



CITY OF NEW BEDFORD  
COMMUNITY PRESERVATION ACT FY26  
PROJECT APPLICATION

PROJECT INFORMATION			
PROJECT TITLE	VERDEAN VETS HALL RESTORATION 2026		WARD 4
PROJECT LOCATION	561 PURCHASE STREET, NEW BEDFORD, MA		
LEGAL PROPERTY OWNER OF RECORD	VERDEAN VETERANS MEMORIAL FOUNDATION INC.		
CPA PROGRAM CATEGORY <i>(Select relevant categories for your project)</i>	<input type="checkbox"/> OPEN SPACE		<input checked="" type="checkbox"/> HISTORIC RESOURCE
	<input type="checkbox"/> RECREATION		<input type="checkbox"/> HOUSING
ESTIMATED START DATE	SPRING 2026	ESTIMATED COMPLETION DATE	12.31.2026

PROJECT APPLICANT			
APPLICANT ORGANIZATION NAME	VERDEAN VETERANS MEMORIAL FOUNDATION INC.		
APPLICANT IS <i>(Check only one)</i>	<input type="checkbox"/> CITY DEPARTMENT	<input checked="" type="checkbox"/> NON-PROFIT	<input type="checkbox"/> PRIVATE GROUP/CITIZEN
CO-APPLICANT ORGANIZATION NAME <i>(If applicable)</i>			
CO-APPLICANT IS <i>(Check only one)</i>	<input type="checkbox"/> CITY DEPARTMENT	<input type="checkbox"/> NON-PROFIT	<input type="checkbox"/> PRIVATE GROUP/CITIZEN
PROJECT CONTACT PERSON	Lee Andrews-Tavares		
MAILING ADDRESS <i>(INCLUDE ZIP CODE)</i>	561 Purchase Street, New Bedford, MA		
TELEPHONE NUMBER	508.612.9286	EMAIL:	

PROJECT FUNDING		
CPA FUNDING REQUEST <i>(must match CPA request-line 1 of Project Budget on page 8)</i>	\$ 160,000.00	
TOTAL PROJECT BUDGET	\$ 263,334	

SIGNATURES		
I/we attest that all information provided in this entire submission is true and correct to the best of my/our knowledge and that no information has been excluded which might reasonably affect funding. I/we authorize the Community Preservation Committee and/or the City of New Bedford to obtain verification from any source provided. I/we acknowledge and agree that a permanent restriction may be placed on the property as a condition of funding.		
APPLICANT NAME (printed) Lee Andrews-Tavares	SIGNATURE 	DATE 11.12.25
CO-APPLICANT NAME (printed)	SIGNATURE	DATE

## Submission Checklist

The following items must be organized on your submitted flash drive in folders named for each applicable section below (e.g., Application, Financial, etc.). Please check each item on this list if it is included in your submission packet. **Note: not all items will apply to each project.**

<b>APPLICATION – All items in this section are required</b>	
<input type="checkbox"/>	Application Information (page 1)
<input type="checkbox"/>	Submission Checklist (this page)
<input type="checkbox"/>	Narrative/Project Management/Category Specific Section/Financial (pages 3-7)
<input type="checkbox"/>	Project Schedule – Project Budget – Funding Sources Summary (page 8)
<input type="checkbox"/>	Construction Budget Summary – to be complete for construction projects ONLY (page 9)
<input type="checkbox"/>	Certificate of Vote of Corporation and Tax Compliance Certification (page 10) must be completed by both applicant and co-applicant if non-municipal applicant. The form must be completed by authorized board member. *Certificate of Vote named person must be different person from signer of the certificate.
<b>FINANCIAL</b>	
<input type="checkbox"/>	One cost estimate from an architect <b>OR</b> two written vendor/contractor quotes ( <b>Quotes/cost estimates must be submitted with application – late submissions will not be accepted</b> )
<input type="checkbox"/>	Proof of secured funding (commitment letters or bank statements), if applicable. <b>Please redact account numbers and any sensitive information.</b>
<b>OWNERSHIP/OPERATION (NON-CITY)</b>	
<input type="checkbox"/>	If the applicant is not the owner, attach documentation of site control or written consent of owner to undertake the project. <i>Applications will not be reviewed without this documentation.</i>
<input type="checkbox"/>	Board of Directors listing
<input type="checkbox"/>	Certificate of Good Standing – available at MA Secretary of State website
<input type="checkbox"/>	501(c) certification (if operating as a non-profit) or corporate certificate
<input type="checkbox"/>	Purchase & Sale agreement or copy of current recorded deed, if applicable.
<b>COMMUNITY SUPPORT</b>	
<input type="checkbox"/>	Letters of support from residents, community groups, city departments, boards or commissions, etc.
<b>PLANS &amp; REPORTS</b> <i>If applicable to your project, please submit in digital format only.</i>	
<input type="checkbox"/>	Renderings, site plans, engineering plans, design/bidding plans, specifications, and any MAAB variance requests.
<input type="checkbox"/>	Applicable reports (21E, Historic Structure Report, appraisals, survey plan, feasibility studies, etc.)
<b>VISUAL</b> <i>If applicable to your project, please submit in digital format only.</i>	
<input type="checkbox"/>	Photos of the project site (not more than four views per site) Digital copies <u>only</u> .
<input type="checkbox"/>	Catalog cuts (i.e. recreation equipment) if applicable.
<b>FOR HISTORIC RESOURCE PROJECTS ONLY</b>	
<input type="checkbox"/>	Documentation stating the project is listed on the State Register of Historic Places or a written determination from the New Bedford Historical Commission that the resource is significant in the history, archeology, architecture, or culture of New Bedford.
<input type="checkbox"/>	Photos documenting the condition of the property/resource. Digital copies <u>only</u> .
<input type="checkbox"/>	Report or condition assessment by a qualified professional describing the current condition of the property/resource, if available.
<input type="checkbox"/>	I/We have read the <b>U.S. Secretary of the Interior's Standards for the Treatment of Historic Properties</b> and understand that planning for and execution of this project must meet these standards.

# PROJECT NARRATIVE

## **1 GENERAL NARRATIVE (1000 Character Maximum)**

- *Describe the proposed scope of work including the project location, property involved, and the proposed use*

## **2 COMMUNITY NEED (1000 Character Maximum)**

- *What community need(s) listed in the current CPA Plan will this project address? How does the project benefit the public and what populations(s) will it serve? If it serves a population currently underserved, please describe.*

## **3 GOALS & OBJECTIVES (1000 Character Maximum)**

- *Describe the project's goals and objectives. The objectives must be specific, measurable, achievable and realistic.*
- *How does the project meet the general and category-specific priorities outlined in the current Community Preservation Plan?*

**4 MEASURING SUCCESS (1000 Character Maximum)**

- *How will the success of this project be measured?*

**5 COMMUNITY SUPPORT (1000 Character Maximum)**

- *Explain the level of community support this project has received. If possible, please include letters of support from any groups or individuals who have endorsed this project.*

**6 CRITICAL NEED (1000 Character Maximum)**

- *Is this project of an urgent nature?*
- *Is there a deadline or factors not controlled by the applicant (i.e. opportunity for immediate acquisition, opportunity to leverage available non-CPA grant or other financial opportunity)?*
- *For historic resource applications only, is the property at risk for irreparable loss? If so, please include a condition assessment from a qualified professional if available.*

# PROJECT MANAGEMENT

## ① APPLICANT INFORMATION (1000 Character Maximum)

- *Describe applicant. Is applicant a public entity, private non-profit, private for-profit, an individual, a partnership, or another type of entity? What is the history and background of the applicant?*
- *Identify and describe the roles of all participants (applicants, architects, contractors, etc.) including the project manager.*
- *Describe any past projects of similar type and scale, or experience that demonstrates the applicant's ability to carry out this project.*

## ② PROJECT FEASIBILITY (1000 Character Maximum)

- *List and explain further actions or steps required for completion of the project, such as environmental assessments, zoning or other permits and approvals, agreement on terms of any required conservation, affordability or historic preservation agreements, subordination agreements, and any known or potential barriers or impediments to project implementation.*

## ③ PROJECT MAINTENANCE (1000 Character Maximum)

- *Please explain the long-term maintenance plan for the completed project.*

## COMPLETE FOR HISTORIC RESOURCE PROJECTS ONLY

### CPA Compliance (1000 Character Maximum)

- *Describe how the proposed project complies with the [U.S. Secretary of the Interior's Standards for Rehabilitation](#), as required by the CPA legislation under the definition of rehabilitation.*
- *Describe how the applicant will ensure compliance with these standards as the project is ongoing, i.e., hiring of a consultant.*

## COMPLETE FOR PROJECTS WITH ACCESSIBILITY REQUIREMENTS ONLY

### CPA Compliance (500 Character Maximum)

- *Describe how the proposed project complies with the [ADA/MAAB Regulations](#).*

## COMPLETE FOR COMMUNITY HOUSING PROJECTS ONLY

### CPA Compliance (500 Character Maximum)

- *Describe how the proposed project complies with CPA affordability requirements (100% of AMI for New Bedford)*
- *Describe the number and types of units (e.g.: 1br, 2br).*
- *Provide a complete Development Budget and an Operating Budget (for rental properties).*

## PROJECT FINANCIAL INFORMATION

### 1 FINANCIAL INFORMATION (2000 Character Maximum)

- *Describe all successful and unsuccessful attempts to secure funding and/or in-kind contributions, donations, or volunteer labor for the project. A bullet point list is acceptable.*
- *Will the project require CPA funding over multiple years? If so, provide estimated annual funding requirements.*
- *What is the basis for the total CPA request?*
- *How will the project be affected if it does not receive CPA funds or receives a reduced amount?*

## PROJECT SCHEDULE – PROJECT BUDGET – FUNDING SOURCE SUMMARY

### PROJECT SCHEDULE

Please provide a project timeline below, noting all project milestones. Please note the City Council must approve all appropriations of CPA funds. Grant funding will not be available for disbursement until after July 1, 202.

	ACTIVITY	ESTIMATED DATE
PROJECT START DATE:		
PROJECT MILESTONE:		
50% COMPLETION STAGE:		
PROJECT MILESTONE:		
PROJECT COMPLETION DATE:		

### PROJECT BUDGET

Please include an **itemized budget** of all project expenses. Note: CPA funds cannot be used for maintenance. If the project received CPA funds in another fiscal year, please include this amount on a separate line, not on line 1.

FUNDING SOURCES	EXPENSES				
	STUDY	SOFT COSTS*	ACQUISITION	CONSTRUCTION**	TOTAL
1 NEW BEDFORD CPA FY26***	\$	\$	\$	\$	\$
2	\$	\$	\$	\$	\$
3	\$	\$	\$	\$	\$
4	\$	\$	\$	\$	\$
5	\$	\$	\$	\$	\$
6	\$	\$	\$	\$	\$
7	\$	\$	\$	\$	\$
<b>TOTAL PROJECT COSTS</b>	<b>\$</b>	<b>\$</b>	<b>\$</b>	<b>\$</b>	<b>\$</b>

\* Soft costs include design, professional services, permitting fees, closing costs, legal, etc.

\*\* Construction refers to new construction, rehabilitation, preservation, restoration work, and/or accessibility related expenses.

\*\*\*New Bedford CPA (Line 1) amount should match the amount requested on the application cover page.

### ANTICIPATED FUNDING SOURCE SUMMARY

Please explain the current status of each funding source (i.e., submitting application on X date, applied on X date, received award notification on X date, funds on hand, etc.). For sources where funding has been awarded or funds are on hand, please include documentation from the funding source (e.g., commitment letter, bank statement) in application packet.

	FUNDING SOURCE	STATUS OF FUNDING
1		
2		
3		
4		
5		
6		
7		

**CONSTRUCTION BUDGET****To be completed for construction projects only***If you have a construction budget, it may be submitted in lieu of this page.*

ACTIVITY	CPA FUNDS	OTHER FUNDS	TOTAL
<b>Acquisition Costs</b>			
Land	\$	\$	\$
Existing Structures	\$	\$	\$
Other acquisition costs	\$	\$	\$
<b>Site Work (not in construction contract)</b>			
Demolition/clearance	\$	\$	\$
Other site costs	\$	\$	\$
<b>Construction/Project Improvement Costs</b>			
New Construction	\$	\$	\$
Rehabilitation	\$	\$	\$
Performance bond premium	\$	\$	\$
Construction contingency	\$	\$	\$
Other	\$	\$	\$
<b>Architectural and Engineering (See Designer Fee Schedule for guidance):</b>			
<a href="https://www.mass.gov/files/design_fee_schedule_- dsb_2015_2007.pdf">https://www.mass.gov/files/design_fee_schedule_- dsb_2015_2007.pdf</a>			
Architect fees	\$	\$	\$
Engineering fees	\$	\$	\$
Other A & E fees	\$	\$	\$
<b>Other Owner Costs</b>			
Appraisal fees	\$	\$	\$
Survey	\$	\$	\$
Soil boring/environmental/LBP	\$	\$	\$
Tap fees and impact fees	\$	\$	\$
Permitting fees	\$	\$	\$
Legal fees	\$	\$	\$
Other	\$	\$	\$
<b>Miscellaneous Costs</b>			
Developer fees	\$	\$	\$
Project reserves	\$	\$	\$
Relocation costs	\$	\$	\$
<b>Project Administration &amp; Management Costs</b>			
Marketing/management	\$	\$	\$
Operating/Maintenance	\$	\$	\$
Taxes	\$	\$	\$
Insurance	\$	\$	\$
Other	\$	\$	\$
<b>TOTAL</b>	<b>\$</b>	<b>\$</b>	<b>\$</b>

# COST ESTIMATE

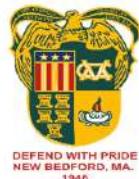


## VERDEAN VETERANS MEMORIAL HALL: UPPER HALL REHABILITATION

Date: 06 November, 2025

Project: VERDEAN VETERANS MEMORIAL HALL REHABILITATION - Upper Hall

Address: 561 Purchase Street, New Bedford MA, 02740



DEFEND WITH PRIDE  
NEW BEDFORD, MA-  
1946

Trade Division	Cost Estimate
<b>0100 General Conditions - Window &amp; Electrical Upgrade:</b>	\$ 4,600.00
<b>0200 Existing Conditions:</b> - Demo existing windows	\$ 2,000.00
<b>0300 Concrete- 0500 Metals:</b> - n/a	\$ -
<b>0600 Woods &amp; Plastics:</b> - Exterior & Interior Panel Trim, Beam Repair	\$ 28,000.00
<b>0700 Thermal &amp; Moisture Protection:</b> - Air Sealing, Re-Wiring, & Insulation	\$ 73,333.75
<b>0800 Doors &amp; Windows:</b> - (12) New Fibreglass Insert Windows in Upper Hall	\$ 22,600.00
<b>0900 Finishes:</b> - Painting	\$ 3,000.00
<b>1000 Specialties:</b> - n/a	\$ -
<b>1100 Equipment:</b> - n/a	\$ -
<b>1200 Furnishings:</b> - n/a	\$ -
<b>2200 Plumbing:</b> - n/a	\$ -
<b>2300 HVAC:</b> - Upper Hall Heating & Air Conditioning, Ventilation	\$ 100,000.00
<b>2600 Electrical:</b> - New Sub-panel	\$ 5,000.00
Cost Estimate - Subtotal:	\$ 238,533.75
Contingency (10%):	\$ 12,400.00
A & E Fees (10%):	\$ 12,400.00
<b>Total - Project Cost Estimate</b>	<b>\$ 263,333.75</b>
<b>Funding Raised To-Date - Eversource Incentives &amp; Rebates</b>	<b>\$ (103,333.75)</b>
<b>TOTAL CPA FY-2026 Request</b>	<b>\$ 160,000.00</b>

412 County Street  
New Bedford, MA 02740  
info@studio2sustain.com  
508 999 5145

# CERTIFICATE OF VOTE OF CORPORATION AUTHORIZING EXECUTION OF CORPORATE AGREEMENTS

At a meeting of the Board of Directors of Verdean Vets Hall Restoration (organization) duly called and held on September 25, 2025 at which a quorum was present and acting throughout, the following vote was duly adopted.

VOTED: That AMILTON TAVARES, SR (person), the PRESIDENT (title) of the corporation, be and hereby is authorized to affix the Corporate Seal, sign and deliver in the name and on behalf of the corporation, contract documents with the City of New Bedford, the above mentioned documents to include but not be limited to Bids, Proposals, Deeds, Purchase and Sales Agreements, Agreements, Contracts, Leases, Licenses, Releases and Indemnifications; and also to seal and execute, as above, surety company bonds to secure bids and proposals and the performance of said contract and payment for labor and materials, all in such form and on such terms and conditions as he/she, by the execution thereof, shall deem proper.

A TRUE COPY, ATTEST:

AMILTON TAVARES, SR

Name (printed)

Amilton Tavares

(Affix Corporate Seal)

Signature

Chairperson

Title

November, 14, 2025

Date

## TAX COMPLIANCE CERTIFICATION

Pursuant to Chapter 62C of the Massachusetts General Laws, Section 49A(b), I, the undersigned, authorized signatory for the below named contractor, do hereby certify under the pains and penalties of perjury that said contractor has complied with all laws of the Commonwealth of Massachusetts relating to taxes, reporting of employees and contractors, and withholding and remitting child support.

Desiree Martin

Signature

Desiree Martin

Print Name

Verdean Veterans Memorial Foundation Inc.

Organization name

04-6057430

Federal Tax ID #

November 12, 2025

Date

Verdean Veterans Memorial Foundation, Inc.  
561 Purchase Street  
New Bedford, MA 02740

November 14, 2025

Dear Community Preservation Act FY'26,

I am writing to respectfully request consideration for grant funding from the Community Preservation Act FY'26 to support the Restoration of the Verdean Veterans Memorial Foundation, Inc. which was built in the 1800s. As an applicant who is deeply committed to being a Community place to gather, celebrate, share and support our Community, I believe that this grant will be instrumental in advancing our goals and making a tangible impact in our Community.

Our project, Verdean Vets Restoration 2026, aims to restore the historic building Main Hall from fire, water and decades of New England weather cycles that have caused damage to the historic building of the Verdean Vets Memorial Hall. The attic space is currently unconditioned, with no insulation separating this space from the 'conditioned" main building. It was determined on our Assessment, that the 7" void of the historic wall framing has no insulation. These two areas-the perimeter walls and the attic ceiling-would significantly enhance the energy efficiency of the building, and we had an energy audit with Mass Save program and they will deactivate the Knob and Tube wiring and insulate the building at NO COST to the Verdean Veterans Memorial Foundation. With the financial support from your esteemed organization, we will be able to replace plexiglass openings with high performance windows and install high performance and efficient heating, cooling and ventilation in the Main Hall that will make the building accessible, efficient, comfortable, healthy and productive, directly benefiting Community.

The support from Community Preservation Act FY26 will not only help us achieve our immediate objectives but also foster long-term sustainability and growth. We are eager to collaborate with your organization and ensure that every dollar invested generates measurable results and positive change.

Thank you very much for your consideration of our request. I would be happy to provide any additional information or documentation needed and look forward to the possibility of working together. Please feel free to contact me at 508-612-9286 or [fallgirl64@hotmail.com](mailto:fallgirl64@hotmail.com).

Sincerely,

Lee Andrews-Tavares, Secretary/Clerk  
Verdean Veterans Memorial Foundation, Inc.



Date

11/6/25

Customer Name	Cape Verdean AmVet Upstairs
Address	561 Purchase St
City	New Bedford
State	MA
Zip	02740
Contact	Lee Andrews
Phone	508-612-9286
Email	fallgirl64@hotmail.com
Electric Account Number	: 74003282576
Gas Account Number	Eversource: 73002446869

## Summary of Project

### Included in this scope of work:

Installation of new Energy Optimization Heat Pumps for the area reviewed

Design and selection/sizing of the units

### **15 Tons of ASHP Units**

3-60,000 BTU Outdoor DVM S-Mini w/ 2-32,000 BTU Indoor Heads Each

The customer might need to upgrade their electrical service prior the installation of the above units

All indoor heads will have remote or wired controls

Supply and install Exterior & Interior units, Line Sets, Fortress, Drainpipe & Stands (the proposed design uses the most efficient length of line sets to minimize the cost of the project, for any changes to it, the cost must be revised and adjusted).

Drilling for exterior units through exterior wall or roof

Installation of integrated controls (unless current heating system is abandoned) and all connections

Communication wiring from the heads to the outdoor units

Electrical hard wiring & electrical disconnects from the breaker panels to each unit

Any patching of the exterior or interior walls associated with the installation of the units

Start up and commissioning. Labor warranty valid for 90 days from commissioning of all units

Electrical Permit and register the units for Warranty

***The customer has reviewed the design and approves, as well as confirms that the location where the outdoor unit(s) will be installed is indeed their property***

---

Initial here



Date

11/6/25

Customer Name	Cape Verdean AmVet Upstairs
Address	561 Purchase St
City	New Bedford
State	MA
Zip	02740
Contact	Lee Andrews
Phone	508-612-9286
Email	fallgirl64@hotmail.com
Electric Account Number	: 74003282576
Gas Account Number	Eversource: 73002446869

**Not Included in this scope of work:**

**Any upgrades to the Electrical panel (unless stated above) or Electrical service.**

**Any Structural Engineering, Structural improvements or roof patching if necessary.**

**No WiFi option on the units is guaranteed, unless stated above.**

Estimated Project Cost *	\$89,141.40
Estimated Incentive for 2026 (This is a subject to approval from the Utilities)	<u>\$30,000.00</u>
Customer Cost	\$59,141.40

\* Note: This proposal and pricing is available for 30 days or until the units proposed are still available on the market. After that, the proposal prices may need to be adjusted and/or the equipment updated. This is an estimate of the project cost and due to the general nature of construction, unexpected issues may arise during the installation that may have an impact on the project cost. Any issues will be discussed with you, the customer, before any actions are taken during the installation process. We can then make adjustments to the project cost that you approve.

---

Lee Andrews, Manager

Date



Date

11/6/25

Customer Name	Cape Verdean AmVet Upstairs
Address	561 Purchase St
City	New Bedford
State	MA
Zip	02740
Contact	Lee Andrews
Phone	508-612-9286
Email	fallgirl64@hotmail.com
Electric Account Number	: 74003282576
Gas Account Number	Eversource: 73002446869

### Acknowledgement of ASHP/VRF Functions

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The customer understands that they need to follow the instructions manual provided, so they can correctly operate the installed Air Source Heat Pumps (or VRF).

The customer understands that when there is a Multi Zone Outdoor unit they cannot have the Indoor units connected to it, in different modes simultaneously. Inability to follow this rule may result in locking up the system.

The customer understands that letting multiple people use the remote controls to operate the units, may result in the system malfunctioning. The customer understands that CES advises that they should have one person in charge of controlling the ASHPs (or VRF).

The customer understands that having doors or windows open for long periods of time will impact system performance where the ASHP/VRF condition the space. The customer understands that this will make the ASHP/VRF system work continuously, without downtime (this is not how the system was designed to function) resulting in malfunction.

The customer understands that the warranty will not cover any damages that were caused by their misuse of the ASHP/VRF system.

Any issues related to misuse of the system may carry a fee of \$350.00 for on-site diagnosis to provide estimated cost of repair.

The customer understands that the filters on the indoor units need to be cleaned every 2 weeks.

