association in New Bedford  
Via email

#### **RE: Strand Theater Restoration**

Dear Ms. Baptist:

Congratulations! This letter is to inform you the Community Preservation Committee (CPC) has voted to recommend the above captioned project to the City Council for funding in the amount of \$240,000.

Please note the award and acceptance of CPA funding is subject to a City Council vote, with project conditions set forth by the CPC, and your organization will be required to enter into a Grant Agreement with the City which will govern the use and disbursement of the funds. For your project, the following terms and conditions will apply:

1. CPA funds are to be used for the structural reinforcement of the foyer framing and the installation of a fire suppression system and fire alarm at building located at 1157 Acushnet Avenue.
2. Grantee agrees to execute the project complying with the U.S. Secretary of the Interior Standards for Rehabilitation and secure contractors who have demonstrated experience successfully completing projects to these standards.
3. No disbursement of funds may occur until the project has received all necessary permits and approvals.
4. Other conditions as deemed necessary and defined within the Community Preservation Act Grant Agreement.

These terms and conditions will be submitted as part of the funding recommendation to City Council. **Please confirm via email to [Jessica.Bailey@NewBedford-ma.gov](mailto:Jessica.Bailey@NewBedford-ma.gov) your acceptance of these terms and conditions no later than February 27, 2023.** If you have any questions or do not wish to accept a term or condition, please email or call Jessica Bailey at 508.979.1466 to discuss.

The CPC will present the recommended projects at an upcoming meeting of the New Bedford City Council for discussion and vote; we will inform you of the date of the meeting. City Council has the final authority to award the CPC's recommended funds from New Bedford's CPA Fund. The City Council can approve a CPC-recommended project, approve the project at a reduced funding level, or reject the project

recommendation. Should the City Council vote to reduce recommended funding for or reject a recommended project, the CPC will have an opportunity to respond and/or to adjust the scope or terms of the project prior to a final decision by the City Council.

Should you have any questions, Jessica Bailey, Community Preservation Act Manager, is available to assist you.

Sincerely,

A handwritten signature in black ink, reading "Janine V. da Silva". The signature is written in a cursive style with a large, stylized 'J' and 'S'.

Janine da Silva  
Chair



**MAYOR**  
JON MITCHELL

**DIRECTOR OF CITY PLANNING**  
JENNIFER CARLONI

## City of New Bedford Department of City Planning

133 William Street · Room 303 · New Bedford, Massachusetts 02740  
Telephone: (508) 979.1488 · Facsimile: (508) 979.1576

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### COMMUNITY PRESERVATION COMMITTEE

February 16, 2024

Jan Baptist  
Cape Verdean Association in New Bedford  
Via email

**RE: Strand Theater Restoration**

Dear Ms. Baptist:

Congratulations! This letter is to inform you the Community Preservation Committee (CPC) has voted to recommend the above captioned project to the City Council for funding in the amount of \$225,000.

Please note the awarding of CPA funds is subject to a City Council vote, with project conditions set forth by the CPC. Your organization will be required to enter into a Grant Agreement with the City which will govern the use and disbursement of the funds. For your project, the following terms and conditions will apply:

1. CPA funds are to be used for the installation of an ADA-accessible entrance on the south elevation and the construction of an ADA-compliant bathroom at building located at 1157 Acushnet Avenue.
2. Grantee agrees to execute the project complying with the U.S. Secretary of the Interior Standards for Rehabilitation and secure contractors who have demonstrated experience successfully completing projects to these standards.
3. No disbursement of funds may occur until the project has received all necessary permits and approvals.
4. Other conditions as deemed necessary and defined within the Community Preservation Act Grant Agreement.

These terms and conditions will be submitted as part of the funding recommendation to City Council. **Please confirm via email to [Jessica.Bailey@NewBedford-ma.gov](mailto:Jessica.Bailey@NewBedford-ma.gov) your acceptance of this award and the terms and conditions no later than February 28, 2024.** If you have any questions or do not wish to accept a term or condition, please email or call Jessica Bailey at 508.979.1488 to discuss.

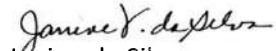
The CPC received twenty-two applications in the FY24 application cycle, seeking a total of \$2.98 million in funding for a variety of projects which would benefit the City. In deciding how to allocate funds through this competitive application process, the CPC evaluated projects against the priorities established in the FY24 Community

Preservation Plan and took into consideration other relevant factors such as the amount of funding available, the ability to fully or partially fund projects, and the distribution among the CPA categories.

The CPC will present the recommended projects at an upcoming meeting of the New Bedford City Council for discussion and vote; we will inform you of the date of the meeting. City Council has the final authority to award the CPC's recommended funds from New Bedford's Community Preservation Act Fund. The City Council can approve a CPC-recommended project, approve the project at a reduced funding level, or reject the project recommendation. Should the City Council vote to reduce recommended funding for or reject a recommended project, the CPC will have an opportunity to respond and/or to adjust the scope or terms of the project prior to a final decision by the City Council.

Should you have any questions, Jessica Bailey, Community Preservation Act Manager, is available to assist you.

Sincerely,

A handwritten signature in black ink, appearing to read "Janine da Silva".

Janine da Silva

Chair



Diana Painter &lt;diana.marie.painter@gmail.com&gt;

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**Fwd: Request Decision- 2023 Henry H. Crapo Foundation Fund**

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Jan Baptist &lt;jbaptistcvanb@gmail.com&gt;

Sat, Nov 18, 2023 at 3:59 PM

To: Darlene Spencer &lt;DSpencercvanb@gmail.com&gt;, Diana Painter &lt;diana.marie.painter@gmail.com&gt;

Hooray. Good news. Congrats to us 🍌 🍌 🍌  
I'll follow up as they request to release the funds.  
We can talk about how we will do the press stuff on Monday.  
Have a great Sunday.

----- Forwarded message -----

From: **SouthCoast Community Foundation** <administrator@grantinterface.com>

Date: Fri, Nov 17, 2023 at 4:30 PM

Subject: Request Decision- 2023 Henry H. Crapo Foundation Fund

To: &lt;jbaptistcvanb@gmail.com&gt;

CC: &lt;aheard@southcoastcf.org&gt;

Dear Jan,

Congratulations! I am pleased to inform you that the SouthCoast Community Foundation has approved a grant of \$5,000.00 to Cape Verdean Association in New Bedford, Inc. from the Henry H. Crapo Foundation Fund for Cape Verdean Cultural Community Center.

Your award information can be viewed by logging into our [online grant portal](#) and viewing the decision details, which are located underneath "request" on your dashboard. **Please complete the "terms & conditions" form** as soon as possible so that we can send you your award.

If you plan to share your good news, please include the source of the grant as "Henry H. Crapo Foundation Fund of the SouthCoast Community Foundation." Please share a draft of your press release, newsletter, or any materials that reference the grant or includes our logo prior to release or publication. We would be happy to provide our logo and encourage you to link to the Community Foundation website and/or social media accounts as appropriate. When final materials are available, we would greatly appreciate copies for our files.

Thank you for all you continue to do on behalf of our community. Do not hesitate to reach out to Adrianna Heard, Donor Services Associate [aheard@southcoastcf.org](mailto:aheard@southcoastcf.org) with any questions.

Sincerely,  
Tricia Grime  
Director of Philanthropy  
SouthCoast Community Foundation



Diana Painter &lt;diana.marie.painter@gmail.com&gt;

**Re: TDI Equity Award Announcement - CVANB/Strand Theater**

2 messages

Jan Baptist &lt;jbaptistcvanb@gmail.com&gt;

Fri, Aug 23, 2024 at 4:56 PM

To: "McKeag, James" &lt;jmckeag@massdevelopment.com&gt;

Cc: "Rondon, Anabelle" &lt;ARondon@massdevelopment.com&gt;, "Durante, George" &lt;GDurante@massdevelopment.com&gt;, "Valverde, Genesis" &lt;gvalverde@massdevelopment.com&gt;, "Mendes, Adelsa" &lt;amendes@massdevelopment.com&gt;, Darlene Spencer &lt;DSpencercvanb@gmail.com&gt;, Gail Fortes &lt;gfortescvanb@gmail.com&gt;, Diana Painter &lt;diana.marie.painter@gmail.com&gt;, Tanya Alves &lt;talvescvanb@gmail.com&gt;, Erin Miranda &lt;emiranda@waterfrontleague.org&gt;

Dear Jim

This is wonderful to hear and so welcome and appreciated. The Cultural Center project is underway with work on the façade and structural supports being done now. Phase 1 is fully funded, and this award will help to close the budget gap in Phase 2 that goes out to bid this fall. CVANB understands that this is embargoed and we look forward to signing the grant agreement and the press release in the next weeks. Once again our thanks to you and the MassDevelopment team for this award and all that you do for our community.

Have a great weekend.

Jan

*Jan Baptist- she/her/hers**Vice President**Cape Verdean Association in New Bedford CVA-NB**128 Union St. Suite 100, New Bedford MA 02740**508-982-2022**[www.CVANB.org](http://www.CVANB.org)**[www.facebook.com/CapeVerdeanAssociationinNewBedford](https://www.facebook.com/CapeVerdeanAssociationinNewBedford)**[jbaptistCVANB@gmail.com](mailto:jbaptistCVANB@gmail.com)*

The Mission of the Cape Verdean Association in New Bedford is to promote and preserve Cape Verdean culture.

On Fri, Aug 23, 2024 at 3:47 PM McKeag, James <[JMckeag@massdevelopment.com](mailto:JMckeag@massdevelopment.com)> wrote:

Dear Jan,

We are pleased to make a TDI Equity award in the amount of \$125,000 for the Strand Theater project at [1157 Acushnet Ave](#) in New Bedford. This process took much longer than anticipated and we appreciate your patience and understanding. This was an extremely competitive round with many good projects, and we are looking forward to seeing yours take shape.

What you can expect next:

Over the next several weeks, we will be drafting grant agreements and preparing a press release to announce the awards. A reminder that this award is currently embargoed information and it's very important that you do not share any news of your award with the public or discuss it with members of the press until the awards are officially announced. We will be in touch to verify the details we will be including in the press release.

I or other MassDevelopment staff may be following up to verify specific details of your project or request updated information for the grant agreement. After you have received a copy of your grant agreement, we will be providing detailed information on the payment (disbursement) process to all grant recipients. We will provide the forms and information on the back up documentation that needs to be submitted for each payment request. As a note, 10% of all payment requests will be withheld on all projects, with the exception of acquisitions, until the project is complete.

Some important information to keep in mind:

- You can start your project if you haven't already. Eligible expenses identified in the grant agreement can be reimbursed.
- Approved project costs recently incurred can also be reimbursed. We have the ability to "look back" and disburse funds for eligible project expenses within a reasonable timeframe, typically 3-6 months.
- We will be seeking photo documentation of your project. If your project is just starting or underway, you will want to document the conditions before construction and each stage of the project.

Again, congratulations on your award!

Sincerely,



The TDI Team

**Jim McKeag**

Deputy Director, Field Operations  
Transformative Development Initiative

**MassDevelopment**

**The Commonwealth's Development Finance Agency & Land Bank**

99 High Street, Boston MA 02110

**Mobile:** 617.418.0728

[jmckeag@massdevelopment.com](mailto:jmckeag@massdevelopment.com)

[massdevelopment.com](http://massdevelopment.com)



---

**Business** <diana.marie.painter@gmail.com>

Fri, Aug 23, 2024 at 4:59 PM

To: Jan Baptist <[jbaptistcvanb@gmail.com](mailto:jbaptistcvanb@gmail.com)>

Wooooooo!

Sincerely in Service,

Diana M. Painter

208-232-5942

On Aug 23, 2024, at 1:56 PM, Jan Baptist <[jbaptistcvanb@gmail.com](mailto:jbaptistcvanb@gmail.com)> wrote:

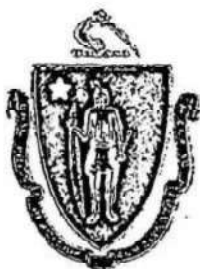
[Quoted text hidden]

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[Quoted text hidden]





*The Commonwealth of Massachusetts*  
*Secretary of the Commonwealth*  
*State House, Boston, Massachusetts 02133*

*William Francis Galvin*  
*Secretary of the Commonwealth*

April 29, 2021

Raquel Dias  
Cape Verdean Association of New Bedford, Inc.  
P. O. Box 5532  
New Bedford, MA 02742

RE: Massachusetts Historic Rehabilitation Tax Credit Application, Strand Theater,  
1157 Acushnet Avenue, New Bedford, MA; MHC# HRC.914

Dear Ms. Dias:

As Chairman of the Massachusetts Historical Commission, I am pleased to inform you that the above referenced project has been selected to receive \$100,000.00 of state rehabilitation tax credit funds. You remain eligible to apply for additional funds in future rounds, not exceeding a total of 20% of the qualified rehabilitation costs for the project.

This allocation is contingent upon the successful completion of the project and the approval of part three of the state rehabilitation tax credit application in accordance with the regulations (830 CMR 63.38R.1).

Once your project is complete and put into service, you may apply for a Part 3 Certification for your project. Part 3 certification and issuance of a Project Certificate by the Massachusetts Historical Commission is the final step of the tax credit process for a single-phase project. See 830 CMR 63.38R.1(4)(c). After the Project Certificate is issued, no additional credits can be allocated.

Please contact Brona Simon, Executive Director of the Massachusetts Historical Commission, if you have any questions concerning the next steps in this process.

We look forward to working with you toward the successful completion of your project. We hope that this allocation will help you to achieve your preservation goals.

Sincerely,

A handwritten signature in cursive script, reading "William Francis Galvin".

William Francis Galvin  
Secretary of the Commonwealth  
Chairman, Massachusetts Historical Commission

xc: Teri Bernert, WHALE



*The Commonwealth of Massachusetts*  
*Secretary of the Commonwealth*  
*State House, Boston, Massachusetts 02133*

*William Francis Galvin*  
*Secretary of the Commonwealth*

August 18, 2021

Darlene Spencer  
Cape Verdean Association of New Bedford, Inc.  
P. O. Box 5532  
New Bedford, MA 02742

RE: Massachusetts Historic Rehabilitation Tax Credit Application,  
Strand Theater, 1157 Acushnet Avenue, New Bedford, MA; MHC# HRC.914

Dear Ms. Spencer:

As Chairman of the Massachusetts Historical Commission, I am pleased to inform you that the above referenced project has been selected to receive \$100,000.00 of state rehabilitation tax credit funds. You remain eligible to apply for additional funds in future rounds, not exceeding a total of 20% of the qualified rehabilitation costs for the project.

This allocation is contingent upon the successful completion of the project and the approval of part three of the state rehabilitation tax credit application in accordance with the regulations (830 CMR 63.38R.1).

Once your project is complete and put into service, you may apply for a Part 3 Certification for your project. Part 3 certification and issuance of a Project Certificate by the Massachusetts Historical Commission is the final step of the tax credit process for a single-phase project. See 830 CMR 63.38R.1(4)(c). After the Project Certificate is issued, no additional credits can be allocated.

Please contact Brona Simon, Executive Director of the Massachusetts Historical Commission, if you have any questions concerning the next steps in this process.

We look forward to working with you toward the successful completion of your project. We hope that this allocation will help you to achieve your preservation goals.

Sincerely,

William Francis Galvin  
Secretary of the Commonwealth  
Chairman, Massachusetts Historical Commission

xc: Teri Bernert, WHALE



*The Commonwealth of Massachusetts*  
*Secretary of the Commonwealth*  
*State House, Boston, Massachusetts 02133*

*William Francis Galvin*  
*Secretary of the Commonwealth*

December 28, 2021

Darlene Spencer  
Cape Verdean Association of New Bedford, Inc.  
128 Union Street, Suite 100  
New Bedford, MA 02740

RE: Massachusetts Historic Rehabilitation Tax Credit Application,  
Strand Theater, 1157 Acushnet Avenue, New Bedford, MA; MHC# HRC.914

Dear Ms. Dias:

As Chairman of the Massachusetts Historical Commission, I am pleased to inform you that the above referenced project has been selected to receive an additional \$100,000.00 of state rehabilitation tax credit funds.

This allocation is contingent upon the successful completion of the project and the approval of part three of the state rehabilitation tax credit application in accordance with the regulations (830 CMR 63.38R.1).

Once your project is complete and put into service, you may apply for a Part 3 Certification for your project. Part 3 certification and issuance of a Project Certificate by the Massachusetts Historical Commission is the final step of the tax credit process for a single-phase project. See 830 CMR 63.38R.1(4)(c). After the Project Certificate is issued, no additional credits can be allocated.

Please contact Brona Simon, Executive Director of the Massachusetts Historical Commission, if you have any questions concerning the next steps in this process.

We look forward to working with you toward the successful completion of your project. We hope that this allocation will help you to achieve your preservation goals.

Sincerely,

A handwritten signature in dark ink, appearing to read "William Francis Galvin", written in a cursive style.

William Francis Galvin  
Secretary of the Commonwealth  
Chairman, Massachusetts Historical Commission

xc: Teri Bernert, WHALE



*The Commonwealth of Massachusetts*  
*Secretary of the Commonwealth*  
*State House, Boston, Massachusetts 02133*

*William Francis Galvin*  
*Secretary of the Commonwealth*  
December 30, 2022

Darlene Spencer  
Cape Verdean Association of New Bedford, Inc.  
128 Union Street, Suite 100  
New Bedford, MA 02740

RE: Massachusetts Historic Rehabilitation Tax Credit Application,  
Strand Theater, 1157 Acushnet Avenue, New Bedford, MA; MHC# HRC.914

Dear Ms. Spencer:

As Chairman of the Massachusetts Historical Commission, I am pleased to inform you that the above referenced project has been selected to receive an additional \$100,000.00 of state rehabilitation tax credit funds.

This allocation is contingent upon the successful completion of the project and the approval of part three of the state rehabilitation tax credit application in accordance with the regulations (830 CMR 63.38R.1).

Once your project is complete and put into service, you may apply for a Part 3 Certification for your project. Part 3 certification and issuance of a Project Certificate by the Massachusetts Historical Commission is the final step of the tax credit process for a single-phase project. See 830 CMR 63.38R.1(4)(c). After the Project Certificate is issued, no additional credits can be allocated.

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We look forward to working with you toward the successful completion of your project. We hope that this allocation will help you to achieve your preservation goals.

Sincerely,

A handwritten signature in cursive script, reading "William Francis Galvin".

William Francis Galvin  
Secretary of the Commonwealth  
Chairman, Massachusetts Historical Commission

xc: Teri Bernert, WHALE





*The Commonwealth of Massachusetts*  
*Secretary of the Commonwealth*  
*State House, Boston, Massachusetts 02133*

*William Francis Galvin*  
*Secretary of the Commonwealth*

August 24, 2023

Darlene Spencer  
Cape Verdean Association of New Bedford, Inc.  
PO Box 5532  
New Bedford, MA 02742

RE: Massachusetts Historic Rehabilitation Tax Credit Application, Strand Theater,  
1157 Acushnet Avenue, New Bedford, MA; MHC# HRC.914

Dear Ms. Spencer:

As Chairman of the Massachusetts Historical Commission, I am pleased to inform you that the above referenced project has been selected to receive an additional \$100,000.00 of state rehabilitation tax credit funds.

This allocation is contingent upon the successful completion of the project and the approval of part three of the state rehabilitation tax credit application in accordance with the regulations (830 CMR 63.38R.1).

Once your project is complete and put into service, you may apply for a Part 3 Certification for your project. Part 3 certification and issuance of a Project Certificate by the Massachusetts Historical Commission is the final step of the tax credit process for a single-phase project. See 830 CMR 63.38R.1(4)(c). After the Project Certificate is issued, no additional credits can be allocated.

Please contact Brona Simon, Executive Director of the Massachusetts Historical Commission, if you have any questions concerning the next steps in this process.

~~We look forward to working with you toward the successful completion of your project. We hope that this al-~~  
location will help you to achieve your preservation goals.

Sincerely,

A handwritten signature in cursive script, reading "William Francis Galvin".

William Francis Galvin  
Secretary of the Commonwealth  
Chairman, Massachusetts Historical Commission

xc: Rebecca Barnes, WHALE





*The Commonwealth of Massachusetts*  
*Secretary of the Commonwealth*  
*State House, Boston, Massachusetts 02133*

*William Francis Galvin*  
*Secretary of the Commonwealth*

December 29, 2023

Darlene Spencer  
Cape Verdean Association of New Bedford, Inc.  
128 Union Street, Suite 100  
New Bedford, MA 02740

RE: Massachusetts Historic Rehabilitation Tax Credit Application, Strand Theater,  
1157 Acushnet Avenue, New Bedford, MA; MHC# HRC.914

Dear Ms. Spencer:

As Chairman of the Massachusetts Historical Commission, I am pleased to inform you that the above referenced project has been selected to receive an additional \$100,000.00 of state rehabilitation tax credit funds.

This allocation is contingent upon the successful completion of the project and the approval of part three of the state rehabilitation tax credit application in accordance with the regulations (830 CMR 63.38R.1).

Once your project is complete and put into service, you may apply for a Part 3 Certification for your project. Part 3 certification and issuance of a Project Certificate by the Massachusetts Historical Commission is the final step of the tax credit process for a single-phase project. See 830 CMR 63.38R.1(4)(c). After the Project Certificate is issued, no additional credits can be allocated.

Please contact Brona Simon, Executive Director of the Massachusetts Historical Commission, if you have any questions concerning the next steps in this process.

We look forward to working with you toward the successful completion of your project. We hope that this allocation will help you to achieve your preservation goals.

Sincerely,

A handwritten signature in cursive script, reading "William Francis Galvin".

William Francis Galvin  
Secretary of the Commonwealth  
Chairman, Massachusetts Historical Commission

xc: Rachel Alison, Post Oak Preservation Services



*The Commonwealth of Massachusetts*  
*Secretary of the Commonwealth*  
*State House, Boston, Massachusetts 02133*

*William Francis Galvin*  
*Secretary of the Commonwealth*

April 23, 2024

Darlene Spencer  
Cape Verdean Association of New Bedford, Inc.  
128 Union Street, Suite 100  
New Bedford, MA 02740

RE: Massachusetts Historic Rehabilitation Tax Credit Application, Strand Theater,  
1157 Acushnet Avenue, New Bedford, MA; MHC# HRC.914

Dear Ms. Spencer:

As Chairman of the Massachusetts Historical Commission, I am pleased to inform you that the above referenced project has been selected to receive an additional \$50,000.00 of state rehabilitation tax credit funds.

This allocation is contingent upon the successful completion of the project and the approval of part three of the state rehabilitation tax credit application in accordance with the regulations (830 CMR 63.38R.1).

Once your project is complete and put into service, you may apply for a Part 3 Certification for your project. Part 3 certification and issuance of a Project Certificate by the Massachusetts Historical Commission is the final step of the tax credit process for a single-phase project. See 830 CMR 63.38R.1(4)(c). After the Project Certificate is issued, no additional credits can be allocated.

Please contact Brona Simon, Executive Director of the Massachusetts Historical Commission, if you have any questions concerning the next steps in this process.

We look forward to working with you toward the successful completion of your project. We hope that this allocation will help you to achieve your preservation goals.

Sincerely,

A handwritten signature in cursive script, reading "William Francis Galvin".

William Francis Galvin  
Secretary of the Commonwealth  
Chairman, Massachusetts Historical Commission

xc: Rachel Alison, Post Oak Preservation Services



## The Commonwealth of Massachusetts

William Francis Galvin, Secretary of the Commonwealth  
Massachusetts Historical Commission

April 28, 2025

Darlene Spencer  
Cape Verdean Association of New Bedford, Inc.  
128 Union Street, Suite 100  
New Bedford, MA 02740

RE: Massachusetts Historic Rehabilitation Tax Credit Application, Strand Theater, 1157 Acushnet Avenue,  
New Bedford, MA; MHC# HRC.914

Dear Ms. Spencer:

The Massachusetts Historical Commission (MHC) has reviewed the amendments to the proposed work at the above referenced property, submitted to this office by WHALE, and received at this office on March 20, 2025, with additional information received on April 8, 2025.

The amendments (or Amendments #2 and #3: Entrances and Openings) propose a new single two-panel door with side panel and associated awning at the south elevation where a set of double doors was previously proposed. The MHC has reviewed the proposed work and finds that the amendments meet the Secretary of the Interior's Standards.

Please do not hesitate to contact Joshua Dorin of my staff, should you have any questions.

Sincerely,

A handwritten signature in cursive script that reads "Brona Simon".

Brona Simon  
Executive Director  
State Historic Preservation Officer  
Massachusetts Historical Commission

xc: Erin Miranda, WHALE



*The Commonwealth of Massachusetts*  
*Secretary of the Commonwealth*  
*State House, Boston, Massachusetts 02133*

*William Francis Galvin*  
*Secretary of the Commonwealth*

August 21, 2025

Darlene Spencer  
Cape Verdean Association of New Bedford, Inc.  
128 Union Street, Suite 100  
New Bedford, MA 02740

RE: Massachusetts Historic Rehabilitation Tax Credit Application, Strand Theater,  
1157 Acushnet Avenue, New Bedford, MA; MHC# HRC.914

Dear Ms. Spencer:

As Chairman of the Massachusetts Historical Commission, I am pleased to inform you that the above referenced project has been selected to receive an additional \$100,000.00 of state rehabilitation tax credit funds. You remain eligible to apply for additional funds in future rounds, not exceeding a total of 20% of the qualified rehabilitation costs for the project.

This allocation is contingent upon the successful completion of the project and the approval of part three of the state rehabilitation tax credit application in accordance with the regulations (830 CMR 63.38R.1).

Once your project is complete and put into service, you may apply for a Part 3 Certification for your project. Part 3 certification and issuance of a Project Certificate by the Massachusetts Historical Commission is the final step of the tax credit process for a single-phase project. See 830 CMR 63.38R.1(4)(c). After the Project Certificate is issued, no additional credits can be allocated.

Please contact Brona Simon, Executive Director of the Massachusetts Historical Commission, if you have any questions concerning the next steps in this process.

We look forward to working with you toward the successful completion of your project. We hope that this allocation will help you to achieve your preservation goals.

Sincerely,

A handwritten signature in cursive script, reading "William Francis Galvin".

William Francis Galvin  
Secretary of the Commonwealth  
Chairman, Massachusetts Historical Commission

xc: Erin Miranda, WHALE





99 High Street  
Boston, MA 02110

Main: 617-330-2000

Fax: 617-330-2001

massdevelopment.com

*VIA Electronic Mail*

September 26, 2023

Ms. Darlene Spencer, President  
Cape Verdean Association in New Bedford  
128 Union St., Suite 100  
New Bedford, MA 02740

**RE: Application: FY24-Cape Verde-00524**

Dear Ms. Spencer:

Maura Healey  
*Governor*

Kim Driscoll  
*Lieutenant Governor*

Yvonne Hao, Chair  
*Secretary of Economic  
Development*

Dan Rivera  
*President and CEO*

Thank you for submitting this application to the FY24 Round of the Community One Stop for Growth. The Executive Office of Economic Development (EOED), Executive Office of Housing and Livable Communities (EOHLC), and Massachusetts Development Finance Agency (MassDevelopment) worked together to evaluate all eligible applications and recommended the most ready and highest-impact projects for a grant. This application, submitted by Cape Verdean Association in New Bedford was reviewed by the program(s) that could best serve the project's funding needs.

On behalf of the Healey-Driscoll Administration, I am pleased to inform you that a grant in the amount of **\$50,000.00** from the Underutilized Properties Program (UPP) has been approved to support the renovation of a 9,000 sq ft vacant, blighted, historic theater into the Cape Verdean Cultural Center (your project).

In order to obtain the grant funds, you must enter into an Underutilized Properties Program Grant Agreement with MassDevelopment. Enclosed please find the form Grant Agreement (the "Grant Agreement") which will be used for all Underutilized Properties Program grants. Please read the sample Grant Agreement carefully so as to understand the terms of your agreement with MassDevelopment.

For the Grant Agreement, you must provide MassDevelopment with the following:

- 1) A scope of work, detailing all the work that will be completed using grant funds.
- 2) A detailed budget providing costs for all the items outlined in the scope of work (please use the template provided with the Grant Agreement).
- 3) Proof of all funding necessary to make the project viable due by June 7, 2024, at 5:00pm.



Once we have received this documentation, MassDevelopment will prepare a grant agreement specific to your project and send it to you for signature.

After you have signed the grant agreement and returned it to MassDevelopment, a fully executed copy will be sent to you for your records. At that point, you may begin submitting requests for payment using the Invoice Submission Form located at Exhibit B of the enclosed sample Grant Agreement. Requests for payment with attached invoices should be sent by email to Shayvonne Plummer at [splummer@massdevelopment.com](mailto:splummer@massdevelopment.com). Funds will not be paid for invoices for work done prior to execution of the Grant Agreement.

Finally, please note that public announcement of this award is embargoed until the Administration has had the opportunity to formally announce it through a local event and/or media release. Please refrain from sharing or publicizing news about this award outside of your organization until it is officially announced.

Sincerely,

A handwritten signature in blue ink, appearing to read 'D. Rivera', with a horizontal line extending to the right.

Daniel Rivera

President & CEO

Enclosure – FY24 Form UPP Grant Agreement

cc: Mayor Jon Mitchell  
Senator Mark C. Montigny  
Representative Antonio F. D. Cabral



99 High Street  
Boston, MA 02110

Main: 617-330-2000  
Fax: 617-330-2001

massdevelopment.com

June 22, 2022

Darlene Spencer  
President  
Cape Verdean Association in New Bedford, Inc.  
128 Union Street Suite #100  
New Bedford, MA 02740-6391

Dear Ms. Spencer:

Congratulations! I am pleased to inform you that the Cape Verdean Association in New Bedford, Inc. request for a Capital Grant ("Grant") from the Cultural Facilities Fund ("Fund") has been approved in the amount of \$200,000 subject to the requirements in the attached Process Memorandum and Grant Agreement. The project for which the Grant has been approved is for repairs to the plaster ceiling, install a new HVAC system, and to update plumbing in the historic Strand Theater in New Bedford.