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Lee Andrews, Manager

Date

Contact: Lee Andrews 508-612-9286

CES24-08763

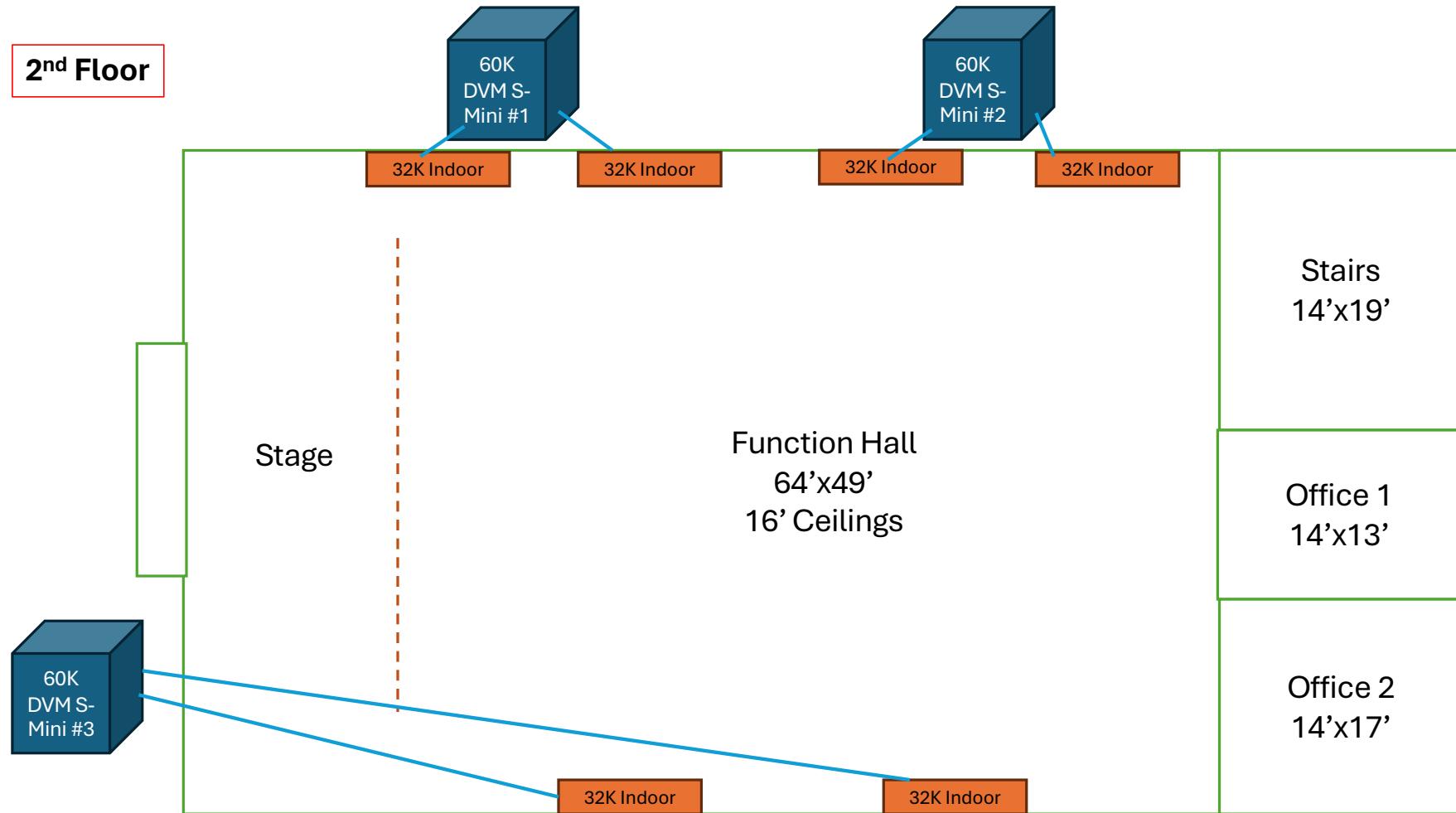
# Cape Verdean AmVet

561 Purchase St, New Bedford

Vicky Balabanova

Sales: Pat Travis

**2nd Floor**

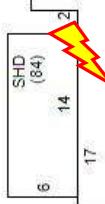


Total Number of Outdoor Units  
and their position on the property

Side Alley



Back Alley



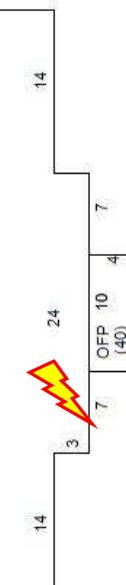
SFL  
FFL  
(4272)

Parking Lot

Street

63

19



14

17

24

7

14

3

19

14

17

\*The electrical service will most likely need to be upgraded to handle all these units!



## Energy Efficiency Program for Massachusetts Small Businesses

### CUSTOMER INFORMATION

The entity listed below is the:  Owner  Renter  Property Manager

Company Name

Cape Verdean American veterans association

Contact Person First Name Contact Person Last Name

Lee

Andrews

Federal Tax ID

Electric Account #

Gas Account #

74003282576

73002446869

Project #

CES24-08762

Service Address

561 Purchase Street

City State Zip

New Bedford

MA

02740

Phone Email

(508) 612-9286

fallgirl64@hotmail.com

Contractor Company Name Contractor Contact Name

Complete Energy Services

Michael Duffy

Contractor Phone Contractor Email

833.237.2677 x111

mduffy@cescorp.com

### PRIMARY USE

Business Category

PUBLIC ASSEMBLY / LODGING

Sq. Ft. Covered by Application

If Other, Please Specify

Total Facility Sq. Ft.

### MEASURE TYPES

#### ELECTRIC Check All that Apply

Lighting and Controls  
 HVAC Controls

Refrigeration  
 Motors

Process  
 Domestic Hot Water

Weatherization  
 Other

#### GAS Check All that Apply

Domestic Hot Water

Weatherization

HVAC Controls

Other

### PROJECT COST

#### ELECTRIC Cost

\$ 0.00

Eversource Contribution

\$ 0.00

Customer Contribution

\$ 0.00

Estimated Customer Savings

\$ \_\_\_\_\_ /month

#### GAS Cost

\$ 73,333.75

Eversource Contribution

\$ 73,333.75

Customer Contribution

\$ 0.00

Estimated Customer Savings

\$ \_\_\_\_\_ /month

Would you like to finance your portion of the project cost?

Note: Maximum loan term is lesser of 1). 24 months or 2). payback period plus one year. See Terms and Conditions for more details.

No, I will pay the Contractor directly in full.

Yes. Choose your preferred terms:

I understand that I may receive a separate monthly bill for my financed portion and will be mailed to:

Gas only project, Financing available through NEIF.

12 months at \$ 0 /month  
 18 months at \$ 0 /month  
 24 months at \$ 0 /month

Please initial: \_\_\_\_\_

Questions/Comments? [efficiencyma@eversource.com](mailto:efficiencyma@eversource.com)





## Energy Efficiency Program for Massachusetts Small Businesses

### CUSTOMER ACKNOWLEDGMENT

I acknowledge the costs and customer contribution provided in this agreement are valid and if project cost and/or customer contribution changes, I will provide authorization prior to project completion. Additionally, I certify that all statements made in this application are correct to the best of my knowledge and that I have read and agree to the Terms and Conditions on the back of the form, including those provisions regarding warranties. I further understand and acknowledge that the offer to pay incentives is subject to those Terms and Conditions.

Vendor Name

Complete Energy Services

Customer Name (printed)

Lee Andrews

Auditor Name

Pat Travis

Customer signature

Date

### CHANGE AUTHORIZATION

Customer acknowledges that the Total Cost has changed during construction. The revised amounts listed below are satisfactory and hereby accepted. Payment will be made as outlined below.

**ELECTRIC** Cost

\$

Eversource Contribution

\$

Customer Contribution

\$

Estimated Customer Savings

\$  /month

**GAS** Cost

\$

Eversource Contribution

\$

Customer Contribution

\$

Estimated Customer Savings

\$  /month

Terms

12 months at \$  /month     18 months at \$  /month     24 months at \$  /month

*Note: Maximum loan term is lesser of 1). 24 months or 2). payback period plus one year. See Terms and Conditions for more details.*

Authorized Signature

Name (Printed)

Date

### CUSTOMER INSTALLATION ACKNOWLEDGMENT

I certify that all energy efficiency measures covered by this application have been installed in a satisfactory manner, and agree to pay the Customer Contribution listed below to the contractor.

Vendor Name

Complete Energy Services

Customer Name (printed)

Lee Andrews

Auditor Name

Pat Travis

Customer signature

Date



## Energy Efficiency Program for Massachusetts Small Businesses

### TERMS AND CONDITIONS

- Customer Eligibility.** The Energy Efficiency Program for Small Business is available to non-residential customers who meet the specific eligibility requirements, in the service territory of either NSTAR Electric Company or Western Massachusetts Electric Company.
- Rebates.** Subject to these Terms and Conditions ("T&Cs"), the Company will pay directly to the installing contractor a portion of the cost of installation of those electric conservation measures ("ECMs") described within this worksheet. If the customer identified in the Customer information section above ("Customer") elects to finance its portion of the cost of the ECMs (the "Customer Contribution") with the Company, the Company will pay the full cost of installation of those ECMs described in this worksheet directly to the installing contractor.

**Customer Contribution.** Customer agrees to pay the Customer Contribution shown in the Section on Project Cost. The Customer has the option of making the Customer Contribution payment directly to the installation contractor, or in equal monthly installments up to twenty-four (24) months directly to the Company. No interest will be charged for, but interest will be charged on any payment not made when due from the date of payment was due until payment is received by the Company. If any payment is more than 45 days late, the Customer will be in default of the payment terms and the Company reserves the right to accelerate the remaining payments and require immediate payment in full. (The Company reserves the right to combine any invoice for extended payment with Customer's electric bill at any time in the future, but the amount of any payment hereunder will be separately identified on such bill.) In the event the Customer closes its electric service account, any remaining portion of the Customer Contribution shall immediately become due and payable, unless a successor customer agrees to assume payment of the Customer Contribution and executes a new agreement covering the ECMs and the remaining Customer Contribution within 30 days of the original account closure.

**Eversource Invoice/Financing.** If Customer elects to finance the Customer Contribution of the total cost, the Company will send a monthly invoice separate from the Customer's monthly electric bill for customers in NSTAR Electric Company Territory. The Company will add a line item in the monthly electric bill for customers in Western Massachusetts Electric Company territory.

- Financing will be available to Customer for up to 24 months. The minimum loan amount is \$50.

**Program Changes.** The Energy Efficiency Program for Small Business and these T&Cs may be changed by the Company at any time without notice.

**Removal of Equipment.** The Customer agrees, as a condition of participation in the program, to remove and dispose of the equipment being replaced by the ECMs in accordance with all legal requirements. The Customer agrees not to install any of this removed equipment in the service territory of the Company or its affiliates.

**Replacement of Failed Equipment.** Customers who install energy-efficient equipment are expected to replace any of the energy-efficient equipment that fails with similar or superior energy savings equipment at the Customer's expense.

**Follow-up Visits.** With advance notice, the Company reserves the right (but shall have no obligation) to make a reasonable number of follow-up visits to Customer's facility during the 36 months following the Actual Completion Date noted on page 1 of this application to provide the Company with an opportunity to review the operation of the ECMs for program evaluation purposes.

**Limitation of Liability.** Neither the Company nor any of its affiliates shall be liable to the Customer for any direct, indirect, consequential or incidental damages, regardless of the theory of recovery, caused by or arising from any activities associated with this program.

**No Warranties.** The Company does not endorse, guarantee, or warrant any particular manufacturer, contractor or product, and the Company EXPRESSLY DISCLAIMS ALL WARRANTIES, EXPRESSED OR IMPLIED, INCLUDING THE WARRANTIES OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE for any product or services. The Customer acknowledges that neither the Company nor any of its consultants are responsible for assuring that the design, engineering and construction or installation of the ECMs is proper or complies with any particular laws (Including patent laws), codes, or industry standards. The Company makes no representations or warranties of any kind regarding the results to be achieved by the ECMs or the adequacy or safety of such measures.

**Obligations Between the Parties.** The Company shall have no obligation to maintain, remove or perform any work whatsoever on the ECMs installed. The Company shall have no liability for the failure of the ECMs to function, or for any and all damages to property or injury to persons caused by the ECMs. The Customer acknowledges that the installation of the ECMs is performed by an independent contractor selected by the Company, and that the Company does not control or manage the details of the contractor's performance. The Company shall not be liable for the acts or omissions of the contractor.

**Miscellaneous.** These T&Cs and this program application constitute the entire agreement between the parties and supersede all other communications and representations. Paragraph headings are for the convenience of the parties only and are not to be construed as part of these T&Cs. If any provision of the T&Cs is deemed invalid by any court or administrative body having jurisdiction, such ruling shall not, invalidate any other provision, and the remaining T&Cs shall remain in full force and effect in accordance with their terms.

**Energy Benefits.** The Company is entitled to 100% of the energy benefits associated with the ECMs, excluding the value of energy cost savings realized by the Customer, but including all rights to all associated ISO-NE Energy, Capacity and Reserves Products, and the Customer agrees to provide the Company with such further documentation as the Company may request to confirm the Company's ownership of such benefits and Products.

13.



**Cape Verdean American veterans association insulation**  
 561 Purchase Street  
 New Bedford, MA 02740  
 Contact: Lee Andrews  
 Ph:(508) 612-9286 FAX:  
 Email: fallgirl64@hotmail.com

Eversource East Acc# 74003282576

10/8/2025

Eversource Acc# 73002446869

Auditor: Pat Travis

Location #	Description	Existing		Proposed		Lamp Color	Hours	Kw Saved	Kwh Saved
		Qty	Description	Qty	Description				
	1			1	4100 Sq Ft R-57.8 Fiberglass Batt			0.000	0
<i>Attic</i>									
	1			1	6225 Sq Ft R-22.2 Cellulose			0.000	0
<i>Exterior Walls</i>									
	1			1	150 Sq Ft R-18 Mineral Wool			0.000	0
<i>Exterior Walls</i>									
	1			1	4100 Sq Ft R-11.9 Fiberglass Batt			0.000	0
Total Kwh Saved							0		

# Cape Verdean American veterans association insulation Project Summary

561 Purchase Street  
New Bedford, Ma 02740

Ph:(508) 612-9286  
Fax:  
Email: Fallgirl64@hotmail.com

Eversource East Acc#: 74003282576  
Eversource Acc#: 73002446869

## Project Economics

Total Project Cost	<b>73,333.75</b>	materials, labor, tax, recycling, trash
Utility Contribution	<b>73,333.75</b>	per 2025 Program
Cape Verdean American veterans association insulation Contribution	<b>0.00</b>	
Annual Electrical Usage Savings	<b>\$3,583.00</b>	kilowatt hour reduction x average rate
Simple Payback	<b>0.00</b>	years
Return on Investment	<b>?</b>	

## Additional Benefits

### Environmental

kWH Reduced	<b>862</b>	per year
kW Reduced	<b>0.420</b>	

### Operational and Maintenance

A/C Savings	Reduced heat generated
Material Savings	All new equipment, warranty, no replacement costs
Labor Savings	All new equipment, no interim maintenance

# COST ESTIMATE



## VERDEAN VETERANS MEMORIAL HALL: UPPER HALL REHABILITATION

Date: 06 November, 2025

Project: VERDEAN VETERANS MEMORIAL HALL REHABILITATION - Upper Hall

Address: 561 Purchase Street, New Bedford MA, 02740



DEFEND WITH PRIDE  
NEW BEDFORD, MA-  
1946

Trade Division	Cost Estimate
<b>0100 General Conditions - Window &amp; Electrical Upgrade:</b>	\$ 4,600.00
<b>0200 Existing Conditions:</b> - Demo existing windows	\$ 2,000.00
<b>0300 Concrete- 0500 Metals:</b> - n/a	\$ -
<b>0600 Woods &amp; Plastics:</b> - Exterior & Interior Panel Trim, Beam Repair	\$ 28,000.00
<b>0700 Thermal &amp; Moisture Protection:</b> - Air Sealing, Re-Wiring, & Insulation	\$ 73,333.75
<b>0800 Doors &amp; Windows:</b> - (12) New Fibreglass Insert Windows in Upper Hall	\$ 22,600.00
<b>0900 Finishes:</b> - Painting	\$ 3,000.00
<b>1000 Specialties:</b> - n/a	\$ -
<b>1100 Equipment:</b> - n/a	\$ -
<b>1200 Furnishings:</b> - n/a	\$ -
<b>2200 Plumbing:</b> - n/a	\$ -
<b>2300 HVAC:</b> - Upper Hall Heating & Air Conditioning, Ventilation	\$ 100,000.00
<b>2600 Electrical:</b> - New Sub-panel	\$ 5,000.00
Cost Estimate - Subtotal:	\$ 238,533.75
Contingency (10%):	\$ 12,400.00
A & E Fees (10%):	\$ 12,400.00
<b>Total - Project Cost Estimate</b>	<b>\$ 263,333.75</b>
<b>Funding Raised To-Date - Eversource Incentives &amp; Rebates</b>	<b>\$ (103,333.75)</b>
<b>TOTAL CPA FY-2026 Request</b>	<b>\$ 160,000.00</b>

412 County Street  
New Bedford, MA 02740  
info@studio2sustain.com  
508 999 5145

**The Commonwealth of Massachusetts, William Francis Galvin  
Corporations Division**

One Ashburton Place - Floor 17, Boston MA 02108-1512 | Phone: 617-727-9640

**Annual Report**

(General Laws, Chapter 180)

Filing Fee: \$15.00

Identification Number: 046057430

Filing for November 1, 2025

In compliance with the requirements of Section 26A of Chapter one hundred and eighty (180) of the General Laws:

1. Exact name of the corporation:

VERDEAN VETERANS MEMORIAL FOUNDATION, INC.

2. Location of its principal office:

Number and street: 561 PURCHASE ST.

Address 2:

City or town: NEW BEDFORD State: MA Zip code: 02740

3. Date of the last annual meeting:

4. State the names and street addresses of all officers, including all the directors of the corporation,

Title	Individual Name	Address	Term expires
PRESIDENT	AMILTON TAVARES	35 PIERCE ST. NEW BEDFORD, MA 02740 USA	Until Successors Are Duly Elected
TREASURER	DESIREE MARTIN	199 PURCHASE ST. NEW BEDFORD, MA 02740 USA	Until Successors Are Duly Elected
CLERK	LEE ANDREWS TAVARES	35 PIERCE ST NEW BEDFORD, MA 02740 USA	Until Successors are Duly Elected

425 PURCHASE ST. NEW BEDFORD,  
MA 02740 USA

DIRECTOR	DESIREE MARTIN	199 PURCHASE ST. NEW BEDFORD, MA 02740 USA	Until Successors Are Duly Elected
DIRECTOR	AMILTON TAVARES	35 PIERCE ST. NEW BEDFORD, MA 02740 USA	Until Successors Are Duly Elected
DIRECTOR	LEE ANDREWS TAVARES	35 PIERCE ST NEW BEDFORD, MA 02740 USA	Until Successors are Duly Elected

5. Check if the corporation is a cemetery corporation that does NOT hold perpetual care funds in trust. If the corporation is a cemetery corporation that holds perpetual care funds in trust, a copy of the written instrument establishing the trust and any amendments thereto must be attached, and the annual report must be filed by facsimile, mail or in person.

Signed by DESIREE MARTIN , its OTHER OFFICER

on this 3 Day of September, 2025

**Secretary of the Commonwealth of Massachusetts**  
William Francis Galvin

## Business Entity Summary

[Request certificate](#)
[New search](#)

**Summary for: VERDEAN VETERANS MEMORIAL FOUNDATION, INC.**

<b>The exact name of the Nonprofit Corporation:</b> VERDEAN VETERANS MEMORIAL FOUNDATION, INC.			
<b>Entity type:</b> Nonprofit Corporation			
<b>Identification Number:</b> 046057430	<b>Old ID Number:</b> 000001072		
<b>Date of Organization in Massachusetts:</b> 03-02-1966	<b>Date of Revival:</b> 06-02-1987		
<b>Date of Involuntary Revocation:</b> 11-17-1986	<b>Last date certain:</b>		
<b>Current Fiscal Month/Day:</b> /	<b>Previous Fiscal Month/Day:</b> 00/00		
<b>The location of the Principal Office in Massachusetts:</b>			
Address: 561 PURCHASE ST. City or town, State, Zip code, Country: NEW BEDFORD, MA 02740 USA			
<b>The name and address of the Resident Agent:</b>			
Name: Address: City or town, State, Zip code, Country:			
<b>The Officers and Directors of the Corporation:</b>			
Title	Individual Name	Address	Term expires
PRESIDENT	AMILTON TAVARES	35 PIERCE ST. NEW BEDFORD, MA 02740 USA	Until Successors Are Duly Elected
TREASURER	DESIREE MARTIN	199 PURCHASE ST. NEW BEDFORD, MA 02740 USA	Until Successors Are Duly Elected
CLERK	LEE ANDREWS TAVARES	35 PIERCE ST NEW BEDFORD, MA 02740 USA	Until Successors are Duly Elected
VICE PRESIDENT	JOYCE ANTUNES BARBOSA	425 PURCHASE ST. NEW BEDFORD, MA 02740 USA 425 PURCHASE ST. NEW BEDFORD, MA 02740 USA	
DIRECTOR	JOYCE ANTUNES BARBOSA	425 PURCHASE ST. NEW BEDFORD, MA 02740 USA 425 PURCHASE ST. NEW BEDFORD, MA 02740 USA	
DIRECTOR	DESIREE MARTIN	199 PURCHASE ST. NEW BEDFORD, MA 02740 USA	Until Successors Are Duly Elected
DIRECTOR	AMILTON TAVARES	35 PIERCE ST. NEW BEDFORD, MA 02740 USA	Until Successors Are Duly Elected
DIRECTOR	LEE ANDREWS TAVARES	35 PIERCE ST NEW BEDFORD, MA 02740 USA	Until Successors are Duly Elected

 Consent

 Confidential Data

 Merger Allowed

 Manufacturing

**Note: Additional information that is not available on this system is located in the Card File.**

**View filings for this business entity:**

ALL FILINGS  
Annual Report  
Application For Revival  
Articles of Amendment  
Articles of Consolidation - Foreign and Domestic

[View filings](#)**Comments or notes associated with this business entity:**[New search](#)



*The Commonwealth of Massachusetts*  
*Secretary of the Commonwealth*  
*State House, Boston, Massachusetts 02133*

William Francis Galvin  
Secretary of the  
Commonwealth

September 8, 2025

TO WHOM IT MAY CONCERN:

I hereby certify that according to the records of this office

**VERDEAN VETERANS MEMORIAL FOUNDATION, INC.**

is a domestic corporation organized on **March 2, 1966**.

I further certify that there are no proceedings presently pending under the Massachusetts General Laws Chapter 180 section 26A, for revocation of the charter of said corporation; that the State Secretary has not received notice of dissolution of the corporation pursuant to Massachusetts General Laws, Chapter 180, Section 11, 11A, or 11B; that said corporation has filed all annual reports, and paid all fees with respect to such reports, and so far as appears of record said corporation has legal existence and is in good standing with this office.



In testimony of which,  
I have hereunto affixed the  
Great Seal of the Commonwealth  
on the date first above written.

*William Francis Galvin*

Secretary of the Commonwealth

Processed by: BOD

QC by: JM

7 November 2025

From: Gary A Correia, Commander Cape Verdean American Veterans

Association (CVAVA)

To: Community Preservation Committee

Subj: RECOMMENDATION FOR VERDEAN VETERANS MEMORIAL

## FOUNDATION

The Verdean Veterans Memorial Hall located at 561 Purchase St was built circa 1845. As such, it is one of the oldest active structures in the City of New Bedford.

Through the last 180 years it has been the home of many entities such as: a Baptist and Methodist church when first built. More recently it was a Veteran of Foreign War (VFW) in the 1950's. In 1957 the building was acquired by the Cape Verdean American Veterans Association and was named the Verdean Veterans Memorial Hall (VVMH). The missions envisioned would cover a myriad of community events.

The Verdean Veterans Memorial Foundation (VVMF) was founded in June 1965, approved by the state of Massachusetts in March 1966. The title of the Hall was formally transferred to VVMF in September 1966.

In the proceeding decades the VVMF has hosted a dizzying array of: fund raisers, weddings, funeral repasts, political debates, cultural enrichment events, Covid-19 outreach, clothing drives and most recently a hurricane humanitarian relief for Sao Vicente, CVI.

They also have the distinction of hosting multiple “Head of State” Presidential and Prime Minister visits from Cabo Verde.

But, all this comes at a toll. The building is dated, needs upgrades and repair or replacement to various areas as identified by the VVMF. The sustained

distinguished accomplishments over the past 68 years are undeniable. All the people volunteer their time! This project should receive the highest priority!

Respectfully submitted,

Gary A Correia

Commander CVAVA / Lieutenant Colonel USMC (ret)



# City of New Bedford

## Office of City Council

133 William Street • New Bedford, Massachusetts 02740

Tel: (508) 979-1455 • Fax: (508) 979-1451

**Shane A. Burgo**

*Councillor At Large*

November 10, 2025

Janine da Silva, Chairperson  
and Members of the Community Preservation Committee  
City Hall  
133 William Street  
New Bedford, MA 02740

Dear Members of the Community Preservation Committee,

I am writing to express my full support for the Verdean Veterans Memorial Foundation, Inc., as they seek funding through the Community Preservation Committee to restore and preserve their historic building located at 561 Purchase Street in New Bedford.

This building is more than just a structure. It stands as a living monument to the service, sacrifice, and enduring legacy of Cape Verdean veterans who bravely served our nation. It also serves as an important cultural and historical center for the community, reflecting New Bedford's deep multicultural heritage.

The proposed project demonstrates both responsibility and vision. The Foundation's restoration plans include essential safety and efficiency upgrades such as deactivating outdated Knob and Tube wiring, restoring the hip beam, insulating the building, replacing the aging windows in the Main Hall on the second floor, and modernizing the heating and air conditioning systems in the Main Hall. These improvements will not only ensure the safety and preservation of this historic property but will also make it more energy-efficient, accessible, and welcoming for community use.

Supporting this proposal is an investment in New Bedford's history, its people, and the veterans whose stories continue to inspire future generations. I strongly encourage the Committee to approve this grant request and help ensure that the Verdean Veterans Memorial Foundation can continue its invaluable mission of honoring our heroes and preserving our shared heritage.

Thank you for your thoughtful consideration of this important application.

Sincerely,

Shane A. Burgo,  
City Council President/  
Councillor at Large



studio2sustain  
ARCHITECTURE

412 County Street  
New Bedford, MA 02740  
info@studio2sustain.com  
508 999 5145

**FEASIBILITY STUDY**

PLAN KEY	
EXISTING WALLS	
EXISTING WALLS	
PROPOSED WALLS - FULL HT.	
PROP WALLS - 1/2 HOUR RATED	
PROP WALLS - 1 HOUR RATED	
PROP WALLS - PARTIAL HEIGHT	
WINDOW TYPE	
DOOR TAG	
PLUMBING FIXTURE TYPE	
PARTITION TYPE	
SECTION TAG	DWG.  SHEET
ELEVATION TAG	DWG.  SHEET
ROOM TAG	RM #  NAME  AREA

**CAPE VERDEAN  
VETERANS HALL**

**FEASIBILITY STUDY**

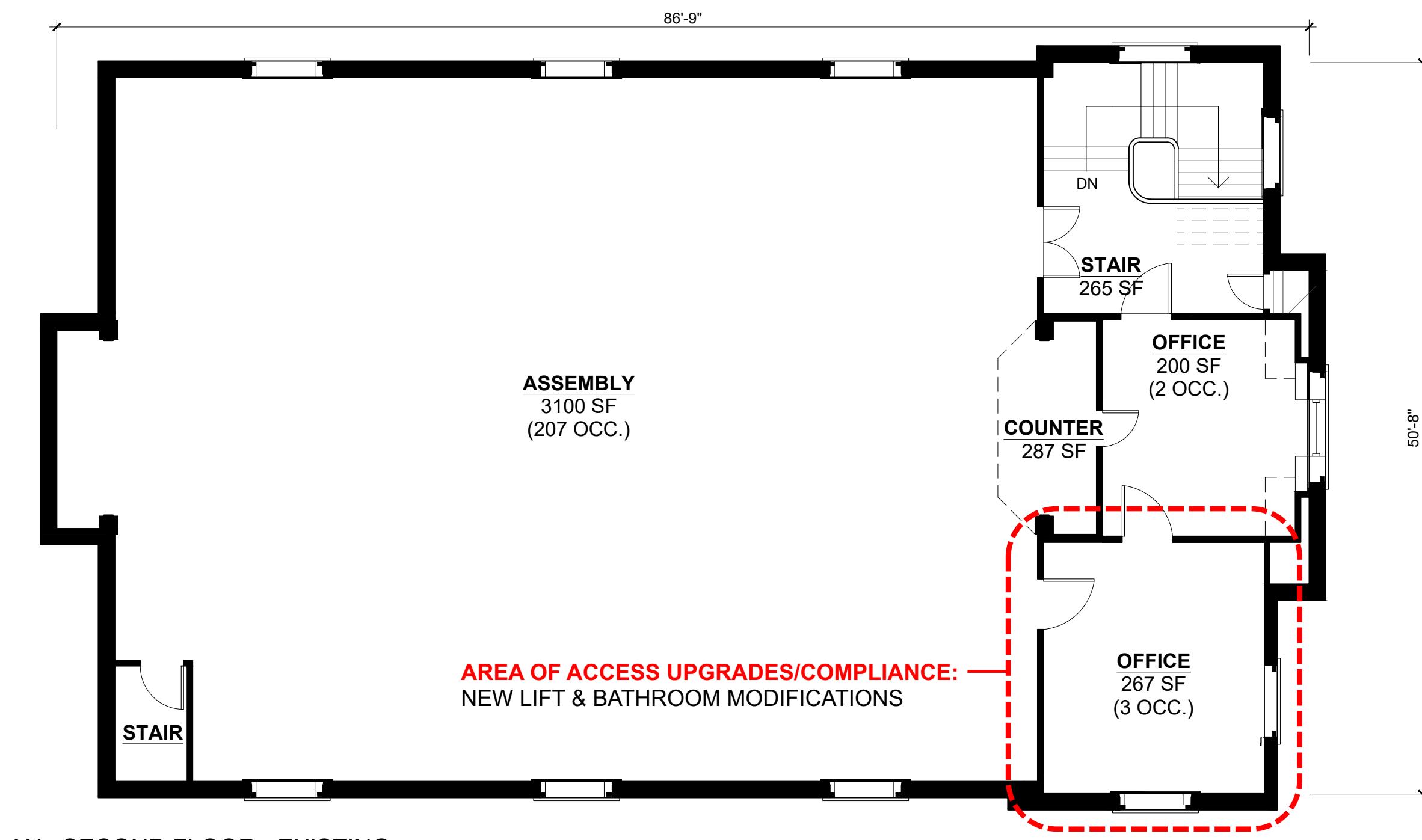
561 PURCHASE STREET  
NEW BEDFORD, MA 02740

DATE: 06.23.2025  
REVISED:

**FIRST AND SECOND  
FLOORS**

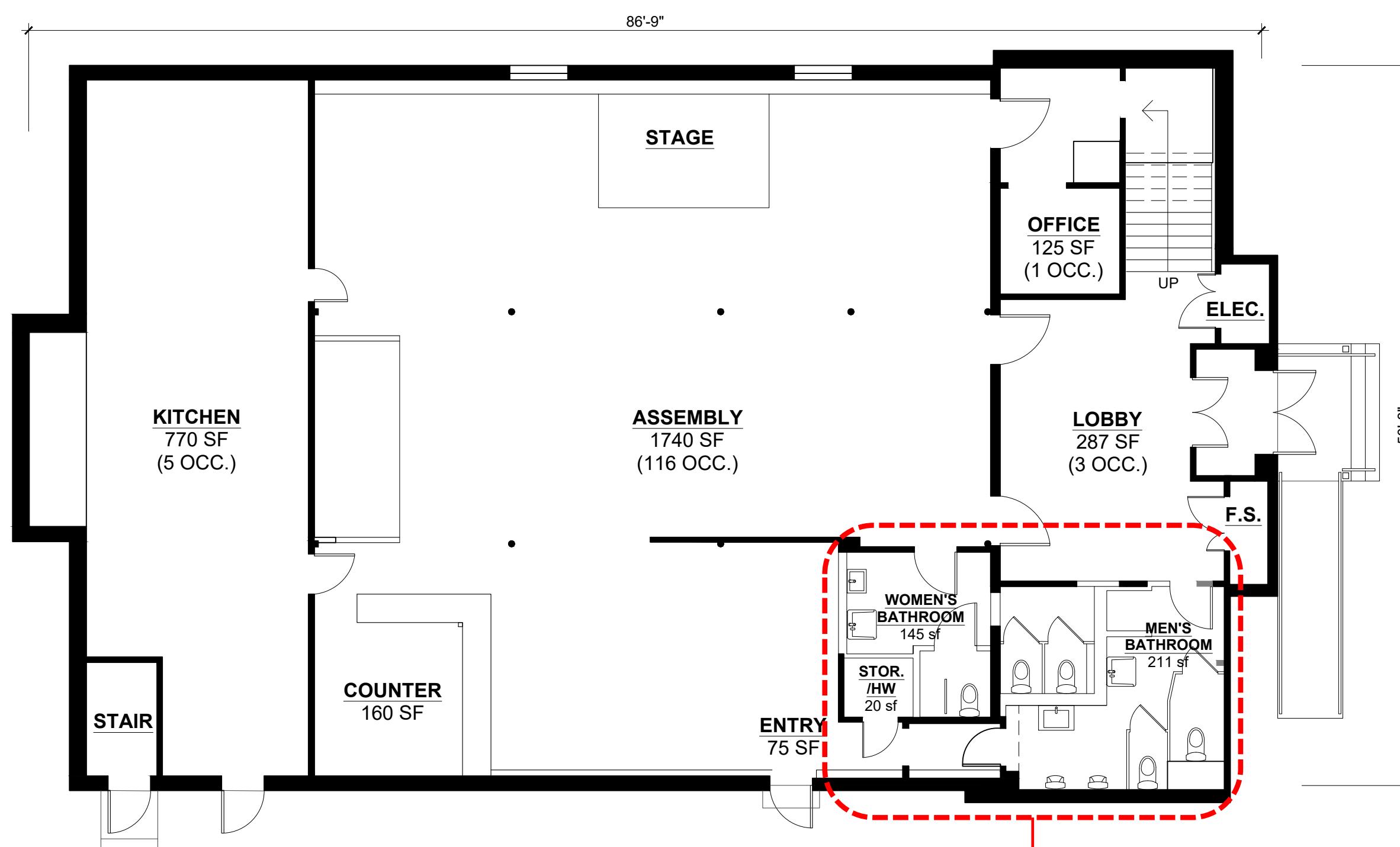
**EXISTING & DEMO**

**EX | 1.1**



PLAN: SECOND FLOOR - EXISTING  
SCALE: 1/8" = 1'-0"

GROSS AREA: 4,017 SF  
2 EX1.1



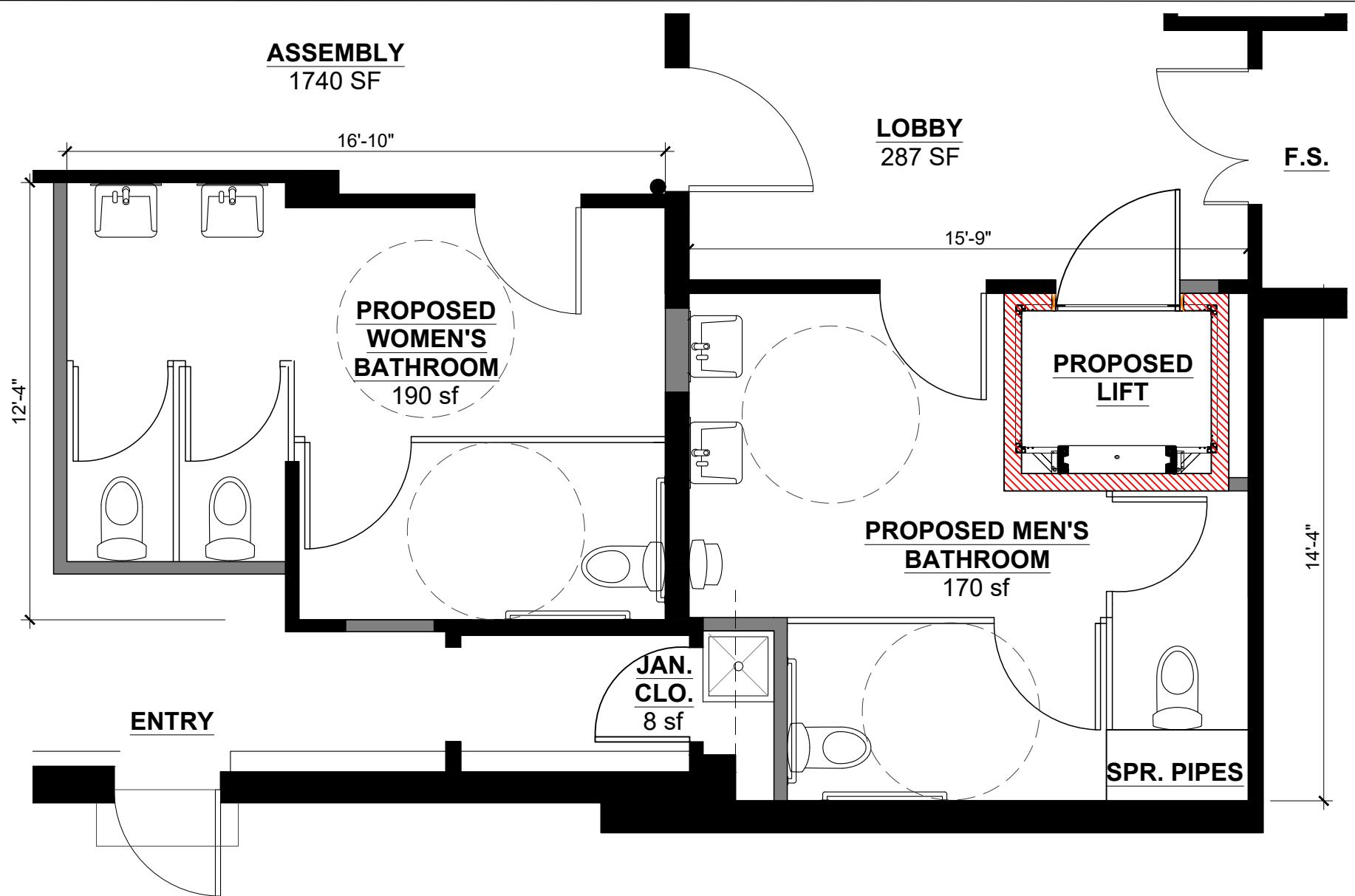
PLAN: FIRST FLOOR - EXISTING  
SCALE: 1/8" = 1'-0"

GROSS AREA: 4,017 SF  
1 EX1.1

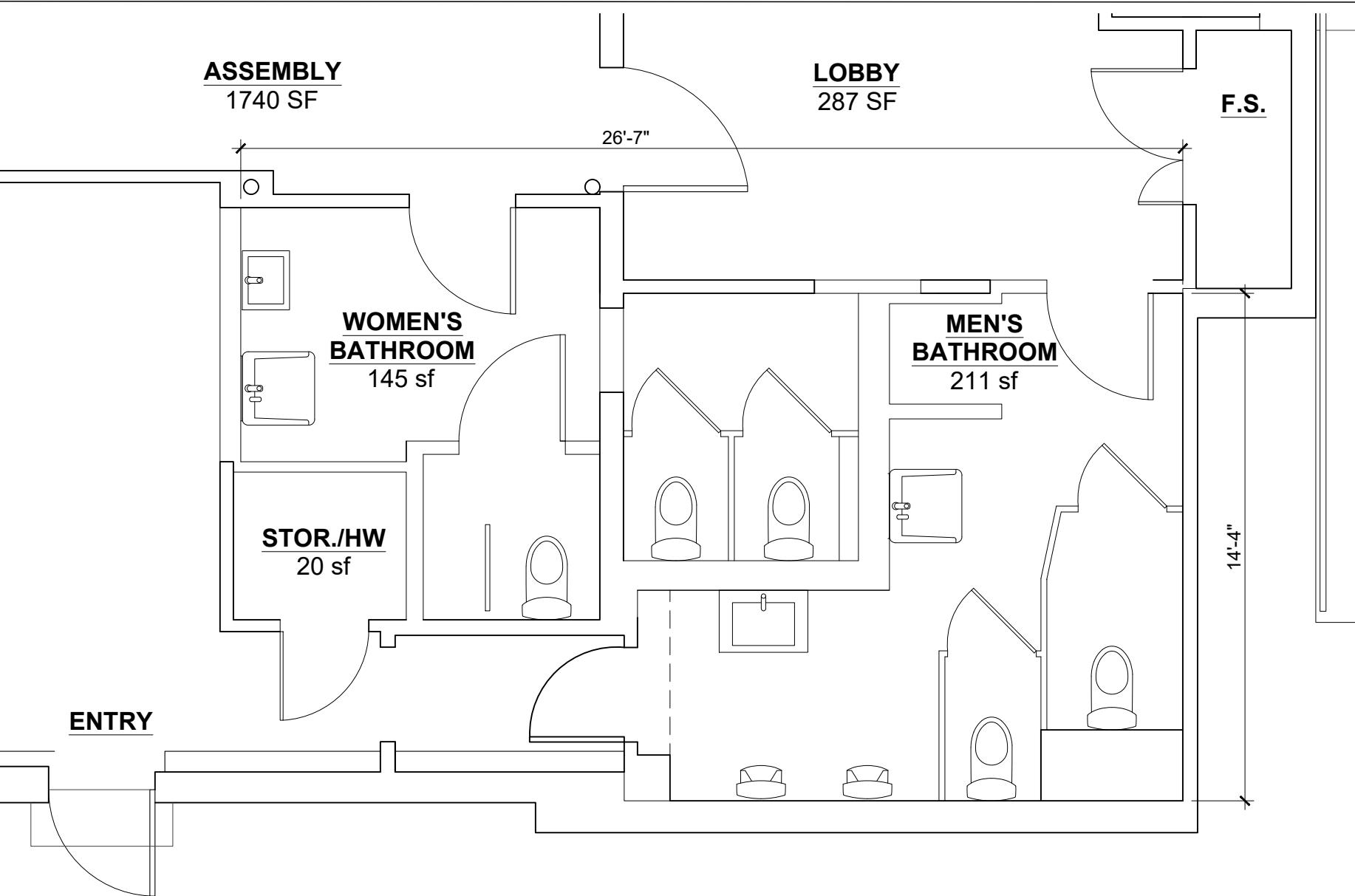


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New Bedford, MA 02740  
info@studio2sustain.com  
508 999 5145

### FEASIBILITY STUDY



ENL. PLAN: FIRST FLOOR - PROPOSED  
SCALE: 1/4" = 1'-0"



ENL. PLAN: FIRST FLOOR - DEMO  
SCALE: 1/4" = 1'-0"

#### PROJECT SUMMARY:

RENOVATION OF THE CIRCA 1920 TWO STORY, 8,080 GROSS SF, ASSEMBLY-USE BUILDING LOCATED AT 561 PURCHASE STREET IN NEW BEDFORD, MASSACHUSETTS. THE EXISTING FOOT PRINT OF THE BUILDING WILL REMAIN THE SAME. RENOVATION INCLUDES HANDICAP UPGRADES OF BATHROOMS AND INSTALLATION OF A LIFT. THERMAL IMPROVEMENTS INCLUDE INSULATION, NEW WINDOWS, AND HVAC UPDATES.

#### TOILET REQUIREMENT CODE REVIEW:

REQUIRED TOILETS: 248 CMR: TABLE 1

USE: ASSEMBLY - MEETING HALL: 334 OCC. TOTAL ~ (F) 1:25 UP TO 200; (M) 1:50 UP TO 200

159 MALE: (3) REQUIRED FIXTURES: -(1) URINAL; (1) TLT; (1) HP TLT.

159 FEMALE: (7) REQUIRED FIXTURES: (6) STALLS; (1) HP TLT.

SOLUTION: INSTALL NEW TOILETS FIRST FLOOR (1) HP 2ND FL.

FEMALE: (4) REQUIRED FIXTURES: (3) STALLS; (1) HP TLT.

SOLUTION: (1) HP(1) REG. TLT. 1ST FL. & (2) EXISTING IN BASEMENT

TABLE 1006.3.1

REQUIRES (2) EXITS (100 OCC) > 49 AND < 501

1007.1 REMOTENESS OF EGRESS STAIRS: 1/3 DIAGONAL OF BUILDING = 32' MIN.

SEPARATION: YES, MEETS

TABLE 1017.2 EXIT ACCESS TRAVEL DISTANCE: 250' WITH SPRINKLER SYSTEM: YES, MEET

#### GENERAL NOTES:

1. ALL WORK, AS DEFINED OR IMPLIED WITHIN THESE CONSTRUCTION DRAWINGS AND BUILDING SPECIFICATIONS IS TO BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL BUILDING CODES AND REGULATIONS.

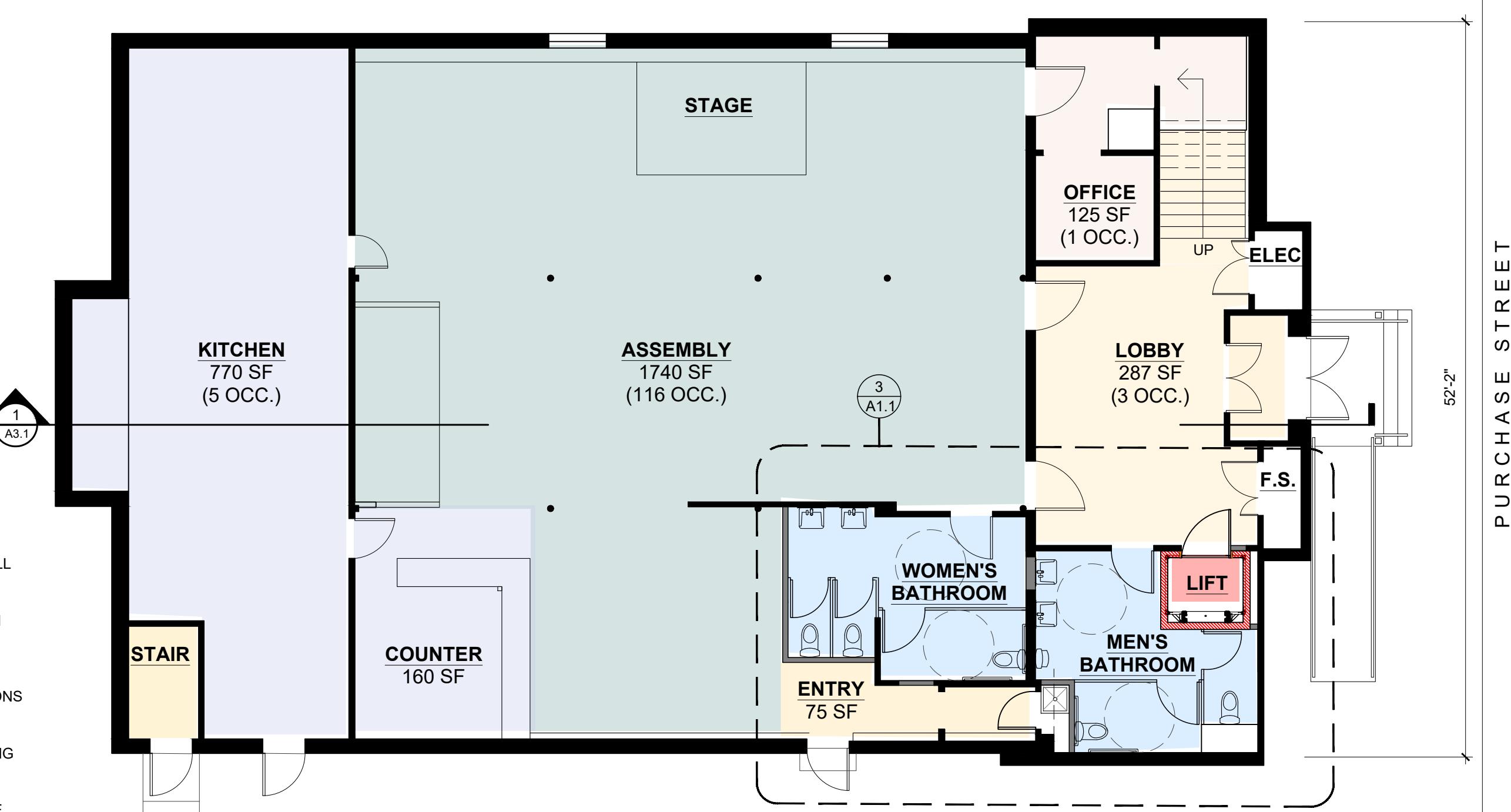
2. ALL DIMENSIONS SHOWN REPRESENT APPROXIMATE DELINEATIONS AND ARE NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES. ALL WIDTH DIMENSIONS ARE APPROXIMATE, AS WALLS ARE UNEVEN PLASTER, STONE AND/OR BRICK MASONRY. ALL DIMENSIONS MUST BE VERIFIED IN FIELD (V.I.F.).