Charles D. Baker  
*Governor*

Karyn E. Polito  
*Lieutenant Governor*

Mike Kennealy  
*Secretary of Housing &  
Economic Development  
Chairman*

Dan Rivera  
*President and CEO*

MassDevelopment and our partner in this program, Mass Cultural Council, recognize the significant contributions that cultural facilities such as yours provide to the Massachusetts economy. We are confident that this grant will benefit not only your organization, but the Commonwealth as a whole. Thank you for your commitment and perseverance.

MassDevelopment helps to build the communities of the Commonwealth by stimulating economic development. We recognize the importance of working closely with cultural institutions and municipalities throughout the Commonwealth and are delighted that the Cultural Facilities Fund expands our opportunities to provide financial assistance to worthwhile projects such as yours.

If you have any questions, comments, or concerns, please contact Lillian Muñoz, by phone at 617-330-2066 or email at [LMuñoz@MassDevelopment.com](mailto:LMuñoz@MassDevelopment.com).

Sincerely,

A handwritten signature in blue ink, appearing to read "D. Rivera", with a long horizontal flourish extending to the right.

Daniel Rivera  
President & CEO  
MassDevelopment

Enclosures:     Process Memorandum  
                     Sample Capital Grant Agreement

cc: Jay Paget, Program Director, Mass Cultural Council  
     Lillian Muñoz, Cultural Facilities Fund Portfolio Manager, MassDevelopment



**CITY OF NEW BEDFORD**  
JONATHAN F. MITCHELL, MAYOR

September 14, 2023

Jan Baptist  
Vice President  
CVA in NB  
128 Union Street #100  
New Bedford MA 02740

RE: AMERICAN RESCUE PLAN ACT FUNDING FOR STRAND THEATER 1157 ACUSHNET AVENUE

Dear Ms. Baptist:

I am pleased to inform you that, based on your response to RFR #22130143 Vacant or Abandoned Property Rehabilitation, the City of New Bedford is awarding Cape Verdean Association in New Bedford, Inc. up to \$500,000 for eligible project costs, subject to your compliance with the funding's terms and conditions and the execution of a Grant Agreement.

These terms and conditions are partly set out by the American Rescue Plan Act (ARPA) and the Coronavirus State and Local Fiscal Recovery Funds (SLFRF) rules and regulations, including but not limited to, the Department of the Treasury's SLFRF Final Rule and 2 C.F.R. 200. Importantly, as a subrecipient of ARPA funds, Cape Verdean Association in New Bedford, Inc. must comply with federal procurement regulations and maintain a conflict-of-interest policy consistent with state and federal rules. The terms and conditions are also contained in the Agreement between your organization and the City, which will govern the use and disbursement of the funds.

Prior to Agreement execution, Cape Verdean Association in New Bedford, Inc. must complete a **subrecipient risk assessment**. Following submission of the subrecipient risk assessment, a **subrecipient intake meeting** must be scheduled with Jennifer Maxwell, ARPA Procurement Officer. At this meeting, the results of the subrecipient risk assessment, and federal regulations governing ethics, administrative requirements, and use of ARPA funds will be reviewed. All communication with the City regarding the specifics of your ARPA project should be sent to Emily Arpke (Emily.arpke@newbedford-ma.gov) and Jennifer Maxwell (jennifer.maxwell@newbedford-ma.gov).

Congratulations! We look forward to the positive contribution your project will make to the City.

Sincerely,

Jon Mitchell  
Mayor

*Cyprus, Jan!*



## CAPE VERDEAN ASSOCIATION IN NEW BEDFORD

### Associação Caboverdiana

128 Union Street, Suite 100 | New Bedford, MA 02740

[www.CVANB.org](http://www.CVANB.org)

#### **CVANB Board Members 2025-2026**

**Darlene Spencer, President** - Program Officer at The Carney Family Charitable Foundation & former Director of Family Support Initiatives for United Way of Greater New Bedford

**Jan Baptist, Vice-President.** - Retired Director of Disabilities Services, Adjunct Professor of Psychology, Bristol Community College

**Gail Fortes, Treasurer** - Executive Director of the YWCA Southeastern MA; Board Chair Southcoast Community Foundation

**Tanya Alves, Secretary** - Principal of Southcoast Development Solutions, LLC, and local business owner

**Carlos Almeida, Ph.D.** - Associate Professor of Portuguese and the Director of Luso Centro at Bristol Community College; Visiting Lecturer in the Department of Portuguese at UMass Dartmouth

**Irondina (Dina) Abreu** - Legislative Aide for MA State Representative Antonio Cabral

**Starlene Alves, Esq.** - Partner at Alves|Santos, PC

**Raquel Dias** - Parent Engagement Specialist for the New Bedford School Department (retired)

**Lucia Soraya Dos Santos** - Behavioral Health Clinician, Child and Family Services

**Bruno Freire** - Cape Verdean-American entrepreneur, community leader, and tech advocate

**Jean Lopez** - Police Officer, Westport MA, Police Department

**Geovanny Sequeira** - Community Relations Specialist for the City of New Bedford.

**Bernadette Santos** - Assistant Vice President/Consumer Loan Officer, Bristol County Savings Bank

**Angie Lopes-Ellison** - Town Manager

**Eydie Matteos** - Owner, Healing Villa Co.

#### **Staff**

Amilcar Lopes - Executive Director (part-time)

#### **CVANB also contracts for professional services from the following:**

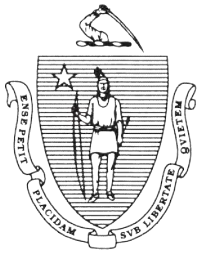
Elijah Gonsalves - Website Manager

Diana Painter - Grants Coordinator

Mike Corcoran - BoardBusiness Group Bookkeeping Services

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*Our mission is to preserve and promote Cape Verdean culture.*



*The Commonwealth of Massachusetts*  
*Secretary of the Commonwealth*  
*State House, Boston, Massachusetts 02133*

William Francis Galvin  
Secretary of the  
Commonwealth

Date: September 24, 2025

To Whom It May Concern :

I hereby certify that according to the records of this office,  
**CAPE VERDEAN ASSOCIATION IN NEW BEDFORD, INC.**

is a domestic corporation organized on **September 13, 1990**

I further certify that there are no proceedings presently pending under the Massachusetts General Laws Chapter 180 section 26 A, for revocation of the charter of said corporation; that the State Secretary has not received notice of dissolution of the corporation pursuant to Massachusetts General Laws, Chapter 180, Section 11, 11A, or 11B; that said corporation has filed all annual reports, and paid all fees with respect to such reports, and so far as appears of record said corporation has legal existence and is in good standing with this office.



In testimony of which,  
I have hereunto affixed the  
Great Seal of the Commonwealth  
on the date first above written.

A handwritten signature in blue ink, reading "William Francis Galvin".

Secretary of the Commonwealth

Certificate Number: 25090504180

Verify this Certificate at: <http://corp.sec.state.ma.us/CorpWeb/Certificates/Verify.aspx>

Processed by: Kma





Department of the Treasury  
Internal Revenue Service

P.O. Box 2508  
Cincinnati OH 45201

In reply refer to: 0248344558  
Nov. 12, 2010 LTR 4168C E0  
04-3105677 000000 00

00014398

BODC: TE

CAPE VERDEAN ASSOCIATION IN NEW  
BEDFORD INC  
% EMANUEL DIAS  
59 SYCAMORE STREET 1FLR  
NEW BEDFORD MA 02740-6541

006808

Employer Identification Number: 04-3105677  
Person to Contact: Mr. Burns  
Toll Free Telephone Number: 1-877-829-5500

Dear Taxpayer:

This is in response to your Nov. 02, 2010, request for information regarding your tax-exempt status.

Our records indicate that you were recognized as exempt under section 501(c)(3) of the Internal Revenue Code in a determination letter issued in August 1995.

Our records also indicate that you are not a private foundation within the meaning of section 509(a) of the Code because you are described in section(s) 509(a)(1) and 170(b)(1)(A)(vi).

Donors may deduct contributions to you as provided in section 170 of the Code. Bequests, legacies, devises, transfers, or gifts to you or for your use are deductible for Federal estate and gift tax purposes if they meet the applicable provisions of sections 2055, 2106, and 2522 of the Code.

Please refer to our website [www.irs.gov/eo](http://www.irs.gov/eo) for information regarding filing requirements. Specifically, section 6033(j) of the Code provides that failure to file an annual information return for three consecutive years results in revocation of tax-exempt status as of the filing due date of the third return for organizations required to file. We will publish a list of organizations whose tax-exempt status was revoked under section 6033(j) of the Code on our website beginning in early 2011.

0248344558  
Nov. 12, 2010 LTR 4168C E0  
04-3105677 000000 00  
00014399

CAPE VERDEAN ASSOCIATION IN NEW  
BEDFORD INC  
% EMANUEL DIAS  
59 SYCAMORE STREET 1FLR  
NEW BEDFORD MA 02740-6541

If you have any questions, please call us at the telephone number  
shown in the heading of this letter.

Sincerely yours,

*Michele M. Sullivan*

Michele M. Sullivan, Oper. Mgr.  
Accounts Management Operations I



MASSACHUSETTS DISCHARGE OF MORTGAGE REAL ESTATE (CORPORATION)

LUZO COMMUNITY BANK, HOLDER of a mortgage from  
CAPE VERDEAN ASSOCIATION

to said LUZO COMMUNITY BANK, dated April 17, 1992  
and recorded with the Bristol County Registry of Deeds  
Book 2802, Page 0265, acknowledge satisfaction of same.

Prop: 1157 Acushnet Avenue, New Bedford, Massachusetts 02745

IN WITNESS WHEREOF, THE SAID LUZO COMMUNITY BANK has caused  
its corporate seal to be hereto affixed and these presents to be  
signed in its name and behalf by: Pradaporn S. Payongsith,  
its, Treasurer, this 19<sup>th</sup> day of July, 2005.

LUZO COMMUNITY BANK

By: \_\_\_\_\_  
Treasurer

THE COMMONWEALTH OF MASSACHUSETTS

Bristol, SS.

On this 19<sup>th</sup> day of July, 2005 before me, the undersigned  
notary public, personally appeared Pradaporn S. Payongsith, who  
is personally known by the undersigned notary public, to be the  
person whose name is signed on this document, and acknowledged to  
me that she signed it voluntarily for its stated purpose as  
Treasure of Lending for Luzo Community Bank of New Bedford,  
Mass., a corporation.

Before me

\_\_\_\_\_  
Notary Public

John J.A. Sousa

My Commission Expires: 2/19/2010





November 6, 2025

Community Preservation Committee  
City Hall, Room 303  
133 William Street  
New Bedford, MA 02740

Dear Community Preservation Committee Members:

On behalf of the CEDC, I am writing to support the Cape Verdean Association in New Bedford's (CVANB) application for CPA funds in FY26 to continue and support the restoration of the former Strand Theater into the Cape Verdean Cultural Center. The historically renovated Cultural Center is poised to become a vital anchor within the community, providing a dedicated space for cultural events and neighborhood activities.

This gathering place will support and strengthen community engagement, offering residents opportunities to celebrate their heritage and participate in local initiatives. Significant progress has been made with the completion of the Italianate façade and lobby, paving the way for the commencement of Phase II of construction as planned. These achievements mark important milestones in the overall restoration effort and demonstrate a commitment to preserving the building's historic features.

Currently, the building's remaining facades are in a vulnerable state. Action is required to address rehabilitation needs, particularly the repair of doors and windows. A delay in these essential repairs not only jeopardizes the structure itself but also threatens the preservation of its unique historic character.

CPA funding in 2026 will strengthen this investment, helping it quickly become a central part of the near north end. It will showcase the area's diversity and encourage more visitors to local businesses. This type of CPA-supported investment has a significant effect on all residents of New Bedford. Should you require any additional information at this time, please do not hesitate to reach out. We hope you join us in supporting this important project.

Sincerely,

Corinn Williams  
Executive Director



# *City of New Bedford*

## **Office of City Council**

133 William Street • New Bedford, Massachusetts 02740

Tel: (508) 979-1455 • Fax: (508) 979-1451

### **Joseph P. Lopes**

*Ward Five Councillor*

*City Council President*

*2014, 2017, 2020 & 2021*

November 10, 2025

Community Preservation Committee  
City Hall, Room 303  
133 William Street  
New Bedford, MA 02740

Dear Community Preservation Committee Members:

I am writing to support the Cape Verdean Association in New Bedford's (CVANB) application for CPA funds in FY26 to continue and support the restoration of the former Strand Theater into the Cape Verdean Cultural Center.

The historically renovated Cultural Center is poised to become a vital anchor within the community, providing a dedicated space for cultural events and neighborhood activities. This gathering place will support and strengthen community engagement, offering residents opportunities to celebrate their heritage and participate in local initiatives.

Significant progress has been made with the completion of the Italianate façade and lobby, paving the way for the commencement of Phase II of construction as planned. These achievements mark important milestones in the overall restoration effort and demonstrate commitment to preserving the building's historic features.

Currently, the building's remaining facades are in a vulnerable state. Action is required to address rehabilitation needs, particularly the repair of doors and windows. A delay in these essential repairs not only jeopardizes the structure itself but also threatens the preservation of its unique historic character.

CPA funding in 2026 will strengthen this investment, helping it quickly become a central part of the near north end. It will showcase the area's diversity and encourage more visitors to local businesses. This type of CPA-supported investment has a significant effect on all residents of New Bedford.

Should you require any additional information at this time, please do not hesitate to reach out. We hope you join us in supporting this important project.

Sincerely,

Joseph P. Lopes,  
Councillor Ward Five

JPL: rrr

cc: File



November 10, 2025

Community Preservation Committee  
City Hall, Room 303  
133 William Street  
New Bedford, MA 02740

**RE: Cape Verdean Association in New Bedford's Application for FY26 CPA Funding**

Dear Community Preservation Committee Members:

I am writing on behalf of the New Bedford Economic Development Council, to offer our full support for the Cape Verdean Association in New Bedford's (CVANB) application for CPA funds in FY26 to continue and support the restoration of the former Strand Theater into the Cape Verdean Cultural Center.

The Center is poised to become a vital anchor for the Avenue's International Marketplace and the community at large, providing a dedicated space for cultural events and neighborhood activities. This gathering place will support and strengthen community engagement, offering residents opportunities to celebrate their heritage and participate in local initiatives.

We have all taken pride in the significant progress that has been made with the completion of the Italianate façade and lobby, paving the way for the commencement of Phase II of construction as planned. Currently, the building's remaining facades are in a vulnerable state. Action is required to address rehabilitation needs, particularly the repair of doors and windows. A delay in these essential repairs not only jeopardizes the structure itself but also threatens the investment and progress made to date.

CPA funding in 2026 will strengthen this investment, helping to showcase the city's diversity and encourage more visitors to local businesses. This type of CPA-supported investment has a significant effect on driving the economic growth of commercial districts such as the Ave.

Thank you for your consideration of this application and should you need anything further from the NBEDC please let me know.

Sincerely,



Derek Santos  
Executive Director  
[dsantos@nbedc.org](mailto:dsantos@nbedc.org)



**ANTONIO CABRAL**  
STATE REPRESENTATIVE  
13TH BRISTOL DISTRICT  
STATE HOUSE, ROOM 466  
BOSTON, MA 02133  
TEL: (617) 722-2017

COMMONWEALTH OF MASSACHUSETTS  
**HOUSE OF REPRESENTATIVES**  
STATE HOUSE, BOSTON 02133-1054

CHAIRMAN  
JOINT COMMITTEE ON STATE ADMINISTRATION  
AND REGULATORY OVERSIGHT  
E-Mail:  
[Antonio.Cabral@MAhouse.gov](mailto:Antonio.Cabral@MAhouse.gov)

November 6, 2025

Community Preservation Committee  
City Hall, Room 303  
133 William Street  
New Bedford, MA 02740

Dear Community Preservation Committee Members:

I write in support of the Cape Verdean Association in New Bedford's (CVANB) application for CPA funds in FY26.

The CPA funds will ensure that the CVANB continues the restoration of the former Strand Theater into the Cape Verdean Cultural Center. The renovation will create a community cultural center to support cultural programming that celebrates New Bedford's diverse and unique heritage, while providing services to New Bedford's immigrant communities. It will also improve the character of the neighborhood and the city, beautifying and enhancing the streetscape in front of the building. The historically renovated Cultural Center will provide a dedicated space for cultural events and neighborhood activities.

Significant progress has been made with the completion of the Italianate facade and lobby, paving the way for the start of Phase II construction. The repair of doors and windows are required to address urgent rehabilitation needs. CPA funding will enable the cultural center to become a fundamental part of the near north end community. Additionally, the cultural center will highlight the area's rich, ethnic diversity and encourage more visitors to frequent local businesses, thus contributing to the local economy.

I appreciate every consideration that you may afford the CVANB's application for CPA funding. Please don't hesitate to contact my office, 617-722-2017, if you have any questions or would like additional information. Thank you.

Sincerely,

**ANTONIO F.D. CABRAL**

*State Representative, 13<sup>th</sup> Bristol District  
House Chair, Joint Committee on State Administration and Regulatory Oversight*

**Representative Christopher Hendricks**  
11th Bristol District (New Bedford)  
24 Beacon St., Room 26, Boston, MA 02133  
(617) 722-2305 x7715  
Chris.Hendricks@mahouse.gov



**Committee Memberships**  
Vice Chair, House Committee on Steering, Policy & Scheduling  
Economic Development & Emerging Technologies  
Community Development & Small Businesses  
Transportation

November 7, 2025

Community Preservation Committee  
City Hall, Room 303  
133 William Street  
New Bedford, MA 02740

Dear Community Preservation Committee Members:

I am writing to support the Cape Verdean Association in New Bedford's (CVANB) application for CPA funds in FY26 to continue and support the restoration of the former Strand Theater into the Cape Verdean Cultural Center.

The historically renovated Cultural Center is poised to become a vital anchor within the community, providing a dedicated space for cultural events and neighborhood activities. This gathering place will support and strengthen community engagement, offering residents opportunities to celebrate their heritage and participate in local initiatives. In addition, the Cultural Center will complement other projects in the area, such as the New Bedford Community Economic Development Center's Capitol Theater renovation, ultimately tying the near North End area together nicely with new amenities.

Significant progress has been made with the completion of the Italianate façade and lobby, paving the way for the commencement of Phase II of construction as planned. These achievements mark important milestones in the overall restoration effort and demonstrate commitment to preserving the building's historic features.

Currently, the building's remaining facades are in a vulnerable state. Action is required to address rehabilitation needs, particularly the repair of doors and windows. A delay in these essential repairs not only jeopardizes the structure itself but also threatens the preservation of its unique historic character.

CPA funding in 2026 will strengthen this investment, helping it quickly become a central part of the near north end. It will showcase the area's diversity and encourage more visitors to local businesses. This type of CPA-supported investment has a significant effect on all residents of New Bedford.

Should you require any additional information at this time, please do not hesitate to reach out. I hope you will join in supporting this important project.

Sincerely,

A handwritten signature in blue ink, appearing to read "Chris Hendricks", is written over a light blue rectangular background.

Rep. Chris Hendricks



Monday, November 10, 2025

Community Preservation Committee  
City Hall, Room 303  
133 William Street  
New Bedford, MA 02740

Dear Community Preservation Committee Members:

On behalf of the SouthCoast Community Foundation, I am writing to support the Cape Verdean Association in New Bedford's (CVANB) application for CPA FY26 funds to continue the restoration of the former Strand Theater into the Cape Verdean Cultural Center.

This historic restoration represents a once-in-a-generation opportunity to preserve an architectural and cultural landmark while creating a vital anchor for the New Bedford North End community. The completed Italianate façade and lobby mark major milestones in the project's progress, showcasing CVANB's steadfast commitment to preserving the building's historic character and transforming it into a vibrant hub for cultural events, education, and community engagement.

The building's remaining facades are in a vulnerable state, and rehabilitation is urgently needed to prevent further deterioration and ensure the structure's long-term integrity. CPA funding at this stage will safeguard the investment already made, allowing this important community project to continue.

Once completed, the Cape Verdean Cultural Center will serve as a beacon of pride and cultural identity for the city's Cape Verdean and island heritage communities, while welcoming residents and visitors alike to experience New Bedford's rich diversity. The Center will provide opportunities for artistic expression, cultural education, and neighborhood revitalization, making it both a local gathering place and a destination for cultural tourism that will benefit the entire city.

We urge your support for this transformative project. Its completion will not only preserve a historic structure but also strengthen community connections and celebrate the cultural legacy that makes New Bedford so distinctive.

Please don't hesitate to reach out if I can provide additional information or context.

Sincerely,



Dr. Melanie S. Edwards-Tavares  
President and CEO





*The Commonwealth of Massachusetts*  
**MASSACHUSETTS SENATE**

**SENATOR MARK MONTIGNY**  
*Second Bristol and Plymouth District*

STATE HOUSE, ROOM 312C  
BOSTON, MA 02133-1053

TEL: (617) 722-1440

FAX: (617) 722-1068

DISTRICT TEL: (508) 984-1474

MARK.MONTIGNY@MASENATE.GOV  
WWW.MASENATE.GOV

*Chair*  
SENATE COMMITTEE ON  
POST AUDIT AND OVERSIGHT  
*Chair*  
SENATE COMMITTEE ON  
INTERGOVERNMENTAL AFFAIRS

November 10, 2025

Community Preservation Committee  
City Hall, Room 303  
133 William Street  
New Bedford, MA 02740

Dear Community Preservation Committee Members:

As the State Senator representing New Bedford, I am writing to support the Cape Verdean Association in New Bedford's (CVANB) application for CPA funds in FY26 to continue and support the restoration of the former Strand Theater into the Cape Verdean Cultural Center. The historically renovated Cultural Center is poised to become a vital anchor within the community, providing a dedicated space for cultural events and neighborhood activities. This gathering place will support and strengthen community engagement, offering residents opportunities to celebrate their heritage and participate in local initiatives.

Significant progress has been made with the completion of the Italianate façade and lobby, paving the way for the commencement of Phase II of construction as planned. These achievements mark important milestones in the overall restoration effort and demonstrate commitment to preserving the building's historic features.

Currently, the building's remaining facades are in a vulnerable state. Action is required to address rehabilitation needs, particularly the repair of doors and windows. A delay in these essential repairs not only jeopardizes the structure itself but also threatens the preservation of its unique historic character.

CPA funding in 2026 will strengthen this investment, helping it quickly become a central part of the near north end. It will showcase the area's diversity and encourage more visitors to local businesses. This type of CPA-supported investment has a significant effect on all residents of New Bedford.

Should you require any additional information at this time, please do not hesitate to reach out.  
We hope you join us in supporting this important project.

Sincerely,

A handwritten signature in black ink, appearing to read "Mark Montigny". The signature is fluid and cursive, with a large initial "M" and a stylized "M" at the end.

Mark Montigny  
**SENATOR**



**Tourism Department  
Amy DesRosiers  
Tourism Marketing Manager**

**CITY OF NEW BEDFORD  
Jonathan F. Mitchell, Mayor**

Dear Community Preservation Committee Members,

I write to you on behalf of the City of New Bedford Office of Tourism and Marketing in support of the Cape Verdean Association in New Bedford (CVANB) and their application for CPA funds. These funds support the continuation of their restoration of the former Strand Theater into the Cape Verdean Cultural Center.

The historically renovated Cultural Center will be a vital asset for the community, becoming a space for cultural events, neighborhood engagement, and a central locus to celebrate and preserve cultural heritage. Significant milestones have been made in the restoration process, which demonstrate the dedication of the CVANB to the historical preservation of the building. However, the remaining facades are in a vulnerable state and without urgent attention their disrepair could impact the structure itself as well as the ability to preserve historic aspects of the exterior.

CPA funding in 2026 will strengthen the investment already committed to the project, which will become a central hub of community and culture in the north end. The Cape Verdean Cultural Center will showcase the area's diversity and encourage visitors to visit and spend time and money at the north end businesses. Cultural centers are drivers of economic development and support the well-being of a community. Investment in this type of project will significantly and positively impact the residents of New Bedford.

Sincerely,

*Amy DesRosiers*

Amy DesRosiers  
Tourism Marketing Manager



# CAPE VERDEAN CULTURAL CENTER STRAND THEATER REHABILITATION: FACADE REHABILITATION

1157 ACUSHNET AVE. NEW BEDFORD, MA 02746



**OWNER:**  
CAPE VERDEAN ASSOCIATION IN NEW BEDFORD  
128 UNION STREET, SUITE 100  
NEW BEDFORD, MA 02740

## PROJECT SUMMARY:

### SUMMARY OF WORK:

- MASONRY RESTORATION OF NORTH, WEST, AND SOUTH ELEVATIONS.
- REPLACEMENT OF (7) VINYL REPLACEMENT & DETERIORATED WINDOWS WITH ALUMINUM-CLAD WINDOWS, MATCHING HISTORIC PROFILE.
- REPAIR AND RESTORATION OF EXISTING DOORS ALONG NORTH ELEVATION.

LOCATION: 1157 ACUSHNET AVE, NEW BEDFORD, MA, 02746

ZONING CLASSIFICATION: MUB, MIXED USE BUSINESS

USE GROUP CLASSIFICATION: EXISTING: **A-3 COMMUNITY**; THEATER, PROPOSED: **A-3 COMMUNITY**

CONSTRUCTION CLASSIFICATION: TYPE III-B

1157 ACUSHNET AVE. IS A BRICK/MASONRY AND WOOD WALL STRUCTURE WITH HEAVY TIMBER FRAMED ROOF AND FLOORS. TWO STORIES WITH FLY-LOFT, 8,947 SF GROSS INTERIOR.  
BUILDING FOOTPRINT: 5,231 sf

EXPOSURE CATEGORY: URBAN

WIND BORNE DEBRIS REGION: 115 mph BASIC WIND SPEED

ARCHITECT: KATHRYN DUFF, **studio2sustain inc**, 412 COUNTY STREET, NEW BEDFORD, MA 02740  
OFFICE: 508.999.5145, FAX: 508.999.5183, **MA RA #7778**

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## GENERAL NOTES:

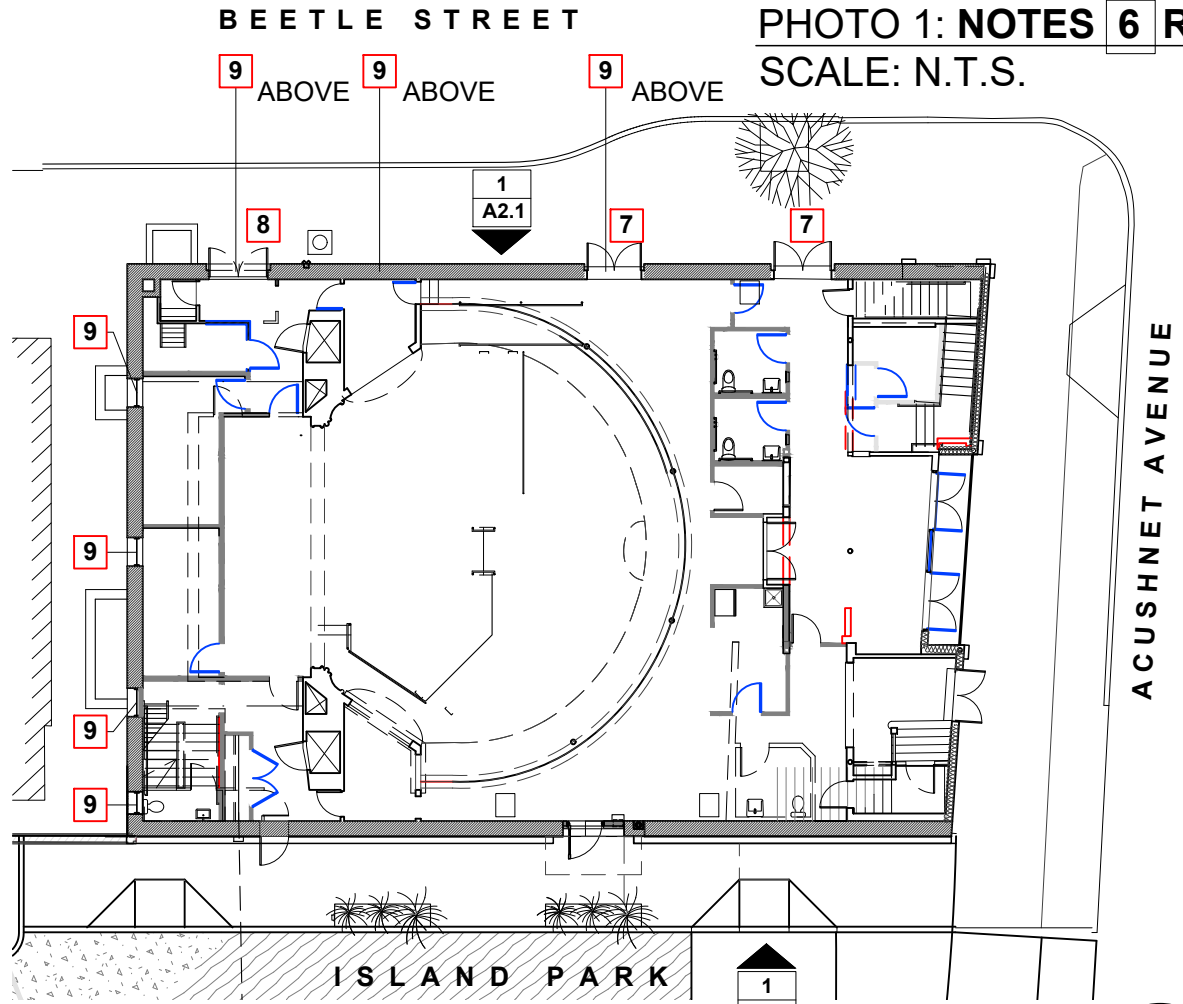
1. ALL WORK, AS DEFINED OR IMPLIED WITHIN THESE CONSTRUCTION DRAWINGS AND BUILDING SPECIFICATIONS IS TO BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL BUILDING CODES AND REGULATIONS, THE SECRETARY OF INTERIOR STANDARDS FOR HISTORIC REHABILITATION, AND THE CITY OF NEW BEDFORD DPI CONSTRUCTION STANDARDS AND SPECIFICATIONS.
2. ALL DIMENSIONS SHOWN REPRESENT APPROXIMATE DELINEATIONS AND ARE NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES. ALL WIDTH DIMENSIONS ARE APPROXIMATE. AS WALLS ARE UNEVEN PLASTER, STONE AND/OR BRICK MASONRY. ALL DIMENSIONS MUST BE VERIFIED IN FIELD (V.I.F.)
3. THE CONTRACTOR SHALL EXAMINE THE ENTIRE SITE, AND WILL TAKE INTO ACCOUNT ALL CONDITIONS THEREON AS MAY AFFECT THE PERFORMANCE OF THE WORK UNDER THE CONTRACT. ALL DIMENSIONS MUST BE VERIFIED IN-FIELD PRIOR TO COMMENCING WORK. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES AND/OR DEVIATIONS FROM WHAT IS PRESENTED AND/OR IMPLIED ON THESE DRAWINGS AND SPECIFICATIONS.
4. THESE DRAWINGS ARE INTENDED TO SHOW THE EXISTING CONDITIONS OF THE EXISTING BUILDING, INCLUDING PROPOSED REPAIRS AND RENOVATIONS. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN FIELD. DO NOT SCALE DRAWINGS. CONTRACTOR TO NOTIFY THE ARCHITECT AND THE OWNER IF ANY CONDITIONS APPEAR CONTRARY TO THE DRAWINGS AND/OR SPECIFICATIONS.
5. THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE IDENTIFICATION, DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE.