3. THE CONTRACTOR SHALL EXAMINE THE ENTIRE SITE, AND WILL TAKE INTO ACCOUNT ALL CONDITIONS THEREON AS MAY AFFECT THE PERFORMANCE OF THE WORK UNDER THE CONTRACT. ALL DIMENSIONS MUST BE VERIFIED IN-FIELD PRIOR TO COMMENCING WORK. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES AND/OR DEVIATIONS FROM WHAT IS PRESENTED AND/OR IMPLIED ON THESE DRAWINGS AND SPECIFICATIONS.

4. ALL REPAIR OF EXISTING BRICK TO BE EXECUTED IN STRICT ACCORDANCE WITH THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AND WITH THE SPECIFICATIONS AND CONSTRUCTION DRAWINGS.

5. THESE DRAWINGS ARE INTENDED TO SHOW THE EXISTING CONDITIONS OF THE EXISTING BUILDING, INCLUDING PROPOSED REPAIRS AND RENOVATIONS. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN FIELD. DO NOT SCALE DRAWINGS. CONTRACTOR TO NOTIFY THE ARCHITECT AND THE OWNER IF ANY CONDITIONS APPEAR CONTRARY TO THE DRAWINGS AND/OR SPECIFICATIONS.

6. THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE IDENTIFICATION, DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE.



PLAN: FIRST FLOOR - PROPOSED  
SCALE: 1/8" = 1'-0"

GROSS AREA: 4,063 SF  
1  
A1.1

### CAPE VERDEAN VETERANS HALL

#### FEASIBILITY STUDY

561 PURCHASE STREET  
NEW BEDFORD, MA 02740

DATE: 06.23.2025  
REVISED:

### FIRST FLOOR PLANS

#### EXISTING & PROPOSED

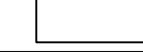
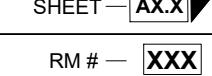
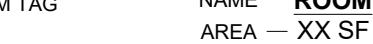
A | 1.1



studio2sustain  
ARCHITECTURE

412 County Street  
New Bedford, MA 02740  
[info@studio2sustain.com](mailto:info@studio2sustain.com)  
508 999 5145

## FEASIBILITY STUDY

<u>PLAN KEY</u>	
EXISTING WALLS	
EXISTING WALLS	
PROPOSED WALLS - FULL HT.	
PROP WALLS - 1/2 HOUR RATED	 1/2-HR SEP
PROP WALLS - 1 HOUR RATED	 1-HR SEP
PROP WALLS - PARTIAL HEIGHT	
WINDOW TYPE	
DOOR TAG	
PLUMBING FIXTURE TYPE	
PARTITION TYPE	
SECTION TAG	
ELEVATION TAG	
ROOM TAG	

# CAPE VERDEAN VETERANS HALL

## FEASIBILITY STUDY

561 PURCHASE STREET

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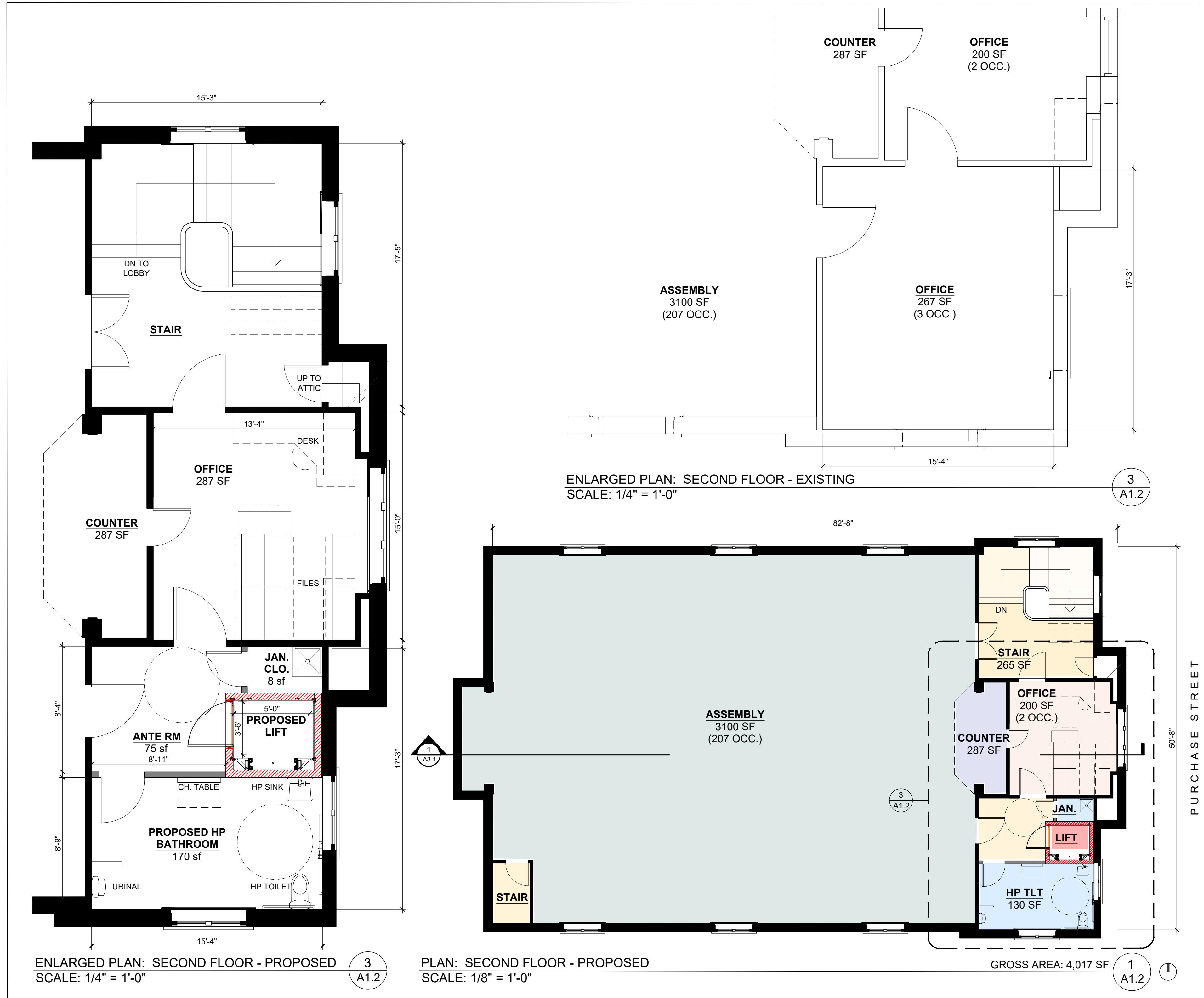
DATE: **06.23.2025**  
REVISED

# COND FLOOR PLANS

---

## EXISTING & PROPOSED

A | 1.2





EXISTING PHOTO OF SOUTHEAST CORNER,  
ACUSHNET AVENUE



HISTORIC PHOTO


**CAPE VERDEAN  
VETERANS HALL**
**FEASIBILITY STUDY**

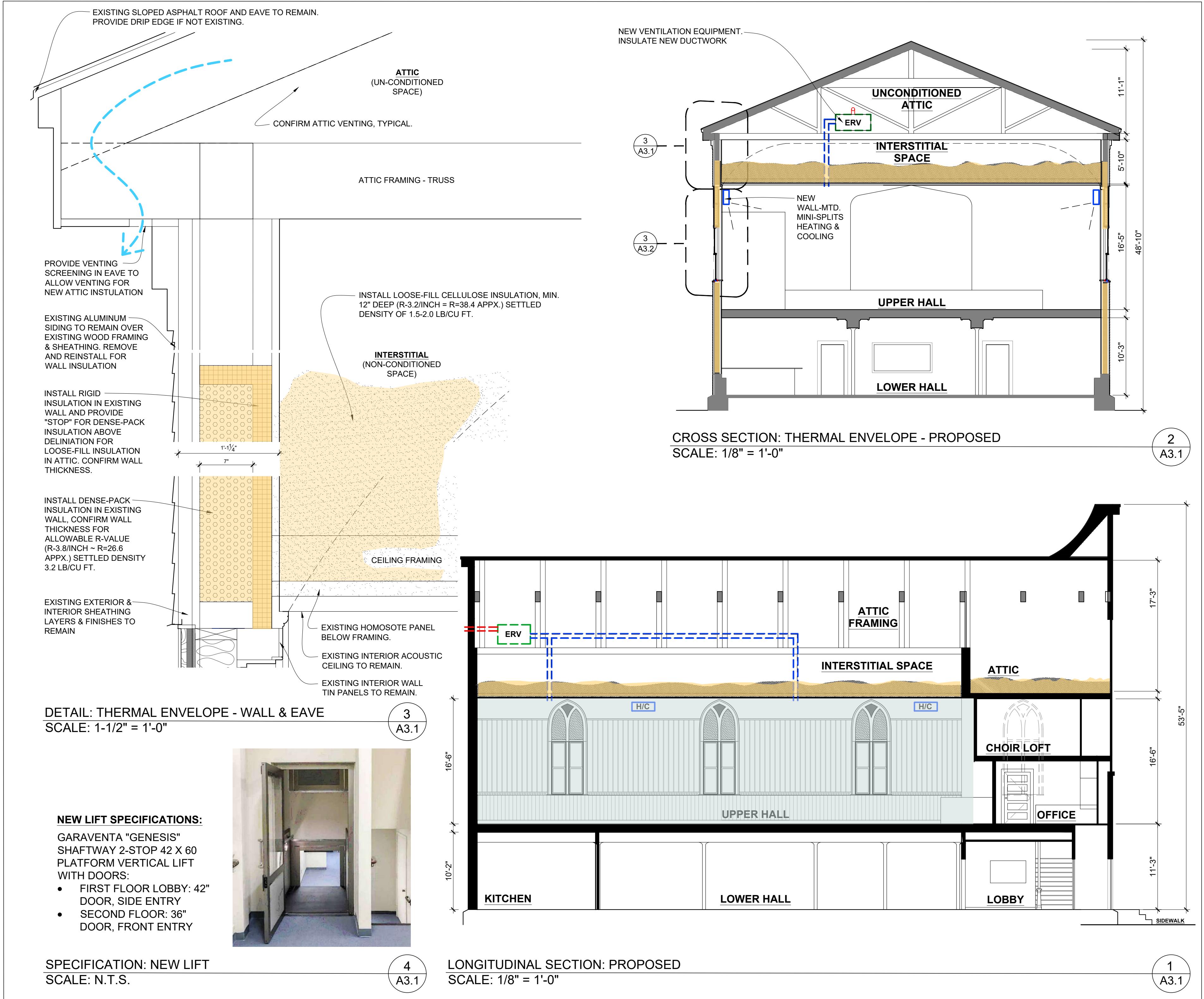
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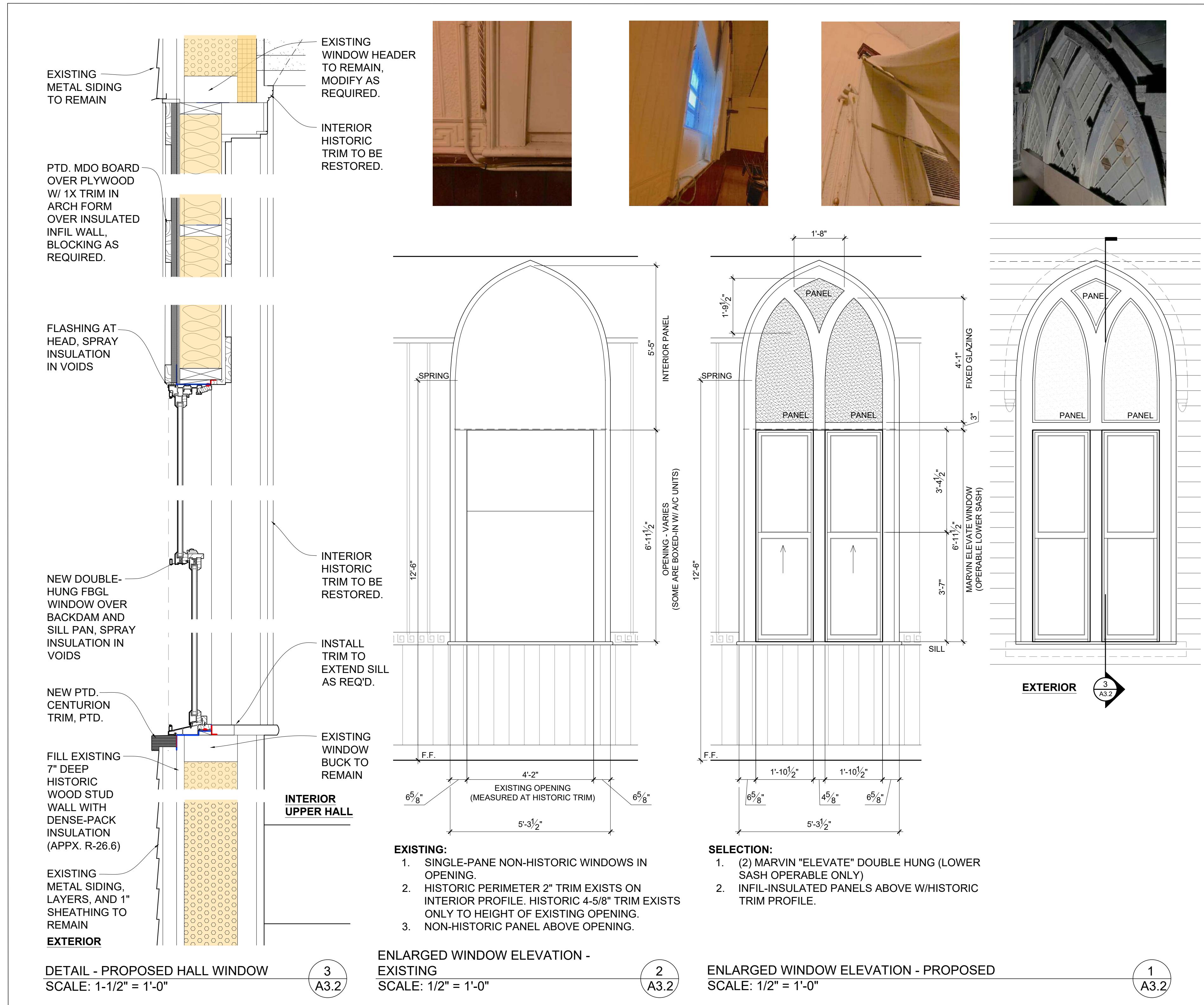
DATE: 06.23.2025  
REVISED:

**ELEVATIONS**  
EXISTING & PROPOSED

**A | 2.1**

**FEASIBILITY STUDY**



**FEASIBILITY STUDY**


# Verdean Veterans Memorial Hall Feasibility Study

June 2025



Verdean Veterans Memorial Hall  
561 Purchase Street, New Bedford, MA, 02740



**561 Purchase Street, New Bedford, MA - late 1800s**

## CONTENTS

- Introduction
- Existing Building Assessment
- Repair & Rehabilitation
  - Priority I: Envelope & Structure
    - Window Repair/Replacement
    - Insulation & Air-Sealing
    - Roof Hip Beam Repair
  - Priority II: Main Hall Systems Upgrade
    - Heating & Cooling Upgrades
    - Energy Recovery Ventilation (ERV)
  - Priority III: Handicap Access Upgrades
    - Electrical Service Upgrade
    - Accessibility Upgrades:
      - Lift to Main Hall, Toilet Upgrades
  - Priority IV: Exterior Repair & Rehabilitation
    - Community Kitchen Rehabilitation
    - Repair & Upgrade: Painting, Siding, Lighting
    - Site Improvements: Landscape, Park, Access
- Summary
  - Cost Estimates
  - Prioritizing the project scope & cost
- Attachments
  - Structural Report
  - History & Historic Color Report
  - s2s Drawing Set



## INTRODUCTION

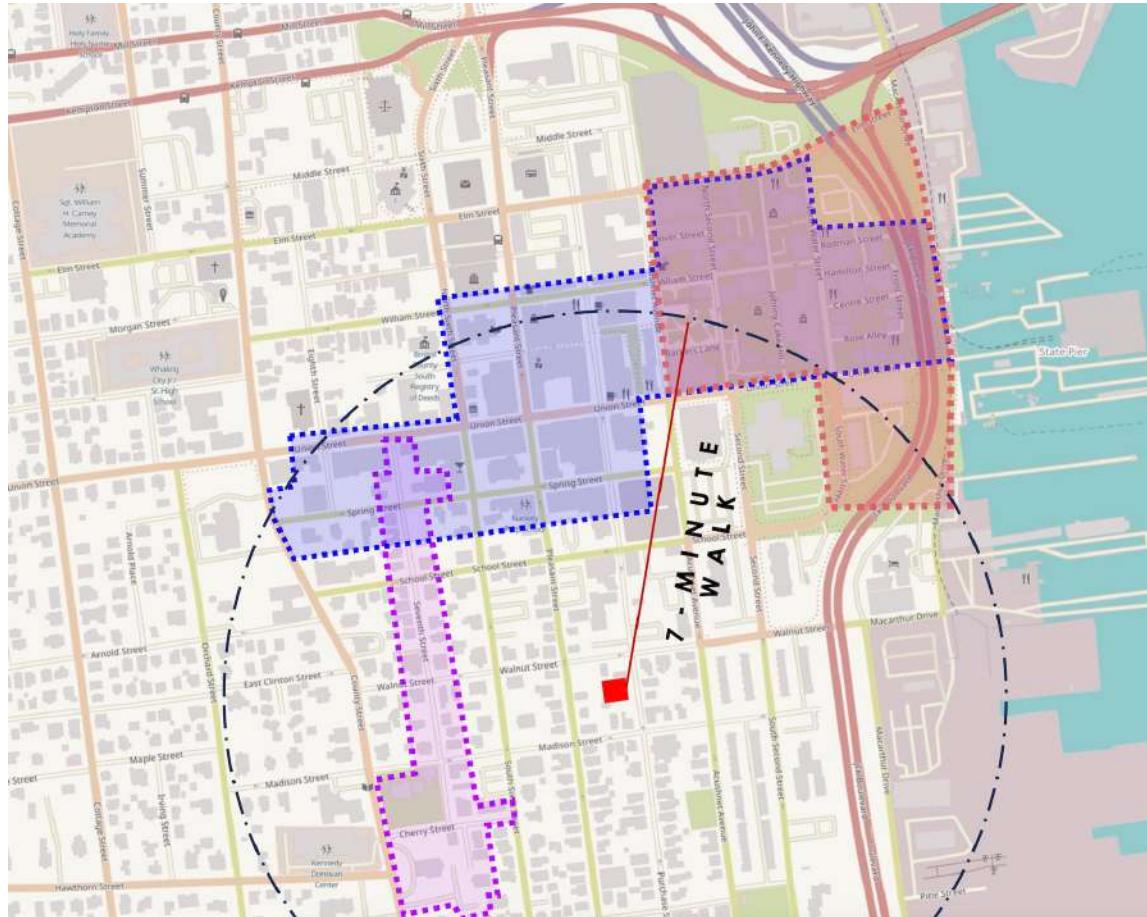
### the verdean veterans memorial hall – place & building of a community

The Verdean Veterans Memorial Hall is an important gathering space for the Cape Verdean community, in the heart of the historically Cape Verdean area of New Bedford, located within walking distance of downtown and adjacent to JFK Boulevard (Rt. 18). This building has been the home of the Cape Verdean Veterans Memorial Foundation (VVMF), and the Verdean Veterans Memorial Association (VVMA), for over six decades – purchased in 1960. The Verdean Veterans Memorial Foundation, incorporated in 1966, runs the building and manages the day-to-day operations. The VVMF contacted s2s to complete a Building Envelope Assessment, and to assist with locating a handicap lift to the upper-level hall, so that the VVMF can meet the obligation for access upgrades.

The only historic photograph of the building dates from circa late 1800s. Many of the components of this historic photograph are evident inside the building, and, assumed, under the aluminum, asphalt, and vinyl siding wrapping the building. Additionally, the historic photograph indicates the historic building layout that includes a grand entrance and stair to what was an upper-level sanctuary, and, presumably to an old choir loft and large upper foyer that have since been removed. While some minor modifications are evident, the upper-level main hall appears historically intact, although all windows have been removed and patched with plexiglass panels.

The VVMF community has been remarkably resilient and resourceful in maintaining, using, and modifying the building over these many years. However, some modifications need updating, and the recent damage to the roof framing and attic space need immediate repair. Some deferred maintenance is surfacing and building systems are nearing end-of-life usefulness. Planning for repair and rehabilitation is a perfect time to incorporate upgrades.

Communities need places to gather, celebrate, share, and support. These places are vital to a neighborhood heritage and development, and they contribute to the long-term sustainability of place and community. The Verdean Veterans Memorial Hall is such a place. The building functions, but is in need of repair and upgrade, if this place is to continue to be a vital resource for the Cape Verdean community and the neighborhood. Building systems need upgrading, handicap access needs expanding, the building envelop needs energy efficient upgrades to address costly operating and challenging building conditioning. The commercial kitchen needs substantial rehabilitation to restore the facility to productive cooking.



#### DOWNTOWN NEW BEDFORD

- BEDFORD LANDING HISTORIC DISTRICT & N.B. WHALING NAT'L HISTORIC PARK
- SEAPORT CULTURAL DISTRICT
- ABOLITION ROW HISTORIC DISTRICT
- CAPE VERDEAN VETERANS HALL 561 PURCHASE ST

## EXISTING BUILDING ASSESSMENT

accommodate, honor, upgrade

Hidden in plain sight, the Verdean Veterans Memorial Hall is surrounded by historic districts to the north and west, and by an industrial harbor to the east, yet within walking distance of downtown, New Bedford. This is an occupied building with a vibrant event schedule, associated with the Cape Verdean community. The building envelope needs to be repaired, insulated, and upgraded to address significant energy losses, costly operating expenses, and uncomfortable indoor conditions – especially during the hot summer and cold winter months.

## **handicap access upgrades**

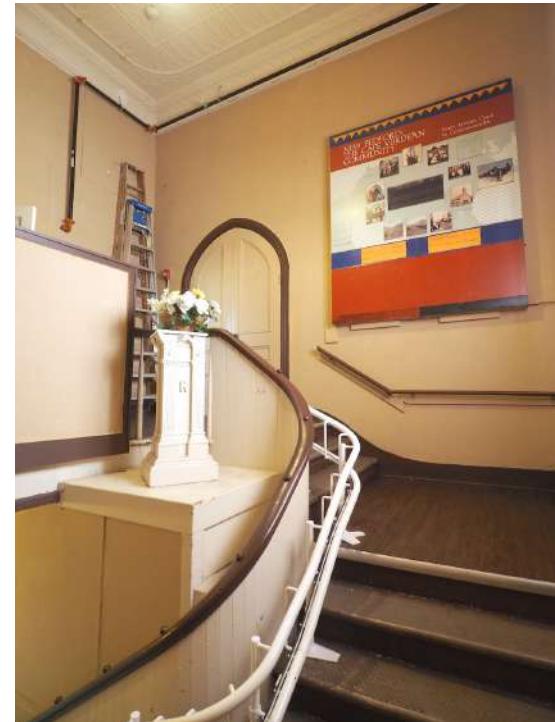
While the building is handicap accessible, the main hall on the upper level has a temporary, rail-mounted handicap access chair lift. The existing toilet facilities need modification to meet MA Architectural Access Board requirements. Additionally, the number of plumbing fixtures needs to increase to meet IBC/MA plumbing code requirements. The historic foyer has been modified over the years, but the location, and the partial historic stair, remain. Installing a lift in this area needs to support and facilitate handicap access to the upper level, while honoring the historic building and the rehabilitation work done to-date.

## **upper hall heating, cooling, and ventilation**

The upper-level hall is a great room in size, scope, and function. This event space is foundational to VVMF. Unfortunately, the space needs heating, cooling, and dehumidification to properly function in summer and winter. The space is hot and humid in the summer, and cold in the winter, and costly to condition. The windows were removed, and the plexiglass panels that are added to the openings have large gaps open to the exterior. The window air-conditioning units installed struggle to keep pace. There is no ventilation system in this space.

## **fire damage, building resilience, and sustainability**

The access to the attic was modified, and the large window on the east elevation is present, but covered with a stair on interior, and aluminum siding at the exterior. The northeast corner of the attic shows fire, structural, and water damage. The main hip beam in this area is failed, and needs repair. The attic framing has been modified, and contains framing members that appear older and hand hewn. The historic barrel-vault ceiling was replaced with a hard flat ceiling that provides a great opportunity for insulation and vapor control at the ceiling level.

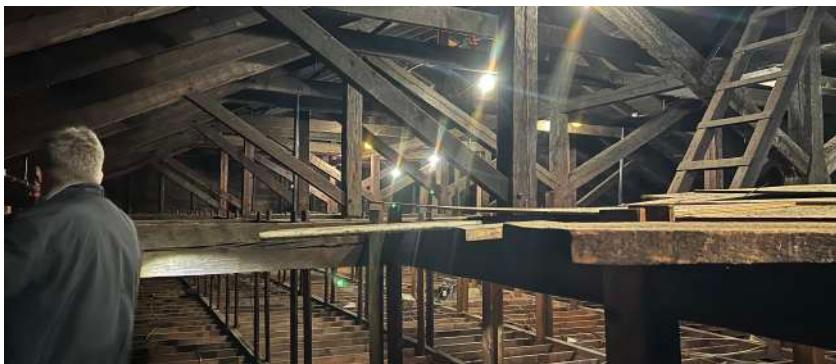


## fire and water damage

At some point, a fire occurred in the northeast corner of the attic. This area exhibits signs of substantial water and fire damage. The charred framing remains, with some modifications in areas where repairs have been installed. However, the main hip rafter beam has failed, and this needs immediate repair. Additionally, the VWMF indicated a desire to install solar panels on the roof, as the exposure to the south is well suited for solar energy generation. However, any additional loading of the roof will require a thorough structural analysis prior to proceeding.

## historic buildings and energy efficiency

The Verdean Veteran's Memorial Hall is a wood timber structure with steel columns on the lower level. The walls are large 2" X 7" wood studs, and this large void is uninsulated. The complexity of the roof timber truss framing, and the extensive fire and water damage of the rafters and sheathing make insulating this area obsolete. However, the Main Hall ceiling structure provides an opportunity for insulation and air-barrier.



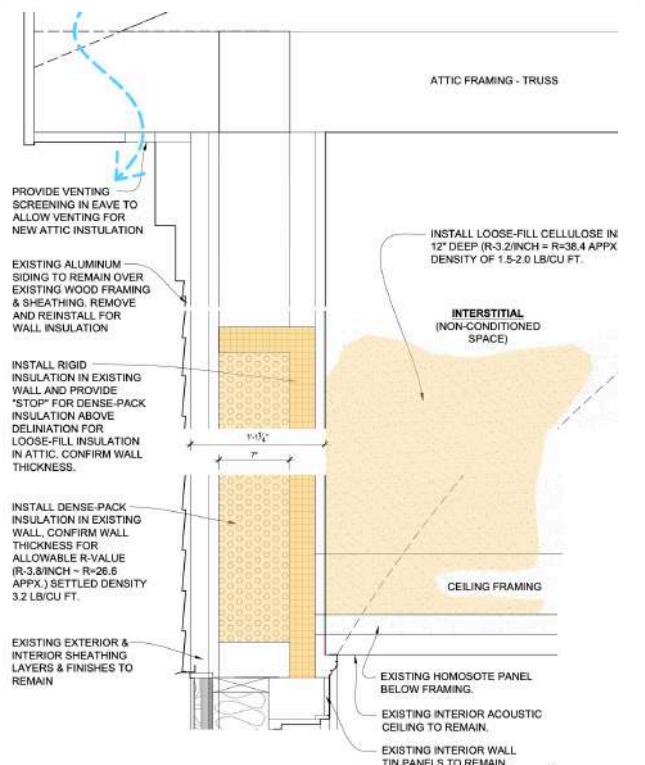
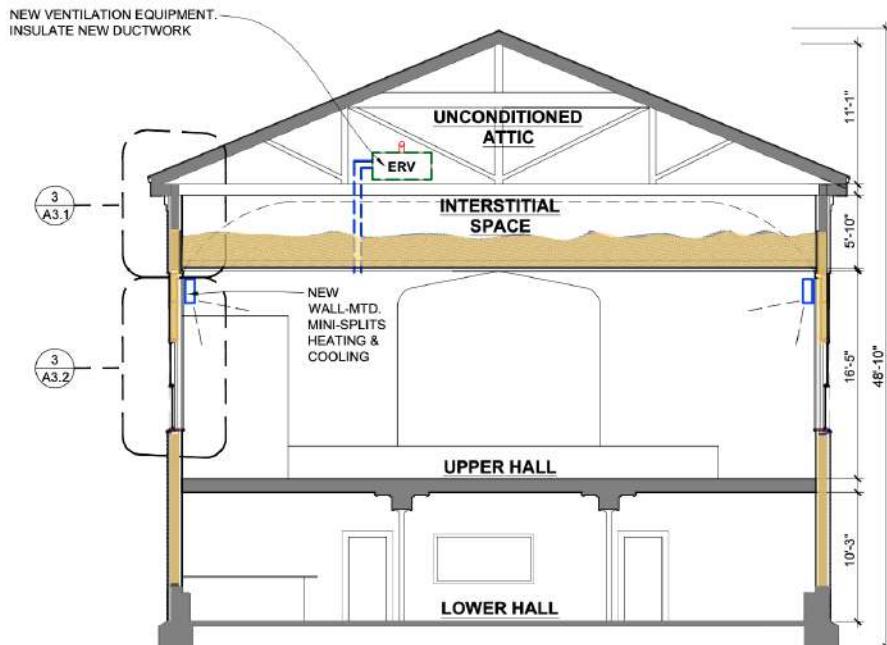
## REPAIR & REHABILITATION

### priority I: structural repair, envelope upgrades

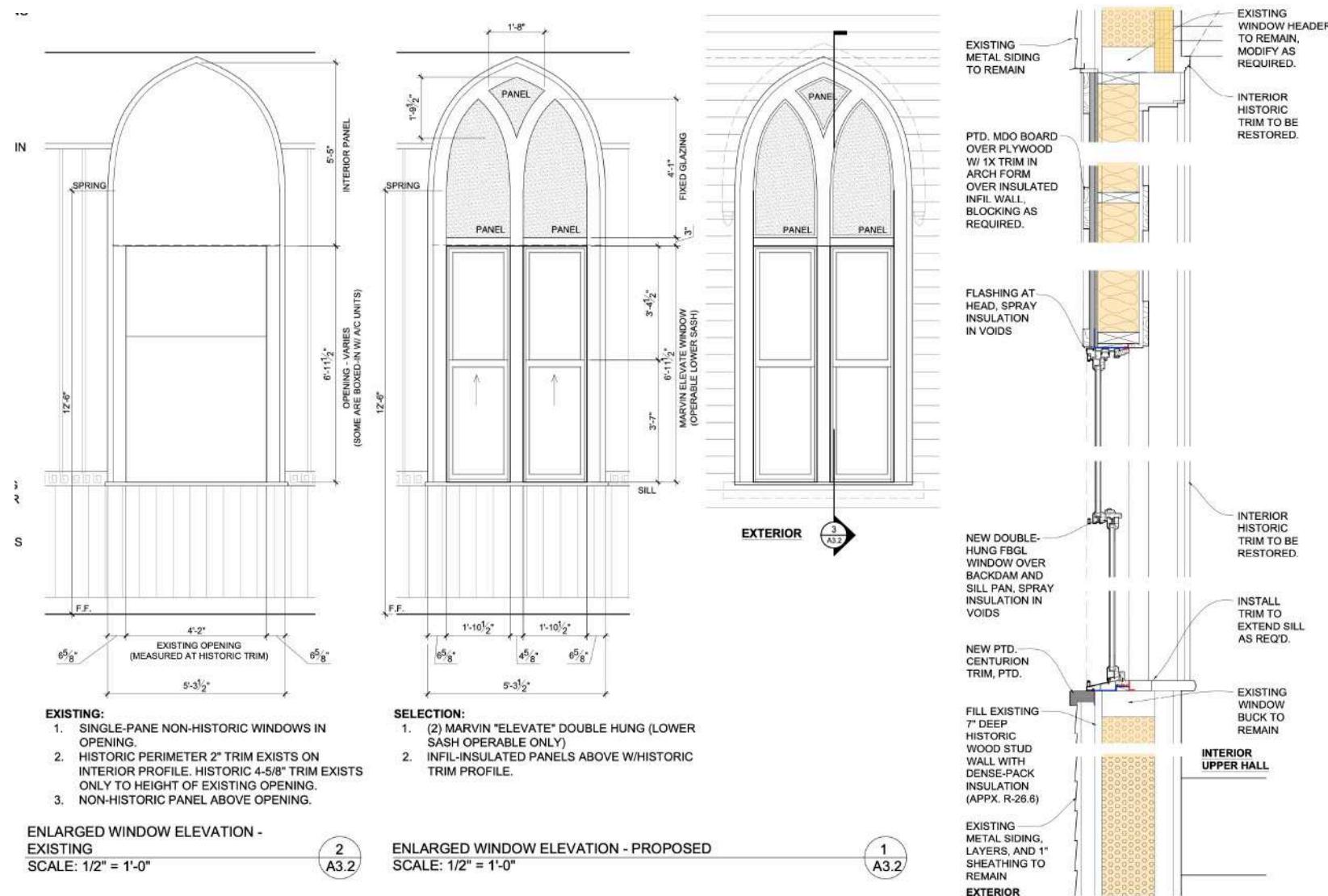
Fire, water, and decades of New England weather cycles have caused damage to the historic building of the Verdean Veterans Memorial Hall. The fire damage in the attic, combined with modifications made to the attic access and the main hall ceiling, add complexity to the roof structure. Both of these conditions contributed to the roof hip-beam split/failure. This condition will need to be repaired prior to envelope upgrades, renewable energy and/or building improvements.

The attic space is currently unconditioned, with no insulation separating this space from the "conditioned" main building, below. Further, it was determined on our building assessment, that the 7" void of the historic wall framing has no insulation. These two areas – the perimeter walls, and the attic ceiling – would significantly enhance the energy efficiency of the building, and they may be eligible for Massachusetts energy efficiency incentives and rebates through the MassSave program. The existing knob-n-tube wiring in the building will need to be removed prior to proceeding with any blown-in wall or ceiling insulation.

Enhancing the envelope for climate resilience will result in a cool and unconditioned attic space where the framing complexity makes insulation costly and unnecessary. Conversely, the modified ceiling framing over the main hall is a terrific opportunity for insulation and air-sealing at the ceiling/attic intersection.



The main hall on the upper level has plexiglass panels installed over what was the opening of large historic windows. There are visible gaps in the plexiglass panels that "ship-lap" each other. The openings have a storm window to the exterior, and no insulated glazing. These openings must be replaced, made air-tight, and receive insulated windows. We conducted a review of the options for the opening, and settled on a simple Double-Hung window installed in the historic opening. This solution is effective and reasonable.



## REPAIR & REHABILITATION

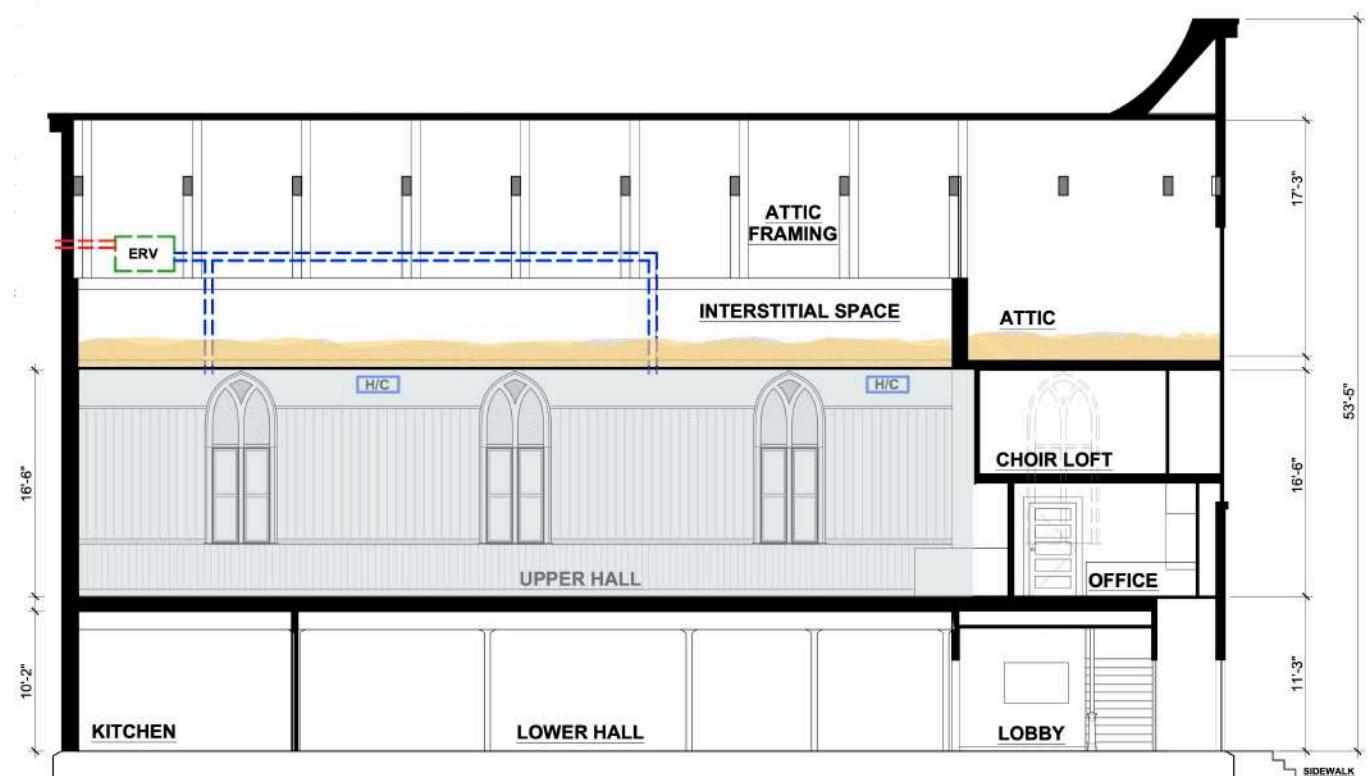
### priority II: main hall system upgrades

The upper-level main hall is costly to operate, uncomfortable for visitors, and difficult to access for ambulatory challenge persons. The lift will solve the access issue, as discussed in priority III. And the insulation, air-sealing upgrades, and window replacement in the main hall event space will create an energy efficient and resilient enclosure for an effective upgraded Heating, Ventilation, and Air-Conditioning (HVAC) system. Ultimately, the whole building will need HVAC upgrades, however, we recommend beginning with the main hall – the VVMF operations core.

The main hall large gathering space, with exterior walls to the north and the south, is a great candidate for energy efficient heat-pump heating and cooling units. The heat-pump technology is efficient and affordable when installed in spaces that are insulated and air-sealed.

Because the hall is located on exterior walls, the heat-pump units can be drained to the exterior easily – ensuring effective and efficient function.

Most importantly, this technology is eligible for rebates through the MassSave program. Lastly, the attic area is an opportunity for adding Ventilation. A small ERV unit, supplying fresh air and exhausting stale air, can be installed and serviced in the area above the main hall. All ducts must be insulated.

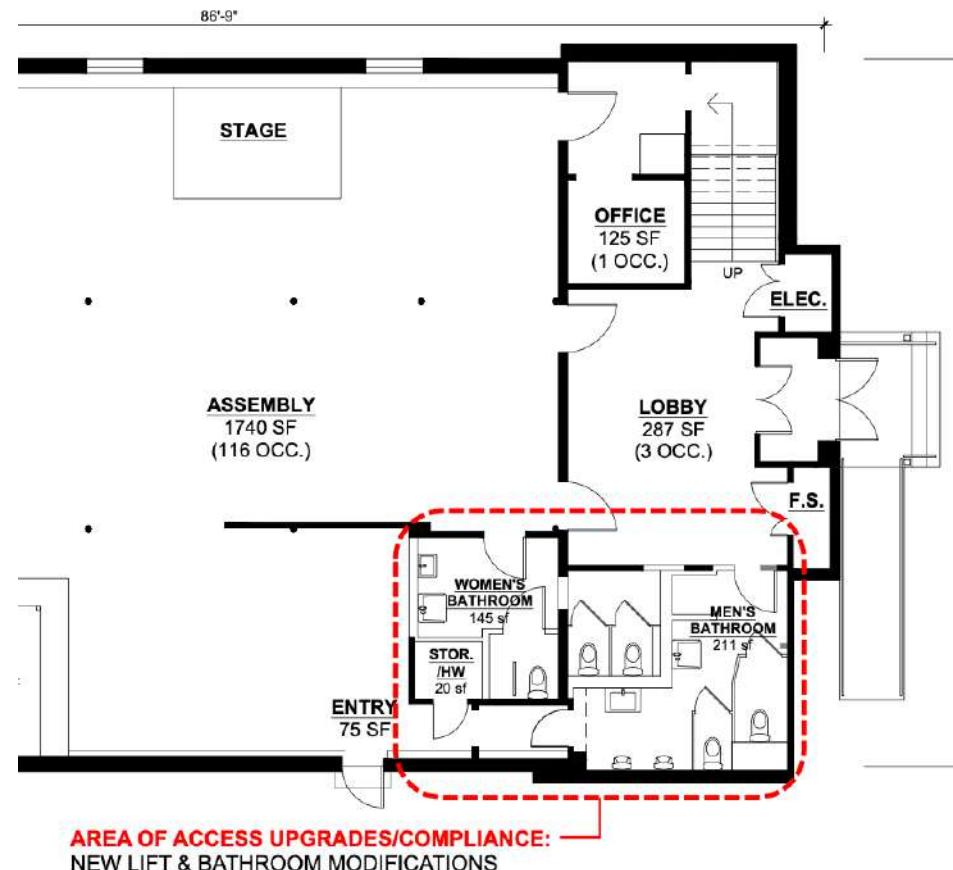


## REPAIR & REHABILITATION

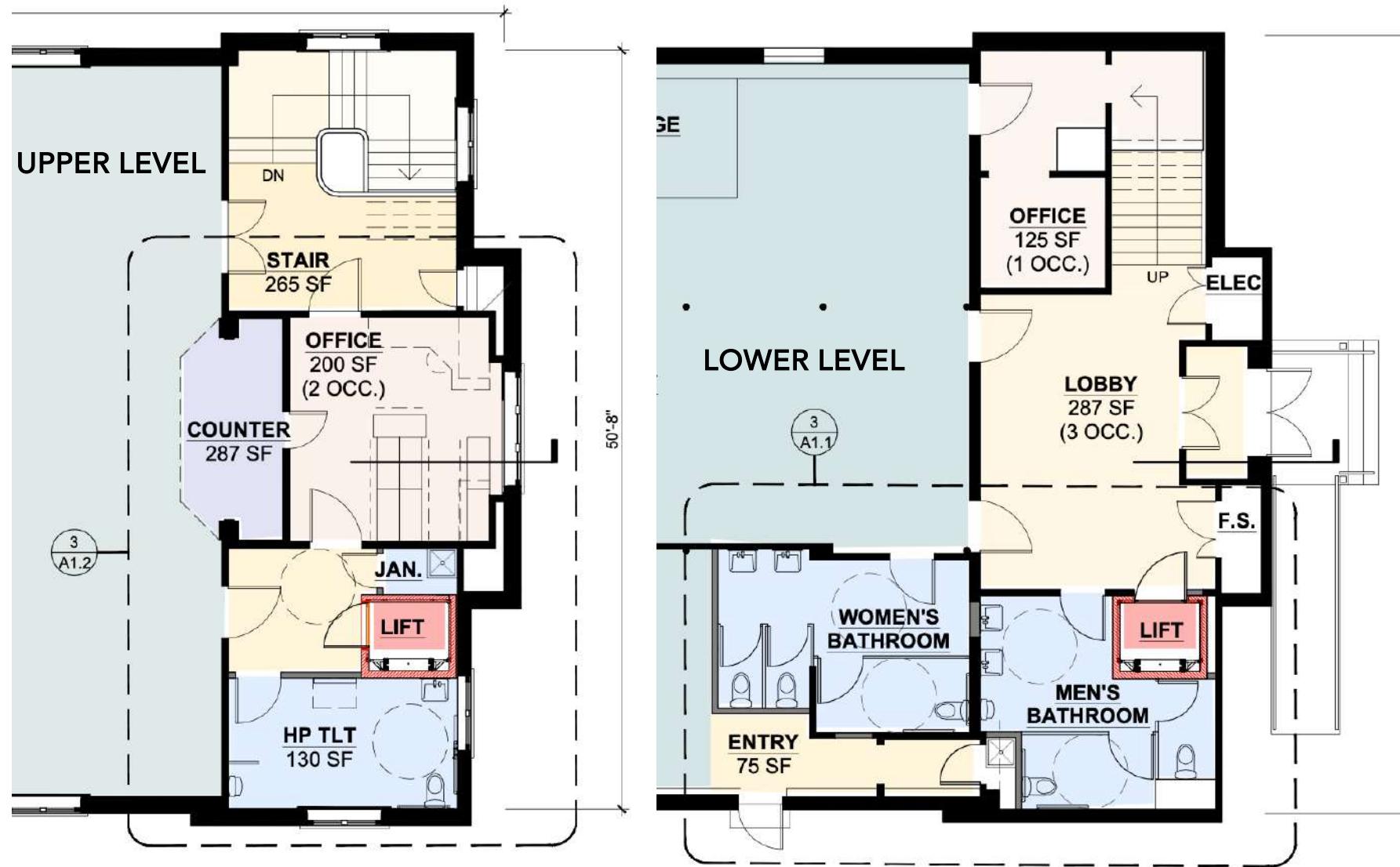
### priority III: accessibility upgrades

The heart and soul of the building and the VVMF organization is the function room – the main hall – on the upper level of the building. This space is the foundation of large community gatherings, and the foundation of operational revenue. The VVMF Hall has two large event spaces, with a social gathering space on the lower level and the main hall on the upper level. The upper-level main hall is the larger, and grander, event space of the two gathering areas. Unfortunately, all toilet facilities for the building are located on the lower level, and the access to the upper-level main hall is a temporary stair-mounted chair solution. The VVMF must install a MAAB compliant handicap access lift to the upper-level main hall. Additionally, toilet facilities will need to be updated and expanded – providing access to facilities at the upper-level hall.

The area of the existing toilet facilities on the lower level, just off the main entrance off Purchase Street, is a part of the building that has been altered, and very little historic fabric exists. This area of the building most likely contained a matching stair – the sister stair to the large stair on the north side of the foyer. The main hall has evidence of altered doors and access that indicates this area was part of a grand entrance/foyer that is long gone. Because the building needs additional toilet facilities, and upgraded handicap toilets, this is an ideal location to both provide the mandated lift to the upper level, while modifying the bathrooms to meet current code – both access and quantity. Limiting the additions to this section of the building will minimize the modification of historic building fabric by altering areas already modified.