## GENERAL NOTES - MASONRY RESTORATION:

1. REFER TO BUILDING SPECIFICATIONS REGARDING HISTORIC MASONRY REPAIR, REHABILITATION AND RESTORATION REQUIREMENTS.
2. ALL WORK TO ALIGN WITH SECRETARY OF INTERIOR STANDARDS FOR HISTORIC REHABILITATION, NPS BRIEFS, AND/OR BEST PRACTICES FOR HISTORIC REHABILITATION. THIS PROJECT IS RECEIVING STATE AND FEDERAL HISTORIC TAX CREDITS.
3. ALL AREAS OF EXTERIOR BRICK MASONRY RECEIVING REPAIR, REPOINTING AND/OR REHABILITATION TO BE CLEANED WITH A WATER-BASED SOLUTION PRIOR TO REPAIR. SEE BUILDING SPECIFICATIONS.
4. ALL EXTERIOR NEW BRICKS USED IN AREAS OF EXTERIOR RECEIVING REPAIR/REPLACEMENT TO MATCH EXISTING. CONTRACTOR TO SUPPLY SAMPLES, FOR APPROVAL FROM ARCHITECT, PRIOR TO ORDERING MATERIAL. ALL NEW MORTAR TO MATCH HISTORIC EXISTING MORTAR MIX AND COLOR.
5. ALL EXTERIOR AREAS RECEIVING MASONRY REPAIR - REPOINTING, REPLACING AND/OR REPAIR - TO HAVE A SMALL TEST MOCK-UP COMPLETED FOR APPROVAL BY ARCHITECT AND OWNER PRIOR TO PROCEEDING WITH THE WORK.
6. ALL WINDOW AND DOOR OPENINGS ARE TO RECEIVE REPLACEMENT WINDOWS AND/OR DOORS. ALL OPENINGS ARE TO BE REPAIRED, PREPARED AND REHABILITATED TO RECEIVE NEW/REPLACEMENT WINDOWS AND DOORS. CONTRACTOR TO COORDINATE ALL REPAIRS AND OPENING PREPARATION WITH SUB-CONTRACTORS PRIOR TO MEASURING AND/OR ORDERING NEW WINDOWS AND DOORS. SEE BUILDING SPECIFICATIONS AND MASONRY REPAIR SCOPE FOR FURTHER SPECIFICATIONS.

## SPECIFIC NOTES - EXTERIOR MASONRY REHABILITATION FOR SHEET A2.1 AND A2.2:

1. **SOUTH FACADE:** WASH AND CLEAN ENTIRE FACADE. REPLACE +/- 20 DAMAGED BRICKS. REMOVE & PATCH WITH LIKE MORTAR AND BRICK AT PVC VENTS. SEAL ENTIRE SOUTH FACADE WITH A MASONRY SEALER, UV-RESISTANT.



PLAN KEY - ELEVATIONS  
SCALE: NOT TO SCALE

2. **WEST FACADE: ASSUME 50% REPOINTING.** CLEAN AND WASH ENTIRE FACADE. REMOVE EXISTING LOOSE MORTAR USING HAND TOOLS TO ENSURE NO DAMAGE TO SURROUNDING BRICK. IF EXISTING BRICKS ARE DISLODGED DURING THIS PROCESS, REMOVE THE BRICK, CLEAN, AND REPLACE DURING REPOINTING. REPOINT AREAS WITH MORTAR MIX TYPE "N" WITH THE COLOR TO MATCH EXISTING AND APPROVED BY ARCHITECT. REPAIR CRACK AT CORNER OF CHIMNEY. REMOVE & PATCH AT (2) THROUGH-WALL VENTS. PATCH WITH LIKE BRICKS AND MORTAR.
3. **NORTH FACADE: ASSUME 100% REPOINTING.** CLEAN AND WASH ENTIRE FACADE. REMOVE EXISTING LOOSE MORTAR USING HAND TOOLS TO ENSURE NO DAMAGE TO SURROUNDING BRICK. IF EXISTING BRICKS ARE DISLODGED DURING THIS PROCESS, REMOVE THE BRICK, CLEAN, AND REPLACE DURING REPOINTING. REPOINT AREAS WITH MORTAR MIX TYPE "N" WITH THE COLOR TO MATCH EXISTING AND APPROVED BY ARCHITECT. PREPARE & REPAINT LOWER LEVEL PAINTED DIFFERENT COLORS, SEE NOTE 5. REPAIR AND REPLACE DAMAGED BRICKS AT OLD EGRESS STAIR, USE LOOSE BRICKS AT ROOF TRUSS AREA, AND REPLACE THE LOOSE BRICKS WITH NEW, SLIGHTLY SMALLER BRICKS, SEE NOTE 4.
4. **REPAIR AT OLD FASTENERS/DAMAGED BRICK (TYPICAL ALL, U.O.N.):** REMOVE ANY NOTED ITEMS ATTACHED OR THROUGH-WALL. MAKE MASONRY WHOLE BEHIND VENEER BRICK. IN AREAS OF LOOSE AND/OR DAMAGED BRICK FROM OLD FASTENERS AND/OR PLATES. CONTRACTOR TO REMOVE FASTENERS AND DAMAGED BRICK, CLEAN AREA, AND REPLACE HISTORIC BRICK AND/OR NEW BRICK MATCHED TO HISTORIC BRICK - MATCH MORTAR COLOR AND PROFILE.
5. **NORTH FACADE - PAINTED BRICK MASONRY AREAS:** IN AREAS WHERE A PORTION OF THE EXISTING BRICK IS PAINTED: CONTRACTOR TO CONFIRM THAT PAINT CANNOT BE REMOVED WITH NON-SOLVENT PAINT REMOVER - PROSOCO, OR SIMILAR. IF NOT REMOVABLE, CONTRACTOR TO REMOVE ALL. PAINTED GROUT, PAINT THE PAINTED BRICKS WITH A WATER-BASED, BREATHABLE MASONRY PAINT THAT MATCHES THE EXISTING BRICK COLOR OF NON-PAINTED BRICK - COLOR AND PAINT APPROVED BY ARCHITECT, AND THEN REPOINT THE AREA WITH MORTAR TO MATCH THE EXISTING MORTAR.
6. **MASONRY REPAIR - CRACK REPAIR:** AREAS OF VISIBLE CRACKS TO BE REPAIRED. CONTRACTOR TO REMOVED GROUT 20" ON EITHER SIDE OF CRACK. INSTALL 40" HELICAL STITCH TIE SPANNING THE CRACK, AND INSTALLED +/- 12" O.C. FULL HEIGHT OF CRACK, AND REPOINT THE MASONRY GROUT COURSES WITH NEW REPAIR MORTAR, TO MATCH EXISTING COLOR AND USE - TYPE "N" MORTAR. VISIBLE CRACKS IN FACE OF BRICK TO BE FILLED WITH GROUT BRICK MORTAR - COLOR TO MATCH BRICK COLOR, AFTER CRACK REPAIR WITH HELICAL STITCH TIES.

## SPECIFIC NOTES - WINDOWS, DOORS, AND CORNICE FOR SHEET A2.1 AND A2.2:

7. **REPAIR AND PAINT EXISTING DOORS:** EXISTING WOOD DOOR HARDWARE IS NON-OPERABLE. DOORS TO BE REMOVED, STRIPPED, SHIMMED AS REQUIRED, AND PAINTED. NEW HARDWARE TO BE INSTALLED ON THE INTERIOR OF THE DOORS INCLUDING CLOSERS, PUSH BAR, WEATHERSTRIPPING, AND HINGES. DOORS ARE EGRESS ONLY, AND NO OPERABLE HARDWARE IS TO BE INSTALLED ON THE EXTERIOR.
8. **RESTORATION OF HISTORIC DOORS:** HISTORIC DOORS TO BE REMOVED, SALVAGED, STRIPPED, SHIMMED AS REQUIRED, AND PAINTED. ALL HISTORIC HARDWARE ABLE TO BE SALVAGED TO BE REPAIRED AND INSTALLED ON THE INTERIOR OF THE DOORS INCLUDING CLOSERS, PUSH BAR, WEATHERSTRIPPING, AND HINGES. DOORS ARE EGRESS ONLY, AND NO OPERABLE HARDWARE IS TO BE INSTALLED ON THE EXTERIOR.
9. **INSTALLATION OF NEW WINDOWS:** REMOVE EXISTING VINYL WINDOWS AND DETERIORATED WINDOWS. EXISTING HISTORIC EXTANT TRIM TO REMAIN ON INTERIOR AND EXTERIOR. NEW TRIM TO MATCH HISTORIC PROFILE. INSTALL NEW DOUBLE HUNG 2/2 DH MARVIN ULTIMATE G2 ALUMINUM CLAD WINDOWS.
10. **INSTALL PANEL AT OPENING:** REMOVE EXISTING PLYWOOD PANEL, INSTALL NEW MDO INSULATED PANEL WITH 5/4 TRIM, PAINTED.
11. **REPAINT EXISTING CORNICE TRIM:** REPAIR AND PAINT HISTORIC TRIM, ANY PATCHING TO MATCH HISTORIC PROFILE. INSTALL DRIP EDGE AT UNDERSIDE OF METAL COPING ON PERIMETER.



PHOTO 1: NOTES **6** REPAIR & **11** CORNICE  
SCALE: N.T.S.



PHOTO 2: NOTE **4** REPAIR AT FASTENERS  
SCALE: N.T.S.



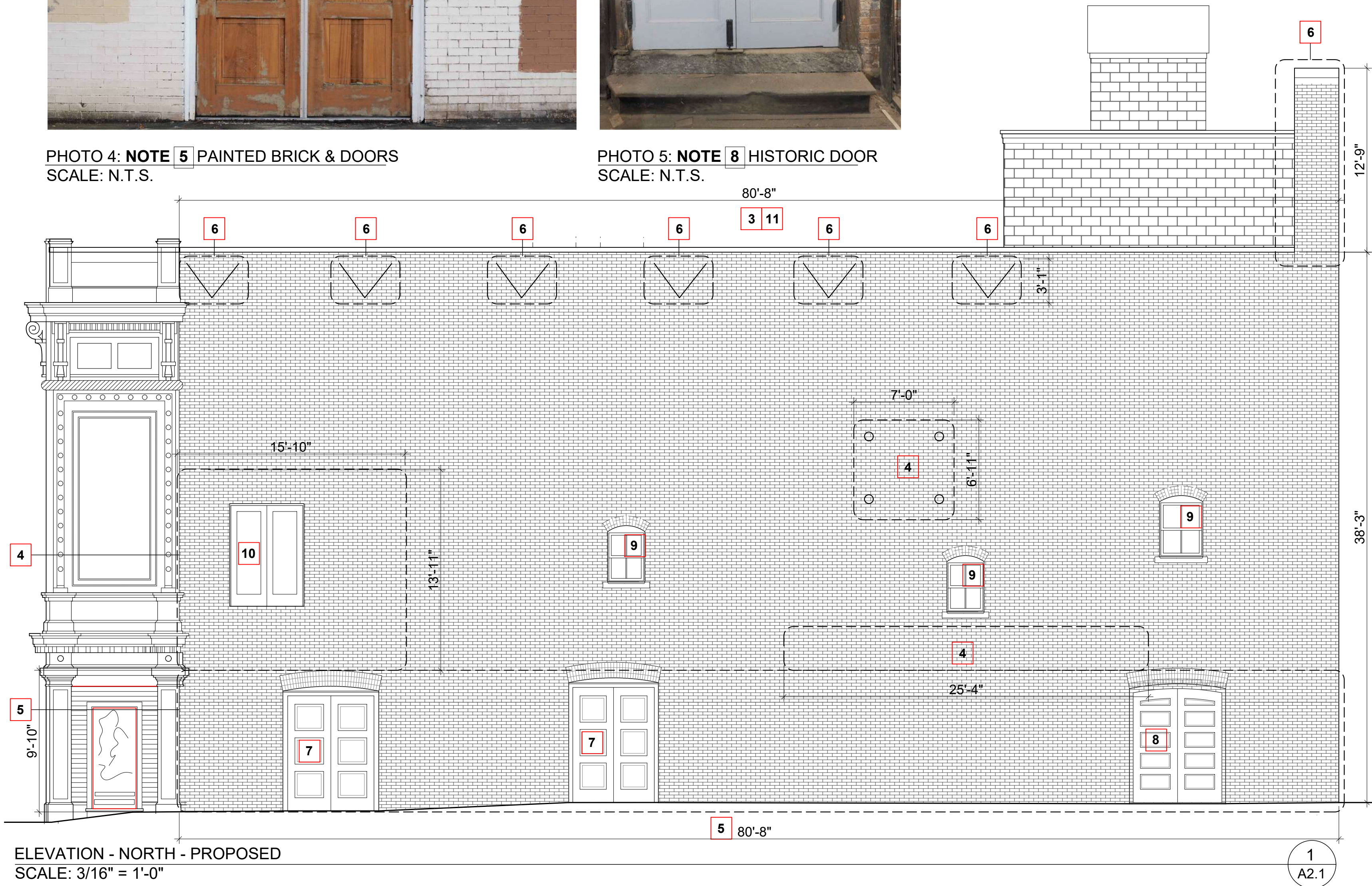
PHOTO 4: NOTE **5** PAINTED BRICK & DOORS  
SCALE: N.T.S.



PHOTO 5: NOTE **8** HISTORIC DOOR  
SCALE: N.T.S.



PHOTO 6: BRICK PROFILE  
SCALE: N.T.S.



## DRAWING LIST:

- A-2.1 NORTH ELEVATION & NOTES - PROPOSED
- A-2.2 WEST ELEVATION & SOUTH ELEVATION - PROPOSED
- A-6.1 WINDOW DETAILS - PROPOSED

## CAPE VERDEAN CULTURAL CENTER

**STRAND THEATER REHABILITATION**  
1157 ACUSHNET AVE.  
NEW BEDFORD, MA 02746

## CONSTRUCTION DOCUMENTS: FACADE REHABILITATION

DATE: 11.13.2025

REVISED:

ELEVATIONS  
-  
PROPOSED

A | 2.1



1. ALL WORK, AS DEFINED OR IMPLIED WITHIN THESE CONSTRUCTION DRAWINGS AND BUILDING SPECIFICATIONS IS TO BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL BUILDING CODES AND REGULATIONS, THE SECRETARY OF INTERIOR STANDARDS FOR HISTORIC REHABILITATION, AND THE CITY OF NEW BEDFORD DPI CONSTRUCTION STANDARDS AND SPECIFICATIONS.

3. THE CONTRACTOR SHALL EXAMINE THE ENTIRE SITE, AND WILL TAKE INTO ACCOUNT ALL CONDITIONS THEREON AS MAY AFFECT THE PERFORMANCE OF THE WORK UNDER THE CONTRACT. ALL DIMENSIONS MUST BE VERIFIED IN-FIELD PRIOR TO COMMENCING WORK. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES AND/OR DEVIATIONS FROM WHAT IS PRESENTED AND/OR IMPLIED ON THESE DRAWINGS AND SPECIFICATIONS.

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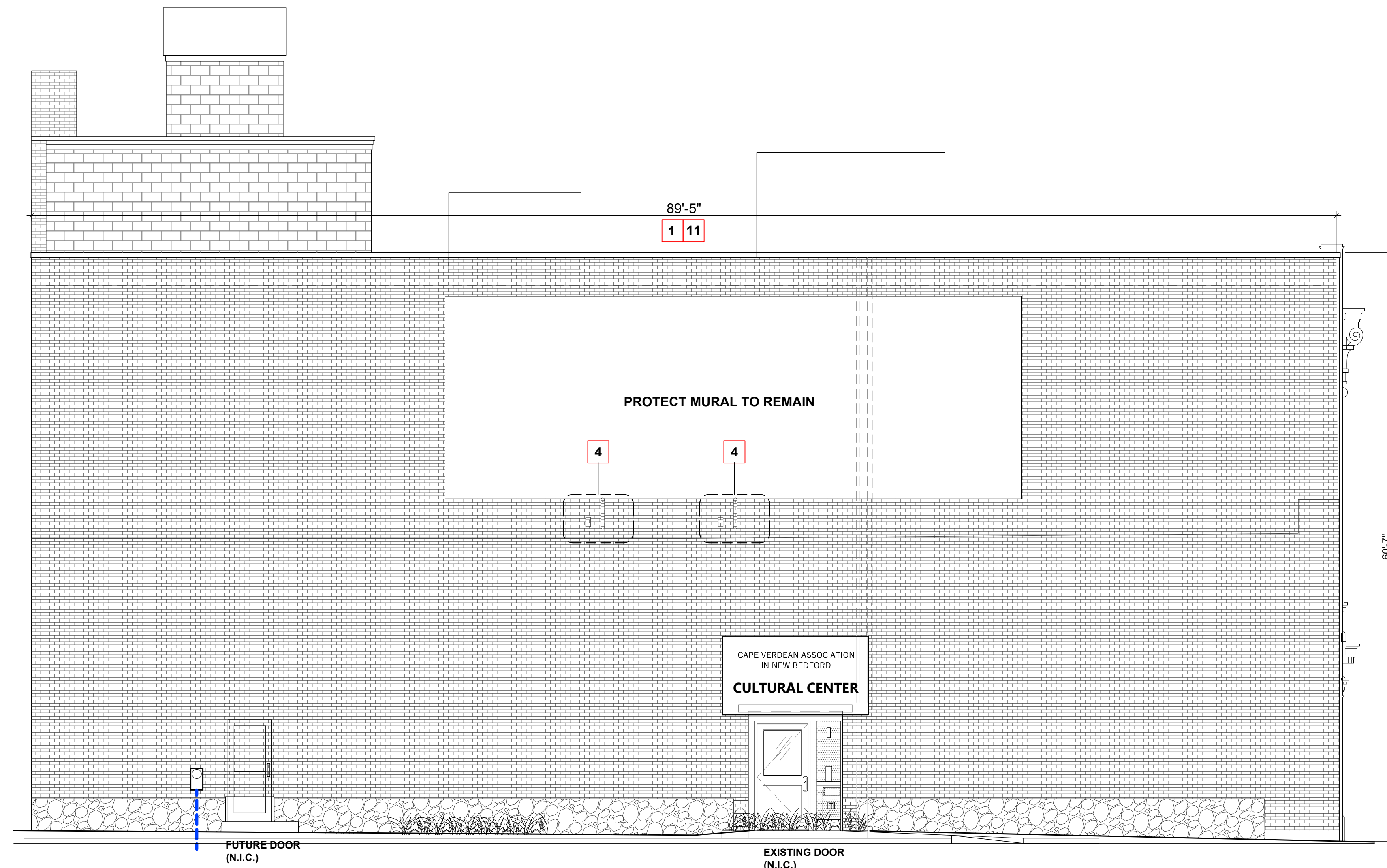
PATCHING TO MATCH HISTORIC PROFILE. INSTALL DRIP EDGE AT UNDERSIDE OF METAL COPING ON PERIMETER.



A large, multi-story brick building with a prominent mural on its upper right side. The mural depicts a person in a blue and green setting. A chain-link fence runs along the left side of the building, and a red and white striped cone is visible on the sidewalk in the foreground. The sky is blue with scattered white clouds.

Architectural elevation drawing of a building facade. The drawing shows a brick wall with a central gabled section and four arched windows. Dimensions are provided: 51'-1" for the total height, 50'-2" for the width of the main section, 28'-2" for the height of the gabled section, and 60'-3" for the total width. Callouts 11, 2, and 9 are present.

2  
A2.2



1  
A2.2



**OWNER**  
**CVANB**  
128 UNION STREET, SUITE 100  
NEW BEDFORD, MA 02740

**ARCHITECT**  
studio2sustain inc  
412 COUNTY STREET  
NEW BEDFORD, MA 02740  
508.999.5145

**STRUCTURE**  
**ASAP ENGINEERING**  
155 E. GROVE ST.  
MIDDLEBORO, MA 02346  
508.946.3561

**PLUMBING**  
**PRISTINE ENGINEER**  
3 SCHOOL ST.  
TAUNTON, MA 02780  
508.977.9353

**FA/FS**  
**FIRE PROTECTION SERVICES**  
31 LAUREL ST.  
FAIRHAVEN, MA 02719  
508.728.8374

STRAND THEATER REHABILITATION  
1157 ACUSHNET AVE.  
NEW BEDFORD, MA 02746

CONSTRUCTION DOCUMENTS  
FACADE REHABILITATION

DATE: 11.13.2025

REVISÉ:

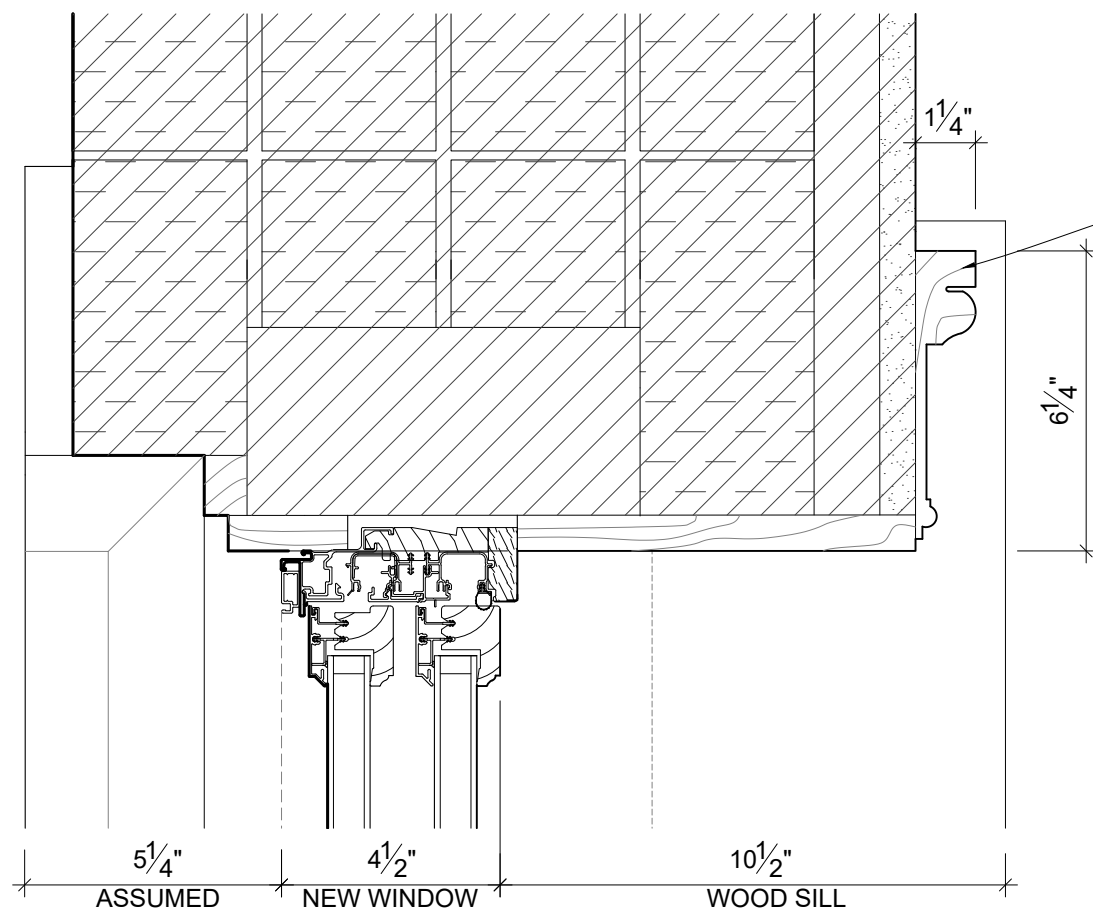
ELEVATIONS  
-  
PROPOSED



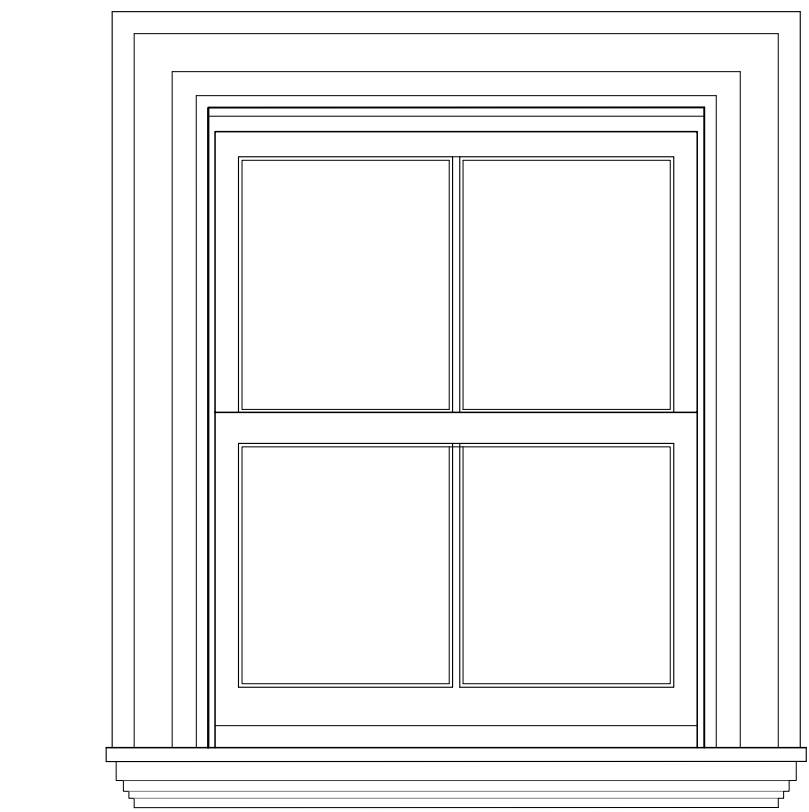
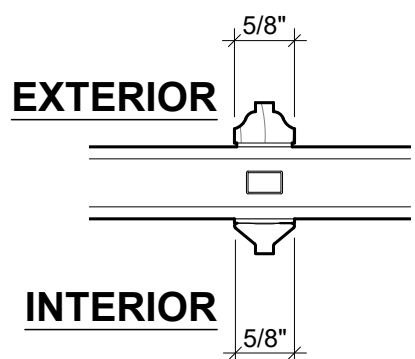
GENERAL NOTES:

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4. ALL REPAIR OF EXISTING BRICK TO BE EXECUTED IN STRICT ACCORDANCE WITH THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AND WITH THE SPECIFICATIONS AND CONSTRUCTION DRAWINGS.
5. THESE DRAWINGS ARE INTENDED TO SHOW THE EXISTING CONDITIONS OF THE EXISTING BUILDING, INCLUDING PROPOSED REPAIRS AND RENOVATIONS. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN FIELD. DO NOT SCALE DRAWINGS. CONTRACTOR TO NOTIFY THE ARCHITECT AND THE OWNER IF ANY CONDITIONS APPEAR CONTRARY TO THE DRAWINGS AND/OR SPECIFICATIONS.
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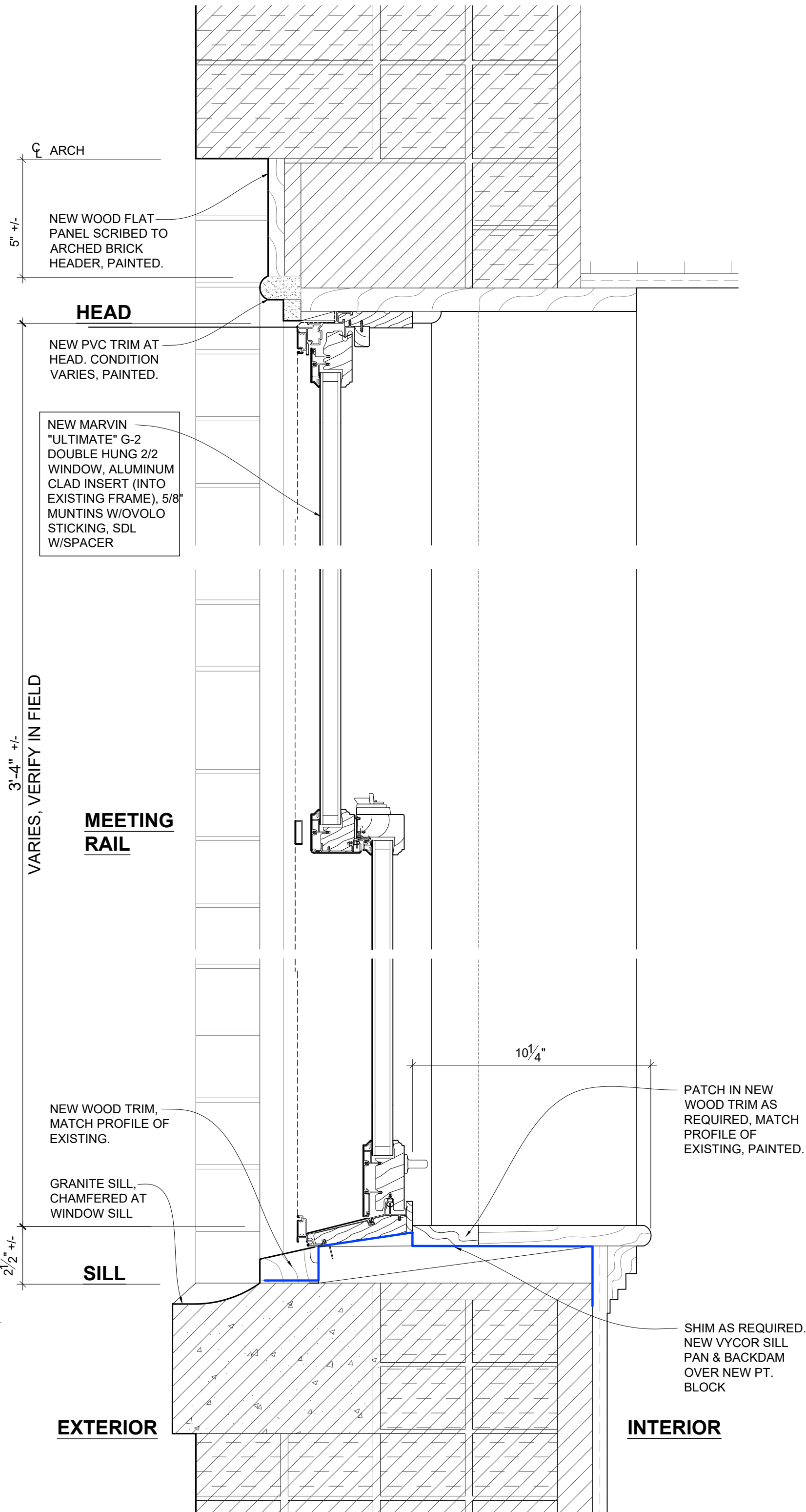
SECTION - WINDOW TYPE A: TYPICAL JAMB - PROPOSED  
SCALE: 3" = 1'-0"



SECTION - ALL WINDOWS: TYPICAL MUNTIN - PROPOSED  
SCALE: 6" = 1'-0"

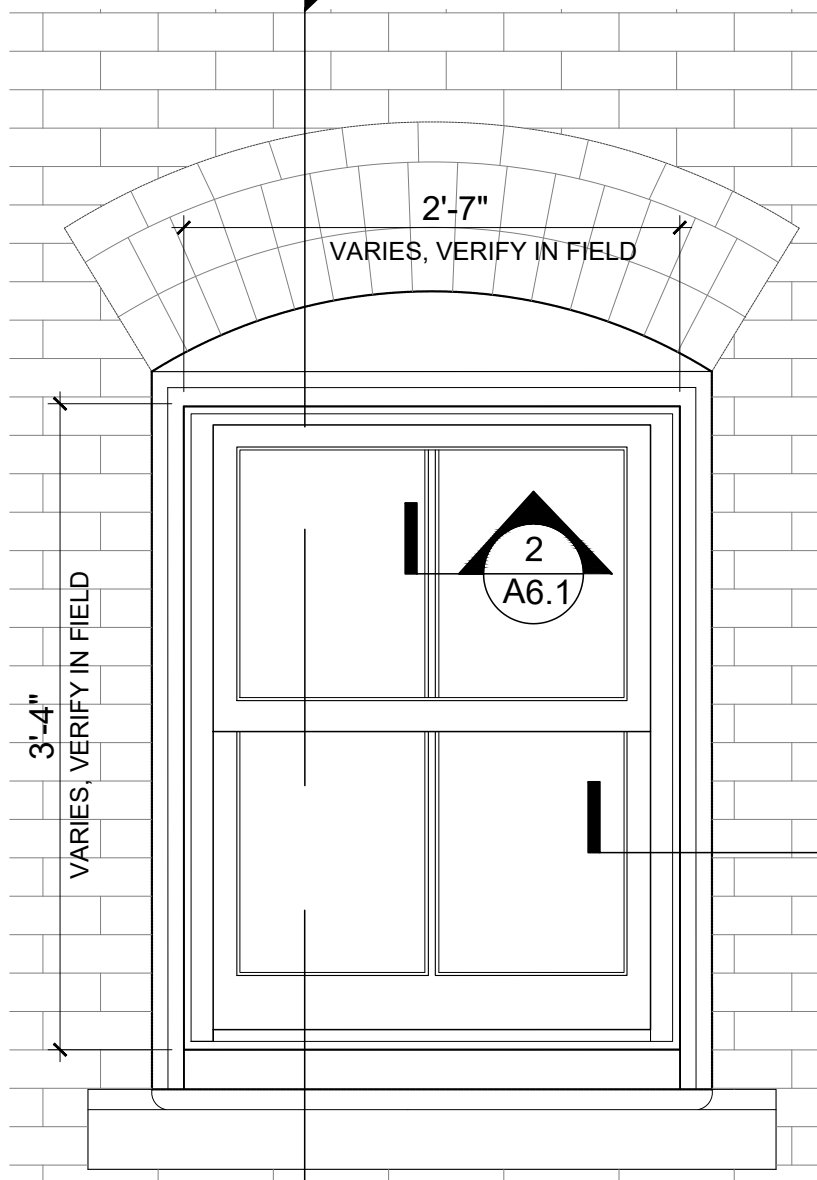


INTERIOR ELEVATION - WINDOW TYPE A:  
2/2 DOUBLE HUNG WINDOW - PROPOSED  
SCALE: 1" = 1'-0"



SECTION - TYPE A: DOUBLE HUNG WINDOW - PROPOSED  
SCALE: 3" = 1'-0"

EXTERIOR ELEVATION - WINDOW TYPE A:  
2/2 DOUBLE HUNG WINDOW - PROPOSED  
SCALE: 1" = 1'-0"



PHOTOS: EXISTING INTERIOR & EXTERIOR SHOWING WINDOW CONDITION  
SCALE: NTS



# CAPE VERDEAN CULTURAL COMMUNITY CENTER

## STRAND THEATER REHABILITATION: PHASE II - INTERIOR RENOVATIONS

1157 ACUSHNET AVE. NEW BEDFORD, MA 02746



**OWNER:**  
CAPE VERDEAN ASSOCIATION IN NEW BEDFORD  
128 UNION STREET, SUITE 100  
NEW BEDFORD, MA 02740



**COMMUNITY DEVELOPMENT CONSULTANT:**  
WATERFRONT HISTORIC AREA LEAGUE  
15 JOHNNY CAKE HILL  
NEW BEDFORD, MA 02740

### PROJECT SUMMARY:

#### SUMMARY OF WORK:

- RECONSTRUCTION OF THE HISTORIC WOOD-FRAME STRAND THEATER FACADE.
- PARTIAL RENOVATION OF EXISTING HISTORIC THEATER - INCLUDING:
  - STRUCTURAL REPAIRS TO FIRE-DAMAGED FRAMING ABOVE LOBBY.
  - STRUCTURAL REPAIRS AND FRAMNG TO PLATFORM ABOVE LOBBY AREA
  - THERMAL IMPROVEMENTS TO THE EXTERIOR FACADE WALL BEING RECONSTRUCTED.
  - PARTIAL PLASTER REPAIR/ RECONSTRUCTION AS REQUIRED IN AREAS BEING RENOVATED.
- INSTALLATION OF TEMPORARHY FIRE ALARM TO PROTECT THE BUILDING DURING CONSTRUCTION.

**LOCATION:** 1157 ACUSHNET AVE, NEW BEDFORD, MA, 02746

**ZONING CLASSIFICATION:** MUB, MIXED USE BUSINESS

**USE GROUP CLASSIFICATION:** EXISTING: **A-3 COMMUNITY:** THEATER, PROPOSED: **A-3 COMMUNITY**

**CONSTRUCTION CLASSIFICATION:** TYPE III-B

1157 ACUSHNET AVE. IS A BRICK/MASONRY AND WOOD WALL STRUCTURE WITH HEAVY TIMBER FRAMED ROOF AND FLOORS, TWO STORIES WITH FLY-LOFT, 8,947 SF GROSS INTERIOR. BUILDING FOOTPRINT: 5,231 sf

**EXPOSURE CATEGORY:** URBAN

**WIND BORNE DEBRIS REGION:** 115 mph BASIC WIND SPEED

**ARCHITECT:** KATHRYN DUFF, **studio2sustain inc**, 412 COUNTY STREET, NEW BEDFORD, MA 02740. OFFICE: 508.999.5145, FAX: 508.999.5183, **MA RA #7778**

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### GENERAL NOTES:

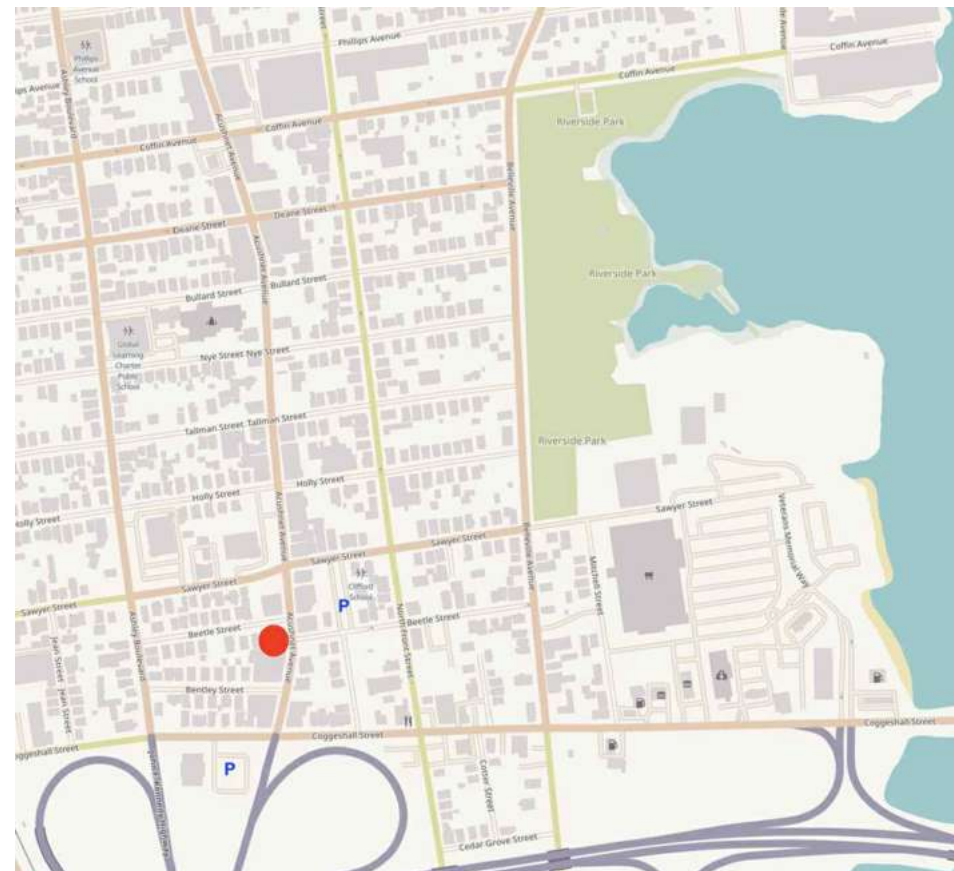
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LOCUS MAP - 1157 ACUSHNET AVE, NEW BEDFORD



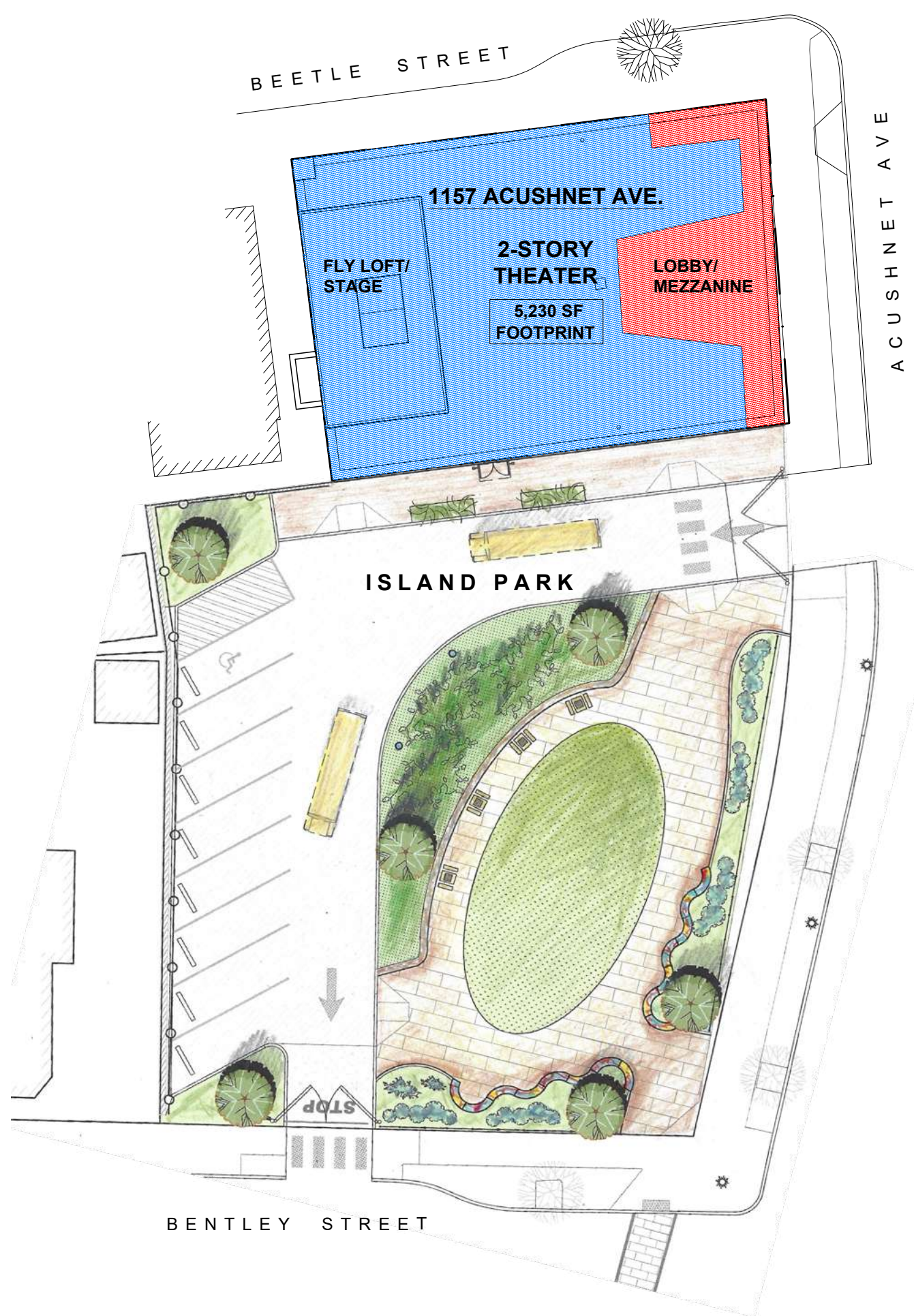
AREA MAP - NORTH END, NEW BEDFORD



EAST ELEVATION - ACUSHNET AVE.



HISTORIC PHOTO - ACUSHNET AVE.



SITE PLAN: CVANB CULTURAL CENTER AND ISLAND PARK

### DRAWING LIST:

#### PHASE II: INTERIOR RENOVATION & RESTORATION

A-0.0 COVER SHEET - PROJECT SUMMARY

A-0.1-A0.3 OUTLINE SPECIFICATIONS

D-1.0 EXISTING & DEMO PLANS

A-1.0 BASEMENT PLAN - PROPOSED

A-1.1 FIRST FLOOR PLAN - PROPOSED

A-1.2 SECOND FLOOR PLAN - PROPOSED

A-1.3 FLY LOFT/RAFTER PLAN - PROPOSED

A-1.4 ROOF PLAN - PROPOSED

A-2.1 ELEVATIONS - PROPOSED

A-3.1 SECTION: TO STAGE - EXIST'G & PROPOSED

A-3.2 LONGITUDINAL SECTION: TO SOUTH - EXIST'G & PROPOSED

A-6.1 WINDOW DETAILS: EAST FACADE - PROPOSED



**studio2sustain**  
ARCHITECTURE

412 County Street

New Bedford, MA 02740

info@studio2sustain.com

508 999 5145

- NOT FOR  
CONSTRUCTION -

kathryn duff ra cphc

OWNER

CVANB

128 UNION STREET, SUITE 100

NEW BEDFORD, MA 02740

508 997 1776

COMMUNITY DEVELOPMENT CORP.

WHALE

1 JOHNNY CAKE HILL

NEW BEDFORD, MA 02740

508 997 1776

STRUCTURE

ASAP ENGINEERING

155 E. GROVE ST.

MIDDLEBORO, MA 02346

508 946 3561

MEP

PRISTINE ENGINEERING

3 SCHOOL ST.

TAUNTON, MA 02780

508 977 9353

FA/FS

FIRE PROTECTION SERVICES

81 LAUREL ST.

FARHAVEN, MA 02719

508 728 8374

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CONSTRUCTION DOCUMENTS PHASE II:  
INTERIOR RENOVATION & RESTORATION

DATE: 05.30.2024

REVISED:

TITLE SHEET

PROJECT SUMMARY

PHASE II:

**IIA** | 0.0



GENERAL DEMO NOTES:

-THE CONTRACTOR SHALL EXAMINE THE PREMISES AND THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL EXISTING MATERIALS AND CONDITIONS THAT MAY AFFECT THE METHODS, CONDUCT, OR SCOPE OF HIS OPERATION. THE CONTRACT BY THEIR BID REPRESENTS THAT THEY MADE SUCH AN INSPECTION AND THEY ARE PREPARED TO CARRY OUT ANY AND ALL OPERATIONS NECESSARY TO EFFECT THE DEMOLITION REQUIRED OR IMPLIED BY THE DOCUMENTS OR AS REQUIRED TO INSTALL THE MATERIALS SPECIFIED IN OTHER SECTIONS.

-QUALITY ASSURANCE MUST COMPLY WITH APPLICABLE CODES, ORDINANCES, RULES, AND REGULATIONS, INCLUDING THOSE FOR DEMOLITION, TRANSPORTATION AND DISPOSAL OF DEBRIS.

-PRIOR TO REMOVAL OF ANY FRAMING, MEET WITH THE ARCHITECT AND WHALE TO DISCUSS PROCESS OF REMOVAL.

-THE WORK OF THESE DOCUMENTS SHALL BE PERFORMED IN COMPLIANCE WITH ALL LAWS, CODES, AND ORDINANCES RELATING TO SUCH WORK, AND WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

-THE CONTRACTOR SHALL CONDUCT THE DEMOLITION WORK IN SUCH A MANNER AS TO AVOID HAZARDS TO ALL PERSONS AND PROPERTY AND TO PREVENT THE SPREAD OF DUST AND FLYING PARTICLES, AND SHALL ERECT SUCH PROTECTION AS IS REQUIRED FOR THE PROTECTION OF PERSONS ON OR ABOUT THE PREMISES.

-DEMOLITION WORK SHALL BE EXECUTED IN AN ORDERLY AND SAFE MANNER, WITH DUE CONSIDERATION FOR THE WHALE STAFF, PUBLIC, AND ADJOINING PROPERTY OWNERS. NOISE SHALL BE KEPT TO A MINIMUM.

DEMOLITION NOTES:

1 REMOVE EXISTING INTERIOR WOOD STUD WALLS, WALL AND CEILING FINISHES (INCLUDING PLASTER AND BEAD-BOARD TO BE SALVAGED), INTERIOR DOORS, TRIM (UNLESS OTHERWISE NOTED), AND ALL REMAINING DEBRIS. FLOORS TO REMAIN AND BE PROTECTED FOR REFINISHING. REMOVE ALL PLUMBING AND ELECTRICAL FIXTURES AND ASSOCIATED PIPING.

2 REMOVE DEBRIS AND CLEAN AREA. PREPARE SURFACES FOR NEW WORK. FLOORS TO REMAIN AND BE PROTECTED FOR REFINISHING.

3 REPAIR STRUCTURE AT HISTORIC FIRE DAMAGE. SEE STRUCTURAL DRAWINGS FOR PROPOSED WORK.

4 REMOVE PORTION OF COLLAPSED ROOF FRAMING AND SHEATHING. SEE STRUCTURAL DRAWINGS FOR PROPOSED WORK.

5 REMOVE EXISTING GARAGE DOOR. PREPARE SURFACES FOR NEW WORK.

6 REMOVE EXISTING BULK-HEAD, FILL IN OPENING BELOW, AND PATCH WITH CONCRETE. SEE PROPOSED SITE PLAN FOR NEW WORK.

7 CAREFULLY SALVAGE EXISTING GRANITE STAIRS FOR REUSE, PROTECT AND STORE ON-SITE. SEE PROPOSED SITE PLAN FOR NEW WORK.

8 EXISTING DOOR TO BE RESTORED, PROTECT AND STORE ON-SITE AS REQUIRED DURING CONSTRUCTION. SEE PROPOSED PLANS FOR NEW WORK.

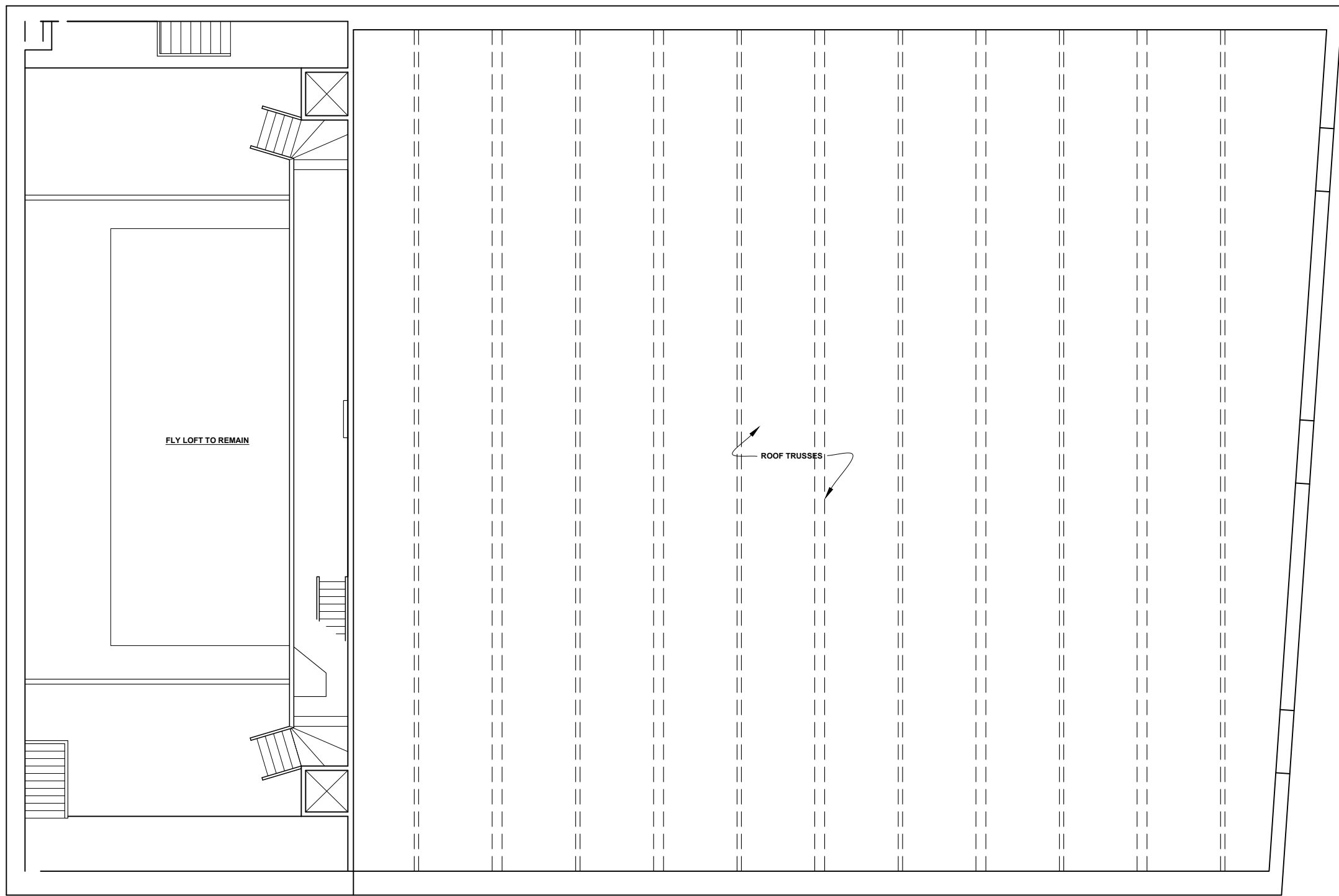
9 TYPICAL AT ALL WINDOWS: REMOVE EXISTING WINDOW, ASSESS EACH CONDITION OF EXISTING WOOD FRAME TO REMAIN, OR REMOVE. PREPARE SURFACE FOR NEW WORK. SEE D2.1 AND STRUCTURAL DRAWINGS FOR REPAIR AT LINTELS.

10 EXISTING STAIRS, NEWEL POST, BALUSTRADE, AND DECORATIVE WOOD CORNICE AT STAIR OPENING TO BE REPAIRED. PROTECT AND STORE ON-SITE. SEE PROPOSED PLANS FOR NEW WORK.

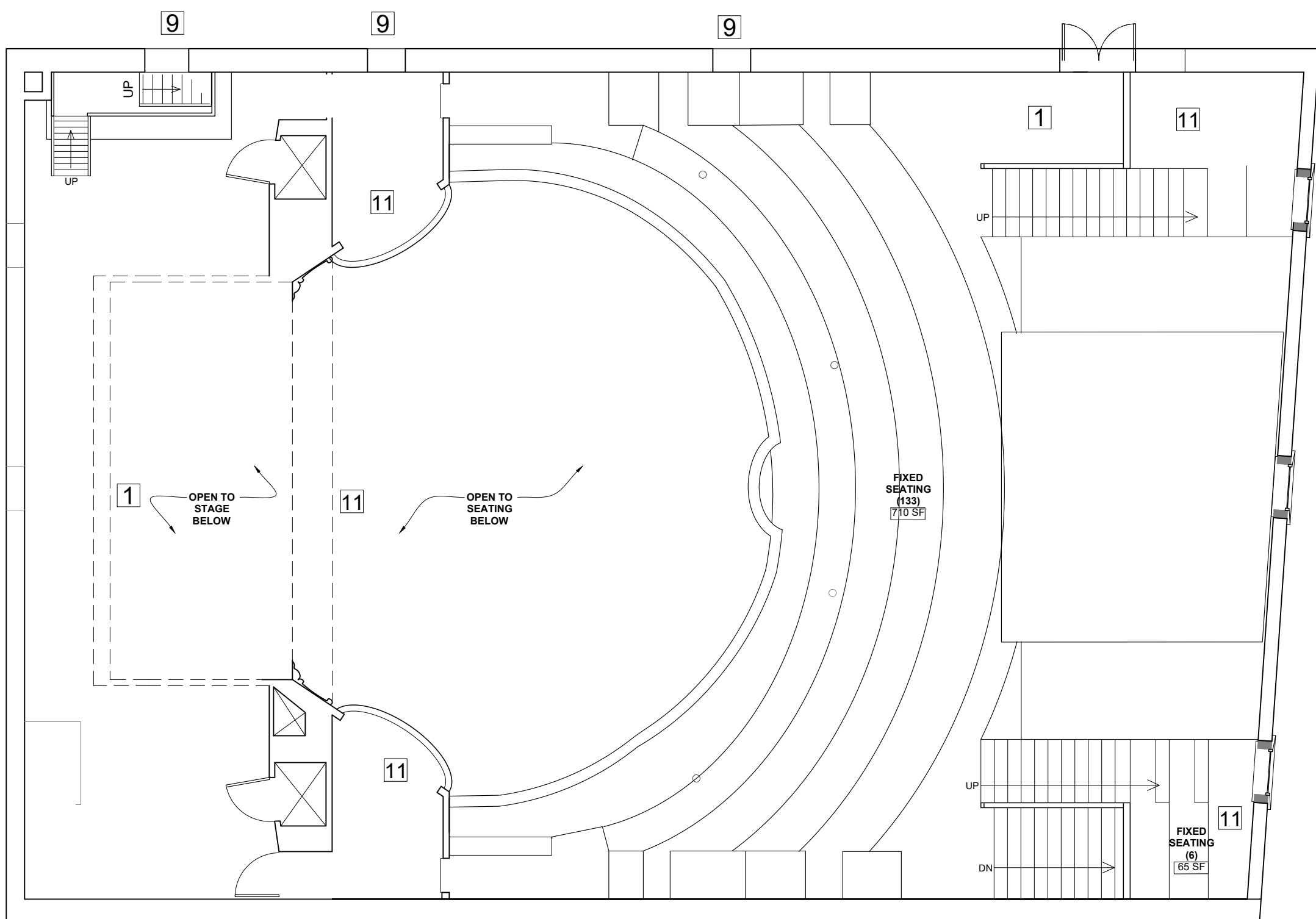
11 CAREFULLY SALVAGE HISTORIC MATERIALS, PROTECT & STORE ON-SITE. SEE PROPOSED PLANS FOR NEW WORK.

12 REMOVE EXISTING ASPHALT SHINGLE ROOFING & REPAIR/REPLACE EXISTING SHEATHING AS REQUIRED.

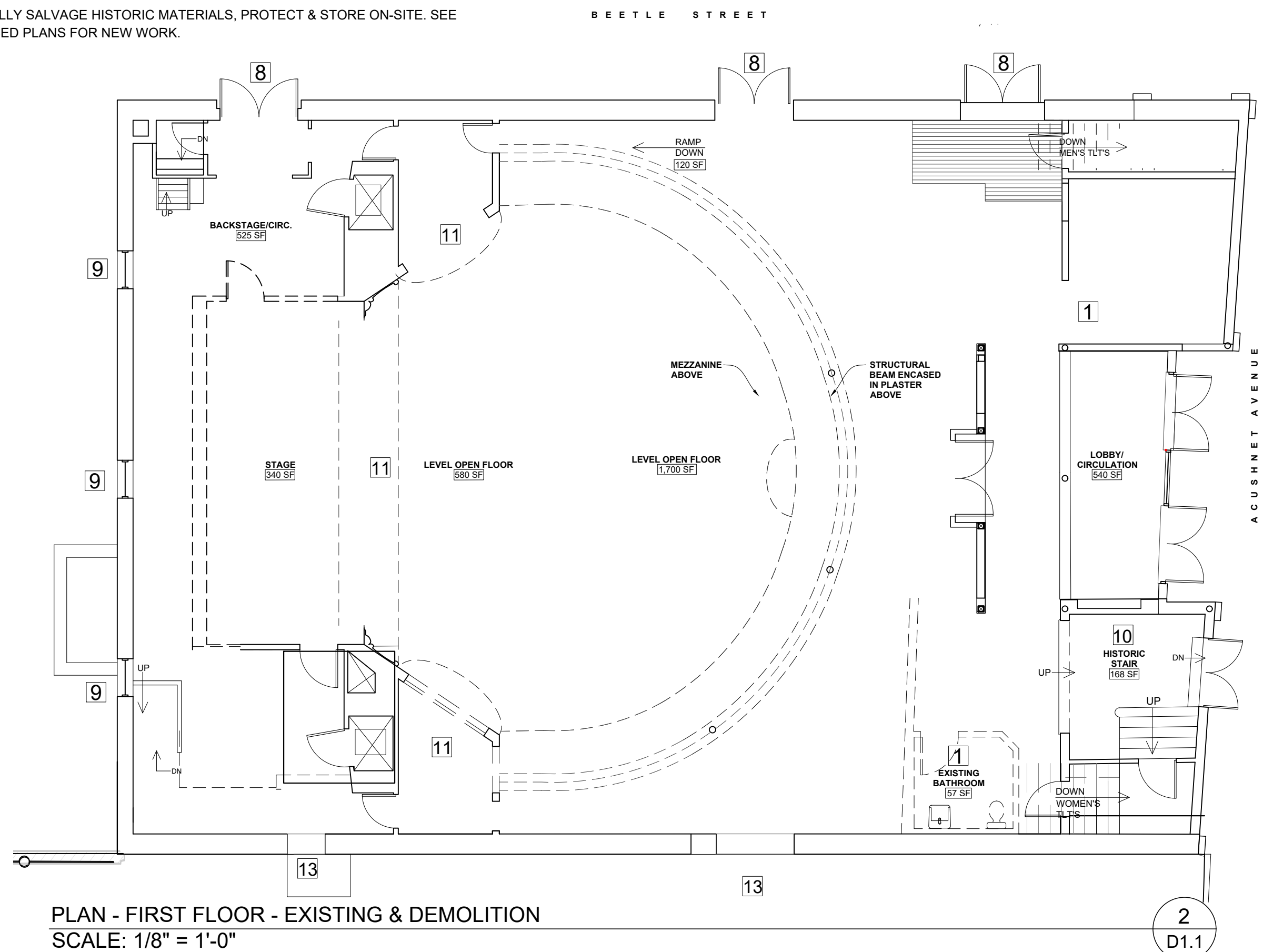
13 DEMO PORTION OF EXISTING MASONRY WALL FOR NEW OPENING. SEE STRUCTURAL.



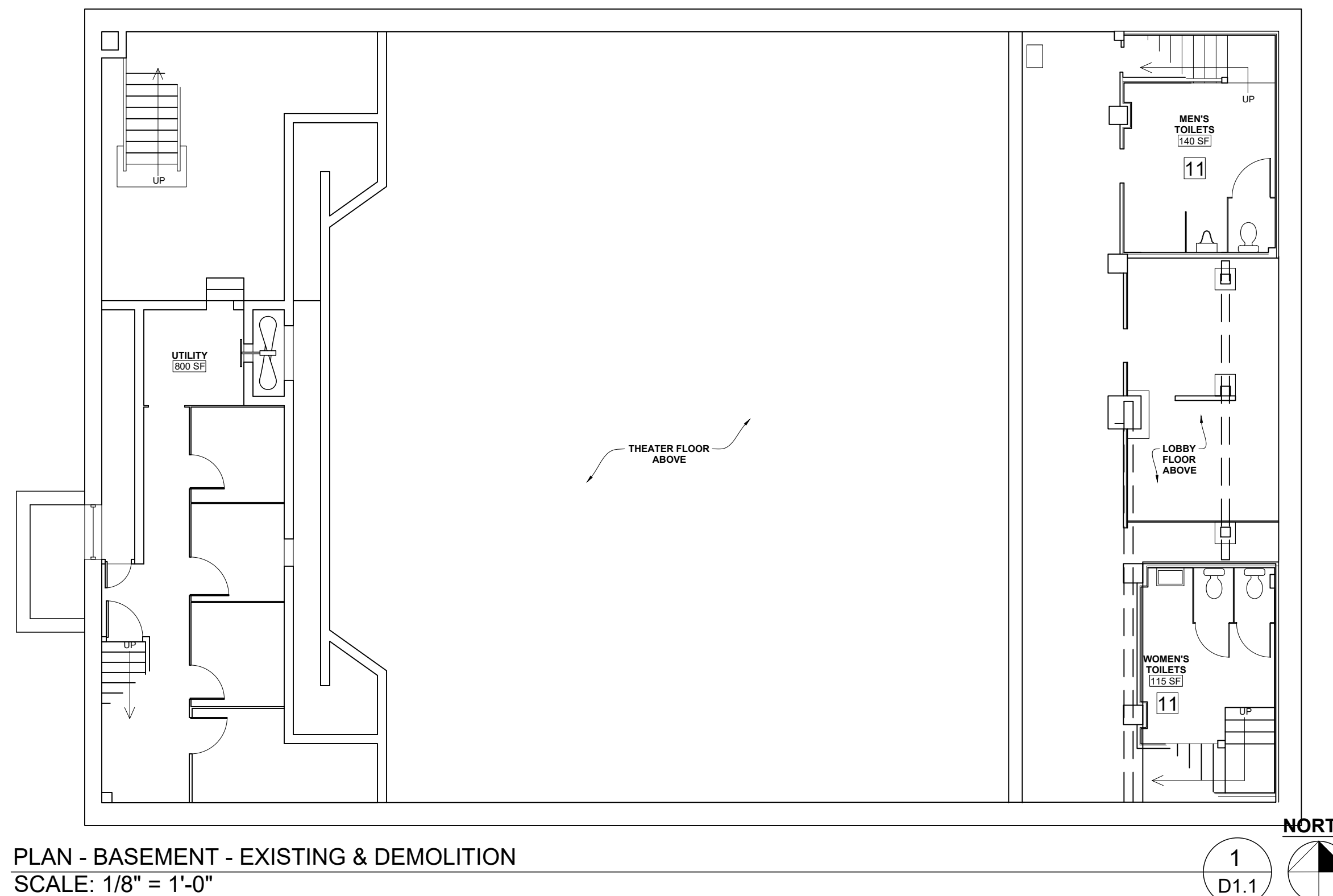
PLAN - FLY LOFT/RAFTERS - EXISTING & DEMOLITION  
SCALE: 1/8" = 1'-0"



PLAN - MEZZANINE - EXISTING & DEMOLITION  
SCALE: 1/8" = 1'-0"



PLAN - FIRST FLOOR - EXISTING & DEMOLITION  
SCALE: 1/8" = 1'-0"



PLAN - BASEMENT - EXISTING & DEMOLITION  
SCALE: 1/8" = 1'-0"



studio2sustain  
ARCHITECTURE

412 County Street  
New Bedford, MA 02740  
info@studio2sustain.com  
508 999 5145

- NOT FOR  
CONSTRUCTION -

OWNER

CVANB  
128 UNION STREET, SUITE 100  
NEW BEDFORD, MA 02740

COMMUNITY DEVELOPMENT CORP.

WHALE  
1 JOHNNY CAKE HILL  
NEW BEDFORD, MA 02740  
508 997 1776

STRUCTURE

ASAP ENGINEERING  
155 E. GROVE ST.  
MIDDLEBORO, MA 02346  
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CONSTRUCTION DOCUMENTS PHASE II:  
INTERIOR RENOVATION & RESTORATION

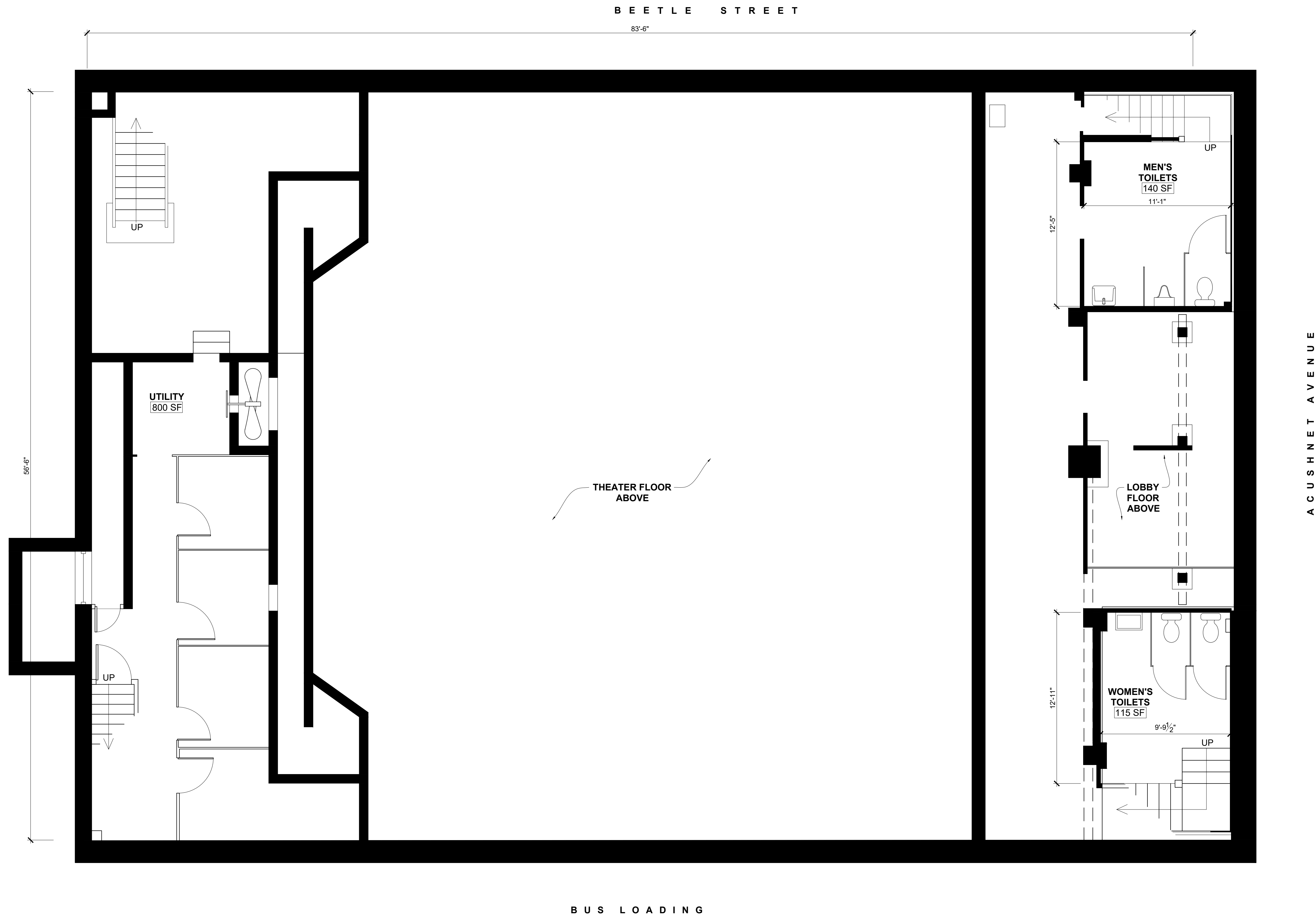
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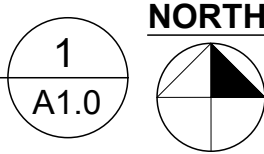
FLOOR PLANS  
-  
EXISTING & DEMO

PHASE II:

II D 1.1



PLAN - BASEMENT - PROPOSED  
SCALE: 1/4" = 1'-0"



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BASEMENT PLAN  
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CODE REVIEW:

1) REQUIRED TOILETS: 248 CMR: TABLE 1

THEATER: (F) 1 PER 30; (M) 1 PER 60

230 OCC. TOTAL~ 115 MEN; (2) REQUIRED FIXTURES: (1) URINAL; (1) HP TLT.

SOLUTION: (1) HP 1ST FL. & EXISTING FIXTURES IN BSMT.

115 WOMEN; (4) REQUIRED FIXTURES: (3) STALLS; (1) HP TLT. SOLUTION: (1) HP/(1) REG. TLT. 1ST FL. & (2) EXISTING IN BASEMENT

2) EGRESS SIZING:  
1005.3.1 STAIRS:  
OCC LOAD (2)OCC SPRKLR = SMALL ~ DEFAULT TO 44"  
1ST FL: 157(2) = 31.4  
2ND FL: 100(2) = 20

1011 STAIRWAY WIDTH  
44"<50 OCC. (USE)  
1024.2 WIDTH (EXIT PASSAGEWAYS): 44" WIDTH REQUIREMENT IF MORE THAN 50 OCC.

TABLE 1006.3.1  
REQUIRES (2) EXITS (100 OCC) > 49 AND <501

1007.1 REMOTENESS OF EGRESS STAIRS: EACH EGRESS MUST BE LOCATED 1/3 DIAGONAL OF BUILDING = 34' MIN. SEPARATION

TABLE 1017.2 EXIT ACCESS TRAVEL DISTANCE: 250' WITH SPRINKLER SYSTEM

TABLE 1020.1 CORRIDOR FIRE-RESISTANCE RATING: GREATER THAN 30 OCC. WITH SPRINKLER: NOT REQUIRED TO BE RATED.

1023.2 CONSTRUCTION: ENCLOSURE: 1-HOUR RATING FOR LESS THAN 4 STORIES.

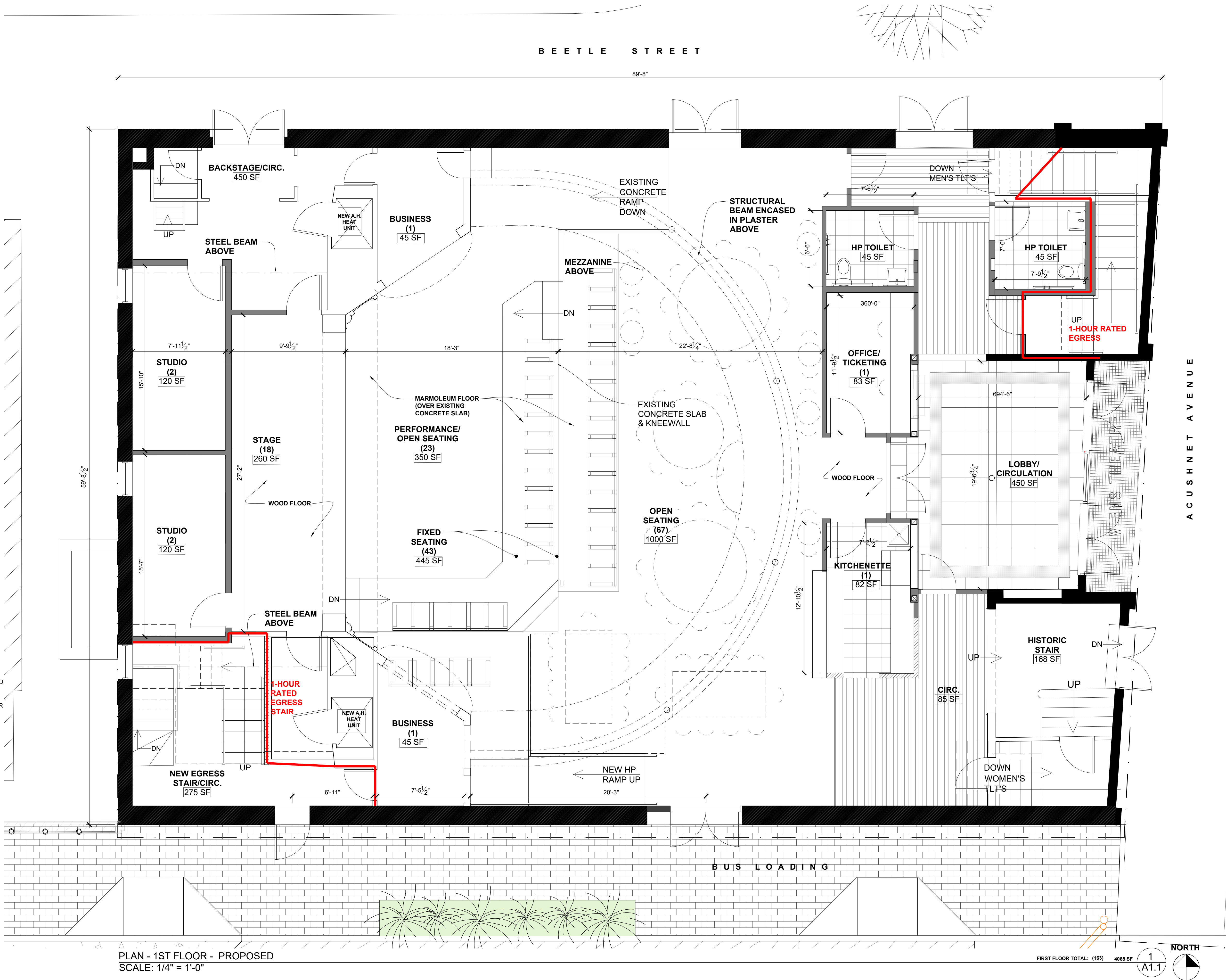
1029.2 ASSEMBLY MAIN EXIT: LESS THAN 300 OCC: DOES NOT APPLY.

1029.8: COMMON PATH OF EGRESS TRAVEL: NOT EXCEED 30' FROM ANY SEAT TO A POINT WHERE AN OCCUPANT HAS A CHOICE OF TWO PATHS OF EGRESS TRAVEL TO TWO EXITS.

FIRST FLOOR PLAN KEY

EXISTING WALL TO REMAIN	
PROPOSED FULL-HEIGHT WALLS	
PROPOSED PARTIAL-HEIGHT WALLS	
OCC.	AREA
OPEN SEATING (90)	1350 SF
FIXED SEATING (43)	445 SF
STAGE/STUDIOS (26)	500 SF
BUSINESS (4)	255 SF
TLT/STORAGE (-)	90 SF
CIRCULATION (-)	1428 SF
FIRST FLOOR TOTAL: (163)	4068 SF
GROSS SF @ BLDG PERIMETER:	4800 SF

PLAN - 1ST FLOOR - PROPOSED  
SCALE: 1/4" = 1'-0"



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FIRST FLOOR PLAN

PROPOSED

PHASE II:

IIA 1.1



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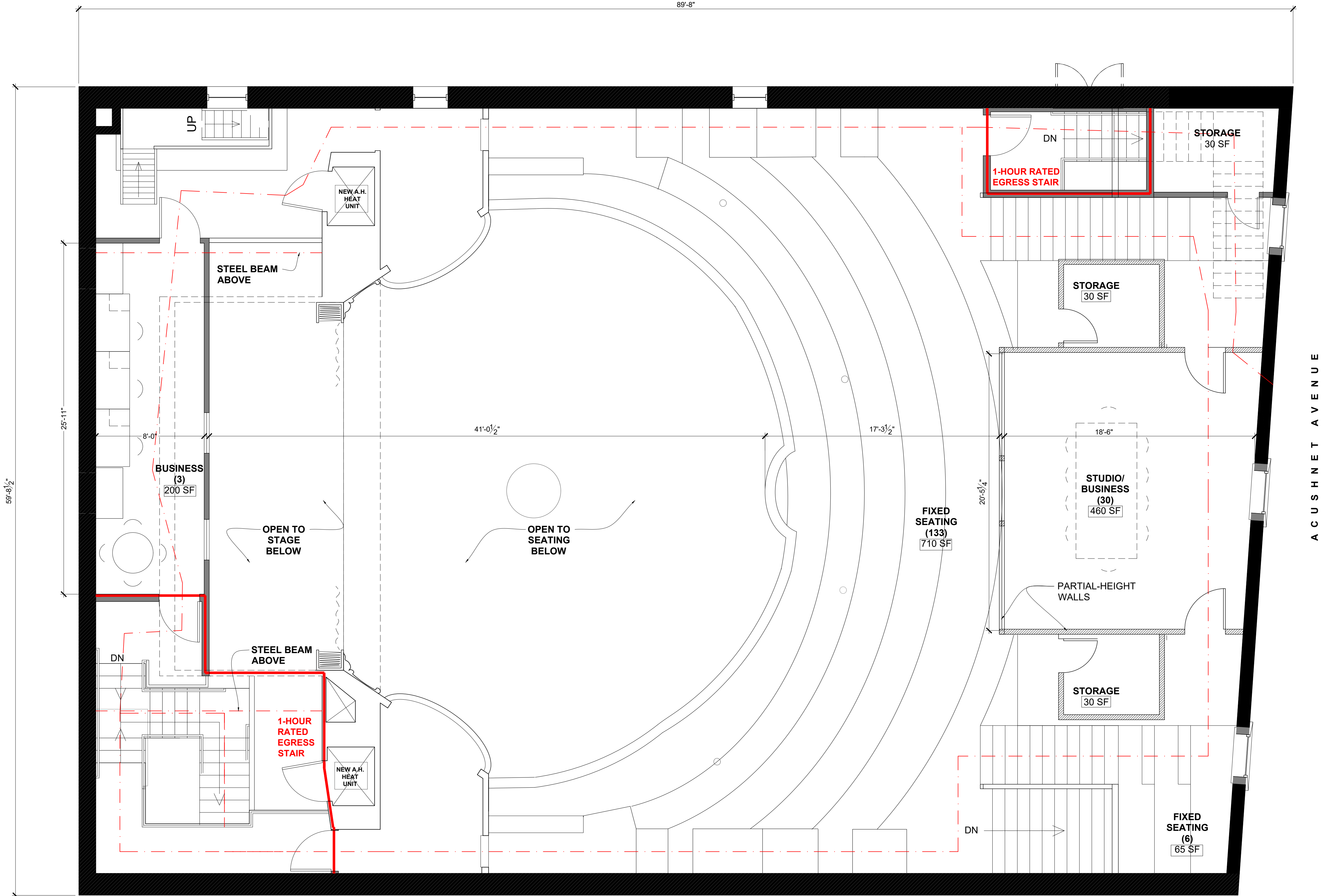
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MEZZANINE PLAN KEY		
EXISTING WALL TO REMAIN		
PROPOSED FULL-HEIGHT WALLS		
PROPOSED PARTIAL-HEIGHT WALLS		
OCC.	AREA	
FIXED SEATING	(133)	710 SF
STAGE/STUDIOS	(26)	500 SF
BUSINESS	(3)	200 SF
TLT/STORAGE	(-)	90 SF
CIRCULATION	(-)	1428 SF
MEZZANINE TOTAL:	(163)	4068 SF
GROSS SF @ BLDG PERIMETER: 4800 SF		



PLAN - MEZZANINE - PROPOSED  
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508 997 1176

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MEZZANINE PLAN  
-  
PROPOSED

PHASE II:

IIA 1.2

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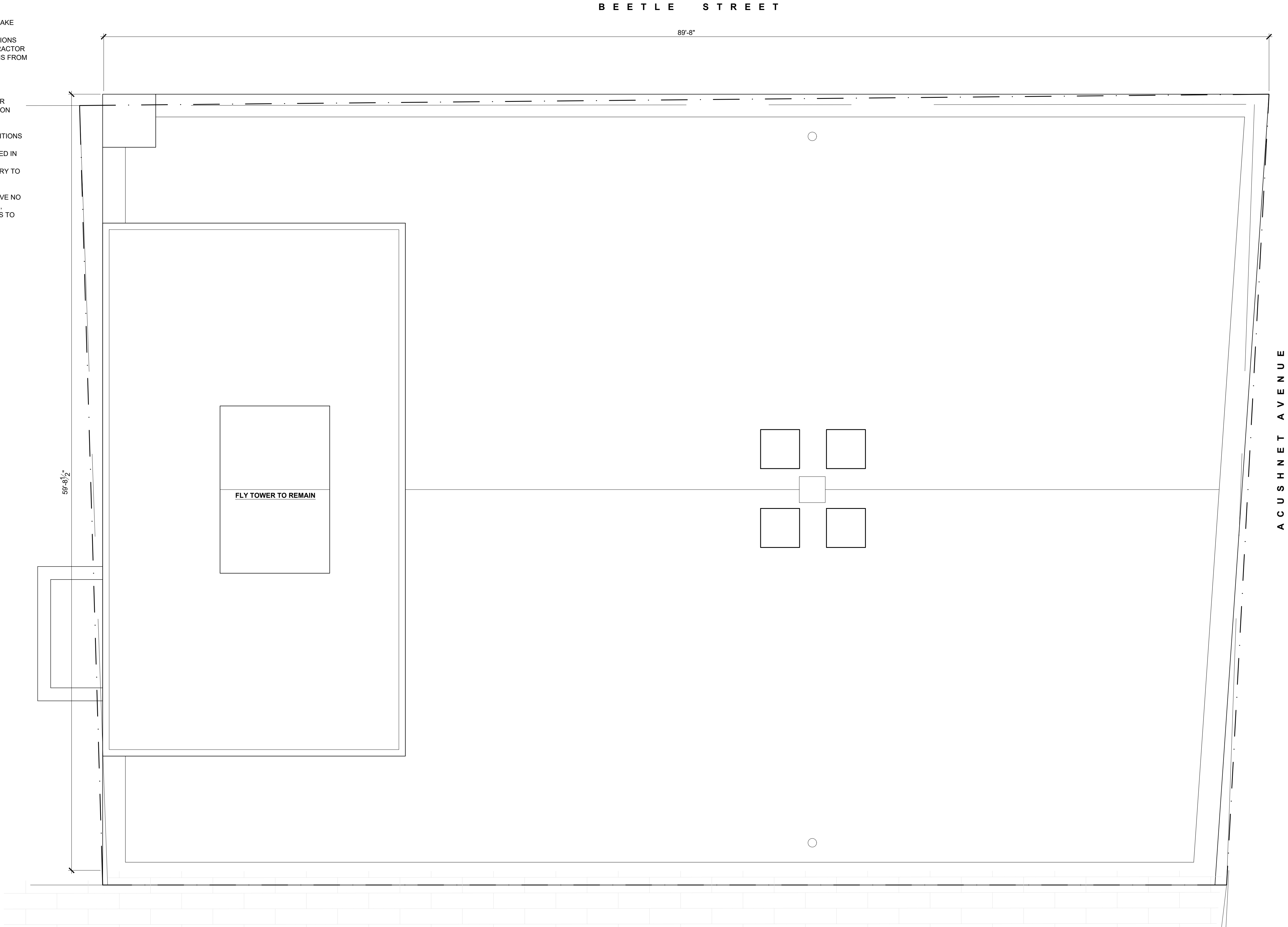
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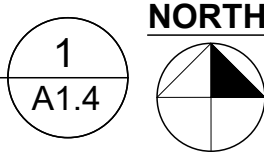
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PLAN - ROOF - PROPOSED  
SCALE: 1/4" = 1'-0"



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ARCHITECTURE

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New Bedford, MA 02740  
info@studio2sustain.com  
508 999 5145

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CVANB  
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NEW BEDFORD, MA 02740