The existing toilets are not compliant with either the Massachusetts Access Board (MAAB) requirements or the Federal ADA requirements. Further, the number of bathrooms is insufficient for the scale and use of the building. We are proposing the bathrooms be modified to accommodate the installation of the life, meet the current code requirements for quantity, and meet the MAAB requirement for handicap access. Keeping all of the "disturbance" for these upgrades in the SE corner of the building will make the construction efficient and effective while containing the disturbance.



## REPAIR & REHABILITATION

### priority IV: exterior repair & rehabilitation

Insulating the building, replacing plexiglass openings with high-performance windows, providing handicap access, providing handicap accessible toilets, and installing high-performance and efficient heating, cooling, and ventilation in the main hall will make the building accessible, efficient, comfortable, healthy and productive. The next focus must be the rehabilitation of the commercial kitchen on the lower level, and upgrading the exterior and small site of the Verdean Veterans Memorial Hall. Painting, landscaping, and site lighting will help with maintenance, aesthetics, and safety.

The commercial kitchen needs upgraded equipment, ventilation, and exhaust hood repair, including fire suppression. The Commonwealth of Massachusetts' effort to achieve carbon-neutrality by 2050, has created opportunities for induction/all electric cooking equipment. However, these changes are still out of reach for many organizations because of the up-front costs needed to purchase equipment. If the VVMF is able to secure funding for a large solar installation, a move to all-electric/induction cooking is a sustainable decision that would be less costly than pursuing a natural gas kitchen. Further, induction cooking, in addition to being a low-carbon solution, is a healthier environment for staff and visitors. However, if a solar installation is a long way off, replacing/repairing the existing natural gas cooking equipment is a strategic approach to best suited for a short-term solution while the organization moves toward a more energy efficient building, and, potentially, a sustainable renewable energy installation.



## SUMMARY

The Verdean Veteran's Memorial Hall is a building that is aging. And the Verdean Veteran's Memorial Association is aging right along with the building. The shut-down during the Covid years of 2020-2022 was devastating for this neighborhood gathering place that relied on revenue generated from the use and visitation to the building. But this community is resilient, and their determination is bringing this building back to life for a community and a neighborhood that cherishes this place, the heritage, and the community. The building has history, but the most important history is the legacy of place within this deeply Cape Verdean neighborhood just south of downtown New Bedford. studio2sustain was asked to provide an envelope assessment, and we were presented with an organization facing the challenge of making their building accessible and functional. Hence, our envelop assessment quickly expanded into a Feasibility Study that encompasses the much-needed upgrades to the envelop but gives the VVMF some tools for planning accessibility and building systems upgrades.

This building is surrounded by dense residential neighborhoods. This community gathering space is a necessary community resource if a neighborhood is to sustain and endure. The proposed upgrades summarized herein are prioritized, and intended as a first step of a building rehabilitation plan. These improvements will enable this valuable resource to grow well into the next generation and beyond.

### about sustainability

Sustainability is the goal of every project, yet it is rarely achieved and often misunderstood. The VVMF Hall is a building project with a purpose. This deeply Cape Verdean neighborhood, boxed in by a highway to the east, downtown to the north, an historic district to the west, and Clark's Cove to the south, feels overlooked and underserved. Investing in this project is an investment in a community and a place of history, heritage, and legacy. This project is about restoring a neighborhood space that is safe, accessible, and a significant community resource for preserving community history.



## COST ESTIMATES

The Verdean Veterans Memorial Hall operates as an event and gathering space for the Cape Verdean community in New Bedford. The building needs some structural repairs, envelope upgrades, and building systems upgrades to address building failures and operational expenses. These improvements will enhance the building and enable VVMF to expand their event and program capacity. Additionally, these repairs and upgrades can be done in stages, so the “downtime” for the building project will not significantly harm the event and program schedule and revenue generation. Great care must be made in the process to assemble the funding, define the project scope, develop construction documents, and solicit public bids on each phase of work.

In summary, this Feasibility Study represents a multi-year vision, with the following preliminary breakdown:

PRIORITY	DESCRIPTION	COST
Priority I: Building Enclosure Upgrades <ul style="list-style-type: none"> <li>▪ Structural Repair</li> <li>▪ Envelop Upgrade – MassSave Rebates</li> <li>▪ Window Replacement – Main Hall</li> </ul>	Year 1: <ul style="list-style-type: none"> <li>▪ Failed roof hip-beam repaired</li> <li>▪ Insulation, Vapor control &amp; Air-seal by MassSave</li> <li>▪ Replace six (6) DH windows in Main Hall - UL</li> </ul>	≈ \$50,000
Priority II: Main Hall UL Systems Upgrades <ul style="list-style-type: none"> <li>▪ HVAC Installation</li> </ul>	Year 1-2: <ul style="list-style-type: none"> <li>▪ Mini-split cool/heat &amp; ERV ventilation, Main Hall</li> </ul>	≈ \$50,000
Priority III: Accessible Upgrades <ul style="list-style-type: none"> <li>▪ Upgraded Electrical Service</li> <li>▪ HP Upgrades: Lift &amp; Toilets</li> </ul>	Year 2-3: <ul style="list-style-type: none"> <li>▪ Upgrade Electrical Service, as required</li> <li>▪ New LULA Lift off Foyer, LL - UL</li> </ul>	≈ \$150,000
Priority IV: Kitchen & Exterior Improvements <ul style="list-style-type: none"> <li>▪ Commercial Kitchen Rehabilitation</li> <li>▪ Exterior Siding Rehabilitation</li> <li>▪ Exterior Site Upgrades</li> </ul>	Year 3-5: <ul style="list-style-type: none"> <li>▪ Kitchen Equipment Repair &amp; Replacement</li> <li>▪ Exterior Siding: Repair, Painting &amp; Replacement</li> <li>▪ Site: Landscaping, Drainage &amp; Parking upgrades</li> </ul>	≈ \$150,000
Total:	Years 1-3:	≈ \$400,000
Contingency: 10%	Years 1-3:	\$40,000
Professional Services: A&E services: 10%	Years 1-3:	\$40,000
<b>TOTAL:</b>	<b>Years 1-3:</b>	<b>≈ \$480,000</b>

## ATTACHMENTS

- Structural Report, ASAP Design & Engineering Inc.
- studio2sustain preliminary Feasibility Drawings
- Historic Color report, Rachel Alison

## TEAM

### **studio2sustain inc**

studio2sustain inc is an architecture practice specializing in sustainable and high-performance buildings and sites. Located in the historic port city of New Bedford, MA, studio2sustain is a leader in adaptive reuse projects that begin with the sustainable vision to "reuse not remove." s2s integrates design, building science, history, environmental science, and community engagement into all of their projects - fostering a collaborative solutions-based approach to problem solving. studio2sustain has over thirty years of design/construction experience. Founder, Kathryn Duff, is a licensed architect and Certified Passive House Consultant.

### **ASAP Engineering & Design Co., Inc.**

Rob Desrosiers PE, Founder of ASAP, is the structural engineering consultant. Rob has over thirty years of experience working with historic buildings on adaptive reuse projects. Rob brings skill & collaboration to every challenge regardless of size and/or complexity.

### **Rachel Alison**

Rachel Alison is the historic color consultant. Rachel specializes in historic preservation and works throughout North America. Rachel has an MS in Historic Preservation from Roger Williams University. Through her studies and work facilitating historic projects, Rachel has become passionate about the power of historic preservation to revitalize communities and conserve irreplaceable historical and place-making resources.

### **Verdean Veterans Memorial Foundation Inc Team**

Lee Andrews-Tavares is the Secretary/Clerk of VVMF. Lee is our principal contact, and she is always welcoming, available, and helpful; Desiree Martin is the Treasurer, and she is hugely resourceful and informative regarding all matters of building maintenance, building costs, operations, and funding; Joyce Antunes Barboza is the Vice Chairman of VVMF. Joyce is a long-time member of VVMF, and she has been our resource for understanding the history of the organization and the story of the building; And Amilton Tavares is the President/Chairman. Lee, Desiree, and Joyce have attended most of the meetings, and shared the history, building, and organization information with our team.

# PRELIMINARY STRUCTURAL REPORT



ROBERT M. DESROSIERS, P.E.  
Consulting Engineer  
Tel. 508-946-3561

May 10, 2025

Project No. 2025-033

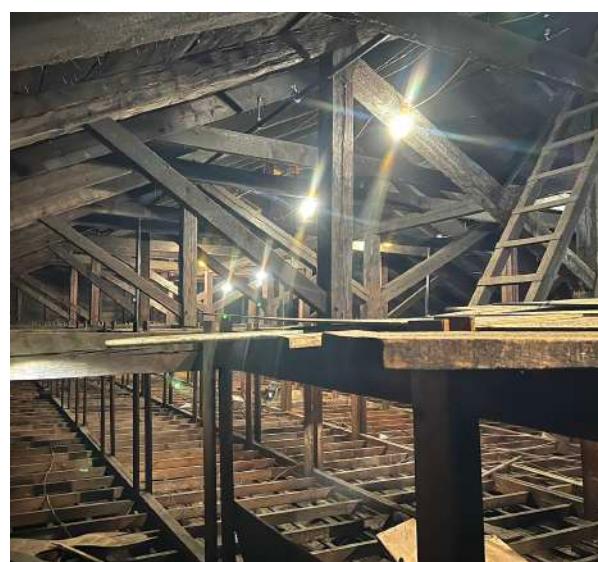
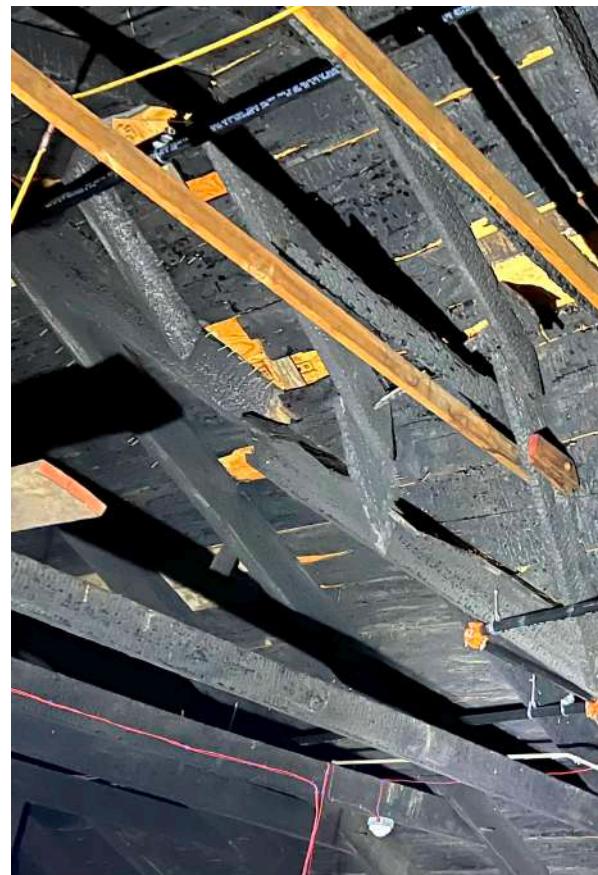
Kathryn Duff, RA  
studio2sustain, inc.  
412 County Street  
New Bedford, MA 02740

**Re: Preliminary Inspection and Evaluation of Verdean Veteran's Memorial  
Building 561 Purchase Street, New Bedford, MA**

Ms. Duff:

You asked me to conduct a preliminary inspection and evaluation of the referenced structure with respect to its overall condition. I understand that you are in the process of evaluating the structure for adaptive re-use/improvements. On Tuesday, February 25, 2025, I visited the site to conduct a walk-through inspection. This inspection was preliminary in nature and was intended only to observe the general configuration of the primary structural systems and their overall condition.

The building is a two-story, timber frame church constructed circa 1920. It is framed as a hybrid timber/dimensional lumber structure with a timber king post truss-supported roof. The building is constructed upon a stone foundation the encloses a shallow dirt crawlspace. The framing scheme of the building consists of rough sawn stud wall assemblies for the interior and exterior partitions within a heavy timber post and beam grid. The roof framing scheme consists of heavy timber trusses that span the full width of the sanctuary at roughly 10' spacing with timber rafters between. The original ceiling in the sanctuary appears to have been a barrel vault. This was removed and replaced with a suspended flat ceiling. This may have been associated with damage caused by a significant fire that affected the front wall and a portion of the roof framing at the front of the church. The hip and gable roof framing at the front of the church exhibits significant charring and loss of section. The primary hip rafter on the north east corner of the building has failed and its connection to the first timber truss is severed. This connection should be addressed as a priority. An evaluation of the fire damage to the roof framing should be undertaken in the





near future. An in-depth study of the timber trusses, including an examination of the connections between truss members and the timber wall framing should be part of any overall assessment. Detailed structural analysis of the trusses, rafters, and sheathing should be undertaken prior to considering the addition of solar array loads to the roof.

The second floor is framed with joists that span from the exterior walls to two beam lines that run the length of the building. The timber floor beams are supported at intervals by cast steel columns that bear upon brick piers at the first floor level. The first floor framing is arranged in a similar scheme to the second floor.

It appears that portions of the main entrance and foyer were altered from the original plan and renovated to change the entry pattern and access to the main sanctuary on the second floor. Overall, the building is in fair condition with the exception of the fire damage at the roof (and possibly with the front wall), presents some critical structural challenges.

The foundation of the building should be examined from within the crawl space and the condition of the sills and beams checked for moisture damage.

In my view, the building presents an fairly solid framework for renovation and re-use. While more in-depth structural investigation is warranted in order to assess the existing roof structure for remedial repair and reinforcement work, it appears that the balance of the wall and floor framing can largely be utilized as it is. Re-framing of damaged portions of the roof can most likely be accomplished utilizing engineered wood framing materials and possibly some steel components. In our experience, this work can be completed successfully as long as it is approached in a thoughtful fashion.

In summary, the building has substantial structural value. It was reasonably well constructed to meet and exceed the standards of the period. There is significant value in the remaining foundation and wood framing throughout.

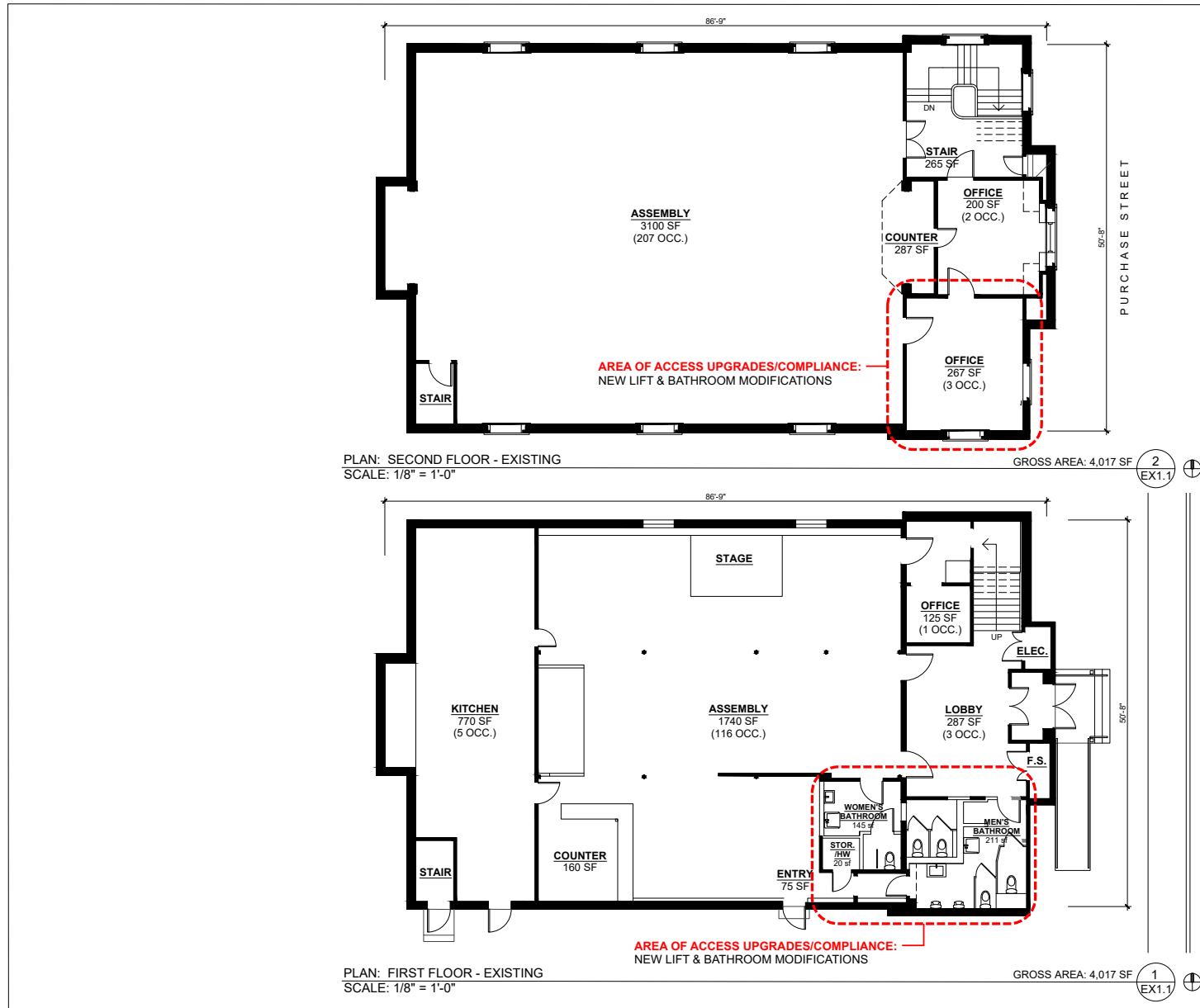
If you have any questions regarding this report, or if you require additional information, please do not hesitate to call.

Very Truly Yours,

Robert M. Desrosiers, P.E., M. ASCE



# FEASIBILITY DRAWINGS



**studio2sustain**  
ARCHITECTURE  
412 County Street  
New Bedford, MA 02740  
info@studio2sustain.com  
508 999 9345

## FEASIBILITY STUDY

PLAN KEY	
EXISTING WALLS	
EXISTING WALLS	█
PROPOSED WALLS - FULL HT.	█
PROP WALLS - 1/2 HOUR RATED	1/2-HR SEP
PROP WALLS - 1 HOUR RATED	1-HR SEP
PROP WALLS - PARTIAL HEIGHT	
WINDOW TYPE	Ⓐ
DOOR TAG	Ⓑ
PLUMBING FIXTURE TYPE	Ⓒ
PARTITION TYPE	Ⓓ
SECTION TAG	DWG. X SHEET X-X
ELEVATION TAG	DWG. X SHEET X-X
ROOM TAG	RM # XXX NAME ROOM AREA - XX SF

## CAPE VERDEAN VETERANS HALL

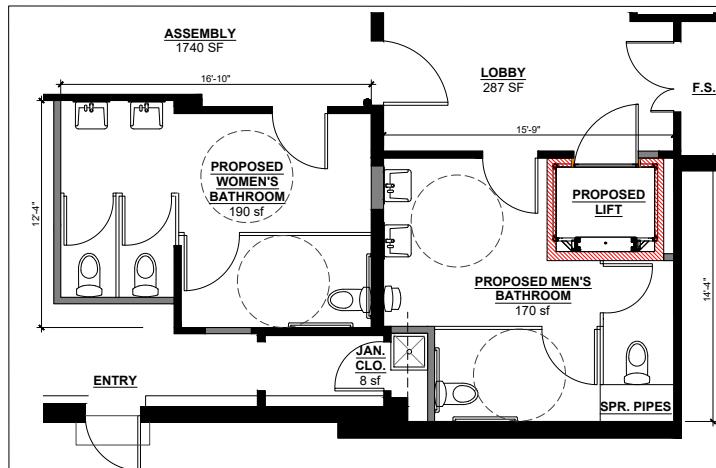
FEASIBILITY STUDY  
561 PURCHASE STREET  
NEW BEDFORD, MA 02740

DATE: 06.23.2025  
REVISED:

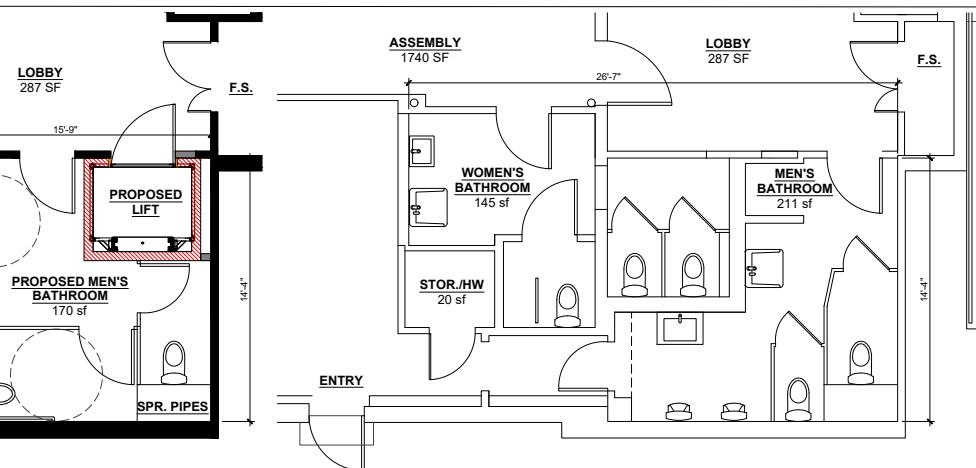
FIRST AND SECOND FLOORS

EXISTING & DEMO

**EX|1.1**



ENL. PLAN: FIRST FLOOR - PROPOSED  
SCALE: 1/4" = 1'-0"



ENL. PLAN: FIRST FLOOR - DEMO  
SCALE: 1/4" = 1'-0"

#### PROJECT SUMMARY:

RENOVATION OF A CIRCA 1920 TWO STORY, 8 ROOM GROSS SF, ASSEMBLY BUILDING LOCATED AT 561 PURCHASE STREET IN NEW BEDFORD, MASSACHUSETTS. THE EXISTING FOOT PRINT OF THE BUILDING WILL REMAIN THE SAME. RENOVATION INCLUDES HANDICAP UPDATES OF BATHROOMS AND INSTALLATION OF A LIFT. THERMAL IMPROVEMENTS INCLUDE INSULATION, NEW WINDOWS, AND HVAC UPDATES.

#### TOILET REQUIREMENT CODE REVIEW:

REQUIRED TOILETS: 248 CMR: TABLE 1

USE: ASSEMBLY HALL: 334 OCC. TOTAL - (F) 1:25 UP TO 200; (M) 1:50 UP TO 200

159 MALE: (3) REQUIRED FIXTURES: (1) URINAL; (1) TLT; (1) HP TLT.

159 FEMALE: (7) REQUIRED FIXTURES: (6) STALLS; (1) HP TLT.

SOLUTION: INSTALL NEW TOILETS FIRST FLOOR (1) HP 2ND FL.

FEMALE: (4) REQUIRED FIXTURES: (3) STALLS; (1) HP TLT.

SOLUTION: (1) HP/(1) REG. TLT. 1ST FL. & (2) EXISTING IN BASEMENT

TABLE 1008.3.1

REQUIRES (2) EXITS (100 OCC) > 49 AND <501

1007.1 REMOTENESS OF EGRESS STAIRS: 1/3 DIAGONAL OF BUILDING = 32' MIN.

SEPARATION: YES, MEETS

TABLE 1017.2 EX ACCESS TRAVEL DISTANCE: 250' WITH SPRINKLER SYSTEM: YES, MEET

#### GENERAL NOTES:

1. ALL WORK, AS DEFINED OR IMPLIED WITHIN THESE CONSTRUCTION DRAWINGS AND BUILDING SPECIFICATIONS IS TO BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL BUILDING CODES AND REGULATIONS.