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ROOF PLAN  
-  
PROPOSED

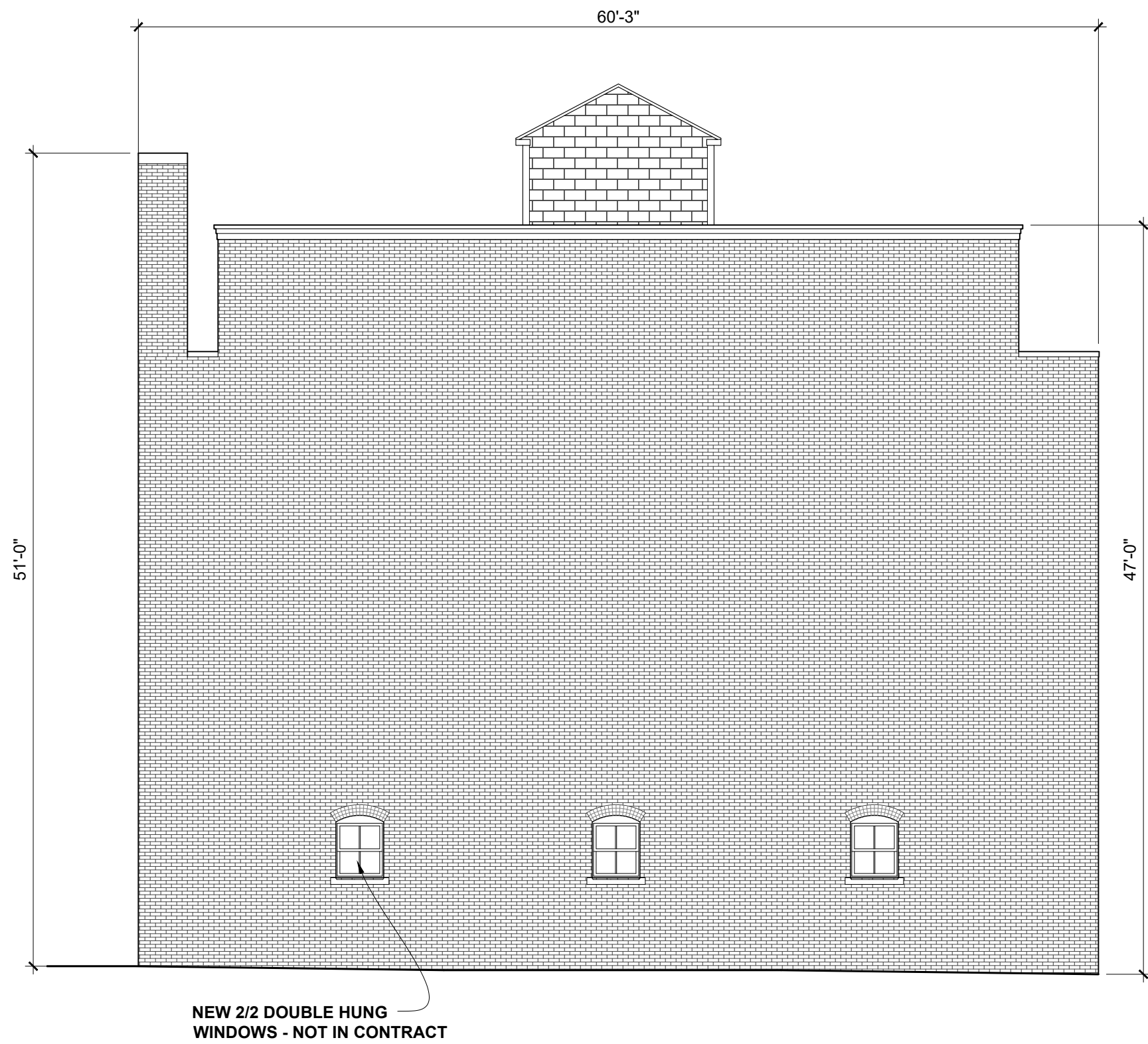
PHASE II:

II A | 1.4



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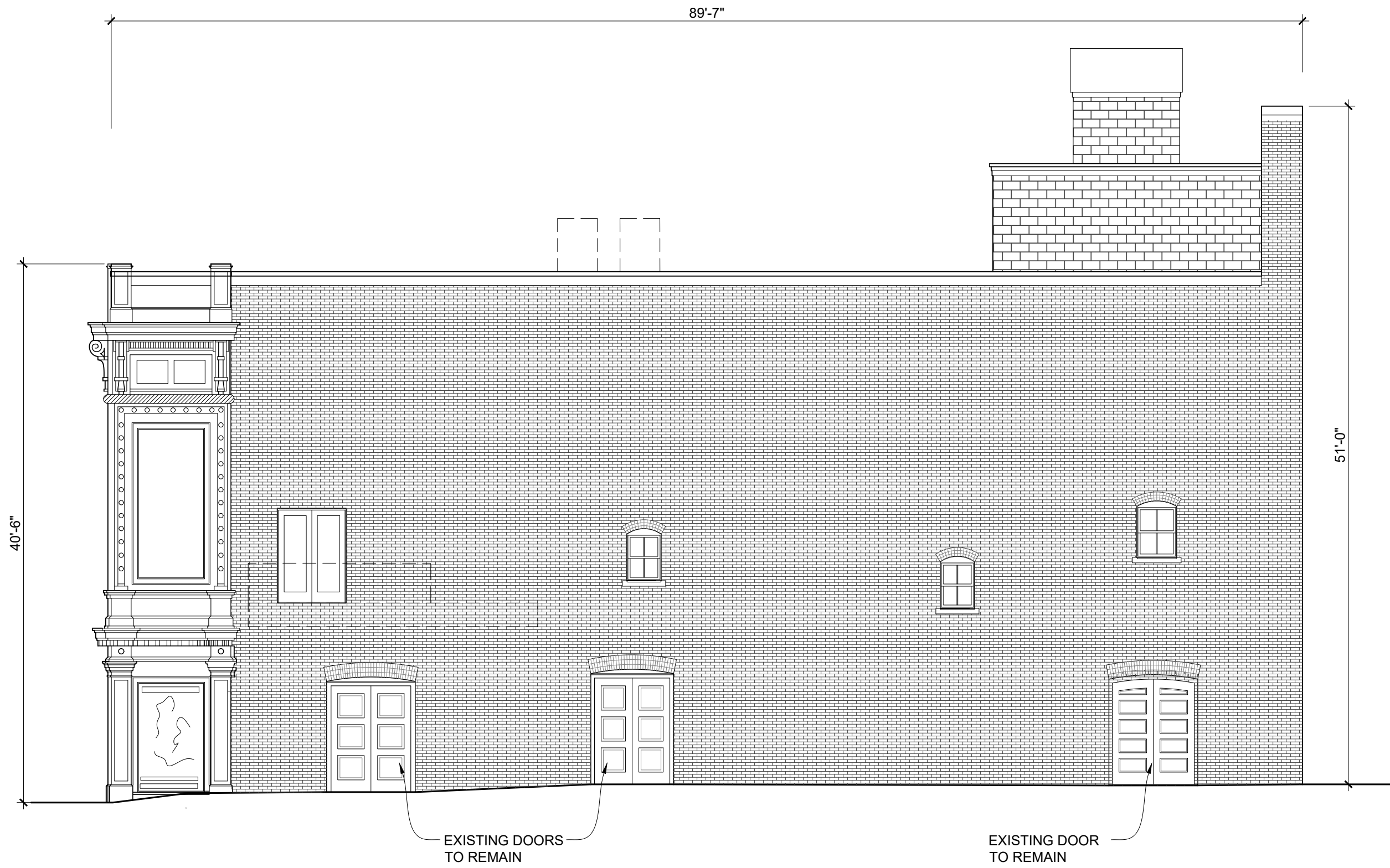
ELEVATION - WEST - PROPOSED  
SCALE: 1/8" = 1'-0"

3  
A2.1



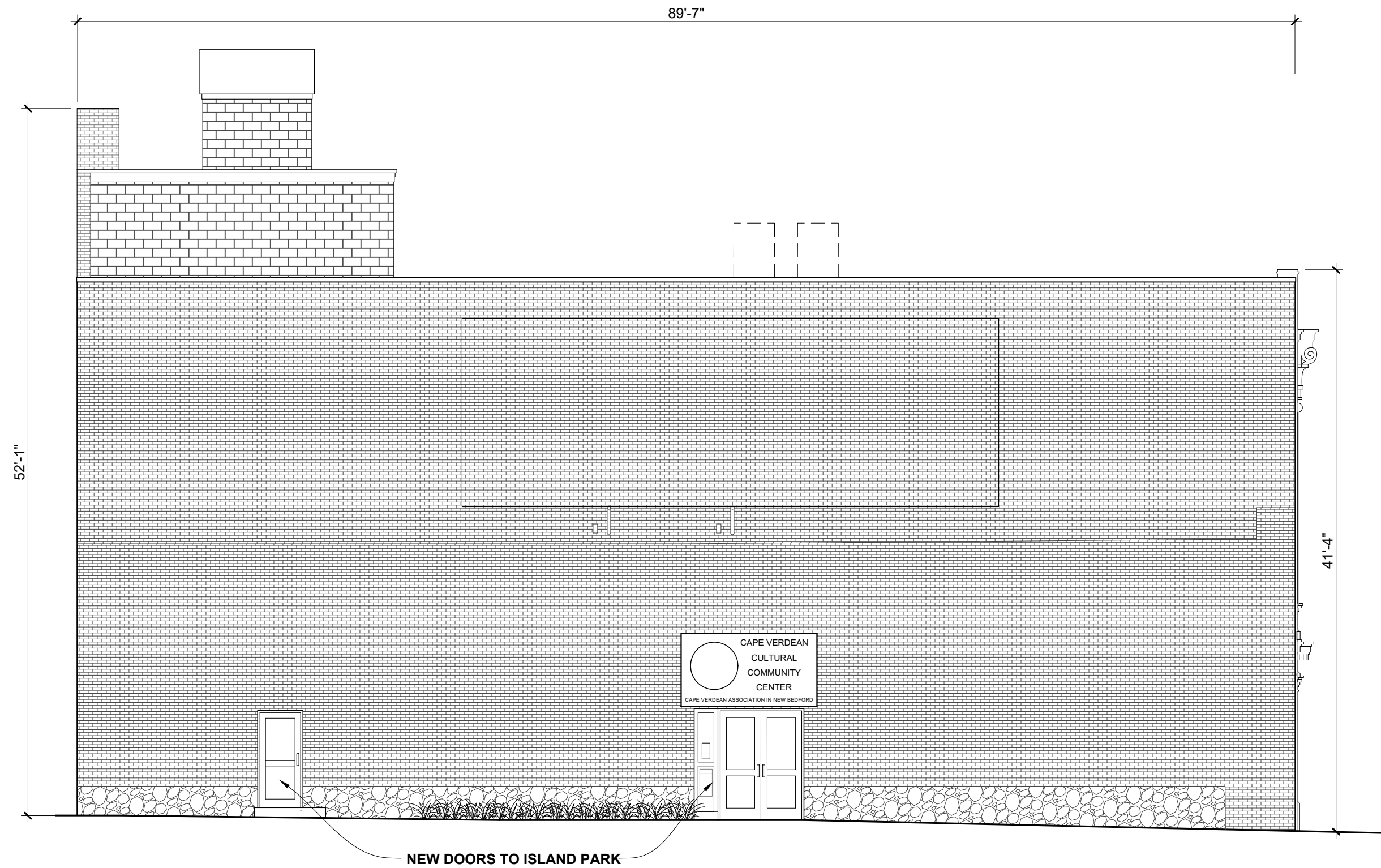
EAST ELEVATION - RESTORED FACADE IN PHASE I  
SCALE: 1/8" = 1'-0"

2  
A2.1



ELEVATION - NORTH - PROPOSED  
SCALE: 1/8" = 1'-0"

4  
A2.1



ELEVATION - SOUTH - PROPOSED  
SCALE: 1/8" = 1'-0"

1  
A2.1



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ELEVATIONS  
-  
PROPOSED

PHASE II:

II A | 2.1



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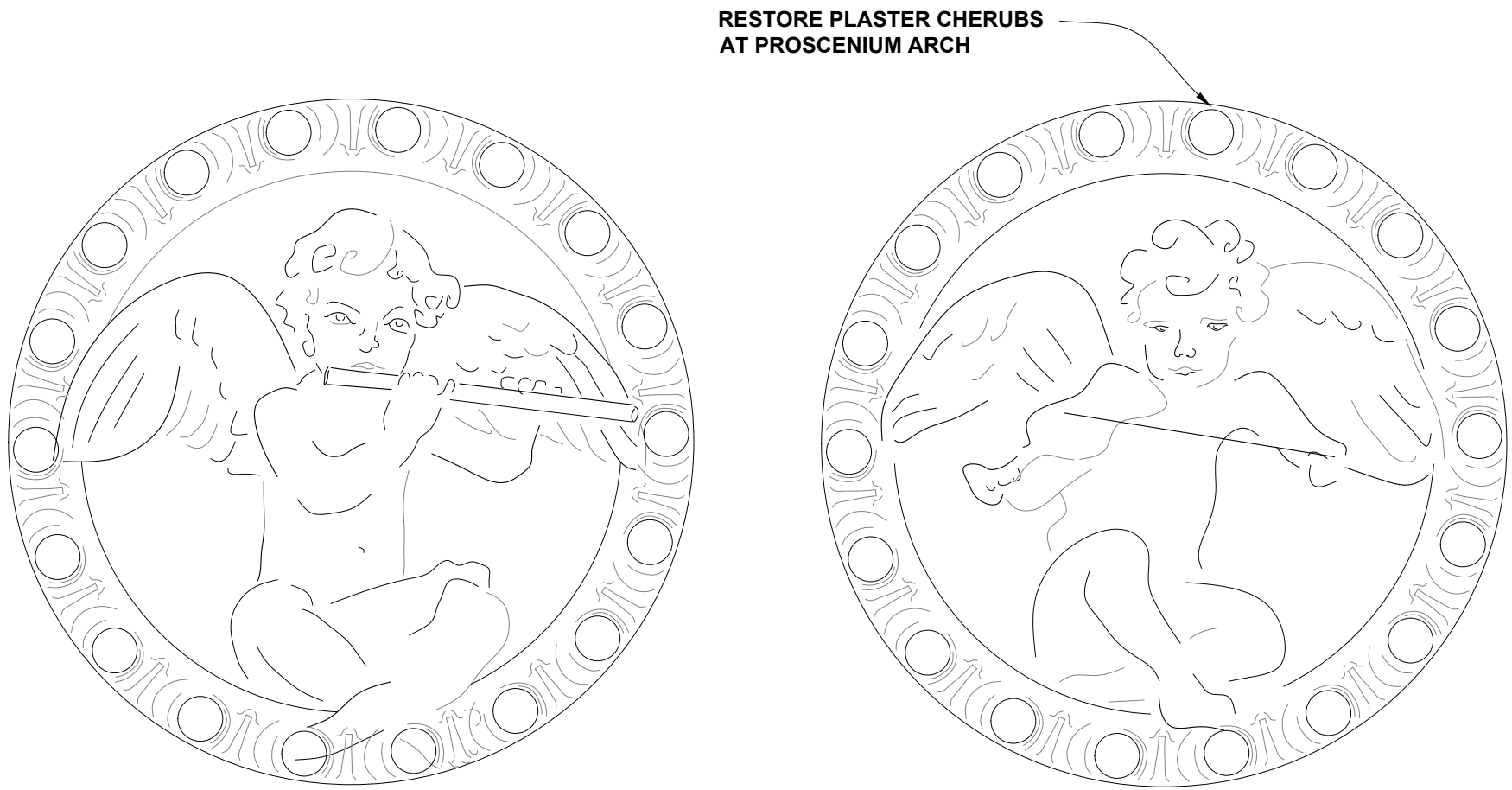
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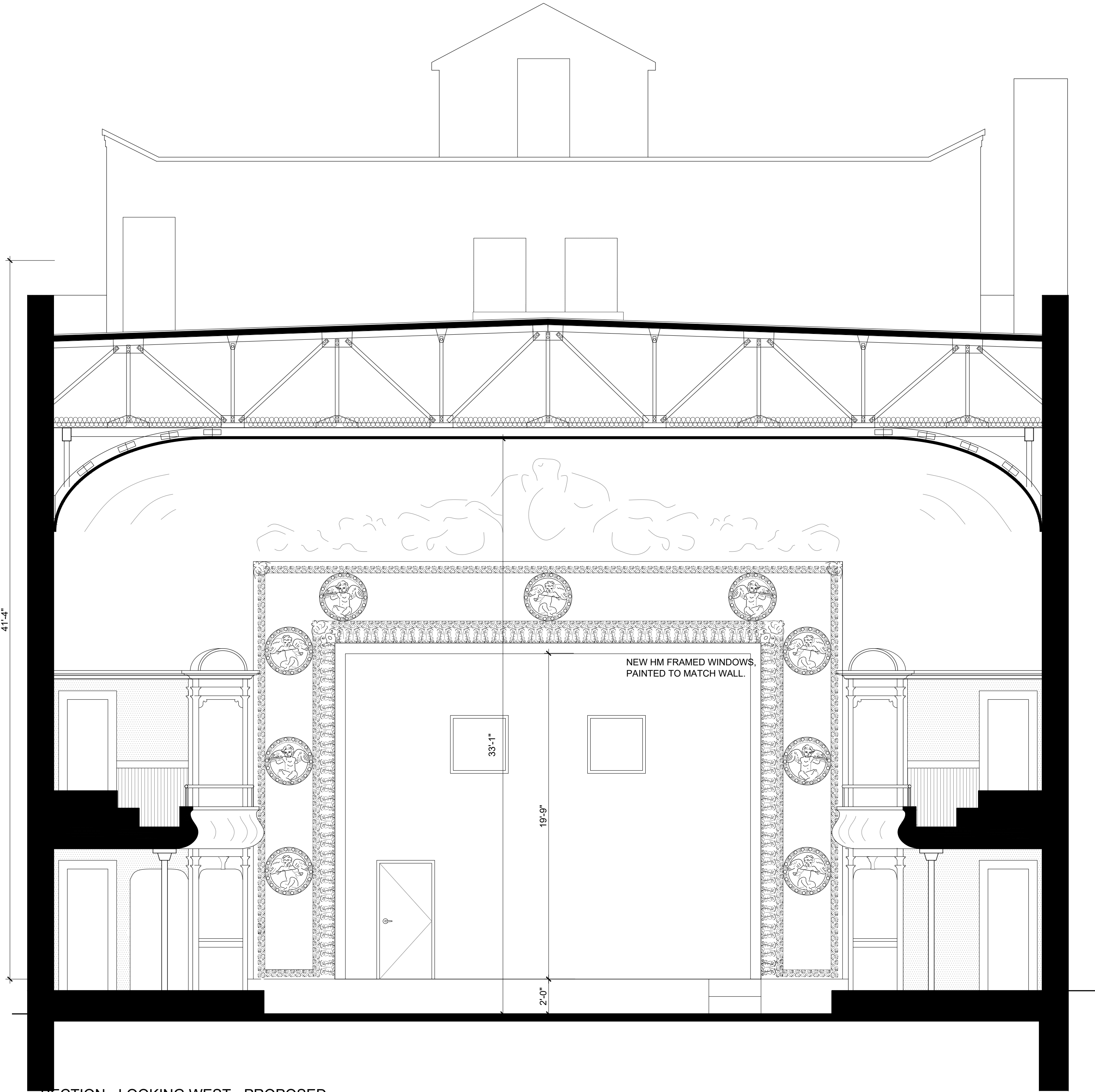
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DETAIL - PLASTER CHERUB DETAILS AT STAGE - PROPOSED  
SCALE: 1-1/2" = 1'-0"

2  
A3.1



SECTION - LOOKING WEST - PROPOSED  
SCALE: 1/4" = 1'-0"

1  
A3.1



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DATE: 05.30.2024

REVISED:

CROSS SECTION  
-  
PROPOSED

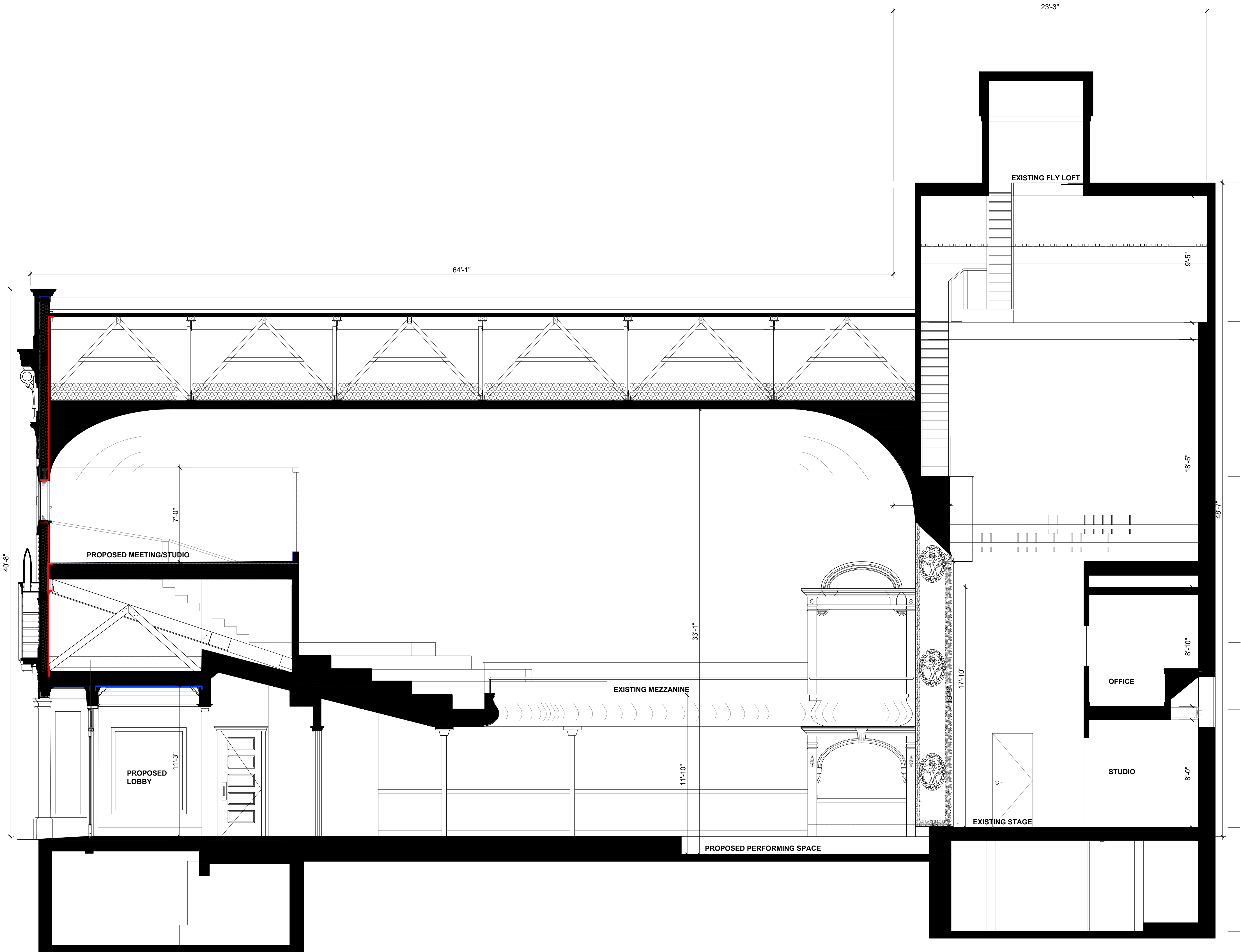
PHASE II:

II A 3.1



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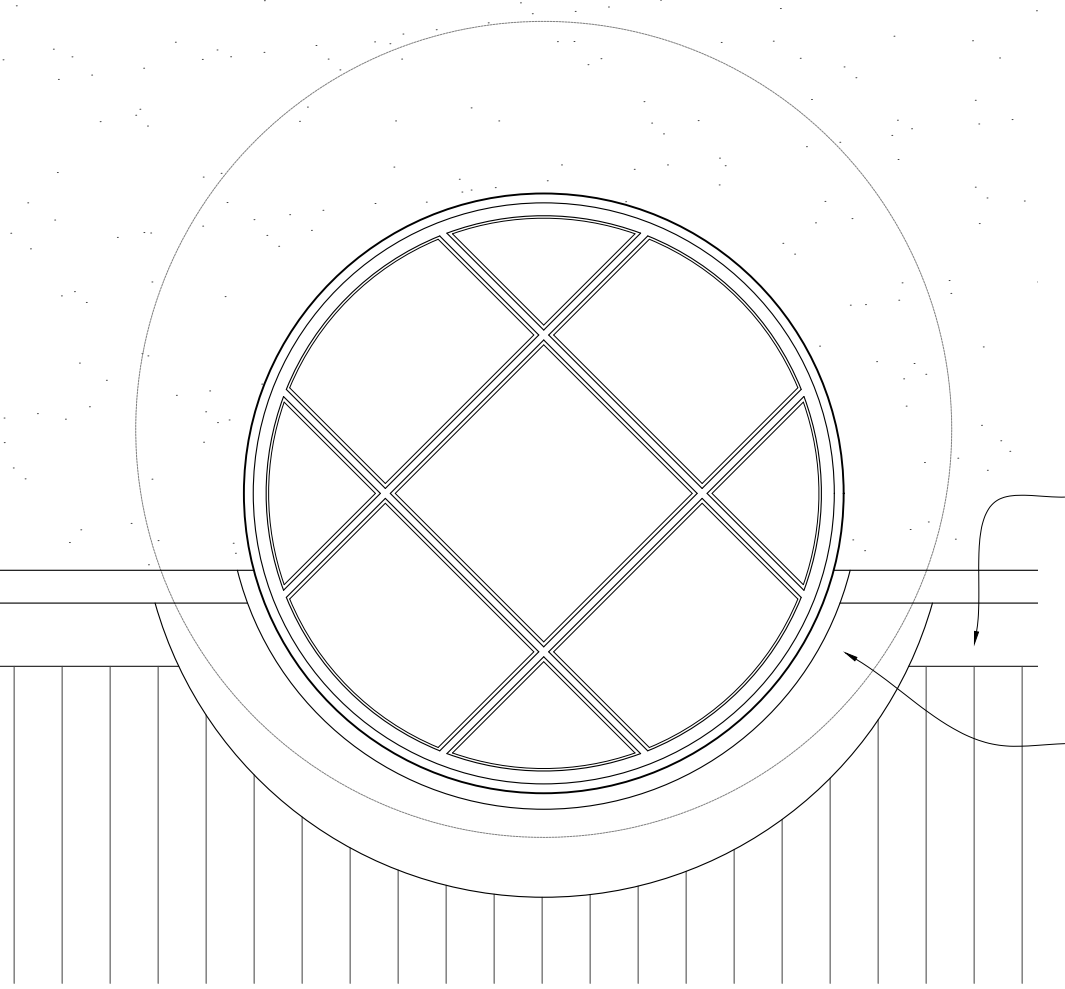
LONGITUDINAL  
SECTION  
-  
PROPOSED  
PHASE II:

IIA 3.2

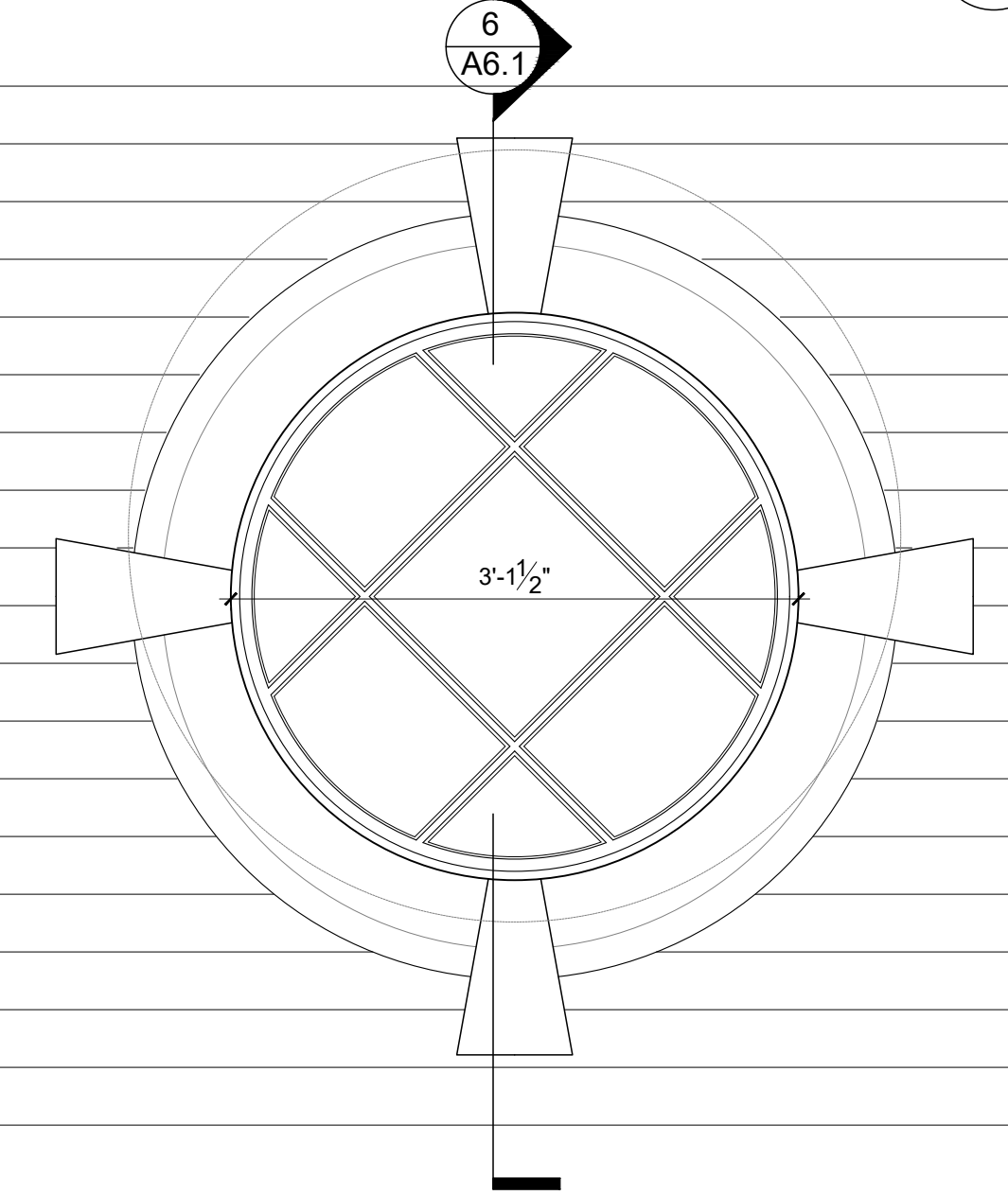


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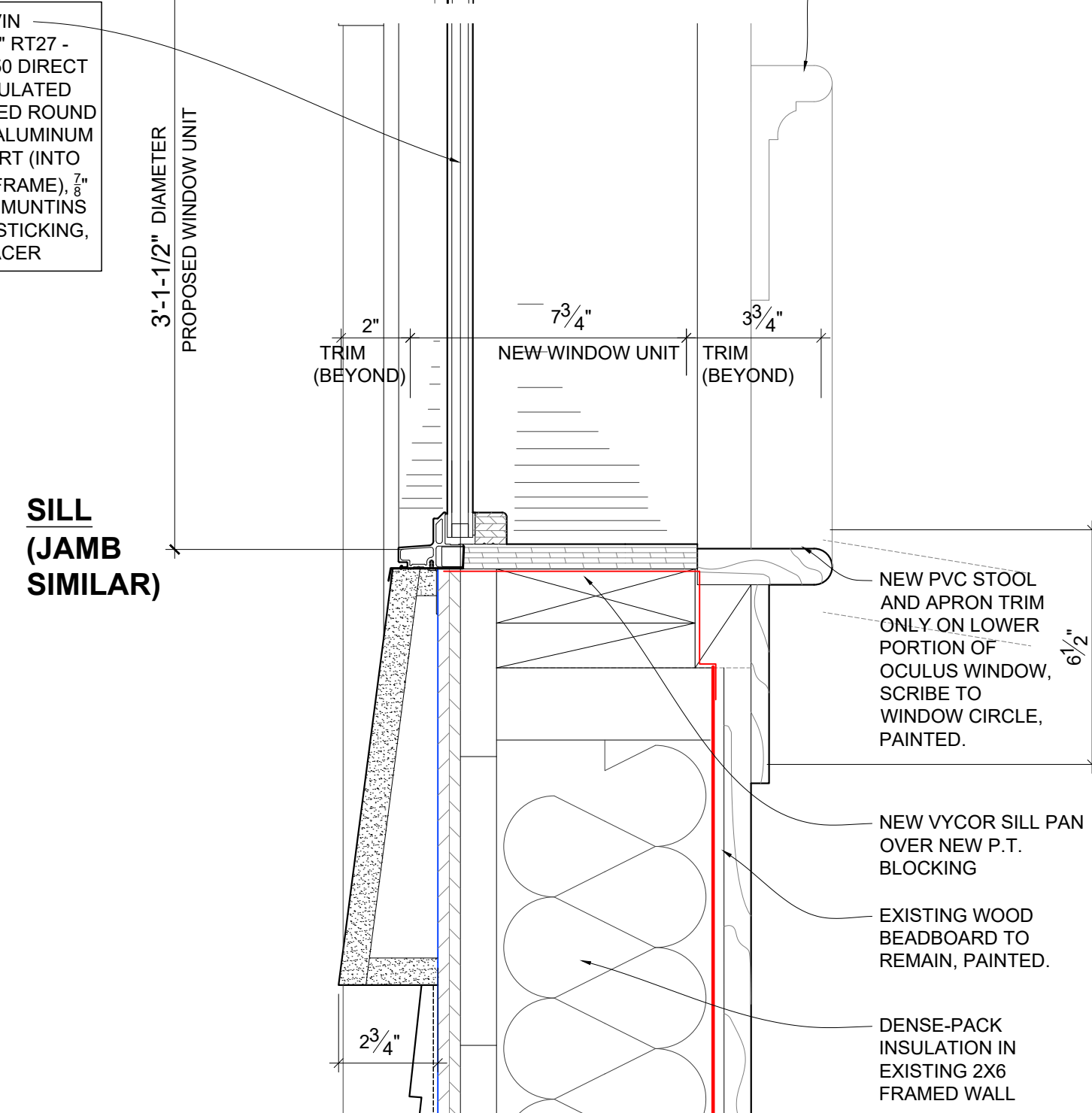
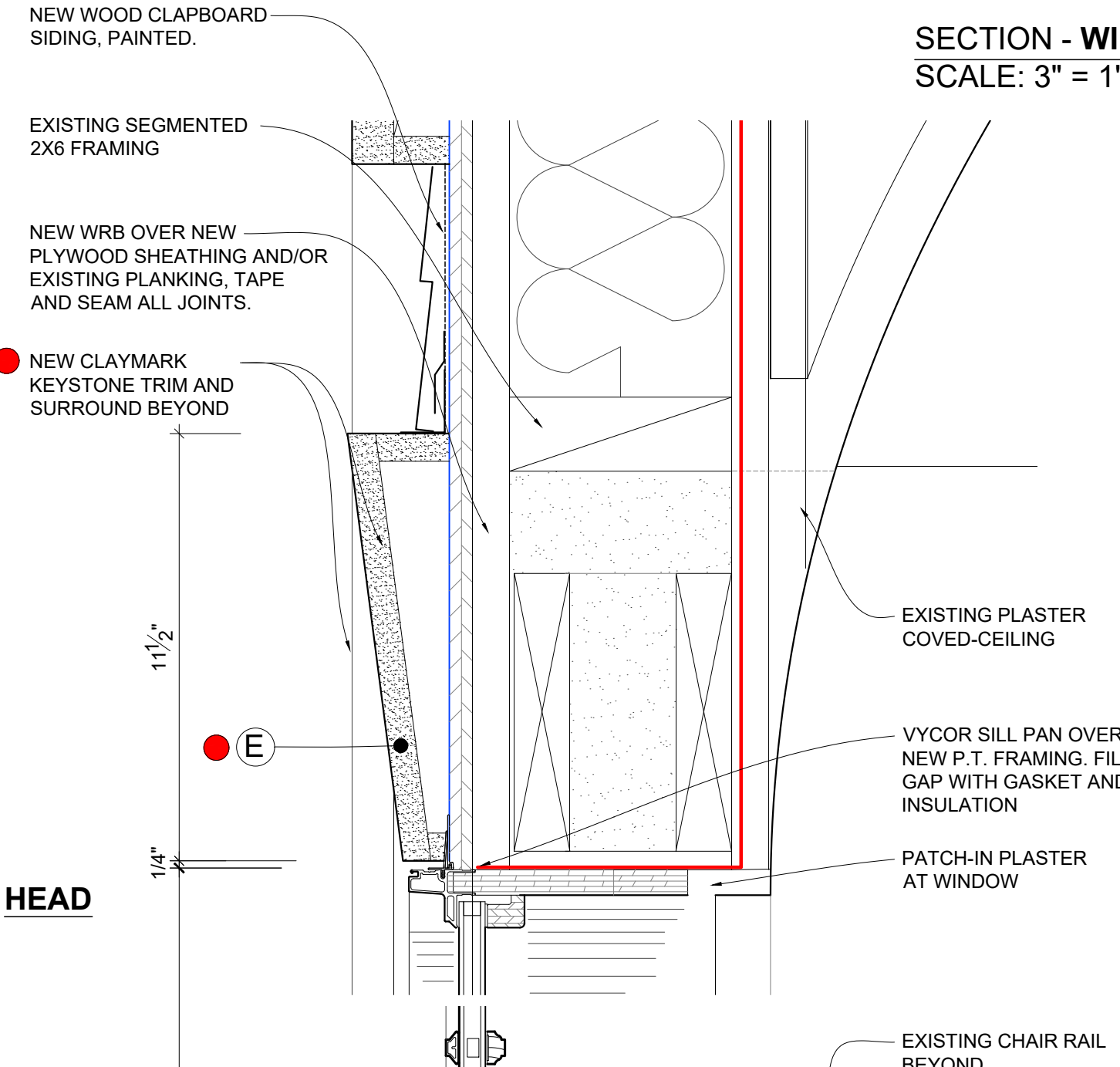
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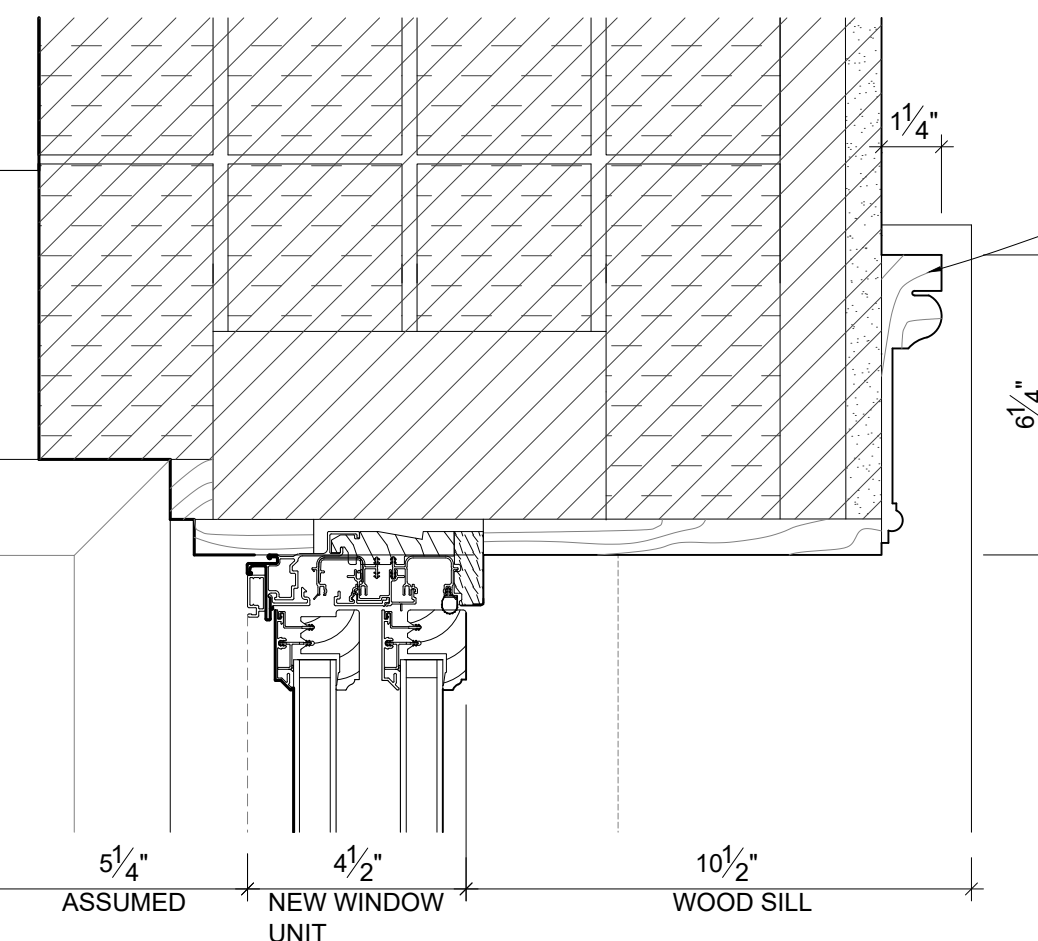
INTERIOR ELEVATION - WINDOW TYPE B:  
OCULUS - EXISTING  
SCALE: 1" = 1'-0"



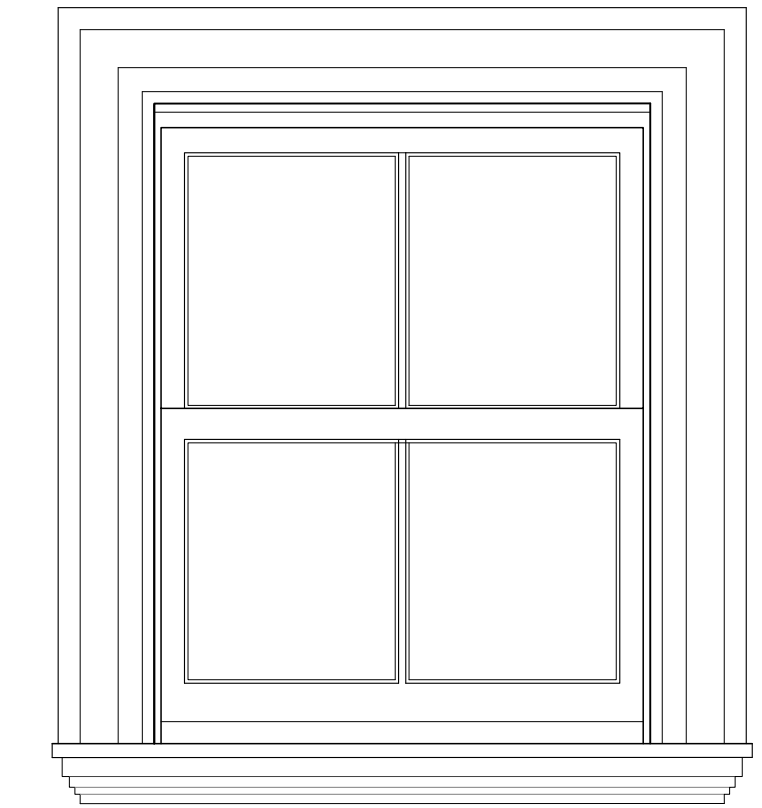
EXTERIOR ELEVATION - WINDOW TYPE B:  
OCULUS - EXISTING  
SCALE: 1" = 1'-0"



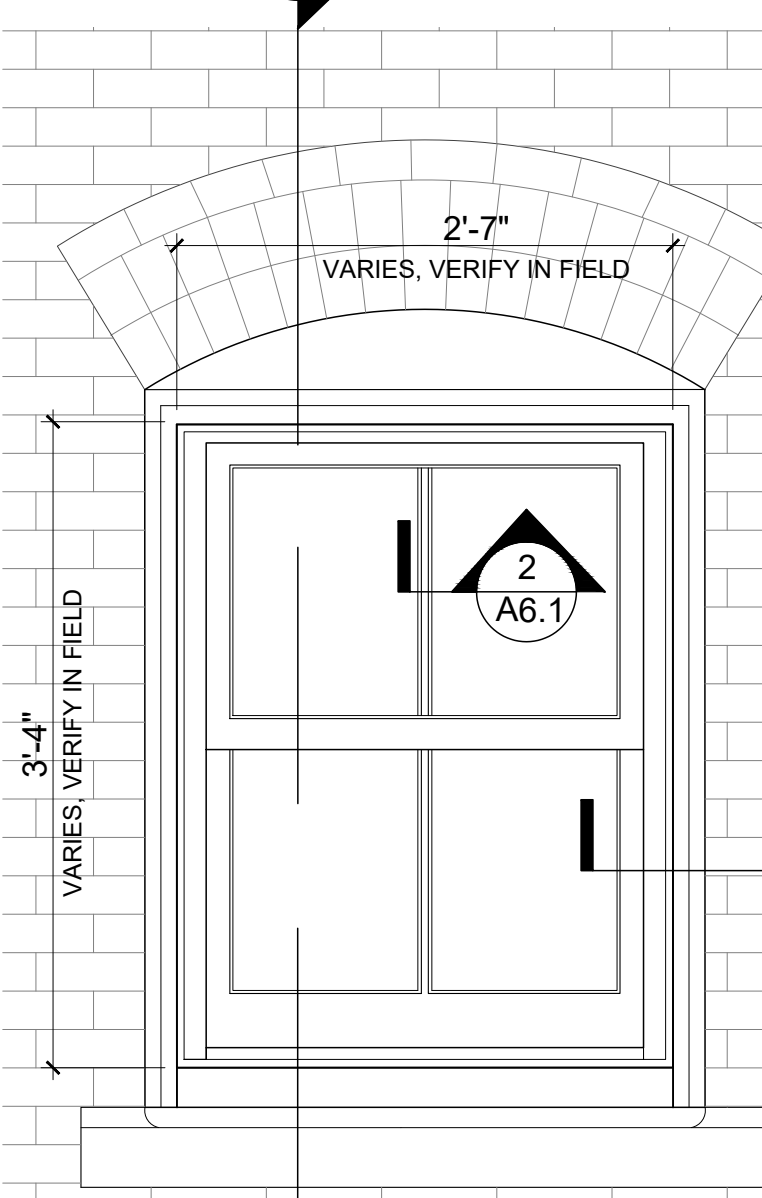
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SCALE: 3" = 1'-0"



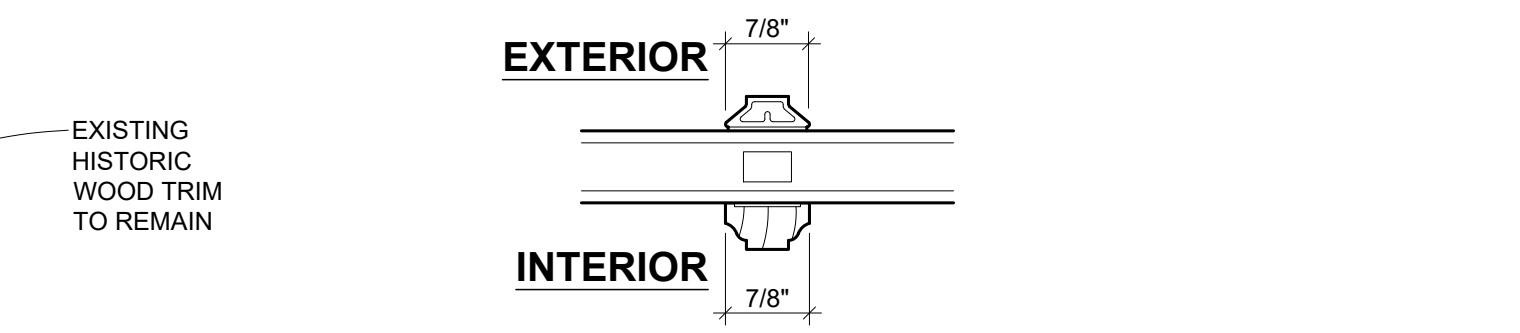
SECTION - WINDOW TYPE A: TYPICAL JAMB - PROPOSED  
SCALE: 3" = 1'-0"



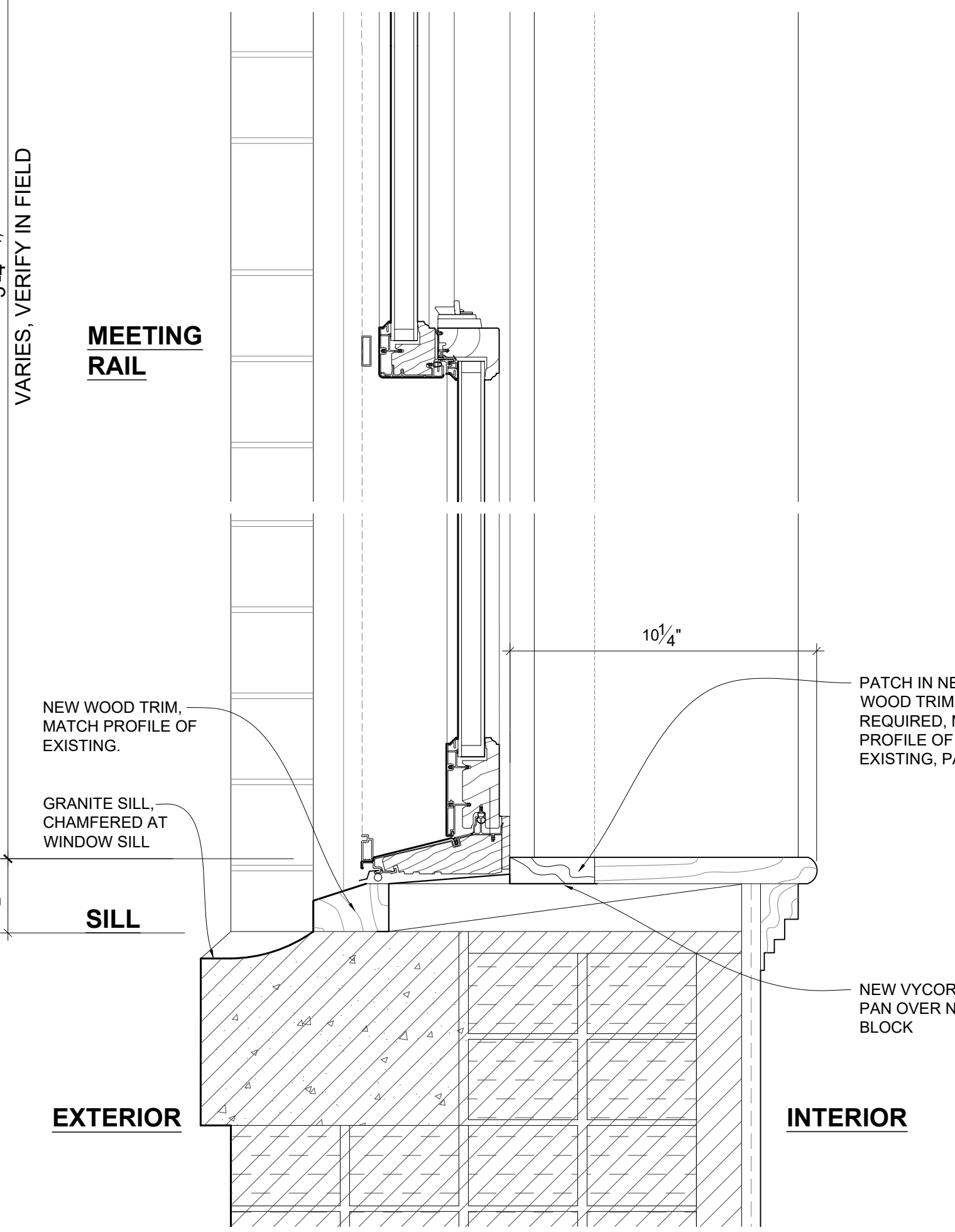
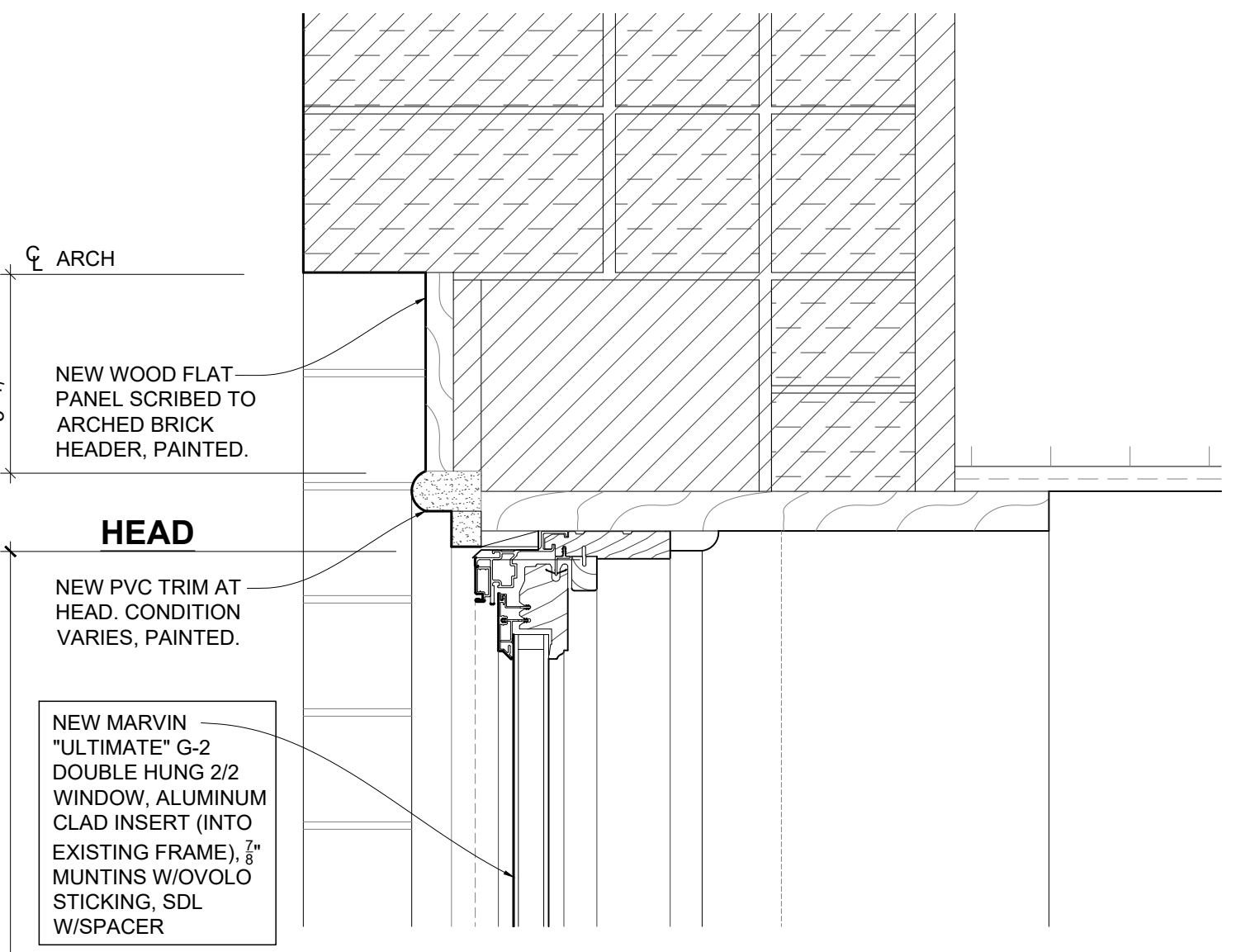
INTERIOR ELEVATION - WINDOW TYPE A:  
2/2 DOUBLE HUNG WINDOW - PROPOSED  
SCALE: 1" = 1'-0"



EXTERIOR ELEVATION - WINDOW TYPE A:  
2/2 DOUBLE HUNG WINDOW - PROPOSED  
SCALE: 1" = 1'-0"



SECTION - ALL WINDOWS: TYPICAL MUNTIN - PROPOSED  
SCALE: 6" = 1'-0"



SECTION - TYPE A: DOUBLE HUNG WINDOW - PROPOSED  
SCALE: 3" = 1'-0"



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NEW BEDFORD, MA 02740  
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DATE: 05.30.2024  
REVISED:

WINDOWS  
-  
PROPOSED

PHASE II:  
**IIA** 6.1



## Custom Mortar Matching Report

---

**USHG Project:** # 22-082

**Analysis Date:** 7/8/22

**Project:** Strand Theatre

**Client:** Teri Bernert, WHALE

15 Johnny Cake Hill, New Bedford, MA 02740

**Phone:** (508) 264-2648

**Client Requirements:** Match Mortar / Package B

**Mortar Dating:** 1910

**Location/Function in Building:** Chimney Mortar

---

### INTRODUCTION

The findings and recommendations presented in this report are premised on the results of tests performed on three mortar samples delivered to our laboratory on July 7<sup>th</sup> 2022.

The scope of testing was limited to the determination of the physical mix proportions of the major ingredients used in the mortar samples. The testing included visual examination, both with and without magnification, as well as analysis of the aggregate color, particle shape and grain size distribution.

The sample's physical characteristics, original date of construction, and guidelines from the U.S. Department of the Interior National Park Service were used to determine the proposed mortar component recommendations as well as the aggregate ratios for the replacement mix.

U.S. Heritage Group interpreted and adjusted the proposed mortar formulation recommendation based on the information provided to us regarding: current site conditions; present condition and type of masonry; the function of the new mortar; and the degree of weather exposure. Assuming the sample provided is representative of the original mortar, the analysis and mortar-matching diagnosis detailed in this report here will give a reliable indication of the original ingredients and allow U.S. Heritage Group to recommend a historically correct mortar formulation for your project.

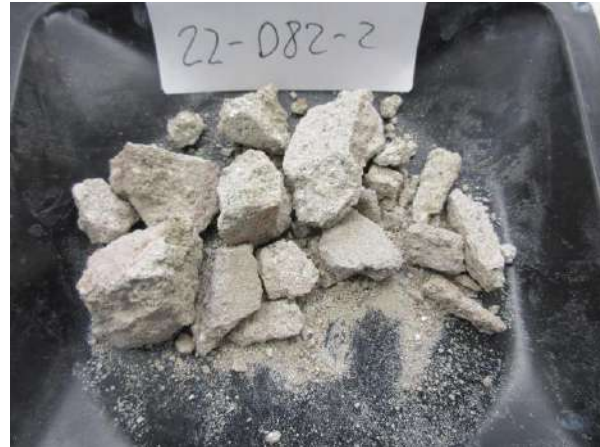


## SAMPLES

The exact dating of analyzed mortars are unknown.