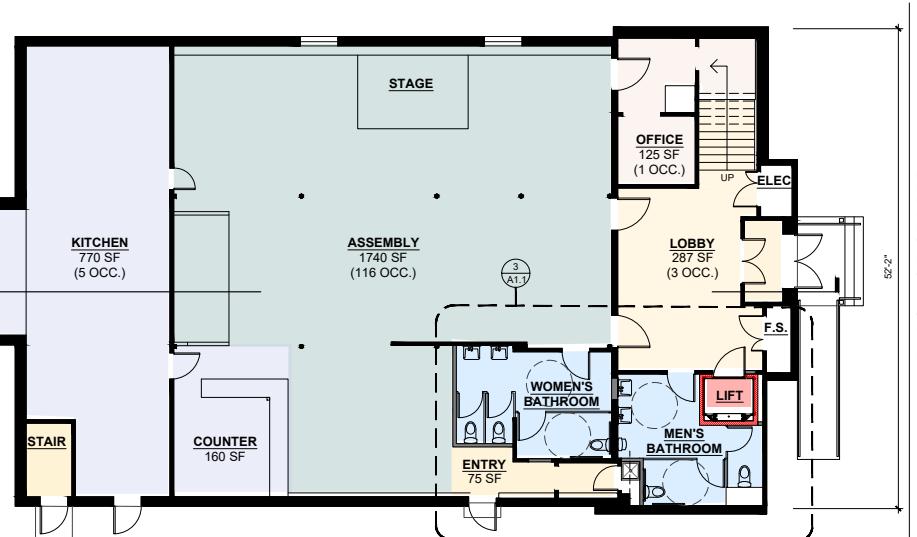
2. ALL DIMENSIONS SHOWN REPRESENT APPROXIMATE DELINEATIONS AND ARE NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES. ALL WIDTH DIMENSIONS ARE APPROXIMATE, AS WALLS ARE UNLEVEL PLASTER, STONE AND/OR BRICK MASONRY. ALL DIMENSIONS MUST BE VERIFIED IN FIELD.

3. THE CONTRACTOR SHALL EXAMINE THE ENTIRE SITE, AND WILL TAKE INTO ACCOUNT ALL CONDITIONS THEREON AS MAY AFFECT THE PERFORMANCE OF THE WORK UNDER THE CONTRACT. ALL DIMENSIONS MUST BE VERIFIED IN FIELD PRIOR TO COMMENCING WORK. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES AND/OR DEVIATIONS FROM WHAT IS PRESENTED AND/OR IMPLIED ON THESE DRAWINGS AND SPECIFICATIONS.

4. ALL REPAIR OF EXISTING BRICK TO BE EXECUTED IN STRICT ACCORDANCE WITH THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AND WITH THE SPECIFICATIONS AND CONSTRUCTION DRAWINGS.

5. THESE DRAWINGS ARE INTENDED TO SHOW THE EXISTING CONDITIONS OF THE EXISTING BUILDING, INCLUDING PROPOSED REPAIRS AND RENOVATIONS. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN FIELD. DO NOT SCALE DRAWINGS. CONTRACTOR TO NOTIFY THE ARCHITECT AND THE OWNER IF ANY CONDITIONS APPEAR CONTRARY TO THE DRAWINGS AND/OR SPECIFICATIONS.

6. THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE IDENTIFICATION, DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE.



PLAN: FIRST FLOOR - PROPOSED  
SCALE: 1/8" = 1'-0"

GROSS AREA: 4,063 SF  
1  
A1.1



studio2sustain  
ARCHITECTURE

412 County Street  
New Bedford, MA 02740  
info@studio2sustain.com  
508 999 5345

#### FEASIBILITY STUDY

PLAN KEY	
EXISTING WALLS	
EXISTING WALLS	
PROPOSED WALLS - FULL HT	
PROPS WALLS - 1/2 HOUR RATED	1/2HR SEL
PROPS WALLS - 1 HOUR RATED	1HR SEL
PROPS WALLS - PARTIAL HEIGHT	
WINDOW TYPE	(A)
DOOR TAG	(S)
PLUMBING FIXTURE TYPE	(P)
PARTITION TYPE	
SECTION TAG DWG. SHEET	XXX
ELEVATION TAG DWG. SHEET	XXX
ROOM TAG RM # — XXX NAME — ROOM AREA — XX SF	

#### CAPE VERDEAN VETERANS HALL

##### FEASIBILITY STUDY

561 PURCHASE STREET  
NEW BEDFORD, MA 02740

DATE: 06.23.2025  
REVISED:

##### FIRST FLOOR PLANS

EXISTING &  
PROPOSED

A | 1.1

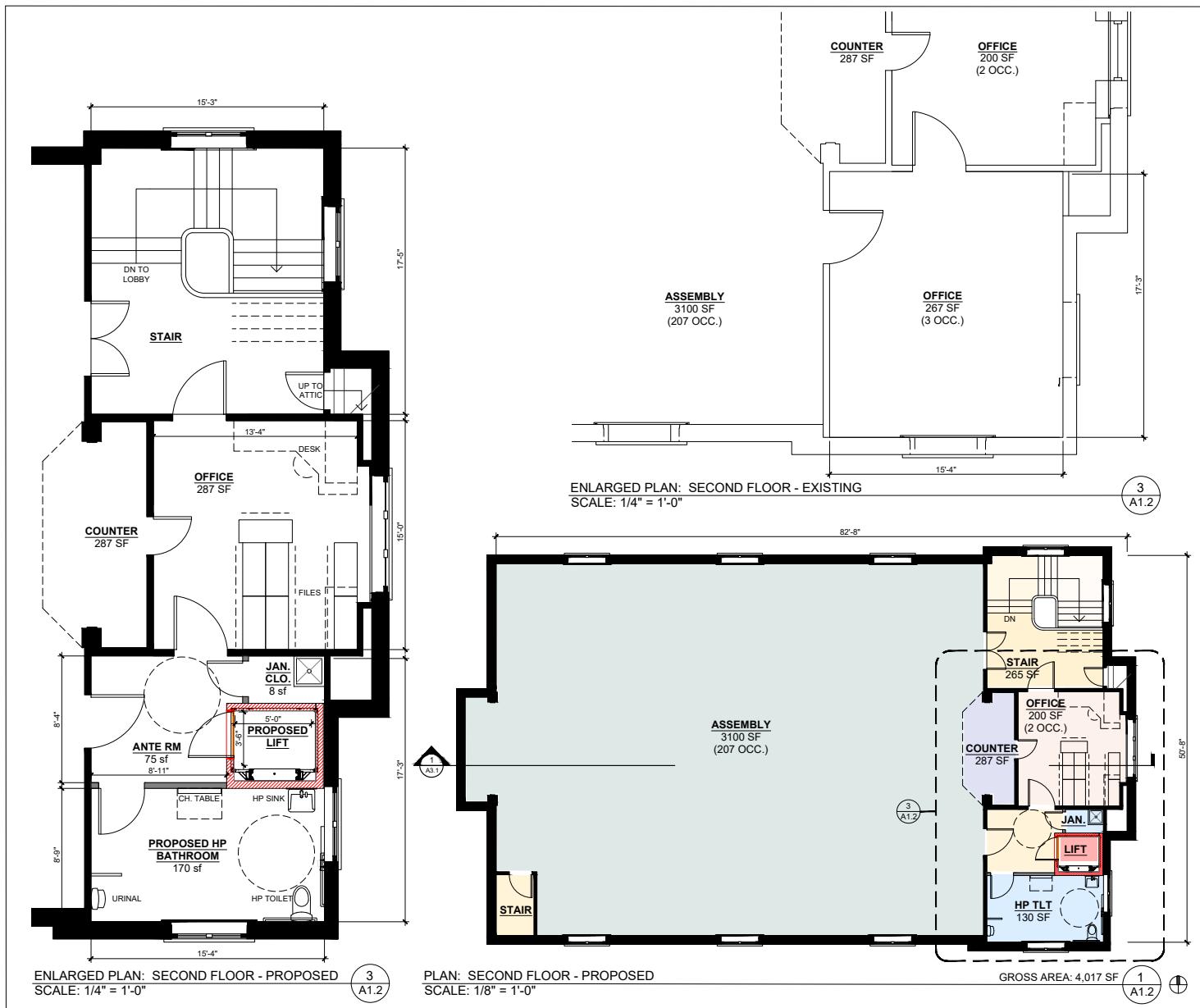


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New Bedford, MA 02740  
info@studio2sustain.com  
508 999 5145

FEASIBILITY STUDY

PLAN KEY	
EXISTING WALLS	
EXISTING WALLS	
PROPOSED WALLS - FULL HT.	
PROP WALLS - 1/2 HOUR RATED	2-HR SEP
PROP WALLS - 1-HOUR RATED	1-HR SEP
PROP WALLS - PARTIAL HEIGHT	
WINDOW TYPE	(A)
DOOR TAG	(B)
PLUMBING FIXTURE TYPE	(P)
PARTITION TYPE	
SECTION TAG	DWG SHEET (X,Y)
ELEVATION TAG	DWG SHEET (X,AX)
ROOM TAG	RM # — XXX NAME — ROOM AREA — XX SF





EXISTING PHOTO OF SOUTHEAST CORNER,  
ACUSHNET AVENUE



HISTORIC PHOTO

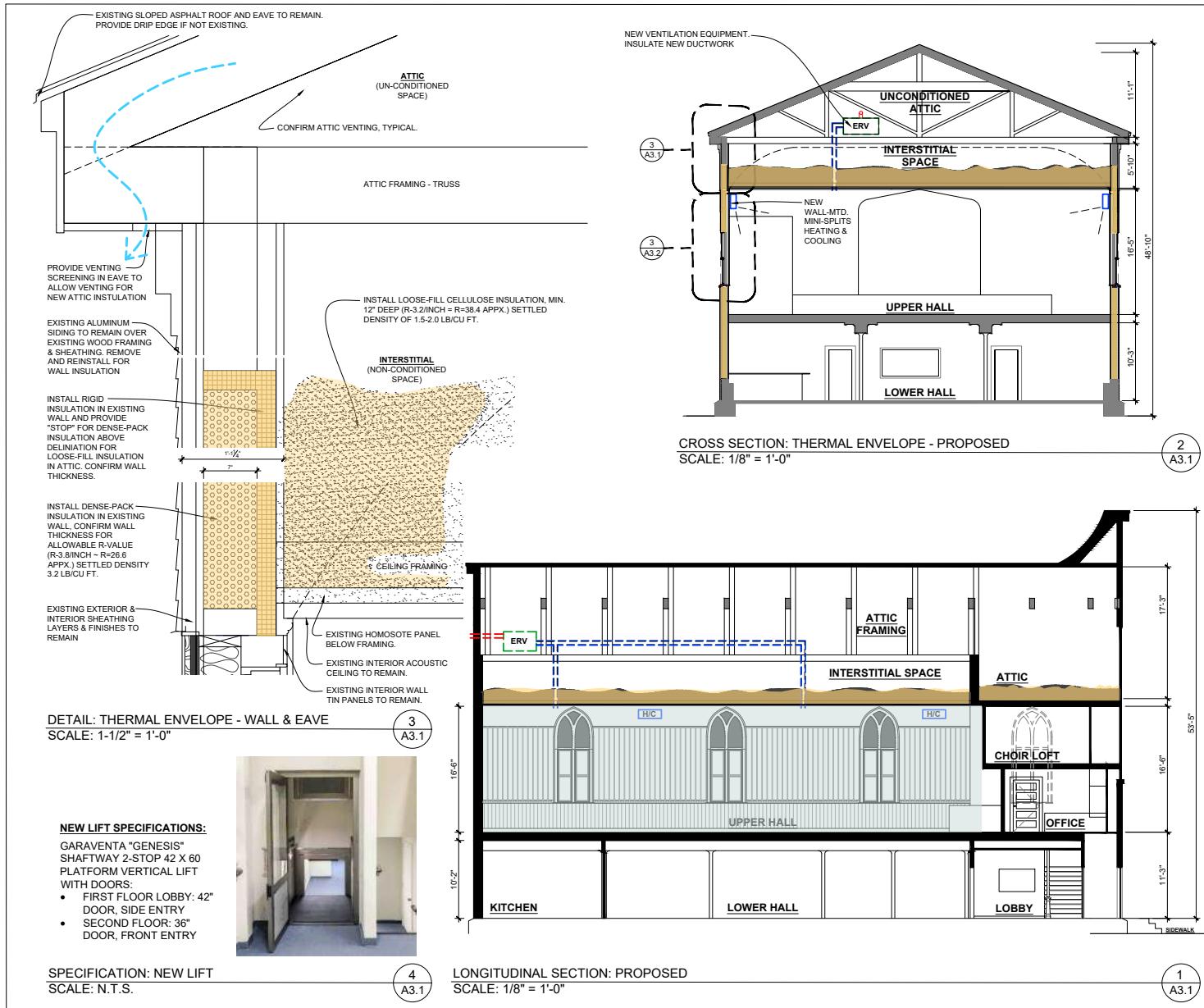


studio<sup>2</sup>sustain  
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FEASIBILITY STUDY





studio2sustain

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New Bedford, MA 02740  
[info@studio2sustain.com](mailto:info@studio2sustain.com)  
508 999 5145

## FEASIBILITY STUDY

<b>HVAC KEY</b>	
ERV UNIT (ENERGY RECOVERY VENTILATION)	
VENTILATION: FRESH AIR SUPPLY (INSUL'D)	
VENTILATION: EXHAUST THROUGH ATTIC GABLE	
<b>THERMAL KEY</b>	
UPPER WALL CEILING: LOOSE FILL INSULATION	
EXTERIOR WALLS: DENSE-PACK INSUL.	

## CAPE VERDEAN VETERANS HALL

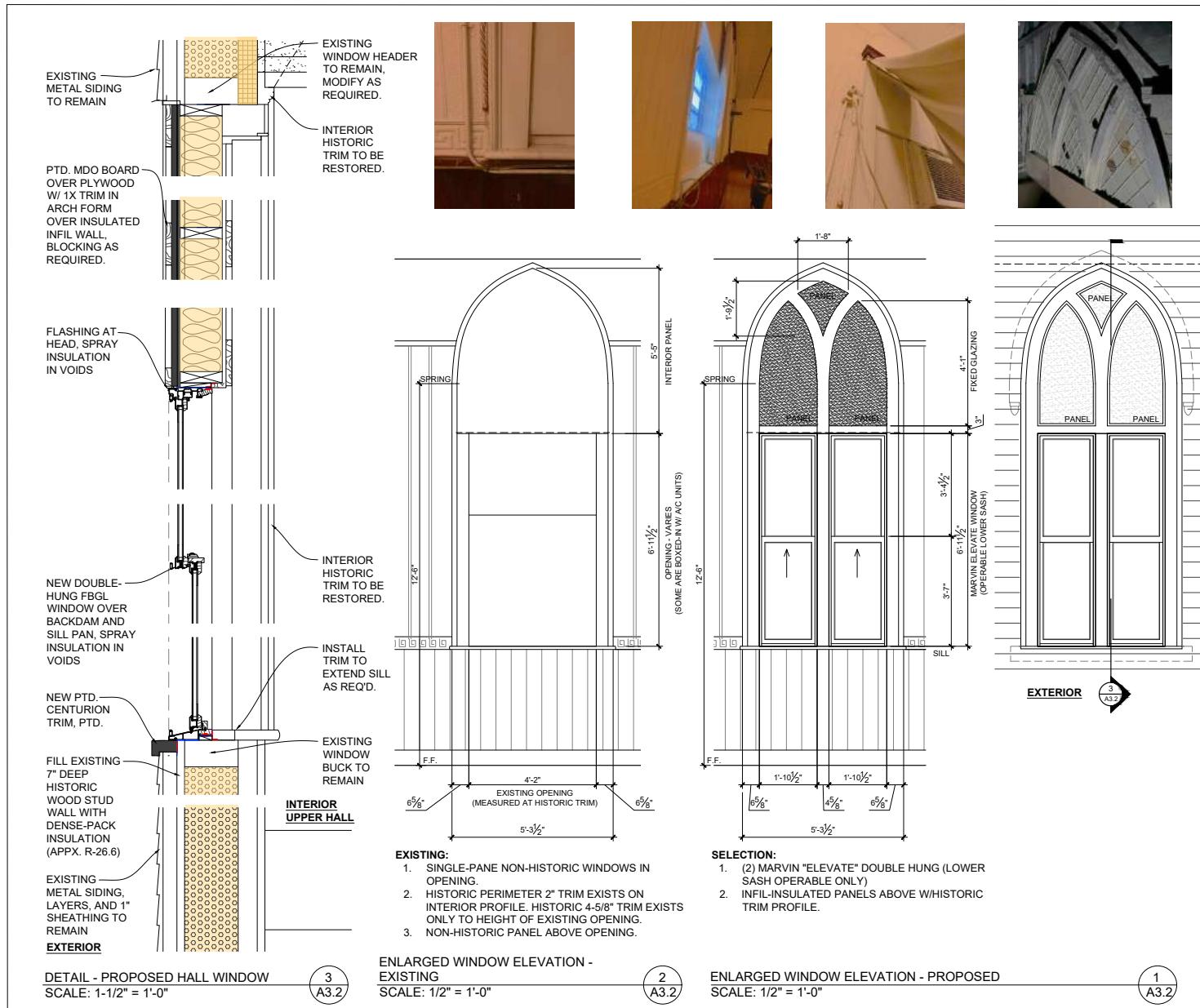
## FEASIBILITY STUDY

561 PURCHASE STREET  
NEW BEDFORD, MA 02740

DATE: 06.23.2025  
REVISED:

SECTION & ELEVATION  
EXISTING & PROPOSED

A | 3.1



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ARCHITECTURE

412 County Street  
New Bedford, MA 02740  
info@studio2sustain.com  
508 999 9345

FEASIBILITY STUDY

CAPE VERDEAN  
VETERANS HALL

FEASIBILITY STUDY

561 PURCHASE STREET  
NEW BEDFORD, MA 02740

DATE: 06.23.2025  
REVISED:

WINDOWS  
EXISTING & PROPOSED

A | 3.2

# HISTORIC PAINT COLORS

Cape Verdean Veterans Hall  
561 Purchase Street, New Bedford, MA  
June 2025



# HISTORY

## CAPE VERDEAN VETERANS HALL

The Cape Verdean Veterans Hall was initially constructed in the mid-nineteenth century, perhaps as early as circa 1835, for the Second Methodist Episcopal Church. The building was originally designed as a 2-story Gothic Revival church and featured a centered front gable bay flanked by pinnacled false buttresses, additional corner false buttresses, a pointed arch front entry, and pointed arch windows. It was built with wood-frame construction and clad with horizontal flush boarding.

Sometime in the mid-twentieth century, the building was covered with aluminum lap siding. The center buttress pinnacles are no longer extant, but it appears that the aluminum siding was installed proud of the main elevation planes, and the buttresses may remain underneath. The aluminum siding also covered pointed arch window and door openings, and smaller, simpler, rectangular windows and doors were installed within original openings.

The building served as the Second Methodist Episcopal Church until around 1925. At that time, it exchanged ownership to the Eastern Star Temple Corporation, followed by Veterans' Ventures in 1945, then to the VFW Club in 1946, then to Andrews-Dahill Post 1531 in 1956, and finally to the Cape Verdean-American Veterans Association in 1960.

The Cape Verdean-American Veterans Association (the VETS) first formed in 1946 to support and honor Cape Verdean World War II veterans, who were denied access into other primarily White veterans' organizations. Since its founding, the VETS has played a prominent role in the local Cape Verdean community, helping to foster fellowship among veterans and their families, promote civic engagement, and advocate for community needs. Among other endeavors, the VETS supports civic, educational, and

charitable functions, as well as sponsors the annual Cape Verdean Recognition Day parade in New Bedford.

The Cape Verdean Veterans Hall has served as the home of the VETS and as a vital community center for over six decades. It was listed on the National Register of Historic Places in 1976 as a contributing resource to the County Street Historic District.

## PAINT IN THE MID-NINETEENTH CENTURY

Paint has been used to both decorate and act as a protective barrier over the surfaces of buildings for centuries. In colonial North America and the United States through the mid-nineteenth century, paint was hand-mixed on site using a blend of natural pigments and a binder, usually linseed oil. Paint used on the exteriors of buildings remained fairly limited in color range, although some stylistic shifts did take place from era to era and among different architectural styles.

During the mid-nineteenth century, colors used on Gothic Revival buildings were typically soft, neutral, naturalistic colors intended to blend buildings into their surroundings. Favored colors included light grays and ochres. The color white was particularly avoided. Gothic Revival buildings typically used two related main colors: one for the body surfaces of the structure, and one for the trim. Typically, a single hue was chosen, with a lighter tint used on the body and a darker shade used on the trim, or sometimes vice versa. Window sashes were painted either a deep shade of the main hue or a deep green.

# HISTORIC COLOR RECOMMENDATIONS

The following page contains an example color palette for the Cape Verdean Veterans Hall, put together using historic color palettes, paint advertisements and color sample cards, and color plates from mid-nineteenth-century architectural books.

Color palettes were created under the assumption that the existing aluminum siding will be retained and repainted and that windows will be replaced using Marvin's Elevate line of windows. Marvin's standard colors for their Elevate windows were used as the starting point for the palette. Of the available colors, the most historically appropriate for the building would be Bronze.

The palette contains three assigned paint colors and placements: a main color for the body ("clapboards"); a secondary trim color for window surrounds, door jambs, and gutters and soffits; and a tertiary color for doors and panels. Marvin's Bronze color is also included for reference. It is recommended that downspouts be painted to match the surrounding surfaces to help them blend in. If the roof is replaced, it is recommended to use a brown tone to harmonize with the paint and window colors.

Color swatches and names given are from the Sherwin Williams line of paints. It is not necessarily recommended to use Sherwin Williams over other paint lines; in general, it is usually best to use the paint line your painter recommends and is familiar with using. Your painter can color match from the colors given here to the line of paint they are using.

The colors given here are intended as starting points. Because paint colors on screens and on paint chips tend to look slightly different than painted surfaces in real life, it is recommended to paint swatches on the building, compare painted swatches to samples of Marvin's Bronze color, and adjust paint colors as needed before selecting final colors. Painting liberally sized swatches on multiple elevations and observing during different parts of the day and during different weather conditions can give a clearer idea of what a color will look like once painted on the entire building.

Paint as a beautification tool is incredibly subjective, but choosing period-appropriate paint colors for historic buildings helps to place them in their historic context and enhance their architectural styles. Thank you for your interest in historic paint colors and for the opportunity to develop historic color recommendations for your building.