The samples were identified in our laboratory as:

1) #22-082-1 Strand Theatre – North Chimney Elevation 2) #22-082-2 Strand Theatre – South Chimney Elevation



3) #22-082-3 Strand Theatre – East Chimney Elevation



## PRELIMINARY TESTING

Samples were similar in color and texture which suggests they represent similar mixes. Samples received consisted of several pieces of cured mortar. Total samples weight and the size of largest piece of mortars were measured and indicated:

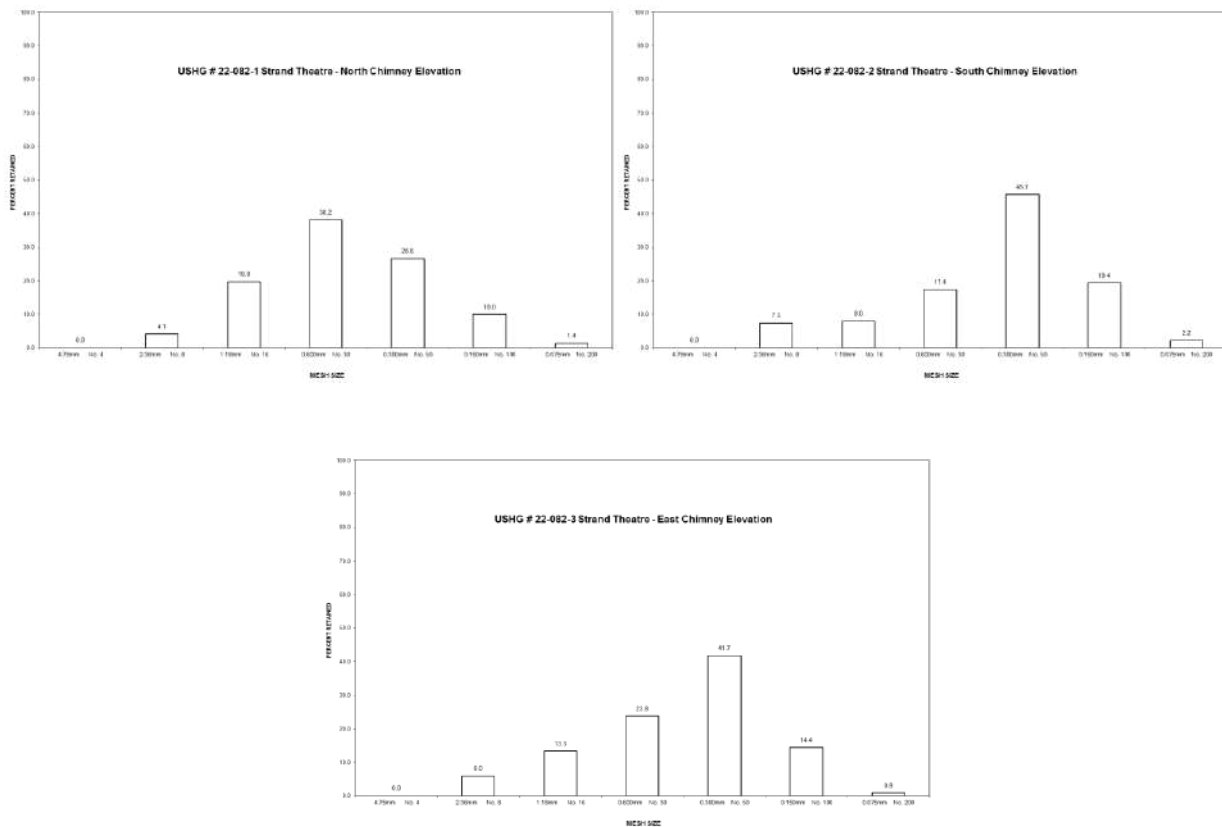
Sample	#22-082-1 Strand Theatre – North Chimney Elevation	#22-082-2 Strand Theatre – South Chimney Elevation	#22-082-3 Strand Theatre – South Chimney Elevation
Weight	39.4 g	54.9 g	55.7 g
Dimensions	3" x $\frac{5}{8}$ " x $\frac{7}{16}$ "	1" x $\frac{9}{16}$ " x $\frac{7}{8}$ "	1 $\frac{7}{8}$ " x $\frac{3}{4}$ " x 1 $\frac{5}{8}$ "

Next, we compared the samples against other mortars of a similar age and appearance by measuring their relative compressive strength. Samples 22-082-1 and sample 22-082-3 exhibited high resistance during the direct pressure testing procedures. This suggests the formulation is based on a hydraulic component. 22-082-2 exhibited low compressive strength which indicates no hydraulic components.

## AGGREGATE ANALYSIS

Next, we crushed each sample and chemically removed the binder from the aggregate using a dilute acid solution. After drying the aggregate, we viewed it under 40X magnification to determine the characteristics of the particles. A sieve separation process established the distribution of aggregate particles by a percent of total weight. We prepared a gradation charts to graphically display the color, shape and size of the aggregate particles. The aggregate sieve sizes requisite in ASTM C144 meet ASTM E11 specification requirements.

The sand weight retained on each testing sieve was as follows:



Based on the particle color and shape similarities it appears that all three mortars were likely made using sand from same area. Variation in sand gradation is normal for natural sand and suggests different time of sand extraction. Original sands extracted for all samples are classified as coarse-sized aggregates

<b>Samples:</b>	<b>#22-082-1 Strand Theatre – North Elevation Chimney</b>	<b>#22-082-2 Strand Theatre – South Elevation Chimney</b>	<b>#22-082-3 Strand Theatre – East Elevation Chimney</b>
<b>Testing Sieve Size</b>	<b>% of sand retained</b>		
4.75mm, No. 4	0.0	0.0	0.0
2.36mm, No. 8	4.1	8.1	6.0
1.18mm, No. 16	19.8	8.7	13.3
600micro, No. 30	38.2	19.1	23.8
300micro, No. 50	26.6	50.2	41.7
150micro, No. 100	10.0	11.5	14.4
75micro, No. 200	1.4	2.4	0.8
<b>Total sand weight</b>	<b>100%</b>	<b>100%</b>	<b>100%</b>

## BINDER TO AGGREGATE RATIO

The binder percentage in each mortar sample was established and found to be in the range from just below 40% (39.8%) for sample 22-082-2 to just below 50% (49.3%) for sample 22-082-3 which is considered as a slightly binder rich formulation. The results are quite similar for all mortar samples. This factor was considered in the evaluation of the proposed replacement formulation.

<b>Sample</b>	<b>#19-025-1 – GLWACH, Bldg. #310 - #1 East</b>	<b>#19-025-2 – GLWACH, Bldg. #310 - #2 East</b>	<b>#19-025-3 – GLWACH, Bldg. #310 - #3 South</b>
<b>Binder</b>	46.7%	39.8 %	49.3%
<b>Aggregate</b>	53.3%	60.2 %	50.7%

## SUMMARY OF TEST RESULTS

Direct pressure testing indicates high compressive strength for samples #22-082-1 Strand Theatre – North Chimney Elevation and 22-082-3 Strand Theatre – East Chimney Elevation, and low compressive strength for sample 22-082-2 . The material reaction noted during chemical wet process indicated a hydraulic component for sample 22-082-1 and 22-082-3 and no hydraulic component for 22-082-2. This suggests samples 22-082-1 and 22-082-3 consist of Portland cement, non-hydraulic hydrated lime and sand while 22-082-2 consisted of lime putty and sand.



## **PROPOSED REPLACEMENT MIX**

In light of these findings and the intended use of the replacement material, U.S. Heritage Group recommends specifying a replication mortars formulation for sample 22-082-1 – North Chimney Elevation consisting of:

1 part portland cement, 1 part non-hydraulic hydrated lime and 6 parts sand

For sample 22-082-2 – South Chimney Elevation consisting of:

1 part lime putty and 2.5 parts sand

And for sample 22-082-3 – East Chimney Elevation consisting of:

1 part portland cement, 2 part non-hydraulic hydrated lime and 8 parts sand

This mix design is specified under the classification “Type N” and “Type O” in ASTM C270. The portland cement should meet ASTM C150; the non-hydraulic hydrated lime should meet Type S in ASTM C207; and the sand should match the original sand as closely as possible in terms of color, size, shape and gradation.

*Note: If the masonry substrate is confirmed to be extremely friable, extra soft in compression, or has an elevated rate of absorption calculation - than a more breathable mortar mix design should be specified. Type N mortars are not recommended for soft brick and stone. More information about the masonry substrate is needed in order to specify an alternative mix design if required.*

## **JOBSITE MOCK-UP SAMPLE**

The replacement mortar samples should be field-tested through a jobsite mock-up. The mock-up sample should be installed by a qualified craftsperson who understands the curing and application details of traditional mortars. Once the mock-up sample is installed, appropriate precautions should be taken to ensure that the mortar is protected from wind, sun, rain and frost to enable slow curing (i.e. carbonation) to take place.

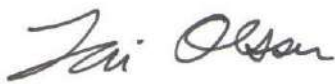
The sample should be allowed to cure in the wall for a minimum of seven days before final color match is approved. Please see the U.S. Heritage Group guidelines on installation procedures of Type N, Type O and lime putty mortar formulations.

Thank you for seeking our advice and entrusting these important details to U.S. Heritage Group. We are always available to discuss these findings with you in detail. Please contact me directly at 773-286-2100 if you have any questions.

We look forward to providing you with a custom, ready-to-use, historically correct mortar for your project.

Respectfully,

U.S. Heritage Group, Inc.



Tai Olson  
Operations Manager



Ryan Reynolds  
Laboratory Manager

**Note:** This information is held in confidence and becomes a permanent record at the U.S. Heritage Group laboratories located at 2900 North Kearsarge Ave., Chicago, IL 60641. It can be referenced at any time in the future by the property owner named above or by an authorized mason contractor involved with the restoration work. When inquiring about this match please use the project number USHG #22-082.

### **MIXING BY VOLUME - WARNING**

**HYDRATED LIME:** Hydrated lime measured by volume (using a coffee can from a 50# bag) will experience a volumetric loss of 25% after the addition of water. It is essential to increase the proportion of hydrated lime by 25% to ensure the mix design will meet specification requirements.

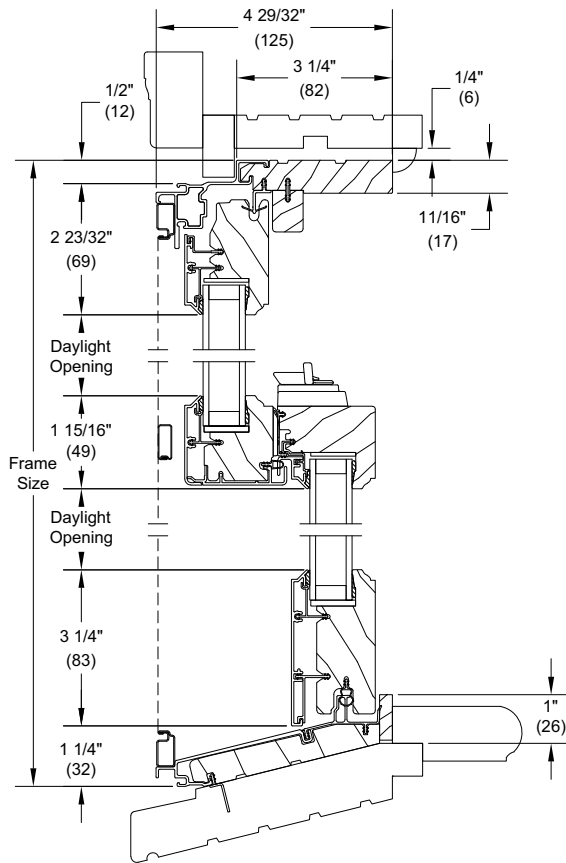
**SAND:** The bulk density of sand can change dramatically depending on the amount of water in the material. The change between dry and damp sand can be as much as 25% to 30% by volume. Sand should always be measured in damp loose condition.

**Reference:** ASTM C270, Standard Specification for Mortar for Unit Masonry states that the "Aggregate Ratio (Measured in Damp, Loose Conditions)".

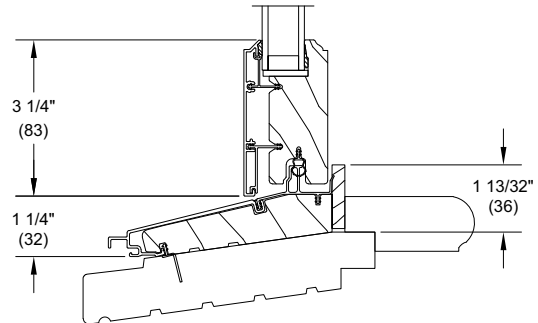
**PORTLAND CEMENT:** There is no volumetric change in the use of portland cement.

**Section Details: Operating**

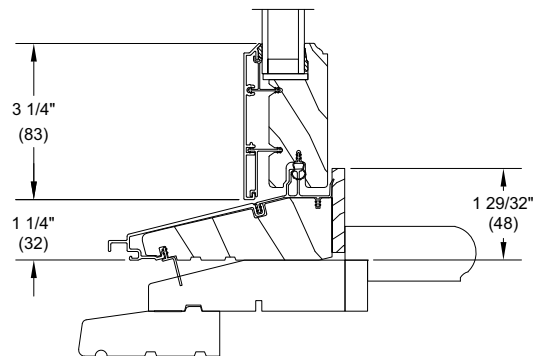
Scale: 3" = 1' 0"



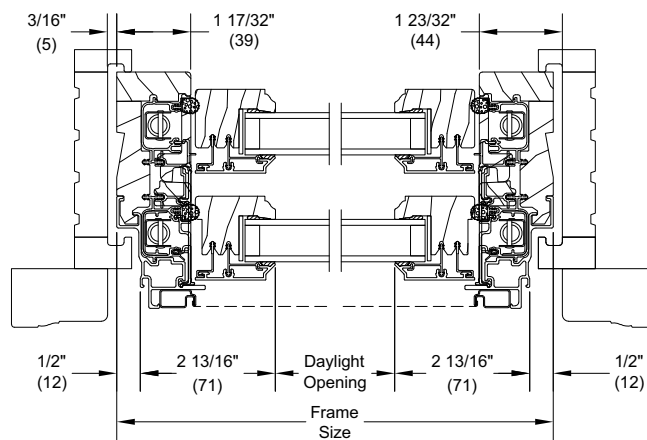
**14 Degree Bevel Sill Option**  
Installed in existing frame



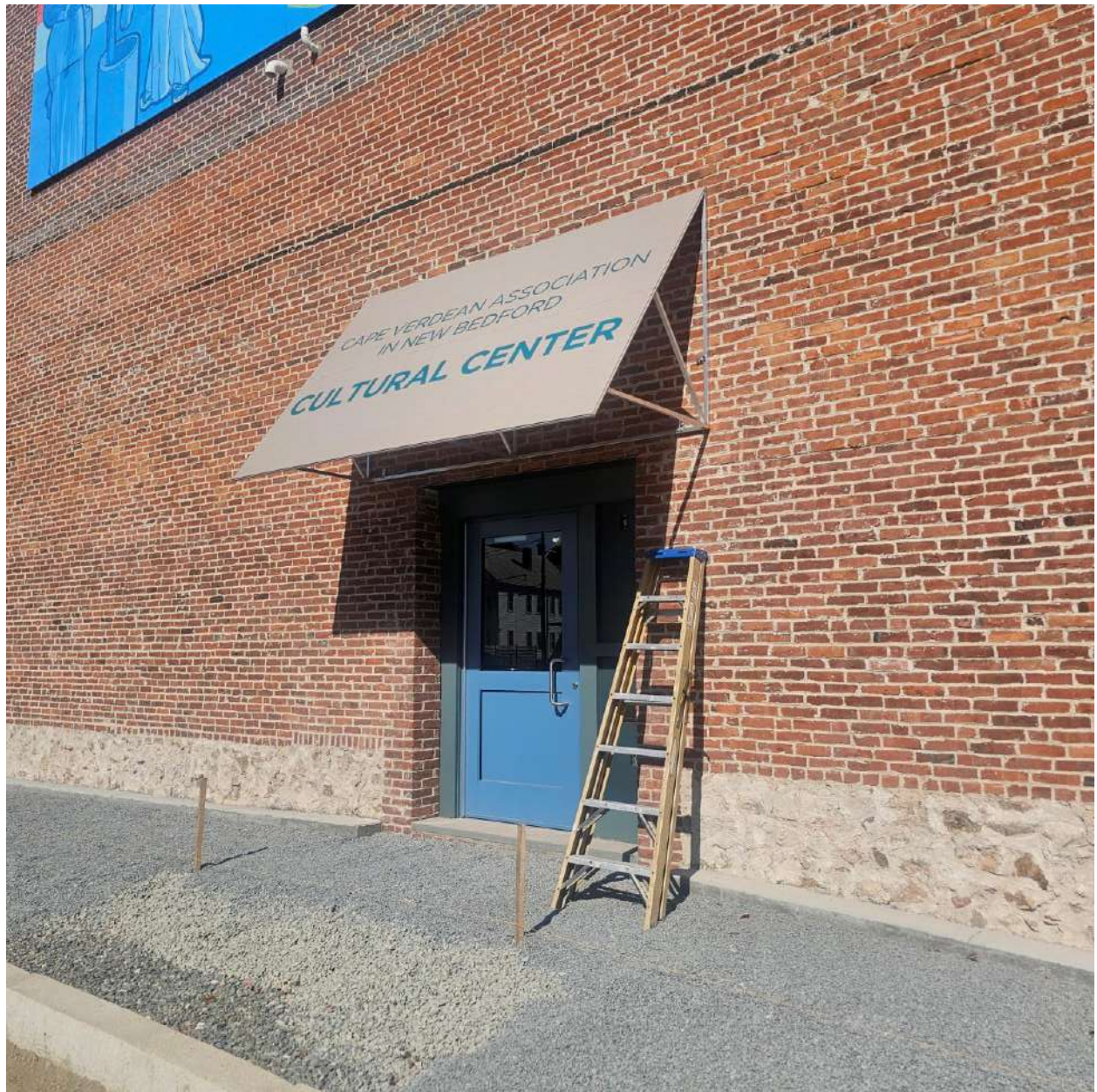
**8 Degree Bevel Sill Option**  
Installed in existing frame



**0 Degree Bevel Sill Option**  
Installed in existing frame



**Jamb**  
Installed in existing frame

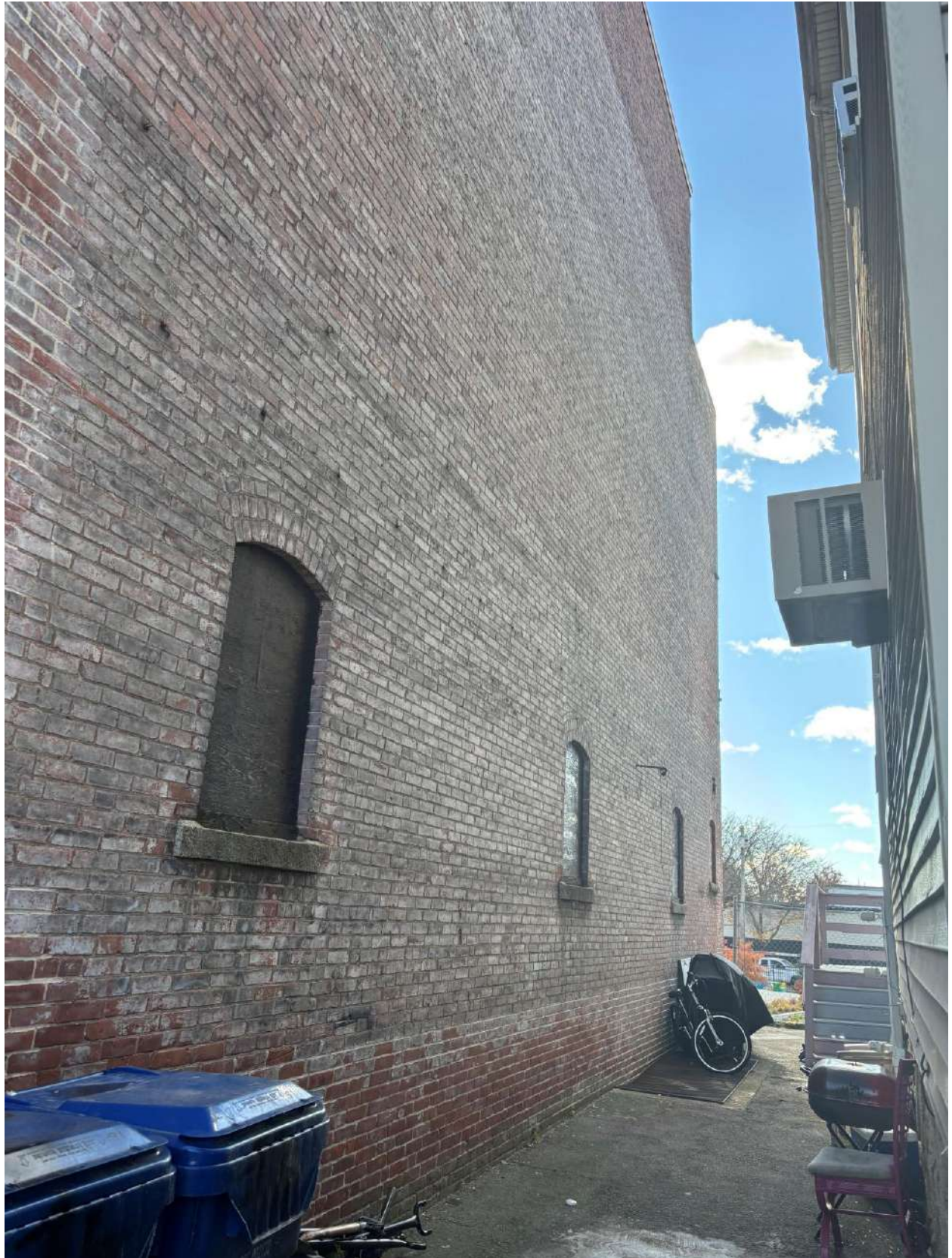
















# Historic Building Detail: NBE.2798

## Strand Theater

<b>MHC ID</b>	NBE.2798 <a href="#">MACRIS Maps for NBE.2798</a>   Inventory: 
<b>Historic Name</b>	Strand Theater
<b>Common Name</b>	Vien Theater - Lowes Center Theater
<b>Street Address</b>	1157 Acushnet Ave
	-
<b>City/Town</b>	New Bedford
<b>Village/Neighborhood</b>	North End;
<b>Local Number</b>	-
<b>Year Constructed</b>	1910
<b>Architects</b>	Fuller and Delano;
<b>Architectural Styles</b>	No style;
<b>Uses</b>	Abandoned or Vacant; Theater;
<b>Significance</b>	Architecture; Commerce; Performing Arts; Recreation;
<b>Areas</b>	<a href="#">NBE.AS</a> Inventory: 
<b>Designations</b>	-
<b>Building Materials Roof</b>	Asphalt Shingle;
<b>Building Materials Wall</b>	Brick; Metal, Undetermined; Plaster; Stucco; Wood;
<b>Building Materials Foundation</b>	Poured Concrete;
<b>Demolished</b>	No







**The Commonwealth of Massachusetts**  
William Francis Galvin, Secretary of the Commonwealth  
Massachusetts Historical Commission

August 12, 2019

Raquel Dias  
Cape Verdean Association of New Bedford, Inc.  
P. O. Box 5532  
New Bedford, MA 02742

RE: Massachusetts Historic Rehabilitation Tax Credit Application, Strand Theater, 1157 Acushnet Avenue,  
New Bedford, MA; MHC# HRC.914

Dear Ms. Dias:

The Massachusetts Historical Commission (MHC) has reviewed your application for the Massachusetts Rehabilitation Tax Credit for the above referenced property.

The Massachusetts Historical Commission (MHC) has reviewed your application for the Massachusetts Rehabilitation Tax Credit. The information that you have submitted with your Part 1 application is complete in accordance with the regulations (830 CMR 63.38R.1). This letter constitutes the "initial certification" (830 CMR 63.38R.1(4)(a)). The MHC has determined that the subject property meets the definition of a "qualified historic structure" for the purposes of the Massachusetts Rehabilitation Tax Credit program.

The MHC understands sections of the existing stucco on the front façade were removed to determine if historic materials, such as original clapboards or trim, were extant under the stucco. The MHC understands that no visible extant original clapboards or trim were found within the exploratory window; the only original material appears to be the original sheathing.

Based on the documentation submitted to MHC, very little original exterior materials remain. These materials include the southern set of fire doors (the doors themselves, not the trim) and molding located directly overhead the recessed front entry. The interior of the building does retain many of the original spaces and materials. The stage, proscenium arch, loges, balcony, and ornamental plaster ceiling are still extant, and the open volume of the auditorium remains open.

Please do not hesitate to contact Elizabeth Sherva of my staff, should you have any questions.

Sincerely,

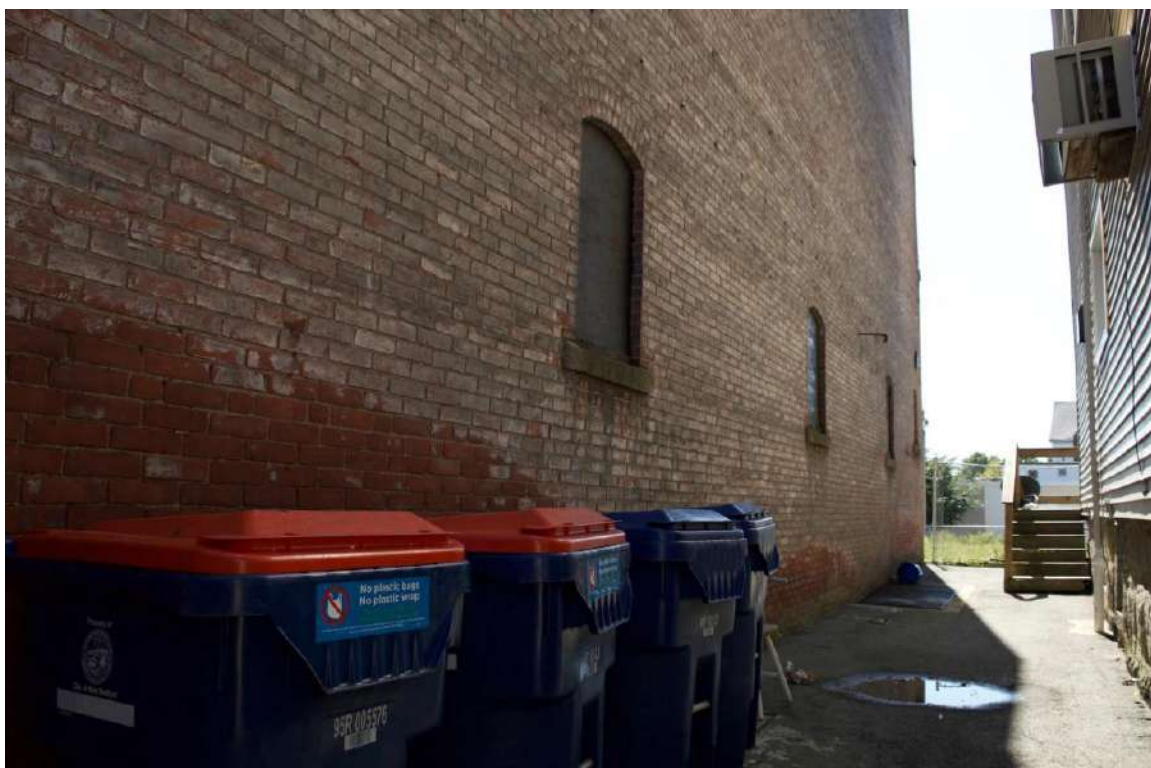
A handwritten signature in cursive script that reads "Brona Simon".

Brona Simon  
Executive Director  
State Historic Preservation Officer  
Massachusetts Historical Commission

xc: Teri Bernert, WHALE  
Anne Louro, New Bedford Historical Commission

## —Photo Book

Strand Theater  
1157 Acushnet Avenue  
New Bedford, MA 02746



1. Exterior west elevation windows, facing S E.



2. Interior west elevation window, facing W.



3. Exterior north elevation newer emergency egress doors, facing S

## —Photo Book

Strand Theater  
1157 Acushnet Avenue  
New Bedford, MA 02746



Interior north elevation newer emergency egress doors, facing N.



Exterior north elevation original emergency egress doors, facing S



Interior north elevation new emergency egress doors, facing N.



Exterior north elevation original emergency egress doors, facing S.





155 East Grove Street • Post Office Box 649  
Middleborough, MA 02346

ROBERT M. DESROSIER, P.E.

Consulting Engineer

508-946-3561

Fax 508-946-1653

December 3, 2018

**Project No. 2018-299**

Kathryn Duff, RA  
studio2sustain, inc.  
412 County Street  
New Bedford, MA 02740

**Re: Preliminary Inspection and Evaluation of the Strand Theater Located at  
1157 Acushnet Avenue, New Bedford, MA**

Ms. Duff:

You asked me to conduct a preliminary inspection and evaluation of the referenced structure with respect to its overall condition. I understand that you are in the process of evaluating the structure for adaptive re-use. On Tuesday, October 30, 2018, I visited the site to conduct a walk-through inspection. This inspection was preliminary in nature and was intended only to observe the general configuration of the primary structural systems and their overall condition.

The building, constructed circa 1896, is primarily a brick masonry bearing wall structure measuring approximately 60' by 90'. It was purpose-built for use as a theater. The north and south side walls, as well as the west rear wall are composed of multiple wythes of running bond-laid red clay brick. The wall thickness appears to start at five wythes and tapers as it meets incidental floor and roof framing above. The front façade of the building is a curtain wall that is framed with dimensional lumber. The main roof of the building is a flat roof composed of spruce board decking that spans between support lines. The main supports consist of riveted 8' foot deep steel bridge trusses that span from brick wall to brick wall. These trusses directly support the roof decking and also provide support for intermediate supports consisting of timber purlins. The purlins bear on timber diagonals that in turn bear upon the steel trusses at the panel points. The plaster ceiling framing of the theater space below is supported by being hung from the steel roof trusses.

The theater has a steeply sloping balcony assembly that is framed from dimensional lumber and is substantially supported by an interior bearing wall at the rear of the theater seating and by some sort of steel beam or truss arrangement on the stage side that could not be observed without destructive testing. The stage and fly areas of the theater have some substantial wood framed platforms that form the upper works of the stage and support the fly workings. These are all framed with heavy timber sections. The roof over the back stage area is elevated well above the roof of the balance of the building.

In general, the building is in surprisingly good condition. The interior and exterior of the exposed brick bearing walls reveal them to be in very good condition. There are a couple of areas where persistent water infiltration caused some degradation of the mortar and spalling of the brick faces, but these are isolated. The roof planking and timbers appear to be in good condition. The steel bridge trusses appear to be in very good condition. There was no observable evidence of structural distress in any of the principle building components. Overall, the primary elements of the structure and the building envelope are intact and offer a solid basis for ongoing use of the building. Additional, in-depth structural inspection should be included in the development of the building to provide a detailed review of use-specific conformance with current codes.

If you have any questions regarding this report, or if you require additional information, please do not hesitate to call.

Very Truly Yours,

**Robert M. Desrosiers, P.E., M. ASCE**