# COLORS



**CLAPBOARDS:** Downing Sand (2822)



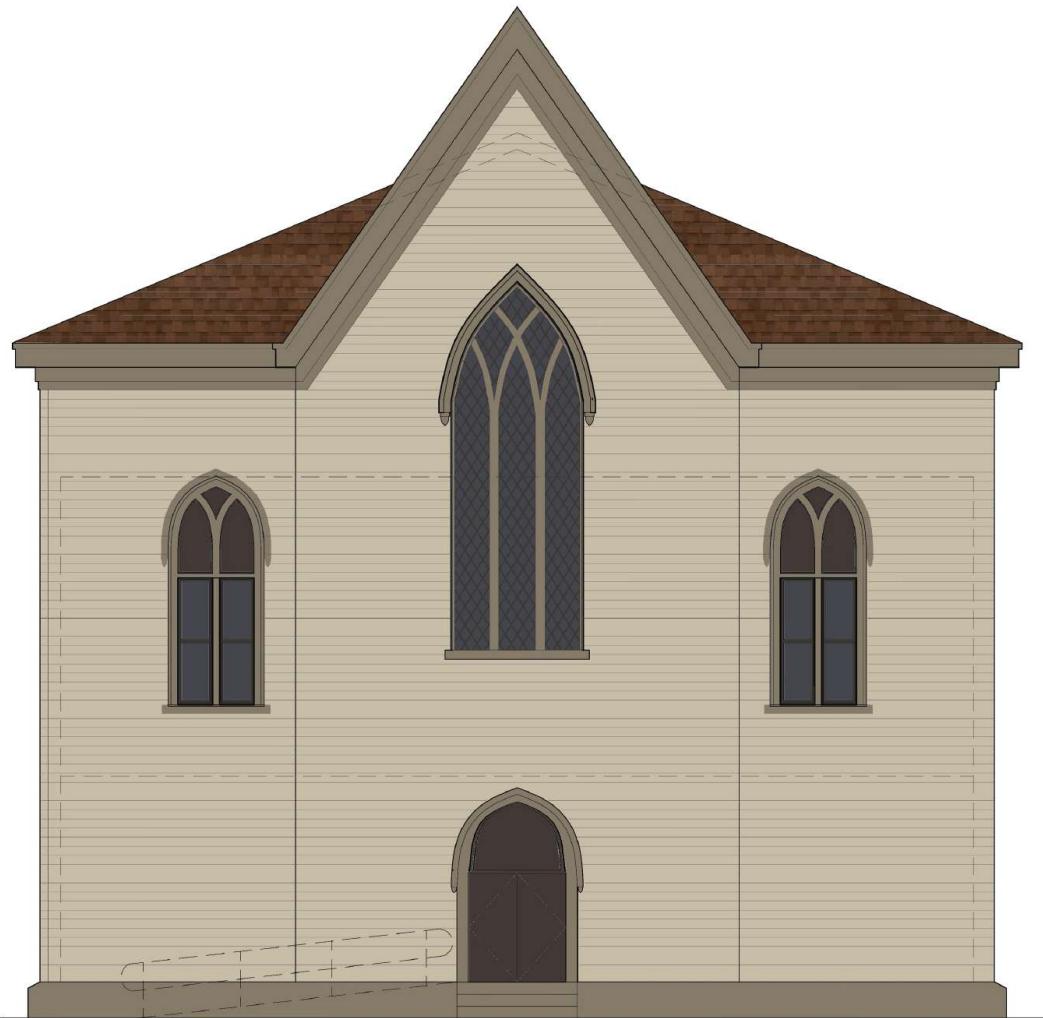
**TRIM:** Downing Earth (2820)



**DOORS & PANELS:** Rockweed (2735)



**WINDOWS:** Marvin Windows Bronze





Prepared for studio2sustain

June 2025

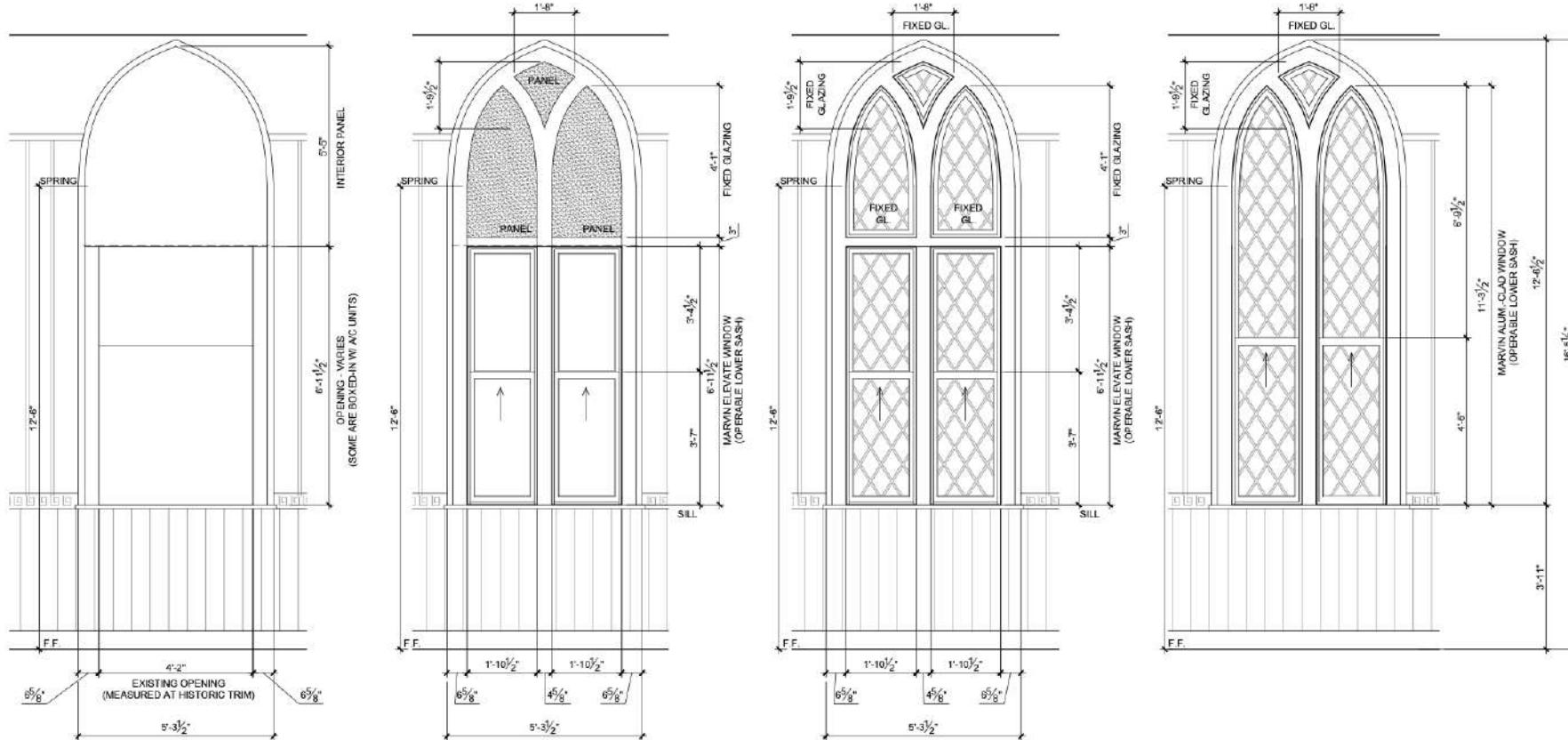
Rachel Alison  
raelalison@gmail.com | 319-671-1484

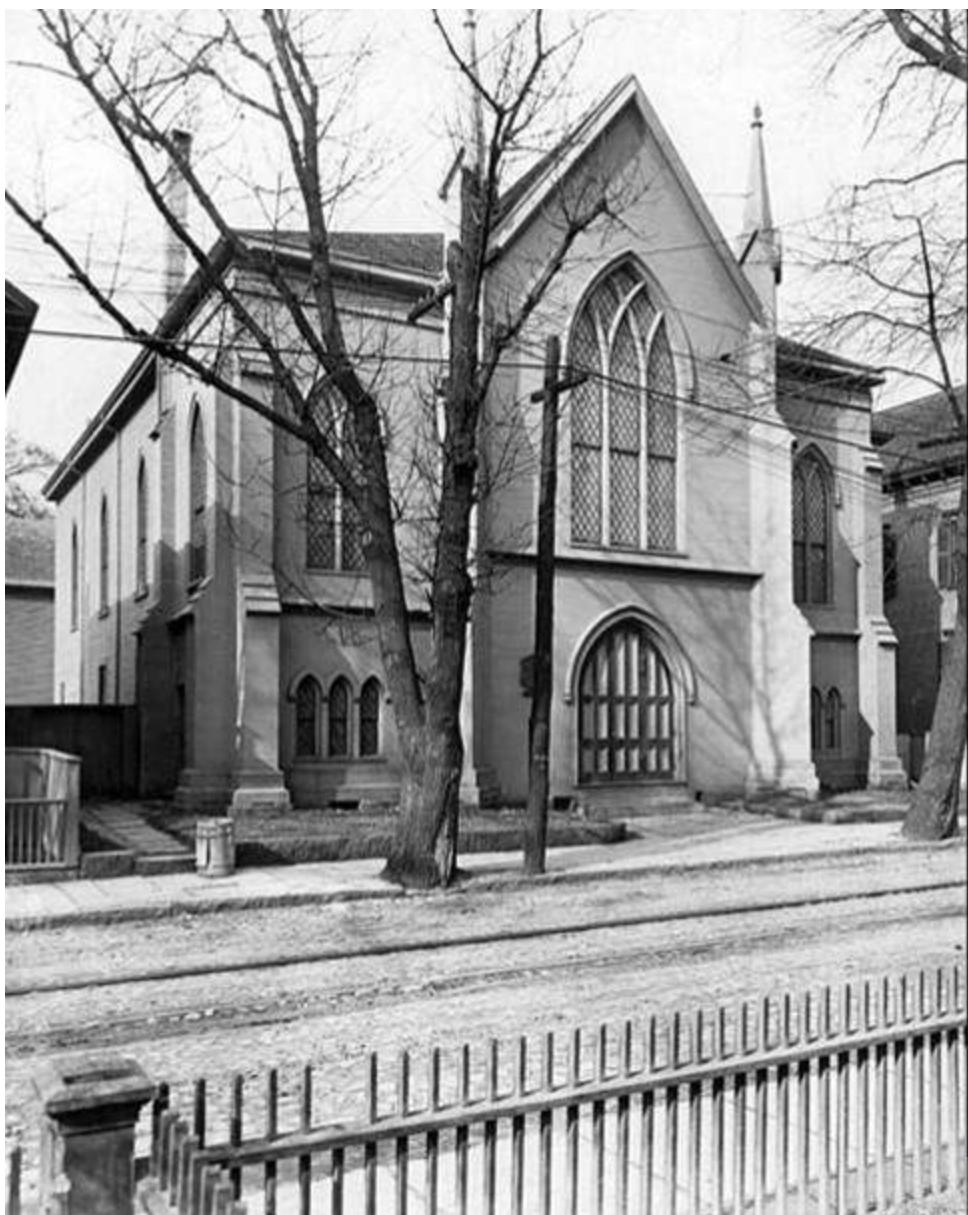


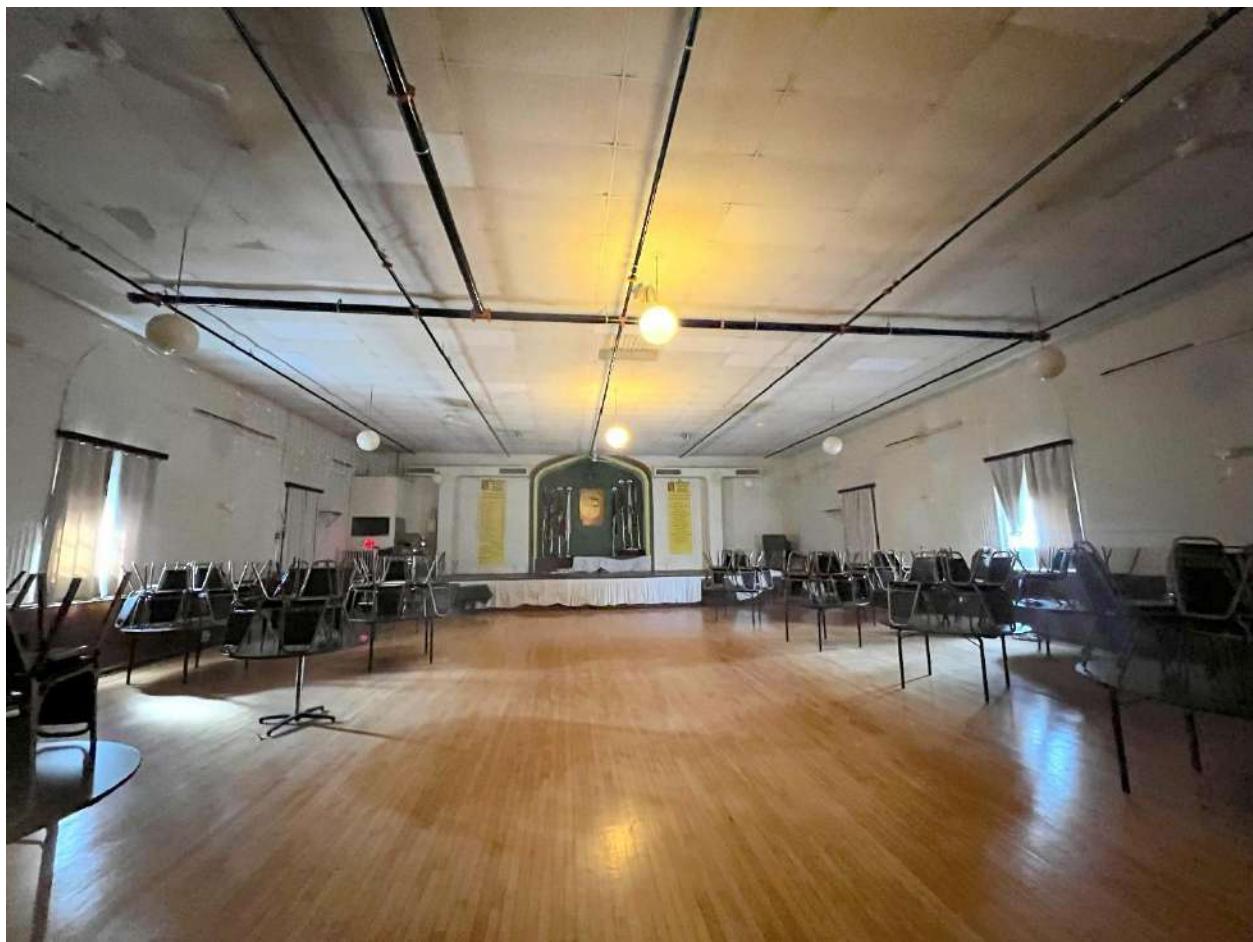
“The Verdean Veteran’s Memorial Foundation (VVMF), established in 1966, is an integral part of the New Bedford Cape Verdean Community. The Verdean Veteran’s Memorial Hall (VVMH) holds significant cultural and historical importance. Cape Verdeans were the first African people to voluntarily emigrate to the US, making this community unique in African, Cape Verdean, and American history in New Bedford, MA.

Owned by the Foundation, the VVMH has been a gathering place since 1960, providing suitable quarters for civic, cultural, educational and charitable projects. It serves as a Community Center and home for the Cape Verdean American Veterans Association, the only CV Veterans Association in the Nation and possibly the world.”

- *Mission Statement,*  
*Verdean Veteran’s Memorial Foundation (VVMF)*









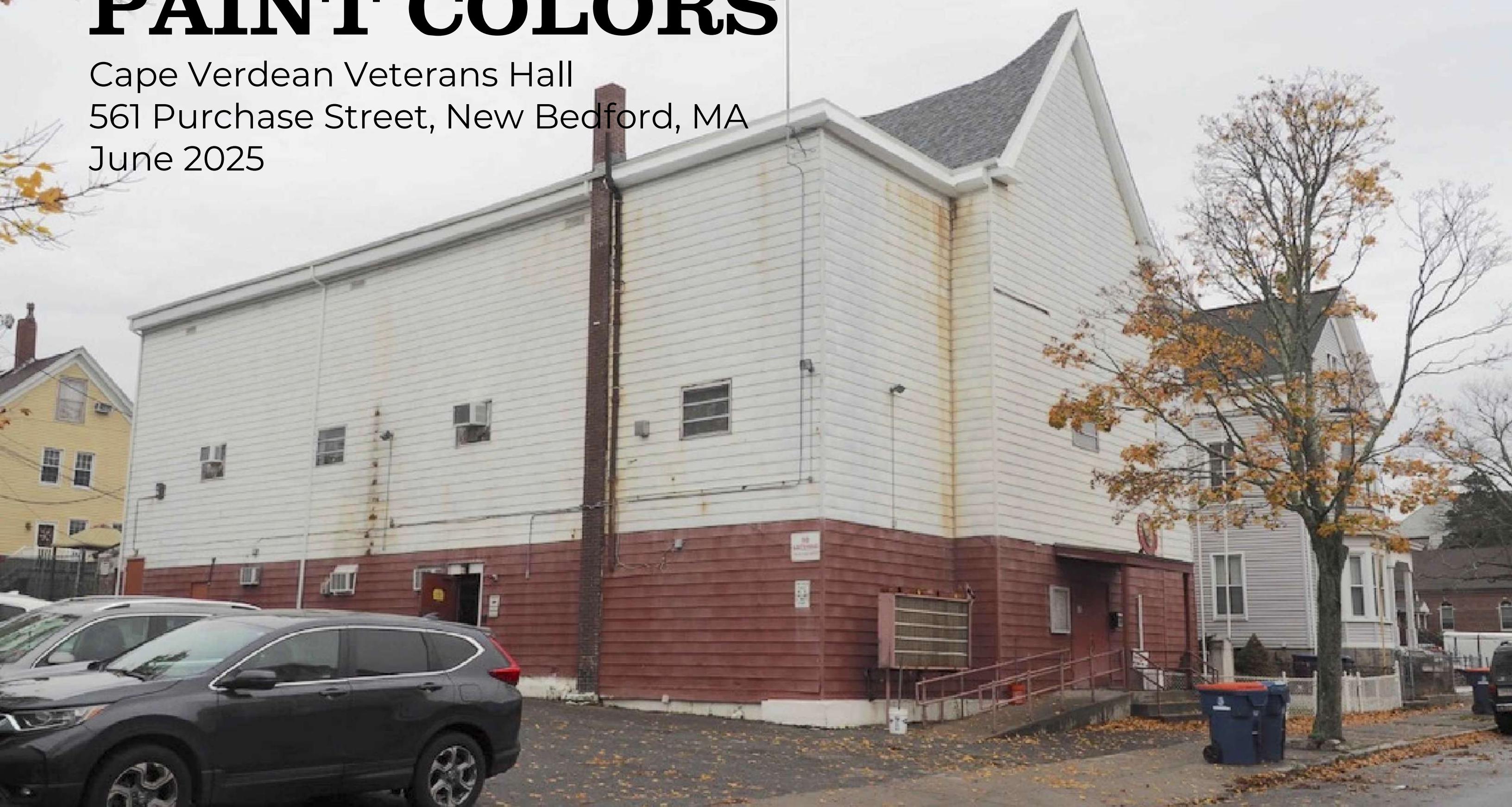
**COUNTY STREET HISTORIC DISTRICT**  
**City of New Bedford, Bristol County, Massachusetts**

**DISTRICT DATA LIST**

PARCEL NUMBER	MHC NUMBER*	STREET NO.	STREET NAME	HISTORIC NAME (if known)	DESCRIPTION	YEAR BUILT	STYLE	RESOURCE TYPE	STATUS (contributing or non-contributing)
46-152	NBE.2687	561	PURCHASE ST	Verdean Veterans Memorial Foundation Hall	Wood frame fraternal building, hipped roof, metal clapboard siding; central gable pavilion on front façade w/ entrance at ground level, windows covered by siding.	1920	---	building	C
47-191	NBE.2688	564	PURCHASE ST		2 story wood frame Two Family Flat Type multiple dwelling, front gable roof, vinyl clapboard siding; 2 bay front façade, entrance & porch w/ turned posts on N side surmounted by box oriel, 2 story faceted bay window on S side.	1909	Classical Revival	building	C
46-151	NBE.2689	569	PURCHASE ST		2 story wood frame single dwelling (now multiple), front gable roof, metal clapboard siding; 2 bay front façade, entrance & porch on N side, 2-story faceted bay window on S side.	1879	Italianate	building	C
47-85		ES	PURCHASE ST		Paved parking lot	---	---	structure	NC
46-150		573	PURCHASE ST		Vacant lot. Formerly 2 story wood frame single dwelling, gable roof, 3-bay façade, center chimney (1810); demolished 1977.	---	---	site	NC
47-83		604	PURCHASE ST		Vacant lot. Formerly 2 story wood frame multiple dwelling (1834).	---	---	site	NC
47-82	NBE 728	610	PURCHASE ST		2 story wood frame fire house (later used as a meeting hall), front gable roof, wood clapboard siding; 3 bay front façade, center entrance & porch, pointed window headers.	1835	Greek Revival	building	C
47-80		ES	PURCHASE ST		Paved parking lot.	---	---	structure	NC
47-78		ES	PURCHASE ST		Paved parking lot.	---	---	structure	NC

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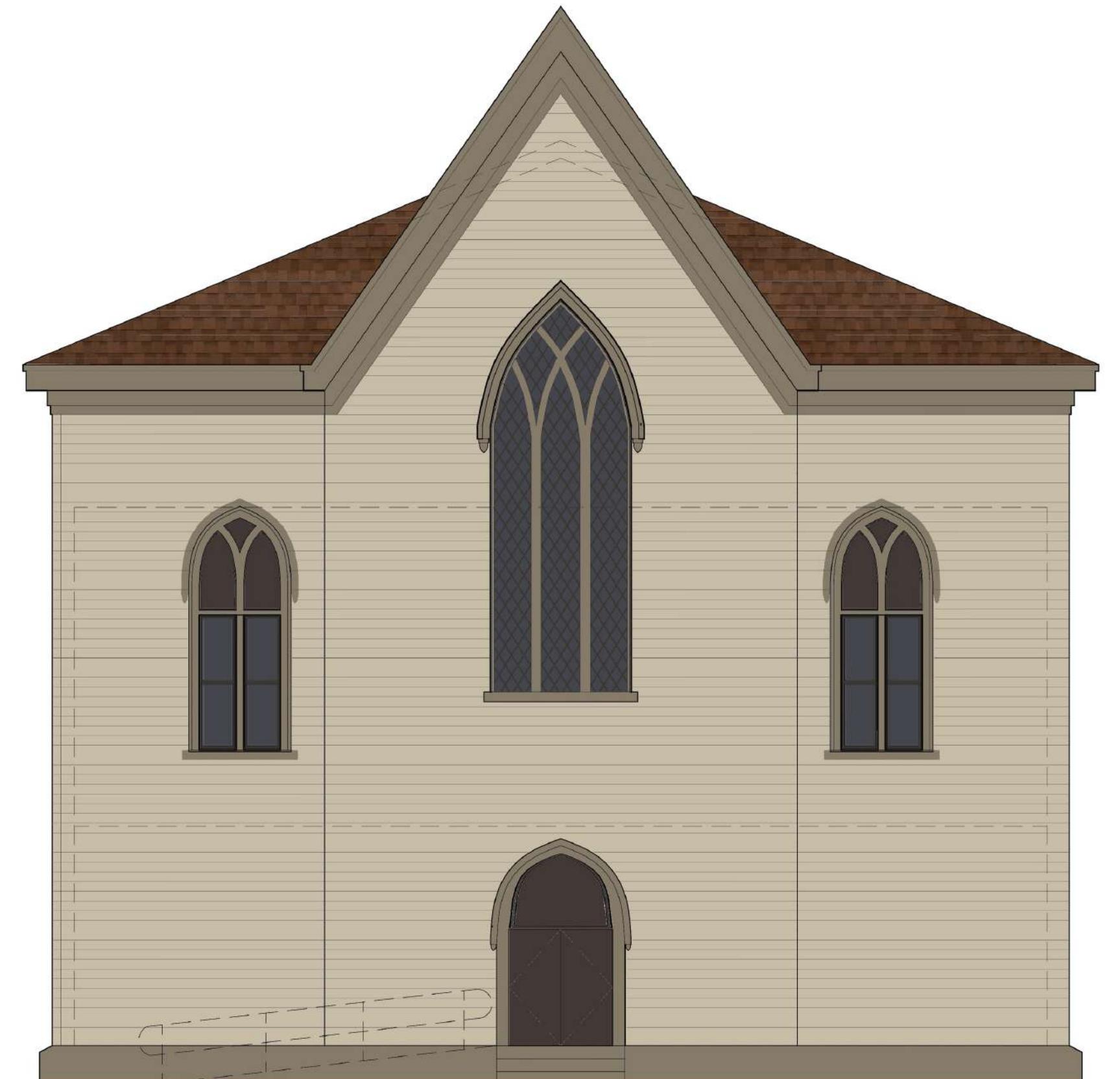
**TRIM:** Downing Earth (2820)



**DOORS & PANELS:** Rockweed (2735)



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Prepared for studio2sustain

June 2025

Rachel Alison  
raelalison@gmail.com | 319-671-1484